

D.S.B.

ENGINEERS & ARCHITECTS, P.C.
2394 Ridgeway Avenue, Rochester, N.Y. 14626
(585) 271-5230

Fax: (585) 271-3488

E-mail: [REDACTED]

February 7, 2022

Henrietta Planning Board
Town of Henrietta
475 Calkins Road
Henrietta, New York 14467

RE: Preliminary Plan Approval for The Fairways at Riverton, Town of Henrietta

Dear Board Members,

On behalf of our client, Forest Creek Equity Corp., we respectfully request to be placed on the March 15, 2022 Planning Board agenda to review the above referenced project. The proposal is to subdivide the parcel into 130 residential lots on the 55.778 acres.

Enclosed please find the following items for your review and approval with respect to the above referenced project:

- 150.00 Application Fee
- \$4,550.00 Engineering Review Fee (\$35 x 130 lots)
- Fourteen (14) Letters of Intent
- Fourteen (14) Subdivision Application
- Fourteen (14) Statement of Applicant and Owner
- Fourteen (14) Checklist
- One (1) EAF
- Two (2) Drainage Reports
- Fourteen (14) Preliminary Plans

We appreciate your consideration on this matter, and if you have any questions prior to the Board meeting, please contact me at 271-5230.

Yours truly,



Walter F. Baker,
Engineering Manager

Cc: Forest Creek Equity Corp.



**TOWN OF HENRIETTA
Subdivision Application**

APPLICATION NO. SD-2022-332

PLANNING BOARD

OR ADMINISTRATIVE

DATE: February 7, 2022

FOR THE APPROVAL OF The Fairways at Riverton
(Subdivision)

as shown on a map prepared by DSB Engineers
(Engineers)

Dated 2/9/22, consisting of 130 Lots, pursuant to Section (276), or (278) Town Law, and for permission to file said map, in sections as shown on said map, for the property located at: Erie Station Road

Tax Account No. 187.02-2-4.11, 187.02-2-10, 187.02-2-9, 187.02-2-8 187.04-2-311

Applicant: DSB Engineers

Address: 2394 Ridgeway Avenue

Rochester, NY 14626

Phone #: 585-271-5230

Email: [Redacted]

Property Owner: Forest Creek Equity Corp.

Address: 3240 Chili Avenue

Rochester, NY 14624

Phone #: [Redacted]

Email: [Redacted]

Engineer/Architect: DSB Engineers

Address: 2394 Ridgeway Avenue

Rochester, NY 14626

Phone #: 585-271-5230

Email: [Redacted]

Business Owner: Forest Creek Equity Corp.

Address: 3240 Chili Avenue

Rochester, 14624

Phone #: [Redacted]

Email: [Redacted]

Applicant Signature: 

Print Name: Walter Baker

*Town Law – check one above

276 – Standard subdivision, standard zoning

277 – Standard subdivision, standard zoning with land provided for a park or a sum of money for playground or recreational purposes as determined by the Town Board.

278 – Cluster Development Subdivision, smaller lot sizes permitted, with common open areas, same density as standard subdivision.

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: DSB Engineers

By: Walter Baker

Title: Project Engineer

Dated: 2/9/22

Signed: 

Owner: Forest Creek Equity Corp.

By: Bernie Iacovangelo

Title: PRESIDENT

Dated: 2/7/2022

Signed:  President

TOWN OF HENRIETTA

Subdivision & Resubdivision Map Checklist

- X 1. Map is correct size (17" x 22", 22" x 34", or 34" x 44") and on mylar for filing at the Monroe County Clerk's Office.
- X 2. Scale (Max. 1:50)
- X 3. Date
- X 4. Location Sketch.
- at final 5. If the project is more than 1200 feet (2500 feet if more than 5 lots) from the nearest Monroe County Monumentation, then the following statement is placed on the map: "This project is more than 1,200 feet from the nearest MCGS control monument and therefore is not tied into that network".
- at final 6. Surveyor's signature and New York State License number.
- at final 7. Surveyor's seal or stamp (is clearly shown and is legible on prints made from original).
- X 8. Surveyor's certification.
- X 9. Two Signature Lines are provided for: Director of Engineering/Planning and Planning Board Chairman with others, depending on the project.
- X 10. Adjoiners: Property Owners' names with Tax Account Numbers are included.
- X 11. Area of parcels in square feet and/or acres (acres shown to a minimum of 3 decimal places).
- X 12. Lot numbering scheme is logical. Sectioned subdivisions have a numbering system indicating a section of a subdivision followed by the lot number. For instance, lot number 21 in section 4 would be designated as Lot No. 421.
- at final 13. If the project is less than 1200 feet (2500 feet if more than 5 lots) from the nearest Monroe County Monumentation, it is tied into the Monroe County Monumentation System and the following conditions are completed:
 - _____ a. Full nomenclature of these monuments as shown on the data sheets supplied by the Monroe County Surveyor's Office.
 - _____ b. Coordinates, if used in project.
 - _____ c. Elevations, if used in project.
 - _____ d. A statement within the map certification that the perimeter and ties to control monuments

were accomplished procedures necessary to achieve an accuracy of 1 part in 10,000 (1:10,000) or better.

(see: The Monroe County Monumentation Law: "A Handout for Surveyors and Engineers", for examples)

- X 14. If a New York State or County Monument exists within the scope of this plat, then a note is shown concerning responsibility for its preservation.
- X 15. North arrow and origin.
- 16. Right of Way information shown:
 - X a. The R.O.W. record width of existing roads is clearly indicated. ("width varies" is not acceptable without additional information).
 - X b. The width of all existing internal and proposed road(s) (with 60 foot right-of-way) is clearly shown.
 - X c. Highway reservation(s) (for county roads with less than 80 foot right-of-ways).
- X 17. A tie distance to the nearest public R.O.W.
- X 18. The Town and County where parcel(s) is/are located is shown, along with the Town Lot Number, Range of Lots and Townships.
- X 19. Distances shown on all property lines. Where the plat has been tied into the State Plane Coordinate System, a statement as to whether distances are "grid" or "ground", is shown.
- X 20. Angles/Bearings/Azimuths is shown on all property lines. Note: on coordinated plats, only azimuths or bearings referenced to the coordinate system are accepted.
- X 21. For azimuths and bearings a reference datum and a statement of supporting data for that datum is shown. Examples of acceptable datums: grid, assumed, magnetic, deed reference, or true.
- X 22. On coordinated plats, a minimum of three pairs of coordinates is shown.
- X 23. On coordinated plats tied to the State Plane Coordination system, a grid and elevation factor, or a combined factor shall be shown.
- X 24. Curve data (curve length, radius, and delta angle).
- X 25. If elevations are shown, a project bench mark along with its elevation and the reference datum used in establishing the project bench mark shall be shown.
- X 26. A minimum of two points (iron pins, pipes, or concrete monuments) found or set on each subject parcel is shown. An established baseline existing adjacent to the parcel being surveyed may be used as long as the complete mathematical tie is shown.
- X 27. Town Utility Districts are noted. For example, Henrietta Sanitary Sewer District Extension No. 151.

- X 28. Map references and legal sources are listed.
- Y 29. Deed references are provided.
- N/A 30. Statement regarding existence or non-existence of Federal or New York State Wetlands on the site noted.
- N/A 31. FEMA Floodplain information is noted, such as zone designation, Community Panel Number, and map date (If applicable, floodplain and floodway boundaries are delineated).
- N/A 32. The lines and dimensions of proposed lots, which shall be numbered. If a proposed lot contains one or more existing buildings, the yard dimensions for such buildings shall be indicated. Existing buildings outside the limits of the plat, but within 75 feet of any proposed street or 25 feet of any proposed lot line, shall also be shown.

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

| | | |
|--|-----------|-------------------------|
| Name of Action or Project: The Fairways at Riverton | | |
| Project Location (describe, and attach a general location map): East Side of Erie Station Road Across From Scottsville-West Henrietta Road | | |
| Brief Description of Proposed Action (include purpose or need): We are Requesting a Special Use Permit and Subdivision Approval for the Planned Unit Development (PUD) for 130 Single Family Residential Lots on 55.7 +/- Acres | | |
| Name of Applicant/Sponsor: DSB Engineers, Walter Baker | | Telephone: 585-271-5230 |
| | | E-Mail: [REDACTED] |
| Address: 2394 Ridgeway Avenue | | |
| City/PO: Rochester | State: NY | Zip Code: 14626 |
| Project Contact (if not same as sponsor; give name and title/role): Forest Creek Equity Corp., Bernie Iacovangelo | | Telephone: [REDACTED] |
| | | E-Mail: [REDACTED] |
| Address: 3240 Chili Avenue | | |
| City/PO: Rochester | State: NY | Zip Code: 14624 |
| Property Owner (if not same as sponsor): Same | | Telephone: |
| | | E-Mail: |
| Address: | | |
| City/PO: | State: | Zip Code: |

B. Government Approvals

| B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.) | | |
|---|---|---|
| Government Entity | If Yes: Identify Agency and Approval(s) Required | Application Date (Actual or projected) |
| a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees | Town Board for Special Use Permit | |
| b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Town Planning Board | |
| c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Monroe County Health & Water Authority | |
| f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | New York State Department of Transportation | |
| h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| i. Coastal Resources. | | |
| i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| iii. Is the project site within a Coastal Erosion Hazard Area? | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

C. Planning and Zoning

| C.1. Planning and zoning actions. | |
|--|---|
| Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 | |
| C.2. Adopted land use plans. | |
| a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| If Yes, identify the plan(s): NYS Heritage Areas: West Erie Corridor _____ _____ _____ | |
| c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes, identify the plan(s): _____ _____ _____ | |

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
Planned Unit Development

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Rush Henrietta School District

b. What police or other public protection forces serve the project site?
Monroe County Sheriff

c. Which fire protection and emergency medical services serve the project site?
Town of Henrietta

d. What parks serve the project site?
Town of Henrietta

D. Project Details**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential

b. a. Total acreage of the site of the proposed action? 55.778 +/- acres
 b. Total acreage to be physically disturbed? 52.4 +/- acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 55.778 +/- acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 130

iv. Minimum and maximum proposed lot sizes? Minimum 0.21 acres Maximum 1.21 acres

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated 6
- Anticipated commencement date of phase 1 (including demolition) 3 month 2022 year
- Anticipated completion date of final phase 3 month 2028 year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:
Phase 1 will start at the southern end due to the sanitary sewer and water connections then proceed northeast and west

f. Does the project include new residential uses? Yes No
If Yes, show numbers of units proposed.

| | <u>One Family</u> | <u>Two Family</u> | <u>Three Family</u> | <u>Multiple Family (four or more)</u> |
|-----------------------------|-------------------|-------------------|---------------------|---------------------------------------|
| Initial Phase | 28 | | | |
| At completion of all phases | 130 | | | |

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
If Yes,

- i. Total number of structures _____
- ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
- iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: storm water quality control
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: storm water runoff from rain events
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

- i. What is the purpose of the excavation or dredging? _____
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 55,750 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Monroe County Water Authority (MCWA)
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
water mains within Town right of ways per MCWA standards and approval
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 55,750 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Van Lare Treatment Plant
- Name of district: Irondequoit Bay South Central Waters District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
 - Will a line extension within an existing district be necessary to serve the project? Yes No
- If Yes:
- Describe extensions or capacity expansions proposed to serve this project: _____
Sanitary Public Sewers within the Town Right of Ways

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or 25 acres (impervious surface)

_____ Square feet or 55.7 acres (parcel size)

ii. Describe types of new point sources. Storm Water Sewer Systems Directed to Detention / Retention Ponds

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____
- _____

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 7:30 am to 5:00 pm _____
- Saturday: _____ 7:30 am to 5:00 pm _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
Road Construction Equipment During Construction from 7:30 am to 5:00 pm

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
District Street Lights at 15' Height, Down Lighting and 40' +/- from Homes

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing: _____

• _____ Tons/month, if transfer or other non-combustion/thermal treatment, or

• _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Golf Course

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

| Land use or Covertype | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
|--|-----------------|----------------------------------|--------------------|
| • Roads, buildings, and other paved or impervious surfaces | 0 | 25 | 25 |
| • Forested | 0 | 0 | 0 |
| • Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | 55.7 | 8 | 47.7 |
| • Agricultural (includes active orchards, field, greenhouse etc.) | 0 | 0 | 0 |
| • Surface water features (lakes, ponds, streams, rivers, etc.) | 0 | 2 | 2 |
| • Wetlands (freshwater or tidal) | 0.5 | 0.5 | 0 |
| • Non-vegetated (bare rock, earth or fill) | 0 | 0 | 0 |
| • Other Describe: <u>Lawns and Landscaping</u> | 0 | 20.7 | 20.7 |

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >8 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Top Soil and Silty Clay _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ >6 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 78 % of site
 10-15%: _____ 22 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, USACE Approximate Size 0.5 acres (see attached)
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site:

Squirrels _____ Deer _____ Birds _____

n. Does the project site contain a designated significant natural community? Yes No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): _____

ii. Source(s) of description or evaluation: _____

iii. Extent of community/habitat:

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

If Yes:

i. Species and listing (endangered or threatened): _____

Bald Eagle in the vicinity of the Genesee River and the NYS Thruway

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

If Yes:

i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No

If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No

If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No

i. If Yes: acreage(s) on project site? _____

ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No

If Yes:

i. Nature of the natural landmark: Biological Community Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No

If Yes:

i. CEA name: _____

ii. Basis for designation: _____

iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

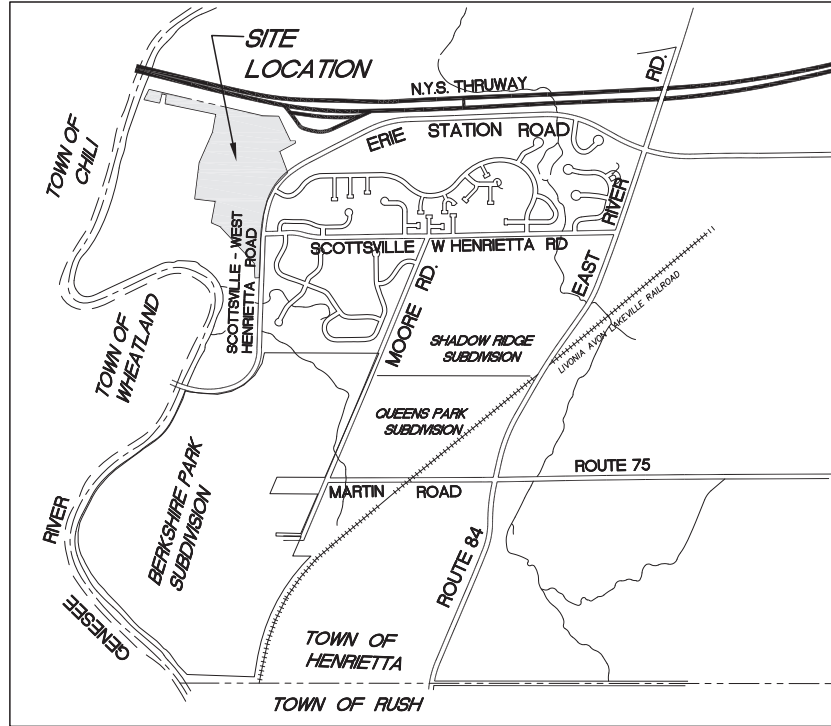
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Walter Baker Date February 8, 2022

Signature  Title Project Engineer



LOCATION SKETCH
N.T.S.



PRELIMINARY PLANS

THE FAIRWAYS AT RIVERTON SUBDIVISION

TOWN OF HENRIETTA
COUNTY OF MONROE
STATE OF NEW YORK

APPROVED BY: _____ DATE: _____
PLANNING BOARD CHAIRMAN

APPROVED BY: _____ DATE: _____
DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: _____ DATE: _____
DRAINAGE AND SEWERS DEPARTMENT

APPROVED BY: _____ DATE: _____
DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

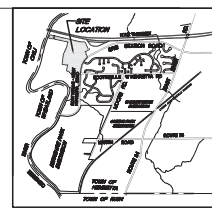
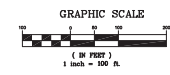
APPROVED BY: _____ DATE: _____
MONROE COUNTY WATER AUTHORITY

APPROVED BY: _____ DATE: _____
OWNER / DEVELOPER

INDEX OF DRAWINGS:

| DRAWING NO. | DRAWING NAME |
|-------------|--------------------------------|
| 1 OF 14 | COVER SHEET |
| 2 OF 14 | OVERALL SITE |
| 3-4 OF 14 | PLAT PLAN |
| 5-6 OF 14 | UTILITY PLAN |
| 7-8 OF 14 | GRADING & EROSION CONTROL PLAN |
| 9-11 OF 14 | PROFILES |
| 12-14 OF 14 | DETAILS & NOTES |

| | |
|-------------------------------------|---|
| | DSB <i>Engineers and Architects, P.C.</i> <small>2314 Midway Avenue, Suite 201, Rochester, New York 14620 PH: 585-427-0000 FAX: 585-427-0998</small> |
| | PROJECT THE FAIRWAYS AT RIVERTON <small>3487 W. HENRIETTA ROAD, WEST RIVERTON, NY 14644</small> |
| DRAWING TITLE COVER SHEET | CLASSIFY PROFESSIONAL SOCIETY CORP. 1045 CODED, 1/1/13/04 10/1/04 |
| PROJ. NO. 12-1004 | DATE OF PREPARED BY N.E.S. W.F.B. G.E.S. A.H.S. J.M.W. J.P.M. J.S.P. J.L.P. J.H.P. |
| SCALE N.T.S. | SHEET NO. 1 OF 14 |



LEGEND:

| | |
|-----|----------------------|
| --- | PROPERTY LINE |
| --- | CONTIGUOUS OF MAP |
| --- | EXIST. P.A.S. LINE |
| --- | EXIST. PROPERTY LINE |
| --- | EXIST. DRIVEWAY |
| --- | PROP. P.A.S. |
| --- | PROP. LOT LINE |
| --- | EXIST. DRIVE |
| --- | EXIST. PROPERTY LINE |
| --- | EXIST. DRIVEWAY LINE |
| --- | PROP. DRIVEWAY LINE |
| --- | PROP. DRIVEWAY LINE |

- SITE DATA:**
- PARCELS, TAX ACCT. NO'S. AND AREAS:
 187.000-02-011 - 10.288 AC.
 187.000-02-012 - 0.999 AC.
 187.000-02-013 - 0.999 AC.
 187.000-02-014 - 1.000 AC.
 187.000-02-100 - 1.000 AC.
 - TOTAL PARCEL AREAS: 55.789 +/- AC.
 - ZONING: EXISTING: P.U.D. (PLANNED UNIT DEVELOPMENT)
 PROPOSED: P.U.D. (PLANNED UNIT DEVELOPMENT)
 - PROPOSED RESIDENTIAL DEVELOPMENT:
 120 - SINGLE FAMILY LOTS
 - LOT AREA:
 SINGLE FAMILY LOTS - 20' X 130' = 8,100 SF (20%)
 - SETBACKS:
 LOT FRONTAGE FRONT SIDE REAR
 SINGLE FAMILY 30' 0" AND 10' 0" 10' 0"
 15' (BETWEEN STRUCTURES)

APPROVED BY: _____ DATE: _____
 PLANNING BOARD CHAIRMAN

APPROVED BY: _____ DATE: _____
 DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: _____ DATE: _____
 GRANAGE AND SEWERS DEPARTMENT

APPROVED BY: _____ DATE: _____
 DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS

APPROVED BY: _____ DATE: _____
 FIRE MARSHAL

APPROVED BY: _____ DATE: _____

| NO. | APPROVAL | APP. | DATE |
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DSB Engineers and Architects, P.C.
 2500 Riverchase Avenue, Suite 200, Riverchase, New York, NY 11753
 PH: 516-471-5200 FAX: 516-471-2400

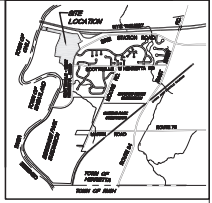
THE FAIRWAYS AT RIVERTON
 120 SINGLE FAMILY LOTS - 20' X 130' = 8,100 SF (20%)
 PLANNING BOARD

OVERALL PLAN

CLIENT: RIVERTON CIVILILITY CORP.
 100 RIVERTON ROAD
 RIVERTON, N.Y. 11753

DATE: 02-15-2004
 DRAWN BY: J.A.P. CHECKED BY: J.A.P. DATE: 02-15-2004
 SCALE: AS SHOWN
 SHEET NO. 1 OF 1

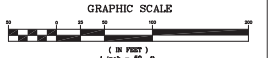
MATCH TO DWG. NO. 8



LOCATION SKETCH

LEGEND:

- SURVEYED BOUNDARY
- EXTENSION OF BOUNDARY
- EXISTING EASEMENT
- EXISTING UTILITY LINE
- EXISTING ROAD
- EXISTING SIDEWALK
- EXISTING FENCE
- EXISTING DRIVE
- EXISTING DRIVEWAY
- EXISTING SIDEWALK
- EXISTING DRIVEWAY
- EXISTING DRIVEWAY



- REFERENCES:**
1. RIVERTON S.F. & L.L.C. TO FOREST CREEK EQUITY CORP. BY DEED FILED 7/27/2014 AS LIBER 11738 OF DEEDS, PAGE 454.
 2. "PLAN OF LOTS OF CONFER RIVERTON ASSOCIATION", FILED 9/17/2008 AS LIBER 307 OF MAPS, PAGE 65.
 3. "PLAN OF LOTS OF CONFER RIVERTON ASSOCIATION", FILED 9/17/2008 AS LIBER 307 OF MAPS, PAGE 65.
 4. "PLAN OF LOTS OF CONFER RIVERTON ASSOCIATION", FILED 8/27/2008 AS LIBER 307 OF MAPS, PAGE 65.
 5. "PLAN OF LOTS OF CONFER RIVERTON ASSOCIATION", FILED 8/27/2008 AS LIBER 307 OF MAPS, PAGE 65.
 6. "PLAN OF LOTS OF CONFER RIVERTON ASSOCIATION", FILED 1/24/2007 AS LIBER 330 OF MAPS, PAGE 24.
 7. UTILITY MAPS FILED 1/24/2007 FROM DIS-SAFELY.

GENERAL NOTES:

1. GENERAL SURVEYING: ALL LOTS LOCATED WITHIN HENRIETTA TOWNSHIP, MONROE COUNTY, MISSISSIPPI.
2. MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH: THE PLANNED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
3. MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH: THE PLANNED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
4. MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH: THE PLANNED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
5. MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH: THE PLANNED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
6. MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH: THE PLANNED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
7. MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH: THE PLANNED DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
8. NO ABSTRACTS OF TITLE PROVIDED FOR SURVEY.

SEWER USE LAW NOTE:

SEWER USE LAW: ALL SEWER LINES SHALL BE CONNECTED TO THE SEWER MAIN LINE. SEWER LINES SHALL BE 12" DIAMETER. ALL SEWER LINES SHALL BE 12" DIAMETER.

ME, MAJID LAND SURVEYING, P.C., HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM MEASUREMENTS MADE BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF MISSISSIPPI. THE SURVEY WAS COMPLETED ON APRIL 18, 2020 AND FROM THE INFORMATION LISTED HEREON, SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

ME, MAJID LAND SURVEYING, P.C., 6652 S.W. 31st Ave., Fort Lauderdale, FL 33309
 PHONE: (954) 350-9999 FAX: (954) 350-9999
 WWW: WWW.ME,MAJIDLANDSURVEYING.COM
 MISSISSIPPI STATE SURVEYOR: #15247
 MISSISSIPPI SURVEYING BOARD: #15247
 MISSISSIPPI SURVEYING BOARD: #15247
 MISSISSIPPI SURVEYING BOARD: #15247
 MISSISSIPPI SURVEYING BOARD: #15247
 MISSISSIPPI SURVEYING BOARD: #15247
 MISSISSIPPI SURVEYING BOARD: #15247

SITE DATA:

- 1. PARCEL TAX ACCT. NO. AND AREA:
 187-000-02-111 - 0.028 AC.
 187-000-02-111 - 0.028 AC.
 187-000-02-111 - 0.028 AC.
 187-000-02-100 - 1.000 +/- AC.
 187-000-02-100 - 1.000 +/- AC.
- 2. TOTAL PARCEL AREA: 58,776 +/- AC.
- 3. ZONING: EXISTING: P.L.D. (PLANNED URT DEVELOPMENT)
 PROPOSED: P.L.D. (PLANNED URT DEVELOPMENT)
- 4. PROPOSED RESIDENTIAL DEVELOPMENT: 130 - SINGLE FAMILY LOTS
- 5. LOT AREA: SINGLE FAMILY LOTS - 70' x 103' = 7,100 S.F. (251.70 M²)
- 6. SETBACKS:
 LOT/TOWNSHIP FRONT: 30' REAR: 10'
 SINGLE FAMILY: 30' RY AND 10' 30' (BY OTHER STRUCTURES)

Mississippi State Department of Public Health
 Public Health Engineer

MONROE COUNTY SURVEYORS' OFFICE

IRONCLOUT BAY
 SOUTH CENTRAL CIVIL MATTERS DISTRICT

APPROVED BY: _____ DATE: _____

PLANNING BOARD CHAIRMAN

APPROVED BY: _____ DATE: _____

DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: _____ DATE: _____

CRANRANE AND SENIORS DEPARTMENT

APPROVED BY: _____ DATE: _____

DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: _____ DATE: _____

COMMISSIONER OF PUBLIC WORKS

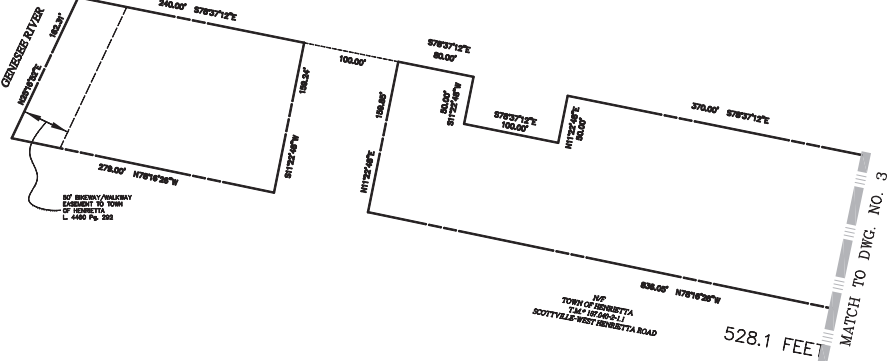
APPROVED BY: _____ DATE: _____

FIRE MARSHAL

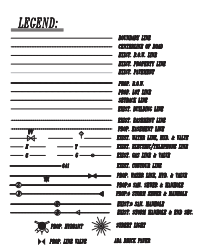
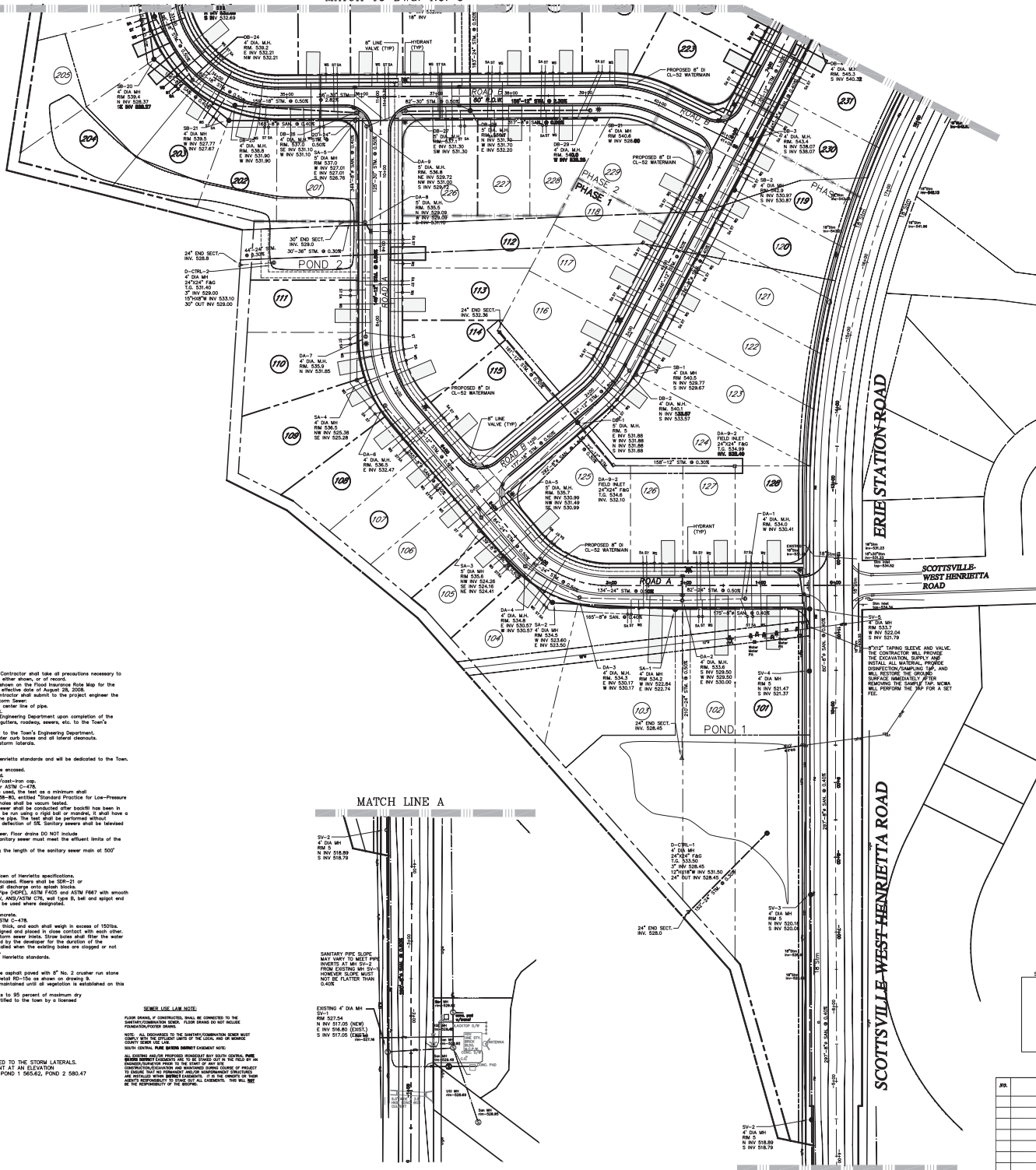
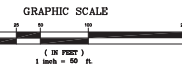
APPROVED BY: _____ DATE: _____

| NO. | REVISION | APP. DATE |
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THE FAIRWAYS AT RIVERTON
 PLAT PLAN
 MISSISSIPPI STATE SURVEYOR: #15247



MATCH TO DWG. NO. 6



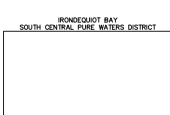
TOWN OF HENRIETTA NOTES:

- GENERAL: 1. Underground utility locations are approximate... 2. All of this utility is installed to a depth of 7'... 3. Prior to any payment from letter of credit... 4. A record site plan must be provided to the Town Engineering Department... 5. Individual Utility Service Maps shall be provided to the Town's Engineering Department... 6. Roof downspouts cannot be connected to the storm laterals... 7. Sanitary sewer must be built to the Town of Henrietta standards... 8. Storm lateral shall be 4\"/>

MATCH LINE A

Monroe County Department of Public Health
This plan for Public Health Sewer Extension... is hereby approved pursuant to Article 17 of the Monroe County Government Code...

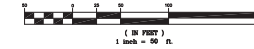
APPROVED BY: [Signature Line] DATE: [Date Line]
DIRECTOR OF ENGINEERING AND PLANNING
CHIEF OF SANITARY DEPARTMENT
DIRECTOR OF BUILDING AND FIRE PREVENTION
COMMISSIONER OF PUBLIC WORKS
FIRE MARSHAL
MONROE COUNTY WATER AUTHORITY



- UTILITY NOTES: 1. ROOF DOWNSPOUTS CANNOT BE CONNECTED TO THE STORM LATERALS... 2. ALL STORM LATERALS TO ENTER BASEMENT AT AN ELEVATION ABOVE 100 YR FLOODING ELEVATION... 3. Sewer lateral connections shall be connected to the sanitary sewer main... 4. All sanitary sewer connections shall be made in accordance with the Town of Henrietta standards... 5. All sanitary sewer connections shall be made in accordance with the Town of Henrietta standards...

Table with columns: No., Revision, App., Date. Includes project information: THE FAIRWAYS AT RIVERTON, PHASE 2, UTILITY PLAN, and client information: DSB Engineers and Architects, P.C.

MATCH LINE A



POND 4

N.Y.S. THRUWAY INTERSTATE 90

TOWN OF HENRIETTA NOTES:

- GENERAL:**
- Underground utility locations are approximate. The Contractor shall take all precautions necessary to protect existing underground utilities and structures.
 - All of this information is classified as "Confidential" as shown on the Flood Insurance Rate Map for the County of Monroe, New York, 30505C0250, with an effective date of August 28, 2008.
 - Prior to any payment from letter of credit the contractor shall submit to the project engineer the following record map information: (A) Sanitary & Storm Sewer:
 - Distance of pipe to the closest M.H. along the center line of pipe.
 - Depth marked on end of lateral pipe to invert.
 - Material and size shall be provided by the Town Engineering Department upon completion of the project. It shall include all improvements including gutters, curbs, sewers, etc. to the Town's satisfaction.
 - Sanitary Sewer Service Maps shall be provided to the Town Engineering Department. Each map shall indicate every diagram for water table levels and all relevant elevations.
 - Roof downspouts cannot be connected to the storm laterals.

- STORM SEWER:**
- The storm sewer shall be built to the Town of Henrietta standards and will be dedicated to the Town.
 - Materials shall be as follows:
 - Sanitary sewer main shall be PVC, 300-36, stone encased.
 - Laterals shall be 4" PVC, 300-21, stone encased.
 - Over-cuts shall be PVC, 300, 40 or 50-21 w/vent-roof cap.
 - Manholes shall be reinforced precast concrete per ASTM C-476.
 - Sanitary sewers shall be tested. At or less than 100 feet, the test on a minimum shall conform to the procedure described in ASTM C-476, written Standard Procedure for Low-Pressure Sewer Testing.
 - Use of inverted U-bend pipe shall be avoided.
 - The deflection test is done on the sanitary sewer test conducted after backfill has been placed at least 20 days after the deflection test is done using a rigid bar or mandrel. It shall have a diameter equal to 95% of the inside diameter of the pipe. The test shall be performed without mechanical pulling devices. No pipe shall exceed a deflection of 0.5%. Sanitary sewers shall be bedded and finished to the Town of Henrietta standards.
 - Flow drains shall be connected to the sanitary sewer. Flow drains DO NOT include foundation or footing drains. All discharges to the sanitary sewer must meet the effluent limits of the local and/or the Monroe County Sewer Use Limit.
 - Intercepting emergency drains shall be installed along the length of the sanitary sewer main at 500' intervals.
 - Manholes will be access leaved.

- STORM SEWER:**
- All material and installation shall conform to the Town of Henrietta specifications.
 - Storm laterals shall be 8" PVC, 300-21, stone encased. Storms shall be 300-21 or schedule 40 with roof top caps. Connections shall discharge into storm basins.
 - Storm sewer shall be High Density Polyethylene Pipe (HDPE), ASTM F455 and ASTM F667 with smooth interior. Reinforced Concrete Pipe (RCP), class IV, and ASTM C77, wall type 1, bed and support and joints with rubber compression gaskets. All pipe shall be used as designed.
 - Concrete storm sewers shall be 4" thick.
 - Connections shall be 4.000" diameter "C" manholes.
 - Manholes shall be reinforced precast concrete, ASTM C-476.
 - The top shall consist of a 6" thick, and shall weigh in excess of 100lbs, unless otherwise noted. Storms shall be properly aligned and placed in close contact with each other.
 - Distribution basins shall be located above the storm sewer main. Storm basins shall filter the water before entering these basins and shall be maintained by the developer for the duration of the construction. Storm basins shall be installed when the existing basins are occupied or not.
 - Storm basins shall be installed for Town of Henrietta standards.

- PAVEMENT:**
- All driveway areas within the Right of Way shall be asphalt paved with #2 crushed run stone and #2 No. 3 Dense Base, 1" top per Henrietta Detail RD-105 as shown on drawing.
 - All road and storm sewers shall be checked and maintained until vegetation is established on this area.
 - Fill with the R.O.W. shall be compacted to 95% of maximum dry density per ASTM D1557. Fill densities shall be certified to the town by a licensed testing company.

UTILITY NOTES

- ROOF DOWNSPOUTS CANNOT BE CONNECTED TO THE STORM LATERALS.
- ALL STORM LATERALS TO ENTER BUILDINGS AT AN ELEVATION OF 18" SHALL BE INSTALLED ABOVE 100' FINISHED ELEVATION MIN. POND 1 565.62, POND 2 580.47

LEGEND:



Monroe County Department of Public Health
 These plans for Public Sanitary Sewer Collection System Improvement are hereby approved pursuant to Article 13 of the N.Y.S. Government Conservation Law subject to conditions of approval.
 Director of Public Health

Public Health Engineer

Monroe County Department of Public Health
 These plans for Public Water Supply System Improvement are hereby approved pursuant to Article 13 of the N.Y.S. Government Conservation Law subject to conditions of approval.
 Director of Public Health

Public Health Engineer

APPROVED BY: _____ DATE: _____
 DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: _____ DATE: _____
 CHAIRMAN AND SENIORS DEPARTMENT

APPROVED BY: _____ DATE: _____
 DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS

APPROVED BY: _____ DATE: _____
 FIRE MARSHAL

APPROVED BY: _____ DATE: _____
 MONROE COUNTY WATER AUTHORITY

PROPOSED 20" WATERMAIN
 EASEMENT TO TOWN OF
 HENRIETTA PER REF. #3

18" Stm
 Inv. =549.69

18" Stm
 Inv. =549.69

18" Stm
 Inv. =549.69

WATERMAIN INSTALLATION ACROSS
 THE STA. ROAD BY BORING USING THE
 SHIELDING AND JACK METHOD. SEE
 DETAIL FOR TRAFFIC CONTROL.

CONNECT PROPOSED 8"
 CL-52 TO EXISTING 12"
 CL-52 WATERMAIN USE 8" PIP.
 REDUCER PROVIDED.

CONNECT PROPOSED 8"
 CL-52 TO EXISTING 12"
 CL-52 WATERMAIN USE 8" PIP.
 REDUCER PROVIDED.

REVISIONS

| NO. | DATE | DESCRIPTION |
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APP. DATE

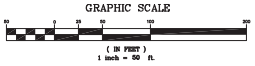
DSB Engineers and Architects, P.C.
 1000 N. STATE ST. SUITE 200
 ROCHESTER, N.Y. 14620
 TEL: 253-7121 FAX: 253-7122

THE FAIRWAYS AT RIVERTON
 1000 N. STATE ST. SUITE 200
 ROCHESTER, N.Y. 14620
 TEL: 253-7121 FAX: 253-7122

UTILITY PLAN

OWNER: MONROE COUNTY WATER AUTHORITY
 PROJECT: THE FAIRWAYS AT RIVERTON
 SHEET NO. 1000 N. STATE ST. SUITE 200
 DATE: 08/20/14

MATCH TO DWG. NO. 5



LEGEND:

| | |
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| | EROSION CONTROL BLANK |
| | EDGE OF ROAD |
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LOT TREE PLANT SCHEDULE

| QUANTITY | KEY | BOTANICAL NAME | COMMON NAME | SIZE / ROOT |
|----------|-----|----------------------|--------------------|---------------|
| 1 | 26 | DECIDUOUS SHADY TREE | | |
| 20 | 26 | 26 | Amelanchier | 2"-3" cal. DB |
| 20 | 26 | 26 | Black Oak | 2"-3" cal. DB |
| 20 | 26 | 26 | Cherry Laurel | 2"-3" cal. DB |
| 20 | 26 | 26 | Black Oak | 2"-3" cal. DB |
| 20 | 26 | 26 | Common Honeylocust | 2"-3" cal. DB |

NOTE: LOT TREE SPACING AND SIZES SHALL BE AS SHOWN ON THE PLAN, UNLESS STATED OTHERWISE. MINIMUM SPACING SHALL BE 10' - 0" AND MAXIMUM SHALL BE 30' - 0".

1. SHOULD FIRM FILES BE ENCOUNTERED DURING EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE TOWN INSPECTOR AND PROJECT ENGINEER FOR DETERMINATION OF FILES (ELECTRIC, GAS, WATER, OR COMMUNICATIONS).
2. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY THE TOWN AND PROJECT ENGINEER.
3. SEE STORM WATER POLLUTION PREVENTION PLAN FOR OVERALL SUBDIVISION GRADING.
4. SEE DETAILS AND NOTES FOR GRADING AND EROSION CONTROL NOTES.
5. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REPAIRED AS REQUIRED TO PREVENT EROSION.
6. THE PROPOSED POND ARE TO BE USED AS A SEDIMENT SLUTION BASK DURING CONSTRUCTION. ALL DEBRIS AND EXCESS MATERIALS SHALL BE DEPOSITED IN THE POND. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. GREEN INFRASTRUCTURE PRACTICES
PRESERVATION OF UNDISTURBED AREAS:
CONSERVATION EASEMENT:
ROOF TOP AREA DISCONNECTION:
SIPX INFRASTRUCTURE REQUIREMENTS:
A. AREAS OF TYPICAL CONCENTRATION WITH NO CHANGE IN GRADE
*ADAPTIVE DESIGN AND APPLY 6" RICHES OF TOPSOIL
B. AREAS OF CITY AND
*MIN. 3" RICHES OF COMPOST OVER SUBSOIL
*IF USING A TRACTOR MOUNTED DISC
*HOLD PEEK AREA UNDISTURBED ROCK MATERIALS OF 4" AND
*MIN. 3" TOPSOIL TO A DEPTH OF 4" AND
*ADAPTIVE AS REQUIRED BY APPROVED PLAN.

| STORM | 1 YEAR | 10 YEAR | 100 YEAR |
|--------|--------------|--------------|--------------|
| POND 1 | ELEV. 532.80 | ELEV. 532.80 | ELEV. 530.60 |
| POND 2 | ELEV. 532.80 | ELEV. 532.80 | ELEV. 530.60 |
| POND 3 | ELEV. 536.80 | ELEV. 536.80 | ELEV. 534.75 |
| POND 4 | ELEV. 532.12 | ELEV. 532.12 | ELEV. 530.28 |

CERTIFICATION OF COMPLIANCE WITH SPDES GENERAL PERMIT # 02-01-001

THE SUBDIVISION POLLUTION PREVENTION PLAN REFLECTS ALL REQUIRED INFORMATION FOR OBTAINING AND MAINTAINING A SPDES GENERAL PERMIT FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC).

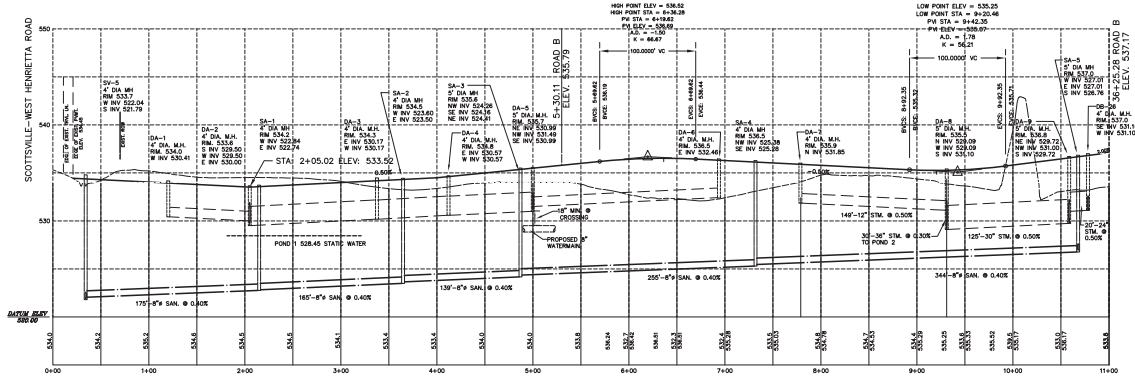
I, THE ENGINEER, CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SPDES GENERAL PERMIT # 02-01-001 AND THE REQUIREMENTS OF THE SPDES GENERAL PERMIT # 02-01-001 AND THE REQUIREMENTS OF THE SPDES GENERAL PERMIT # 02-01-001 AND THE REQUIREMENTS OF THE SPDES GENERAL PERMIT # 02-01-001.

I HEREBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SPDES GENERAL PERMIT # 02-01-001 AND THE REQUIREMENTS OF THE SPDES GENERAL PERMIT # 02-01-001 AND THE REQUIREMENTS OF THE SPDES GENERAL PERMIT # 02-01-001 AND THE REQUIREMENTS OF THE SPDES GENERAL PERMIT # 02-01-001.

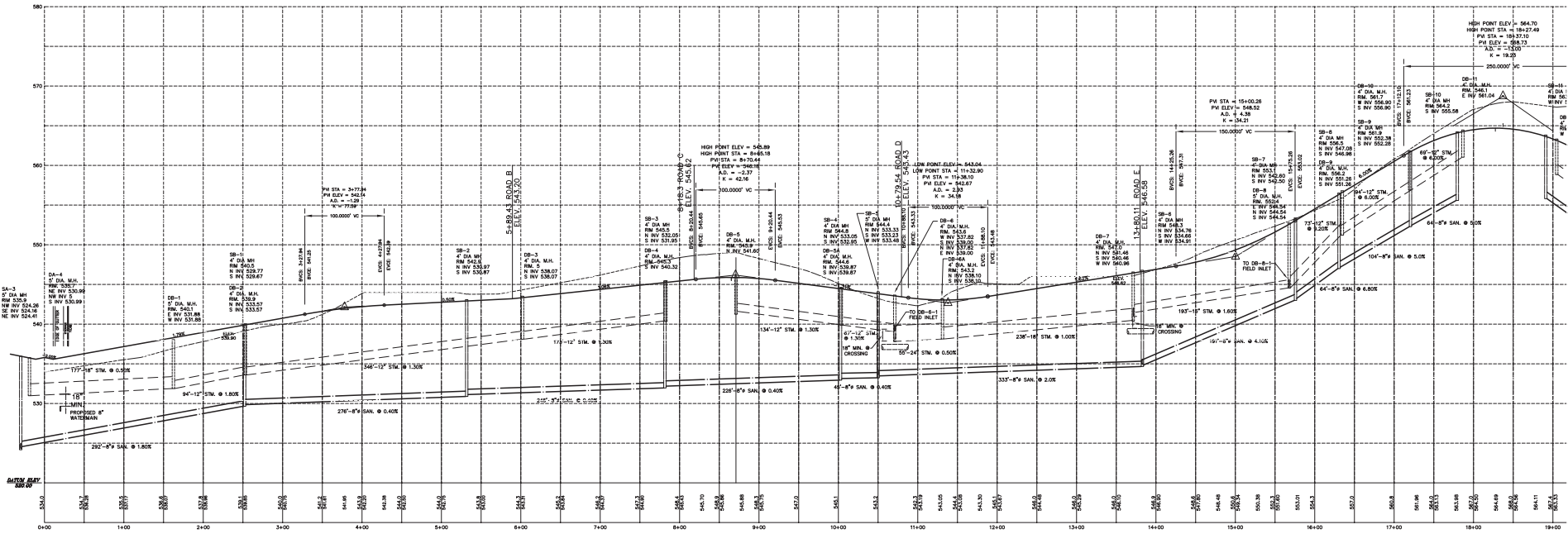
DATE: _____

CONTRACTOR: _____

| REV. | REVISION | APP. | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DSB Engineers and Architects, P.C. | |
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| | | | | | | | | | | | DATE | DATE |
| | | | | | | | | | | | THE FAIRWAYS AT RIVERTON | |
| GRADING PLAN | | | | | | | | | | | | |
| CLIENT: _____ | | | | | | | | | | | | |
| PROJECT: _____ | | | | | | | | | | | | |
| SITE: _____ | | | | | | | | | | | | |
| SCALE: _____ | | | | | | | | | | | | |



ROAD A
SCALE:
HORIZ. 1"=50'
VERT. 1"=5'



ROAD B
SCALE:
HORIZ. 1"=50'
VERT. 1"=5'

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THE FAIRWAYS AT RIVERTON
PROFILES

DSB Engineers and Architects, P.C.
2284 Belfrage Avenue, Suite 200, Basking Ridge, NJ 07005
Tel: 908-851-2222 Fax: 908-851-2244

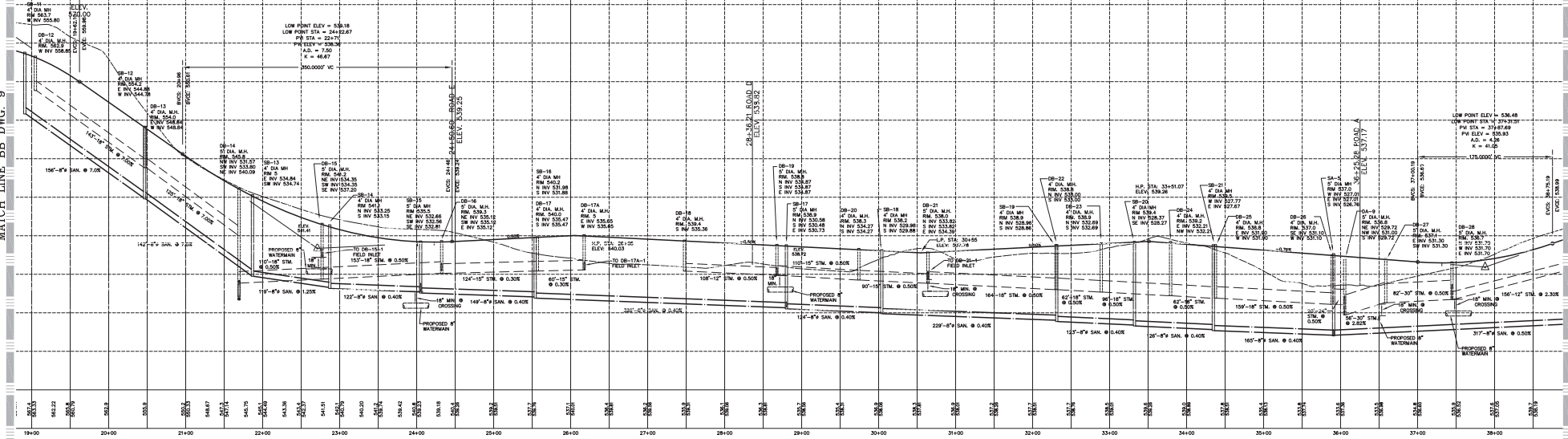
PROJECT: THE FAIRWAYS AT RIVERTON
PROF. OF ROAD A, ROAD B, AND CROSSING OF ROAD A OVER ROAD B

CADRE: PROFILE CROSS SECTION COMP. NEW CROSS SECTION INCL. ROAD A & B

DATE: 08/11/10

MATCH LINE BB DWG. 9

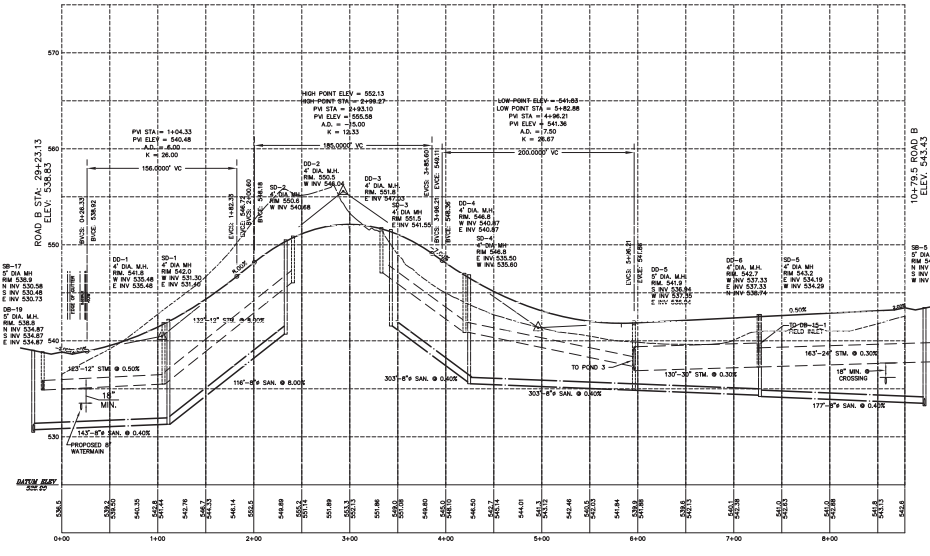
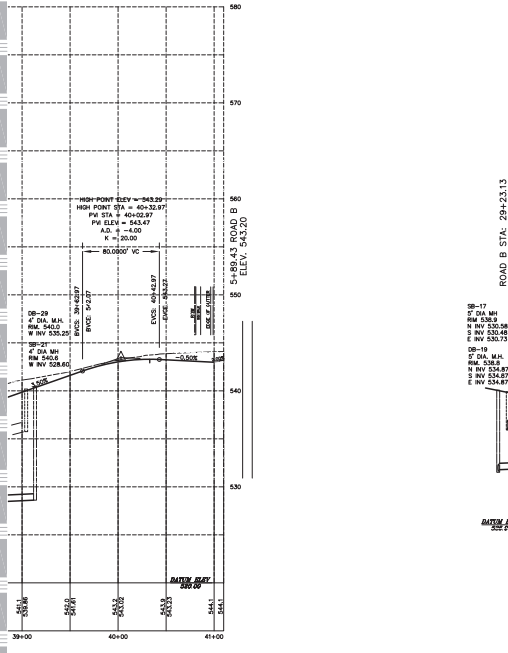
MATCH LINE B



ROAD B
SCALE:
HORIZ. 1"=50'
VERT. 1"=5'

ROAD B
SCALE:
HORIZ. 1"=50'
VERT. 1"=5'

MATCH LINE B



ROAD D
SCALE:
HORIZ. 1"=50'
VERT. 1"=5'

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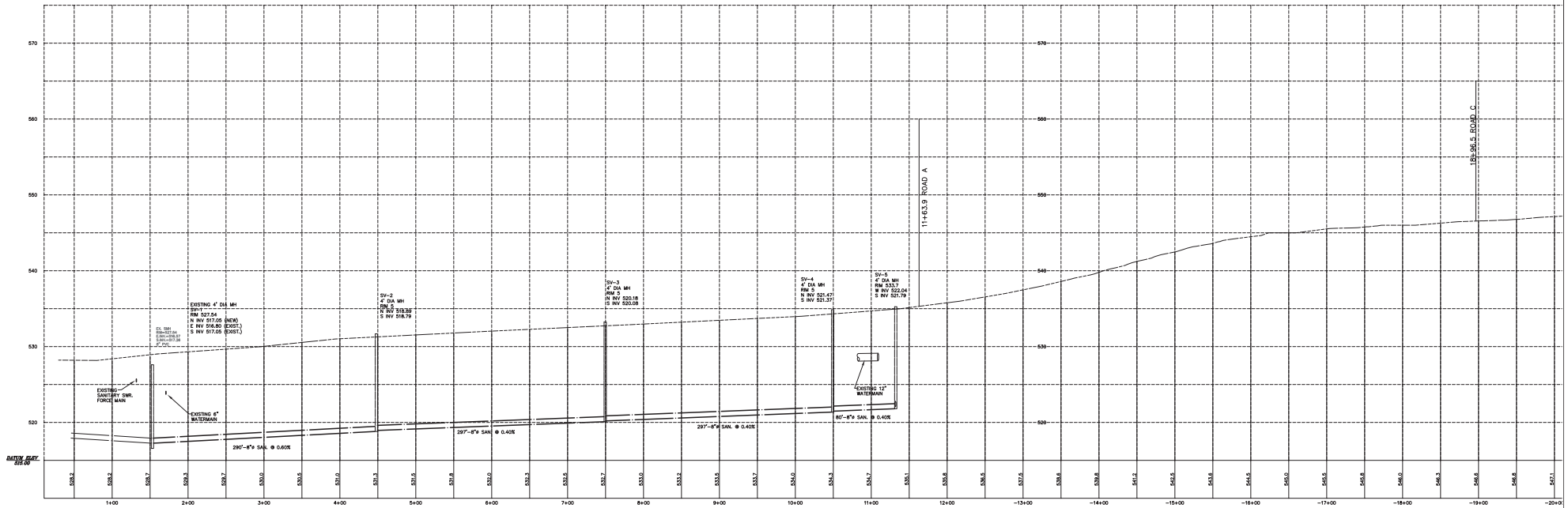


DSB Engineers and Architects, P.C.
3200 Midway Avenue, Suite 200, Riverton, Utah 84065
TEL: 801-438-2222 FAX: 801-438-2222

PROJECT
THE FAIRWAYS AT RIVERTON
FAIRWAY ELEV. PROFILES

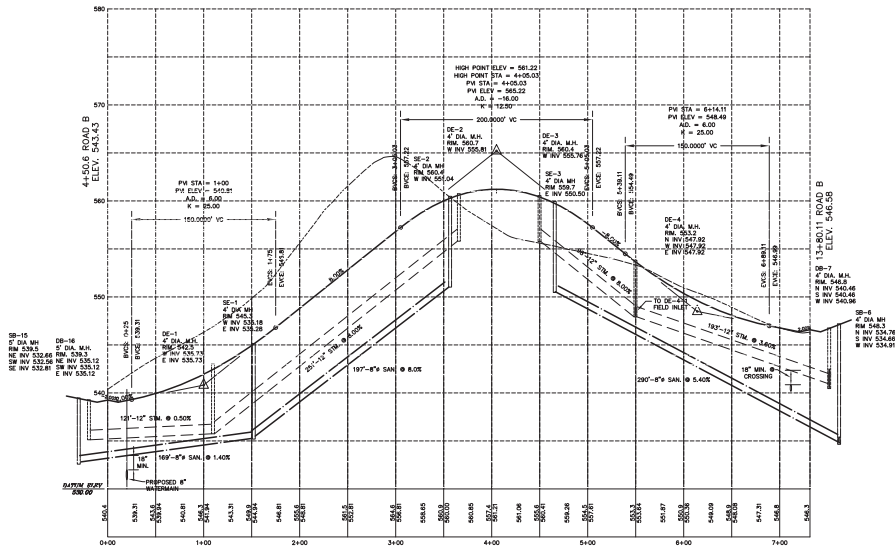
CLIENT HUNTER-COOPER, RIVERTON, UTAH
DATE 08/11/11
SCALE 1"=50'

DESIGNED BY J. HARRIS
CHECKED BY J. HARRIS
DATE 08/11/11



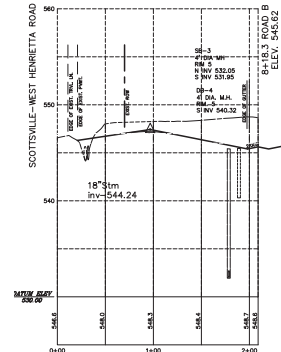
SCOTTVILLE-WEST HENRIETTA ROAD

SCALE:
HORIZ. 1"=50'
VERT. 1"=5'



ROAD E

SCALE:
HORIZ. 1"=50'
VERT. 1"=5'



ROAD C

SCALE:
HORIZ. 1"=50'
VERT. 1"=5'

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THE FAIRWAYS AT RIVERTON

PROFILES

DSB Engineers and Architects, P.C.

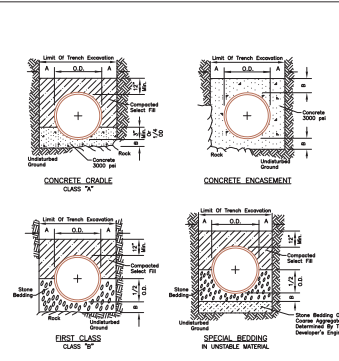
1000 Rte. 9W, Suite 200
Riverton, NY 14559

PROJECT: THE FAIRWAYS AT RIVERTON

DATE: 10/20/14

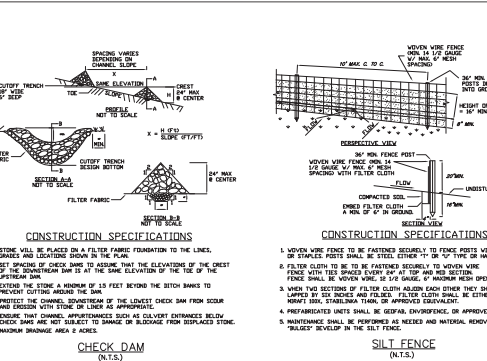
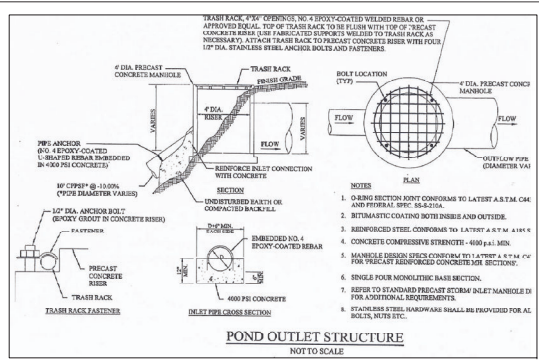
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DATE: 10/20/14



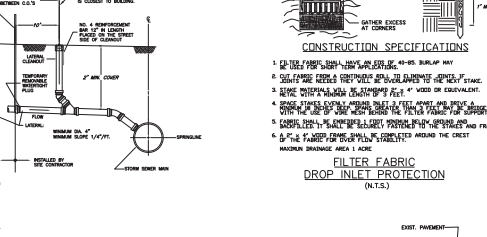
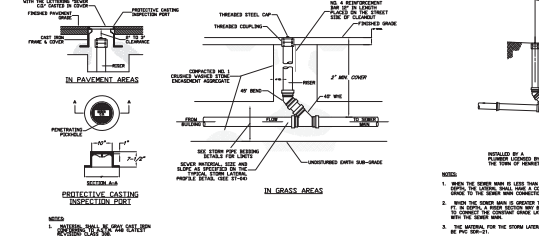
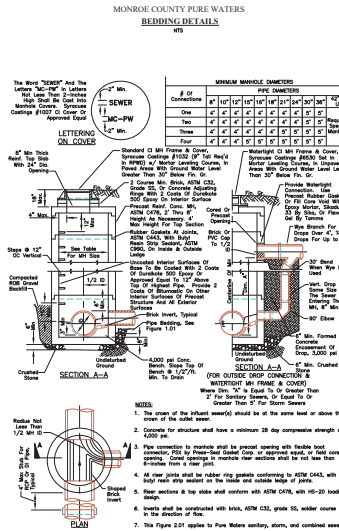
NEEDS

| PIPE DIA. | DIM. A | DIM. B | DIM. C |
|------------|--------|--------|--------|
| UP TO 18" | 1.0' | 6" | 1.0' |
| 24" TO 36" | 1.5' | 6" | 1.5' |
| OVER 36" | 1.5' | 12" | 1.5' |



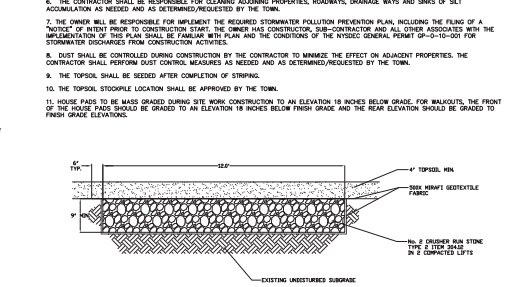
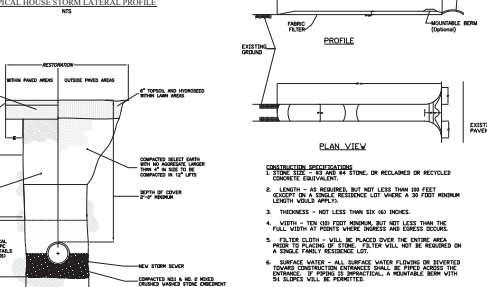
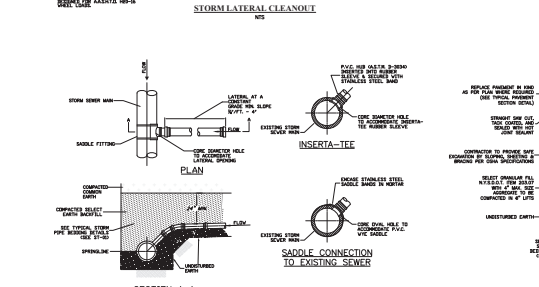
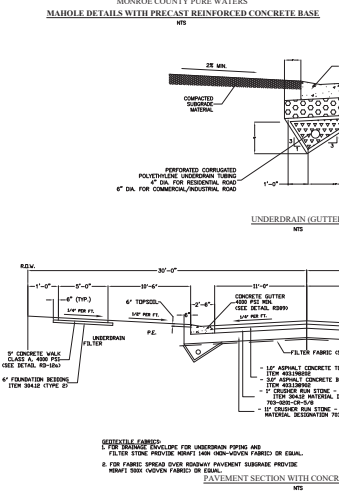
GRADING & EROSION CONTROL NOTES:

- CONTRACTOR SHALL CLEAR THE PERIMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL MEASURES TO BE MAINTAINED BY THE CONTRACTOR UNTIL SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED AND MINORLY IS APPROVED BY THE TOWN. CRUSHED STONE STABILIZATION PADS TO BE PLACED AT THE CONSTRUCTION ENTRANCES, IF BUILDING AND SITE WORK TO BE SEQUENTIAL, CLEARING LIMITS SHOULD NOT EXCEED WIDTH NECESSARY TO CONSTRUCT EACH SECTION OF CONSTRUCTION.
- THE REBAR OF THE SITE IS TO BE CLEANED AND GRUBBED AS DIRECTED BY THE ENGINEER. APPROVAL FOR ANY ON-SITE BURIAL MUST BE OBTAINED FROM THE TOWN PRIOR TO CONSTRUCTION WORK-OVER OTHER DEVICES SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH CURRENT INTERIOR REGULATIONS.
- WORK AREAS TO BE FORMED FROM DISTURBED AREAS AND STABILIZED IN AREAS DESIGNATED BY THE OWNER AND/OR ENGINEER. THE TOWN CONTRACTOR IS TO PERFORM THE EARTHWORK MARKING AND LAYOUT AS SHOWN ON THE PLANS AND PER FIVE FOOT STAKEOUT. UPON COMPLETION OF HOUSE CONSTRUCTION, TOPSOIL SHALL BE REPLACED TO A DEPTH OF 6" (6) INCHES ABOVE FINISHED GRADE.
- IF AN EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE OBTAINED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEEDED. SLOPES SHALL BE SEEDING AS SOON AS POSSIBLE AFTER THE COMPLETION OF WORK.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR MAINTAINED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY HAS CEASED. THE SOIL STABILIZATION MEASURES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARDS, INTERIOR.
- UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES AND STORM DRAIN PIPES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY PRIOR TO MAJOR CONSTRUCTION OR ALTERING ANY EXISTING UTILITIES.
- THE FURNISHED SUBSTRATE SHALL BE PLACED AND COMPACTED TO ITS MAXIMUM DENSITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF ANY STRUCTURE BECOMES CLOGGED, NONPERMANENT, OR DAMAGED. STORM DRAIN SHALL BE INSPECTED AT BI-MONTHLY INTERVALS OF THREE MONTHS FOR REPLACEMENT AND REPLACEMENT WILL BE OBTAINED BY THE CONTRACTOR. EROSION CONTROL AND EROSION CONTROL DEVICES SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH CURRENT INTERIOR REGULATIONS.
- EXISTING UNDERGROUND UTILITIES SHALL BE IDENTIFIED AND/OR MAINTAINED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY HAS CEASED. THE SOIL STABILIZATION MEASURES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARDS, INTERIOR.
- CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT.
- ALL DIRT OR SEDIMENT ACCUMULATED IN EXISTING SWALES, STORM SEWERS, STREET AND/OR OUTLETINGS SHALL BE CLEANED OUT DURING CONSTRUCTION.
- EXISTING AREAS SHALL BE STABILIZED, AND SLOPES GREATER THAN 1:1:1 SHALL BE REPAIRED TO CONFORMANCE WITH THE TECHNICAL STANDARDS, INTERIOR.



CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES. SPACES AND SECTIONS SHALL BE IN THE PLANS.
- SEEDING SHALL BE PLACED WITHIN 72 HOURS OF THE COMPLETION OF THE STABILIZATION WORK.
- SEEDING SHALL BE PLACED WITHIN 72 HOURS OF THE COMPLETION OF THE STABILIZATION WORK.
- SEEDING SHALL BE PLACED WITHIN 72 HOURS OF THE COMPLETION OF THE STABILIZATION WORK.



UNDERDRAIN GUTTER

STANDARD CONCRETE GUTTER

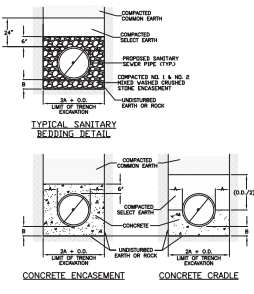
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DSB Engineers and Architects, P.C.

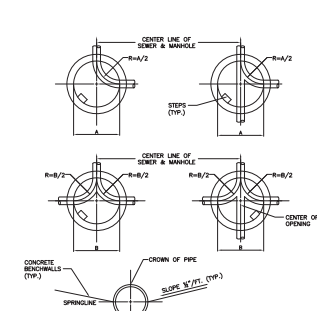
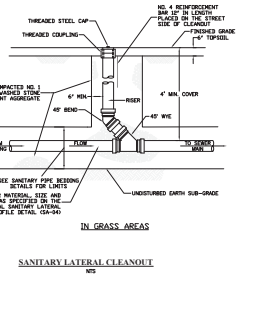
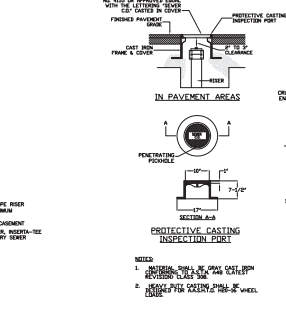
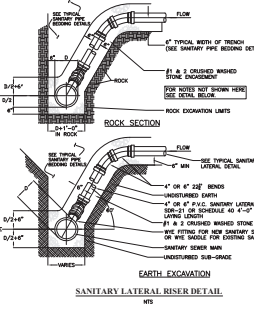
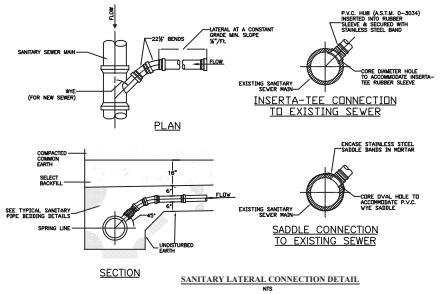
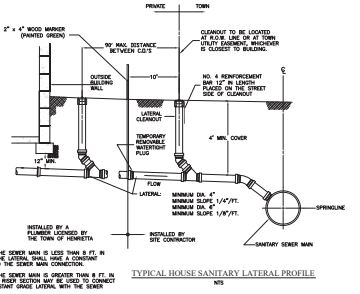
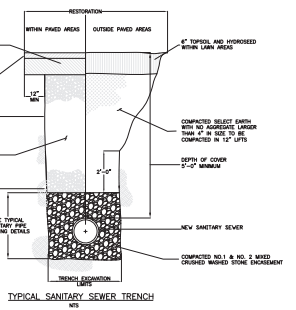
1500 PLEASANT HARBOR DRIVE, SUITE 100
NORTH ANDOVER, MASSACHUSETTS 01854-2118
(978) 851-0800

THE FAIRWAYS AT RIVERTON

DETAILS AND NOTES

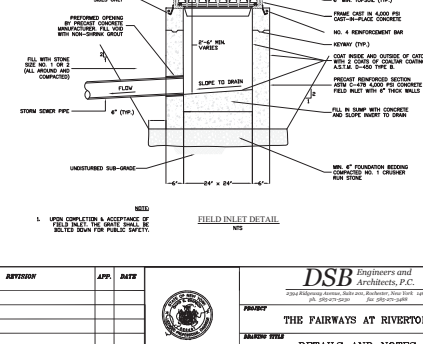
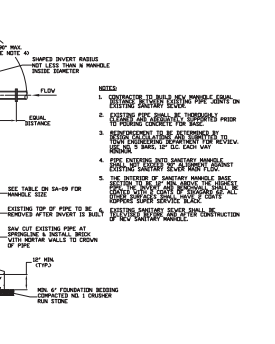
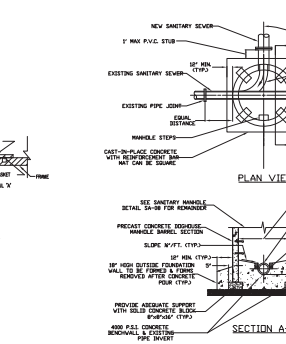
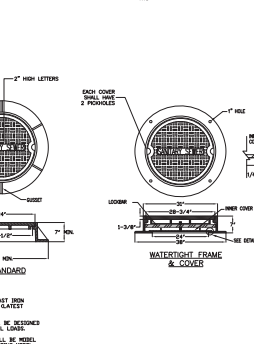
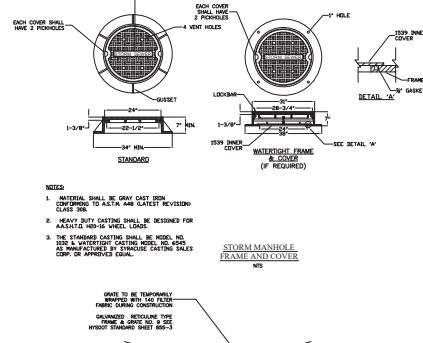
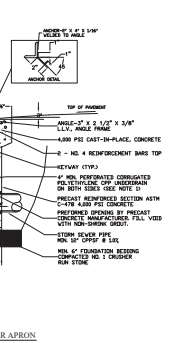
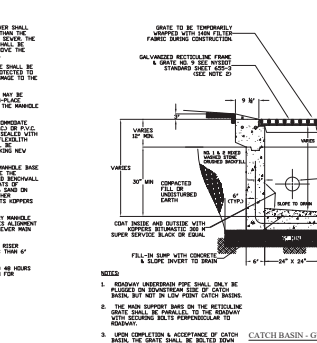
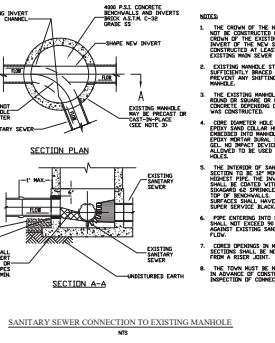
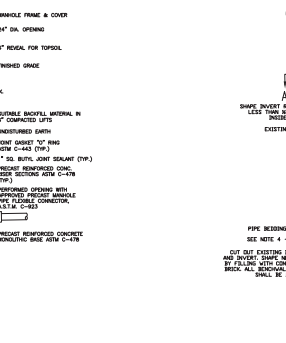
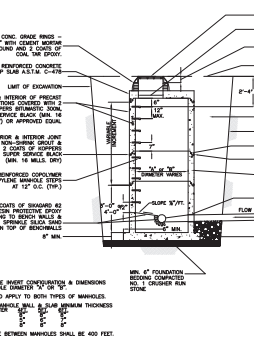
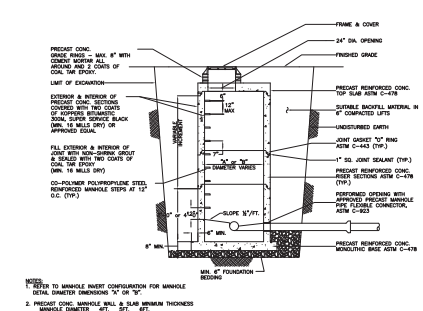


- PIPE DIA. A B
- | | | |
|------------|-----|-----|
| UP TO 14" | 12" | 8" |
| 14" TO 18" | 14" | 10" |
| 18" TO 24" | 18" | 14" |
- ALL SANITARY SEWER PIPE SHALL BE 4" MINIMUM PIPE SIZE. ALL VERTICAL SANITARY PIPE SHALL BE 4" MINIMUM PIPE SIZE. ALL HORIZONTAL SANITARY PIPE SHALL BE 4" MINIMUM PIPE SIZE. ALL SANITARY SEWER PIPE SHALL BE 4" MINIMUM PIPE SIZE. ALL SANITARY SEWER PIPE SHALL BE 4" MINIMUM PIPE SIZE.
 - SELECT EARTH SHALL BE SAND GRAVEL AND STAY IN PLACE. SAND GRAVEL SHALL BE 1/2" SAND AND 1/2" GRAVEL. SAND GRAVEL SHALL BE 1/2" SAND AND 1/2" GRAVEL. SAND GRAVEL SHALL BE 1/2" SAND AND 1/2" GRAVEL.
 - STRENGTH OF FOUNDATION SHALL BE APPROVED BY ENGINEER. STRENGTH OF FOUNDATION SHALL BE APPROVED BY ENGINEER. STRENGTH OF FOUNDATION SHALL BE APPROVED BY ENGINEER.
 - CONCRETE SHALL BE CAST-IN-PLACE CLASS "B" MEETING MINIMUM SPECIFICATIONS.



| MIN. PIPE DIA. | 12" | 14" | 18" | 24" | 30" | 36" | 42" |
|----------------|-----|-----|-----|-----|-----|-----|-----|
| A | 12" | 14" | 18" | 24" | 30" | 36" | 42" |
| B | 12" | 14" | 18" | 24" | 30" | 36" | 42" |

SEE NOTE 2 FOR INVERT SLOPES



M.C.W.A. DETAILS AND NOTES
PUBLIC WATER SYSTEM NOTES

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Metropolitan Water Authority.

Materials

- Water material shall be 8 inch ductile iron cast-iron Class 50.
- Water service shall be 1/2 inch Type K copper with immediately upon service entrance into the building. On metered service requiring a 1 1/2 inch or larger meter a 2 inch water main shall be installed to the meter.
- Private Part 1" dia. P.C.

(See parenthesis notes).

- Water material shall be installed in accordance with the regulations and specifications of the Metropolitan Water Authority.
- All gate valves shall have stainless steel body and bonnet bolts.

Tests

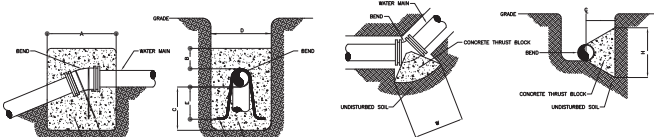
- Soil Test. The contractor shall provide a soil test procedure to determine the need for polyethylene encasement per ANSI/AWWA C153-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test. Water mains to be pressure tested in accordance with the latest Water Authority specifications. Test pressure shall be 200 p.s.i.
- Water Authority representative must approve this test.

- Health Service. The water main shall be disinfected equal to AWWA Standard Specification designation C-451, by using the continuous flow method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Monroe County Health Department. Fire hydrants are not acceptable sampling points. Approval and notification by the health department must be received before the main is placed in service.

Installation

- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.

- Minimum vertical separation between water main and sewer main shall be 18" measured from the outside of the pipe at the point of crossing. Minimum horizontal separation between water main and sewer main shall be ten feet measured from the outside of the pipe. One foot length of water main shall be covered under or over the sewer as that main passes over or under the sewer. (See separate drawings.) All water pipe shall be covered under a 6 inch concrete curb with 2 inch concrete base and 2 inch concrete curb on the outside of the water main.
- Fire hydrant service lines (lines) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All manhole joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks.



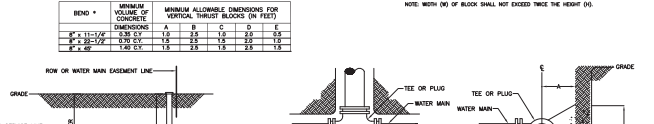
HORIZONTAL THRUST BLOCK FOR BENDS
NOT TO SCALE



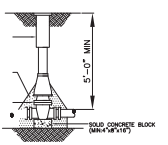
VERTICAL THRUST BLOCK
NOT TO SCALE

| MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET) | | | | | |
|---|-----|-----|-----|-----|-----|
| FITTING | | B | W | A | D |
| 6" x 4" TEE | 1.5 | 2.0 | 1.5 | 1.5 | 1.5 |
| 6" x 3" TEE | 1.5 | 1.5 | 1.5 | 1.5 | 1.5 |
| 8" x 6" TEE | 2.0 | 2.5 | 2.0 | 2.0 | 2.0 |
| 10" x 8" TEE | 2.5 | 3.0 | 2.5 | 2.5 | 2.5 |
| 12" x 10" TEE | 3.0 | 3.5 | 3.0 | 3.0 | 3.0 |

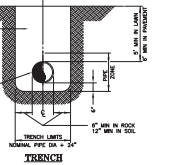
NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (D).



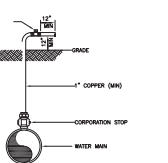
HORIZONTAL THRUST BLOCK FOR TEES AND PLUGS
NOT TO SCALE



SERVICE INSTALLATION
NOT TO SCALE



TRENCH
NOT TO SCALE



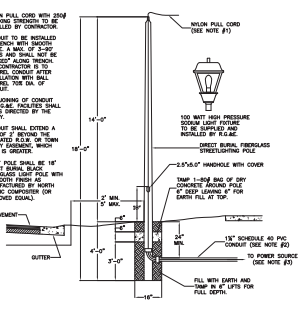
VALVE
NOT TO SCALE

- 1. VALVE BOX SHALL BE CONTAINED IN VALVE AND SET ON COMPACTED BACKFILL.
- 2. VALVE SHALL NOT SUPPORT VALVE BOX.
- 3. ALL BOLT AND NUT SHALL BE STAINLESS STEEL.
- 4. ALL VALVES SHALL BE OPEN LEFT EXCEPT VALVES 12" AND SMALLER INSTALLED IN THE TOWN OF RIVERTON (WHICH SHALL BE OPEN RIGHT).

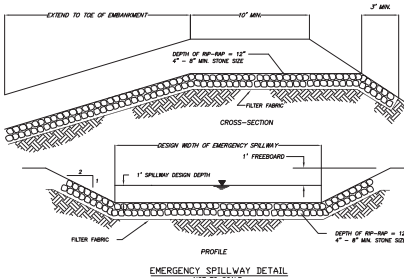


PERPENDICULAR HYDRANT ASSEMBLY
NOT TO SCALE

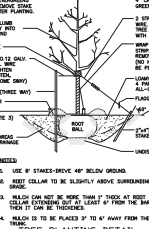
DISINFECTION/BLOW-OFF/SAMPLING TAP
NOT TO SCALE



TYPICAL STREET LIGHT POLE & CONDUIT INSTALLATION
N.T.S.



EMERGENCY SPILLWAY DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
N.T.S.

STANDARD CONCRETE SIDEWALK
N.T.S.

GENERAL UTILITY NOTES

1. THE MATERIAL SHALL BE PRESSURE/LEASE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LOCAL STANDARD CODE (LATEST EDITION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.
2. THE WATER MAIN SHALL BE WATERTESTED TO 100 PSI. STANDARDS FOR SUBJECTING WATER MAINS TO PRESSURE TESTS (LATEST EDITION), FOLLOWING THE WATER MAIN SHALL BE FLOUSED AND THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. ALL WATER MAIN FITTINGS AND CONNECTIONS SHALL BE PROTECTED AGAINST THE LOSS OF WATER IN THE EVENT OF A LEAK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN PERMISSION FOR SUBJECTING WATER MAINS TO PRESSURE TESTS FROM THE TOWN OF RIVERTON. THE TOWN OF RIVERTON SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE. NOTICE REQUESTING PERMISSION TO TEST SHALL BE SUBMITTED TO THE TOWN OF RIVERTON OFFICE OF PUBLIC WORKS AT LEAST 14 DAYS BEFORE THE DATE OF TESTING. THE TOWN OF RIVERTON SHALL BE NOTIFIED AT LEAST 7 DAYS BEFORE THE DATE OF TESTING.
4. ALL UTILITIES SHALL BE MARKED AND IDENTIFIED TO THE TOWN OF RIVERTON OFFICE OF PUBLIC WORKS AT LEAST 14 DAYS BEFORE THE DATE OF TESTING. THE TOWN OF RIVERTON SHALL BE NOTIFIED AT LEAST 7 DAYS BEFORE THE DATE OF TESTING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.
6. ALL UTILITIES SHALL BE MARKED AND IDENTIFIED TO THE TOWN OF RIVERTON OFFICE OF PUBLIC WORKS AT LEAST 14 DAYS BEFORE THE DATE OF TESTING. THE TOWN OF RIVERTON SHALL BE NOTIFIED AT LEAST 7 DAYS BEFORE THE DATE OF TESTING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.
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SANITARY SEWER EXTENSION NOTES

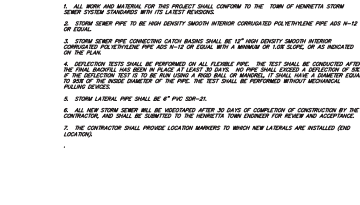
1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF RIVERTON SANITARY SEWER SYSTEM STANDARDS WITH TO LATEST REVISIONS.
2. SANITARY SEWER PIPE SHALL BE 4\"/>
3. SANITARY SEWER PIPE SHALL BE 4\"/>
4. SANITARY SEWER PIPE SHALL BE 4\"/>
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7. SANITARY SEWER PIPE SHALL BE 4\"/>
8. SANITARY SEWER PIPE SHALL BE 4\"/>
9. SANITARY SEWER PIPE SHALL BE 4\"/>
10. SANITARY SEWER PIPE SHALL BE 4\"/>

SITE GENERAL NOTES

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION AND DETAILS SET FORTH BY THE TOWN OF RIVERTON, A CITY AND VILLAGE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.
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4. ALL COSTS RELATED TO THE RELOCATION OF EXISTING UTILITIES NECESSARY TO COMPLY WITH THE SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF RIVERTON SPECIFICATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.
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STORM SEWER NOTES

1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF RIVERTON STORM SEWER SYSTEM STANDARDS WITH TO LATEST REVISIONS.
2. STORM SEWER PIPE SHALL BE 6\"/>
3. STORM SEWER PIPE SHALL BE 6\"/>
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10. STORM SEWER PIPE SHALL BE 6\"/>



TYPE B RAMP ISOMETRIC
N.T.S.

SECTION B-B
N.T.S.



DETECTABLE WARNING STRIPS
N.T.S.

DETECTABLE WARNING RAMP
N.T.S.

R.O.W. MONUMENT INSTALLATION TYPE A
N.T.S.

TYPICAL SERVICE LAYOUT FOR SINGLE FAMILY HOUSE
N.T.S.

DRIVEWAY LOCATION
N.T.S.

| NO. | REVISION | APP. | DATE |
|-----|----------|------|------|
| | | | |
| | | | |
| | | | |
| | | | |

DSB Engineers and Architects, P.C.
2025 Main Street, Riverton, UT 84065
TEL: 313-595-2500 FAX: 313-595-2501

THE FAIRWAYS AT RIVERTON
DETAILS AND NOTES

SCALE: 1/4" = 1'-0" HORIZONTAL
1/2" = 1'-0" VERTICAL

