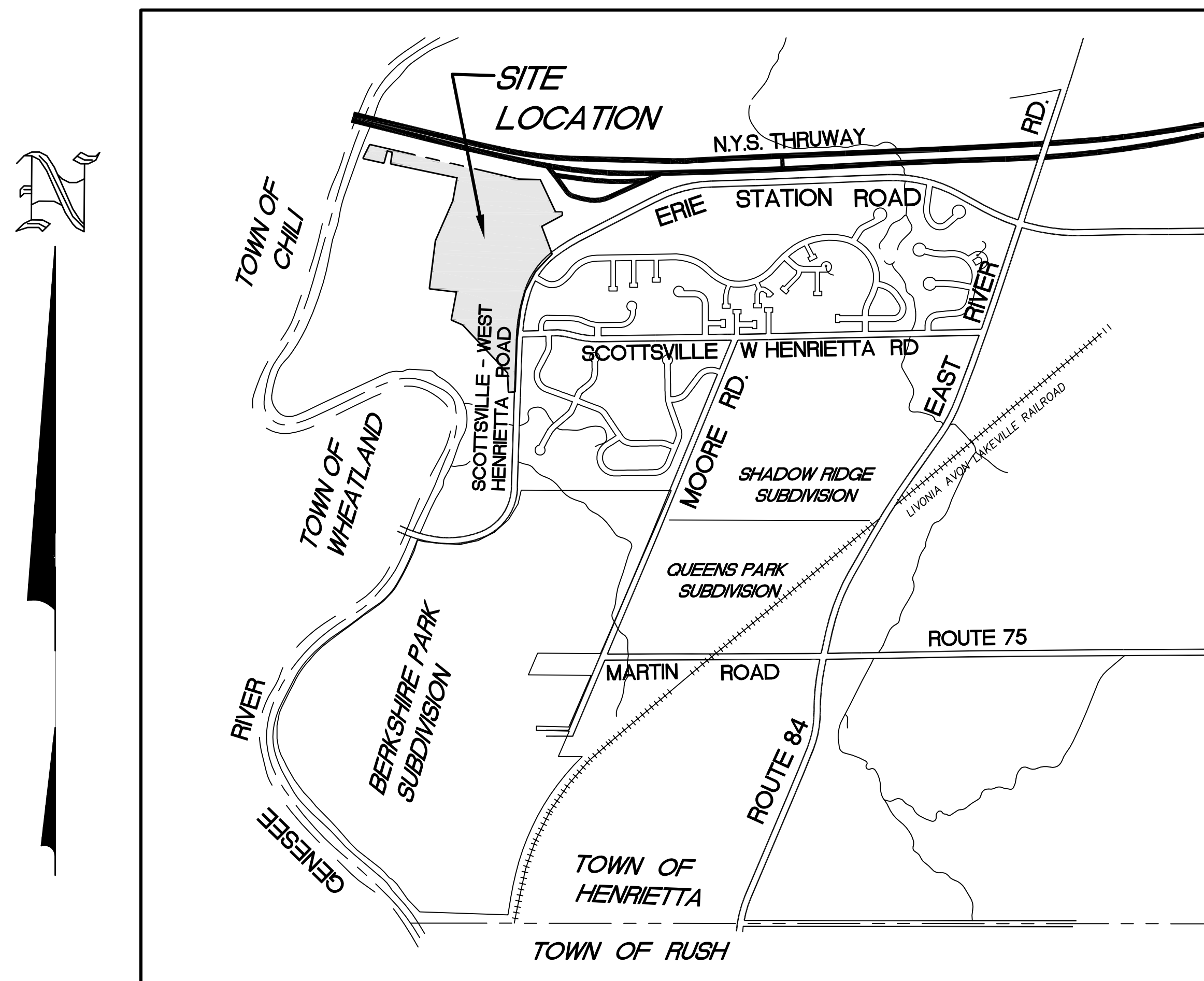


# THE FAIRWAYS AT RIVERTON SUBDIVISION PHASE 2 PLANS

TOWN OF HENRIETTA  
COUNTY OF MONROE  
STATE OF NEW YORK



LOCATION SKETCH

N.T.S.


## INDEX OF DRAWINGS:

DRAWING NO. DRAWING NAME

1 OF 16	COVER SHEET
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5 OF 16	GRADING & EROSION CONTROL PLAN
6 OF 16	LANDSCAPE AND LIGHTING PLAN
7-8 OF 16	PROFILES
9-16 OF 16	DETAILS & NOTES

APPL. NO. PB-332.1

NO.	REVISION	DATE



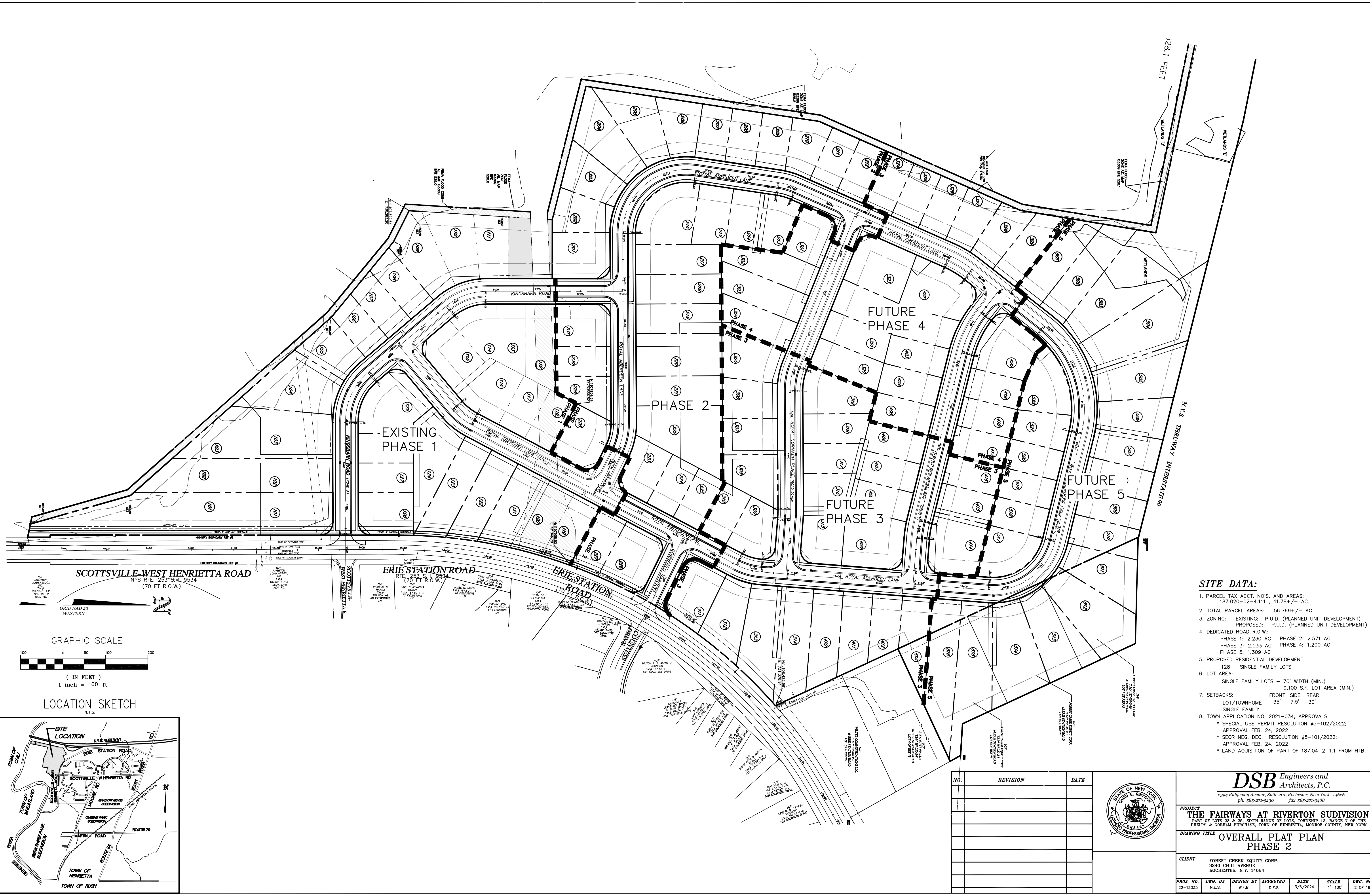
**DSB** Engineers and  
Architects, P.C.  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION**  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
PHELPS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
**COVER SHEET**  
**PHASE 2**

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

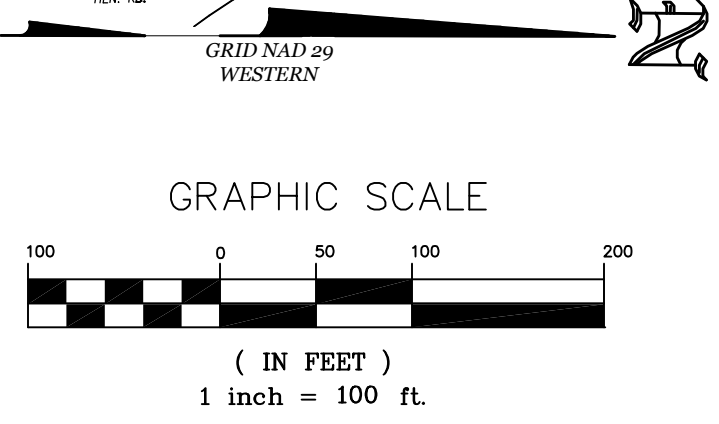
PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	1 OF 16



- SITE DATA:**
- PARCEL TAX ACCT. NO'S. AND AREAS:  
187.020-02-4.111, 41.78+/- AC.
  - TOTAL PARCEL AREAS: 56.769+/- AC.
  - ZONING: EXISTING: P.U.D. (PLANNED UNIT DEVELOPMENT)  
PROPOSED: P.U.D. (PLANNED UNIT DEVELOPMENT)
  - DEDICATED ROAD R.O.W.:  
PHASE 1: 2.230 AC    PHASE 2: 2.571 AC  
PHASE 3: 2.033 AC    PHASE 4: 1.200 AC  
PHASE 5: 1.309 AC
  - PROPOSED RESIDENTIAL DEVELOPMENT:  
128 - SINGLE FAMILY LOTS
  - LOT AREA:  
SINGLE FAMILY LOTS - 70' WIDTH (MIN.)  
9,100 S.F. LOT AREA (MIN.)
  - SETBACKS: FRONT SIDE REAR  
LOT/TOWNHOME 35' 7.5' 30'  
SINGLE FAMILY
  - TOWN APPLICATION NO. 2021-034, APPROVALS:  
    - SPECIAL USE PERMIT RESOLUTION #5-102/2022; APPROVAL FEB. 24, 2022
    - SEQR NEG. DEC. RESOLUTION #5-101/2022; APPROVAL FEB. 24, 2022
    - LAND ACQUISITION OF PART OF 187.04-2-1.1 FROM HTB.

SCOTTSVILLE-WEST HENRIETTA ROAD  
NYS RTE. 253 SH. 9534  
(70 FT R.O.W.)

ERIE STATION ROAD  
RTE. 253 SH. 9534  
(70 FT R.O.W.)



NO.	REVISION	DATE



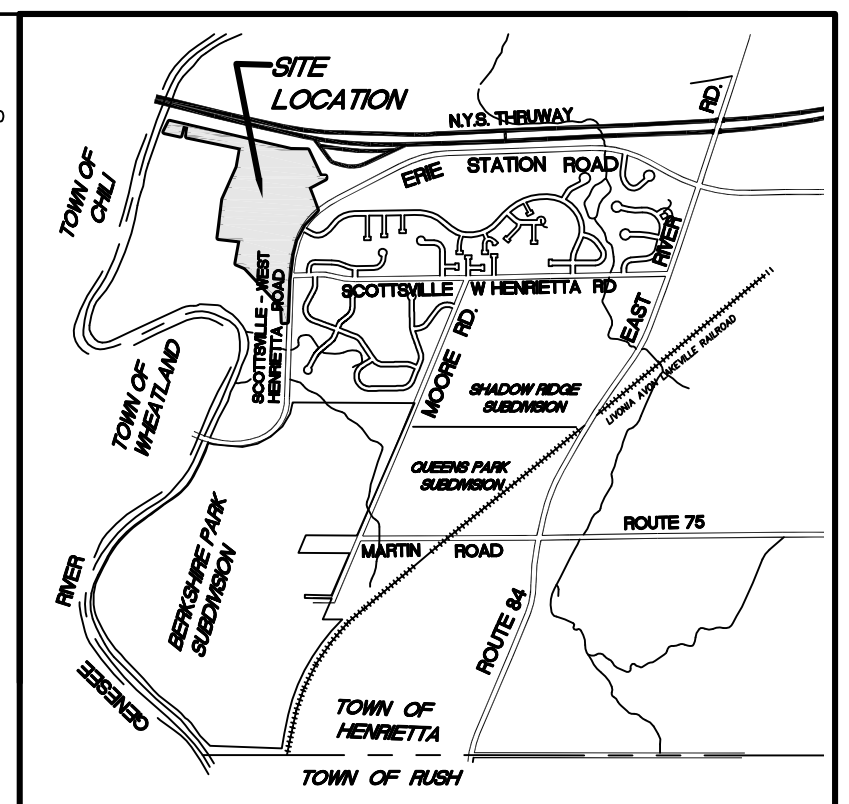
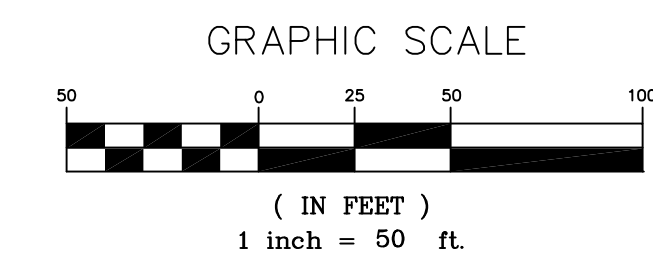
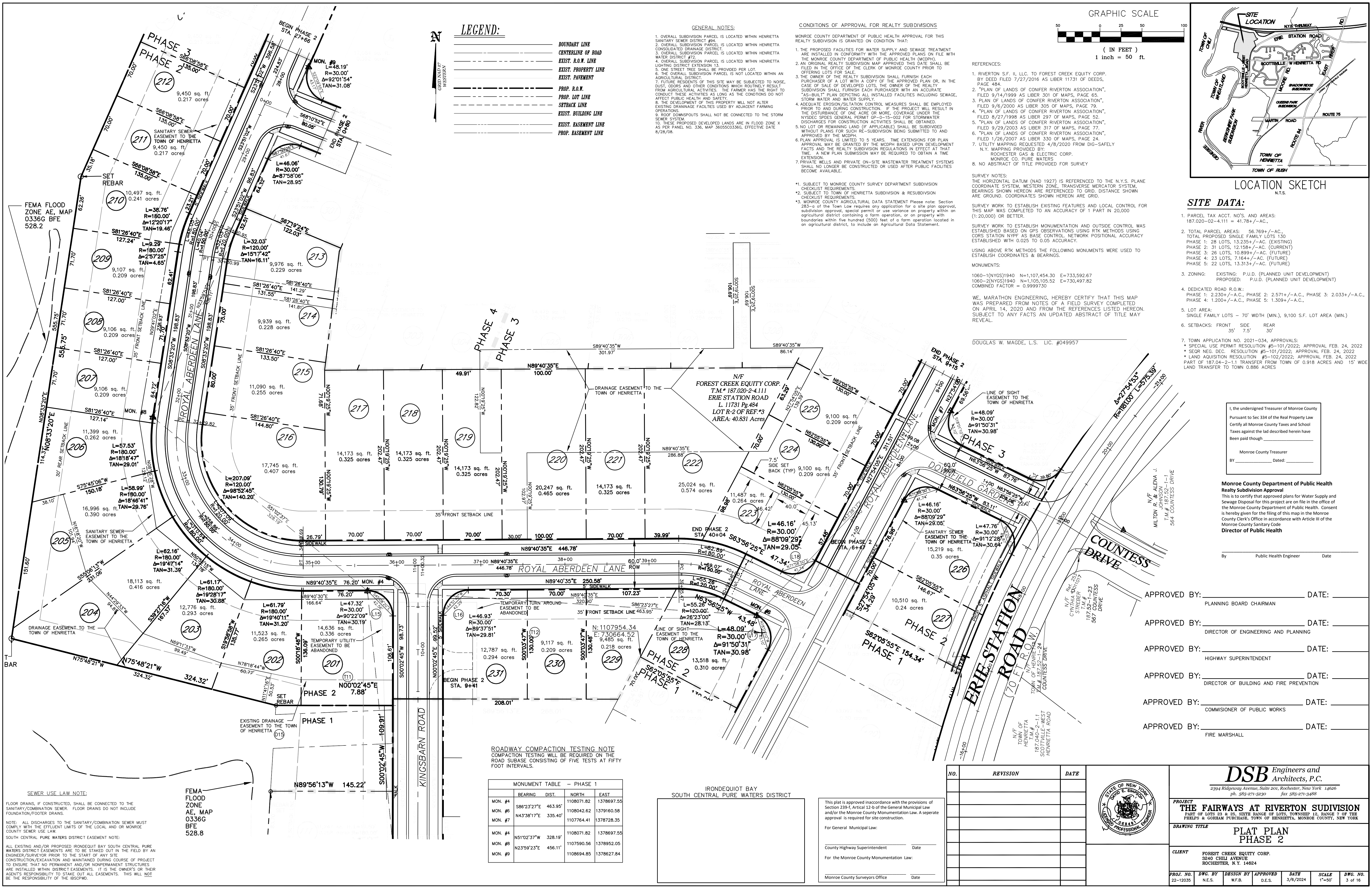
**DSB Engineers and Architects, P.C.**  
2304 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
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**PROJECT**  
THE FAIRWAYS AT RIVERTON SUDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
FIRBILLS & GOSHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
OVERALL PLAT PLAN  
PHASE 2

**CLIENT**  
FORST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=100'	2 OF 16



**LEGEND:**

- BOUNDARY LINE
- CENTERLINE OF ROAD
- EXIST. R.O.W. LINE
- EXIST. PROPERTY LINE
- EXIST. PAVEMENT
- PROP. R.O.W.
- PROP. LOT LINE
- SETBACK LINE
- EXIST. BUILDING LINE
- EXIST. BASEMENT LINE
- PROP. BASEMENT LINE

**GENERAL NOTES:**

1. OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA SANITARY SEWER DISTRICT #4.
2. OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA CONSOLIDATED DRAINAGE DISTRICT.
3. OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA WATER DISTRICT #7.
4. OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA LIGHTING DISTRICT EXTENSION 13.
5. ONE STREET TREE SHALL BE PROVIDED PER LOT.
6. THE OVERALL SUBDIVISION PARCEL IS NOT LOCATED WITHIN AN AGRICULTURAL DISTRICT.
7. FUTURE RESIDENTS OF THIS SITE MAY BE SUBJECT TO NOISE, DUST, ODORS AND OTHER CONDITIONS WHICH ROUTINELY RESULT FROM AGRICULTURAL ACTIVITIES. THE FARMER HAS THE RIGHT TO CONDUCT THESE ACTIVITIES AS LONG AS THE CONDITIONS DO NOT AFFECT PUBLIC HEALTH AND SAFETY.
8. THE DEVELOPMENT OF THIS PROPERTY WILL NOT ALTER EXISTING DRAINAGE FACILITIES USED BY ADJACENT FARMING OPERATIONS.
9. ROOF DOWNSPOUTS SHALL NOT BE CONNECTED TO THE STORM EXISTING DRAINAGE FACILITIES USED BY ADJACENT FARMING OPERATIONS.
10. THESE PROPOSED DEVELOPED LANDS ARE IN FLOOD ZONE X AS PER PANEL NO. 336, MAP 3605603360, EFFECTIVE DATE 8/28/08.

**CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS**

1. THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE TREATMENT ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCDPH).
2. AN ORIGINAL REALTY SUBDIVISION MAP APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
3. THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN OR, IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS-BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SEWAGE, STORM WATER AND WATER SUPPLY.
4. ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT GP-0-15-002 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.
5. NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MCDPH.
6. PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE MCDPH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
7. PRIVATE WELLS AND PRIVATE ON-SITE WASTEWATER TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED AFTER PUBLIC FACILITIES BECOME AVAILABLE.

**REFERENCES:**

1. RIVERTON S.F. II, LLC. TO FOREST CREEK EQUITY CORP. BY DEED FILED 7/27/2016 AS LIBER 11731 OF DEEDS, PAGE 484.
2. "PLAN OF LANDS OF CONFIER RIVERTON ASSOCIATION", FILED 9/14/1999 AS LIBER 301 OF MAPS, PAGE 65.
3. "PLAN OF LANDS OF CONFIER RIVERTON ASSOCIATION", FILED 9/16/2000 AS LIBER 305 OF MAPS, PAGE 79.
4. "PLAN OF LANDS OF CONFIER RIVERTON ASSOCIATION", FILED 8/27/1998 AS LIBER 297 OF MAPS, PAGE 52.
5. "PLAN OF LANDS OF CONFIER RIVERTON ASSOCIATION", FILED 9/29/2003 AS LIBER 317 OF MAPS, PAGE 77.
6. "PLAN OF LANDS OF CONFIER RIVERTON ASSOCIATION", FILED 1/26/2007 AS LIBER 330 OF MAPS, PAGE 24.
7. UTILITY MAPPING REQUESTED 4/8/2020 FROM DIG-SAFELY N.Y. MAPPING PROVIDED BY: ROCHESTER GAS & ELECTRIC CORP. MONROE CO. PURE WATERS
8. NO ABSTRACT OF TITLE PROVIDED FOR SURVEY

**SURVEY NOTES:**

THE HORIZONTAL DATUM (NAD 1927) IS REFERENCED TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. COORDINATES SHOWN HEREON ARE GRID.

SURVEY WORK TO ESTABLISH EXISTING FEATURES AND LOCAL CONTROL FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER.

SURVEY WORK TO ESTABLISH MONUMENTATION AND OUTSIDE CONTROL WAS ESTABLISHED BASED ON GPS OBSERVATIONS USING RTK METHODS USING CORS STATION NYFP AS BASE CONTROL. NETWORK POSITIONAL ACCURACY ESTABLISHED WITH 0.025 TO 0.05 ACCURACY.

USING ABOVE RTK METHODS THE FOLLOWING MONUMENTS WERE USED TO ESTABLISH COORDINATES & BEARINGS.

**MONUMENTS:**

- 1060-(NYCS)1940 N=1,107,454.30 E=733,592.67
- 1060-(NYCS)1940 N=1,105,105.52 E=730,497.82
- COMBINED FACTOR = 0.9999730

WE, MARATHON ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON APRIL 14, 2020 AND FROM THE REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049957

**SITE DATA:**

1. PARCEL TAX ACCT. NO.'S AND AREAS: 187,020-02-4.111 = 41.78+/-AC.
2. TOTAL PARCEL AREAS: 56,769+/-AC. TOTAL PROPOSED SINGLE FAMILY LOTS 130 PHASE 1: 28 LOTS, 13,235+/-AC. (EXISTING) PHASE 2: 31 LOTS, 12,158+/-AC. (CURRENT) PHASE 3: 26 LOTS, 10,899+/-AC. (FUTURE) PHASE 4: 23 LOTS, 7,164+/-AC. (FUTURE) PHASE 5: 22 LOTS, 13,313+/-AC. (FUTURE)
3. ZONING: EXISTING: P.U.D. (PLANNED UNIT DEVELOPMENT) PROPOSED: P.U.D. (PLANNED UNIT DEVELOPMENT)
4. DEDICATED ROAD R.O.W.: PHASE 1: 2.230+/-A.C. PHASE 2: 2.571+/-A.C. PHASE 3: 2.033+/-A.C. PHASE 4: 1.200+/-A.C. PHASE 5: 1.309+/-A.C.
5. LOT AREA: SINGLE FAMILY LOTS - 70' WIDTH (MIN.), 9,100 S.F. LOT AREA (MIN.)
6. SETBACKS: FRONT SIDE REAR 35' 7.5' 30'
7. TOWN APPLICATION NO. 2021-034. APPROVALS: \* SPECIAL USE PERMIT RESOLUTION #5-101/2022; APPROVAL FEB. 24, 2022 \* SEOR NEG. DEC. RESOLUTION #5-101/2022; APPROVAL FEB. 24, 2022 \* LAND ACQUISITION RESOLUTION #5-102/2022; APPROVAL FEB. 24, 2022 PART OF 187,040-2-1.1 TRANSFER FROM TOWN OF 0.915 ACRES AND 15' WIDE LAND TRANSFER TO TOWN 0.886 ACRES

I, the undersigned Treasurer of Monroe County Pursuant to Sec 334 of the Real Property Law Certify all Monroe County Taxes and School Taxes against the land described herein have been paid through

Monroe County Treasurer  
By: \_\_\_\_\_ Date: \_\_\_\_\_

Monroe County Department of Public Health  
Realty Subdivision Approval  
This is to certify that approved plans for Water Supply and Sewage Disposal for this project are on file in the office of the Monroe County Department of Public Health. Consent is hereby given for the filing of this map in the Monroe County Clerk's Office in accordance with Article 11 of the Monroe County Sanitary Code.  
Director of Public Health

By: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
HIGHWAY SUPERINTENDENT

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FIRE MARSHALL

**SEWER USE LAW NOTE:**  
FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

**FEMA FLOOD ZONE AE, MAP 0336G BFE 528.8**

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

**SOUTH CENTRAL PURE WATERS DISTRICT EASEMENT NOTE:**  
ALL EXISTING AND/OR PROPOSED IRONDEQUOT BAY SOUTH CENTRAL PURE WATERS DISTRICT EASEMENTS ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF PROJECT TO ENSURE THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN DISTRICT EASEMENTS. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE IBCSPWD.

**ROADWAY COMPACTION TESTING NOTE**  
COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

MONUMENT TABLE - PHASE 1

MON. #	BEARING	DIST.	NORTH	EAST
MON. #4	S86°23'27"E	463.95'	1108071.82	1378697.55
MON. #6	N43°38'17"E	335.40'	1108042.62	1379160.58
MON. #7	N107°64.41'		1107764.41	1378728.35
MON. #4	N51°02'37"W	328.19'	1108071.82	1378697.55
MON. #8	N107°59'23"E	456.11'	1107590.56	1378952.05
MON. #9	N108°69.84'		1108694.85	1378627.84

IRONDEQUOT BAY  
SOUTH CENTRAL PURE WATERS DISTRICT

This plat is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For General Municipal Law:  
County Highway Superintendent \_\_\_\_\_ Date \_\_\_\_\_  
For the Monroe County Monumentation Law:  
Monroe County Surveyors Office \_\_\_\_\_ Date \_\_\_\_\_

NO.	REVISION	DATE



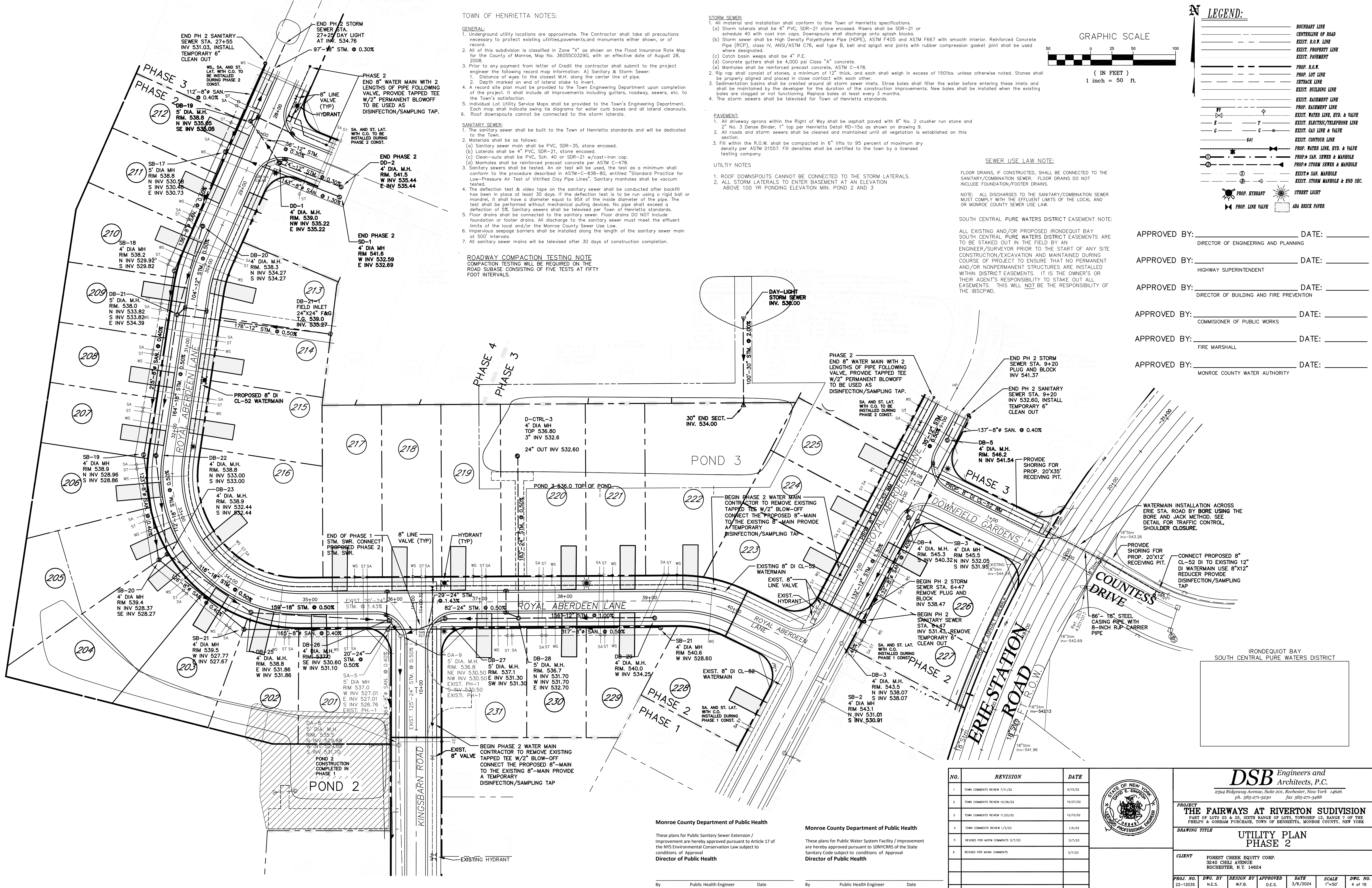
**DSB Engineers and Architects, P.C.**  
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**PROJECT**  
THE FAIRWAYS AT RIVERTON SUDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE FIELDS & CORBAN PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
PLAT PLAN  
PHASE 2

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

**PROJ. NO.** 22-12035  
**DWC. BY** N.E.S.  
**DESIGN BY** W.F.B.  
**APPROVED** D.E.S.  
**DATE** 3/6/2024  
**SCALE** 1"=50'  
**DWG. NO.** 3 of 16



**TOWN OF HENRIETTA NOTES:**

- GENERAL:**
- Underground utility locations are approximate. The Contractor shall take all precautions necessary to protect existing utilities, pavements, and monuments either shown, or of record.
  - All of this subdivision is classified in Zone "X" as shown on the Flood Insurance Rate Map for the County of Monroe, Map No. 36055C0329G, with an effective date of August 28, 2008.
  - Prior to any payment from letter of Credit the contractor shall submit to the project engineer the following record map information: A) Sanitary & Storm Sewer: 1. Distance of wyes to the closest M.H. along the center line of pipe. 2. Depth marked on end of lateral stub to invert.
  - A record site plan must be provided to the Town Engineering Department upon completion of the project. It shall include all improvements including gutters, roadway, sewers, etc. to the Town's satisfaction.
  - Individual Lot Utility Service Maps shall be provided to the Town's Engineering Department. Each map shall indicate swing tie diagrams for water curb boxes and all lateral cleanouts. 6. Roof downspouts cannot be connected to the storm laterals.

- SANITARY SEWER:**
- The sanitary sewer shall be built to the Town of Henrietta standards and will be dedicated to the Town.
  - Materials shall be as follows: (a) Sanitary sewer main shall be PVC, SDR-35, stone encased. (b) Laterals shall be 4" PVC, SDR-21, stone encased. (c) Clean-outs shall be PVC, Sch. 40 or SDR-21 w/cast-iron cap. (d) Manholes shall be reinforced precast concrete per ASTM C-478.
  - Sanitary sewers shall be tested. An air test will be used, the test as a minimum shall conform to the procedure described in ASTM-C-838-80, entitled "Standard Practice for Low-Pressure Air Test of Vitrified Clay Pipe Lines". Sanitary manholes shall be vacuum tested.
  - The deflection test & video tape on the sanitary sewer shall be conducted after backfill has been in place at least 30 days. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The test shall be performed without mechanical pulling devices. No pipe shall exceed a deflection of 5%. Sanitary sewers shall be televised per Town of Henrietta standards.
  - Floor drains shall be connected to the sanitary sewer. Floor drains DO NOT include foundation or footer drains. All discharge to the sanitary sewer must meet the effluent limits of the local and/or the Monroe County Sewer Use Law.
  - Impervious seepage barriers shall be installed along the length of the sanitary sewer main at 500' intervals.
  - All sanitary sewer mains will be televised after 30 days of construction completion.

**ROADWAY COMPACTION TESTING NOTE**  
 COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBASE, CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

- STORM SEWER:**
- All material and installation shall conform to the Town of Henrietta specifications. (a) Storm laterals shall be 6" PVC, SDR-21 stone encased. Risers shall be SDR-21 or schedule 40 with cast iron caps. Downspouts shall discharge onto splash blocks. (b) Storm sewer shall be High Density Polyethylene Pipe (HDPE), ASTM F405 and ASTM F667 with smooth interior. Reinforced Concrete Pipe (RCP), class IV, ANSI/ASTM C76, wall type B, bell and spigot end joints with rubber compression gasket joint shall be used where designated. (c) Catch basin weeps shall be 4" P.E. (d) Concrete gutters shall be 4,000 psi Class "A" concrete. (e) Manholes shall be reinforced precast concrete, ASTM C-478.
  - Rip rap shall consist of stones, a minimum of 12" thick, and each shall weigh in excess of 150lbs. unless otherwise noted. Stones shall be properly aligned and placed in close contact with each other.
  - Sedimentation basins shall be created around all storm sewer inlets. Straw bales shall filter the water before entering these inlets and shall be maintained by the developer for the duration of the construction improvements. New bales shall be installed when the existing bales are clogged or not functioning. Replace bales at least every 3 months.
  - The storm sewers shall be televised for Town of Henrietta standards.

- PAVEMENT:**
- All driveway aprons within the Right of Way shall be asphalt paved with 8" No. 2 crusher run stone and 2" No. 3 Dense Binder, 1" top per Henrietta Detail RD-15a as shown on drawing 9.
  - All roads and storm sewers shall be cleaned and maintained until all vegetation is established on this section.
  - Fill within the R.O.W. shall be compacted in 6" lifts to 95 percent of maximum dry density per ASTM D1557. Fill densities shall be certified to the town by a licensed testing company.

- UTILITY NOTES**
- ROOF DOWNSPOUTS CANNOT BE CONNECTED TO THE STORM LATERALS.
  - ALL STORM LATERALS TO ENTER BASEMENT AT AN ELEVATION ABOVE 100 YR PONDING ELEVATION MIN. POND 2 AND 3

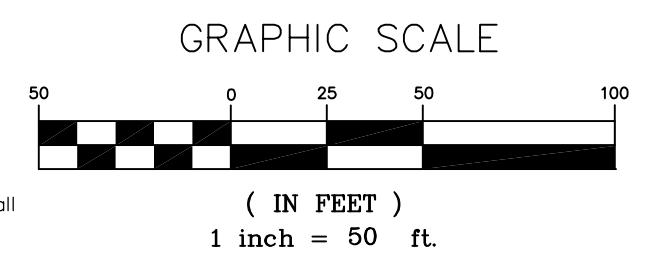
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NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.

**SOUTH CENTRAL PURE WATERS DISTRICT EASEMENT NOTE:**

ALL EXISTING AND/OR PROPOSED IRONDEQUIT BAY SOUTH CENTRAL PURE WATERS DISTRICT EASEMENTS ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF PROJECT TO ENSURE THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN DISTRICT EASEMENTS. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE IBCSPWD.



**LEGEND:**

- BOUNDARY LINE
- CENTRAL LINE OF ROAD
- EXIST. R.O.W. LINE
- EXIST. PROPERTY LINE
- EXIST. PAVEMENT
- PROP. LOT LINE
- SETBACK LINE
- EXIST. BUILDING LINE
- EXIST. BASEMENT LINE
- PROP. BASEMENT LINE
- EXIST. WATER LINE, HYD. & VALVE
- EXIST. ELECTRIC/TRAPPHONE LINE
- EXIST. GAS LINE & VALVE
- EXIST. OUTOUR LINE
- PROP. WATER LINE, HYD. & VALVE
- PROP. SAN. SEWER & MANHOLE
- PROP. STORM SEWER & MANHOLE
- EXIST. SAN. MANHOLE
- EXIST. STORM MANHOLE & END SEC.
- PROP. HYDRANT
- STREET LIGHT
- PROP. LINE VALVE
- ADA BRICK PAVEN

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 HIGHWAY SUPERINTENDENT

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 COMMISSIONER OF PUBLIC WORKS

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FIRE MARSHALL

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 MONROE COUNTY WATER AUTHORITY

Monroe County Department of Public Health  
 These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of approval.  
 Director of Public Health

Monroe County Department of Public Health  
 These plans for Public Water System Facility / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of approval.  
 Director of Public Health

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/11/22	9/15/22
2	TOWN COMMENTS REVIEW 10/26/22	10/27/22
3	TOWN COMMENTS REVIEW 11/25/22	12/15/22
4	TOWN COMMENTS REVIEW 1/23/23	1/7/23
5	REVISED PER MCM COMMENTS 3/7/23	3/7/23
6	REVISED PER MCM COMMENTS	3/7/23



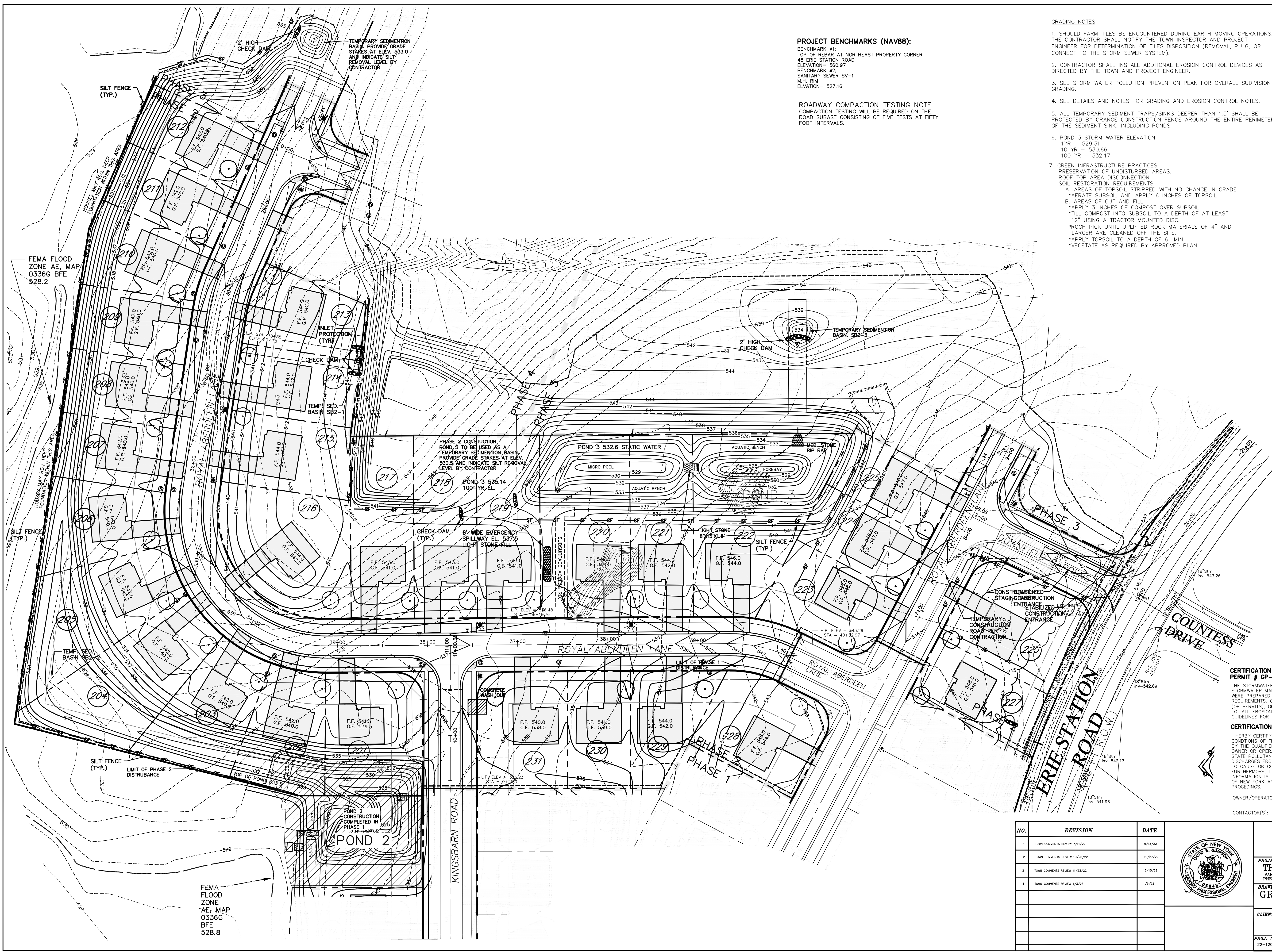
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**DRAWING TITLE**  
**UTILITY PLAN PHASE 2**

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

**PROJ. NO.** 22-12035 **DWG. BY** N.E.S. **DESIGN BY** W.F.B. **APPROVED** D.E.S. **DATE** 3/6/2024 **SCALE** 1"=50' **DWG. NO.** 4 of 16



**PROJECT BENCHMARKS (NAV88):**  
 BENCHMARK #1:  
 TOP OF REBAR AT NORTHEAST PROPERTY CORNER  
 48 ERIE STATION ROAD  
 ELEVATION= 550.97  
 BENCHMARK #2:  
 SANITARY SEWER SV-1  
 M.H. RIM  
 ELEVATION= 527.16

**ROADWAY COMPACTION TESTING NOTE**  
 COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

**GRADING NOTES**

- SHOULD FARM TILES BE ENCOUNTERED DURING EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE TOWN INSPECTOR AND PROJECT ENGINEER FOR DETERMINATION OF TILES DISPOSITION (REMOVAL, PLUG, OR CONNECT TO THE STORM SEWER SYSTEM).
- CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL DEVICES AS DIRECTED BY THE TOWN AND PROJECT ENGINEER.
- SEE STORM WATER POLLUTION PREVENTION PLAN FOR OVERALL SUDIVISION GRADING.
- SEE DETAILS AND NOTES FOR GRADING AND EROSION CONTROL NOTES.
- ALL TEMPORARY SEDIMENT TRAPS/SINKS DEEPER THAN 1.5' SHALL BE PROTECTED BY ORANGE CONSTRUCTION FENCE AROUND THE ENTIRE PERIMETER OF THE SEDIMENT SINK, INCLUDING PONDS.
- POND 3 STORM WATER ELEVATION  
 1YR - 529.31  
 10 YR - 530.66  
 100 YR - 532.17
- GREEN INFRASTRUCTURE PRACTICES  
 PRESERVATION OF UNDISTURBED AREAS:  
 ROOF TOP AREA DISCONNECTION  
 SOIL RESTORATION REQUIREMENTS:  
 A. AREAS OF TOPSOIL STRIPPED WITH NO CHANGE IN GRADE  
 \*AERATE SUBSOIL AND APPLY 6 INCHES OF TOPSOIL  
 B. AREAS OF CUT AND FILL  
 \*APPLY 3 INCHES OF COMPOST OVER SUBSOIL  
 \*TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING A TRACTOR MOUNTED DISC.  
 \*ROCK PICK UNTIL UPLIFTED ROCK MATERIALS OF 4" AND LARGER ARE CLEANED OFF THE SITE.  
 \*APPLY TOPSOIL TO A DEPTH OF 6" MIN.  
 \*VEGETATE AS REQUIRED BY APPROVED PLAN.

**LEGEND:**

- BOUNDARY LINE
- CENTERLINE OF ROAD
- EXIST. R.O.W. LINE
- EXIST. PROPERTY LINE
- EXIST. PAVEMENT
- PROP. R.O.W. LINE
- PROP. LOT LINE
- SETBACK LINE
- EXIST. BUILDING LINE
- EXIST. BASEMENT LINE
- PROP. BASEMENT LINE
- EXIST. CONTOUR LINE
- PROP. CONTOUR LINE
- PROP. SPOT ELEVATION
- PROP. SILT FENCE

**DEEP HOLE LOCATION**

**CHECK DAM**

**P.I. SILT FENCE PROTECTION**

**C.B. INLET PROTECTION**

**LOT TREE**

**GRAPHIC SCALE**  
 0 25 50 100  
 ( IN FEET )  
 1 inch = 50 ft.

**SEDIMENTATION BASIN PER SECTION**

SECTION	ACQST. CF/AC	VOLUME REQ. 50,760 CF	LOCATION	SIZE (WxLxD)	VOL. (CF)
SECTION 2	14.1	3600	AC		
POND 3	GR. PLAN				30,150
POND 2	GR. PLAN				9,089
SB2-1	30'X80'X2'				4,800
SB2-2	30'X80'X2'				4,800
SB2-3	30'X50'X2'				3,000
TOTAL					51,839

- NOTE: 1. CLEAN ANY SEDIMENTATION BASIN AT 50% DEPTH.  
 2. DIMENSION D IS MEASURED BELOW GRADE ELEV. OR END SECTION INV. ELEV.  
 3. ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED AROUND ALL TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.  
 4. SEDIMENTATION BASIN AREA SHALL BE BROUGHT TO FINAL GRADE, STABILIZED AND SEEDED ONCE FINAL SECTION GRADING IS COMPLETE AND STABILIZED. CONSTRUCTION FENCE IS TO BE REMOVED AT THIS TIME.

**CERTIFICATION OF COMPLIANCE WITH SPDES GENERAL PERMIT # GP-0-20-001**  
 THE STORMWATER POLLUTION PREVENTION PLANS REFLECT COLLEGE REQUIREMENTS FOR STORMWATER MANAGEMENT AND SEDIMENT CONTROL. TO ENSURE COMPLIANCE, THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. OTHER APPLICABLE REQUIREMENTS FOR SEDIMENT AND EROSION SITE PLANS (OR PERMITS), OR STORMWATER MANAGEMENT SITE PLANS (OR PERMITS) WILL BE ADHERED TO. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

**CERTIFICATION:**  
 I HEREBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I UNDERSTAND THAT CERTIFYING FALSE, INCORRECT OR INACCURATE INFORMATION IS A VIOLATION OF THE REFERENCED PERMIT AND THE LAWS OF THE STATE OF NEW YORK AND COULD SUBJECT ME TO CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PROCEEDINGS.

OWNER/OPERATOR(S): \_\_\_\_\_ DATE: \_\_\_\_\_  
 CONTRACTOR(S): \_\_\_\_\_ DATE: \_\_\_\_\_

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/11/22	9/15/22
2	TOWN COMMENTS REVIEW 10/26/22	10/27/22
3	TOWN COMMENTS REVIEW 11/23/22	12/19/22
4	TOWN COMMENTS REVIEW 1/3/23	1/9/23



**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-271-5239 fax 585-271-3488

**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUDIVISION  
 PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
 PHELPS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
 GRADING AND EROSION CONTROL PLAN  
 PHASE 2

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3840 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

**PROJ. NO.** 22-12035  
**DWG. BY** N.E.S.  
**DESIGN BY** W.F.B.  
**APPROVED** D.E.S.  
**DATE** 3/6/2024  
**SCALE** 1"=50'  
**DWG. NO.** 6 OF 16

FEMA FLOOD ZONE AE, MAP 0336G BFE 528.2

FEMA FLOOD ZONE AE, MAP 0336G BFE 528.8

### LOT TREE PLANT SCHEDULE

QUANT.	KEY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT
DECIDUOUS SHADE TREE				
7	CM	Acer x. 'Freemanii'	Celebration Maple	2"-2.5" cal BB
8	RO	Quercus Rubra	Red Oak	2"-2.5" cal BB
8	GT	Rleditsia Triancanthos	Sunburst Locust	2"-2.5" cal BB
8	CO	Celtis Occidentalis	Common Hackberry	2"-2.5" cal BB

NOTE: LOT TREES (FRONT YARD AREA) SHALL BE AS SHOWN ON THE PLAN, OUTSIDE UTILITY EASEMENT. GENERALLY EVERY LOT, WILL RECEIVE ONE 2" - 2.5" CAL. DECIDUOUS TREES, ALTERNATING SPECIES

### BERM TREE SCHEDULE LOT 119-128 & 101

QUANT.	KEY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT
CONIFER TREE				
3	BS	Picea Pungens Glauca	Blue Spruce	5'-6" Tall
2	WP	Pinus Strobus	Eastern White Pine	5'-6" Tall

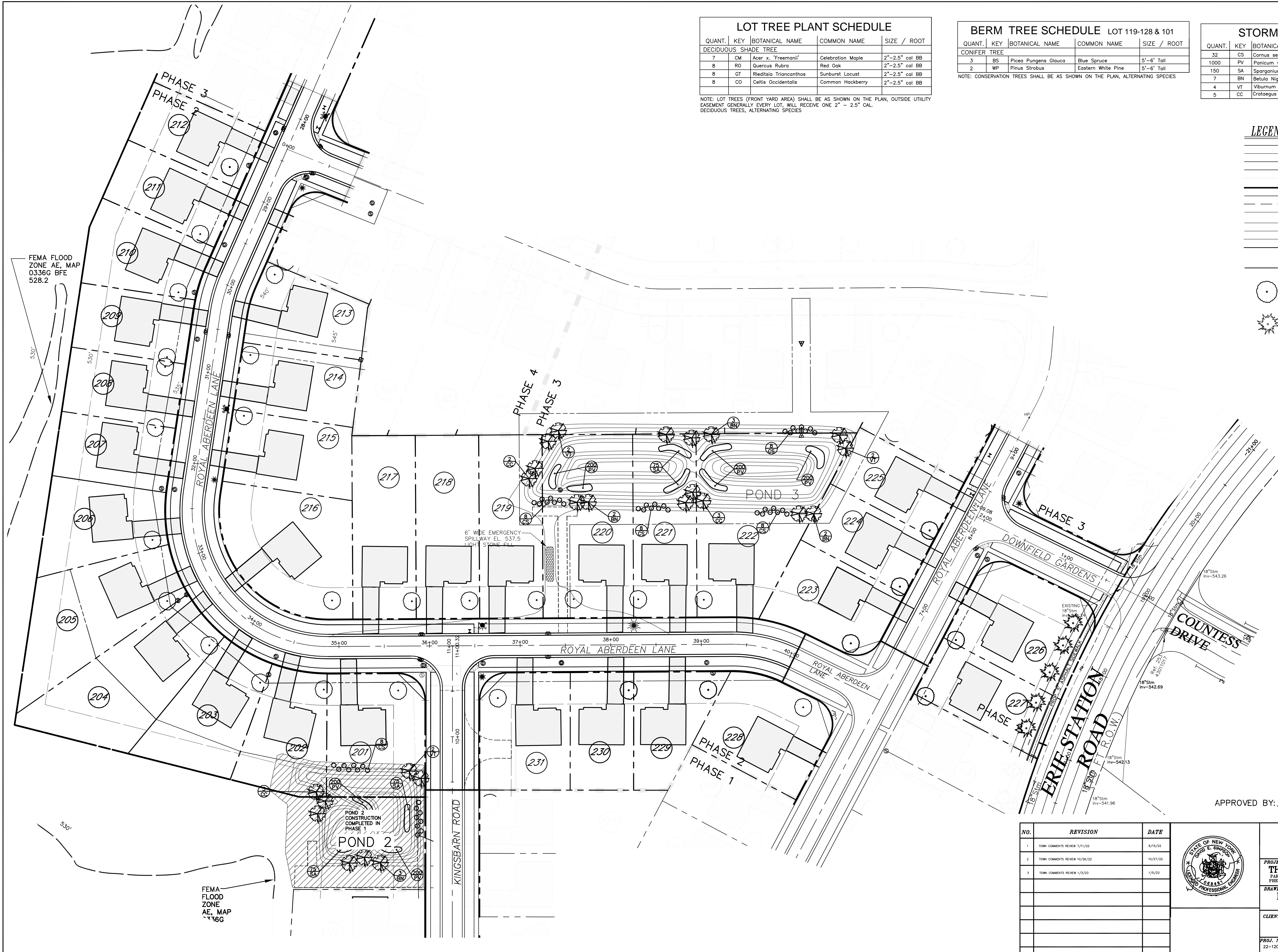
NOTE: CONSERVATION TREES SHALL BE AS SHOWN ON THE PLAN, ALTERNATING SPECIES

### STORMWATER MGMT. FACILITIES

QUANT.	KEY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT	SPACING
32	CS	Cornus sericea	Red Twig Dogwood	24" ht. BB	4' O.C.
1000	PV	Panicum virgatum	Red Switchgrass	5" plugs	18" O.C.
150	SA	Sparganium Americanum	Burreed	2" plugs	2' O.C.
7	BN	Betula Nigra	River Birch	2"-2.5" cal BB	6' O.C.
4	VT	Viburnum Trilobum	Highbush Cranberry	2"-2.5" cal BB	6' O.C.
5	CC	Crataegus Drusgalle Inermis	Crusader Hawthorn	2"-2.5" cal BB	6' O.C.

#### LEGEND:

- BOUNDARY LINE
- CENTERLINE OF ROAD
- EXIST. R.O.W. LINE
- EXIST. PROPERTY LINE
- EXIST. PAYMENT
- PROP. R.O.W.
- PROP. LOT LINE
- SETBACK LINE
- EXIST. BUILDING LINE
- EXIST. BASEMENT LINE
- PROP. BASEMENT LINE
- EXIST. CONTOUR LINE
- PROP. CONTOUR LINE
- PROP. SPOT ELEVATION
- PROP. SILT FENCE
- LOT TREE
- STREET LIGHT
- BERM TREE
- ADA BRICK PAVES



APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PLANNING BOARD CHAIRMAN

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/11/22	9/15/22
2	TOWN COMMENTS REVIEW 10/26/22	10/27/22
3	TOWN COMMENTS REVIEW 1/3/23	1/3/23



**DSB** Engineers and Architects, P.C.  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14606  
 ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUDIVISION  
 PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
 FIELDS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

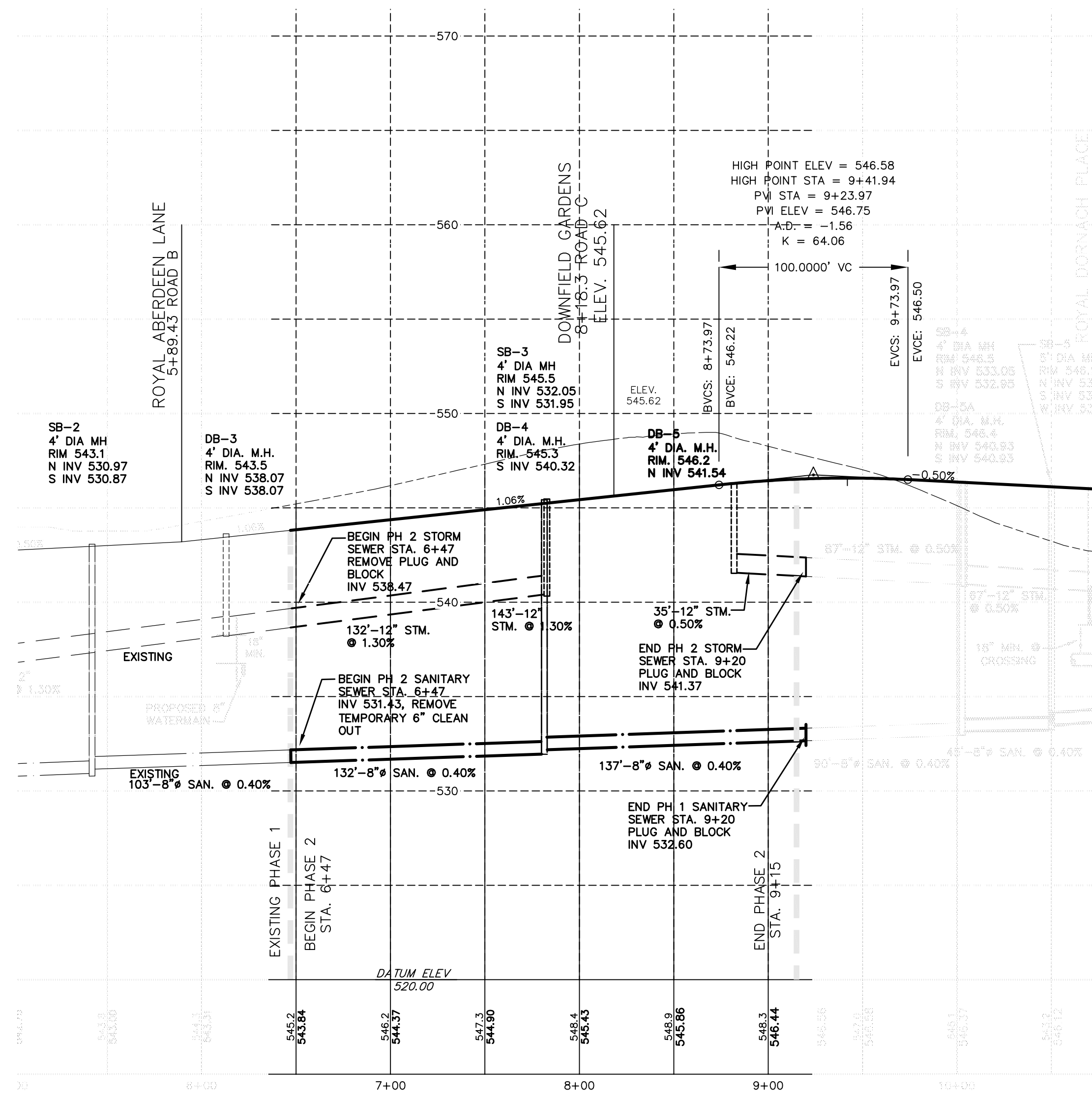
**DRAWING TITLE**  
 LANDSCAPING AND LIGHTING PLAN  
 PHASE 2

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

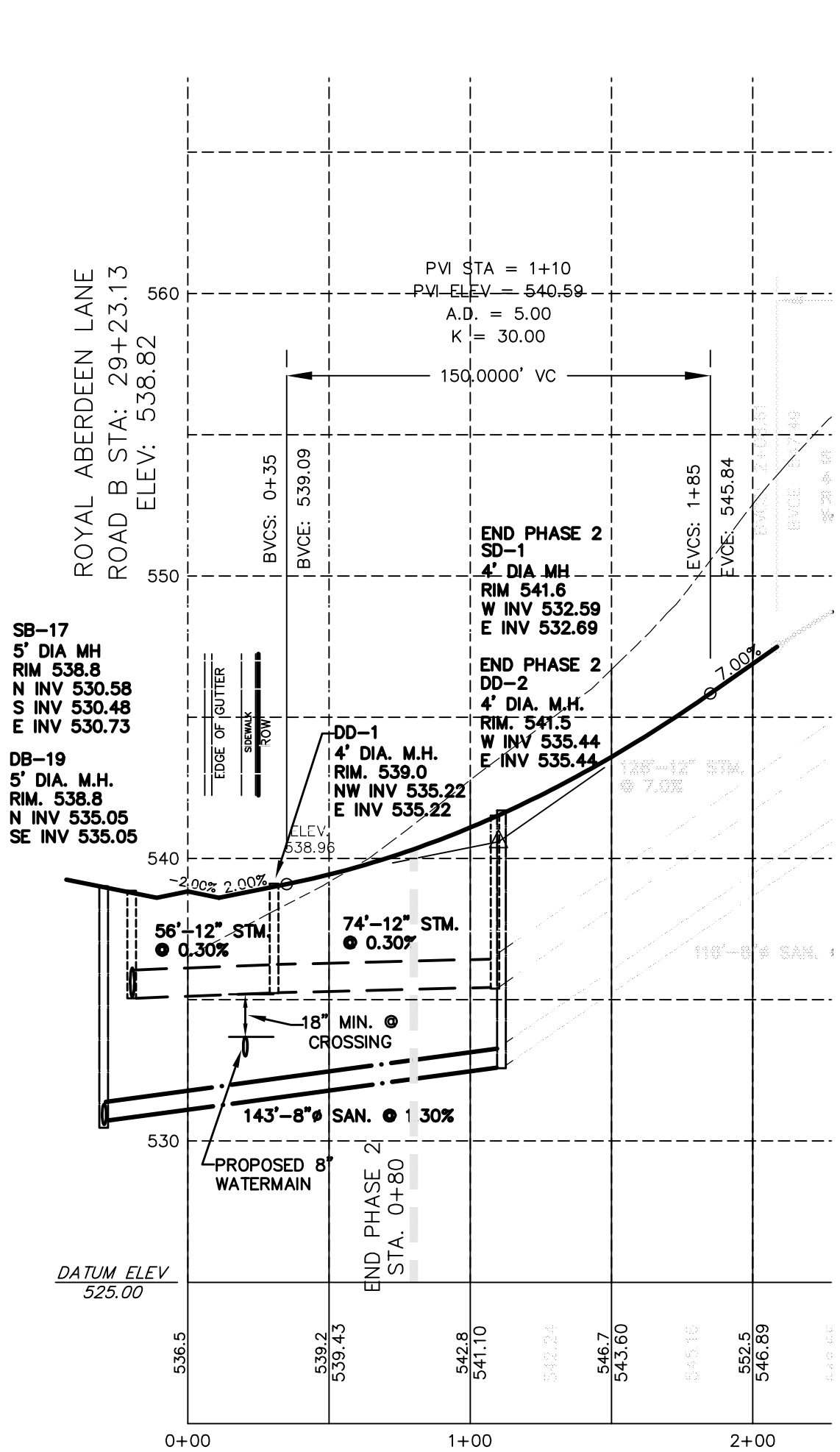
PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	7 of 17

FEMA FLOOD ZONE AE, MAP 0336G BFE 528.2

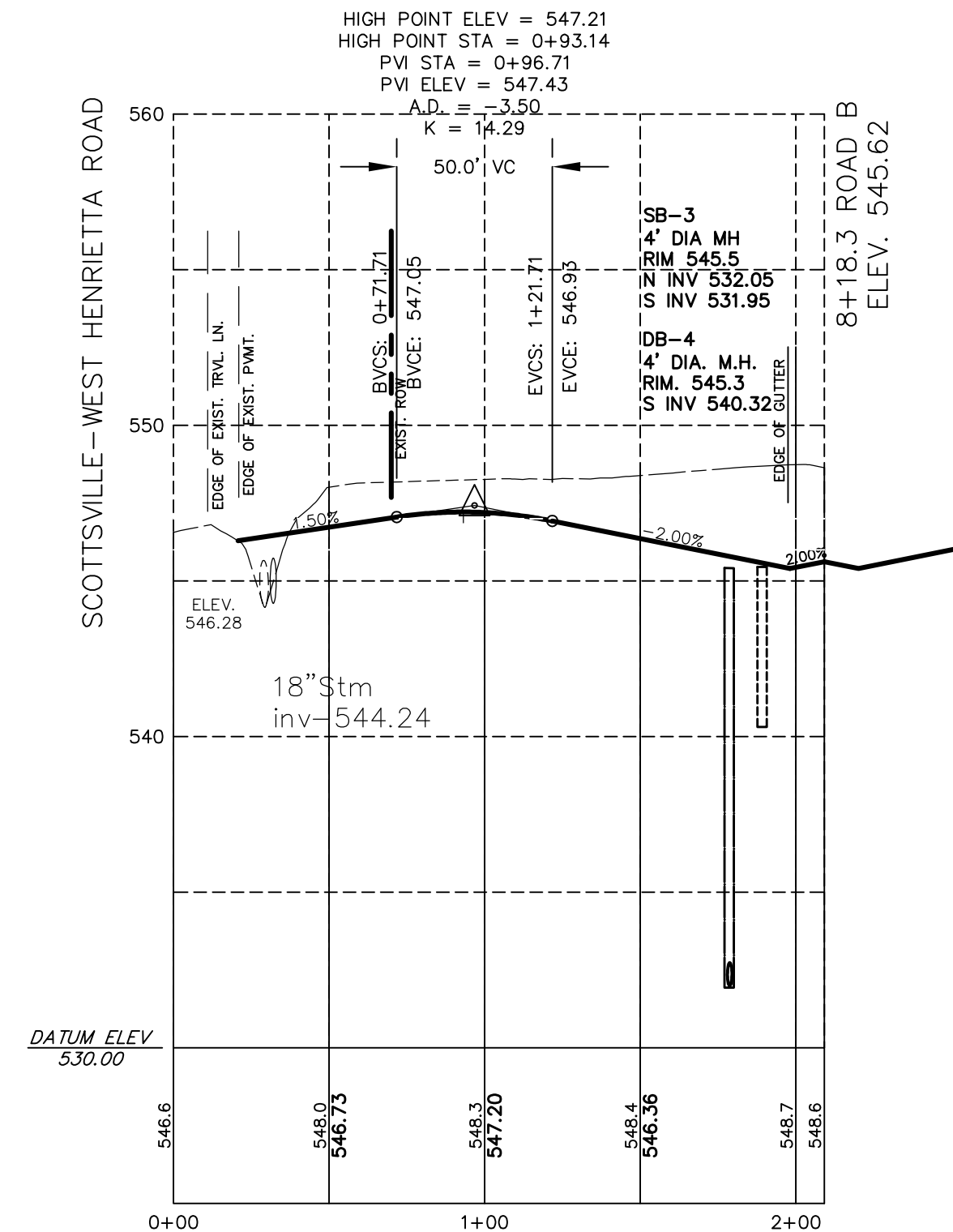
FEMA FLOOD ZONE AE, MAP 0336G



ROYAL ABERDEEN LANE  
(ROAD B)  
SCALE:  
HORIZ. 1"=50'  
VERT. 1"=5'



ROYAL DORNACH PLACE  
ROAD D  
SCALE:  
HORIZ. 1"=50'  
VERT. 1"=5'



DOWNFIELD GARDENS  
SCALE:  
HORIZ. 1"=50'  
VERT. 1"=5'

ROADWAY COMPACTION TESTING NOTE  
COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/11/22	9/15/22
2	TOWN COMMENTS REVIEW 10/28/22	10/27/22
3	TOWN COMMENTS REVIEW 1/31/23	1/31/23



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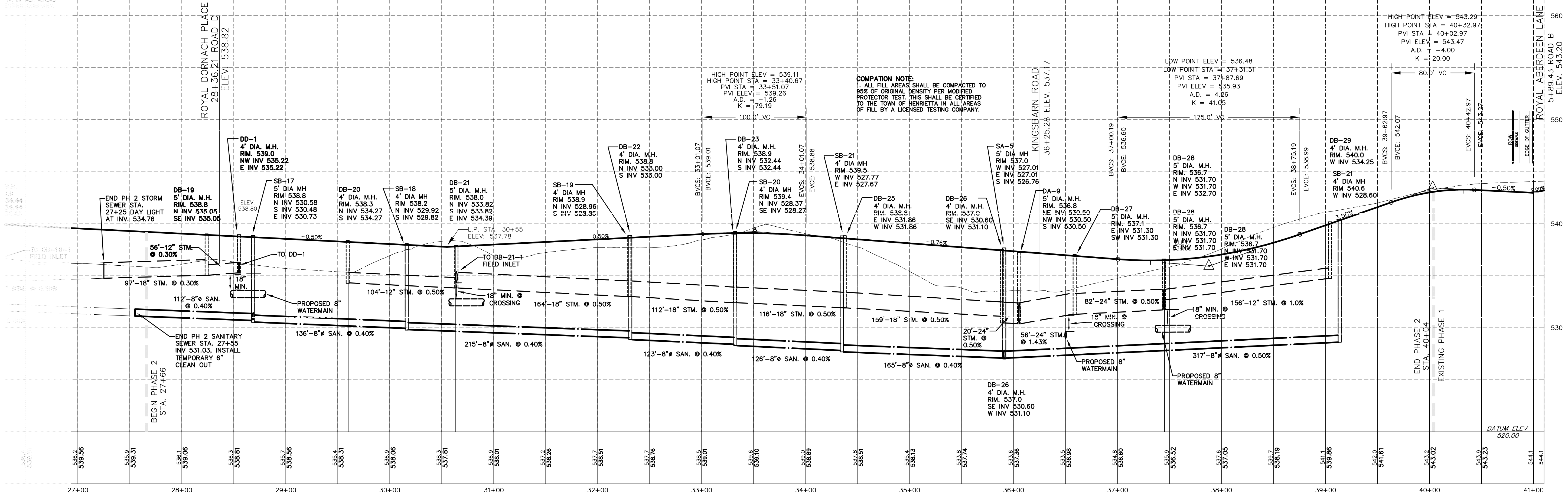
**PROJECT**  
THE FAIRWAYS AT RIVERTON SUDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE Phelps & Gorham Purchase, Town of Henrietta, Monroe County, New York

**DRAWING TITLE**  
PROFILES  
PHASE 2

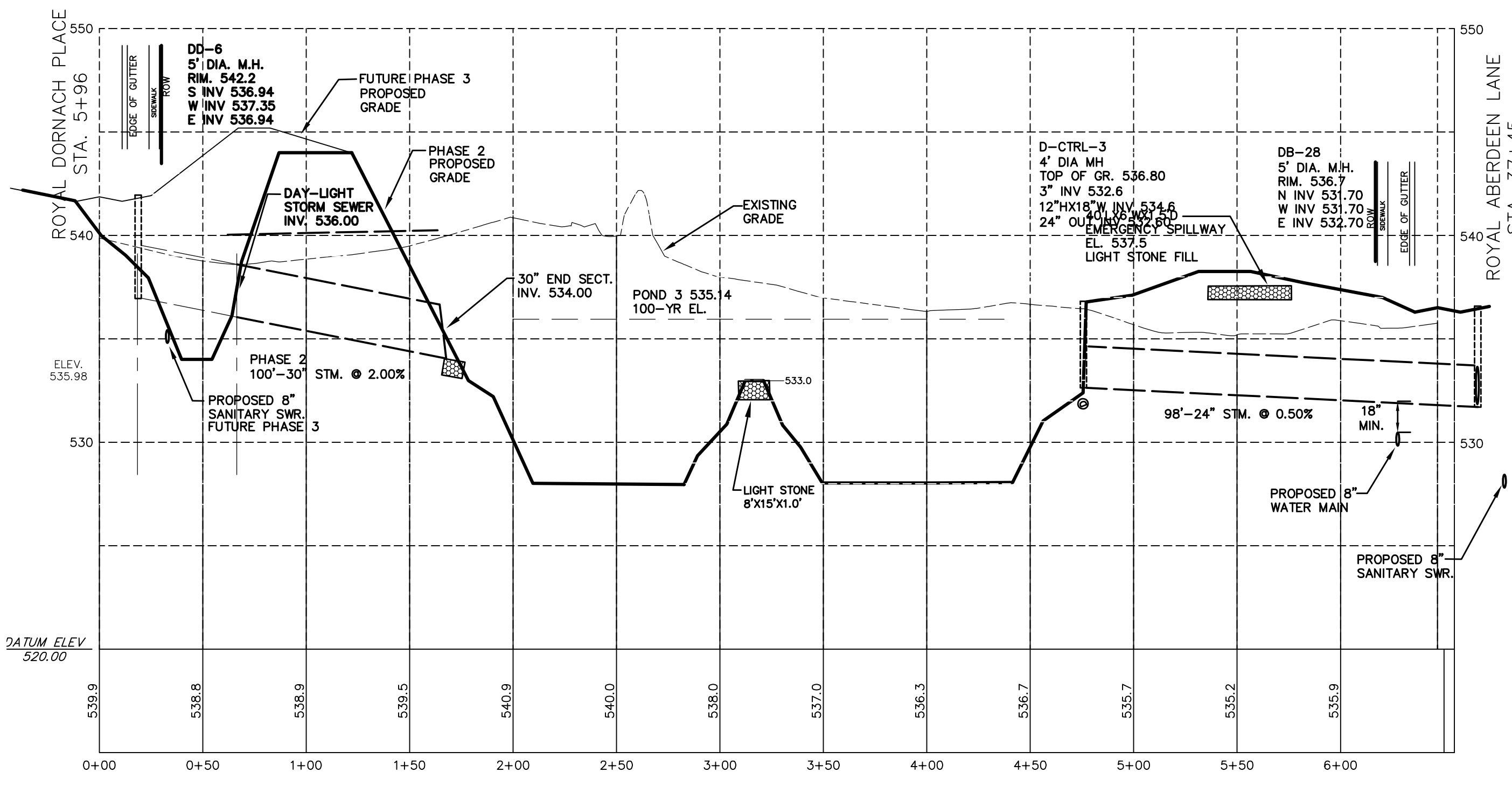
**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	7 of 16

BE COMPACTED TO PER MODIFIED PROCTOR TEST. THIS SHALL BE CERTIFIED TO THE TOWN OF HENRIETTA IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.



ROYAL ABERDEEN LANE (ROAD B)  
 SCALE: HORIZ. 1"=50'  
 VERT. 1"=5'



POND 3  
 SCALE: HORIZ. 1"=50'  
 VERT. 1"=5'

**ROADWAY COMPACTION TESTING NOTE**  
 COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/1/22	9/15/22
2	TOWN COMMENTS REVIEW 10/26/22	10/27/22
3	TOWN COMMENTS REVIEW 1/12/23	1/12/23
4	REVISED PER MOWA COMMENTS REVIEW	2/8/23



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**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
 HELPS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
 PROFILES  
 PHASE 2

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

**PROJ. NO.** 22-12035 **DWG. BY** N.E.S. **DESIGN BY** W.F.B. **APPROVED** D.E.S. **DATE** 6/15/22 **SCALE** 1"=50' **DWG. NO.** 8 of 16



**NOTE**

- THE LOWER GRATE SUPPORTING ANGLE SHALL BE PERPENDICULAR TO ROADWAY PAVEMENT.
- GRATING SHALL BE GRIND TO FIT FILLETS IN FRAME ANGLES. WELDS ON INSIDE OF FRAME AND OUTSIDE OF GRATING SHALL BE GRIND SMOOTH. ALL MATERIAL SHALL BE SAND OR SHOT BLASTED BEFORE GALVANIZING. 3" X 2 1/4" X 3/8" FRAME AND GRATING SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH A.S.T.M. A386. GRATING DESIGNED FOR 16,000 POUND WHEEL LOAD (H&B LOADING). MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR STRUCTURAL STEEL FOR WELDING A.S.T.M. DESIGNATION A372.

FRAMES			GRATES		
3" x 2 1/4" ANGLES			Supporting Angles		
Outside Dimensions	Approx. Weight Lbs.	Approx. Payment Area (SF)	Longitudinal Straight Bars	Longitudinal Reticuline Bars	End Bars (2)
No. 9	2'-4 1/2" x 2'-3"	60	2'-3 1/2" x 2'-2 1/2"	10	2'-2" x 11
			10	2'-2" x 11	2'-3 1/2"
			1	6' x 3 1/2"	2'-3 1/2"
					118
					5.2

**TOWN OF HENRIETTA**      **RETICULINE TYPE FRAME & GRATE**      **ST-17**

SCALE: N.T.S.      DATE: 11/15/2011

**TOWN OF HENRIETTA**      **RIP-RAP**      **ST-22**

SCALE: N.T.S.      DATE: 11/15/2011

**STORM SEWER NOTES**

- ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA STORM SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
- STORM SEWER PIPE TO BE HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL.
- STORM SEWER PIPE CONNECTING CATCH BASINS SHALL BE 12" HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL WITH A MINIMUM OR 1.0% SLOPE, OR AS INDICATED ON THE PLAN.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- STORM LATERAL PIPE SHALL BE 6" PVC SDR-21.
- ALL NEW STORM SEWER WILL BE VIDEOTAPED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).

**SANITARY SEWER EXTENSION NOTES**

- ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA SANITARY SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
- SANITARY SEWER PIPE TO BE PVC SDR-35 SANITARY LATERAL PIPE TO BE PVC SDR-21.
- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- ALL NEW SANITARY SEWER WILL BE VIDEOTAPED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

**GENERAL UTILITY NOTES**

- LOCATION OF EXISTING STRUCTURES INCLUDING UTILITIES SHOWN ON THE DRAWINGS ARE INTENDED FOR GENERAL INFORMATION ONLY.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. EXPLORATORY EXCAVATION SHALL BE MADE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE PLANS AND ANY OTHER LINES NOT SHOWN NOR OF RECORD. ANY EXPENSE DUE TO THE LOSS OF TIME SHALL BE AT THE CONTRACTORS EXPENSE.
- ALL THICKNESS SHOWN ON THE DETAILS ARE COMPACTED.
- EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE OF IMPLEMENTATION SHALL FOLLOW THE LATEST NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION. CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTION ORGANIZATION UTILITY COORDINATION COMMITTEE 1-800-962-7962.

**GENERAL NOTES**

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA AND/OR MONROE COUNTY HEALTH DEPARTMENT.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CALL FOR STAKE OUT OF ALL UTILITIES BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL COSTS RELATED TO THE RELOCATION OF EXISTING UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL REQUESTING THE RELOCATION AND/OR THE UTILITY COMPANY. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- ROOF RUNOFF LEADERS SHALL DISCHARGE AWAY FROM ADJOINING PROPERTIES.
- OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF EROSION/SILTATION CONTROL DURING CONSTRUCTION AND UNTIL SUCH TIME AS THEIR REMOVAL IS APPROVED BY THE TOWN OR ITS ASSIGNS.
- SIDEWALKS SHALL BE INSTALLED PER THE TOWN DETAIL.
- STREET TREES SHALL BE INSTALLED PER THE TOWN DETAIL.
- COMPLIANCE WITH ALL FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS SHALL BE MET.

**SITE GENERAL NOTES:**

- ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF HENRIETTA.
- ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND REGULATIONS SET FORTH BY THE TOWN OF HENRIETTA, N.Y.S.D.O.T. AND M.C.D.P.W.
- ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF HENRIETTA.
- THE PRESERVATION OF ALL THE MATURE TREES ON THE SITE WHERE POSSIBLE AND THE MARKING OF SAID TREES BY THE DEVELOPER'S ENGINEER OF TREES TO BE REMOVED PRIOR TO THE COMMENCING OF ANY SITE WORK.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
- ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
- A RECORD UTILITY PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. THIS PLAN SHALL INDICATE ALL UTILITY IMPROVEMENTS INCLUDING WATER VALVES, HYDRANTS, MANHOLES, PIPE RUNS AND SURFACE FEATURES SUCH AS GUTTERS, CURBS, ETC. IN ACCORDANCE WITH THE TOWN'S RECORD DRAWING REQUIREMENTS FOR UTILITIES. INDIVIDUAL LOT UTILITY SERVICE MAPS SHALL BE PROVIDED TO THE TOWN'S ENGINEERING DEPARTMENT. EACH MAP SHALL INDICATE SWING TIE DIAGRAMS FOR WATER CURB BOXES AND ALL LATERAL CLEANOUTS.
- HYDRANTS MUST BE INSTALLED AND FLOW-TESTED BEFORE ABOVEGROUND CONSTRUCTION IS RECOMMENDED. FLOW TESTS SHALL COMPLY WITH THE SPECIFICATIONS OF THE INSURANCE SERVICES OFFICE TO PRODUCE AN A-RATING.
- NO ABOVEGROUND CONSTRUCTION IS TO COMMENCE UNTIL AN APPROVED ROADWAY BASE CAPABLE OF CARRYING THE WEIGHT OF FIRE APPARATUS IS INSTALLED.

**TOWN OF HENRIETTA**      **STORM MANHOLE LOCATION DETAIL**      **ST-27**

SCALE: N.T.S.      DATE: 7/1/2013

**TOWN OF HENRIETTA**      **POND OUTLET CONTROL STRUCTURE**      **NOT TO SCALE**

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23
2	TOWN COMMENTS REVIEW 1/11/23	DES	1/12/23

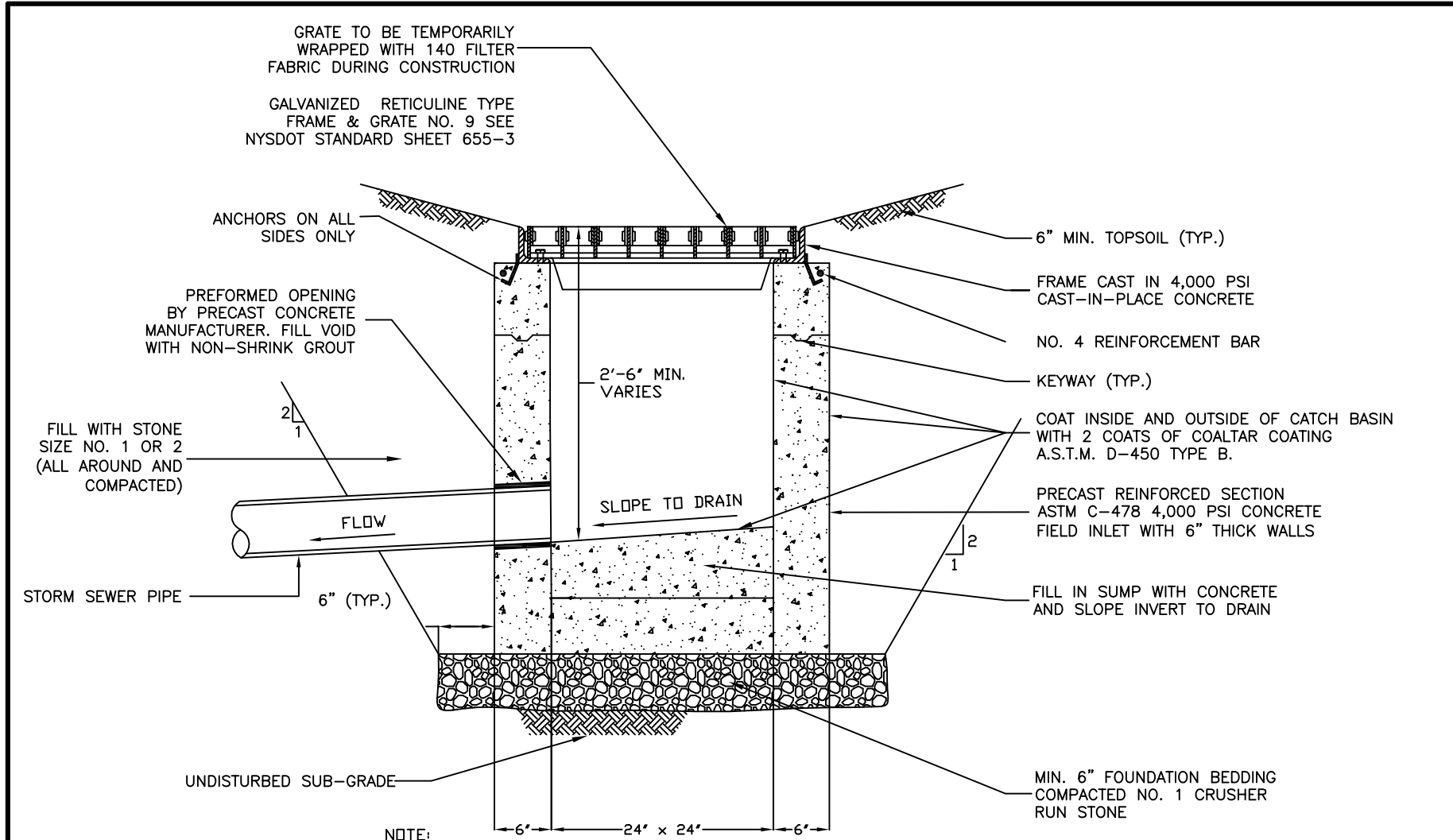
**DSB Engineers and Architects, P.C.**  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PHASE 2

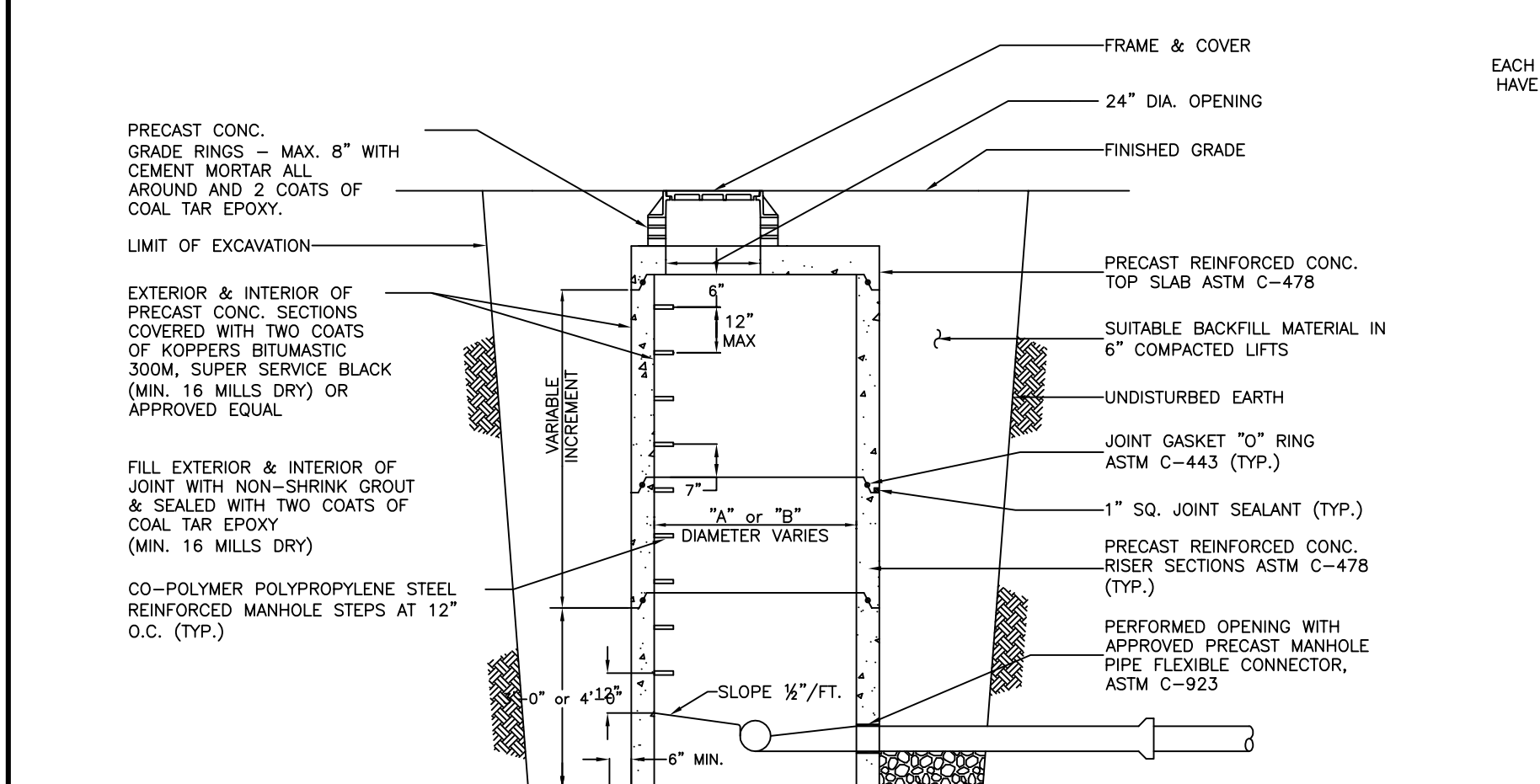
**DRAWING TITLE**  
DETAILS AND NOTES

**CLIENT**  
FORST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

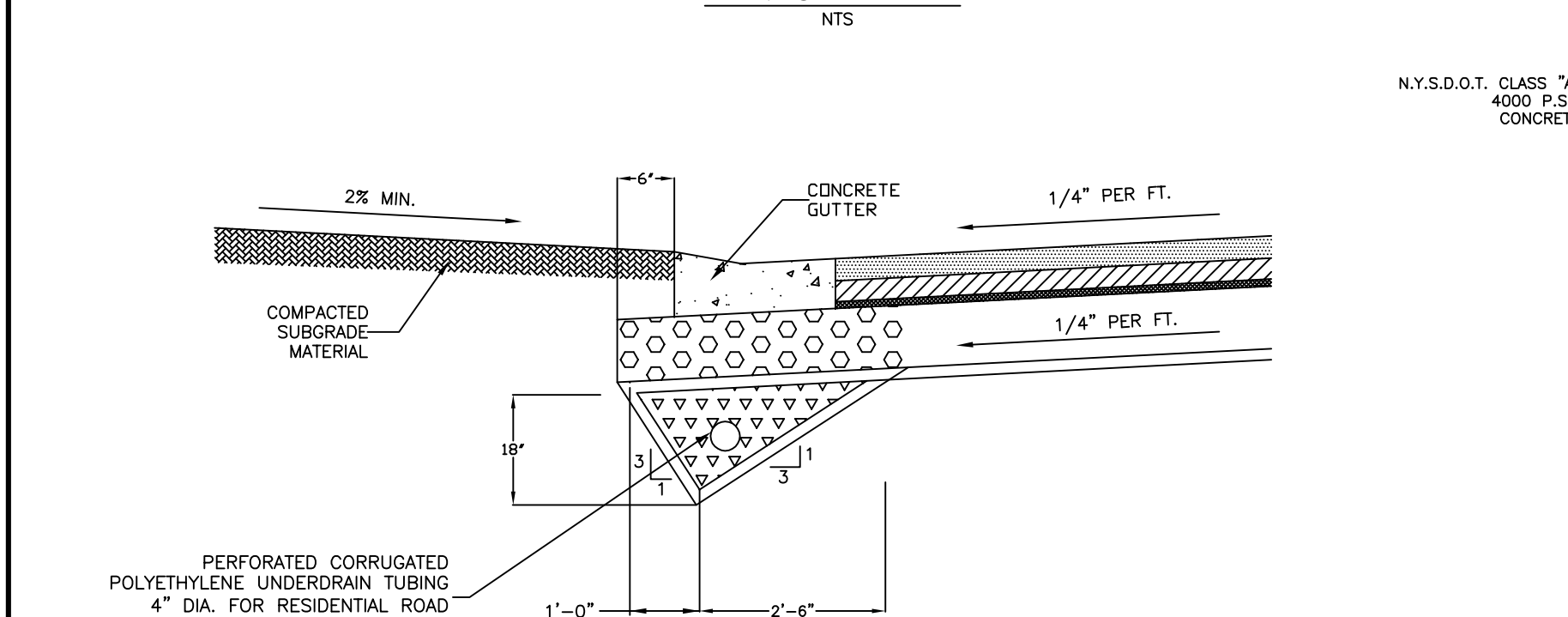
**PROJ. NO.** 08-12034      **DFG. BY** N.E.S.      **DESIGN BY** W.F.B.      **APPROVED** D.E.S.      **DATE** 3/6/2024      **SCALE** N.T.S.      **DWG. NO.** 16 of 16



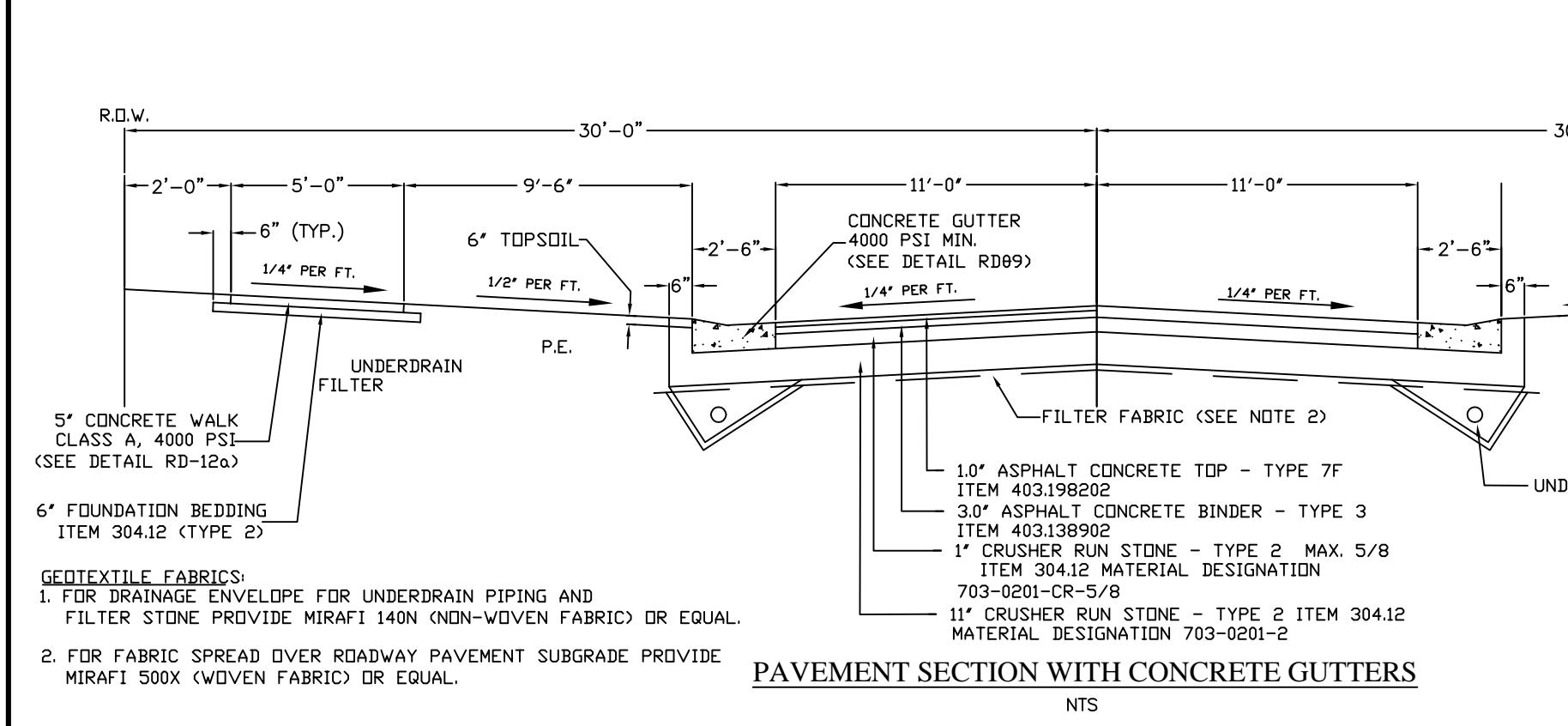
**FIELD INLET DETAIL**  
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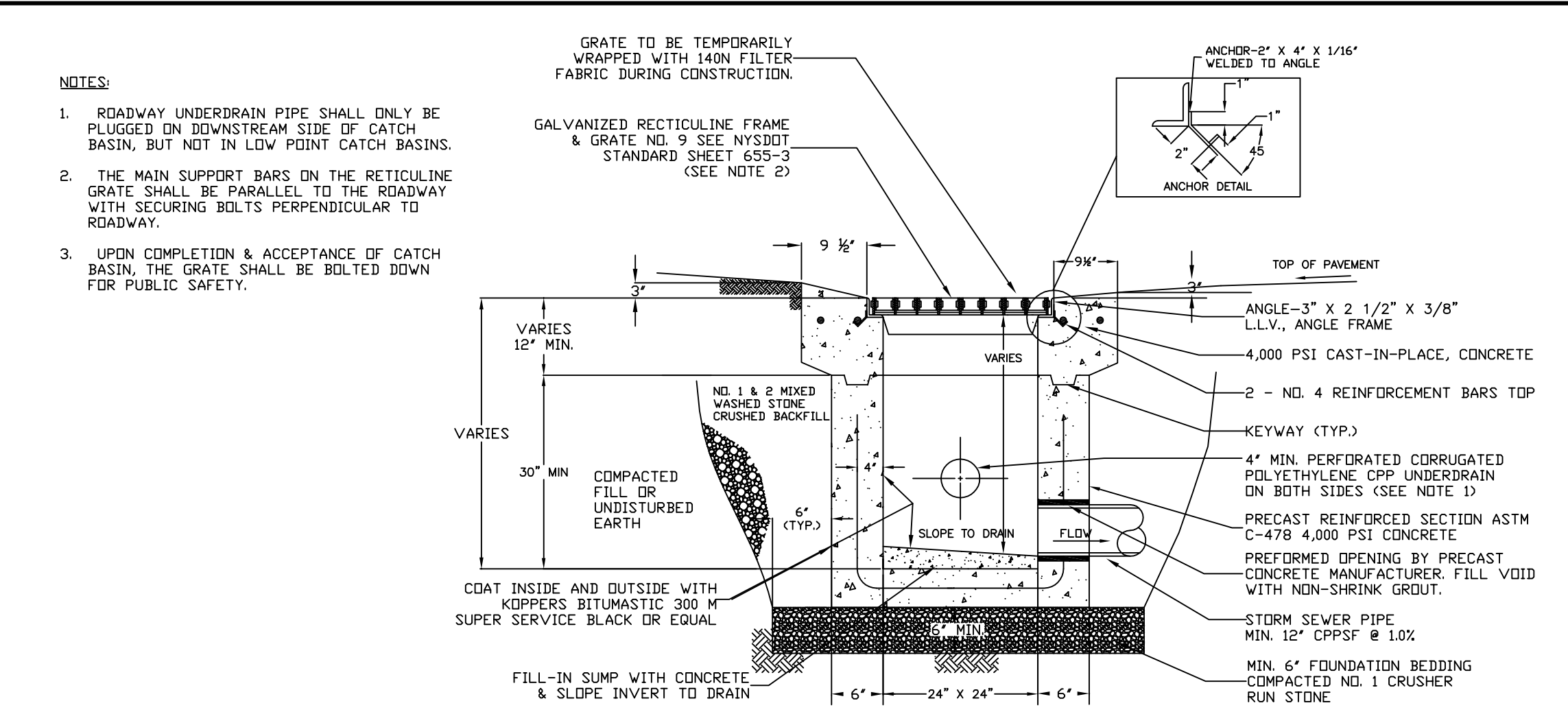
**PRECAST STORM MANHOLE DETAIL**  
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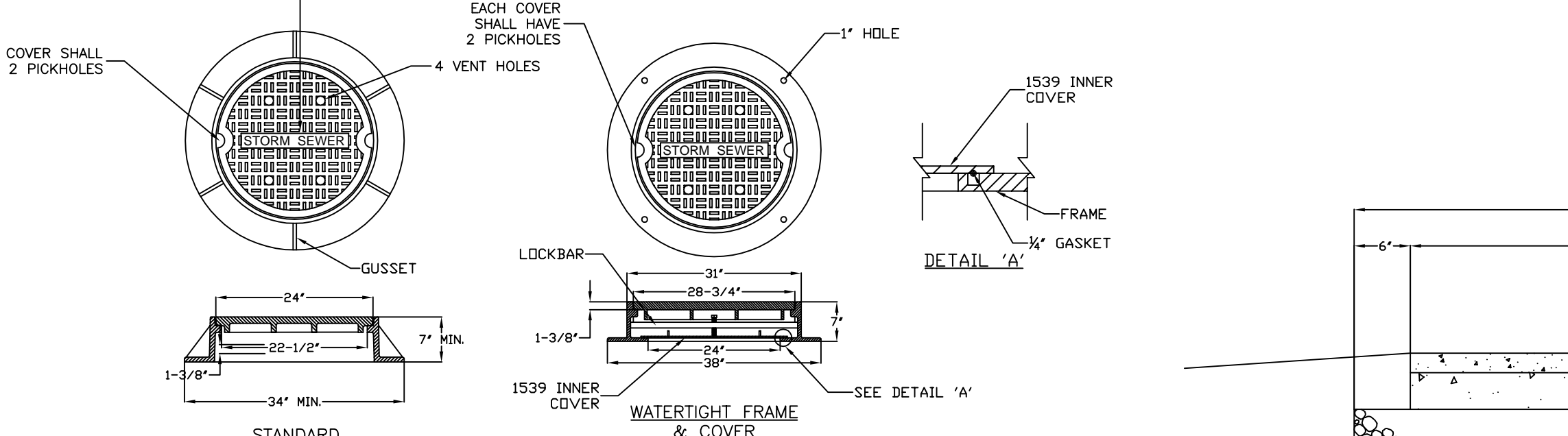
**UNDERDRAIN (GUTTER)**  
NTS



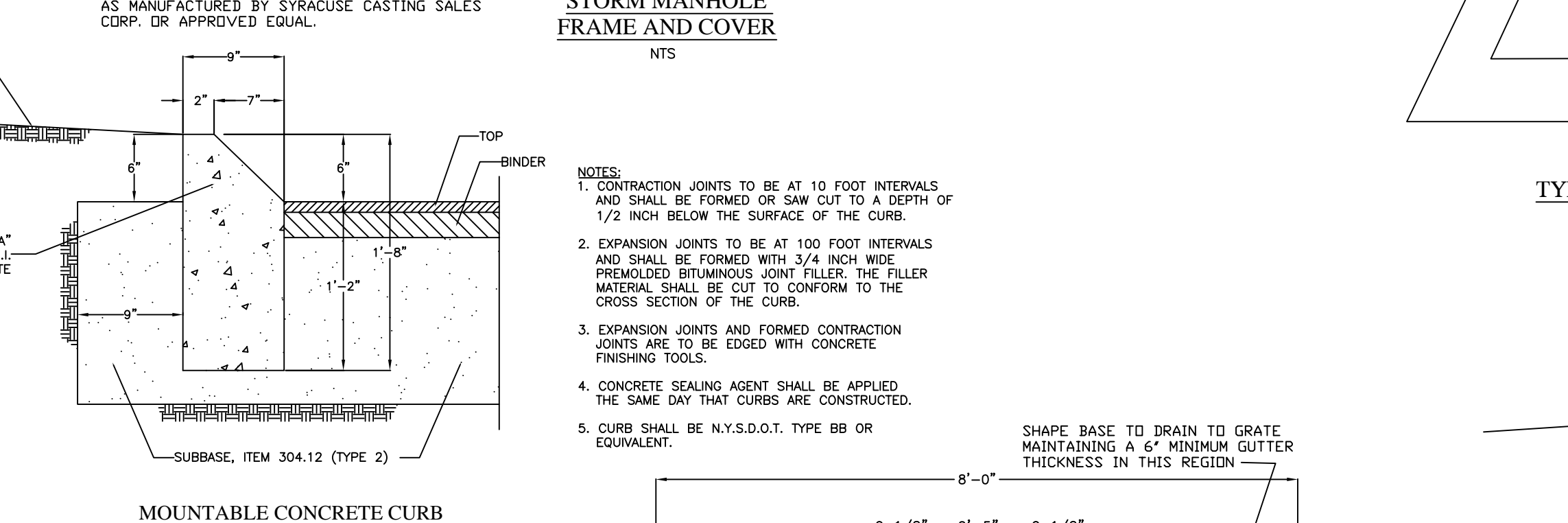
**PAVEMENT SECTION WITH CONCRETE GUTTERS**  
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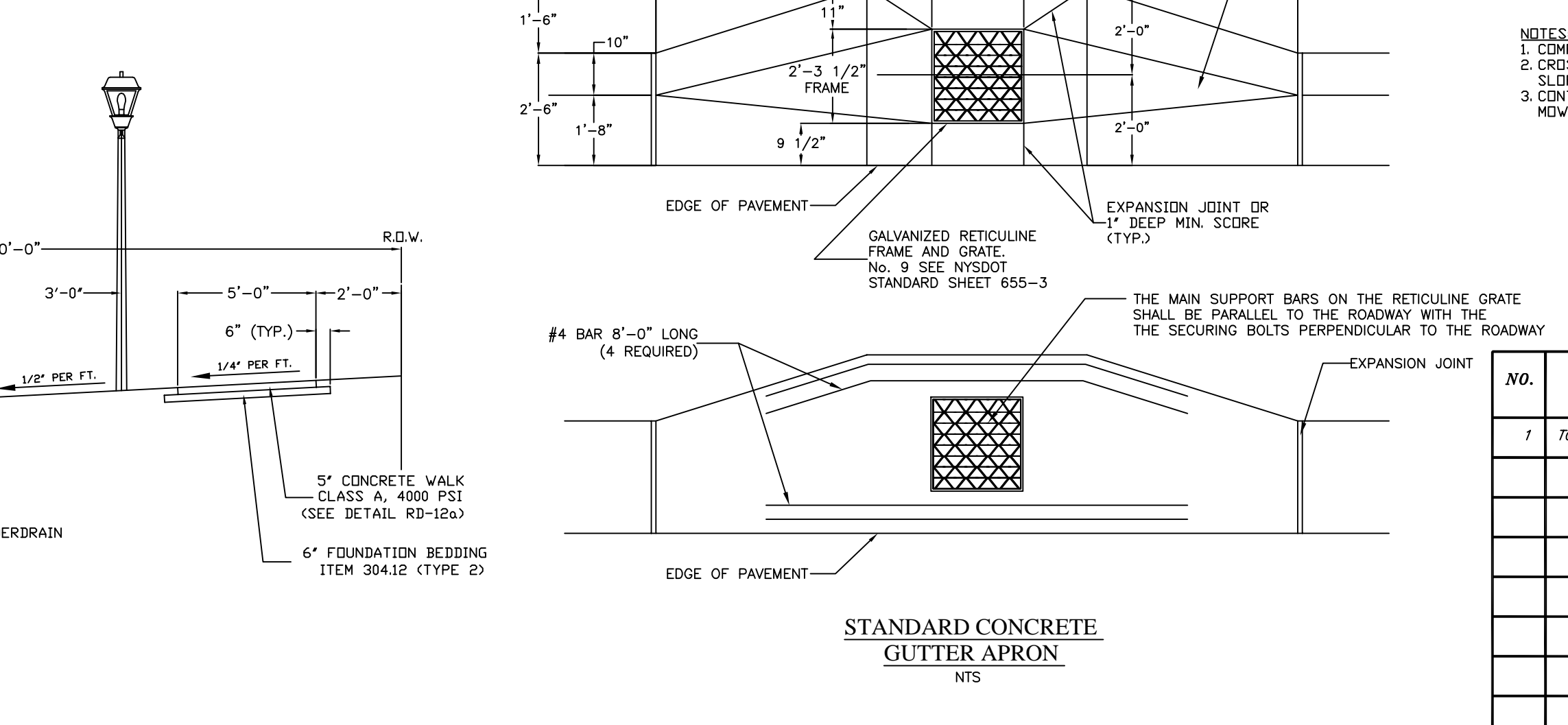
**CATCH BASIN - GUTTER APRON**  
NTS



**STORM MANHOLE FRAME AND COVER**  
NTS



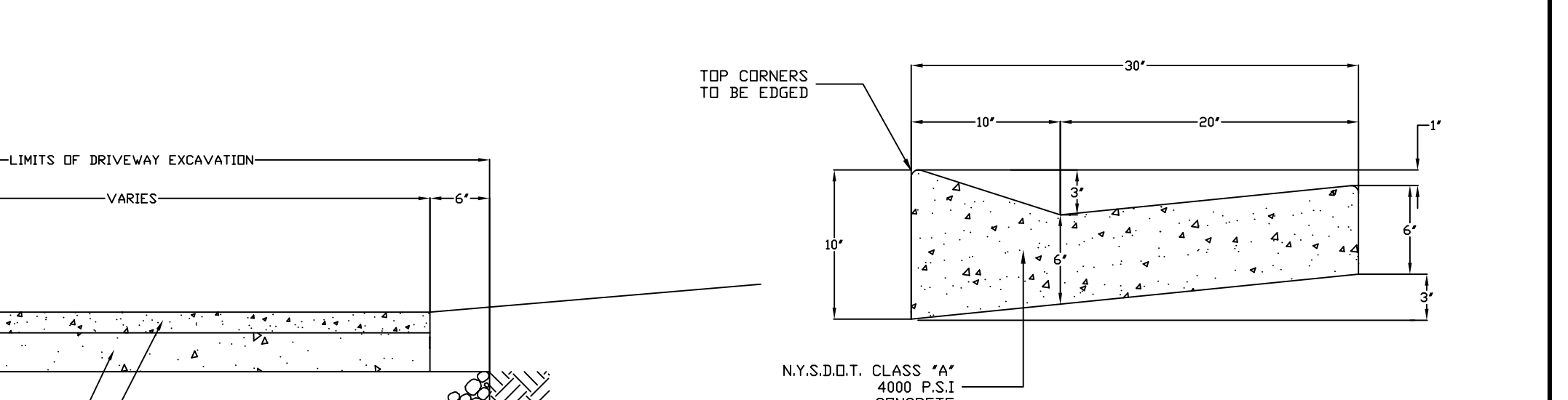
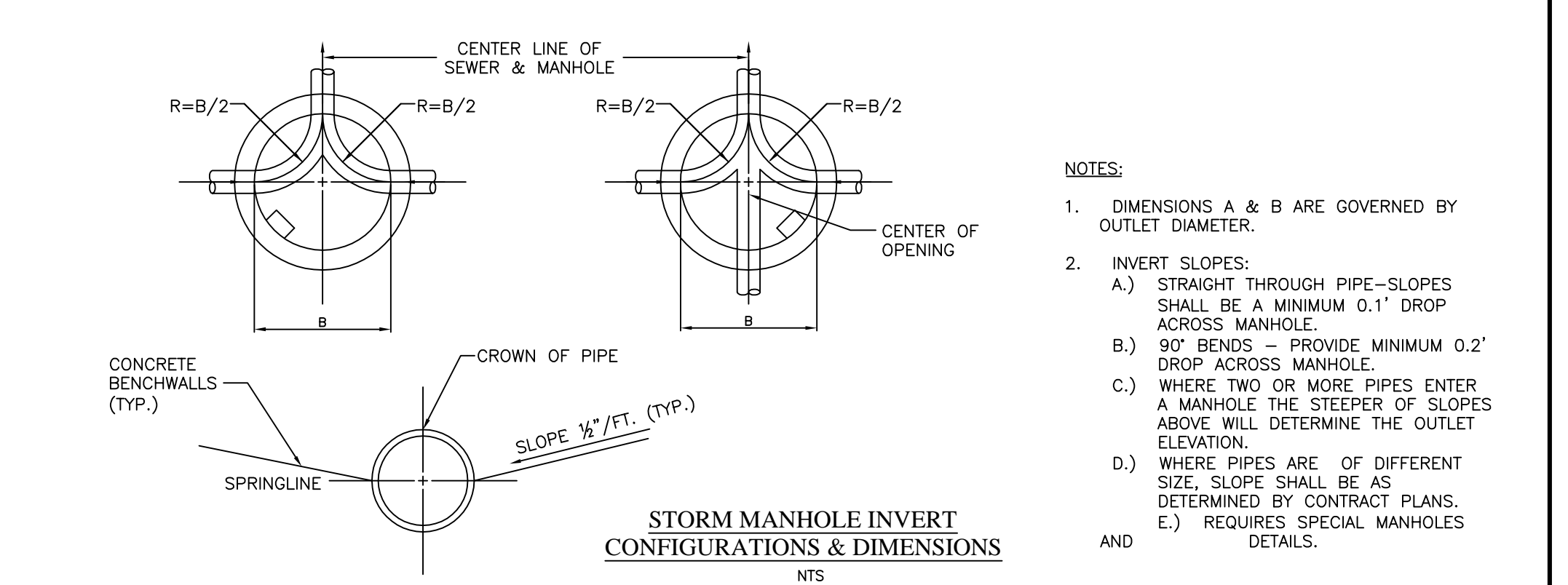
**MOUNTABLE CONCRETE CURB**  
NTS



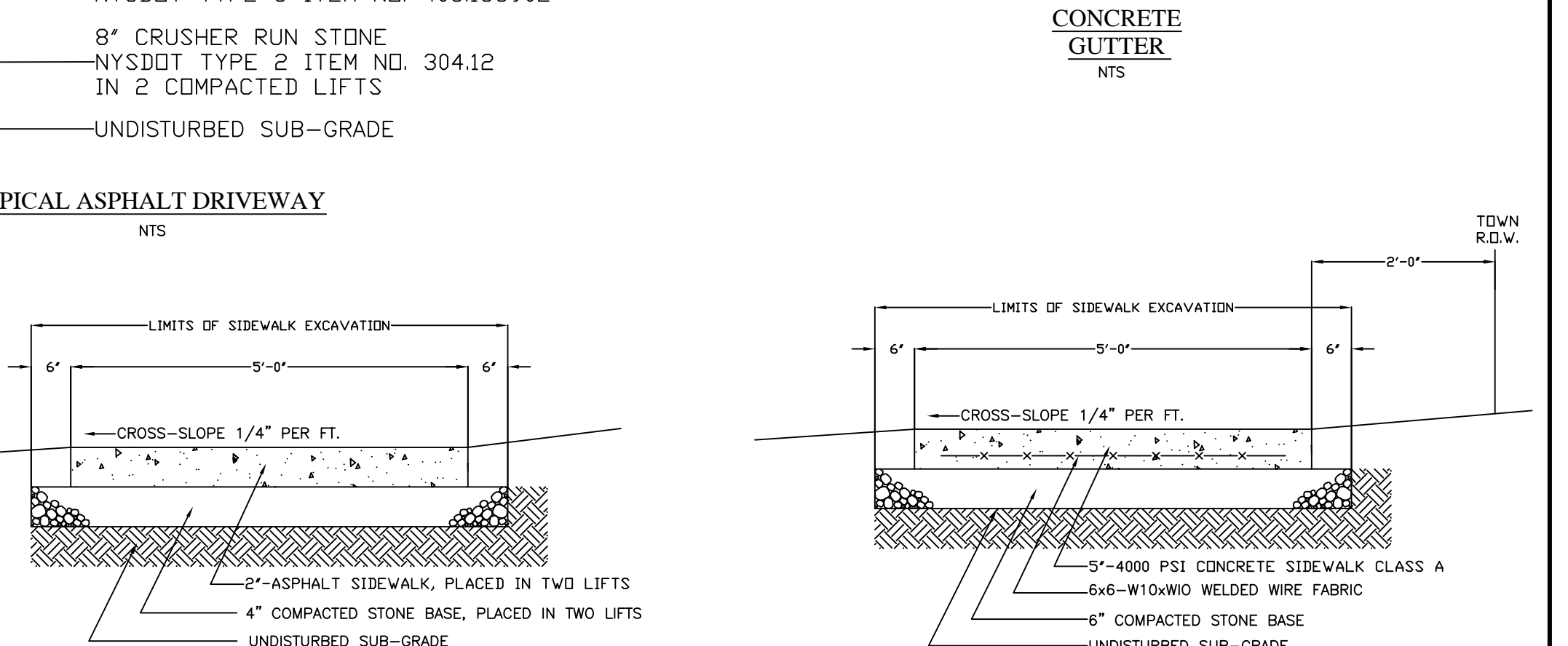
**STANDARD CONCRETE GUTTER APRON**  
NTS

DIMENSION	MIN. PIPE DIA.						
	12"	15"	18"	24"	30"	36"	42"
A	4'-0"	4'-0"	5'-0"	5'-0"	6'-0"	6'-0"	E
B	5'-0"	5'-0"	5'-0"	5'-0"	6'-0"	6'-0"	E

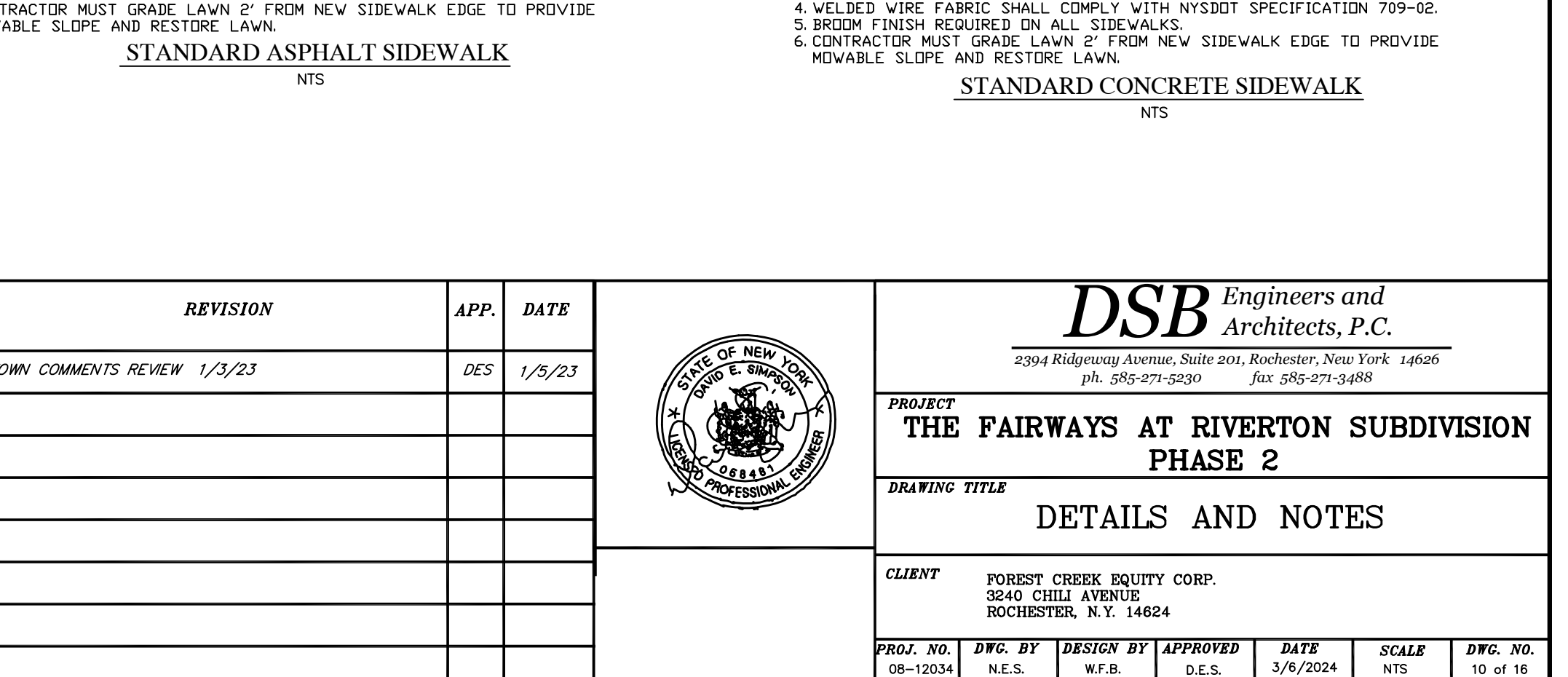
SEE NOTE 2 FOR INVERT SLOPES



**TYPICAL ASPHALT DRIVEWAY**  
NTS



**STANDARD ASPHALT SIDEWALK**  
NTS



**STANDARD CONCRETE SIDEWALK**  
NTS

- NOTES:**
- ROADWAY UNDERDRAIN PIPE SHALL ONLY BE PLUGGED IN DOWNSTREAM SIDE OF CATCH BASIN, BUT NOT IN LOW POINT CATCH BASINS.
  - THE MAIN SUPPORT BARS ON THE RETICULINE GRATE SHALL BE PARALLEL TO THE ROADWAY WITH SECURING BOLTS PERPENDICULAR TO ROADWAY.
  - UPON COMPLETION & ACCEPTANCE OF CATCH BASIN, THE GRATE SHALL BE BOLTED DOWN FOR PUBLIC SAFETY.

- NOTES:**
- DIMENSIONS A & B ARE GOVERNED BY OUTLET DIAMETER.
  - INVERT SLOPES:
    - STRAIGHT THROUGH PIPE - SLOPES SHALL BE A MINIMUM 0.1' DROP ACROSS MANHOLE.
    - 90° BENDS - PROVIDE MINIMUM 0.2' DROP ACROSS MANHOLE.
    - WHERE TWO OR MORE PIPES ENTER A MANHOLE THE STEEPER OF SLOPES ABOVE WILL DETERMINE THE OUTLET ELEVATION.
    - WHERE PIPES ARE OF DIFFERENT SIZE, SLOPE SHALL BE AS DETERMINED BY CONTRACT PLANS.
    - REQUIRES SPECIAL MANHOLES DETAILS.

- NOTES:**
- CONTRACTION JOINTS TO BE AT 10' INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2" BELOW THE SURFACE OF THE GUTTER.
  - EXPANSION JOINTS TO BE AT 100' INTERVALS AND SHALL BE FORMED WITH 1/2" WIDE PREMOULDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS-SECTION OF THE GUTTER.
  - EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.

- NOTES:**
- CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2" BELOW THE SURFACE OF THE CURB.
  - EXPANSION JOINTS TO BE AT 100 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4" WIDE PREMOULDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
  - EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
  - CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.
  - CURB SHALL BE N.Y.S.D.O.T. TYPE BB OR EQUIVALENT.

- NOTES:**
- MINIMUM CONCRETE STRENGTH SHALL BE 4000PSI AT 28 DAYS.
  - COMPACTED STONE BASE SHALL COMPLY WITH NYS DOT ITEM 304.12, TYPE 2.
  - CROSS SLOPE GRADE SHALL BE AS SHOWN ON DETAIL WHENEVER POSSIBLE AND SLOPED TOWARDS ROAD PAVEMENT.
  - WELDED WIRE FABRIC SHALL COMPLY WITH NYS DOT SPECIFICATION 709-02.
  - BROOM FINISH REQUIRED ON ALL SIDEWALKS.
  - CONTRACTOR MUST GRADE LAWN 2' FROM NEW SIDEWALK EDGE TO PROVIDE MOVABLE SLOPE AND RESTORE LAWN.

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**APPROVED** [Signature]  
**DATE** 3/6/2024  
**SCALE** NTS  
**DWG. NO.** 10 of 16

# LANDSCAPE NOTES

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK BY AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, ANSI Z60.1.
- REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, DEAD, OR DO NOT DEVELOP FROM PLANTING STOCK, OR AS DETERMINED BY THE CLIENT ARE IN UNHEALTHY OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES OR OTHER CAUSES DUE TO THE CONTRACTORS NEGLIGENCE. CONTRACTOR SHALL BEAR THE COST OF COMPLETE REPLACEMENT(S), IN CASE OF ANY QUESTIONS REGARDING THE CONDITION AND SATISFACTORY ESTABLISHMENT OF A REJECTED PLANT, THE LANDSCAPE ARCHITECT'S DECISION IS FINAL. PROVIDE A GUARANTEE FOR ALL REPLACEMENT PLANTS FOR AT LEAST ONE FULL GROWING SEASON.
- REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, AS DETERMINED BY THE CLIENT TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.
- CONTRACTOR SHALL RETAIN FOR INSPECTION ALL RECEIPTS FOR PLANTING MATERIAL. PLANTING STOCK IS TO BE MADE AVAILABLE IN ORIGINAL PACKAGING AND LABELING FOR INSPECTION BY THE CLIENT PRIOR TO INSTALLATION.
- SHRUBS SHALL MEET THE REQUIREMENTS FOR HEIGHT INDICATED IN THE PLANT LIST. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP BRANCHES OF THE PLANT, AND NOT THE LONGEST BRANCH. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED. SIDE BRANCHES SHALL BE GENEROUS, WELL TWIGGED, AND THE PLANT AS A WHOLE WELL SEATED TO THE GROUND. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.
- PLANTED AREAS WILL BE INSPECTED AT COMPLETION OF INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS. INSPECTION TO DETERMINE FINAL ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CLIENT UPON CONTRACTORS REQUEST. PROVIDE NOTIFICATION AT LEAST 10 WORKING DAYS BEFORE REQUESTED INSPECTION DATE. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION. UPON FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE.
- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKE OUT OF ALL PLANT MATERIAL AND SHRUB BEDS. CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLAN CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- NAMES OF WOODY PLANT MATERIAL MUST COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST AND HE SHOULD OBTAIN CURRENT UTILITY RECORD MAPS AND NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK.
- SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO MIN. OF 5' FROM ROOT BALL TO UTILITIES.
- SHOULD LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO MIN. OF 20' TO WIRES.
- STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. STAKES AND WRAPPING ARE TO BE REMOVED BY THE CONTRACTOR AT THE END OF ONE YEAR.
- MULCH ALL BEDS WITH 3 INCHES DOUBLE GROUND HARDWOOD BARK MULCH. COLOR TO BE CHOSEN BY LANDSCAPE ARCHITECT.
- PLANTING BACK FILL MIXTURE: 4 PARTS TOP SOIL; 1 PART PEAT MOSS; 1/2 PART WELL ROTTED MANURE; 10 LBS. 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
- TOPSOIL SHALL BE FURNISHED FROM THE STOCKPILED ON-SITE MATERIAL. IF AN INSUFFICIENT QUANTITY EXISTS, FURNISH FROM OFF-SITE SOURCES IN QUANTITIES SUFFICIENT TO COMPLETE THE REQUIREMENTS AS SPECIFIED. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE SOIL, CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLE FREE FROM STONES, CLAY LUMPS, ROOTS AND OTHER FOREIGN MATTER WITH AN ACIDITY BETWEEN 6.0 AND 6.8 PH. PROPOSED TOPSOIL MATERIAL FROM OFF-SITE SOURCES SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
- A MINIMUM OF 6" OF TOPSOIL SHALL BE PROVIDED ON ALL AREAS TO BE SEEDED.
- LAWN SEED MIXTURE- APPLY TO ALL AREAS NOT PAVED, PLANTED, DESIGNATED TO REMAIN NATURAL OR OTHERWISE SEEDED. MIX SHALL CONSIST OF THE FOLLOWING:

	% WEIGHT	% PURITY	% GERMINATION
KEYSTONE PERENNIAL RYEGRASS	25	85	85
CHARISMATIC PERENNIAL RYEGRASS	25	85	85
CINDY LOU CREEPING RED FESCUE	20	85	80
COMMON KENTUCKY BLUEGRASS	30	97	80

SEEDING RATE: 200 LBS. PER ACRE  
 FERTILIZER: 10:10:10 RATE: 500 LBS. PER ACRE  
 MULCH ALL SEEDED AREAS WITH APPROVED STRAW AT A RATE OF 4,000 LBS. PER ACRE.
- STEEP SLOPE MIX (TYPE B UNMOWED) APPLY AT A RATE OF 100 LBS. PER ACRE USING THE FOLLOWING PROPORTIONS BY WEIGHT:

15% CREEPING RED FESCUE
35% CHELMUNG CROWNVEITCH
25% KENTUCKY 31 TALL FESCUE
25% EMPIRE BIRDSFOOT TREFLOIL

ALL SEEDED AREAS SHALL RECEIVE:  
 FERTILIZER: 10:10:10 AT A RATE OF 500 LBS. PER ACRE  
 MULCH: APPROVED STRAW AT A RATE OF 4,000 LBS. PER ACRE
- ANTIDESICCANT: PROTECTIVE FILM EMULSION, PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES, BUT PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS. APPLY TO ALL BROADLEAF EVERGREEN SHRUBS PER MANUFACTURER'S RECOMMENDATIONS.
- LANDSCAPE MATERIALS SHALL BE INSTALLED BY LOCAL COMPANIES FAMILIAR WITH THE CONDITIONS IN THIS AREA THAT EMPLOY NYS CERTIFIED NURSERY PROFESSIONALS.
- STACK PLANTS AS INDICATED OR AS APPROVED IN THE FIELD. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED PLANTING OPERATIONS UNTIL ALTERNATIVE PLANT LOCATIONS HAVE BEEN SELECTED.
- MAINTAIN PLANTS UNTIL COMPLETION AND FINAL ACCEPTANCE OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PRUNING, CULTIVATING, EDGING, REMULCHING, FERTILIZING, WEEDING, WATERING AS REQUIRED FOR HEALTHY GROWTH, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECT AND DISEASE. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND REMOVE DEAD MATERIAL. TIGHTEN AND REPAIR GUIDE WIRES AND DECORATIVES WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.
- WETLAND SEED MIX TYPE C. - APPLY TO ALL DESIGNATED AREAS ONLY. THE MIXTURE SHALL CONSIST OF THE FOLLOWING:

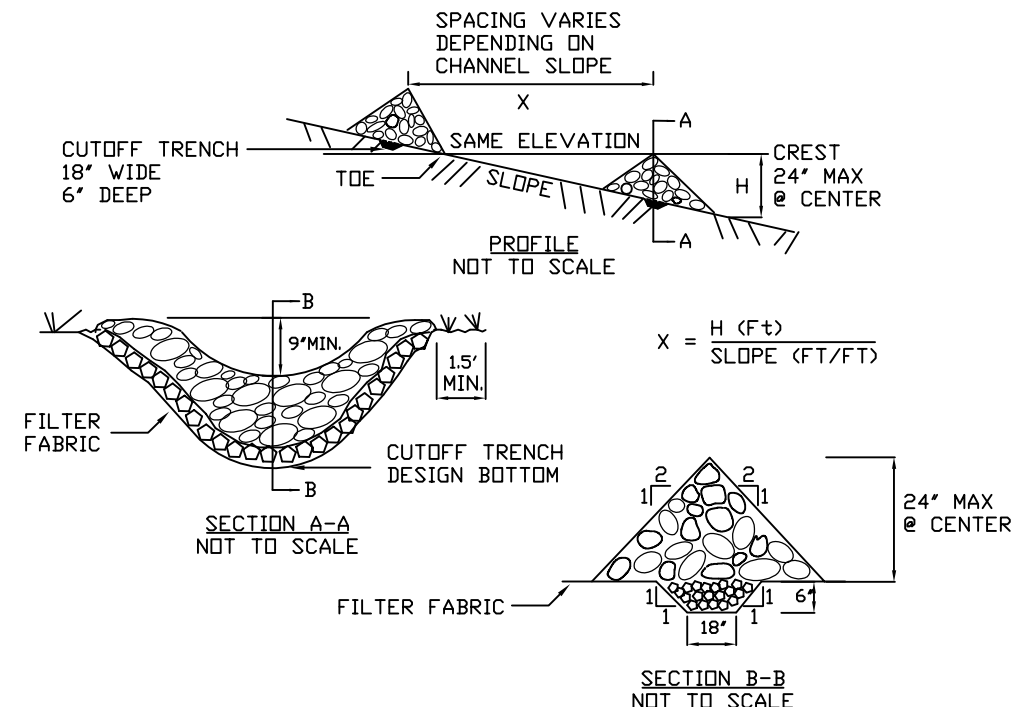
30% KENTUCKY 31 TALL FESCUE
30% ANNUAL RYE
10% TIMOTHY
30% BIRDSFOOT TREFLOIL

SEEDING RATE: 100 LBS. PER ACRE  
 AND  
 RAIN GARDEN MIX PRODUCED BY ERNST CONSERVATION SEEDS  
 (800) 873-3321 OR APPROVED EQUAL AT A RATE OF 15 LBS PER ACRE

FERTILIZER: 0:20:20 FERTILIZER AT A RATE OF 500 LBS. PER ACRE AND 38:0:0 UREAFORM FERTILIZER AT 400 LBS. PER ACRE  
 MULCH ALL SEEDED AREAS WITH APPROVED STRAW AT A RATE OF 4,000 LBS PER ACRE.
- UNMOWED/MEADOW AREAS SEED MIX - APPLY AT A RATE OF 50 LBS. PER ACRE USING THE FOLLOWING PROPORTIONS BY WEIGHT

40% ORCHARDGRASS (Dactylis glomerata)
30% SMOOTH BROME GRASS (Bromus inermis Leyss.)
8% LADINO WHITE CLOVER (Trifolium repens 'Ladino')
22% CLIMAX TIMOTHY (Phleum pratense 'Climax')

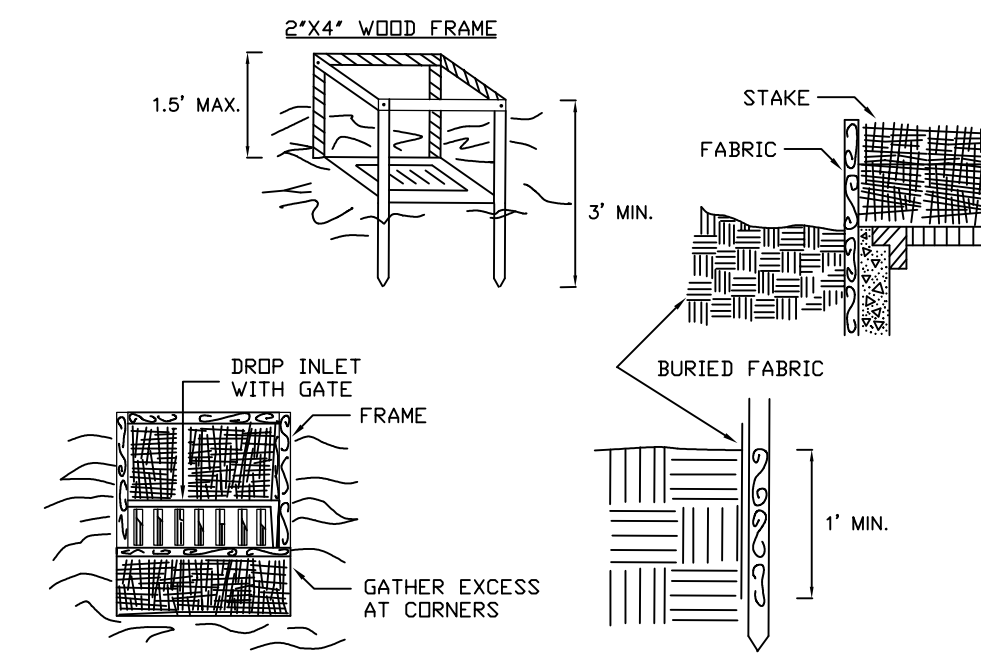
FERTILIZER: 28:4:12; RATE: 1,000 LBS. PER ACRE.  
 MULCH ALL SEEDED AREAS WITH APPROVED STRAW AT A RATE OF 4,000 LBS. PER ACRE.
- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE(3) YEAR MAINTENANCE GUARANTEE IS REQUIRED
- ANY PROPOSED CHANGES OR SUBSTITUTIONS MUST FIRST BE APPROVED BY THE HENRIETTA PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING



## CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRIES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

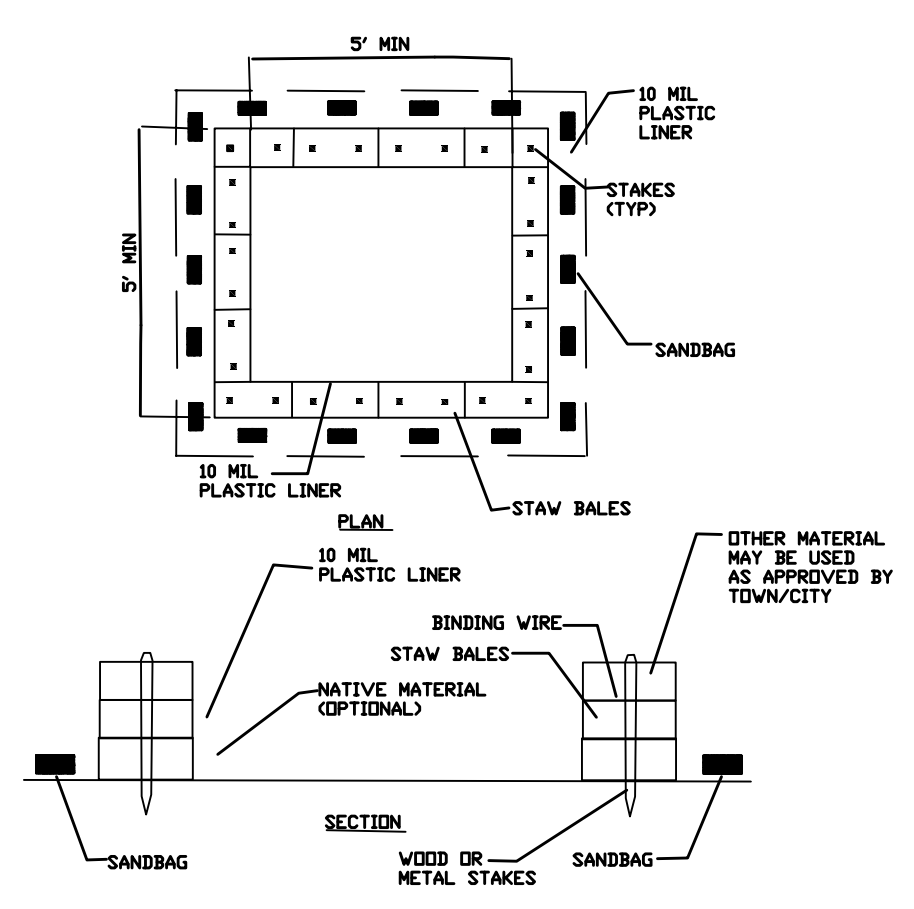
## CHECK DAM (N.T.S.)



## CONSTRUCTION SPECIFICATIONS

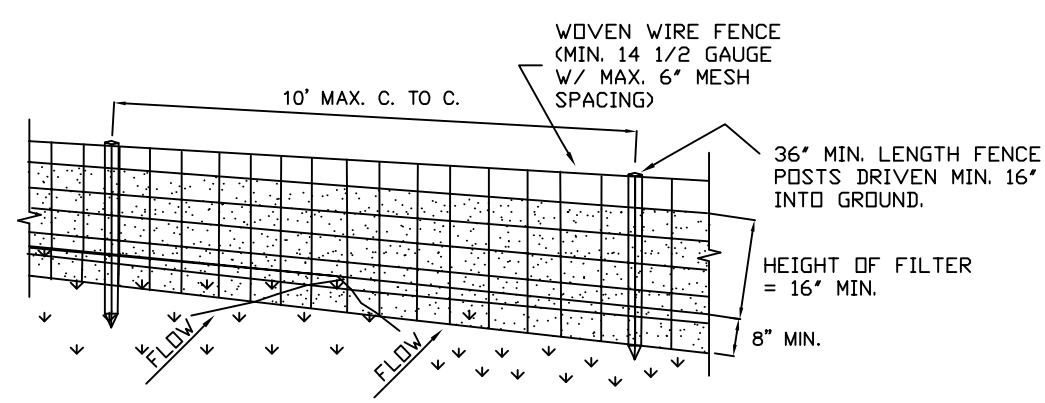
- FILTER FABRIC SHALL HAVE AN EDS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE

## FILTER FABRIC DROP INLET PROTECTION (N.T.S.)



## CONCRETE WASHOUT (N.T.S.)

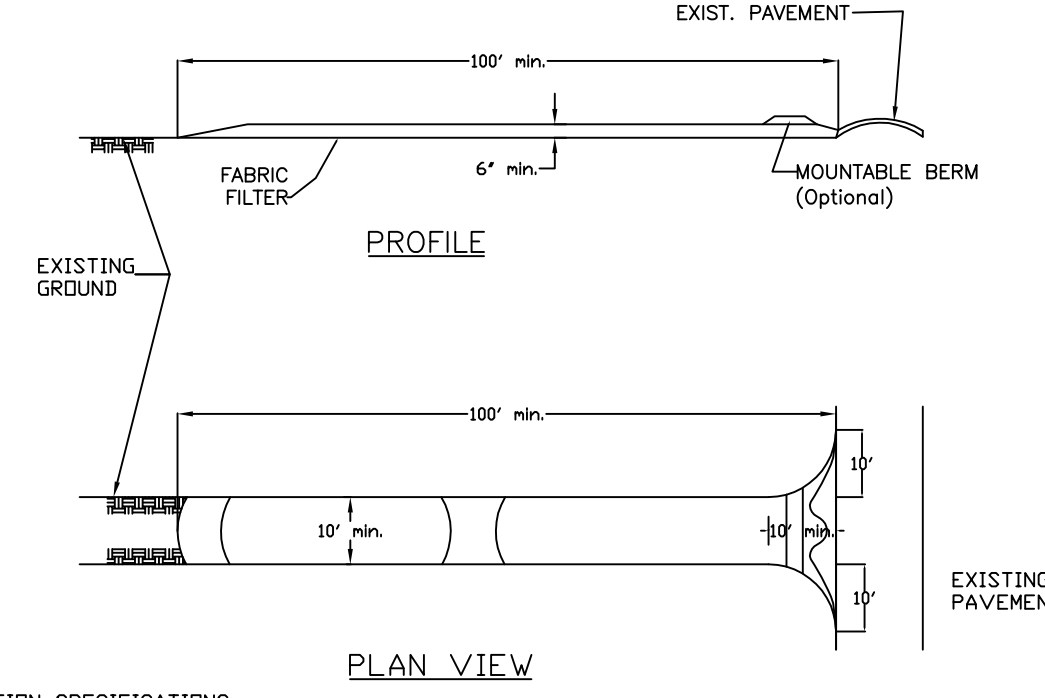
- WASHOUT NOTES**
- NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREAMS, OR STREAMS IS ALLOWED. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT AREAS.
  - ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
  - TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
  - WASHOUT FACILITIES WILL BE CLEANED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
  - PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
  - WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.



## CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEDFAB, ENVIRFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

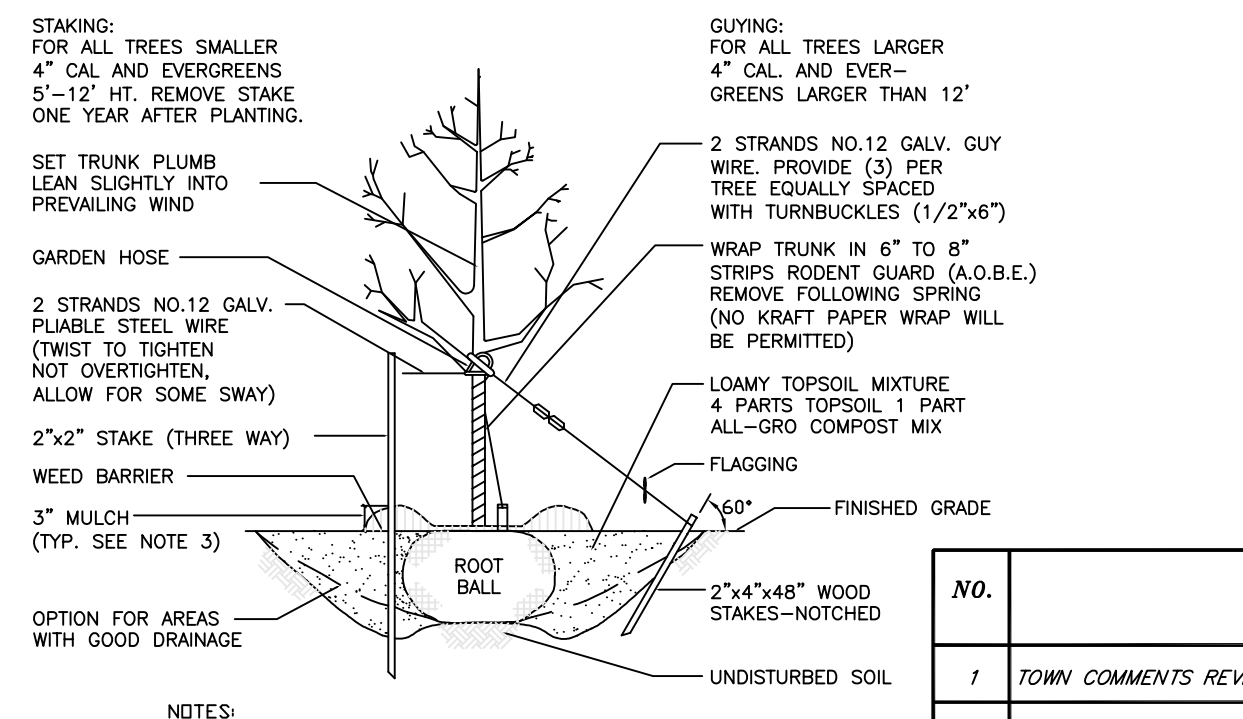
## SILT FENCE (N.T.S.)



## CONSTRUCTION SPECIFICATIONS

- STONE SIZE - #3 AND #4 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 100 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## STABILIZED CONSTRUCTION ENTRANCE (N.T.S.)



## TREE PLANTING DETAIL (N.T.S.)

- NOTES:**
- USE 8" STAKES-DRIVE 48" BELOW GROUND.
  - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
  - MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK. THEN IT CAN BE THICKENED.
  - MULCH IS TO BE PLACED 3' TO 6' AWAY FROM THE TRUNK.

# GRADING & EROSION CONTROL NOTES:

- CONTRACTOR SHALL CLEAR THE PERIMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN. CRUSHED STONE STABILIZATION PADS TO BE PLACED AT THE CONSTRUCTION ENTRANCES. IF BUILDING AND SITE WORK TO BE SECTIONS, CLEARING LIMITS SHOULD NOT EXCEED AREA NECESSARY TO CONSTRUCT EACH SECTION OF CONSTRUCTION.
- THE REMAINDER OF THE SITE IS TO BE CLEARED AND GRUBBED AS DIRECTED BY THE ENGINEER AND WITH TOWN APPROVAL. APPROVAL FOR ANY ON-SITE BURIAL MUST BE OBTAINED FROM THE TOWN PRIOR TO COMMENCING WORK-OTHER DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH CURRENT NYSDEC REGULATIONS.
- TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AREAS DESIGNATED BY THE OWNER AND THE TOWN. CONTRACTOR IS TO PERFORM THE EARTHWORK MAKING ALL CUTS AND FILLS AS SHOWN ON THE PLANS AND PER FIELD STAKEOUT. UPON COMPLETION OF HOUSE CONSTRUCTION, TOPSOIL SHALL BE REPLACED TO A DEPTH OF SIX (6) INCHES TO ACHIEVE FINAL GRADING ELEVATION.
- AS EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE DISTURBED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEEDED. SLOPES SHALL BE SEEDED AS SOON AS POSSIBLE AFTER COMPLETION OF WORK. PROVIDE ADDITIONAL STEEP SLOPE PROTECTION ON ALL SLOPES STEEPER THAN 3:1.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY HAS CEASED. THE SOIL STABILIZATION MEASURES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARD, NYSDEC.
- UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES, AND SILT FENCE INLET AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY PRIOR TO MAKING CONNECTION OR ALTERING ANY EXISTING UTILITIES.
- THE PAVEMENT SUBBASE MATERIAL SHALL BE PLACED AND COMPACTED TO 95% MAXIMUM DENSITY.
- DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCE WHICH BECOME CLOGGED, INOPERABLE OR DAMAGED. SILT FENCE SHALL BE INSPECTED AT MAXIMUM INTERVALS OF THREE MONTHS FOR REPLACEMENT AND REPLACEMENT WILL BE DIRECTED TO BY THE TOWN. ALL EROSION AND SILTATION CONTROLS INCLUDING SILT FENCE AND DESILTATION SINKS WILL BE INSPECTED AFTER A STORM EVENT AND REQUIRED REPAIRS WILL BE MADE IMMEDIATELY.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT.
- ANY SILT OR SEDIMENT ACCUMULATED IN EXISTING SWALES, STORM SEWERS, STREET AND/OR GUTTERS SHALL BE CLEANED OUT DURING CONSTRUCTION.
- DISTURBED AREAS SHALL BE STABILIZED, AND SLOPES GREATER THAN 10% SEEDED UPON COMPLETION OF GRADING AND CONSTRUCTION. DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY UPON COMPLETION WITH FOLLOWING MIXTURES:

	% By Weight	% By Purity	% Germ
Pennfine Perennial Rye Grass	35	85	85
Pennlawnred Fescue	35	97	80
Common Kentucky Bluegrass	30	85	80

SEEDING RATE: 5.0 LBS PER 1,000 SF  
 MULCH: HAY AS SPECIFIED AT TWO TONS PER ACRE WITH TACKIFIER AS SPECIFIED.  
 STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.
- NO SITE PREPARATION SHALL COMMENCE UNTIL A SOIL AND SEDIMENTATION CONTROL PERMIT HAS BEEN ISSUED BY THE TOWN.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH 6" TOPSOIL.
- THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT IS INTEND TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE LOCAL TOWN M54 REQUIREMENTS AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY. THE POLLUTION PREVENTION PLAN CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN. THE OWNER'S CONTRACTOR, SUB-CRTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE STORMWATER POLLUTION PREVENTION PLAN, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE DOCUMENTED BY THE OWNER WITH THE ENGINEER AND THE TOWN.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE SILT SINK IN THE STORMWATER MANAGEMENT AREA SHALL BE CLEANED OF ACCUMULATED SILT AND SEEDED WITH WETLAND TYPE VEGETATION TO PROVIDE PERMANENT FILTRATION OF STORMWATER.
- THE HOME BUILDER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION CONTROL MEASURES, PER THE DETAIL ON DRAWING DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SEED IS COMPLETE.
- ANY ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.
- BRUSH AND TREES WILL BE BURIED OR REMOVED FROM SITE. NO BURNING WILL BE OCCUR.
- THE CONTRACTOR SHALL PROVIDE MEANS TO WATER ALL SEEDED AREAS DURING PERIODS OF DROUGHT WITH A MINIMUM OF 1 INCH OF WATER PER WEEK UNTIL SEEDED AREAS REACH 80% GERMINATION.
- ROLLED EROSION STABILIZATION FABRIC TO BE PROVIDED ON ALL DISTURBED SLOPES 1V:3H OR STEEPER.

## GRADING NOTES

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EROSION CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. EROSION CONTROL SERVICES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN. REFER TO THE PLANS AND THE TOWN SOIL EROSION AND SEDIMENTATION CONTROL SPECIFICATIONS FOR THE EROSION CONTROL DEVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING EROSION CONTROL DEVICES FOR THE DURATION OF THE CONTRACT.
- THE CONTRACTOR WILL PROVIDE CRUSHED STONE STABILIZED CONSTRUCTION ENTRANCE AT THE PROJECT ENTRANCE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PREVENTING SILT RUNOFF FROM ACCUMULATION OF THE EXISTING ROADS AND/OR BEING CONVEYED DOWNSTREAM. DIVERSIONARY BERMS, INTERCEPTORS SWALES AND CRUSHED STONE FILTERS SHALL BE EMPLOYED TO PROTECT DOWNSTREAM PROPERTIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN.
- THE OWNER WILL BE RESPONSIBLE FOR IMPLEMENT THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN, INCLUDING THE FILING OF A "NOTICE" OF INTENT PRIOR TO CONSTRUCTION START. THE OWNER HAS CONSTRUCTOR, SUB-CRTRACTOR AND ALL OTHER ASSOCIATES WITH THE IMPLEMENTATION OF THIS PLAN SHALL BE FAMILIAR WITH PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT GP-0-20-002 FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PERFORM DUST CONTROL MEASURES AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN.
- THE TOPSOIL SHALL BE SEEDED AFTER COMPLETION OF STRIPING.
- THE TOPSOIL STOCKPILE LOCATION SHALL BE APPROVED BY THE TOWN.
- HOUSE PADS TO BE MASS GRADED DURING SITE WORK CONSTRUCTION TO AN ELEVATION 18 INCHES BELOW GRADE. FOR WALKOUTS, THE FRONT OF THE HOUSE PADS SHOULD BE GRADED TO AN ELEVATION 18 INCHES BELOW FINISH GRADE AND THE REAR ELEVATION SHOULD BE GRADED TO FINISH GRADE ELEVATIONS.

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23



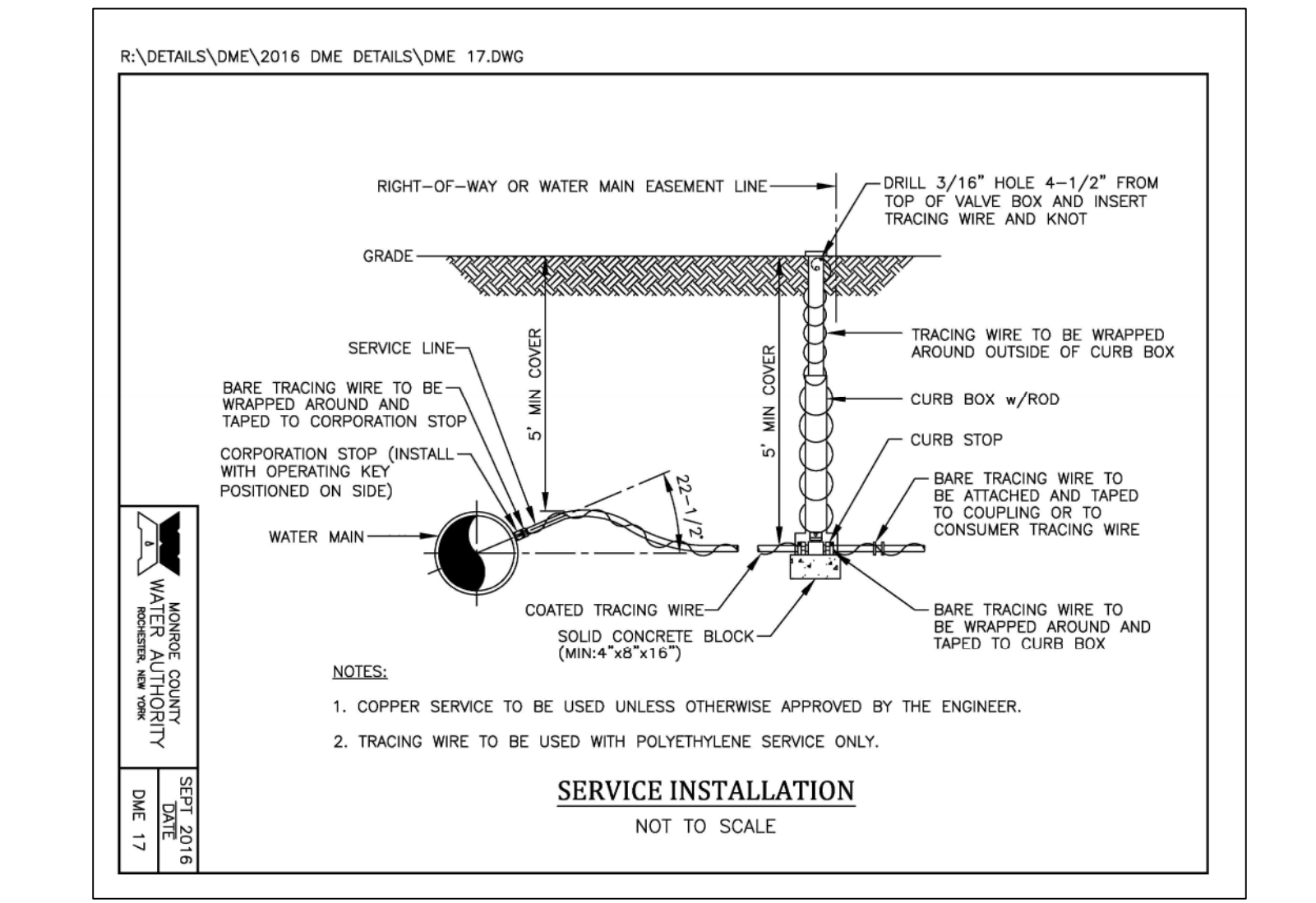
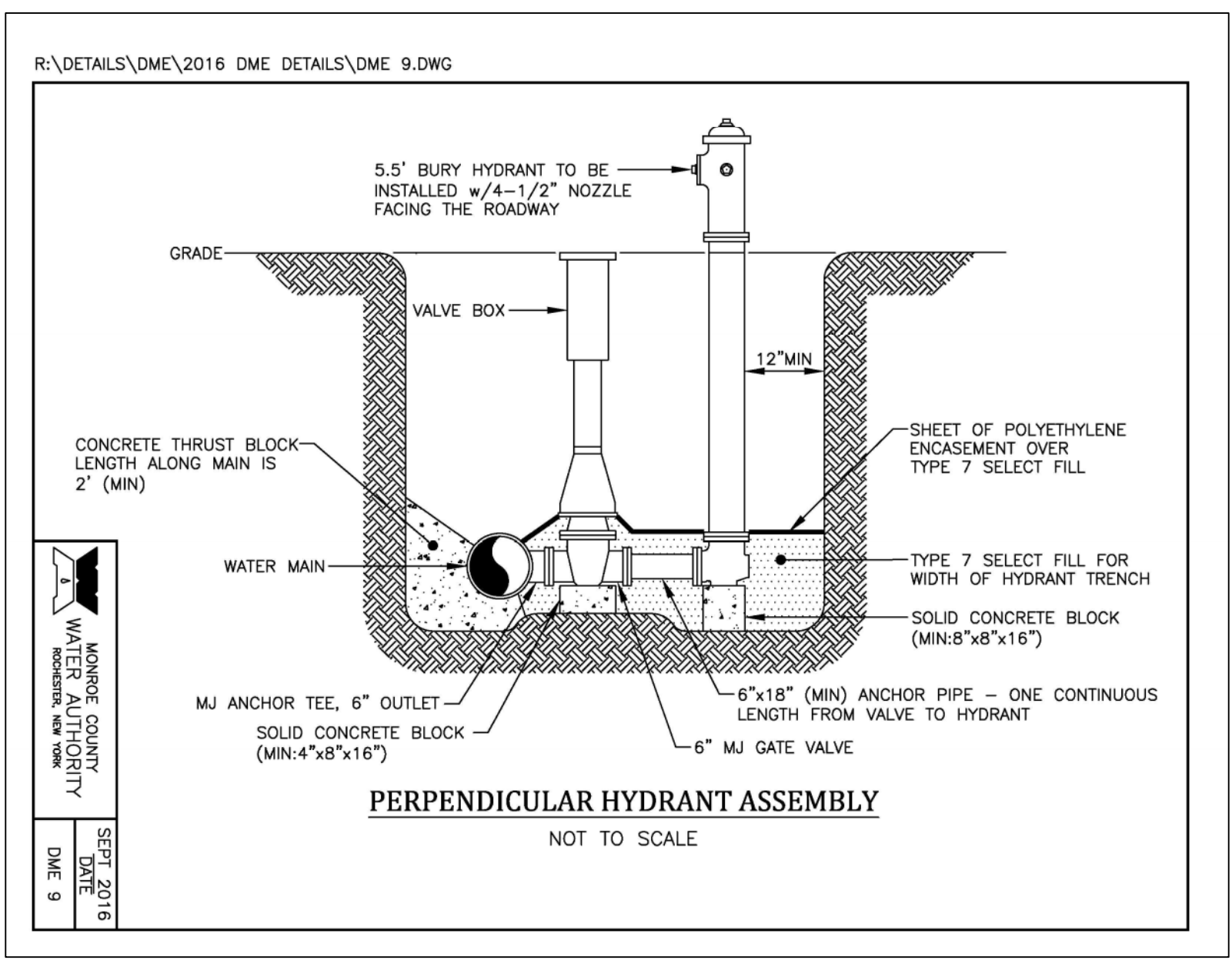
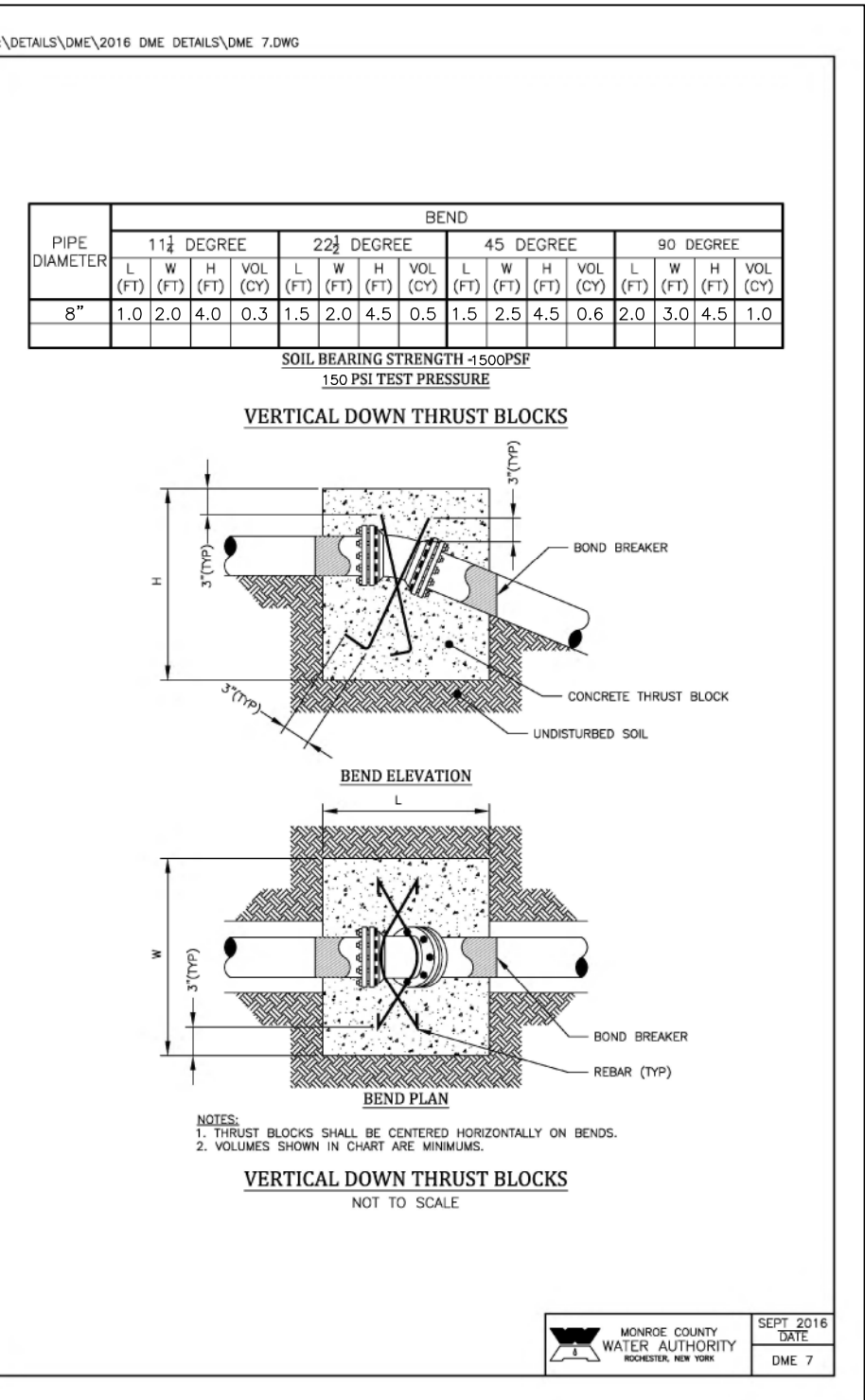
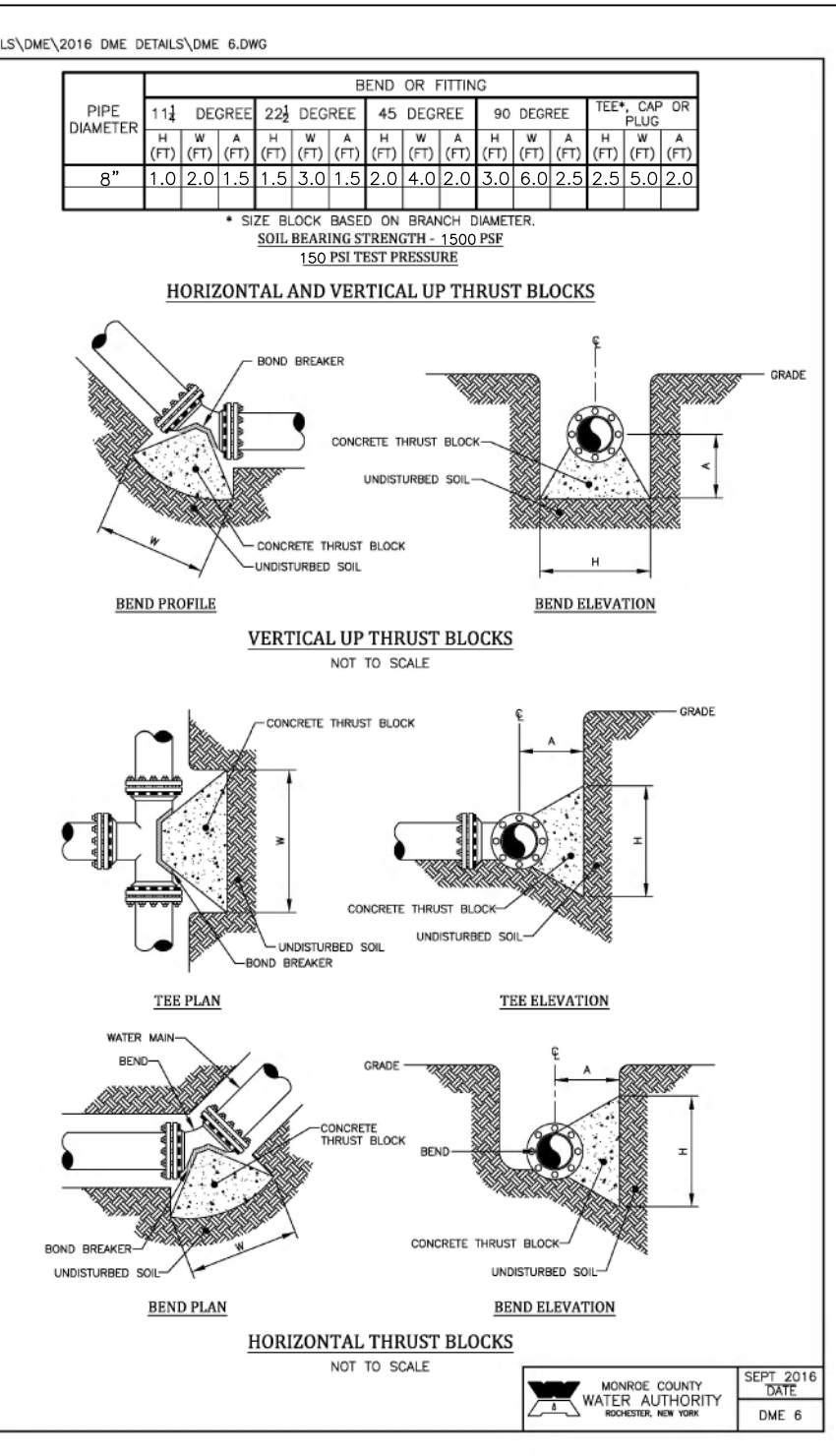
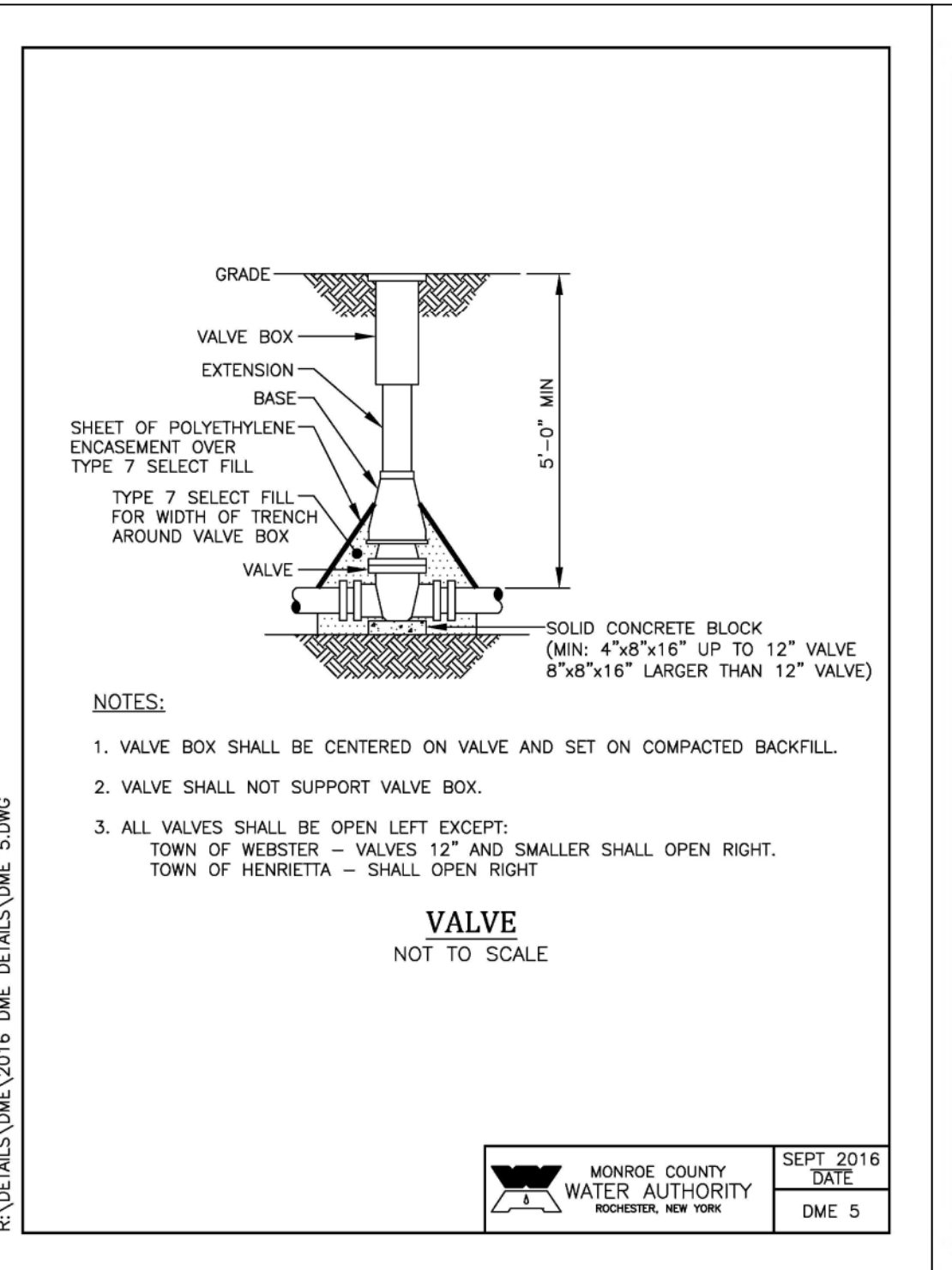
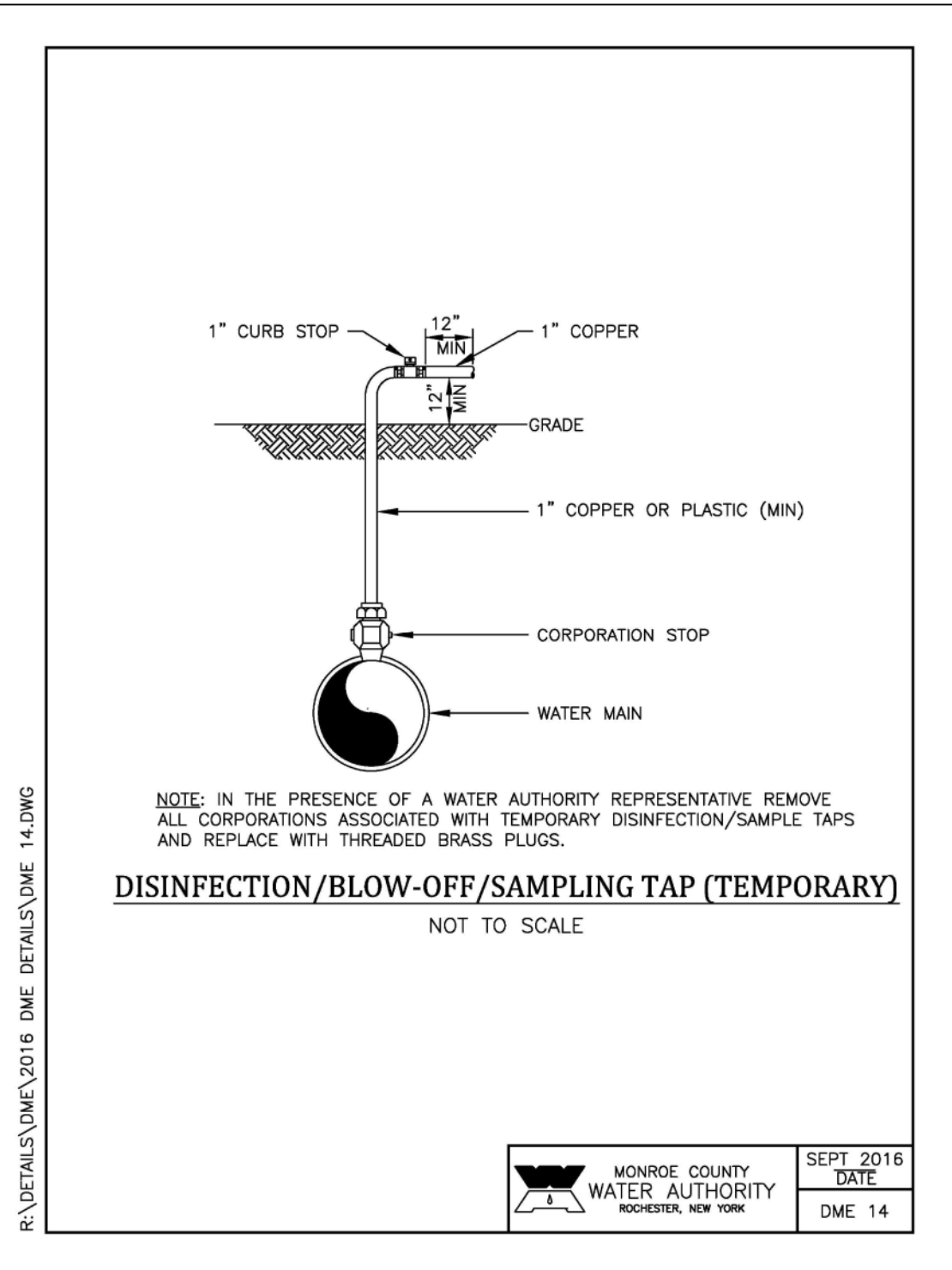
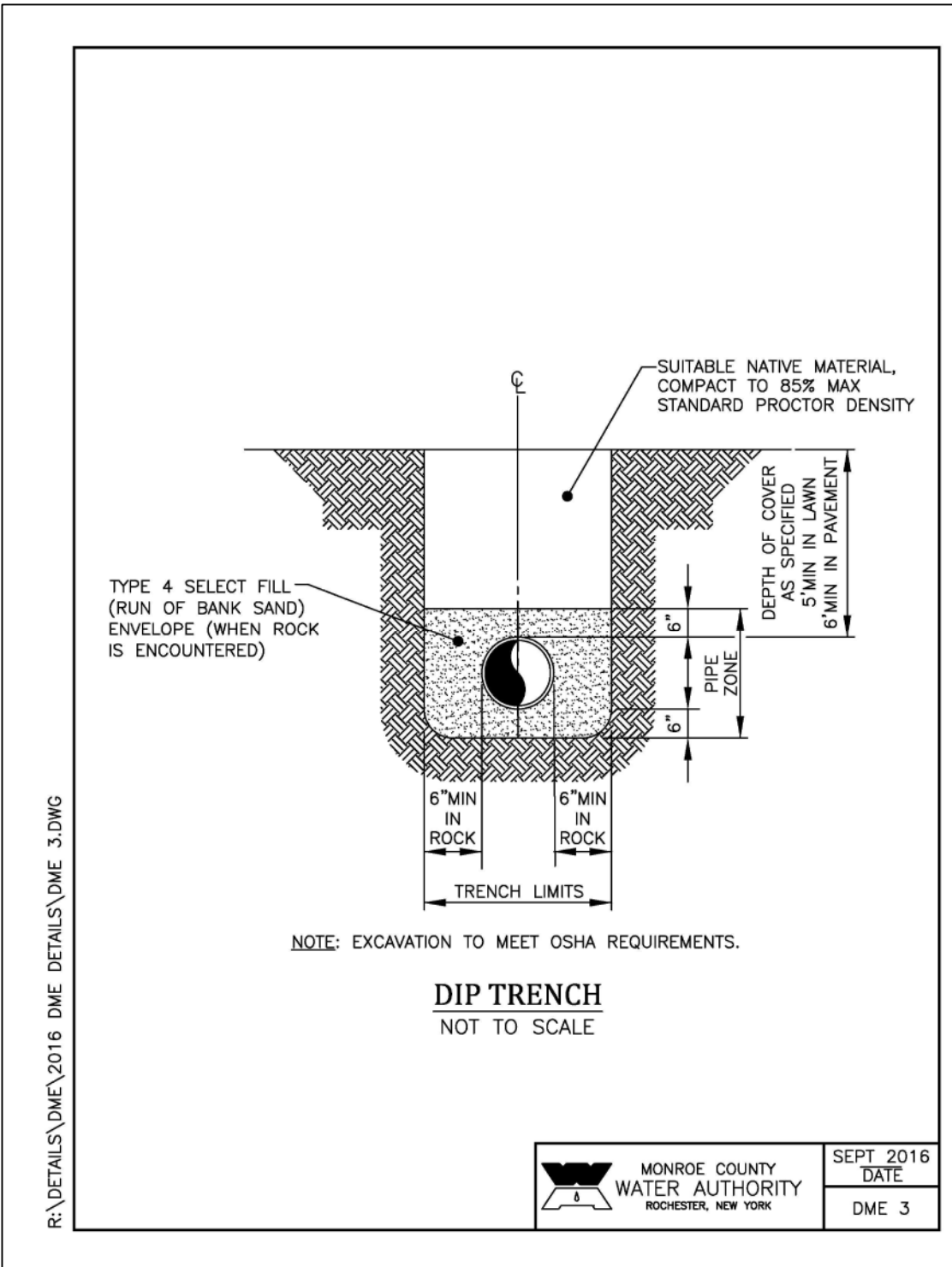
**DSB Engineers and Architects, P.C.**  
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**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PHASE 2

**DRAWING TITLE**  
 DETAILS AND NOTES

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILL AVENUE  
 ROCHESTER, N.Y. 14624

**PROJ. NO.** 08-12034 **DWG. BY** N.E.S. **DESIGN BY** W.F.B. **APPROVED** D.E.S. **DATE** 3/6/2024 **SCALE** N.T.S. **DWG. NO.** 11 of 16



**PUBLIC WATER SYSTEM NOTES**

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority.

**Material:**

- Water main(s) shall be 8 -inch ductile iron cement-lined Class 52.
- Water service(s) shall be 1 -inch Type K Copper from the water main to the curb box and 1/2 -inch (Type K soft Copper or PE #4710) from the curb box to the meter.
- Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.

**Tests:**

- Soil Test.** The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWA C105/AZI 5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test.** Water mains to be pressure tested in accordance with the latest Water Authority specifications. A Water Authority representative must witness this test.
- Health Sample.** The water main shall be disinfected equal to AWWA Standard Specifications, designation C-651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Monroe County Health Department. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.

**Installation:**

- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
- Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipes at the point of crossing. Minimum horizontal separation between water mains and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All mechanical joint fittings (tees, bonds, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.

MONROE COUNTY WATER AUTHORITY  
ROCHESTER, NEW YORK  
SEPT 2017  
DATE  
DME 28

**STANDARD WATER MAIN EXTENSION NOTES:**

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.  
  
ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.  
  
THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.  
  
FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.  
  
THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 708(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.  
  
THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINES PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VALVES) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VALVES.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23

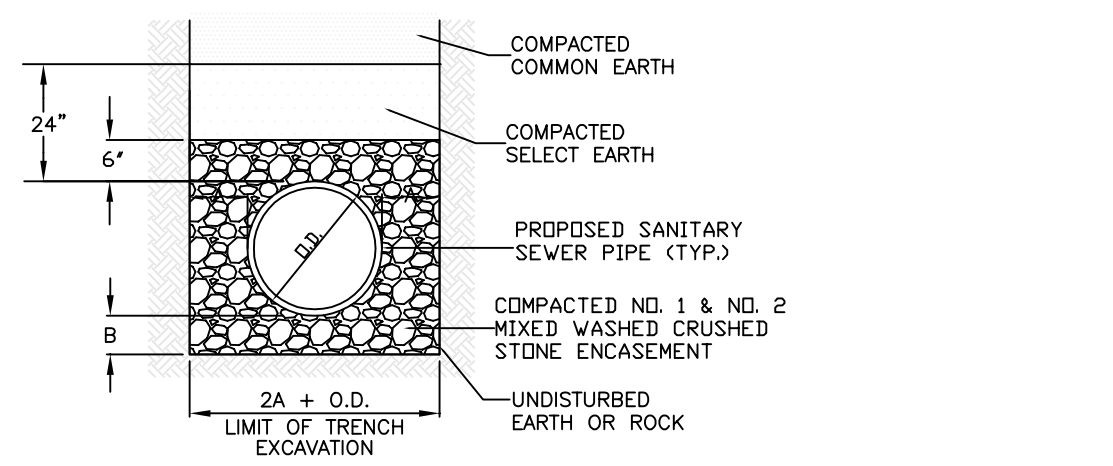
**DSB Engineers and Architects, P.C.**  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-2920 fax 585-271-2488

**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PHASE 2

**DRAWING TITLE**  
DETAILS AND NOTES

**CLIENT**  
FORST CREEK EQUITY CORP.  
3240 CHILL AVENUE  
ROCHESTER, N.Y. 14624

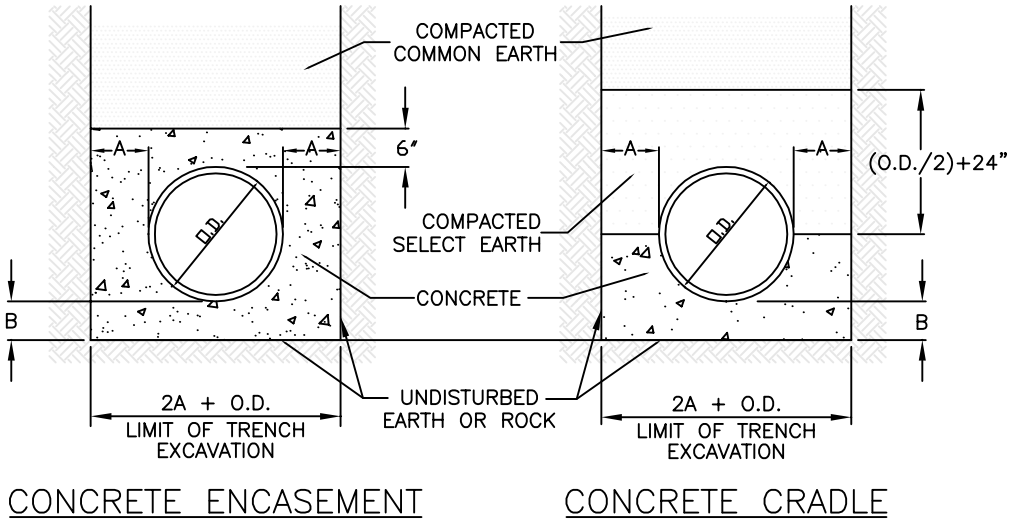
**PROJ. NO.** 08-12034  
**DWG. BY** N.E.S.  
**DESIGN BY** W.F.B.  
**APPROVED** D.E.S.  
**DATE** 3/6/2024  
**SCALE** NTS  
**DWG. NO.** 12 of 16



PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

- NOTES:**
- ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
  - ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
  - SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
  - STONE ENCASUREMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYS DOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
  - CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYS DOT SECTION 501 SPECIFICATIONS.

TYPICAL SANITARY BEDDING DETAIL



CONCRETE ENCASEMENT

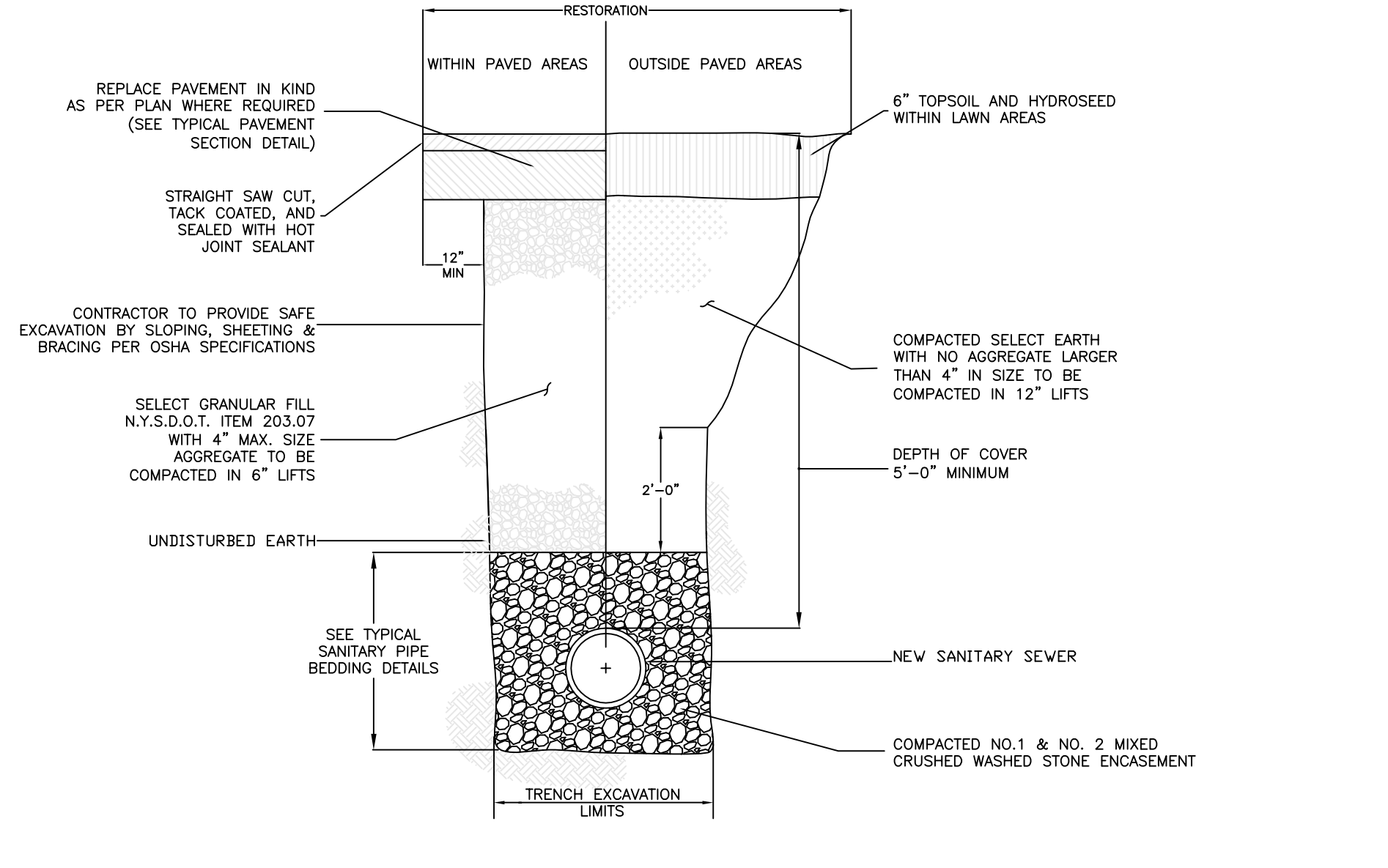
CONCRETE CRADLE

**TOWN OF HENRIETTA**

**TYPICAL SANITARY PIPE BEDDING DETAILS**

SCALE: N.T.S.      SA-01

DATE: 11/15/2011

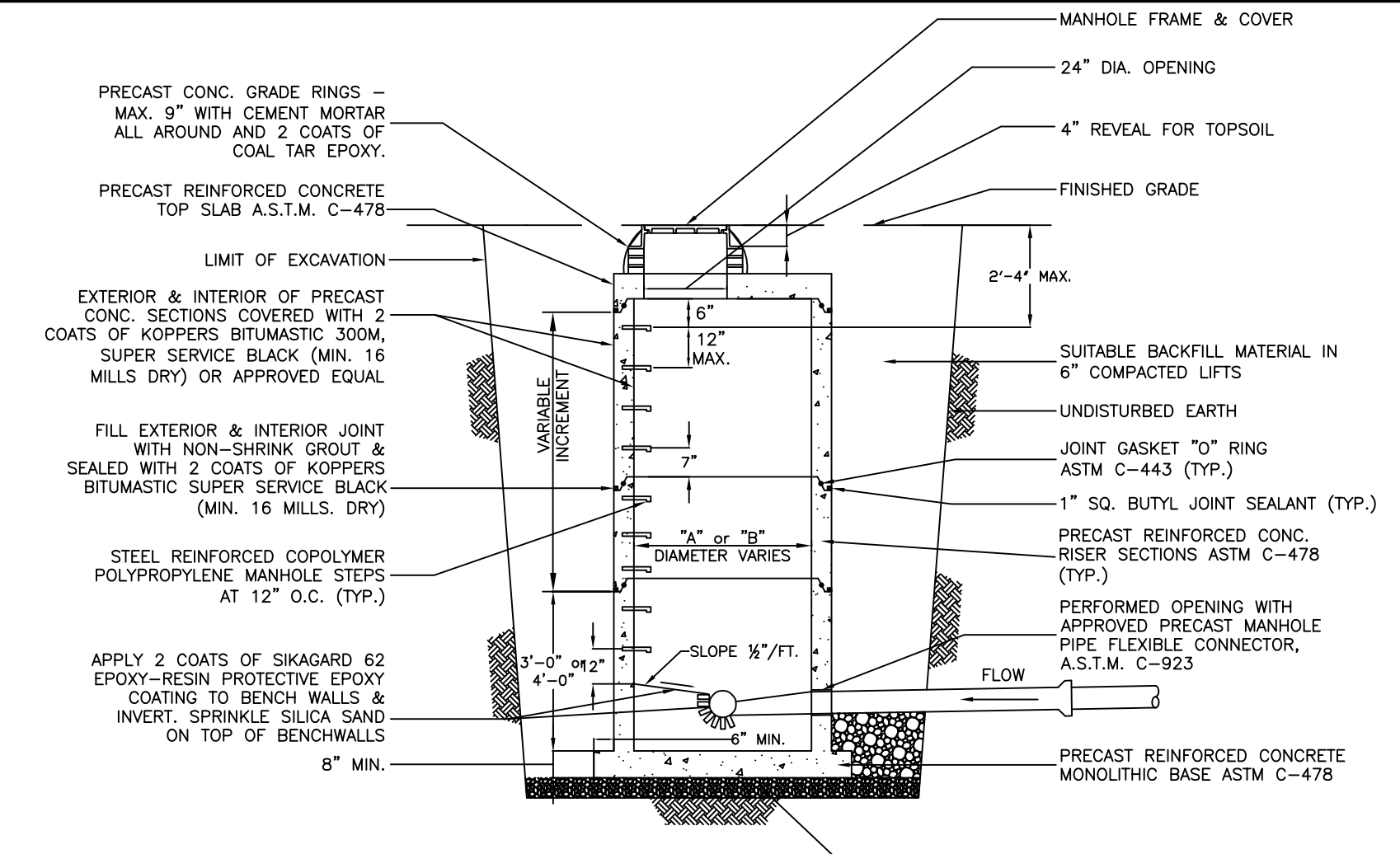


**TOWN OF HENRIETTA**

**TYPICAL SANITARY SEWER TRENCH DETAIL**

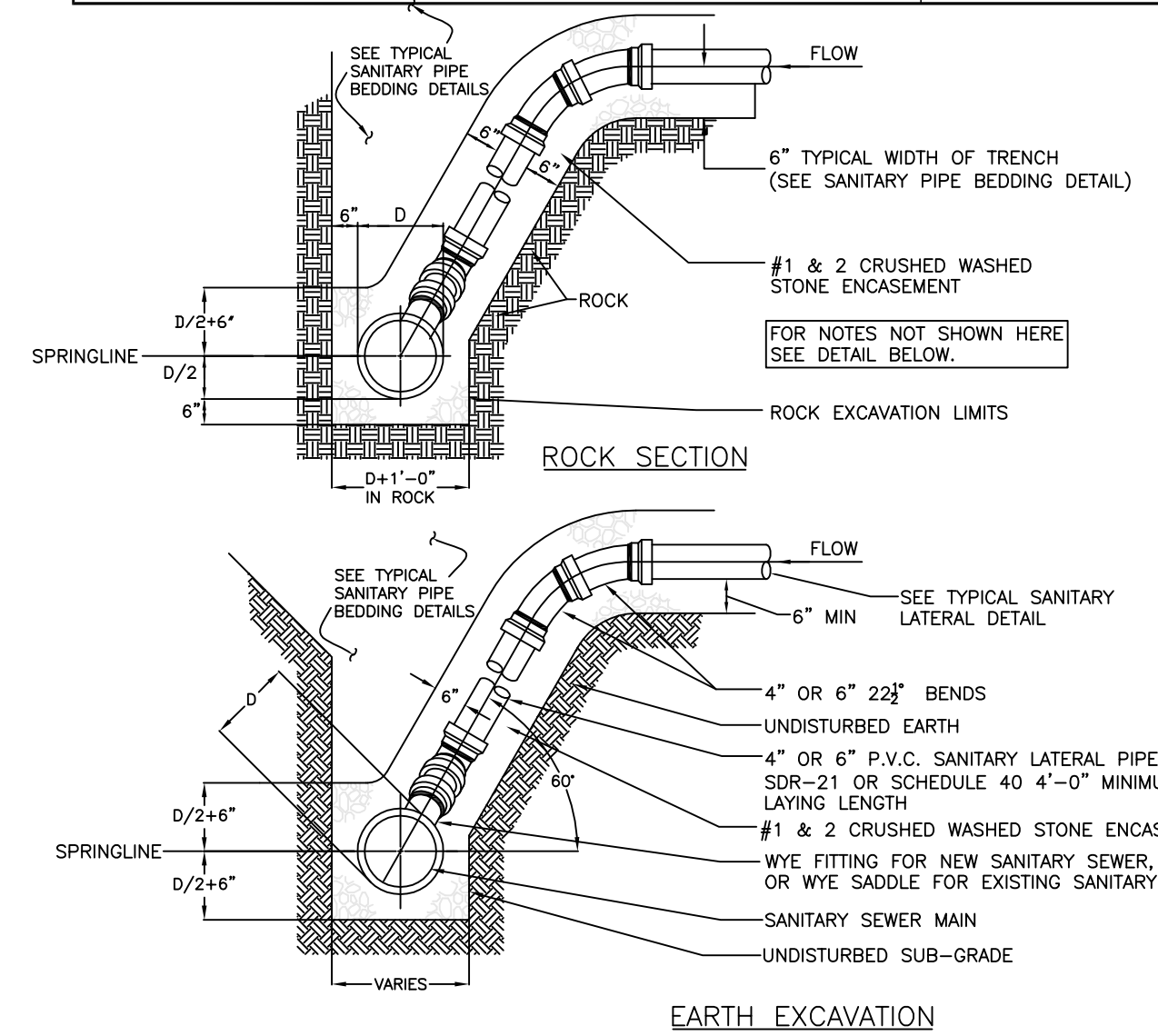
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DATE: 11/15/2011

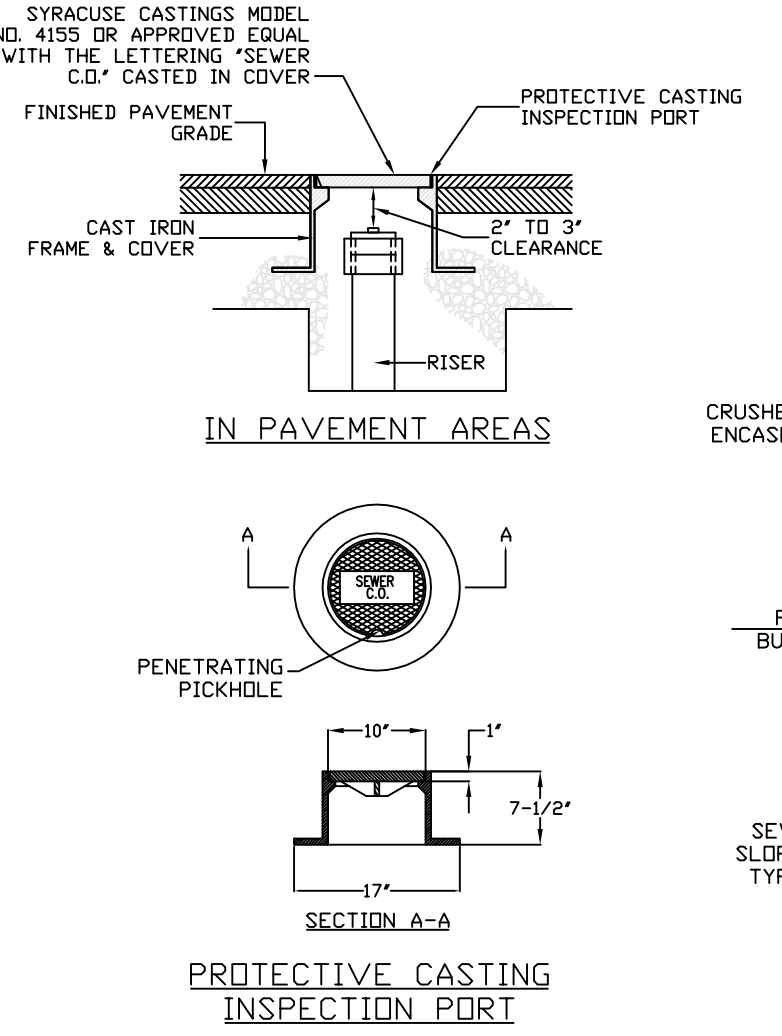


- NOTES:**
- REFER TO MANHOLE INVERT CONFIGURATION & DIMENSIONS DETAIL FOR MANHOLE DIAMETER "A" OR "B".
  - ALL DETAILS LISTED APPLY TO BOTH TYPES OF MANHOLES.
  - PRECAST CONC. MANHOLE WALL & SLAB MINIMUM THICKNESS  
 MANHOLE DIAMETER    42"    54"    66"  
 A. TOP SLAB            8"    8"    8"  
 B. RISER WALL        8"    8"    8"  
 C. BOTTOM SLAB      8"    8"    8"
  - MAXIMUM DISTANCE BETWEEN MANHOLES SHALL BE 400 FEET.

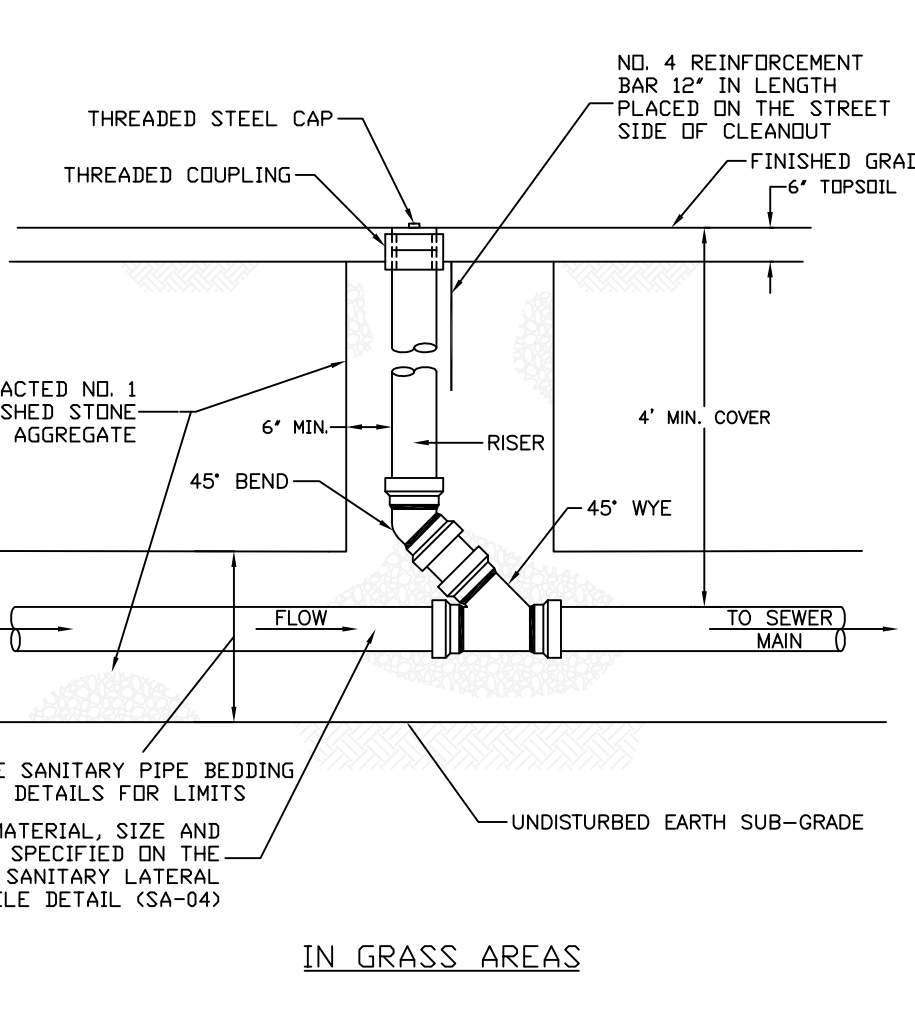
SANITARY MANHOLE DETAIL



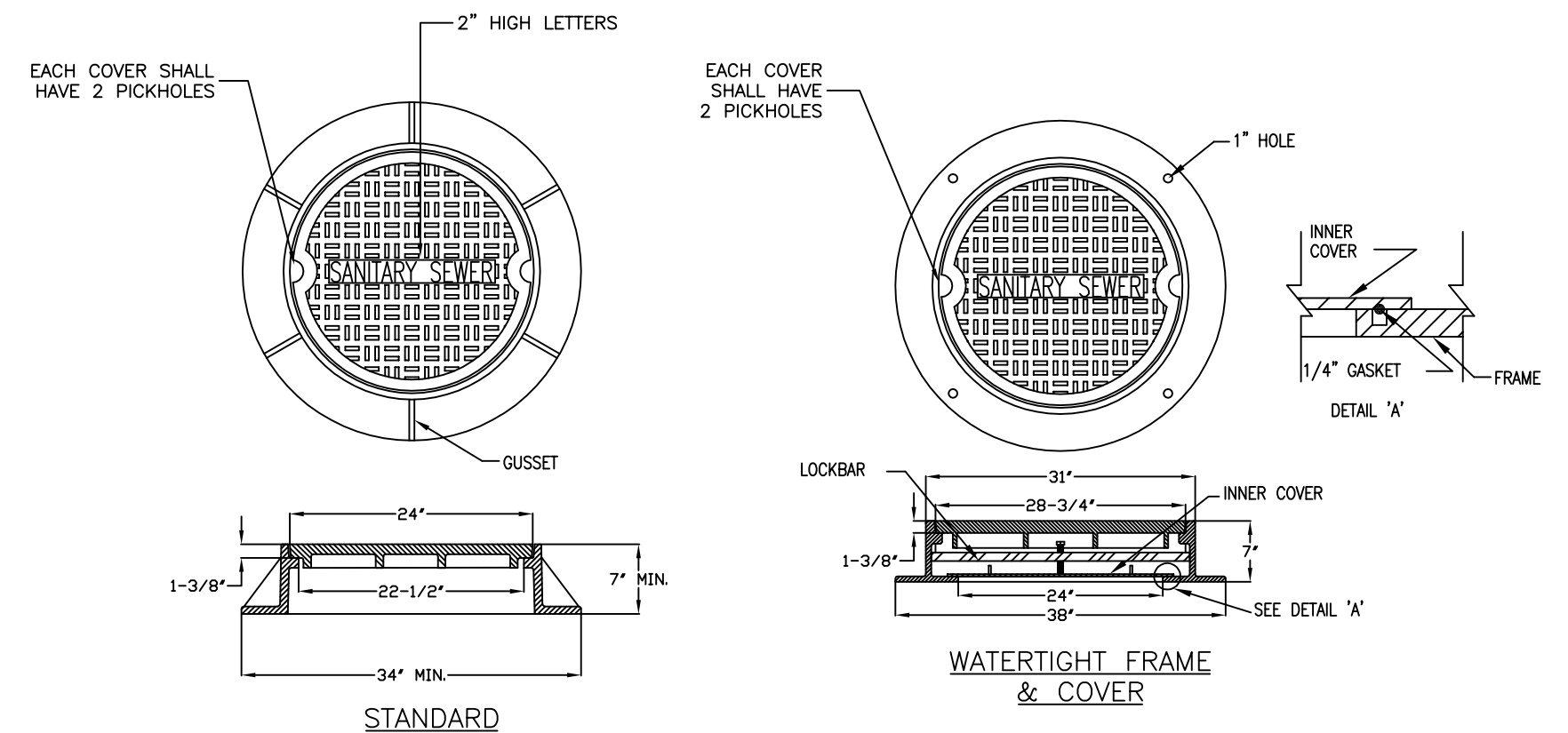
SANITARY LATERAL RISER DETAIL



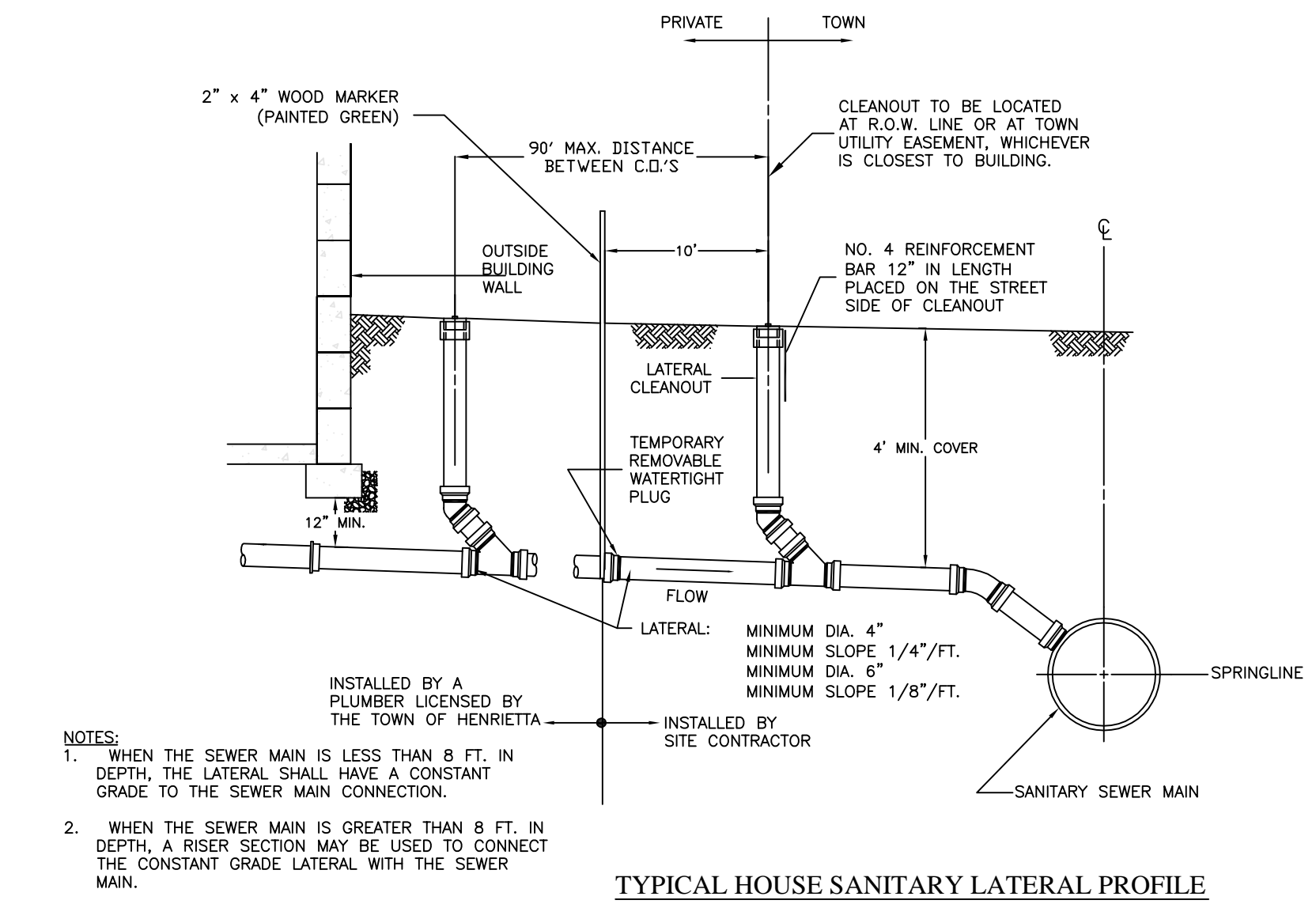
PROTECTIVE CASTING INSPECTION PORT



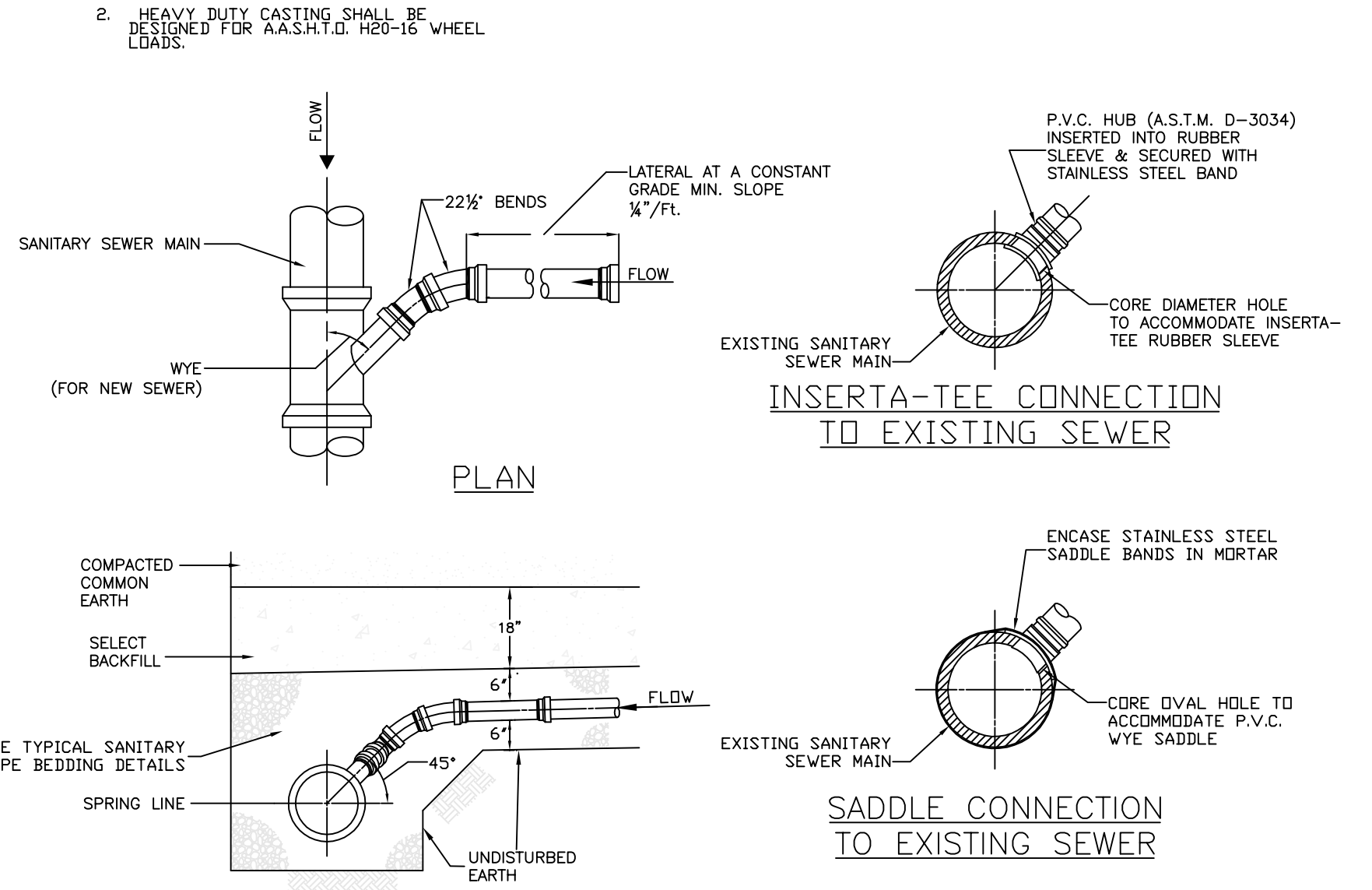
SANITARY LATERAL CLEANOUT



SANITARY MANHOLE FRAME AND COVER



TYPICAL HOUSE SANITARY LATERAL PROFILE



SANITARY LATERAL CONNECTION DETAIL

- NOTES:**
- WHEN THE SEWER MAIN IS LESS THAN 8 FT. IN DEPTH, THE LATERAL SHALL HAVE A CONSTANT GRADE TO THE SEWER MAIN CONNECTION.
  - WHEN THE SEWER MAIN IS GREATER THAN 8 FT. IN DEPTH, A RISER SECTION MAY BE USED TO CONNECT THE CONSTANT GRADE LATERAL WITH THE SEWER MAIN.
  - FOR "HUNG" PLUMBING, PROVIDE 4" MIN. COVER OVER LATERAL AT THE BASEMENT WALL AND ALONG THE ROUTE OF THE LATERAL.
  - THE MATERIAL FOR THE SANITARY LATERAL SHALL BE PVC SDR-21.

NO.	REVISION	APP.	DATE
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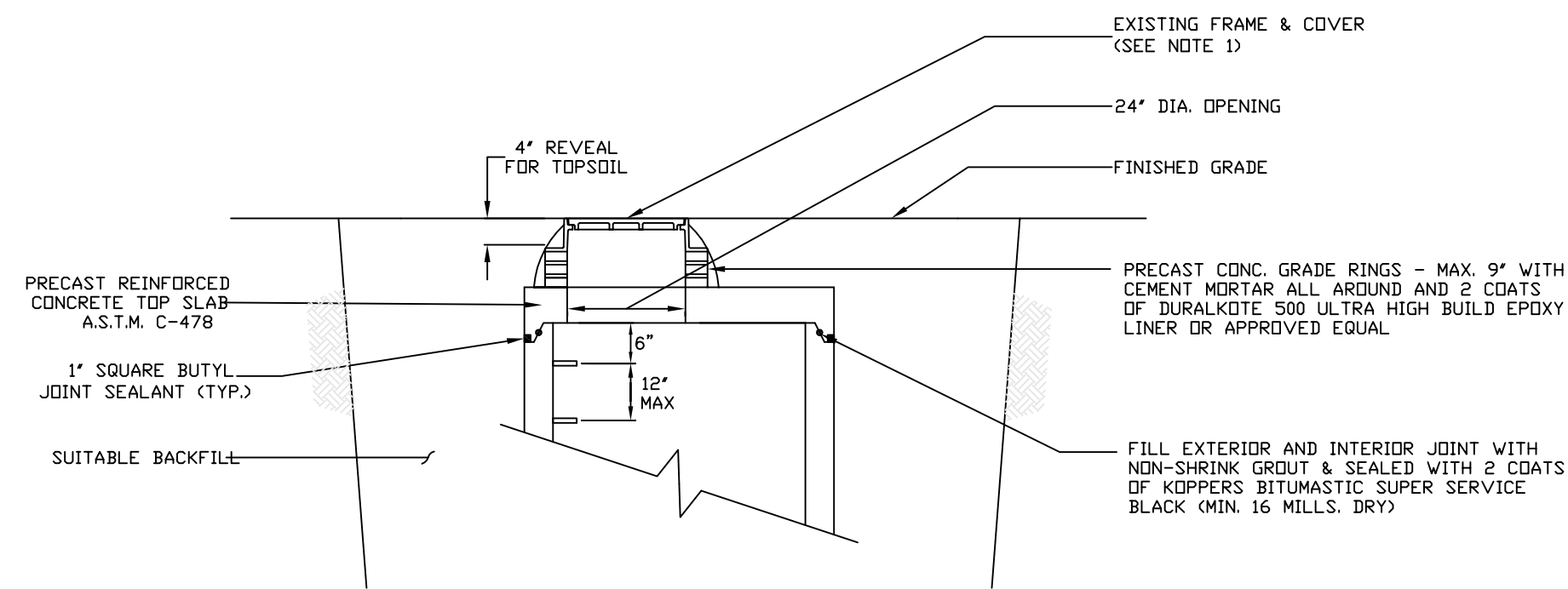
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**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PHASE 2

**DRAWING TITLE**  
 DETAILS AND NOTES

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

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08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	NTS	13 of 16



- NOTES:**
1. DEPENDING ON EXISTING CONDITION, THE EXISTING FRAME & COVER MAY NEED TO BE REPLACED. IF SO, THE EXISTING FRAME & COVER SHALL BE RETURNED TO THE TOWN.
  2. MAXIMUM NUMBER OF ALLOWABLE PRECAST CONCRETE GRADE RINGS IS 3.
  3. DEPENDING ON THE DEPTH OR AN ECCENTRIC CONE SECTION ENCOUNTERED, THE CONTRACTOR MAY BE REQUIRED TO ADJUST THE MANHOLE UTILIZING PRECAST REINFORCED CONCRETE BARREL RISER SECTIONS.

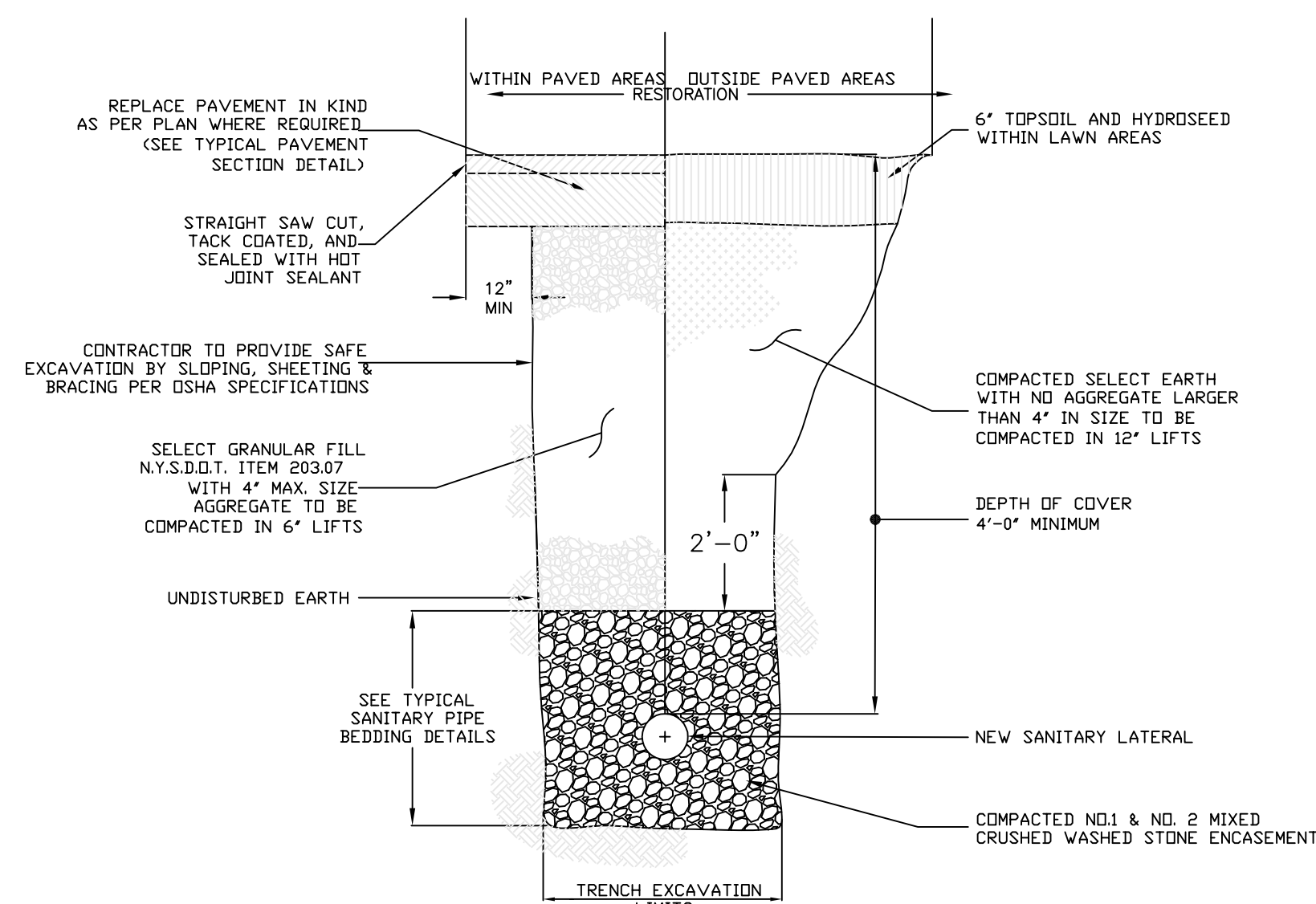
**TOWN OF HENRIETTA**

**MANHOLE GRADE ADJUSTMENT DETAIL**

SCALE: N.T.S.

DATE: 9/29/2015

**SA-15**



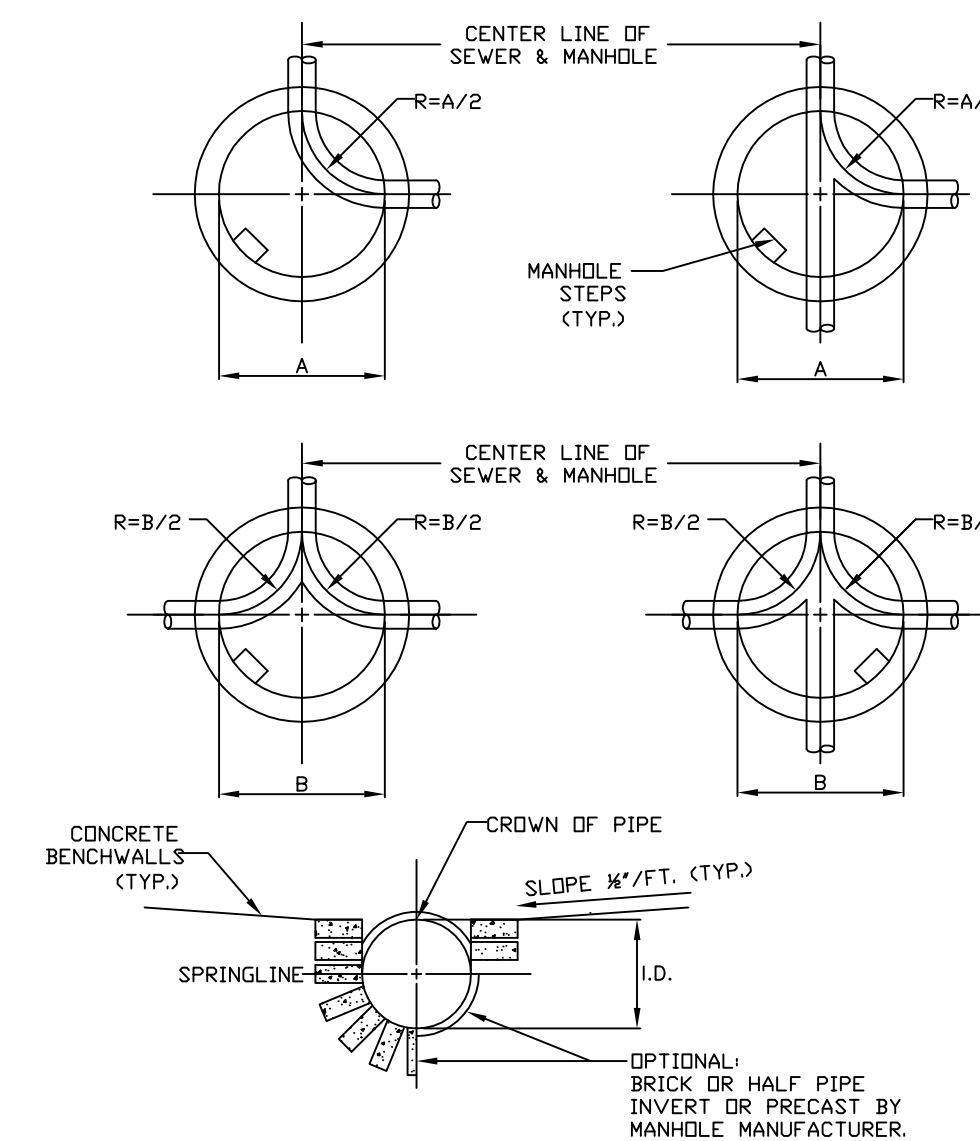
**TOWN OF HENRIETTA**

**TYPICAL SANITARY LATERAL TRENCH DETAIL**

SCALE: N.T.S.

DATE: 11/15/2011

**SA-03**



MIN. PIPE DIA.	8"	10"	12"	15"	18"
A	4'-0"	4'-0"	4'-0"	5'-0"	5'-0"
B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"

SEE NOTE 2 FOR INVERT SLOPES

- NOTES:**
1. DIMENSIONS A & B ARE GOVERNED BY OUTLET DIAMETER.
  2. INVERT SLOPES:
    - A) STRAIGHT THROUGH PIPE-SLOPES SHALL BE A MINIMUM 0.10' DROP ACROSS MANHOLE.
    - B) 90° BENDS - PROVIDE MINIMUM 0.25' DROP ACROSS MANHOLE.
    - C) WHERE TWO OR MORE PIPES ENTER A MANHOLE THE STEEPER OF SLOPES ABOVE WILL DETERMINE THE OUTLET ELEVATION.
    - D) WHERE PIPES ARE OF DIFFERENT SIZE, SLOPE SHALL BE AS DETERMINED BY CONTRACT PLANS.

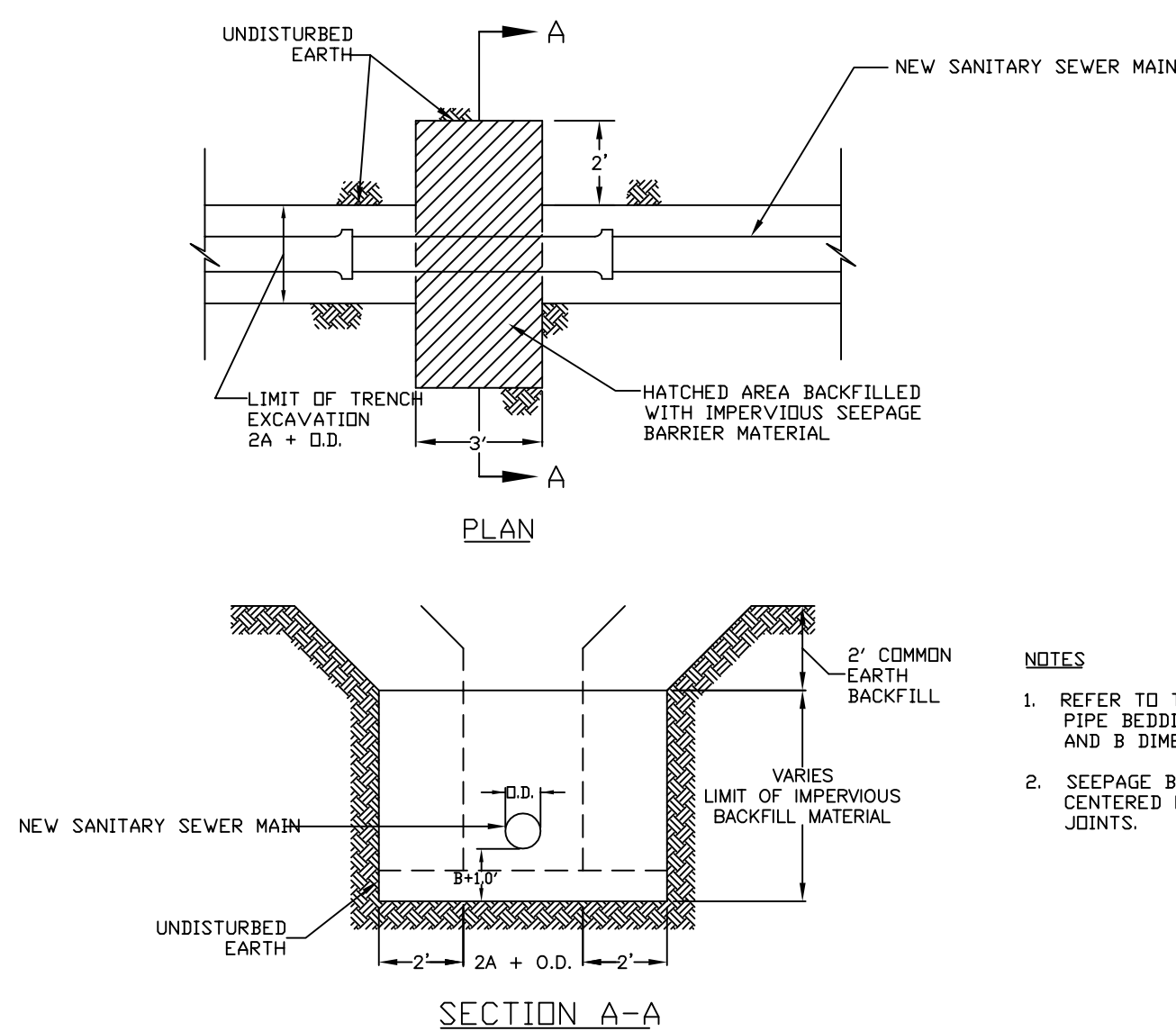
**TOWN OF HENRIETTA**

**SANITARY MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**

SCALE: N.T.S.

DATE: 11/15/2011

**SA-09**



- NOTES:**
1. REFER TO TYPICAL SANITARY PIPE BEDDING DETAILS FOR A AND B DIMENSIONS.
  2. SEEPAGE BARRIER IS TO BE CENTERED ON PIPE BETWEEN JOINTS.

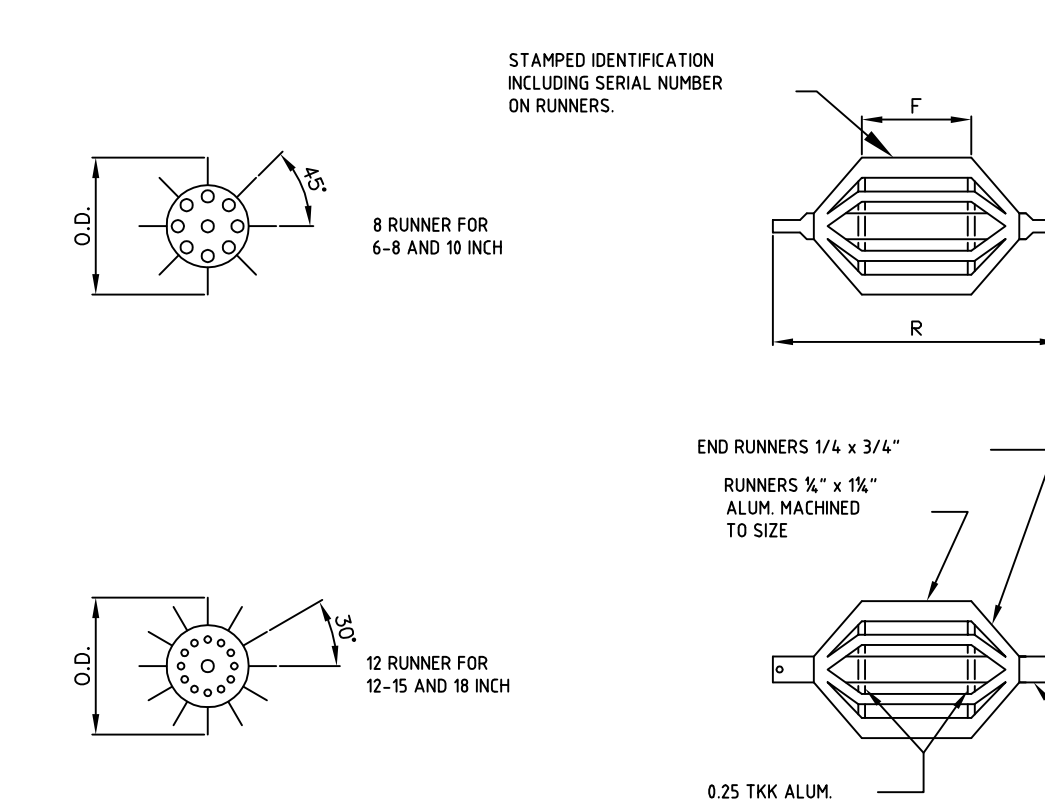
**TOWN OF HENRIETTA**

**IMPERVIOUS SEEPAGE BARRIER**

SCALE: N.T.S.

DATE: 11/15/2011

**SA-16**



**NOTE:**

THE OUTSIDE DIAMETER OF THE MANDREL IS DETERMINED BY THE ACTUAL PIPE INTERNAL DIAMETER (AS CERTIFIED BY THE PIPE MANUFACTURER) MINUS 5% ALLOWABLE DEFLECTION. THE ALLOWABLE TOLERANCE OF THE MANDREL OUTSIDE DIAMETER IS +0.000, -0.040 INCHES.

NOMINAL PIPE DIA.	F	R	NUMBERS OF RUNNERS
6"	6 1/2"	15"	8
8"	6 1/2"	17"	8
10"	8"	21"	8
12"	9"	25"	12
15"	10"	27"	12
18"	10"	27"	12

COM. MEASURE ±1/16"

**TOWN OF HENRIETTA**

**DEFLECTION TESTING MANDREL**

SCALE: N.T.S.

DATE: 11/15/2011

**SA-17**

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23



**DSB Engineers and Architects, P.C.**

2394 Ridgeway Avenue, Suite 201, Rochester, New York 14620  
 ph. 585-271-3239 fax. 585-271-3498

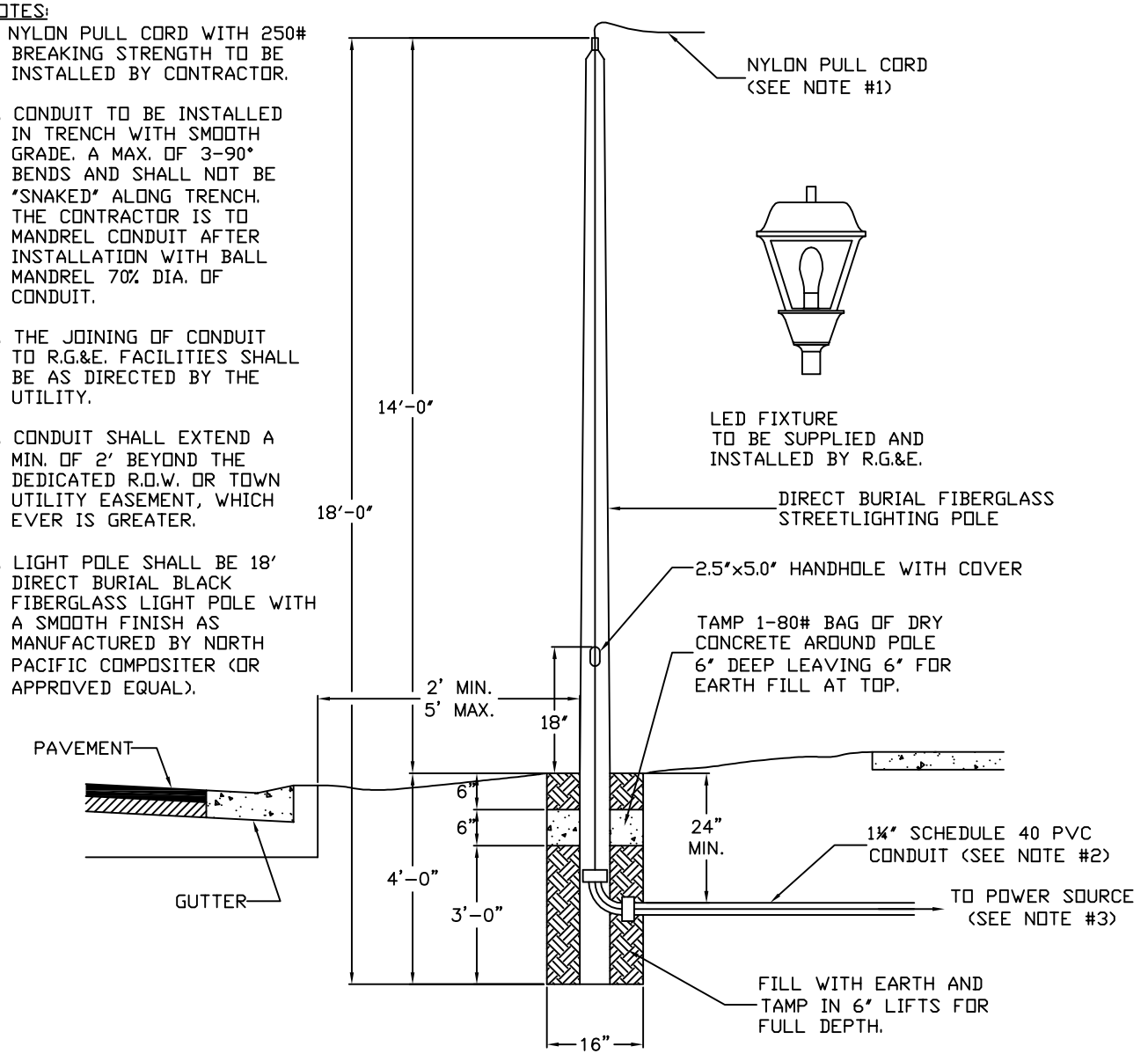
**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION PHASE 2**

**DRAWING TITLE**  
**DETAILS AND NOTES**

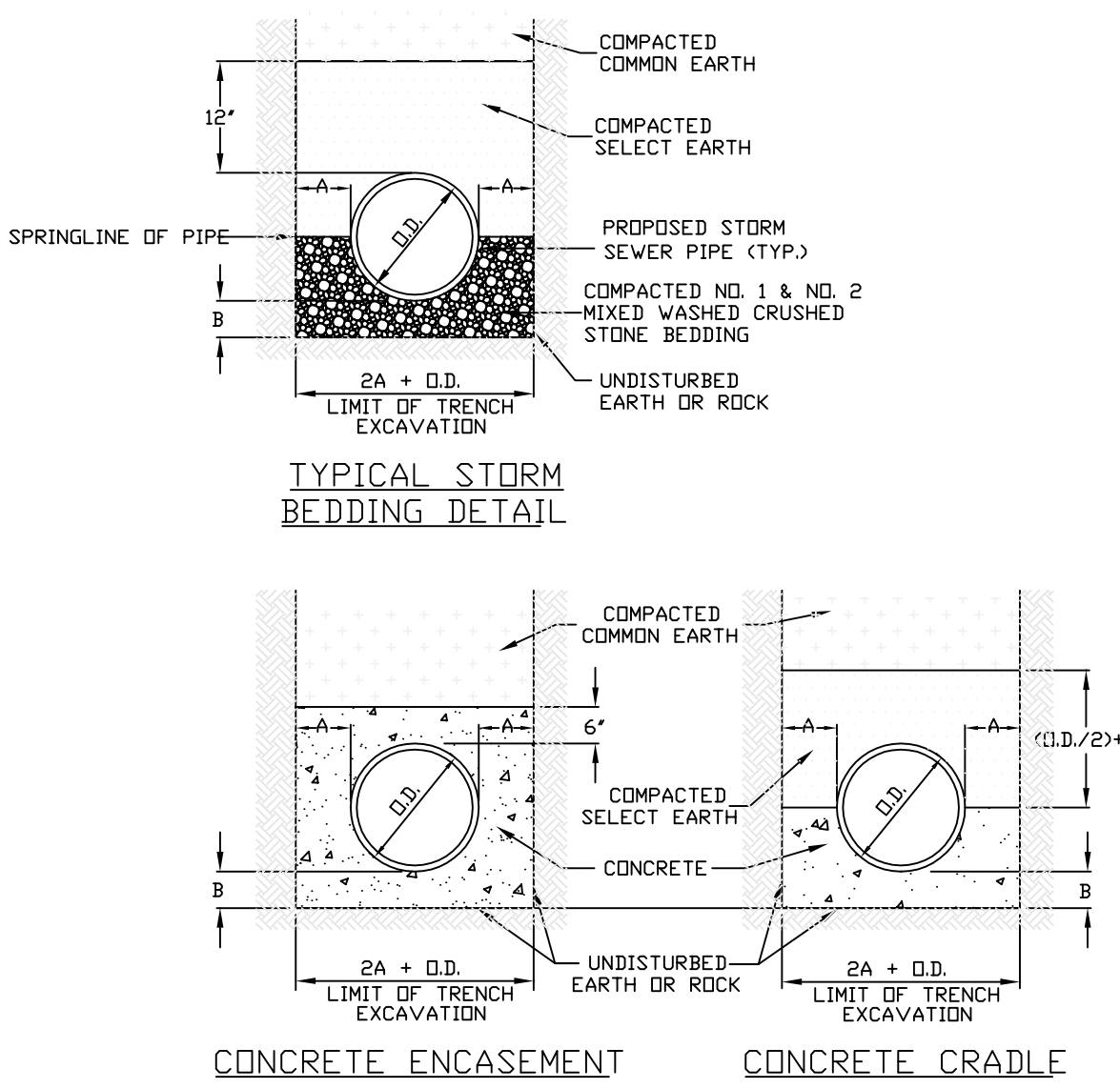
**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3840 CHILL AVENUE  
 ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/8/2024	NTS	14 of 18

- NOTES:**
1. NYLON PULL CORD WITH 250# BREAKING STRENGTH TO BE INSTALLED BY CONTRACTOR.
  2. CONDUIT TO BE INSTALLED IN TRENCH WITH SMOOTH GRADE. A MAX. OF 3-90° BENDS AND SHALL NOT BE "SNAKED" ALONG TRENCH. THE CONTRACTOR IS TO MANDREL CONDUIT AFTER INSTALLATION WITH BALL MANDREL 70% DIA. OF CONDUIT.
  3. THE JOINING OF CONDUIT TO R.G.&E. FACILITIES SHALL BE AS DIRECTED BY THE UTILITY.
  4. CONDUIT SHALL EXTEND A MIN. OF 2' BEYOND THE DEDICATED R.O.W. OR TOWN UTILITY EASEMENT, WHICH EVER IS GREATER.
  5. LIGHT POLE SHALL BE 18" DIRECT BURIAL BLACK FIBERGLASS LIGHT POLE WITH A SMOOTH FINISH AS MANUFACTURED BY NORTH PACIFIC COMPOSITER (OR APPROVED EQUAL).



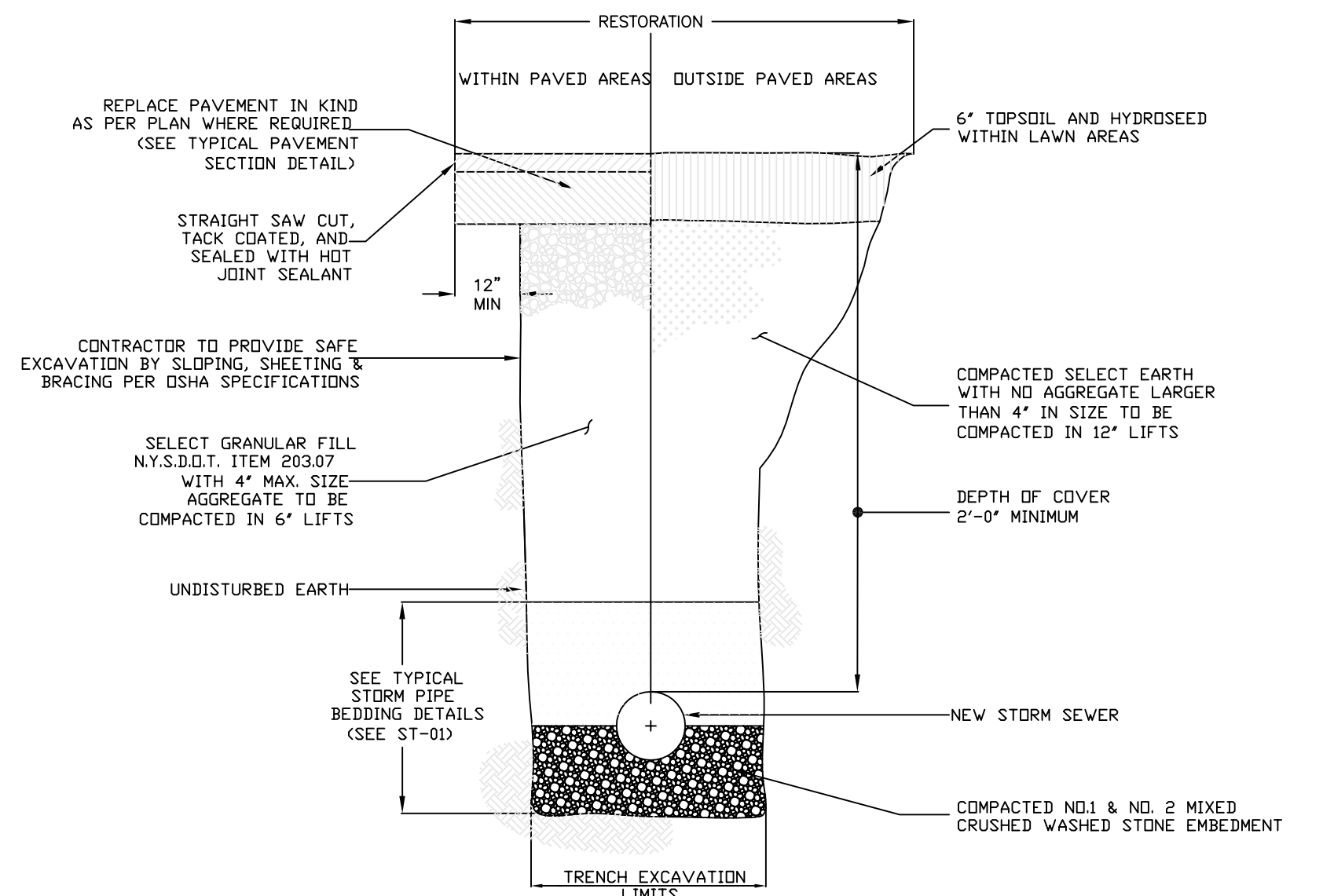
**TOWN OF HENRIETTA**  
**TYPICAL STREET LIGHT POLE & CONDUIT INSTALLATION**  
 SCALE: N.T.S.  
 DATE: 11/10/2011  
**M-3**



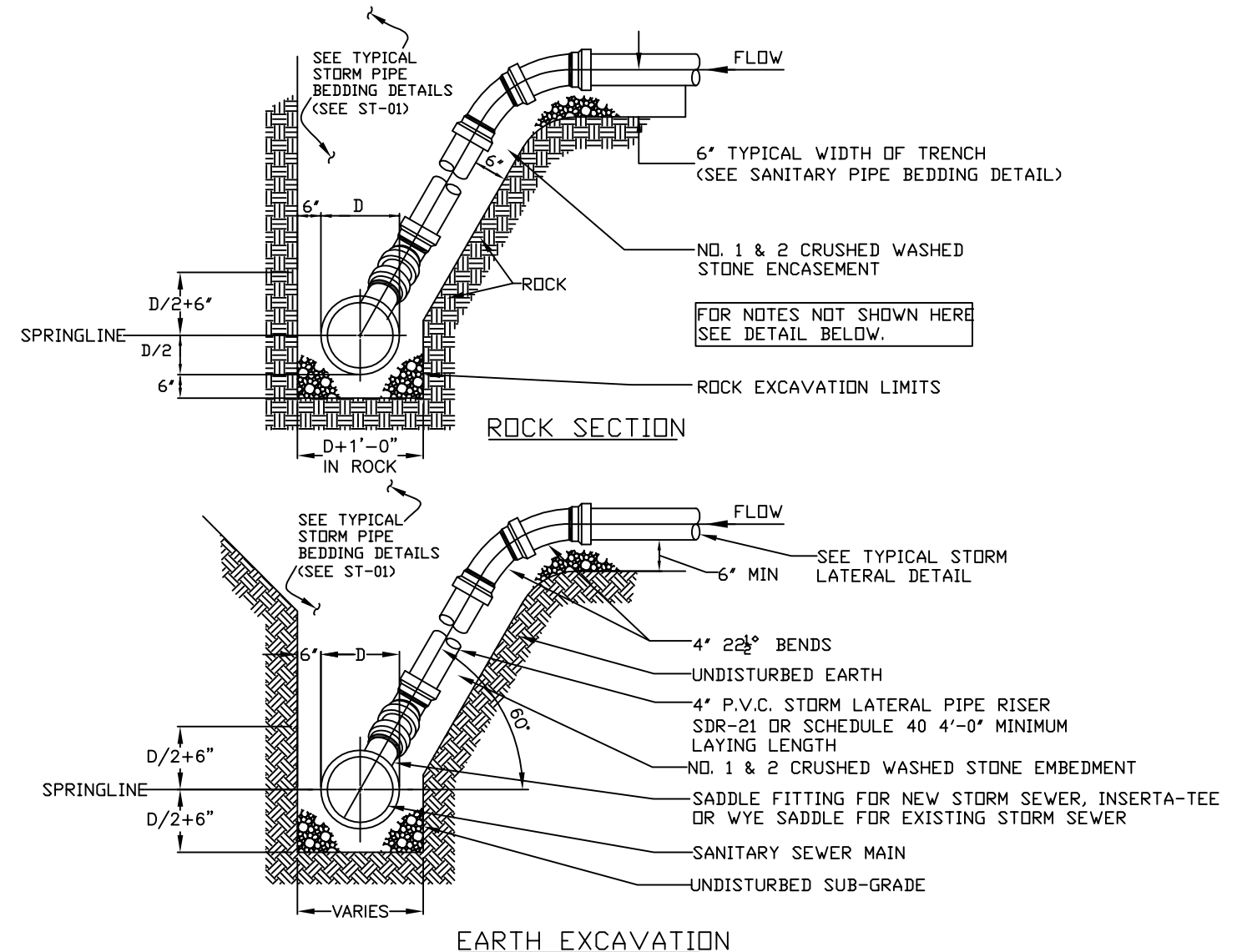
PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

- NOTES:**
1. ALL STORM SEWER PIPE SHALL BE 12" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35) OR HEAVY DUTY CORRUGATED POLY-ETHYLENE (PE) SMOOTH INNER WALL TYPE D BELL & SPIGOT TYPE & RUBBER GASKET.
  2. ALL STORM LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
  3. SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL, WHICH SHALL BE FREE FROM CLAY, LDM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
  4. STONE ENCASUREMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYSDDT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
  5. CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYSDDT SECTION 501 SPECIFICATIONS.

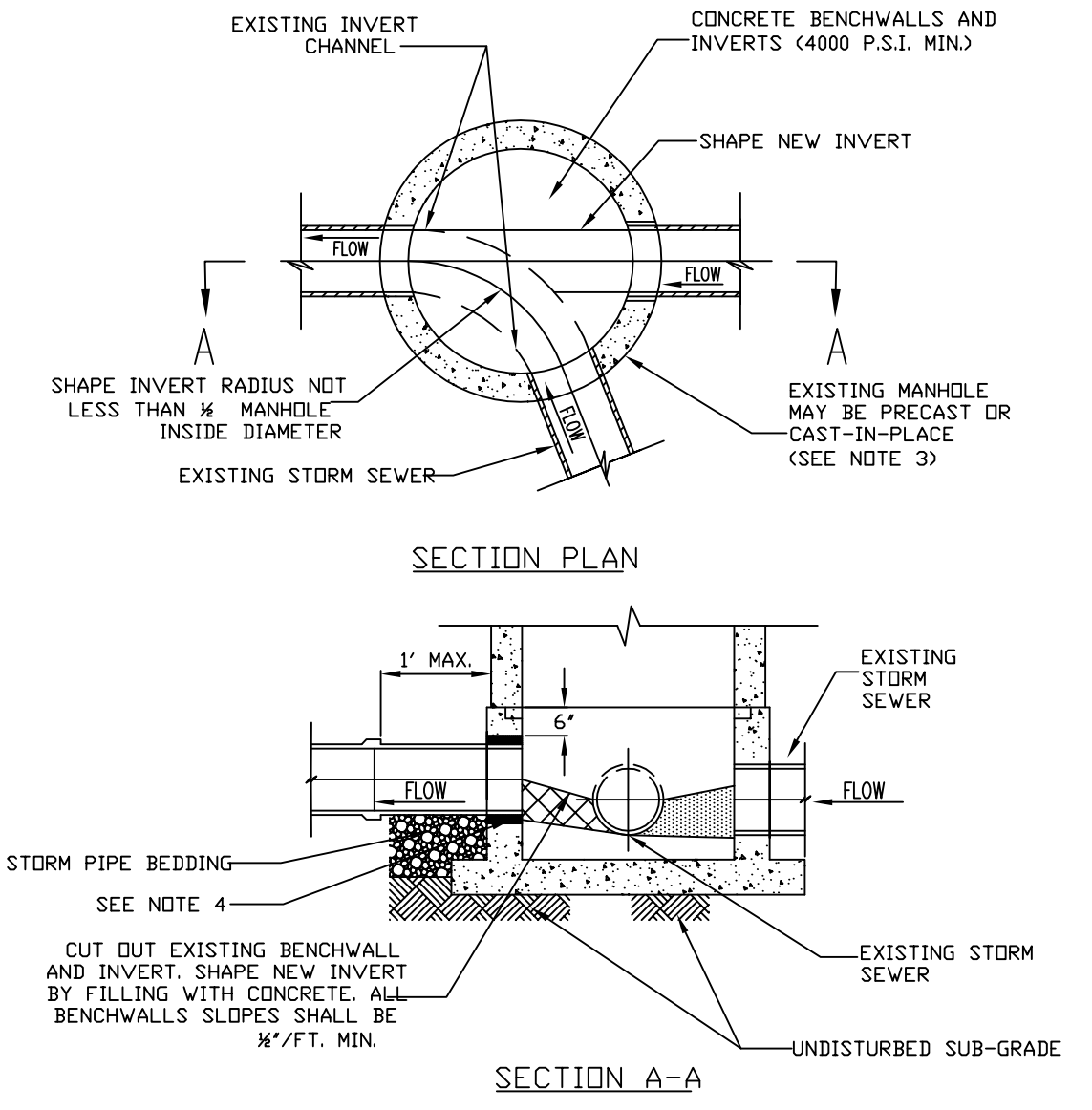
**TOWN OF HENRIETTA**  
**TYPICAL STORM PIPE BEDDING DETAILS**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-01**



**TOWN OF HENRIETTA**  
**TYPICAL STORM LATERAL TRENCH DETAIL**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-03**

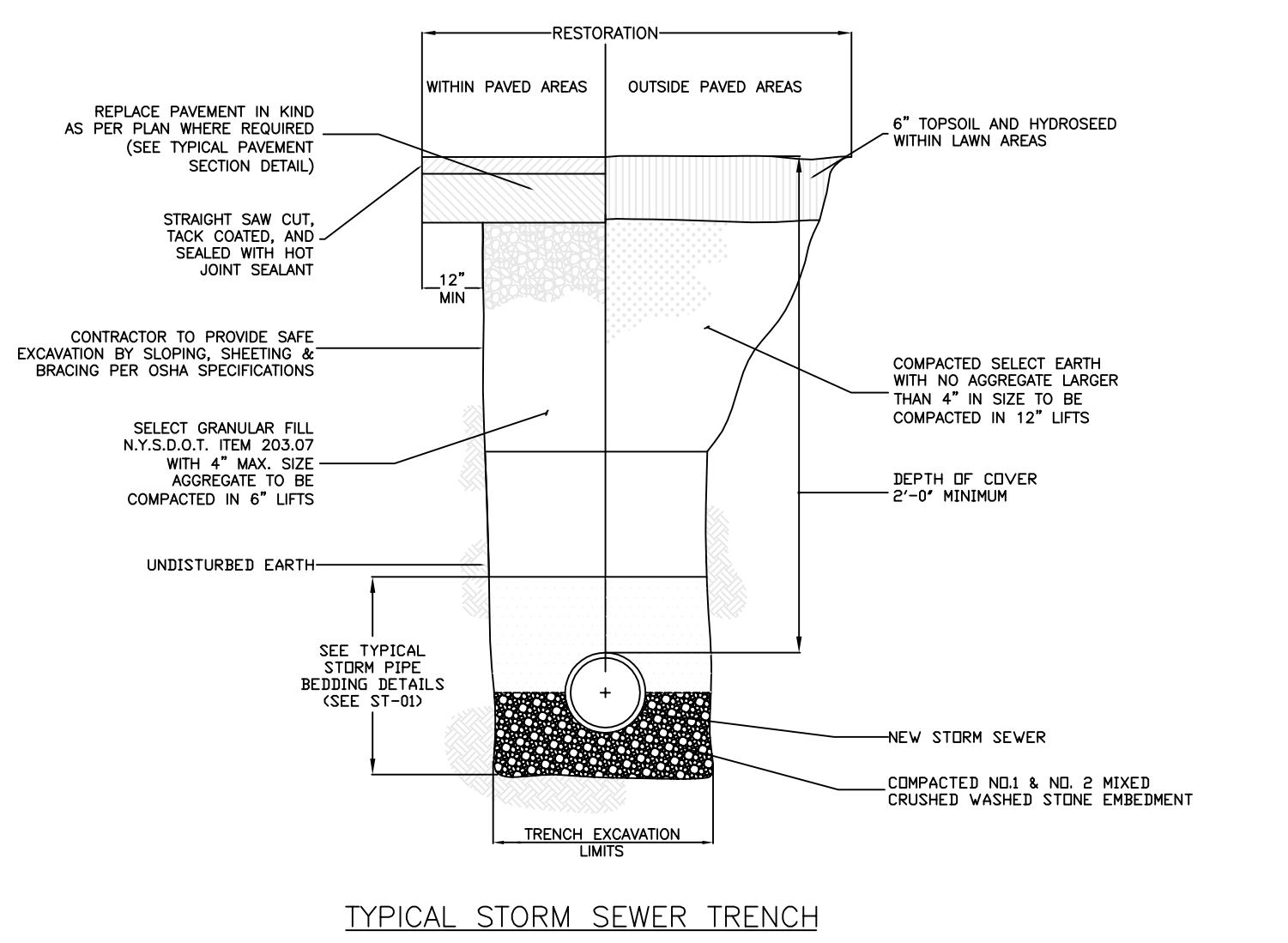


**TOWN OF HENRIETTA**  
**STORM LATERAL RISER DETAIL**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-06**



- NOTES:**
1. THE CROWN OF THE NEW SEWER SHALL NOT BE CONSTRUCTED LOWER THAN THE CROWN OF THE EXISTING MAIN SEWER. THE INVERT OF THE NEW SEWER SHALL BE CONSTRUCTED AT LEAST 3' ABOVE THE EXISTING MAIN SEWER INVERT.
  2. EXISTING MANHOLE STRUCTURE SHALL BE SUFFICIENTLY BRACED AND PROTECTED TO PREVENT ANY SHIFTING OR DAMAGE TO THE MANHOLE.
  3. THE EXISTING MANHOLE BASE MAY BE ROUND OR CAST-IN-PLACE CONCRETE DEPENDING ON HOW THE MANHOLE WAS CONSTRUCTED.
  4. CORE DIAMETER HOLE TO ACCOMMODATE NEW STORM SEWER PIPE EMBEDDED INTO MANHOLE AND SEALED WITH NON-SHRINK GROUT OR APPROVED EQUAL. NO IMPACT DEVICES WILL BE ALLOWED TO BE USED FOR MAKING HOLES.
  5. THE INTERIOR OF STORM MANHOLE BASE SECTION TO BE 12" MIN. ABOVE THE HIGHEST PIPE. THE SMOOTH INVERT AND BENCHWALL SHALL BE CAST-IN-PLACE CONCRETE (4000 P.S.I. MIN) ALL OTHER SURFACES SHALL HAVE 2 COATS KOPPERS SUPER SERVICE BLACK.
  6. PIPE ENTERING INTO STORM MANHOLE SHALL NOT EXCEED 90 DEGREES ALIGNMENT AGAINST EXISTING STORM SEWER MAIN FLOW.
  7. CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL BE NOT LESS THAN 6" FROM A RISER JOINT.
  8. THE TOWN MUST BE NOTIFIED 48 HOURS IN ADVANCE OF CONSTRUCTION FOR INSPECTION OF CONNECTION.

**TOWN OF HENRIETTA**  
**STORM SEWER CONNECTION TO EXISTING MANHOLE**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-13**



**TOWN OF HENRIETTA**  
**TYPICAL STORM SEWER TRENCH DETAIL**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-02**

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23



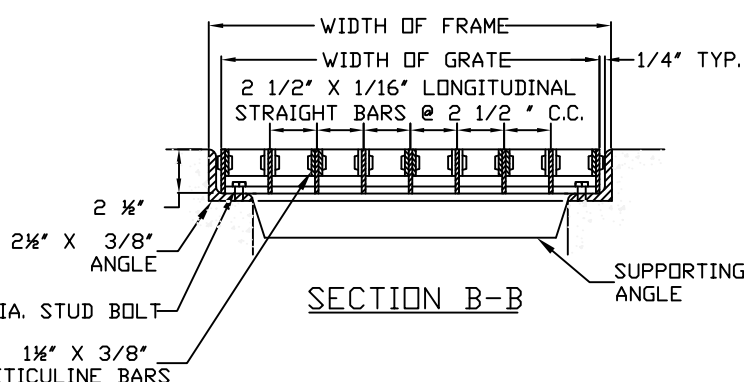
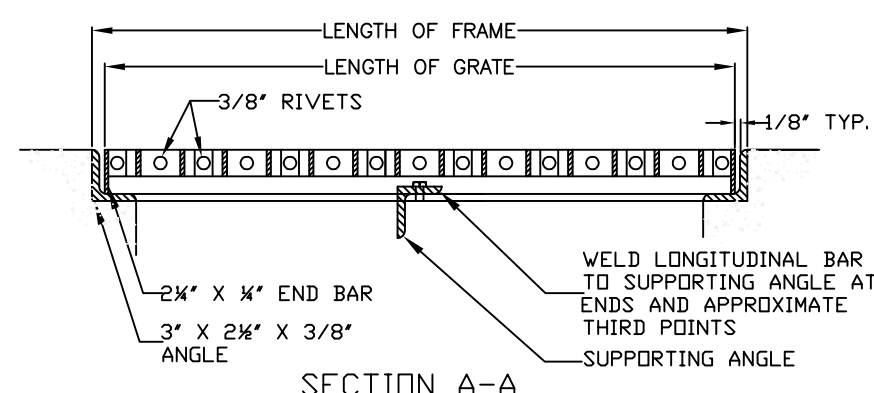
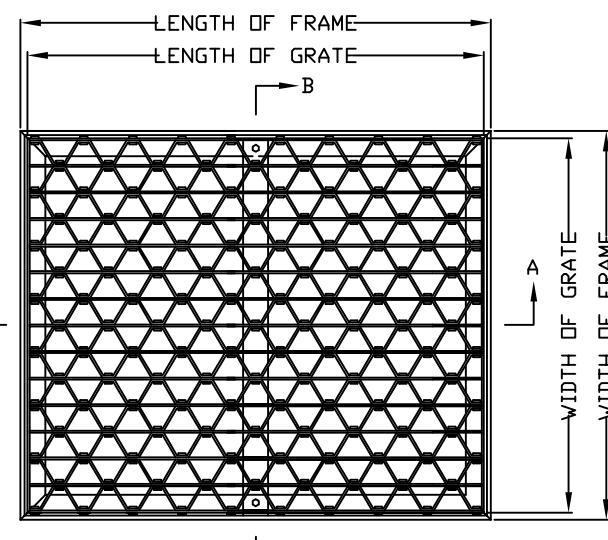
**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION PHASE 2**

**DRAWING TITLE**  
**DETAILS AND NOTES**

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

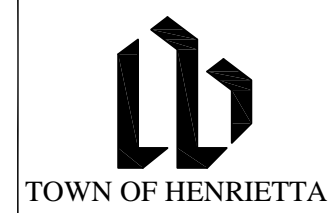
PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	NTS	15 of 16



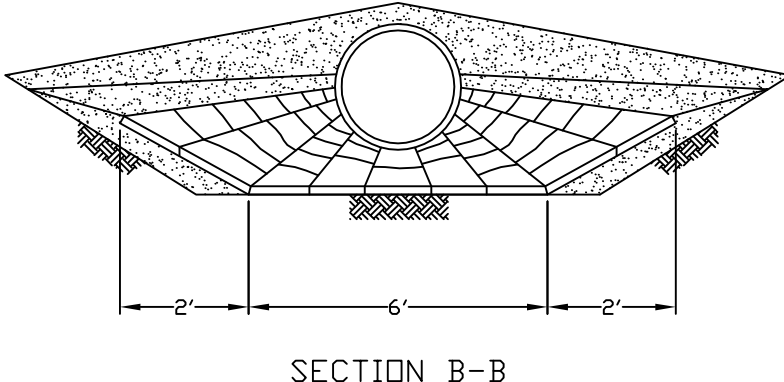
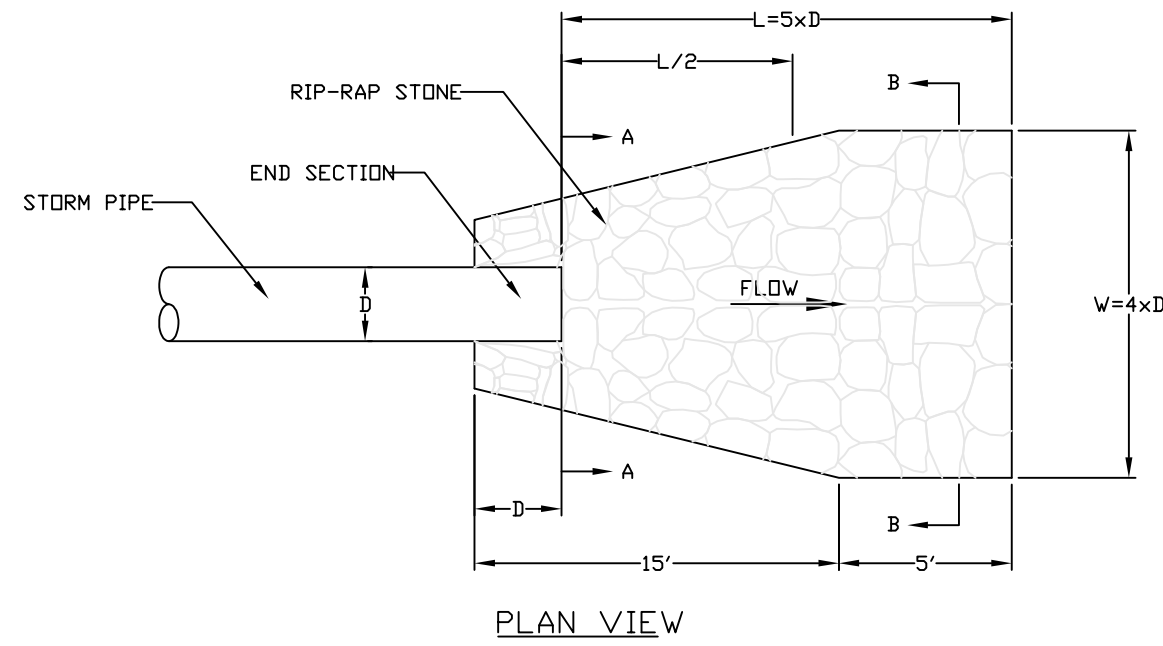
**NOTE:**

1. THE LOWER GRATE SUPPORTING ANGLE SHALL BE PERPENDICULAR TO ROADWAY PAVEMENT.
2. GRATING SHALL BE GRIND TO FIT FILLETS IN FRAME ANGLES. WELDS ON INSIDE OF FRAME AND OUTSIDE OF GRATING SHALL BE GRIND SMOOTH. ALL MATERIAL SHALL BE SAND OR SHOT BLASTED BEFORE GALVANIZING. 3" X 2 1/2" X 3/8" FRAME AND GRATING SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH A.S.T.M. A386. GRATING DESIGNED FOR 16,000 POUND WHEEL LOAD (HEAVY LOADING). MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR STRUCTURAL STEEL FOR WELDING A.S.T.M. DESIGNATION A325.

No.	FRAMES		GRATES				Supporting Angles		Approx. Weight Lbs.	Approx. Area (S.F.)
	Outside Dimensions	Approx. Weight	Outside Dimensions	Longitudinal Straight Bars	Longitudinal Reticuline Bars	End Bars (2)	No.	Sizes		
9	2'-4 1/2" x 2'-3"	60	2'-3 1/2" x 2'-2"	2 1/2" x 1 1/8"	1 1/2" x 1 1/8"	2 1/2"	1	6" x 3 1/2"	118	5.2



**RETICULINE TYPE FRAME & GRATE**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-17**



**RIP-RAP**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
**ST-22**

**STORM SEWER NOTES**

1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA STORM SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
2. STORM SEWER PIPE TO BE HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL.
3. STORM SEWER PIPE CONNECTING CATCH BASINS SHALL BE 12" HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL WITH A MINIMUM 0.02% SLOPE, OR AS INDICATED ON THE PLAN.
4. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
5. STORM LATERAL PIPE SHALL BE 6" PVC SDR-21.
6. ALL NEW STORM SEWER WILL BE VIDEOTAPED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
7. THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).

**SANITARY SEWER EXTENSION NOTES**

1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA SANITARY SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
2. SANITARY SEWER PIPE TO BE PVC SDR-35 SANITARY LATERAL PIPE TO BE PVC SDR-21.
3. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
4. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
5. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
6. ALL NEW SANITARY SEWER WILL BE VIDEOTAPED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
7. THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).
8. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

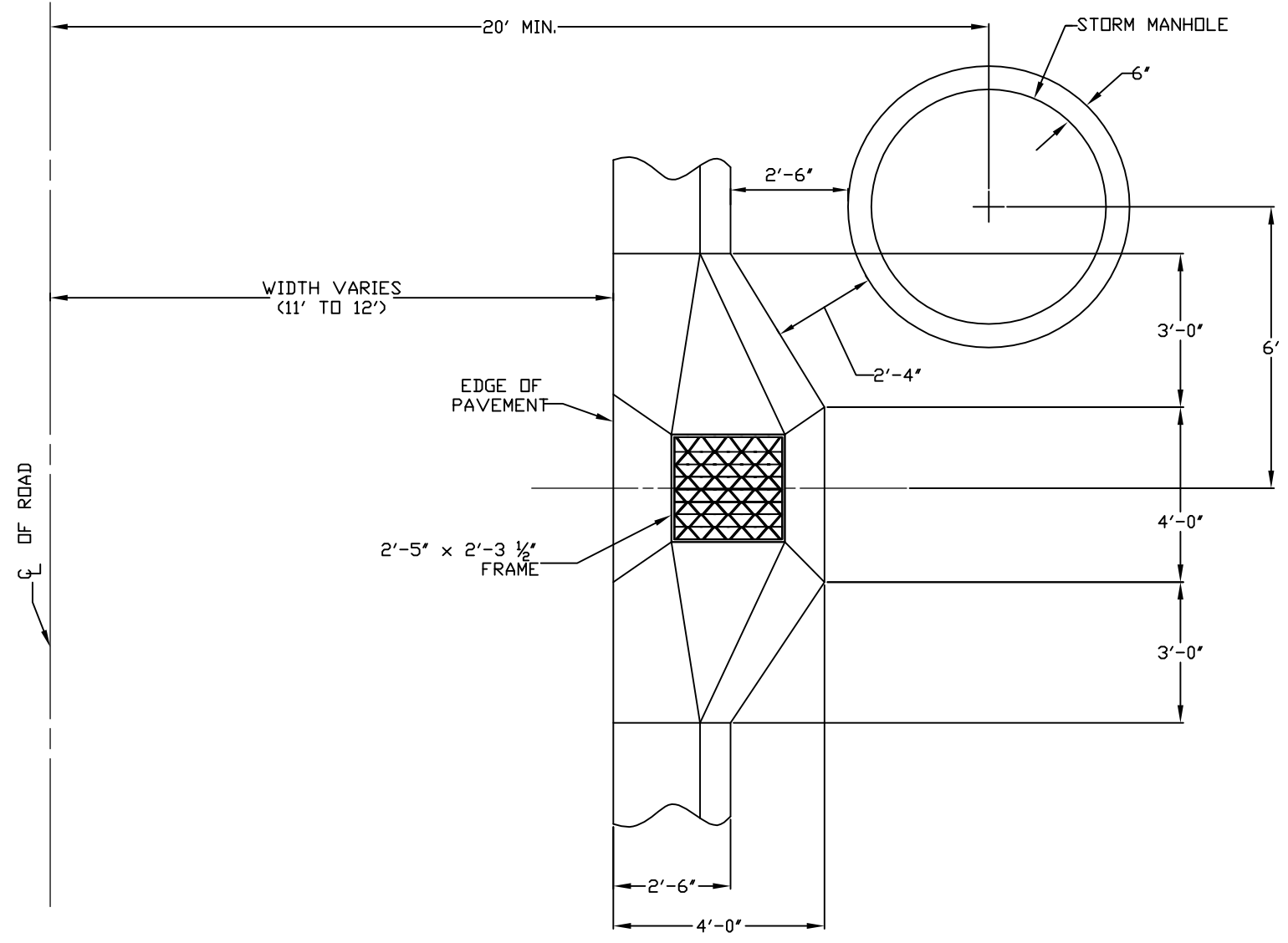
**GENERAL UTILITY NOTES**

**GENERAL NOTES**

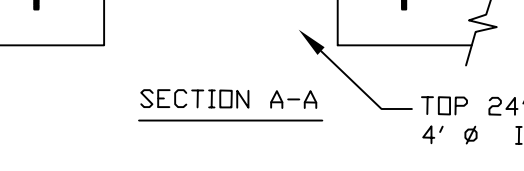
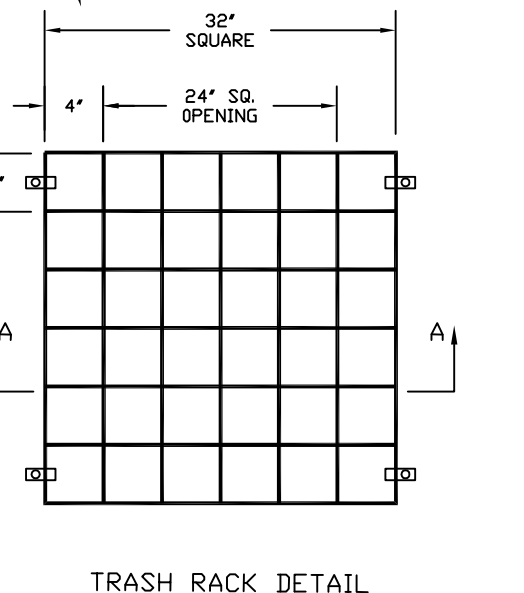
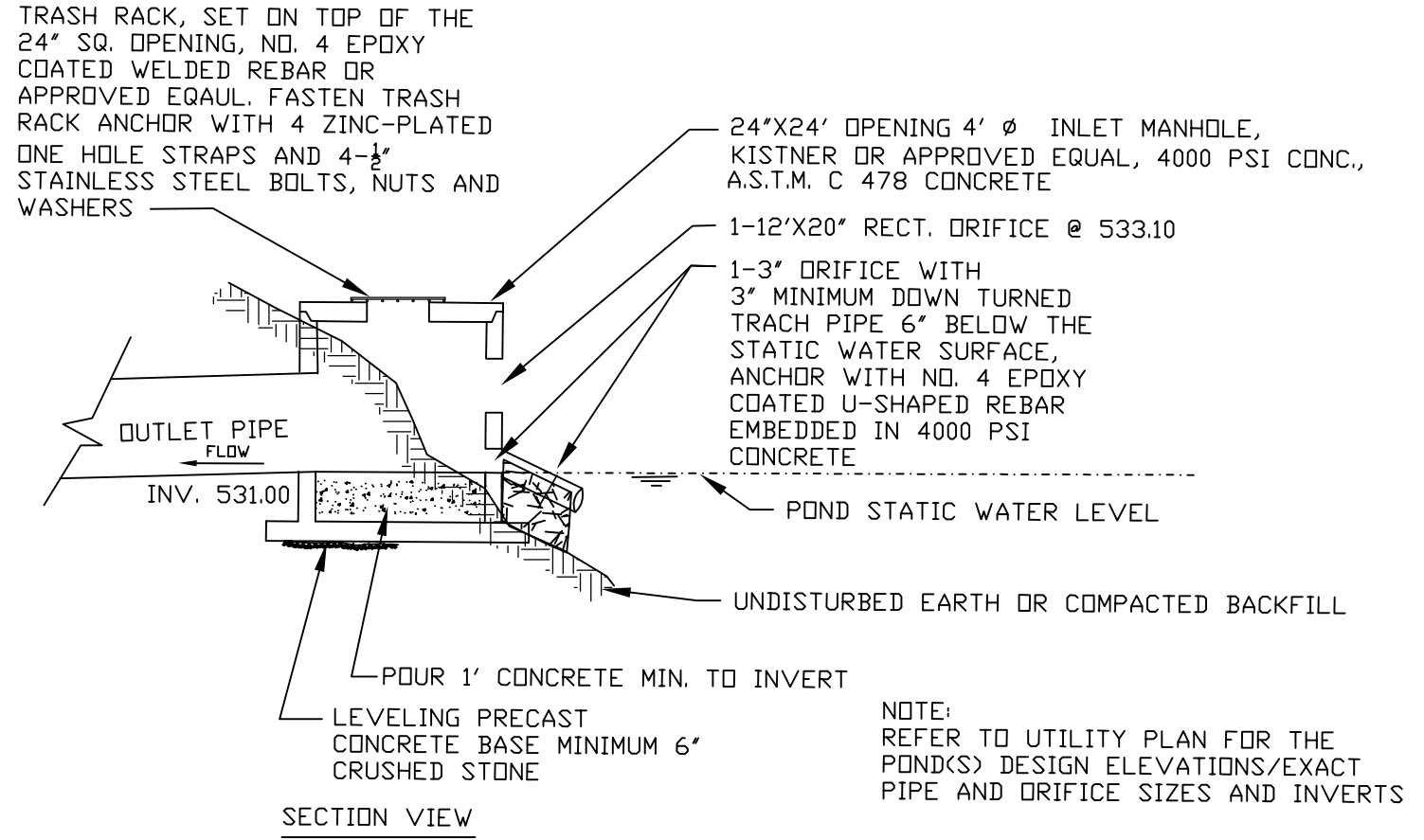
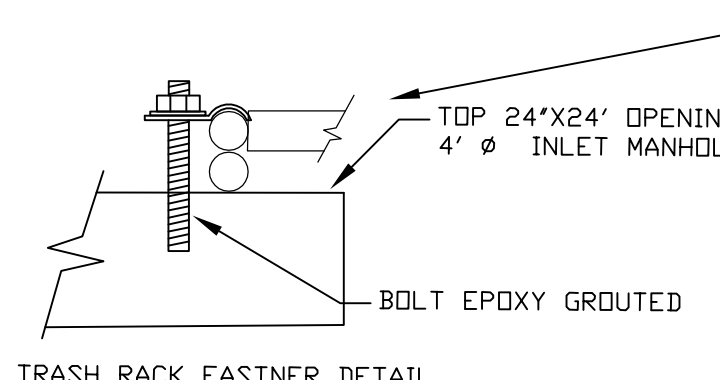
1. LOCATION OF EXISTING STRUCTURES INCLUDING UTILITIES SHOWN ON THE DRAWINGS ARE INTENDED FOR GENERAL INFORMATION ONLY.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. EXPLORATORY EXCAVATION SHALL BE MADE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THESE PLANS AND ANY OTHER LINES NOT SHOWN NOR OF RECORD. ANY EXPENSE DUE TO THE LOSS OF TIME SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. ALL THICKNESS SHOWN ON THE DETAILS ARE COMPACTED.
4. EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE OF IMPLEMENTATION SHALL FOLLOW THE LATEST NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
5. ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION. CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTION ORGANIZATION UTILITY COORDINATION COMMITTEE 1-800-962-7962.
1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA AND/OR MONROE COUNTY HEALTH DEPARTMENT.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CALL FOR STAKE OUT OF ALL UTILITIES BEFORE COMMENCING WORK.
3. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS REQUIRED TO MEET EXISTING CONDITIONS.
4. ALL COSTS RELATED TO THE RELOCATION OF EXISTING UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL REQUESTING THE RELOCATION AND/OR THE UTILITY COMPANY. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
5. ROOF RUNOFF LEADERS SHALL DISCHARGE AWAY FROM ADJOINING PROPERTIES.
6. OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF EROSION/SILTATION CONTROL DURING CONSTRUCTION AND UNTIL SUCH TIME AS THEIR REMOVAL IS APPROVED BY THE TOWN OR ITS ASSIGNS.
7. SIDEWALKS SHALL BE INSTALLED PER THE TOWN DETAIL.
8. STREET TREES SHALL BE INSTALLED PER THE TOWN DETAIL.
9. COMPLIANCE WITH ALL FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS SHALL BE MET.

**SITE GENERAL NOTES:**

1. ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF HENRIETTA.
2. ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND REGULATIONS SET FORTH BY THE TOWN OF HENRIETTA, N.Y.S.D.O.T. AND M.C.D.P.W.
3. ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF HENRIETTA.
4. THE PRESERVATION OF ALL THE MATURE TREES ON THE SITE WHERE POSSIBLE AND THE MARKING OF SAID TREES BY THE DEVELOPER'S ENGINEER OF TREES TO BE REMOVED PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
5. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
6. ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
7. A RECORD UTILITY PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. THIS PLAN SHALL INDICATE ALL UTILITY IMPROVEMENTS INCLUDING WATER VALVES, HYDRANTS MANHOLES, PIPE RUNS AND SURFACE FEATURES SUCH AS GUTTERS, CURBS, ETC. IN ACCORDANCE WITH THE TOWN'S RECORD DRAWING REQUIREMENTS FOR UTILITIES. INDIVIDUAL LOT UTILITY SERVICE MAPS SHALL BE PROVIDED TO THE TOWN'S ENGINEERING DEPARTMENT. EACH MAP SHALL INDICATE SWING THE DIAGRAMS FOR WATER CURB BOXES AND ALL LATERAL CLEANOUTS.
8. HYDRANTS MUST BE INSTALLED AND FLOW-TESTED BEFORE ABOVEGROUND CONSTRUCTION IS RECOMMENDED. FLOW TESTS SHALL COMPLY WITH THE SPECIFICATIONS OF THE INSURANCE SERVICES OFFICE TO PRODUCE AN A-RATING.
9. NO ABOVEGROUND CONSTRUCTION IS TO COMMENCE UNTIL AN APPROVED ROADWAY BASE CAPABLE OF CARRYING THE WEIGHT OF FIRE APPARATUS IS INSTALLED.



**STORM MANHOLE LOCATION DETAIL**  
 SCALE: N.T.S.  
 DATE: 7/1/2013  
**ST-27**



**POND OUTLET CONTROL STRUCTURE**

NOT TO SCALE

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23
2	TOWN COMMENTS REVIEW 1/11/23	DES	1/12/23



**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-471-5230 fax 585-471-9488

**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION PHASE 2**

**DRAWING TITLE**  
**DETAILS AND NOTES**

**CLIENT**  
 FOREST CREK EQUITY CORP.  
 3240 CHILLI AVENUE  
 ROCHESTER, N.Y. 14624

**PROJ. NO.** 08-12234  
**DWG. BY** N.E.S.  
**DESIGN BY** W.F.B.  
**APPROVED** D.E.S.  
**DATE** 3/8/2024  
**SCALE** N.T.S.  
**DWG. NO.** 16 of 16