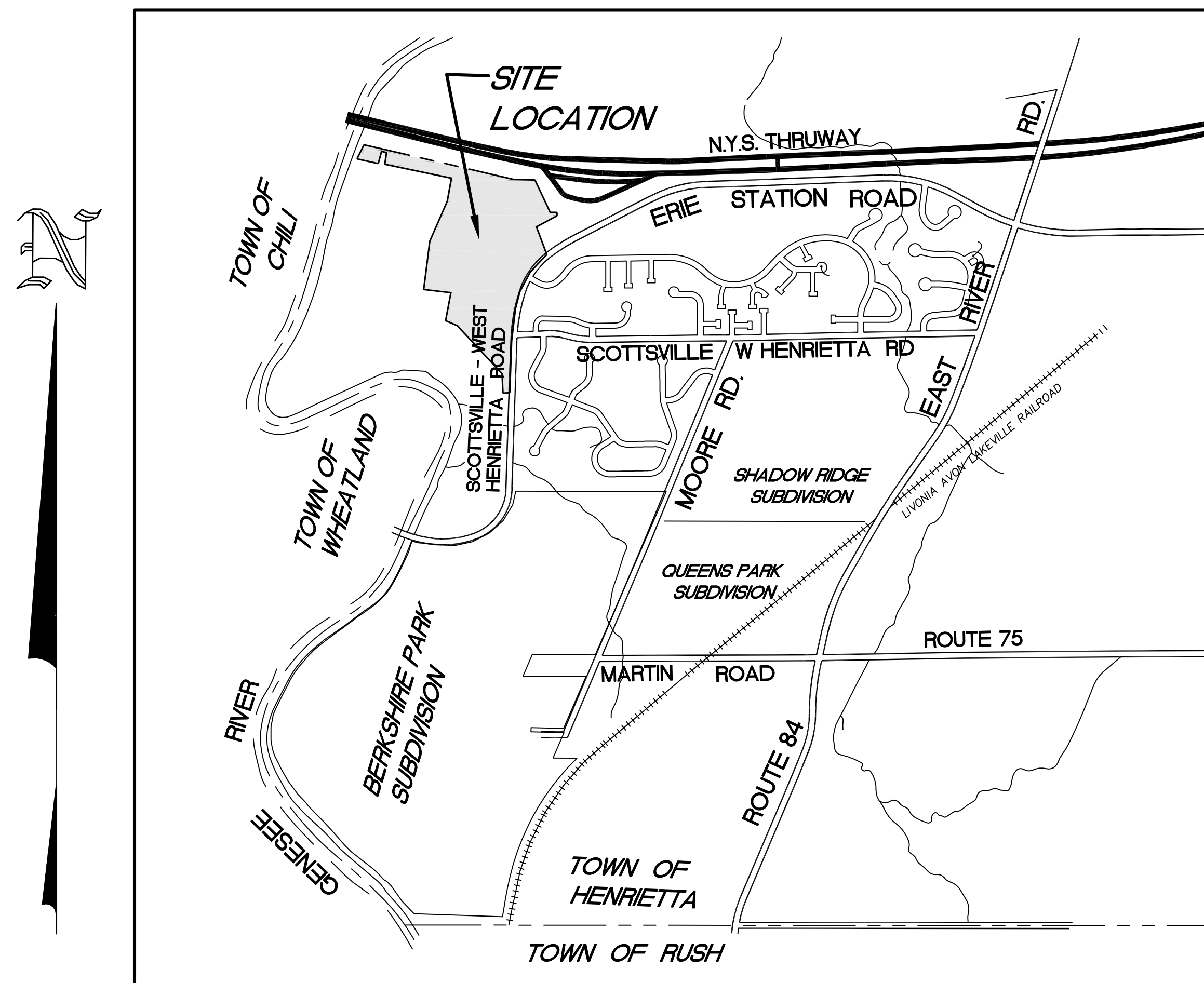


# THE FAIRWAYS AT RIVERTON SUBDIVISION PHASE 3 PLANS

TOWN OF HENRIETTA  
COUNTY OF MONROE  
STATE OF NEW YORK



LOCATION SKETCH

N.T.S.

## INDEX OF DRAWINGS:

DRAWING NO. DRAWING NAME

1 OF 16	COVER SHEET
2 OF 16	OVERALL SITE
3 OF 16	PLAT PLAN
4 OF 16	UTILITY PLAN
5 OF 16	GRADING & EROSION CONTROL PLAN
6 OF 16	LANDSCAPE AND LIGHTING PLAN
7-8 OF 16	PROFILES
9-17 OF 16	DETAILS & NOTES

APPL. NO. PB-332.1

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/11/22	9/15/22
2	TOWN COMMENTS REVIEW 10/28/22	10/27/22
3	TOWN COMMENTS REVIEW 1/31/23	1/31/23



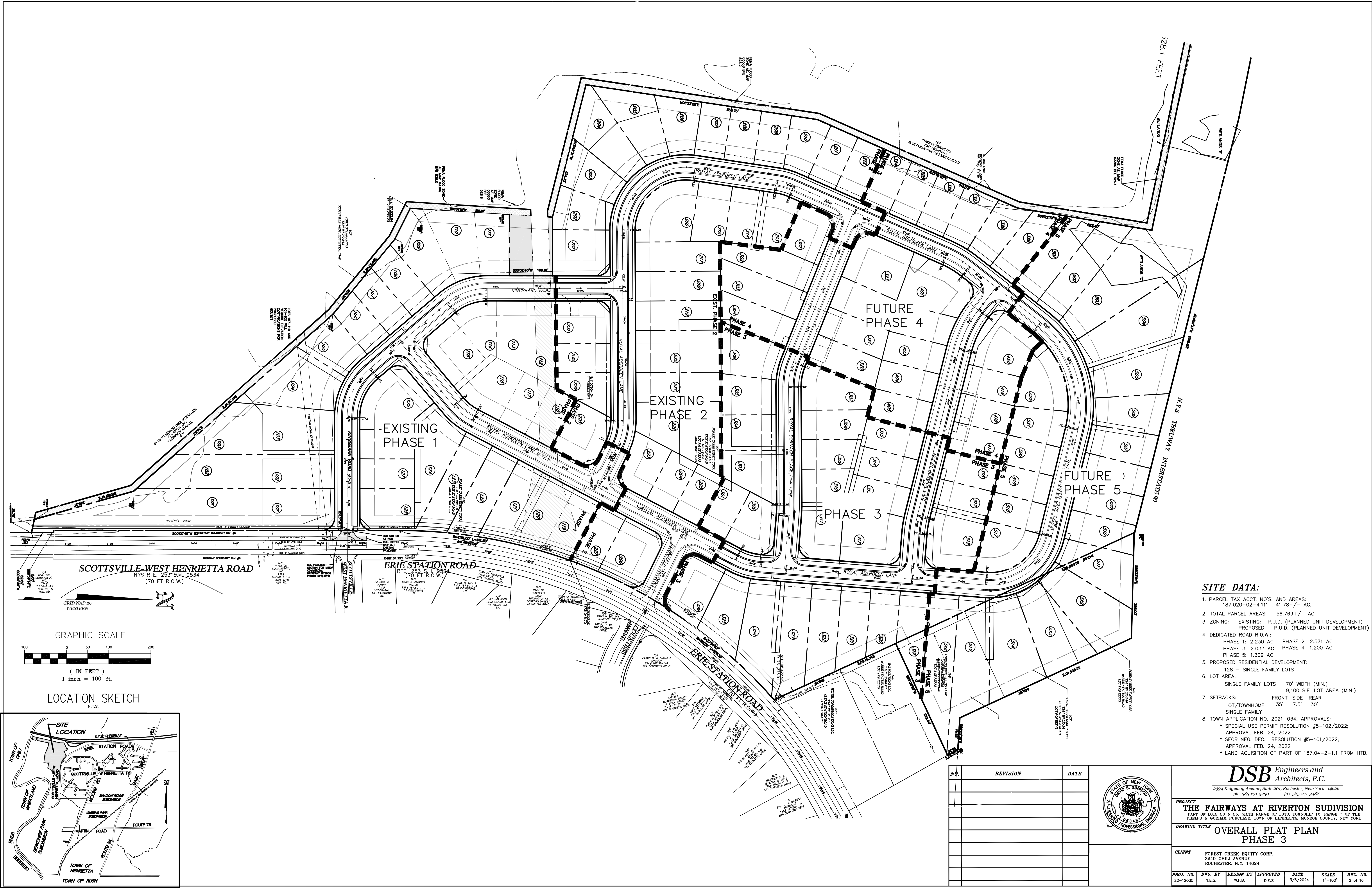
**DSB** Engineers and Architects, P.C.  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
PHELPS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
COVER SHEET  
PHASE 3

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	1 of 16



**SITE DATA:**

1. PARCEL TAX ACCT. NO'S. AND AREAS:  
187.020-02-4.111, 41.78+/- AC.
2. TOTAL PARCEL AREAS: 56.769+/- AC.
3. ZONING: EXISTING: P.U.D. (PLANNED UNIT DEVELOPMENT)  
PROPOSED: P.U.D. (PLANNED UNIT DEVELOPMENT)
4. DEDICATED ROAD R.O.W.:  
PHASE 1: 2.230 AC PHASE 2: 2.571 AC  
PHASE 3: 2.033 AC PHASE 4: 1.200 AC  
PHASE 5: 1.309 AC
5. PROPOSED RESIDENTIAL DEVELOPMENT:  
128 - SINGLE FAMILY LOTS
6. LOT AREA:  
SINGLE FAMILY LOTS - 70' WIDTH (MIN.)  
9,100 S.F. LOT AREA (MIN.)
7. SETBACKS: FRONT SIDE REAR  
LOT/TOWNHOME 35' 7.5' 30'  
SINGLE FAMILY
8. TOWN APPLICATION NO. 2021-034, APPROVALS:  
  - SPECIAL USE PERMIT RESOLUTION #5-102/2022;  
APPROVAL FEB. 24, 2022.
  - SEOR NEG. DEC. RESOLUTION #5-101/2022;  
APPROVAL FEB. 24, 2022.
  - LAND ACQUISITION OF PART OF 187.04-2-1.1 FROM HTB.

NO.	REVISION	DATE



**DSB** Engineers and Architects, P.C.  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION**  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
FIELDS & GOREHAM PURCHASES, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
**OVERALL PLAT PLAN  
PHASE 3**

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

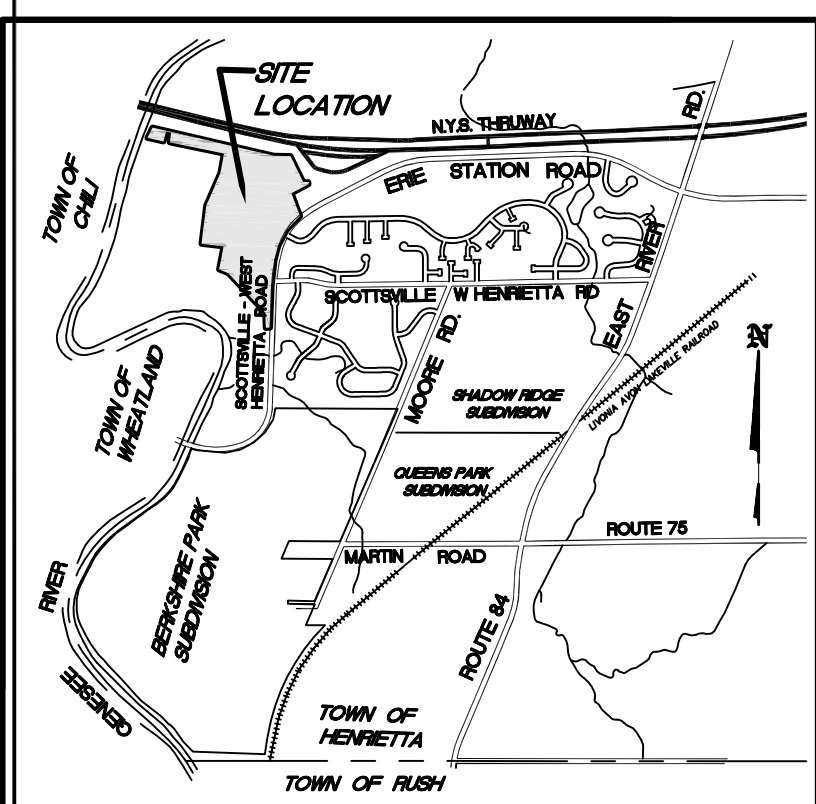
<b>PROJ. NO.</b> 22-12035	<b>DWG. BY</b> N.E.S.	<b>DESIGN BY</b> W.F.B.	<b>APPROVED</b> D.E.S.	<b>DATE</b> 3/6/2024	<b>SCALE</b> 1"=100'	<b>DWG. NO.</b> 2 of 16
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**SCOTTVILLE-WEST HENRIETTA ROAD**  
NYS RTE. 253 SH. 9534  
(70 FT R.O.W.)

**ERIE STATION ROAD**  
RTE. 253 SH. 9534  
(70 FT R.O.W.)

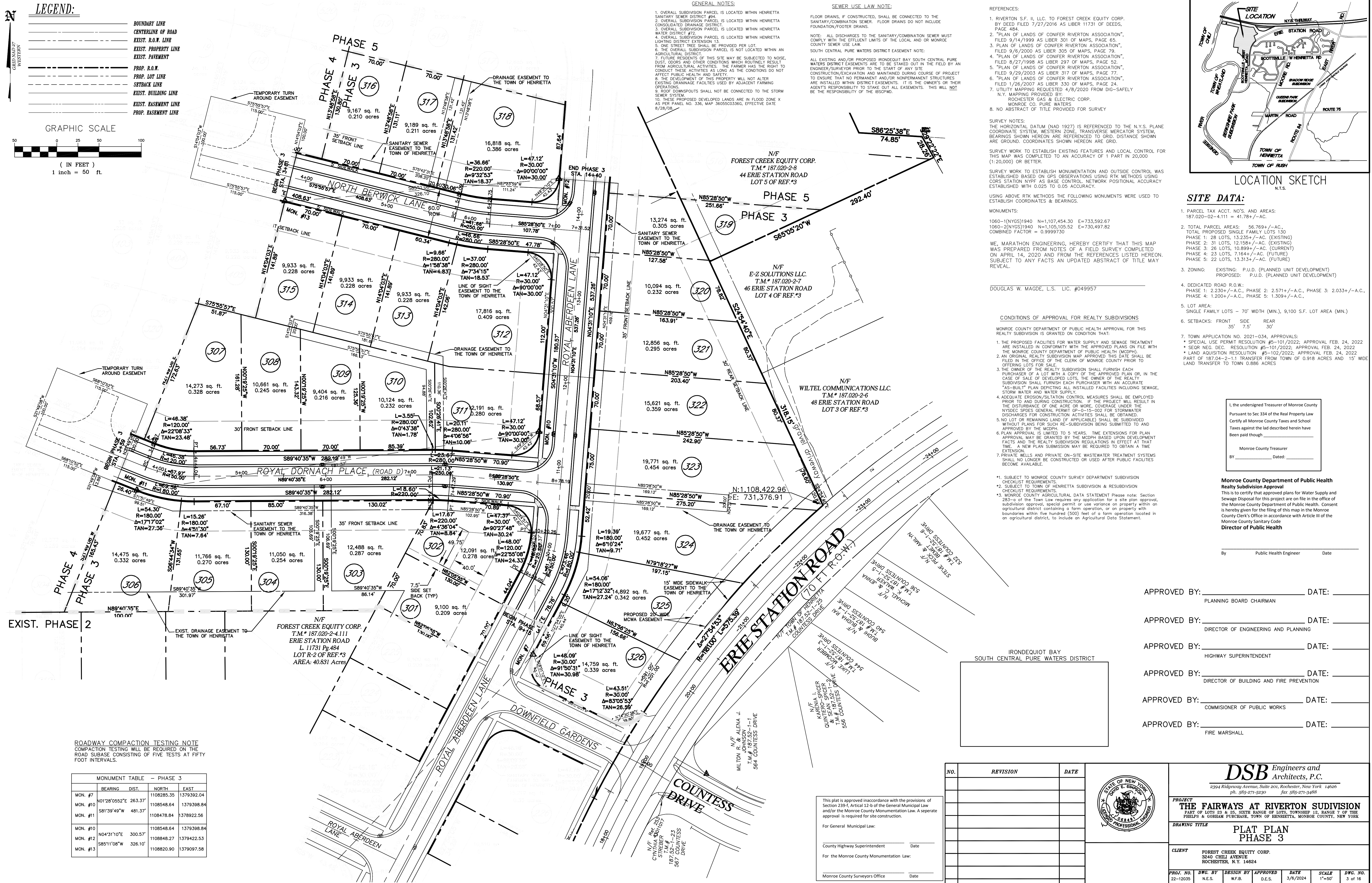
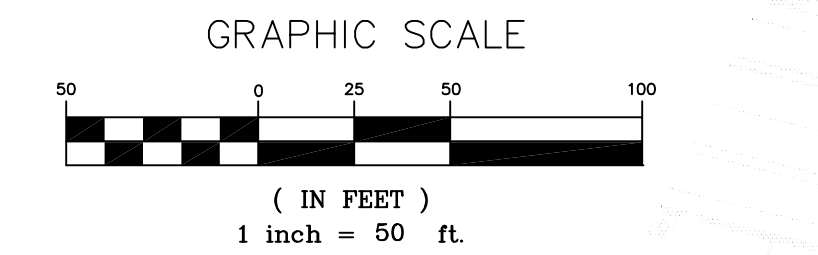
**GRAPHIC SCALE**  
100 0 50 100 200  
( IN FEET )  
1 inch = 100 ft.

**LOCATION SKETCH**  
N.T.S.



**LEGEND:**

- BOUNDARY LINE
- CENTERLINE OF ROAD
- EXIST. R.O.W. LINE
- EXIST. PROPERTY LINE
- EXIST. PAYMENT
- PROP. R.O.V.
- PROP. LOT LINE
- SETBACK LINE
- EXIST. BUILDING LINE
- EXIST. EASEMENT LINE
- PROP. EASEMENT LINE



**GENERAL NOTES:**

- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA SANITARY SEWER DISTRICT #94.
- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA CONSOLIDATED DRAINAGE DISTRICT.
- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA WATER DISTRICT #72.
- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA LIGHTING DISTRICT EXTENSION 13.
- ONE STREET TREE SHALL BE PROVIDED PER LOT.
- THE OVERALL SUBDIVISION PARCEL IS NOT LOCATED WITHIN AN AGRICULTURAL DISTRICT.
- FUTURE RESIDENTS OF THIS SITE MAY BE SUBJECT TO NOISE, DUST, ODORS AND OTHER CONDITIONS WHICH ROUTINELY RESULT FROM AGRICULTURAL ACTIVITIES. THE FARMER HAS THE RIGHT TO CONDUCT THESE ACTIVITIES AS LONG AS THE CONDITIONS DO NOT AFFECT PUBLIC HEALTH AND SAFETY.
- THE DEVELOPMENT OF THIS PROPERTY WILL NOT ALTER EXISTING DRAINAGE FACILITIES USED BY ADJACENT FARMING OPERATIONS.
- ROOF DOWNSPOUTS SHALL NOT BE CONNECTED TO THE STORM SEWER SYSTEM.
- THESE PROPOSED DEVELOPED LANDS ARE IN FLOOD ZONE X AS PER PANEL NO. 336, MAP 36050503366, EFFECTIVE DATE 8/28/08.

**SEWER USE LAW NOTE:**

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

SOUTH CENTRAL PURE WATERS DISTRICT EASEMENT NOTE:

ALL EXISTING AND/OR PROPOSED IRONDEQUOT BAY SOUTH CENTRAL PURE WATERS DISTRICT EASEMENTS ARE TO BE STATED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF PROJECT TO ENSURE THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN DISTRICT EASEMENTS. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE IBCSPWD.

**REFERENCES:**

- RIVERTON S.F. II, LLC. TO FOREST CREEK EQUITY CORP. BY DEED FILED 7/27/2016 AS LIBER 11731 OF DEEDS, PAGE 454.
- "PLAN OF LANDS OF CONIFER RIVERTON ASSOCIATION", FILED 9/14/1999 AS LIBER 301 OF MAPS, PAGE 65.
- "PLAN OF LANDS OF CONIFER RIVERTON ASSOCIATION", FILED 9/6/2000 AS LIBER 305 OF MAPS, PAGE 79.
- "PLAN OF LANDS OF CONIFER RIVERTON ASSOCIATION", FILED 8/27/1998 AS LIBER 297 OF MAPS, PAGE 52.
- "PLAN OF LANDS OF CONIFER RIVERTON ASSOCIATION", FILED 1/26/2007 AS LIBER 330 OF MAPS, PAGE 24.
- UTILITY MAPPING REQUESTED 4/8/2020 FROM DIG-SAFEPLY N.Y. MAPPING PROVIDED BY ROCHESTER GAS & ELECTRIC CORP. MONROE CO. PURE WATERS 8. NO ABSTRACT OF TITLE PROVIDED FOR SURVEY

**SURVEY NOTES:**

THE HORIZONTAL DATUM (NAD 1927) IS REFERENCED TO THE N.Y.S. PLANE COORDINATE SYSTEM USING GPS OBSERVATIONS USING RTK METHODS USING BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. COORDINATES SHOWN HEREON ARE GRID.

SURVEY WORK TO ESTABLISH EXISTING FEATURES AND LOCAL CONTROL FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER.

SURVEY WORK TO ESTABLISH MONUMENTATION AND OUTSIDE CONTROL WAS ESTABLISHED BASED ON GPS OBSERVATIONS USING RTK METHODS USING CORS STATION NYFF AS BASE CONTROL. NETWORK POSITIONAL ACCURACY ESTABLISHED WITH 0.025 TO 0.05 ACCURACY.

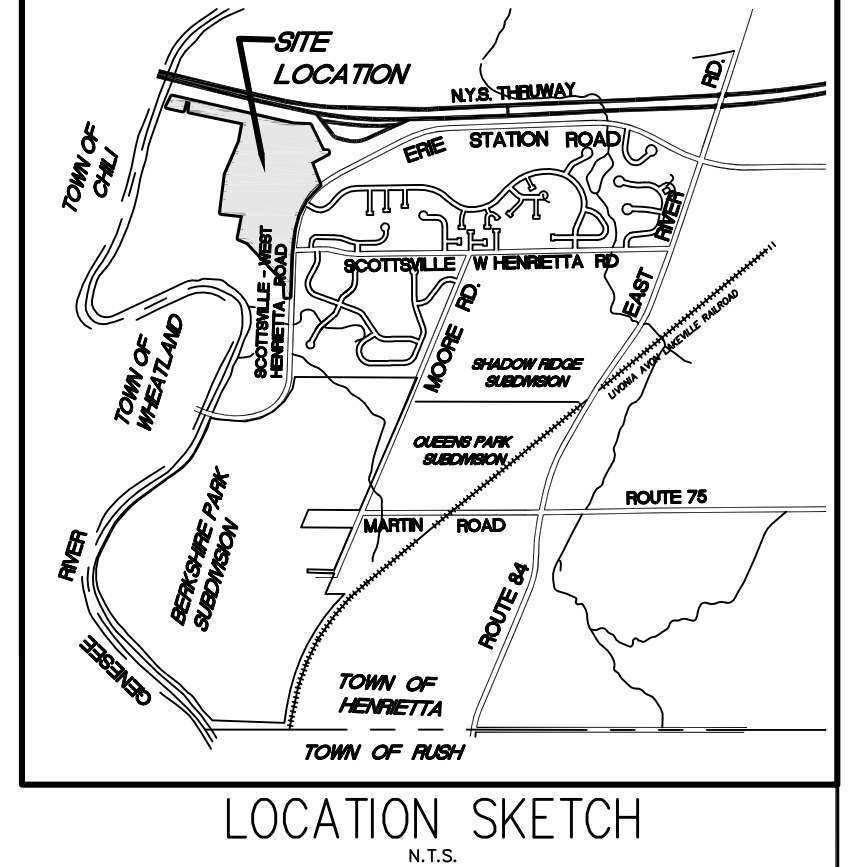
USING ABOVE RTK METHODS THE FOLLOWING MONUMENTS WERE USED TO ESTABLISH COORDINATES & BEARINGS.

MONUMENTS:

1060-(NY05)1940 N=1,107,454.30 E=733,592.67  
1060-2(NY03)1940 N=1,105,105.52 E=730,497.82  
CORRECTION FACTOR = 0.9999730

WE MARATHON ENGINEERS, A FIELD SURVEY COMPLETED ON APRIL 14, 2020 AND FROM THE REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049957



**SITE DATA:**

- PARCEL TAX ACCT. NO'S. AND AREAS:  
187.020-02-4.111 = 41.78+/- AC.
- TOTAL PARCEL AREAS: 56,769+/- AC.  
TOTAL PROPOSED SINGLE FAMILY LOTS 130  
PHASE 1: 28 LOTS, 13,235+/- AC. (EXISTING)  
PHASE 2: 31 LOTS, 12,158+/- AC. (EXISTING)  
PHASE 3: 26 LOTS, 10,899+/- AC. (CURRENT)  
PHASE 4: 23 LOTS, 7,164+/- AC. (FUTURE)  
PHASE 5: 22 LOTS, 13,313+/- AC. (FUTURE)
- ZONING: EXISTING: P.U.D. (PLANNED UNIT DEVELOPMENT)  
PROPOSED: P.U.D. (PLANNED UNIT DEVELOPMENT)
- DEDICATED ROAD R.O.W.:  
PHASE 1: 2.230+/- A.C., PHASE 2: 2.571+/- A.C., PHASE 3: 2.033+/- A.C., PHASE 4: 1.200+/- A.C., PHASE 5: 1.309+/- A.C.
- LOT AREA:  
SINGLE FAMILY LOTS - 70' WIDTH (MIN.), 9,100 S.F. LOT AREA (MIN.)
- SETBACKS: FRONT SIDE REAR  
35' 7.5' 30'
- TOWN APPLICATION NO. 2021-034, APPROVALS:  
\* SPECIAL USE PERMIT RESOLUTION #5-101/2022; APPROVAL FEB. 24, 2022  
\* SEOR NEG. DEC. RESOLUTION #5-101/2022; APPROVAL FEB. 24, 2022  
\* LAND ACQUISITION RESOLUTION #5-102/2022; APPROVAL FEB. 24, 2022  
PART OF 187.04-2-1.1 TRANSFER FROM TOWN OF 0.918 ACRES AND 15' WIDE LAND TRANSFER TO TOWN 0.886 ACRES

**CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS**

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL FOR THIS REALTY SUBDIVISION IS GRANTED ON CONDITION THAT:

- THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE TREATMENT ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCPH).
- AN ORIGINAL REALTY SUBDIVISION MAP APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
- THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN OR, IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS-BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SEWAGE, STORM WATER AND WATER SUPPLY.
- ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSESS SPECIAL GENERAL PERMIT GP-0-15-002 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.
- NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MCPH.
- PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE MCPH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- PRIVATE WELLS AND PRIVATE ON-SITE WASTEWATER TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED AFTER PUBLIC FACILITIES BECOME AVAILABLE.

I, the undersigned Treasurer of Monroe County  
Pursuant to Sec 334 of the Real Property Law  
Certify All Monroe County Taxes and School  
Taxes against the land described herein have  
Been paid through \_\_\_\_\_

Monroe County Treasurer  
By \_\_\_\_\_ Dated: \_\_\_\_\_

**Monroe County Department of Public Health  
Realty Subdivision Approval**

This is to certify that approved plans for Water Supply and Sewage Disposal for this project are on file in the office of the Monroe County Department of Public Health. Consent is hereby given for the filing of this map in the Monroe County Clerk's Office in accordance with Article III of the Monroe County Sanitary Code.

Director of Public Health

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
HIGHWAY SUPERINTENDENT

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FIRE MARSHALL

**ROADWAY COMPACTION TESTING NOTE**

COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

MONUMENT TABLE - PHASE 3			
MON. #	BEARING	DIST.	AREA
MON. #7	N01°28'05.52"E	263.37'	1108285.35
MON. #10	N11°08'48.64"E	481.37'	1379398.84
MON. #11	S81°39'49"W	481.37'	1108478.84
MON. #10	N04°31'10"E	300.57'	1108548.64
MON. #12	S85°11'08"W	326.10'	1108848.27
MON. #13	N08°20.00"E	326.10'	1108820.90

NO.	REVISION	DATE



**DSB Engineers and Architects, P.C.**  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 18, RANGE 7 OF THE  
FIELLS & CORSELM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
PLAT PLAN  
PHASE 3

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. NO.	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	3 of 16

This plat is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For General Municipal Law:  
County Highway Superintendent \_\_\_\_\_ Date \_\_\_\_\_

For the Monroe County Monumentation Law:  
Monroe County Surveyors Office \_\_\_\_\_ Date \_\_\_\_\_

**ROADWAY COMPACTION TESTING NOTE**  
 COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

- STORM SEWER:**
- All material and installation shall conform to the Town of Henrietta specifications.
    - Storm laterals shall be 6" PVC, SDR-21 stone encased. Risers shall be SDR-21 or schedule 40 with cast iron caps. Downspouts shall discharge onto splash blocks.
    - Storm sewer shall be High Density Polyethylene Pipe (HDPE), ASTM F405 and ASTM F667 with smooth interior. Reinforced Concrete Pipe (RCP), class IV, ANSI/ASTM C76, wall type B, bell and spigot end joints with rubber compression gasket joint shall be used where designated.
    - Catch basin weeps shall be 4" P.E.
    - Concrete gutters shall be 4,000 psi Class "A" concrete.
    - Manholes shall be reinforced precast concrete, ASTM C-478.
  - Rip rap shall consist of stones, a minimum of 12" thick, and each shall weigh in excess of 150lbs, unless otherwise noted. Stones shall be properly aligned and placed in close contact with each other.
  - Sedimentation basins shall be created around all storm sewer inlets. Straw bales shall filter the water before entering these inlets and shall be maintained by the developer for the duration of the construction improvements. New bales shall be installed when the existing bales are clogged or not functioning. Replace bales at least every 3 months.
  - The storm sewers shall be televised for Town of Henrietta standards.

- PAVEMENT:**
- All driveway aprons within the Right of Way shall be asphalt paved with 8" No. 2 crusher run stone and 2" No. 3 Dense Binder, 1" top per Henrietta Detail RD-15a as shown on drawing 9.
  - All roads and storm sewers shall be cleaned and maintained until all vegetation is established on this section.
  - Fill within the R.O.W. shall be compacted in 6" lifts to 95 percent of maximum dry density per ASTM D1557. Fill densities shall be certified to the town by a licensed testing company.

- UTILITY NOTES**
- ROOF DOWNSPOUTS CANNOT BE CONNECTED TO THE STORM LATERALS.
  - ALL STORM LATERALS TO ENTER BASEMENT AT AN ELEVATION ABOVE 100 YR PONDING ELEVATION MIN. POND 2 AND 3

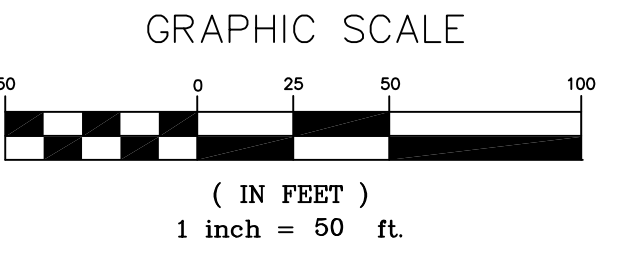
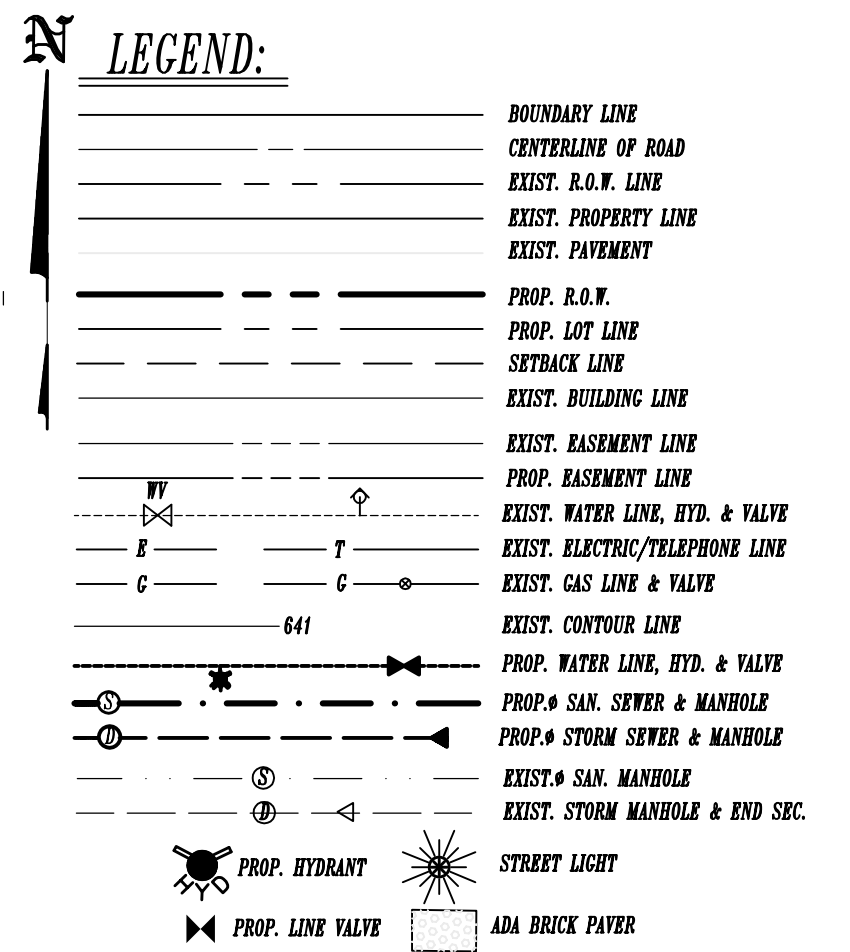
**SEWER USE LAW NOTE:**

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

**SOUTH CENTRAL PURE WATERS DISTRICT EASEMENT NOTE:**

ALL EXISTING AND/OR PROPOSED IRONDEQUOT BAY SOUTH CENTRAL PURE WATERS DISTRICT EASEMENTS ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF PROJECT TO ENSURE THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN DISTRICT EASEMENTS. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE IBSCPWD.



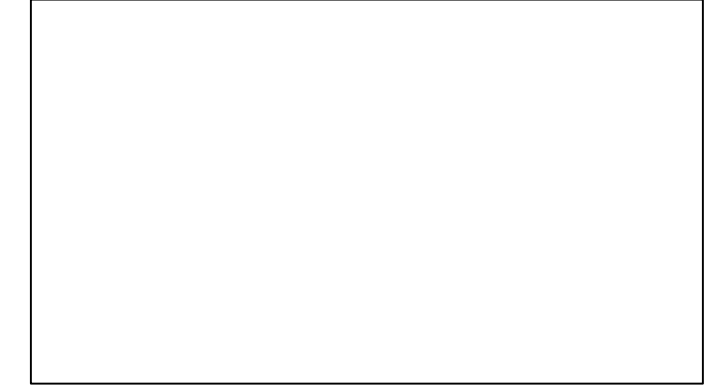
**TOWN OF HENRIETTA NOTES:**

- GENERAL:**
- Underground utility locations are approximate. The Contractor shall take all precautions necessary to protect existing utilities, pavements, and monuments either shown, or of record.
  - All of this subdivision is classified in Zone "X" as shown on the Flood Insurance Rate Map for the County of Monroe, Map No. 3605503296, with an effective date of August 28, 2008.
  - Prior to any payment from letter of Credit the contractor shall submit to the project engineer the following record map information: A) Sanitary & Storm Sewer:
    - Distance of wyes to the closest M.H. along the center line of pipe.
    - Depth marked on end of lateral stake to invert.
  - A record site plan must be provided to the Town Engineering Department upon completion of the project. It shall include all improvements including gutters, roadway, sewers, etc. to the Town's satisfaction.
  - Individual Lot Utility Service Maps shall be provided to the Town's Engineering Department. Each map shall indicate swing line diagrams for water curb boxes and all lateral cleanouts.
  - Roof downspouts cannot be connected to the storm laterals.

**SANITARY SEWER:**

- The sanitary sewer shall be built to the Town of Henrietta standards and will be dedicated to the Town.
- Materials shall be as follows:
  - Sanitary sewer main shall be PVC, SDR-35, stone encased.
  - Laterals shall be 4" PVC, SDR-21, stone encased.
  - Clean-outs shall be PVC, Sch. 40 or SDR-21 w/cast-iron cap.
  - Manholes shall be reinforced precast concrete per ASTM C-478.
- Sanitary sewers shall be tested. An air test will be used, the test as a minimum shall conform to the procedure described in ASTM-C-838-80, entitled "Standard Practice for Low-Pressure Air Test of Vitrified Clay Pipe Lines". Sanitary manholes shall be vacuum tested.
- The deflection test & video tap on the sanitary sewer shall be conducted after backfill has been in place at least 30 days. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The test shall be performed without mechanical pulling devices. No pipe shall exceed a deflection of 5%. Sanitary sewers shall be televised per Town of Henrietta standards.
- Floor drains shall be connected to the sanitary sewer. Floor drains DO NOT include foundation or footer drains. All discharge to the sanitary sewer must meet the effluent limits of the local and/or the Monroe County Sewer Use Law.
- Impervious seepage barriers shall be installed along the length of the sanitary sewer main at 500' intervals.
- All sanitary sewer mains will be televised after 30 days of construction completion.

**IRONDEQUOT BAY SOUTH CENTRAL PURE WATERS DISTRICT**



**Monroe County Department of Public Health**

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval  
 Director of Public Health

By \_\_\_\_\_ Date \_\_\_\_\_  
 Public Health Engineer

**Monroe County Department of Public Health**

These plans for Public Water System Facility / Improvement are hereby approved pursuant to Article 17 of the State Sanitary Code subject to conditions of Approval  
 Director of Public Health

By \_\_\_\_\_ Date \_\_\_\_\_  
 Public Health Engineer

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 HIGHWAY SUPERINTENDENT

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 COMMISSIONER OF PUBLIC WORKS

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FIRE MARSHALL

NO.	REVISION	DATE
1	TOWN COMMENTS REVIEW 7/11/22	9/15/22
2	TOWN COMMENTS REVIEW 10/26/22	10/27/22
3	TOWN COMMENTS REVIEW 11/23/22	12/15/22
4	TOWN COMMENTS REVIEW 1/23/23	1/23/23
5	REVISED PER MCH COMMENTS 3/7/23	3/7/23
6	REVISED PER MCH COMMENTS	3/7/23



**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-271-5230 fax 585-271-3488

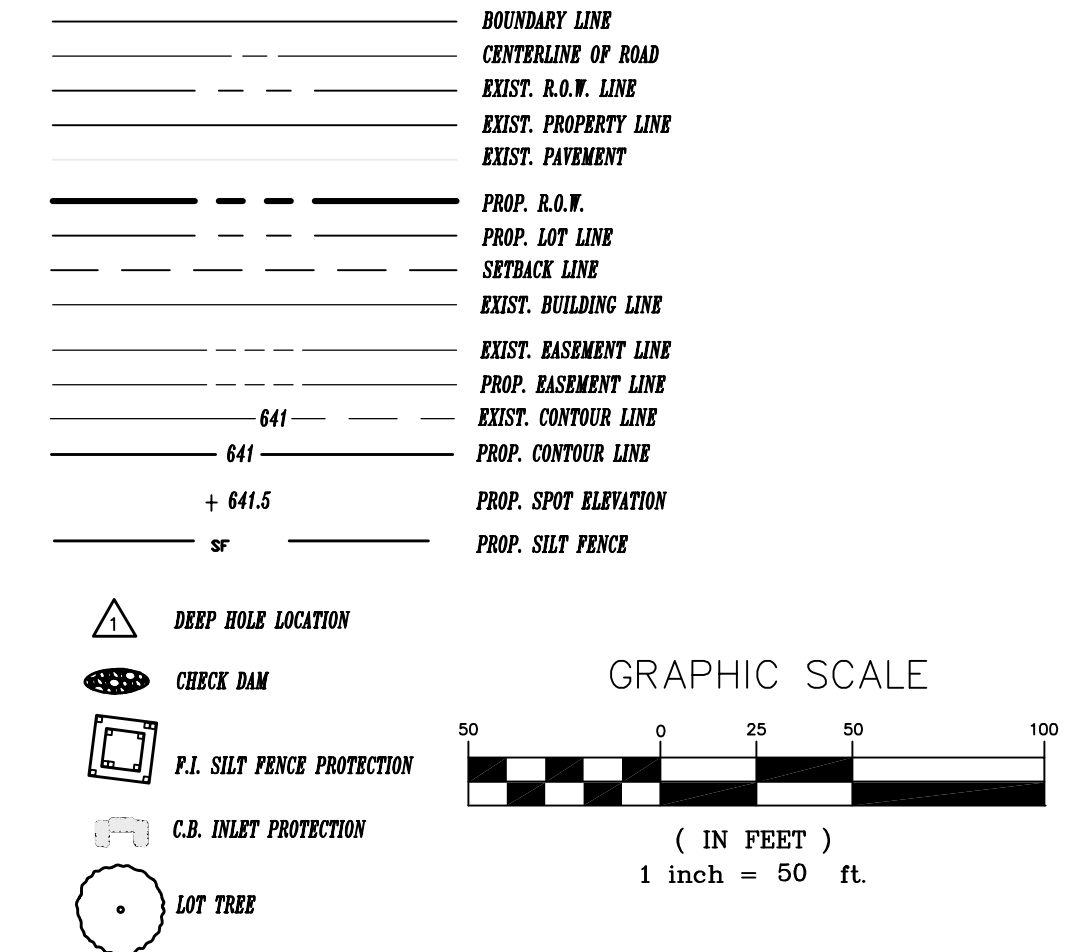
**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION**  
 PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
 FIFTH & GOBLET PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
**UTILITY PLAN**  
**PHASE 3**

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	4 of 16

**LEGEND:**



**PROJECT BENCHMARKS (NAV88):**

BENCHMARK #1:  
 TOP OF REBAR AT NORTHEAST PROPERTY CORNER  
 48 ERIE STATION ROAD  
 ELEVATION= 560.97  
 BENCHMARK #2:  
 SANITARY SEWER SV-1  
 M.H. RIM  
 ELEVATION= 527.16

**ROADWAY COMPACTION TESTING NOTE**  
 COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

**GRADING NOTES**

- SHOULD FARM TILES BE ENCOUNTERED DURING EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE TOWN INSPECTOR AND PROJECT ENGINEER FOR DETERMINATION OF TILES DISPOSITION (REMOVAL, PLUG, OR CONNECT TO THE STORM SEWER SYSTEM).
- CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL DEVICES AS DIRECTED BY THE TOWN AND PROJECT ENGINEER.
- SEE STORM WATER POLLUTION PREVENTION PLAN FOR OVERALL SUBDIVISION GRADING.
- SEE DETAILS AND NOTES FOR GRADING AND EROSION CONTROL NOTES.
- ALL TEMPORARY SEDIMENT TRAPS/SINKS DEEPER THAN 1.5' SHALL BE PROTECTED BY ORANGE CONSTRUCTION FENCE AROUND THE ENTIRE PERIMETER OF THE SEDIMENT SINK, INCLUDING PONDS.
- POND 3 STORM WATER ELEVATION  
 1YR - 529.31  
 10 YR - 530.66  
 100 YR - 532.17
- GREEN INFRASTRUCTURE PRACTICES PRESERVATION OF UNDISTURBED AREAS:  
 ROOF TOP AREA DISCONNECTION  
 SOIL RESTORATION REQUIREMENTS:  
 A. AREAS OF TOPSOIL STRIPPED WITH NO CHANGE IN GRADE  
 \*AERATE SUBSOIL AND APPLY 6 INCHES OF TOPSOIL  
 B. AREAS OF CUT AND FILL  
 \*APPLY 3 INCHES OF COMPOST OVER SUBSOIL.  
 \*TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING A TRACTOR MOUNTED DISC.  
 \*ROCK PICK UNTIL UNLIFTED ROCK MATERIALS OF 4" AND LARGER ARE CLEANED OFF THE SITE.  
 \*APPLY TOPSOIL TO A DEPTH OF 6" MIN.  
 \*VEGETATE AS REQUIRED BY APPROVED PLAN.

**SEDIMENTATION BASIN PER SECTION**

SECTION	LOCATION	SIZE (WxLxD)	VOL. (CF)
SECTION 3	11.1 AC DIST. * 3600 CF/AC		
	VOLUME REQ. 39,600 CF		
POND 3	GR. PLAN	30,150	
POND 2	GR. PLAN	9,089	
SB3-1	30'X55'X2'	3,300	
SB3-2	30'X55'X2'	3,300	
SB3-3	30'X55'X2'	3,300	
SB3-4	20'X50'X2'	2,000	
TOTAL		47,639	

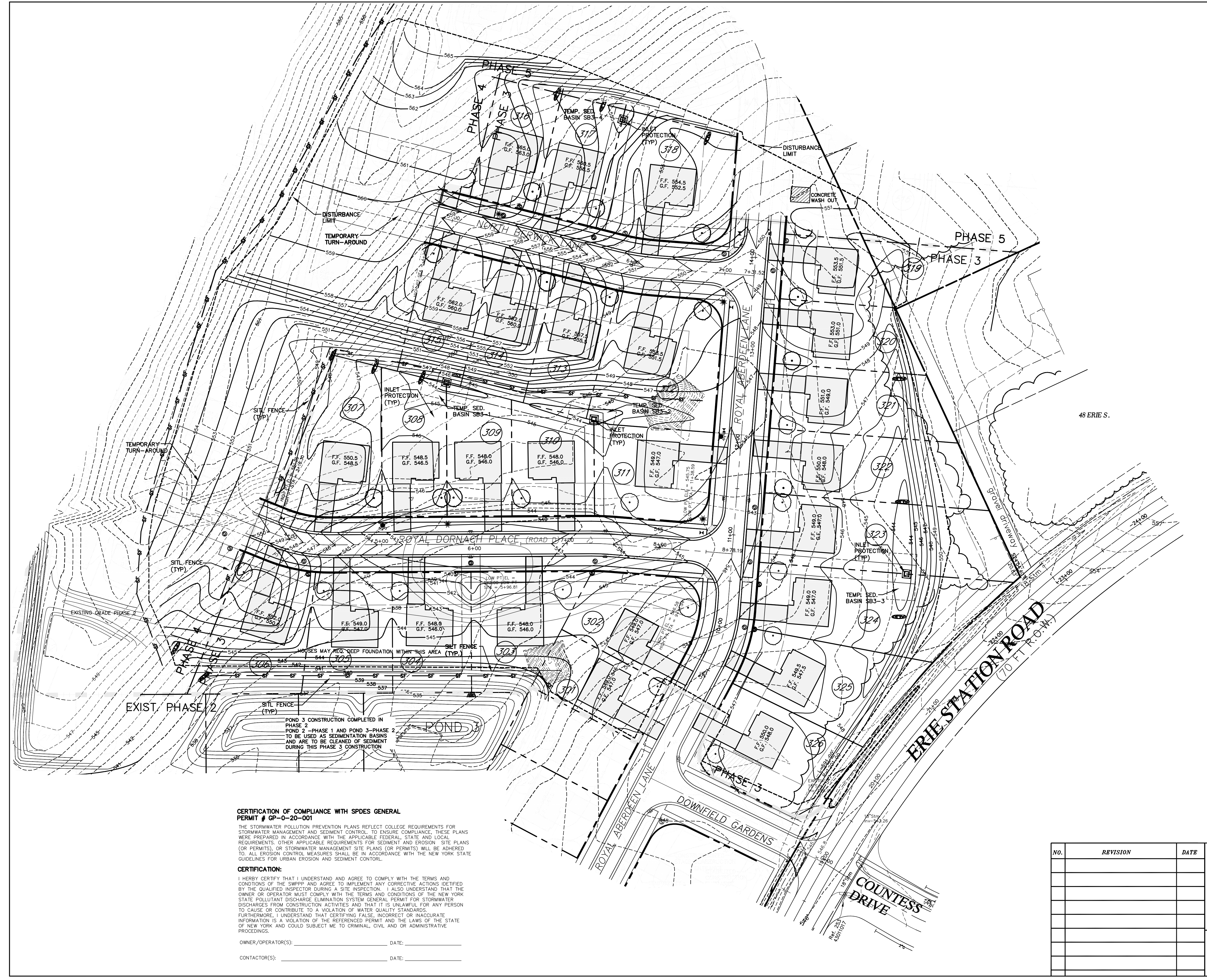
- NOTE:
- CLEAN ANY SEDIMENTATION BASIN AT 50% DEPTH.
  - DIMENSION D IS MEASURED BELOW GRATE ELEV. OR END SECTION INV. ELEV.
  - ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED AROUND ALL TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
  - SEDIMENTATION BASIN AREA SHALL BE BROUGHT TO FINAL GRADE, STABILIZED AND SEEDING ONCE FINAL SECTION GRADING IS COMPLETE AND STABILIZED. CONSTRUCTION FENCE IS TO BE REMOVED AT THIS TIME.

**CERTIFICATION OF COMPLIANCE WITH SPDES GENERAL PERMIT # GP-0-20-001**

THE STORMWATER POLLUTION PREVENTION PLANS REFLECT COLLEGE REQUIREMENTS FOR STORMWATER MANAGEMENT AND SEDIMENT CONTROL. TO ENSURE COMPLIANCE, THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. OTHER APPLICABLE REQUIREMENTS FOR SEDIMENT AND EROSION SITE PLANS (OR PERMITS), OR STORMWATER MANAGEMENT SITE PLANS (OR PERMITS) WILL BE ADHERED TO. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

**CERTIFICATION:**  
 I HEREBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I UNDERSTAND THAT CERTIFYING FALSE, INCORRECT OR INACCURATE INFORMATION IS A VIOLATION OF THE REFERENCED PERMIT AND THE LAWS OF THE STATE OF NEW YORK AND COULD SUBJECT ME TO CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PROCEEDINGS.

OWNER/OPERATOR(S): \_\_\_\_\_ DATE: \_\_\_\_\_  
 CONTACTOR(S): \_\_\_\_\_ DATE: \_\_\_\_\_



NO.	REVISION	DATE

**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE PRELUS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
 GRADING AND EROSION CONTROL PLAN  
 PHASE 3

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	5 of 16



LOT TREE PLANT SCHEDULE				
QUANT.	KEY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT
DECIDUOUS SHADE TREE				
6	CM	Acer x. 'Freemantii'	Celebration Maple	2"-2.5" cal BB
6	RO	Quercus Rubra	Red Oak	2"-2.5" cal BB
7	GT	Rialdisia Triacanthos	Sunburst Locust	2"-2.5" cal BB
7	CO	Celtis Occidentalis	Common Hackberry	2"-2.5" cal BB

NOTE: LOT TREES (FRONT YARD AREA) SHALL BE AS SHOWN ON THE PLAN, OUTSIDE UTILITY EASEMENT GENERALLY EVERY LOT, WILL RECEIVE ONE 2" - 2.5" CAL. DECIDUOUS TREES, ALTERNATING SPECIES

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PLANNING BOARD CHAIRMAN

NO.	REVISION	DATE



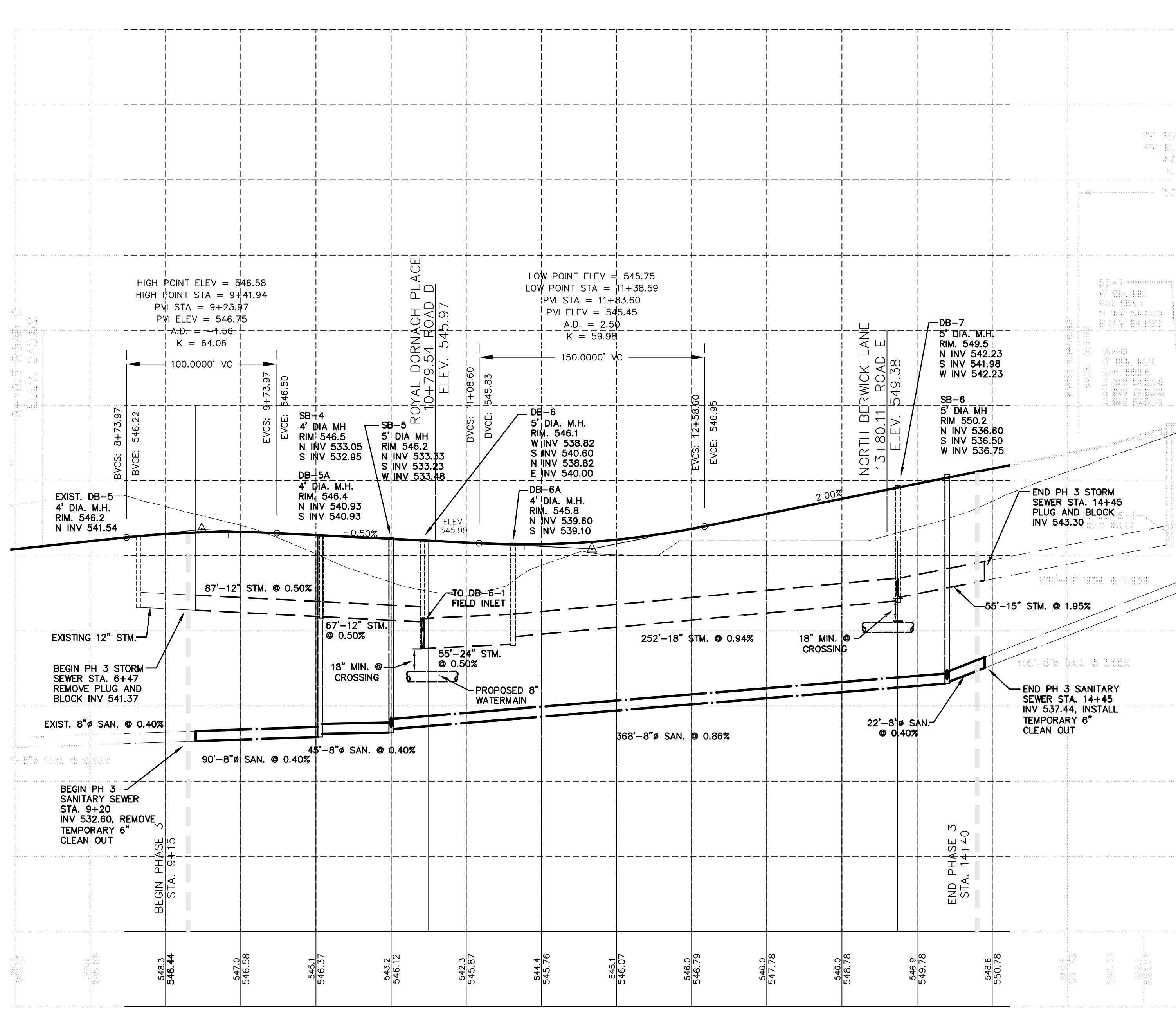
**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 Tel: 585-271-5430 Fax: 585-271-3498

**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUDIVISION  
 PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE  
 PHELPS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

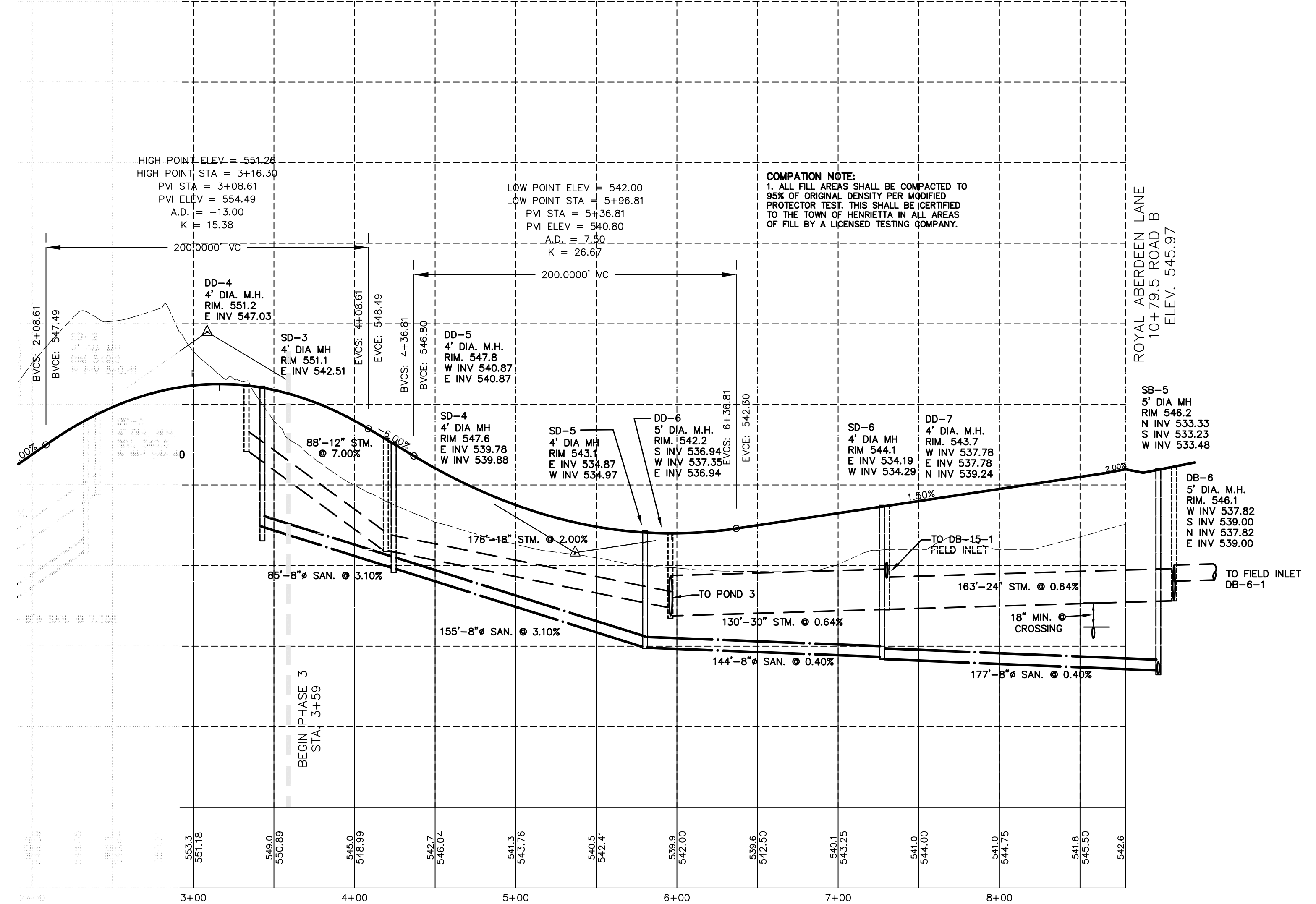
**DRAWING TITLE**  
 LANDSCAPING AND LIGHTING PLAN  
 PHASE 3

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N. Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	6 of 16



ROYAL ABERDEEN LANE  
(ROAD B)  
SCALE:  
HORIZ. 1"=50'  
VERT. 1"=5'



ROYAL DORNACH PLACE  
ROAD D  
SCALE:  
HORIZ. 1"=50'  
VERT. 1"=5'

**COMPACTION NOTE:**  
1. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER MODIFIED PROCTOR TEST. THIS SHALL BE CERTIFIED TO THE TOWN OF HENRIETTA IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.

**ROADWAY COMPACTION TESTING NOTE**  
COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

NO.	REVISION	DATE



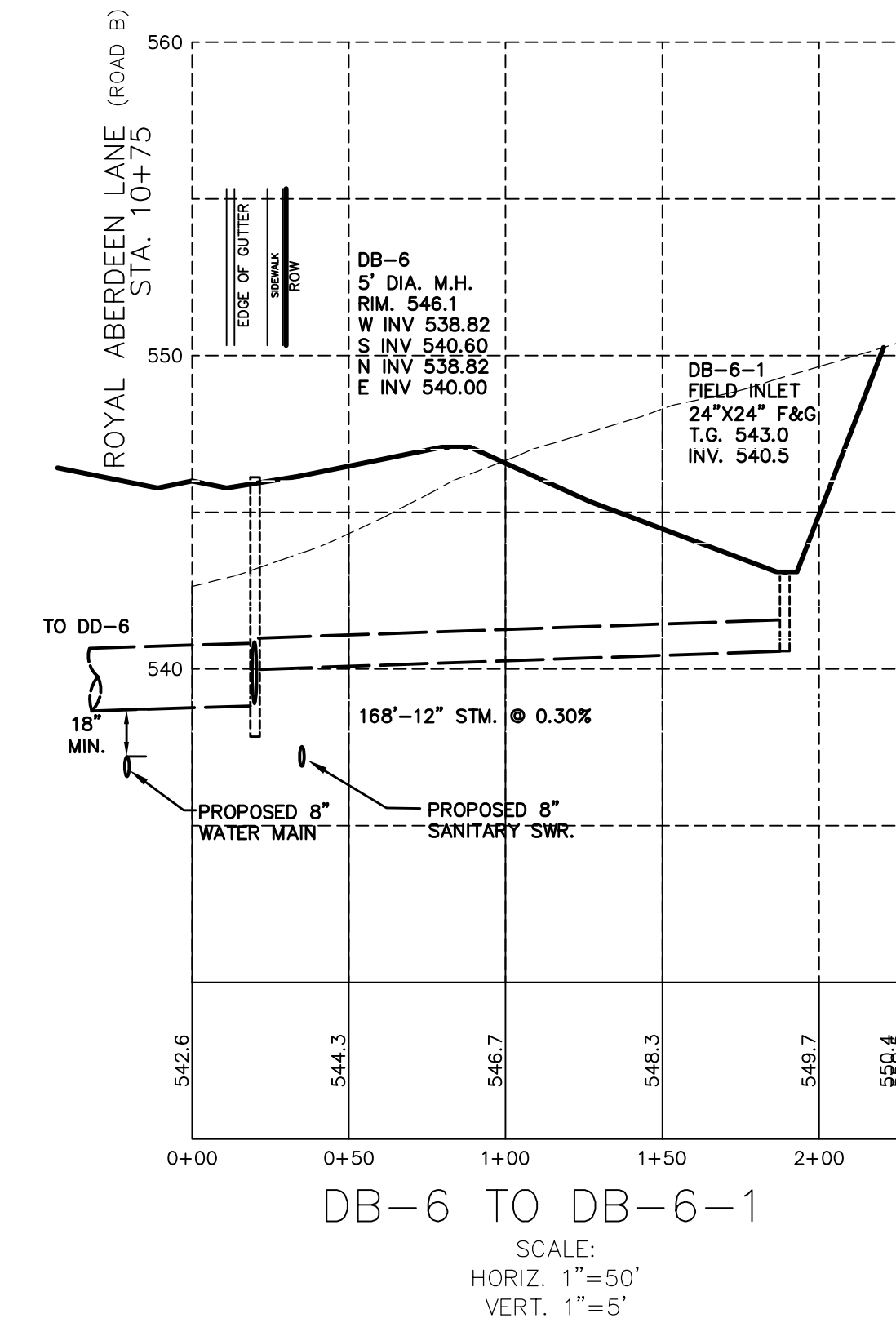
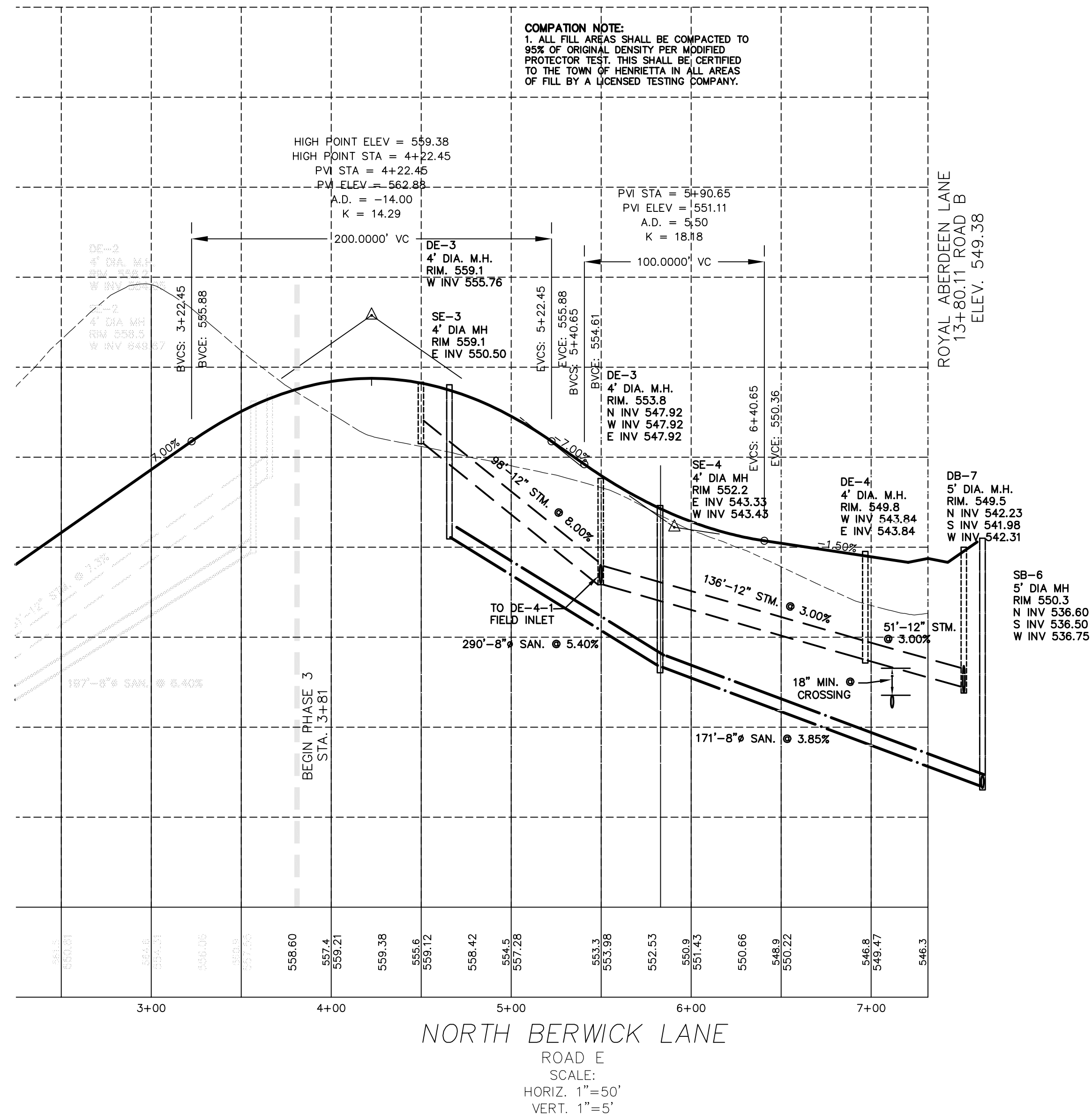
**DSB** Engineers and Architects, P.C.  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
THE FAIRWAYS AT RIVERTON SUDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE FIELDS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
PROFILES  
PHASE 3

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILLI AVENUE  
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	7 of 16



ROADWAY COMPACTION TESTING NOTE  
COMPACTION TESTING WILL BE REQUIRED ON THE ROAD SUBBASE CONSISTING OF FIVE TESTS AT FIFTY FOOT INTERVALS.

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**DSB** Engineers and Architects, P.C.  
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
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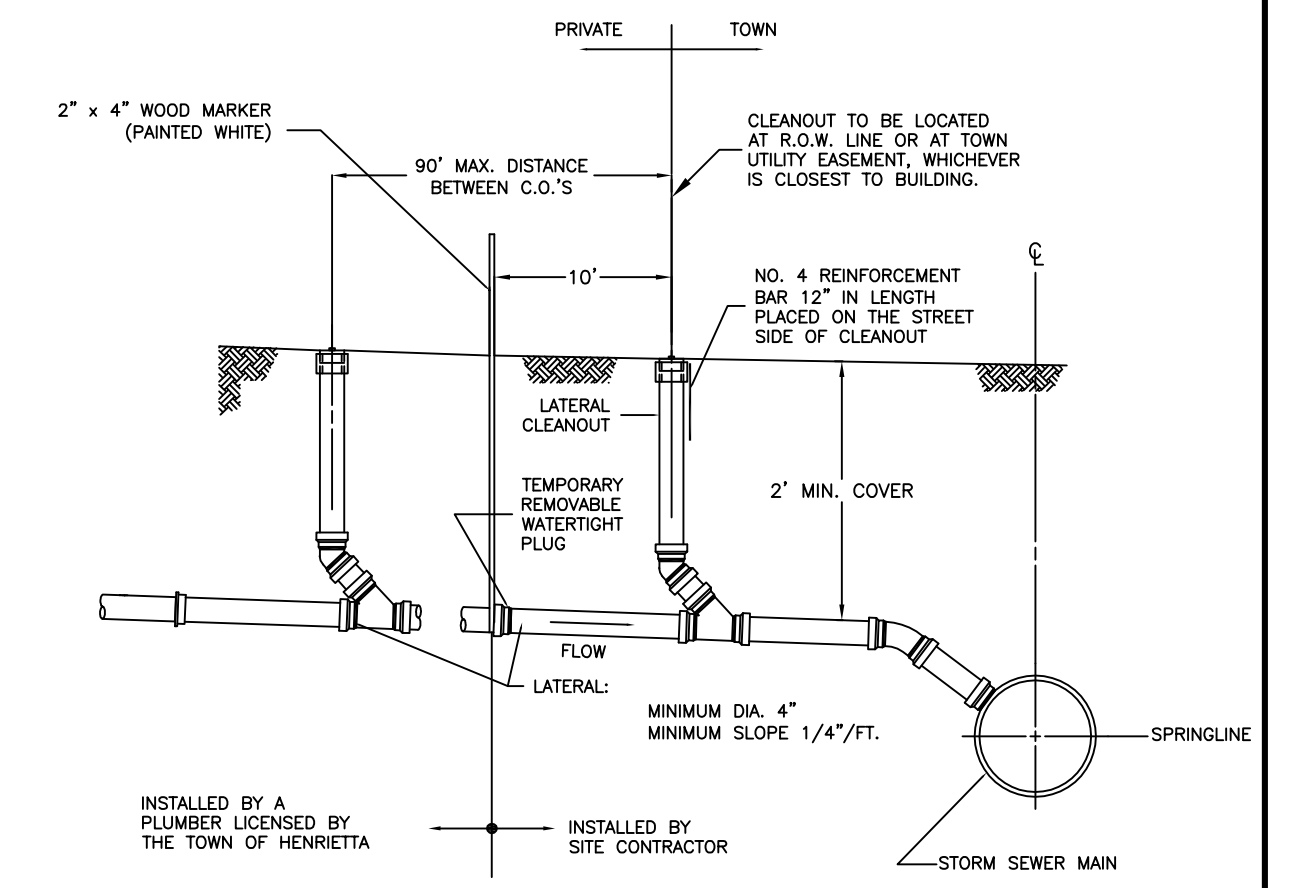
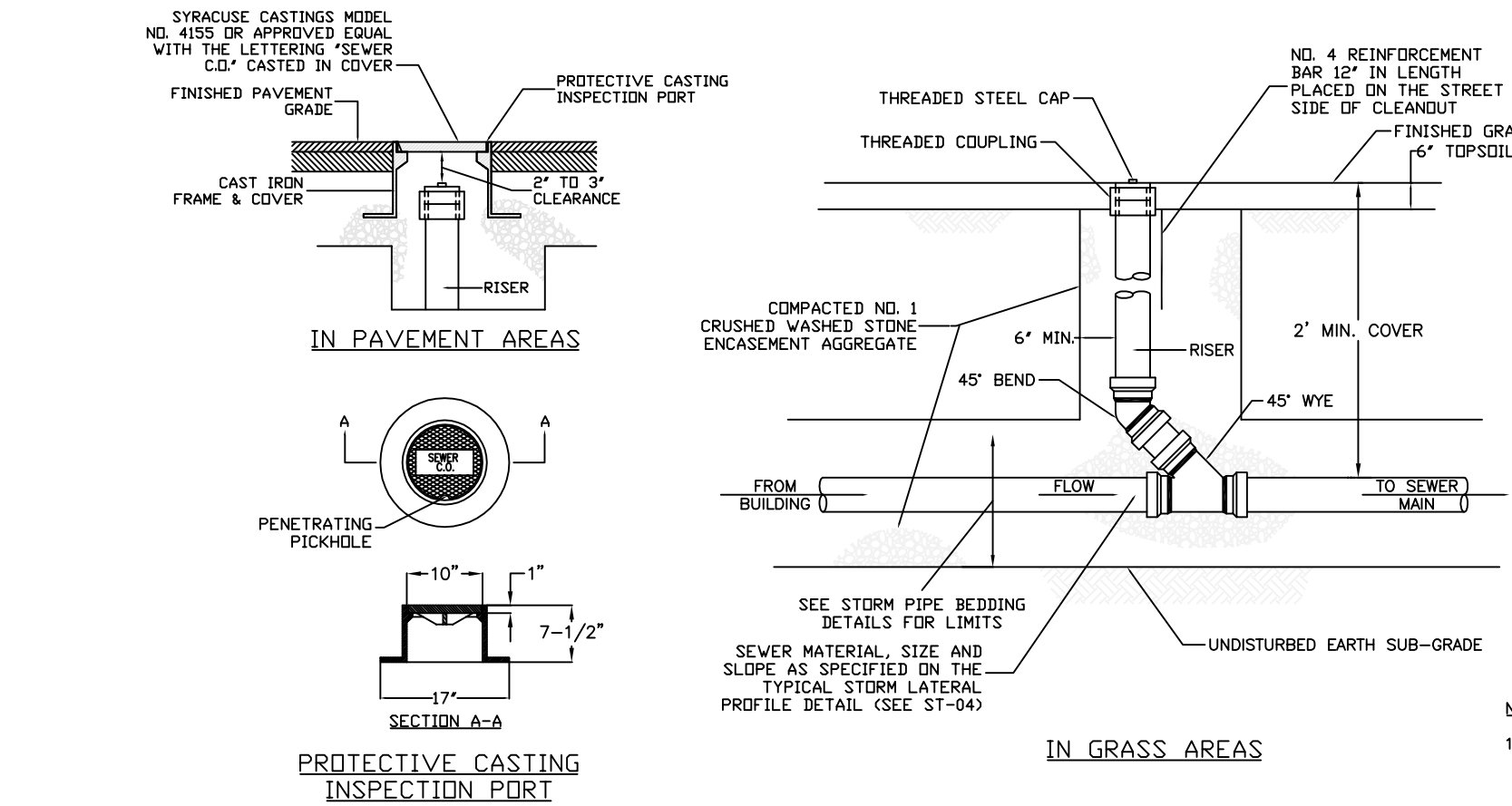
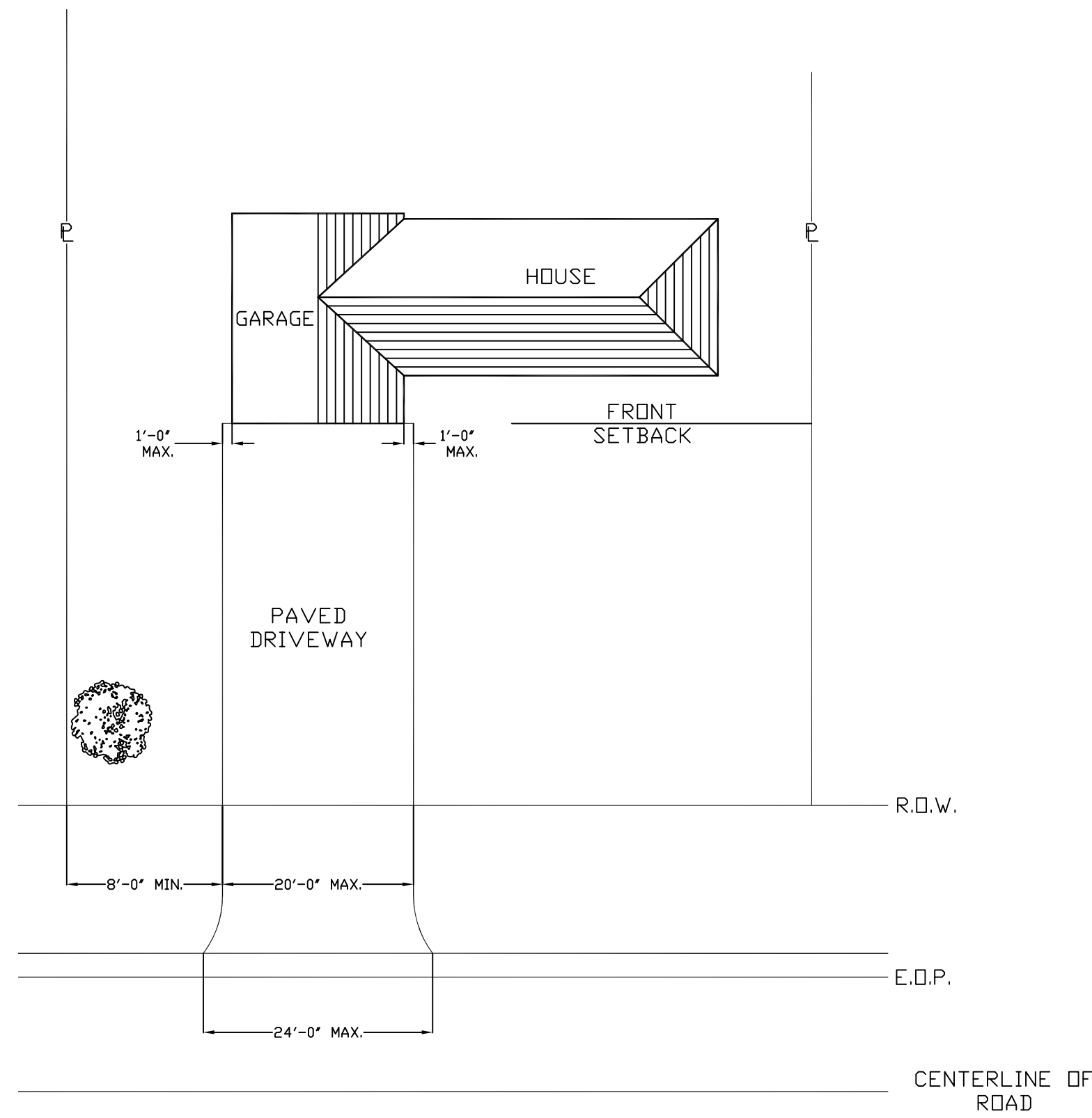
**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PART OF LOTS 23 & 25, SIXTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE FIELDS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

**DRAWING TITLE**  
PROFILES  
PHASE 3

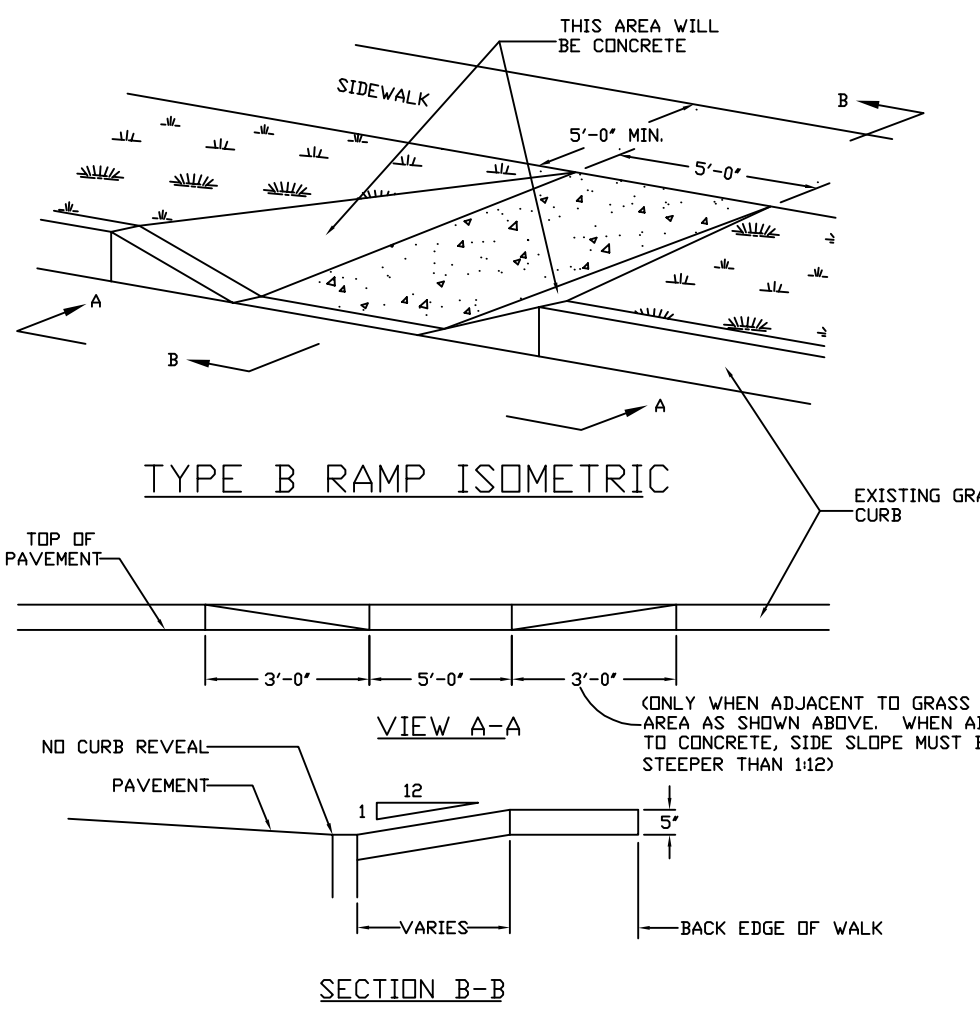
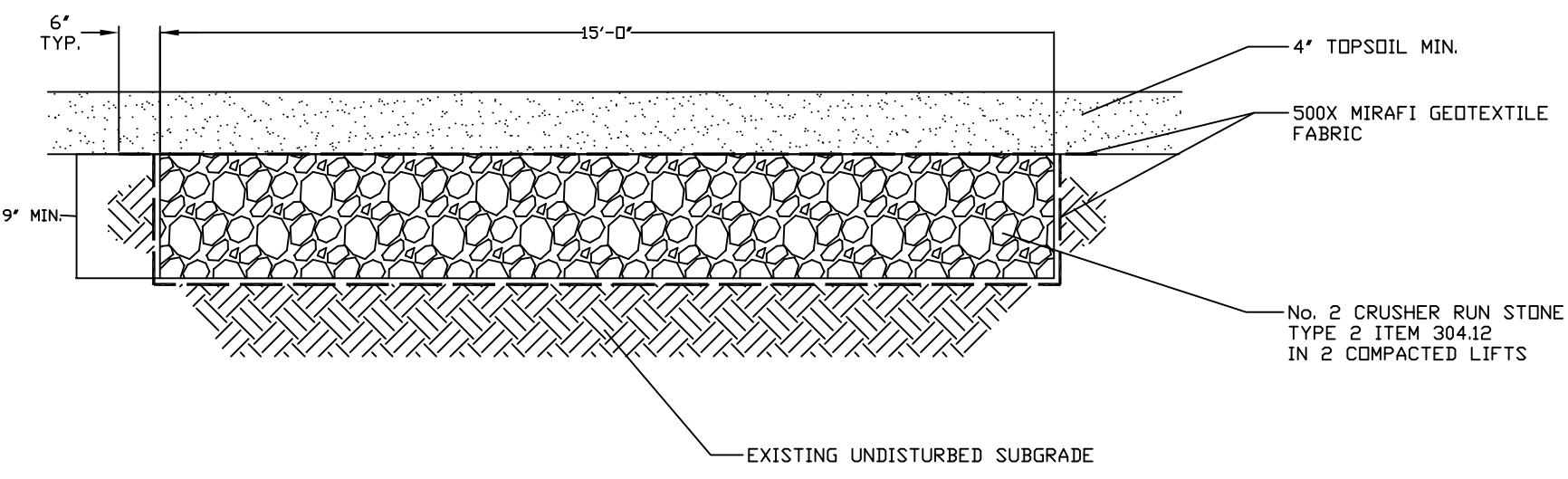
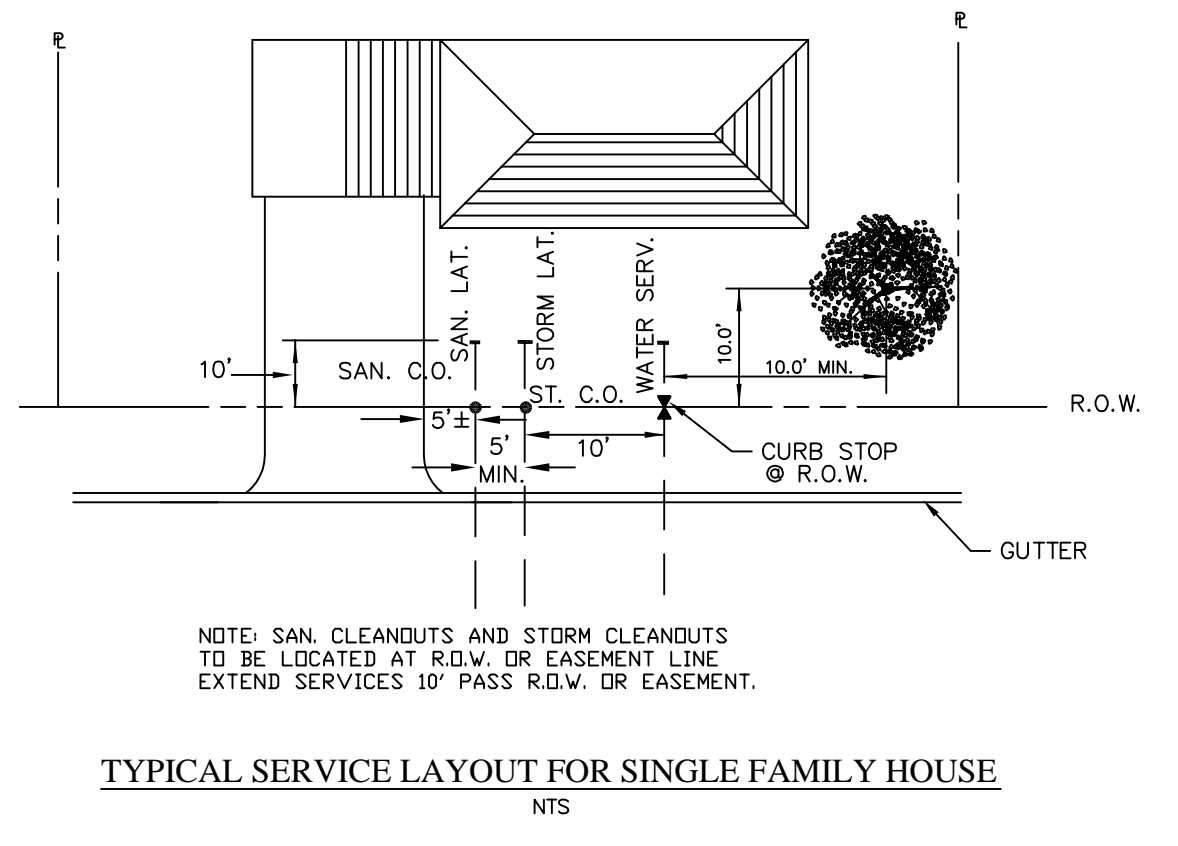
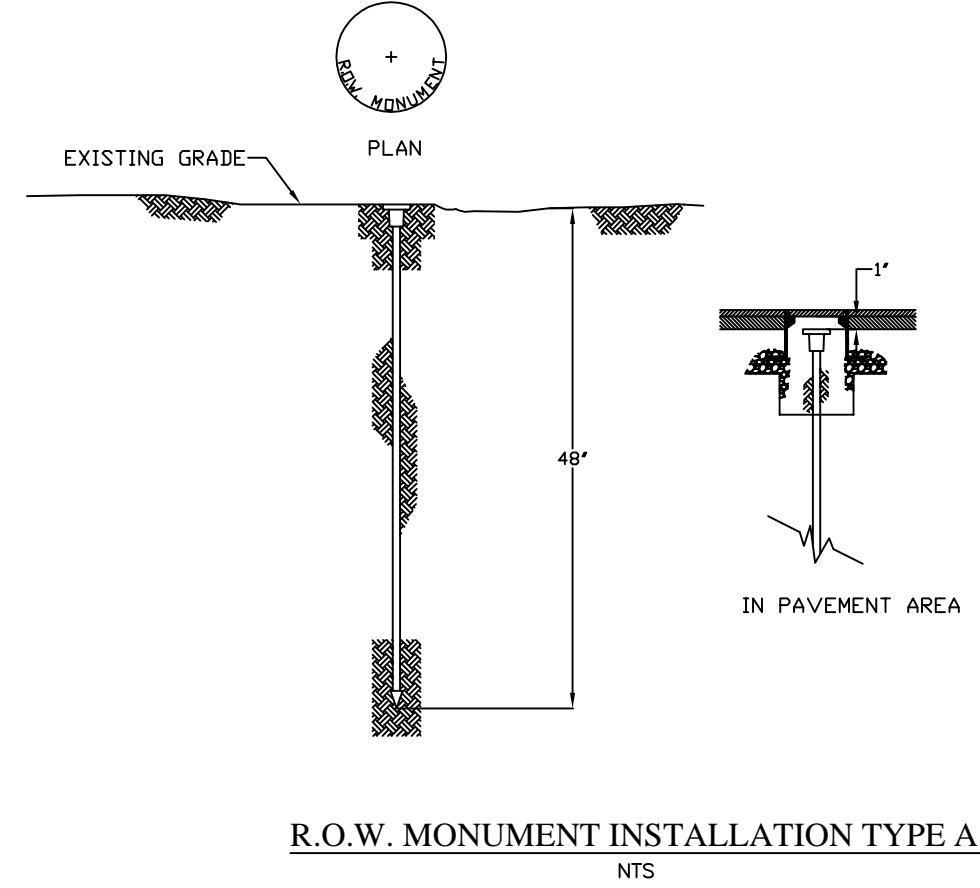
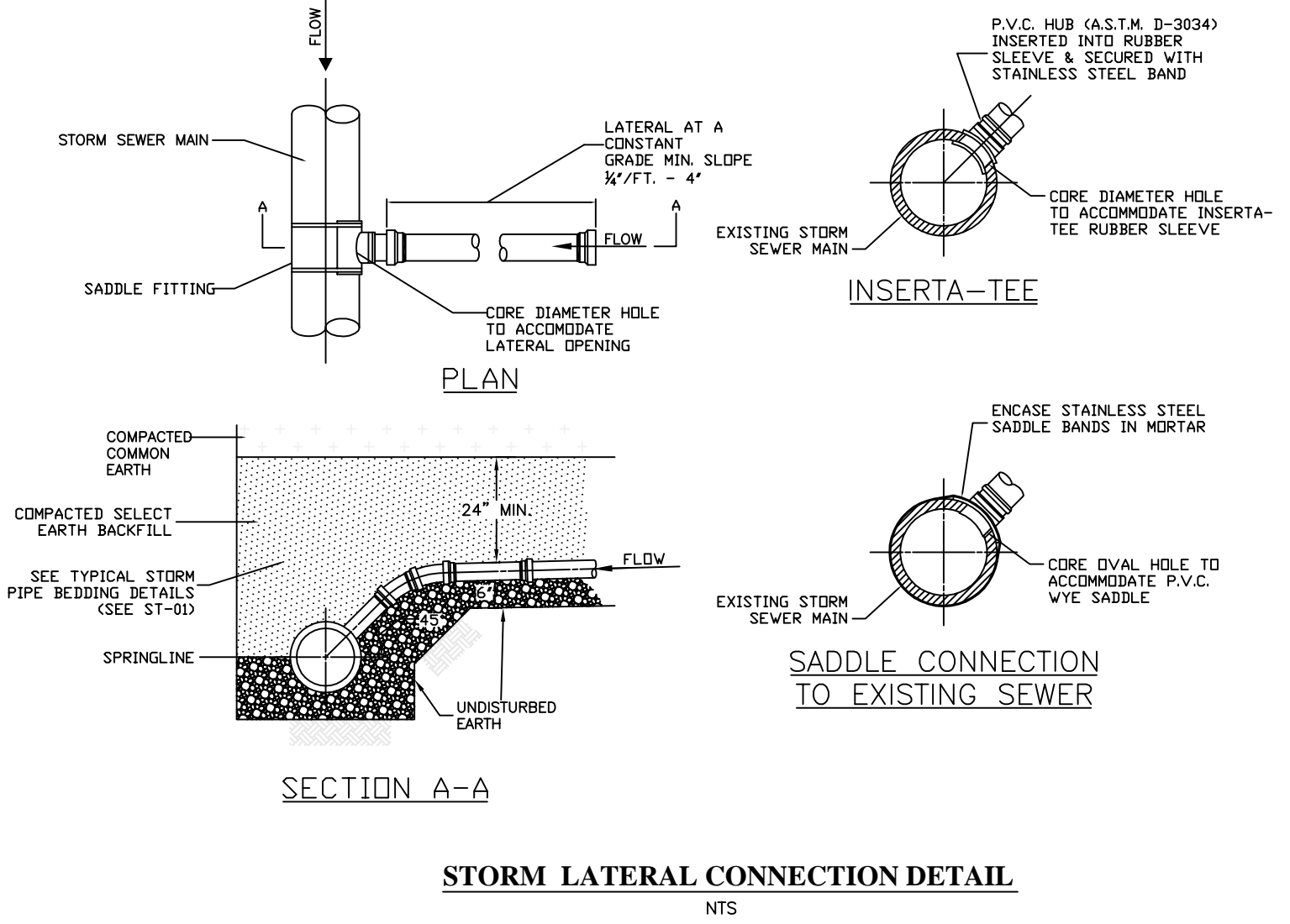
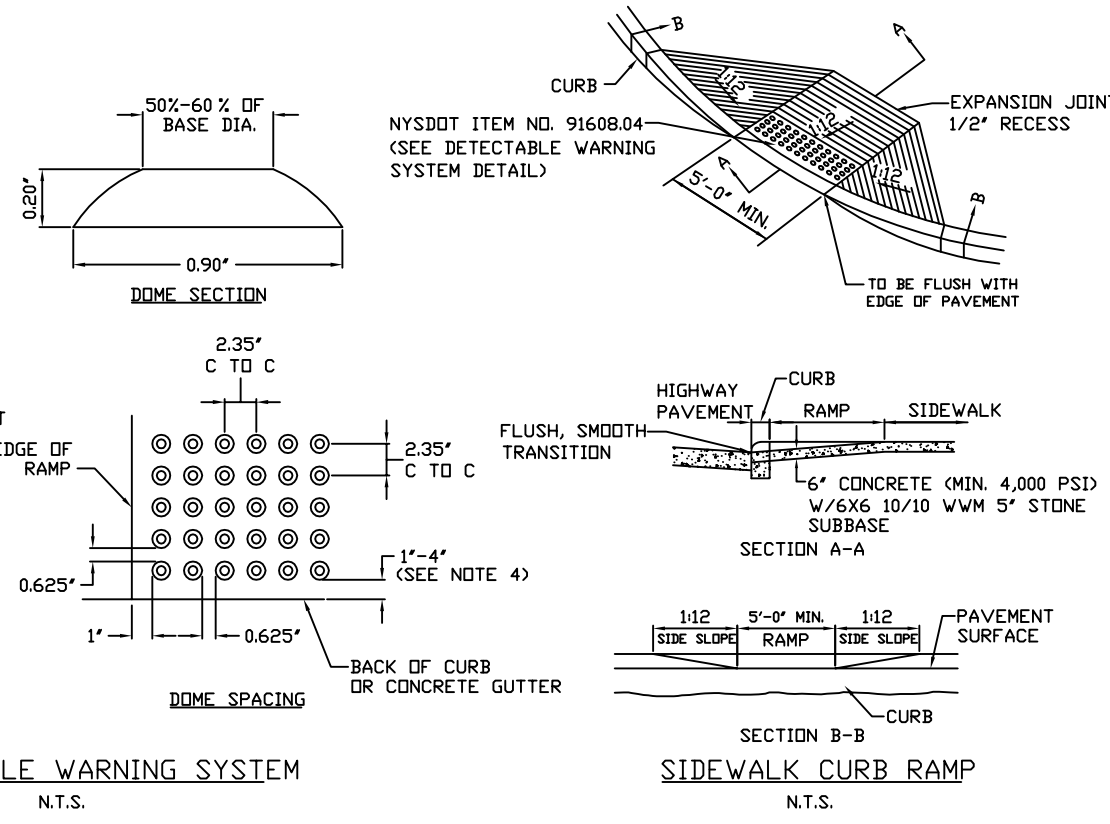
**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

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22-12035	N.E.S.	W.F.B.	D.E.S.	3/6/2024	1"=50'	8 of 16





- NOTES:**
1. QUANTITY OF TRUNCATED DUMES SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND TO DEPICT REQUIRED SQUARE GRID PATTERN.
  2. TRUNCATED DUMES ARE TO BE ALIGNED IN THE SQUARE GRID PATTERN IN THE PREDOMINANT DIRECTION OF TRAVEL.
  3. ENTIRE DETECTABLE WARNING SYSTEM FIELD, INCLUDING TRUNCATED DUMES, IS TO BE DARK GRAY IN COLOR, PER MUNSELL BOOK NOTATION BG-PB 3/5, OR APPROVED EQUIVALENT.
  4. OUTER EDGE OF THE DETECTABLE WARNING SYSTEM FIELD IS TO BE LOCATED SO THAT THE EDGE OF THE WARNING FIELD NEAREST TO THE STREET IS 1' TO 4" BEHIND THE BACK EDGE OF THE CURB OR CONCRETE GUTTER SECTION.
  5. DETECTABLE WARNING SYSTEM IS TO EXTEND ACROSS THE FULL WIDTH OF A SIDEWALK ACCESS RAMP, BUT NOT UP THE SIDE FLARES.
  6. RAISED TRUNCATED DUMES SHALL BE CONSTRUCTED BY PRE-CAST TILES SET INTO SIDEWALK.
  7. RAISED TRUNCATED DUMES SHALL BE PER MSDOT SPECIFICATIONS SECTION 608.



- NOTES:**
1. THE MAXIMUM SLOPE OF A SIDEWALK RAMP IS 1:12. IF SPACE LIMITATIONS ON EXISTING SITES PROHIBIT THE USE OF 1:12, THE FOLLOWING SLOPES AND RISES MAY BE USED:
    - A. STEEPER THAN 1:12 (18.2%), BUT NO STEEPER THAN 1:10 (10%) @ 6" MAXIMUM RISE, 5' MAXIMUM RUN.
    - B. STEEPER THAN 1:10 (10%), BUT NO STEEPER THAN 1:8 (12.5%) @ 3" MAXIMUM RISE, 2' MAXIMUM RUN.
    - C. A SLOPE STEEPER THAN 1:8 (12.5%) IS NOT ALLOWED.
  2. THE SURFACE OF ALL SIDEWALK RAMP IS TO BE STABLE, FIRM, AND SLIP-RESISTANT. CURB COURSE BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE.
  3. SIDEWALK RAMP LANDING PAD IS TO BE 5" THICK.

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23



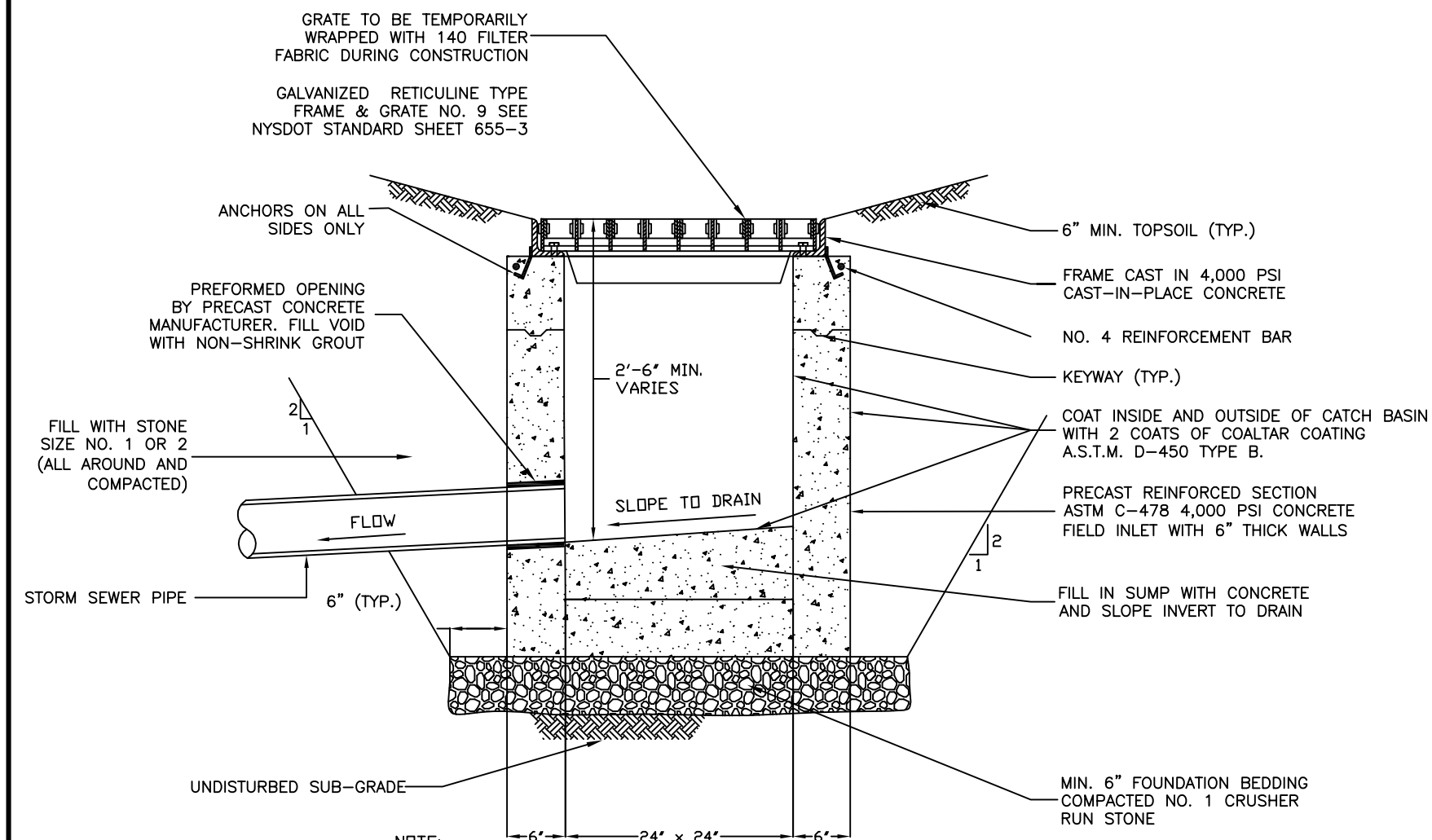
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2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
ph. 285-271-5220 fax 285-271-3488

**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PHASE 3

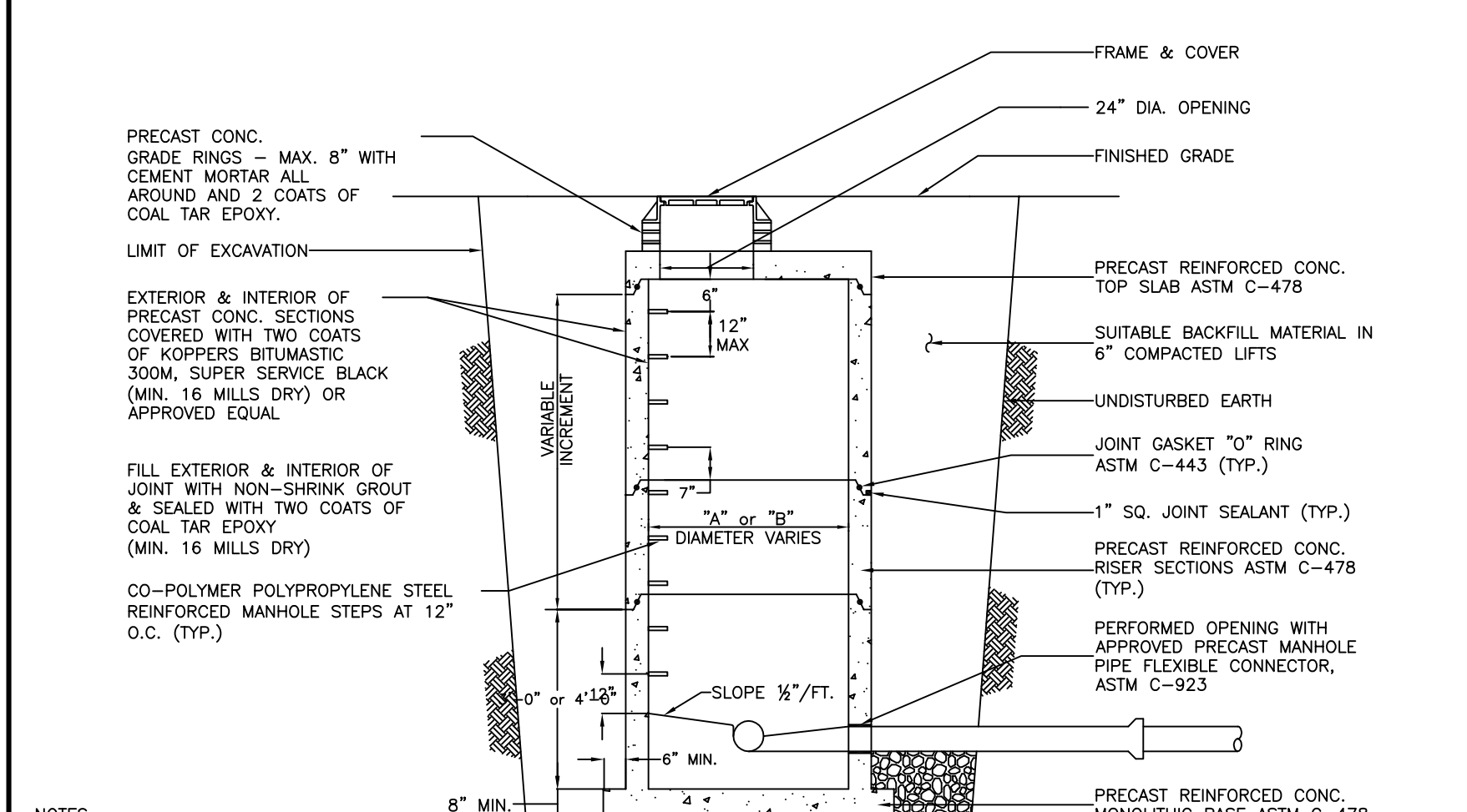
**DRAWING TITLE**  
DETAILS AND NOTES

**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

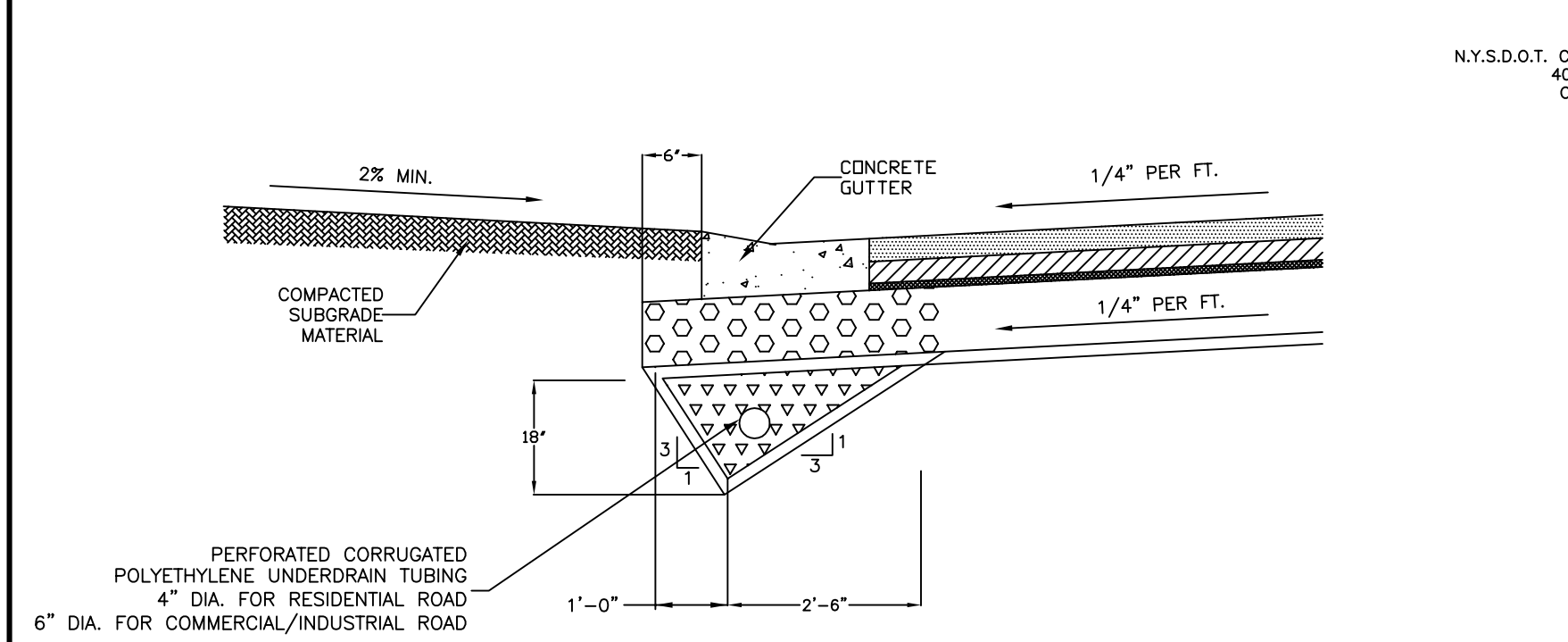
PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	NTS	9 of 16



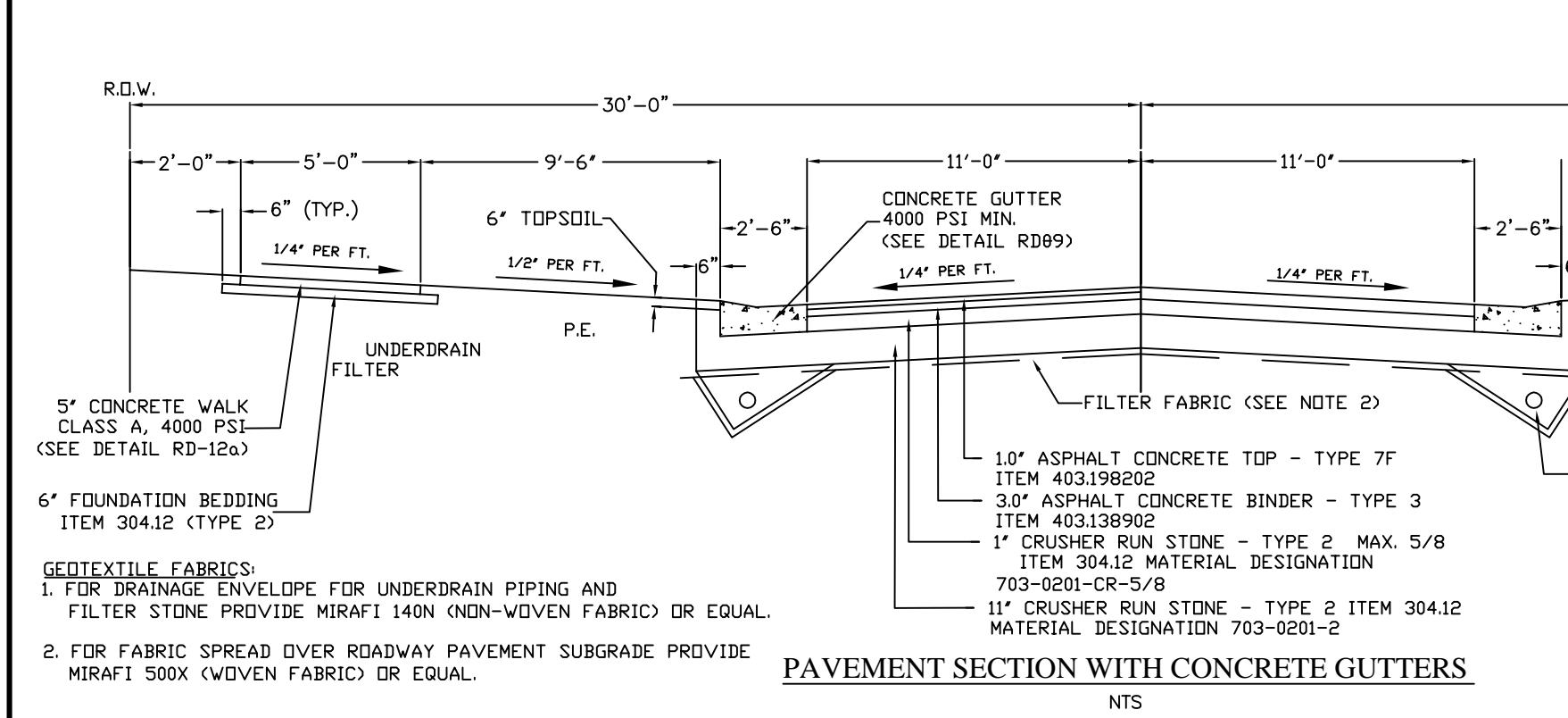
**FIELD INLET DETAIL**  
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**PRECAST STORM MANHOLE DETAIL**  
NTS

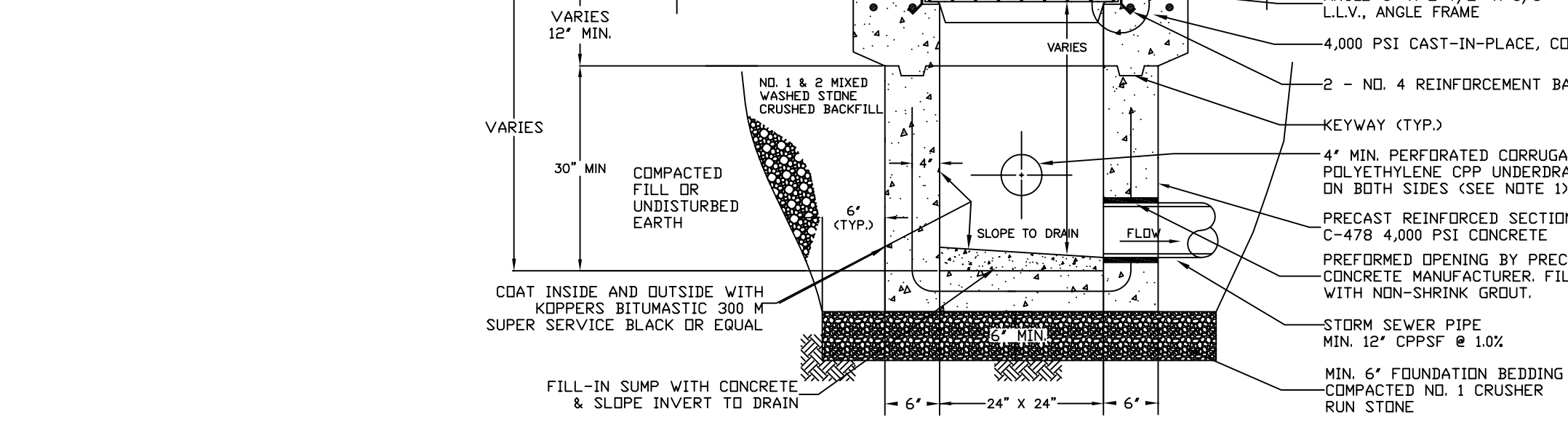


**UNDERDRAIN (GUTTER)**  
NTS

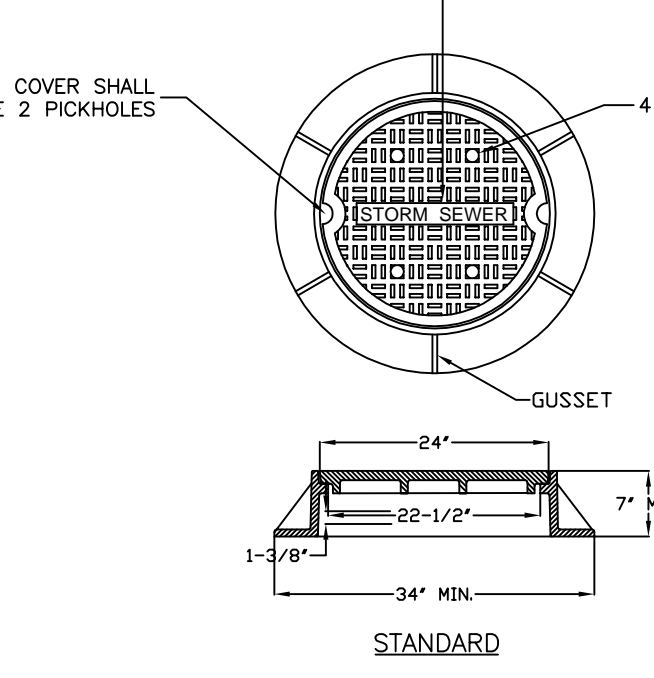


**PAVEMENT SECTION WITH CONCRETE GUTTERS**  
NTS

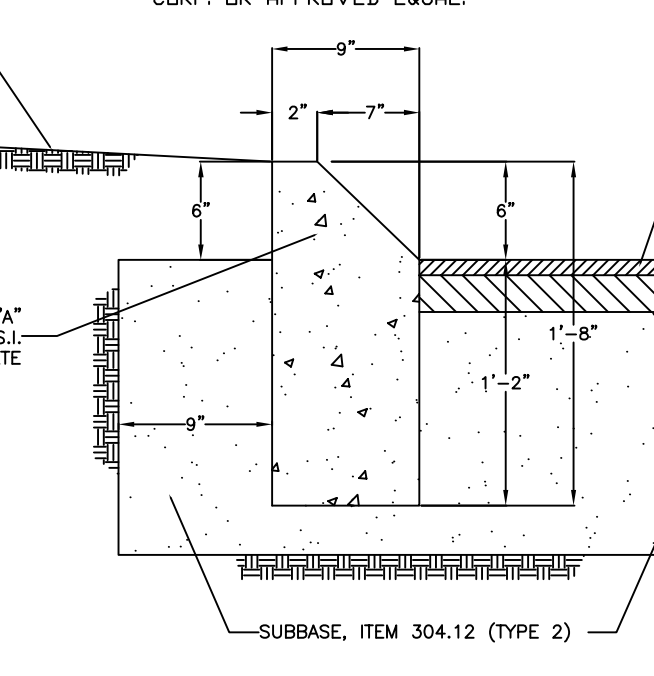
- NOTES:**
- ROADWAY UNDERDRAIN PIPE SHALL ONLY BE PLUGGED ON DOWNSTREAM SIDE OF CATCH BASIN, BUT NOT IN LOW POINT CATCH BASINS.
  - THE MAIN SUPPORT BARS ON THE RETICULINE GRATE SHALL BE PARALLEL TO THE ROADWAY WITH SECURING BOLTS PERPENDICULAR TO ROADWAY.
  - UPON COMPLETION & ACCEPTANCE OF CATCH BASIN, THE GRATE SHALL BE BOLTED DOWN FOR PUBLIC SAFETY.



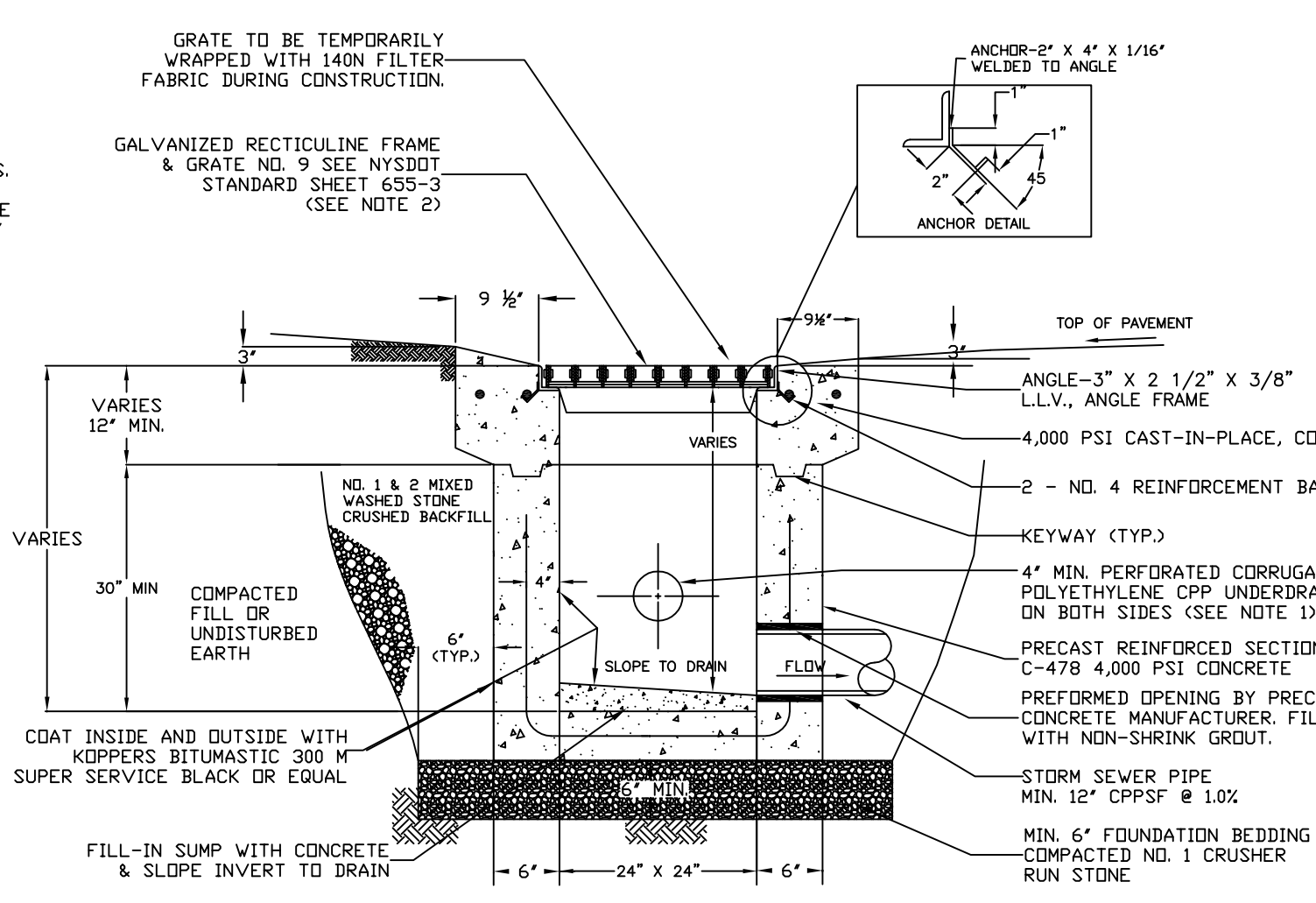
**CATCH BASIN - GUTTER APRON**  
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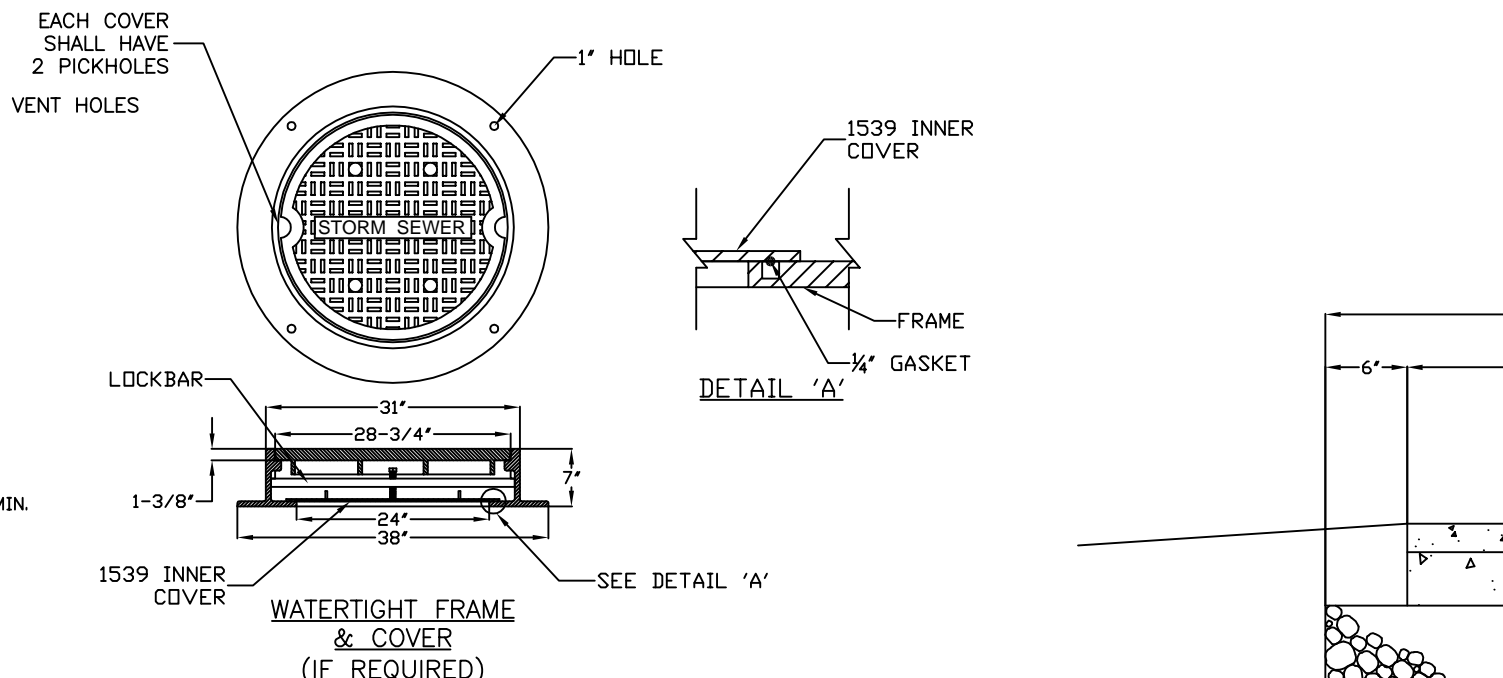
**STANDARD WATER TIGHT FRAME & COVER**  
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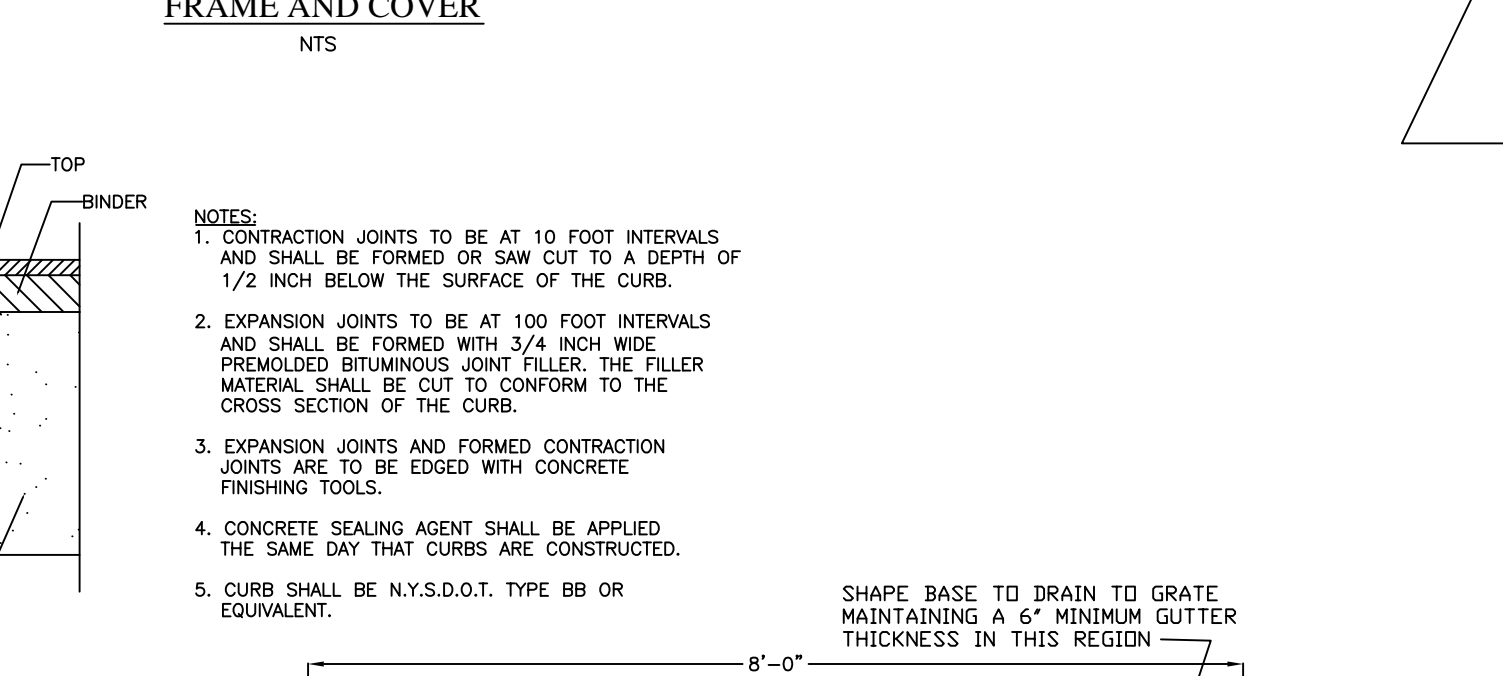
**MOUNTABLE CONCRETE CURB**  
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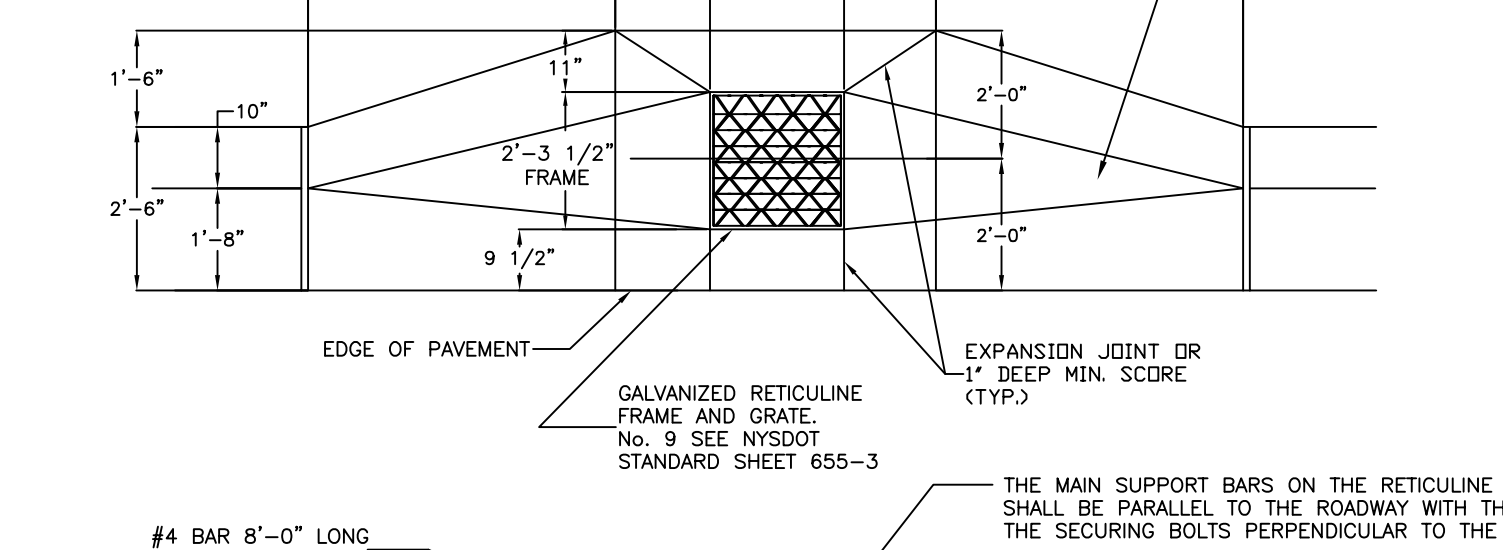
**STANDARD CONCRETE GUTTER APRON**  
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**STANDARD CONCRETE GUTTER APRON**  
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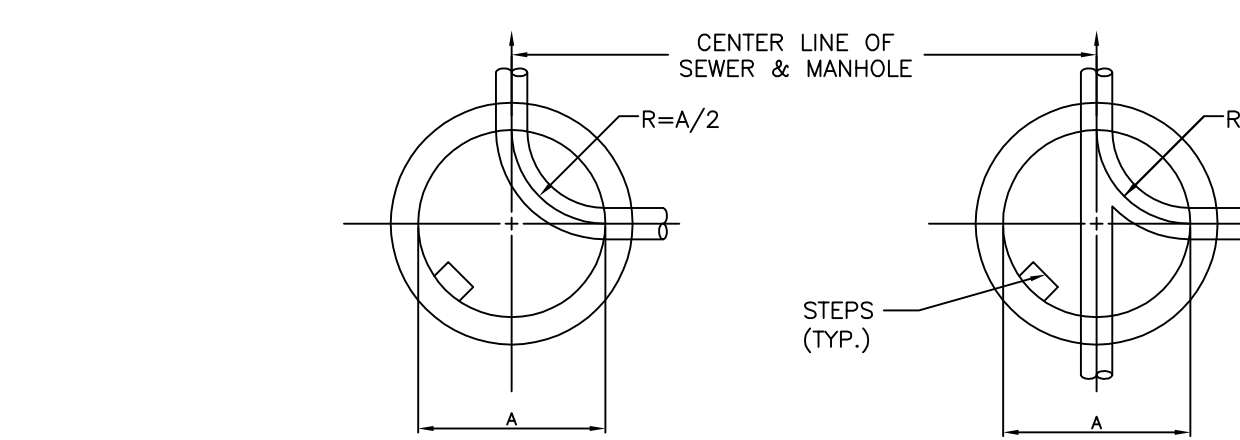
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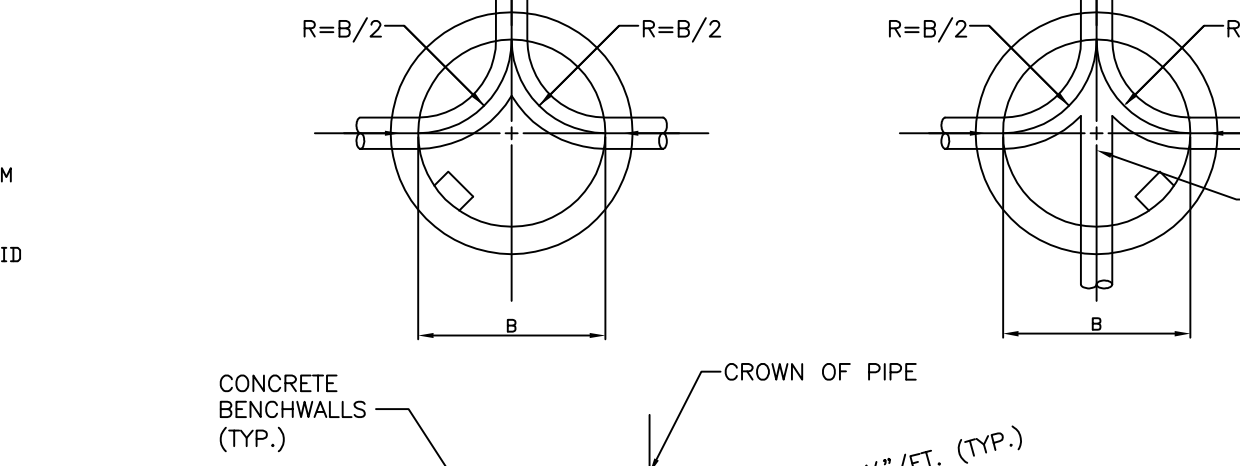
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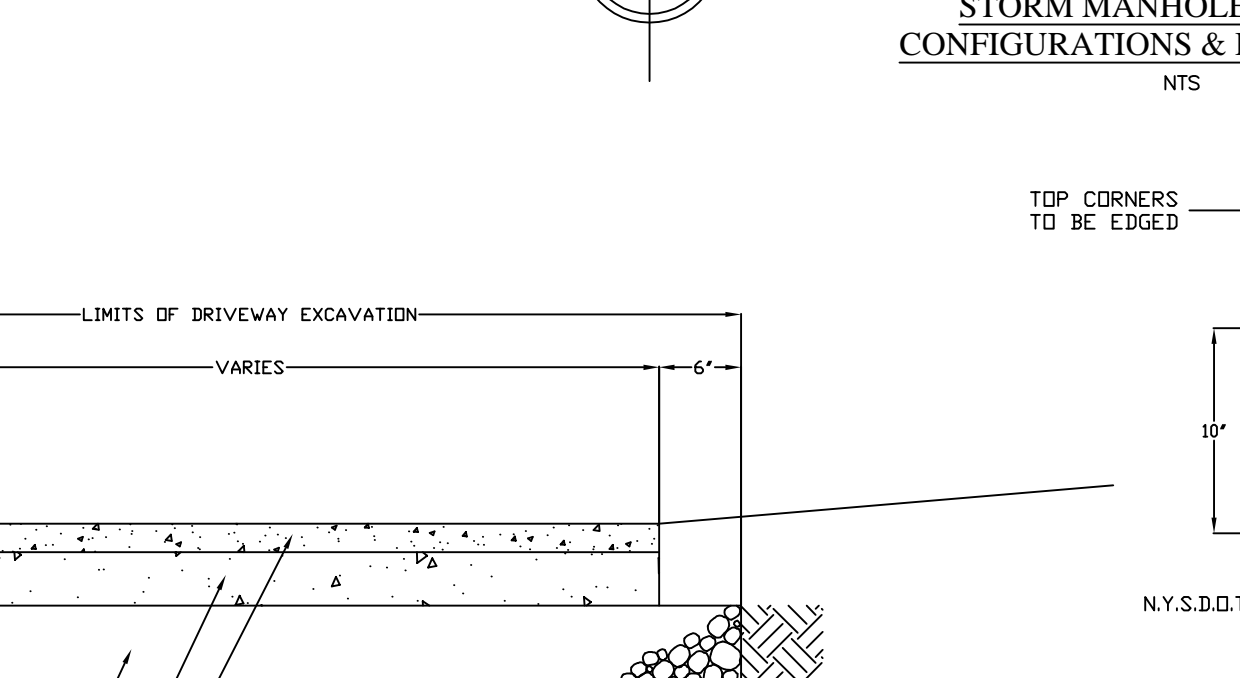
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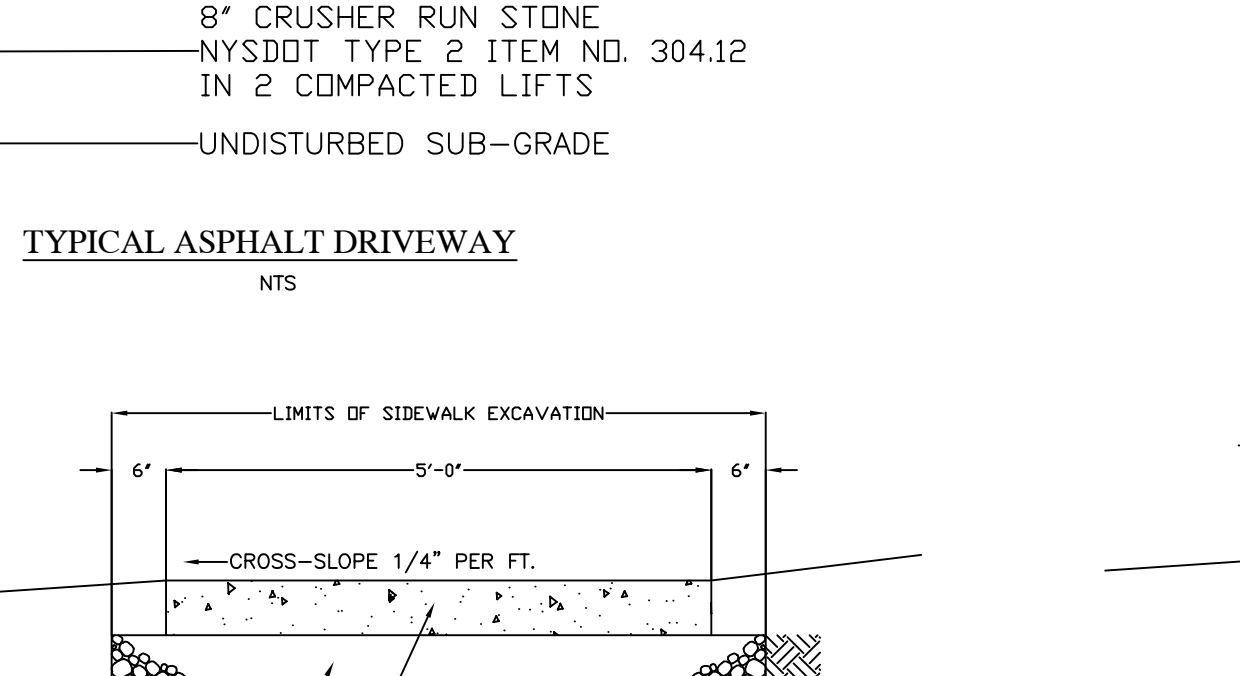
**STORM MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**  
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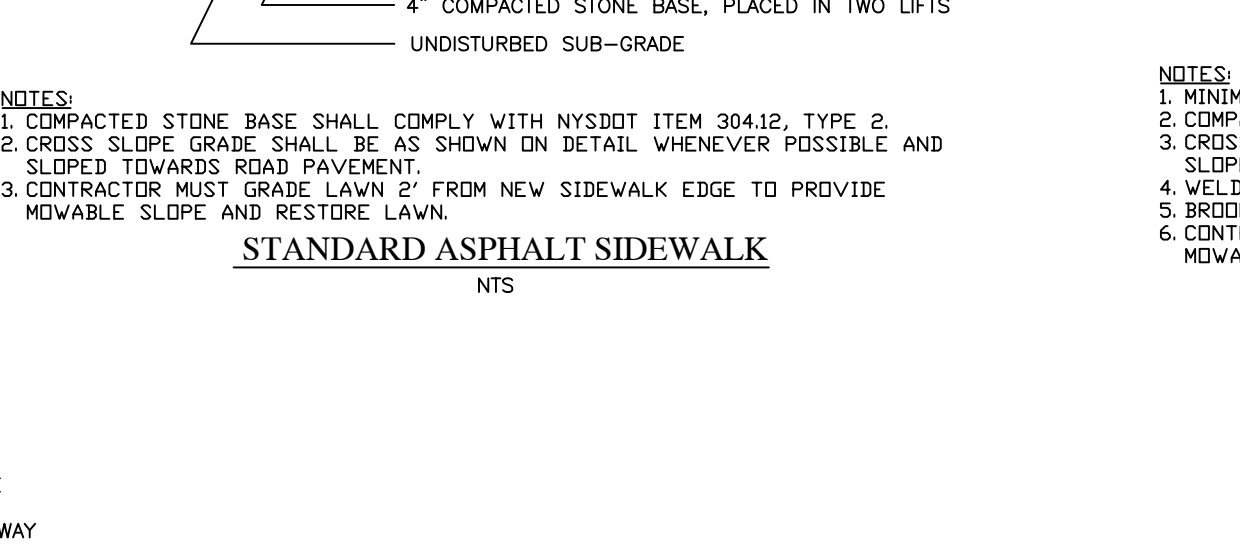
**STORM MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**  
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**TYPICAL ASPHALT DRIVEWAY**  
NTS



**STANDARD ASPHALT SIDEWALK**  
NTS

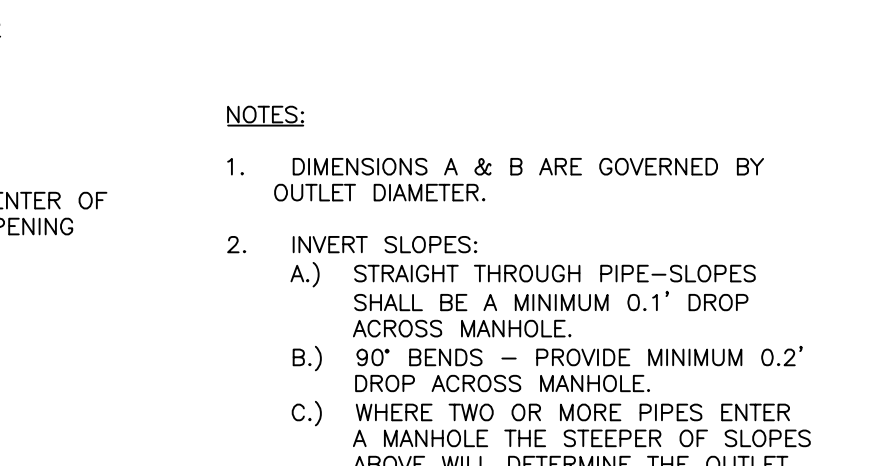


**STANDARD CONCRETE SIDEWALK**  
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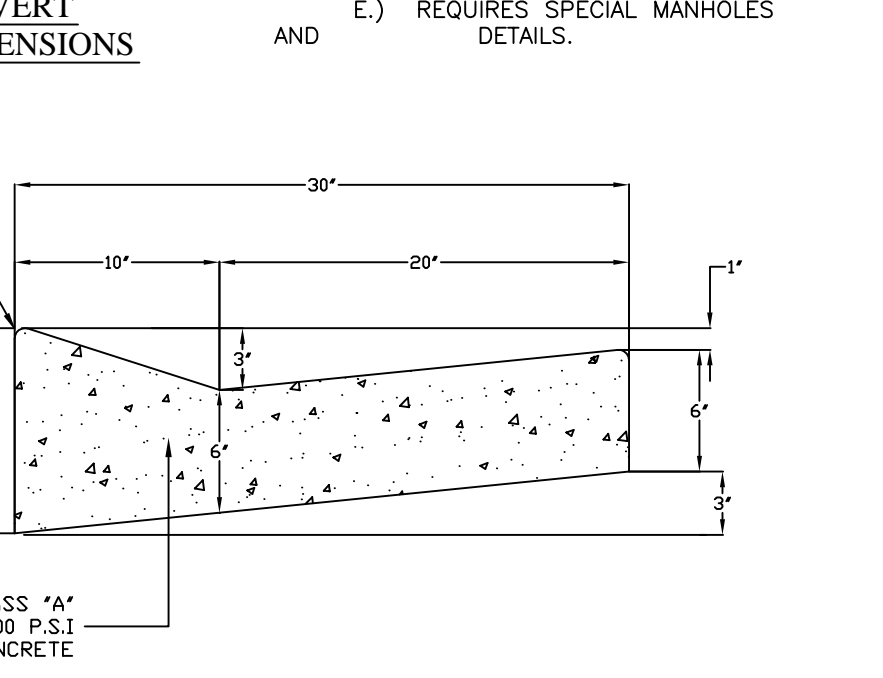
MIN. PIPE DIA.	12"	15"	18"	24"	30"	36"	42"
	A	4'-0"	4'-0"	5'-0"	5'-0"	6'-0"	6'-0"
B	5'-0"	5'-0"	5'-0"	5'-0"	6'-0"	6'-0"	E

SEE NOTE 2 FOR INVERT SLOPES

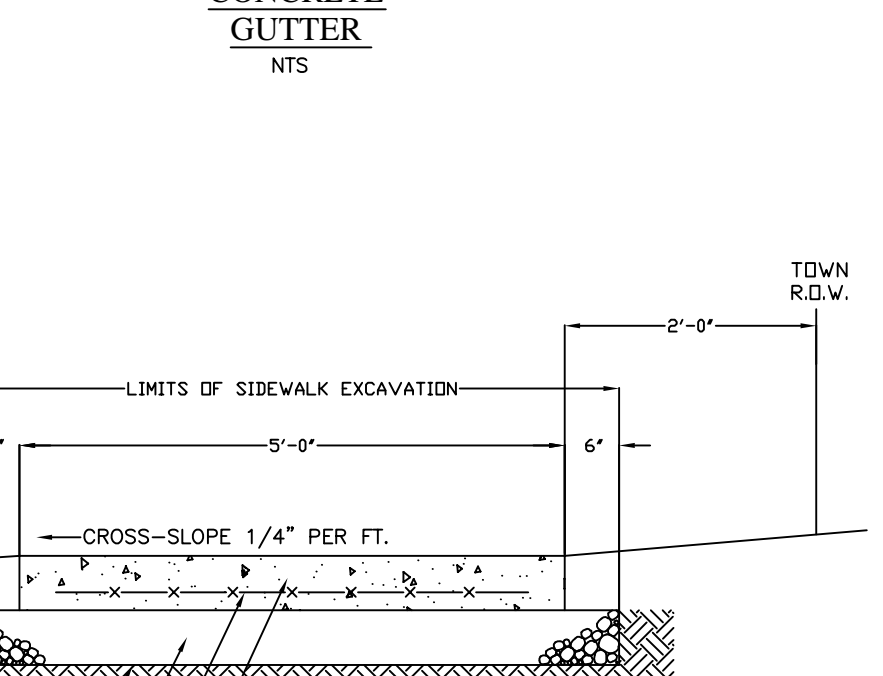
**STORM MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**  
NTS



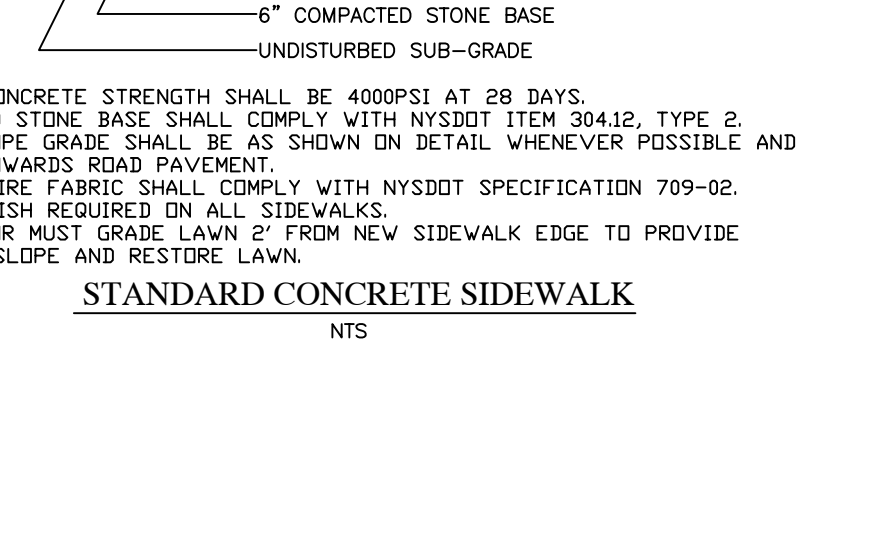
**STORM MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**  
NTS



**TYPICAL ASPHALT DRIVEWAY**  
NTS



**STANDARD ASPHALT SIDEWALK**  
NTS



**STANDARD CONCRETE SIDEWALK**  
NTS

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23

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ph. 585-271-2830 fax 585-271-3488

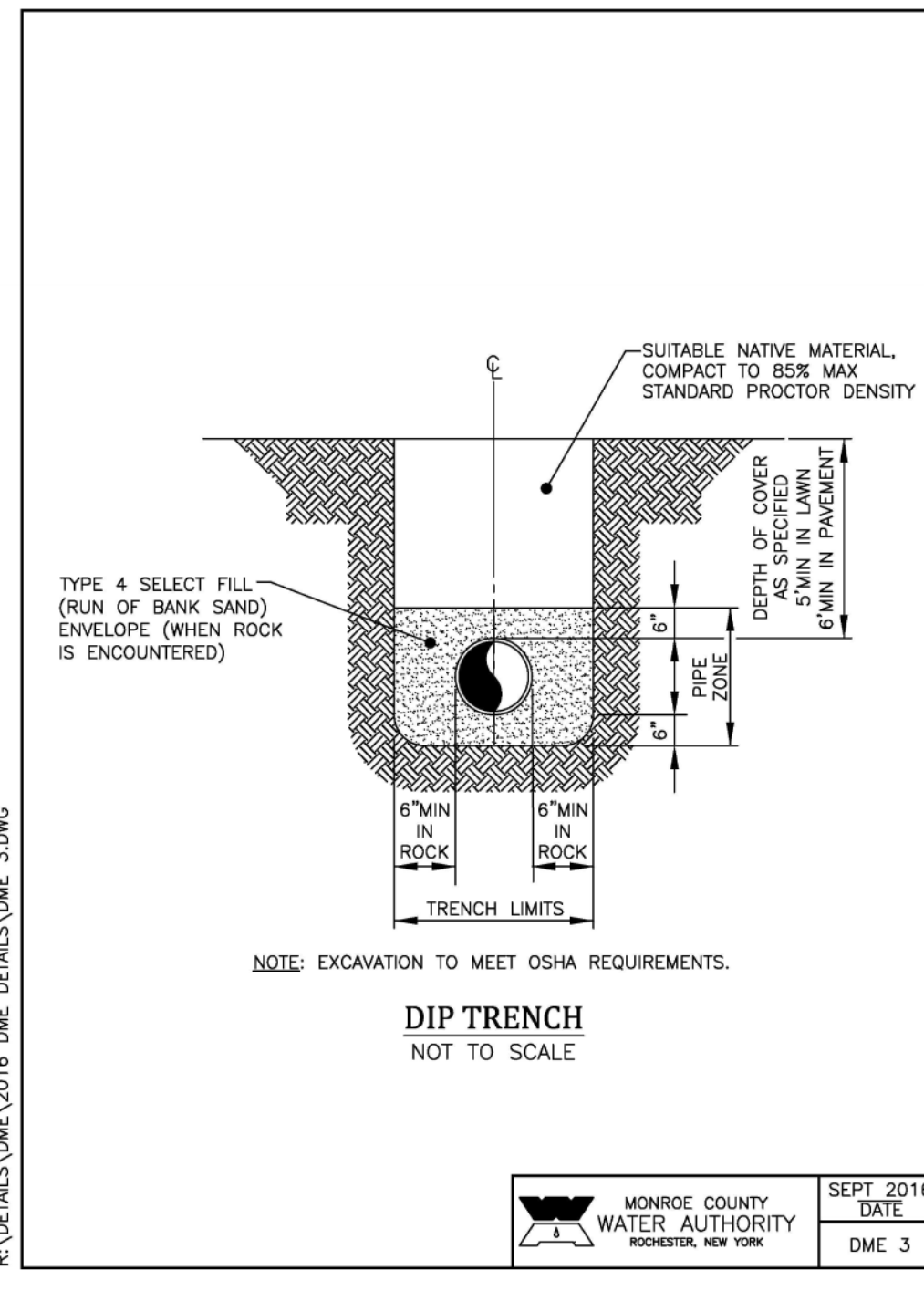
**PROJECT**  
THE FAIRWAYS AT RIVERTON SUBDIVISION  
PHASE 3

**DRAWING TITLE**  
DETAILS AND NOTES

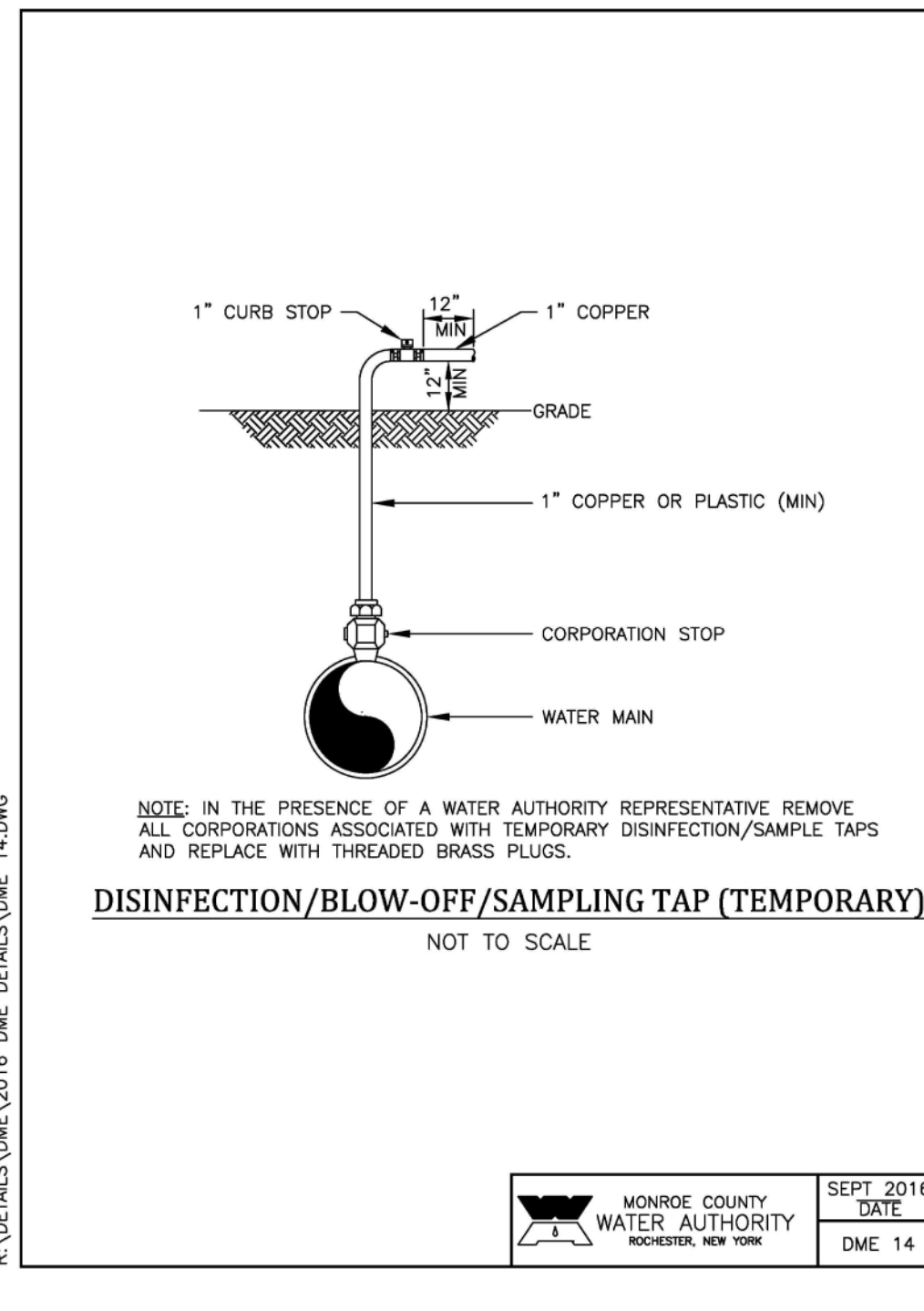
**CLIENT**  
FOREST CREEK EQUITY CORP.  
3240 CHILL AVENUE  
ROCHESTER, N.Y. 14624

**PROJ. NO.** 08-12034  
**DWG. BY** N.E.S.  
**DESIGN BY** W.F.B.  
**APPROVED** D.E.S.  
**DATE** 3/6/2024  
**SCALE** NTS  
**DWG. NO.** 10 of 16

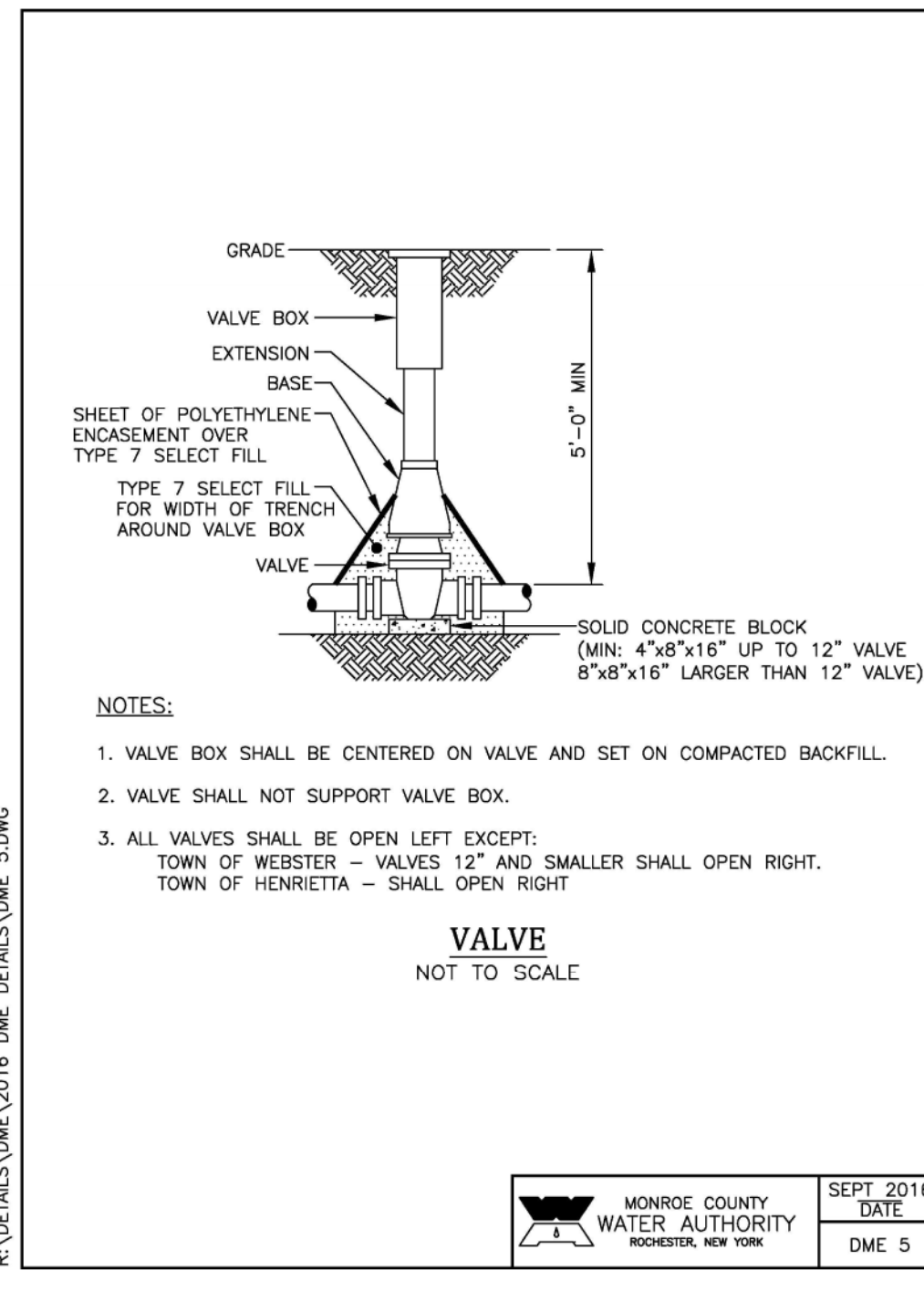




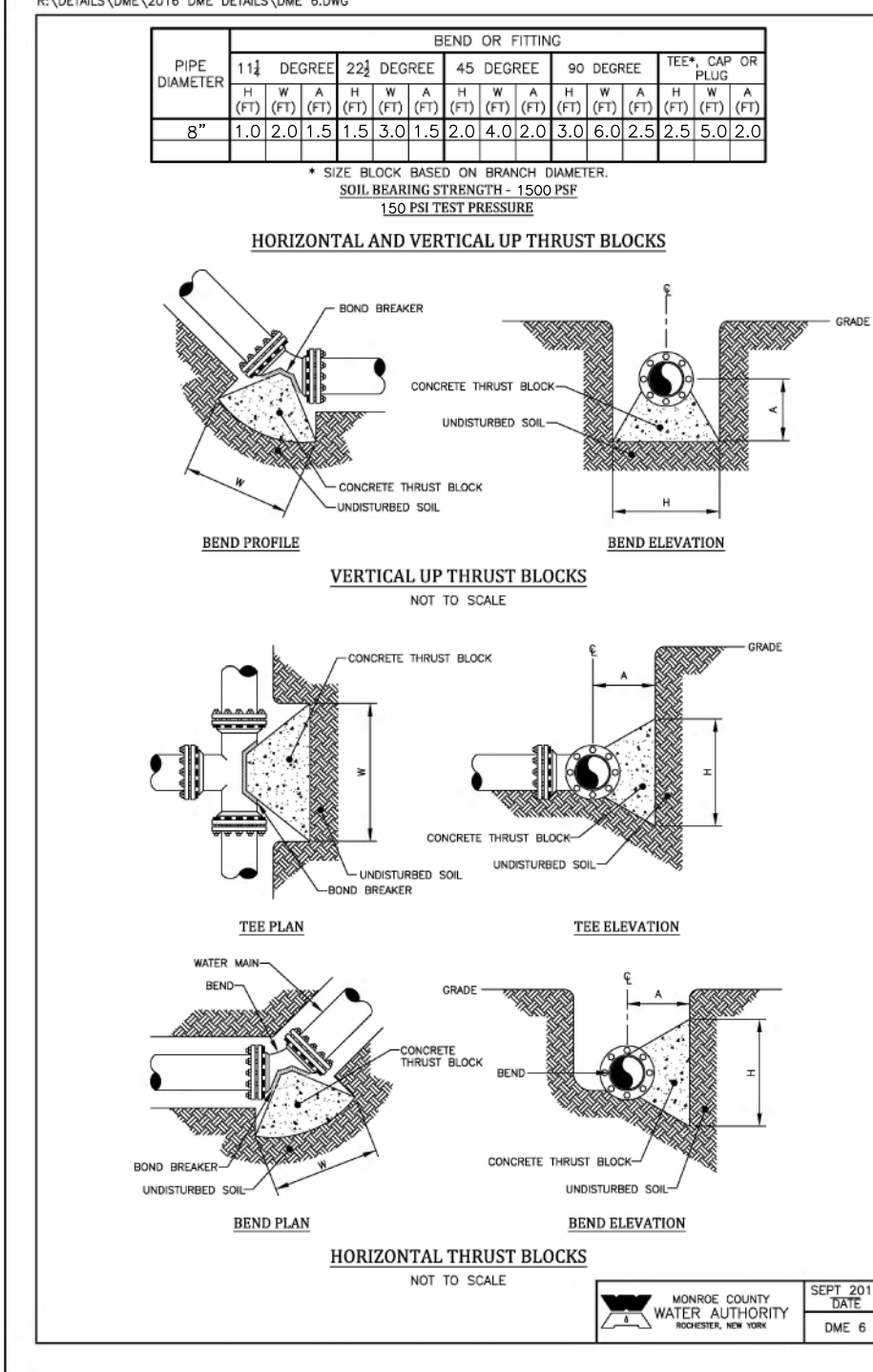
MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 3
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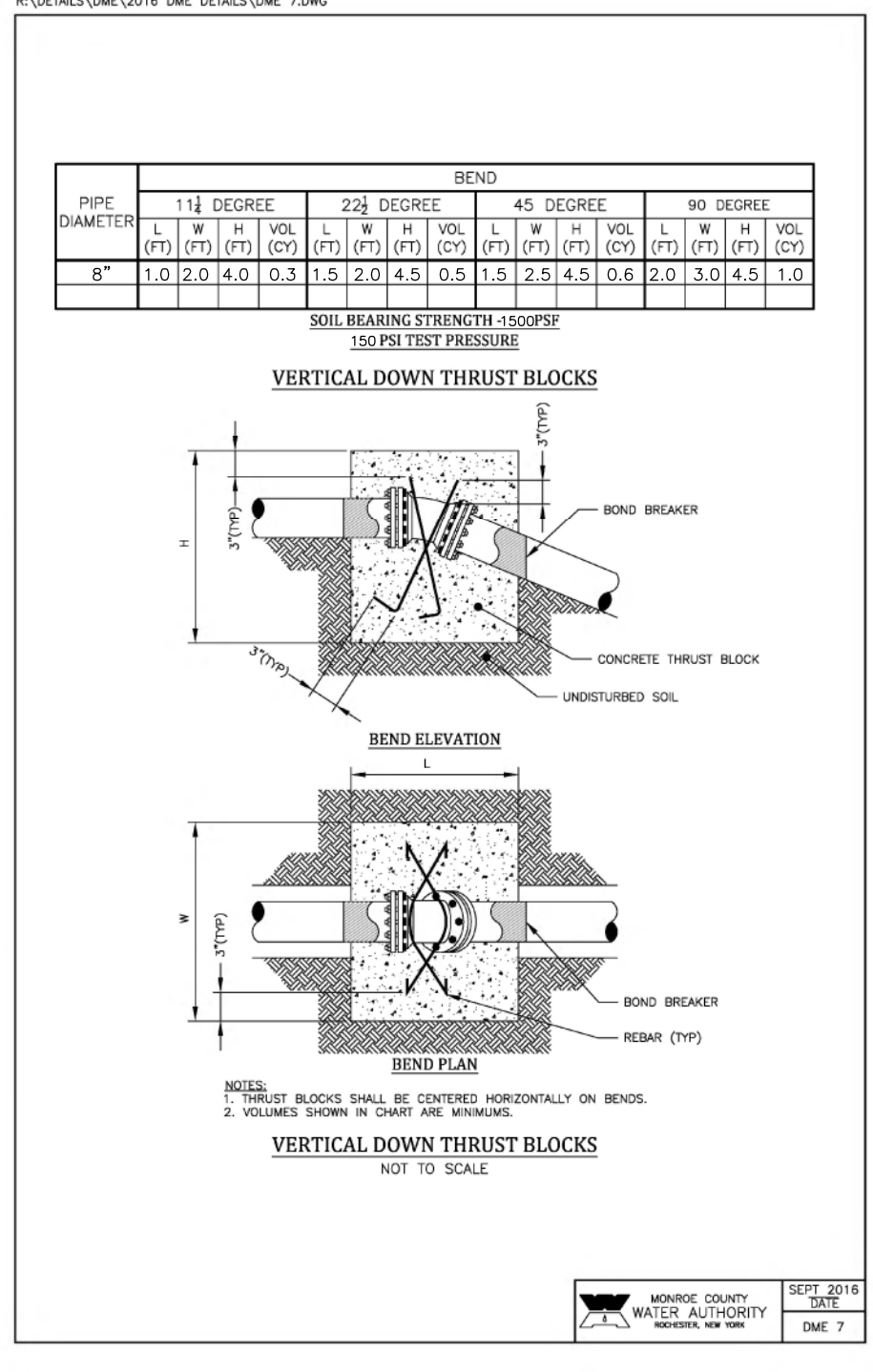
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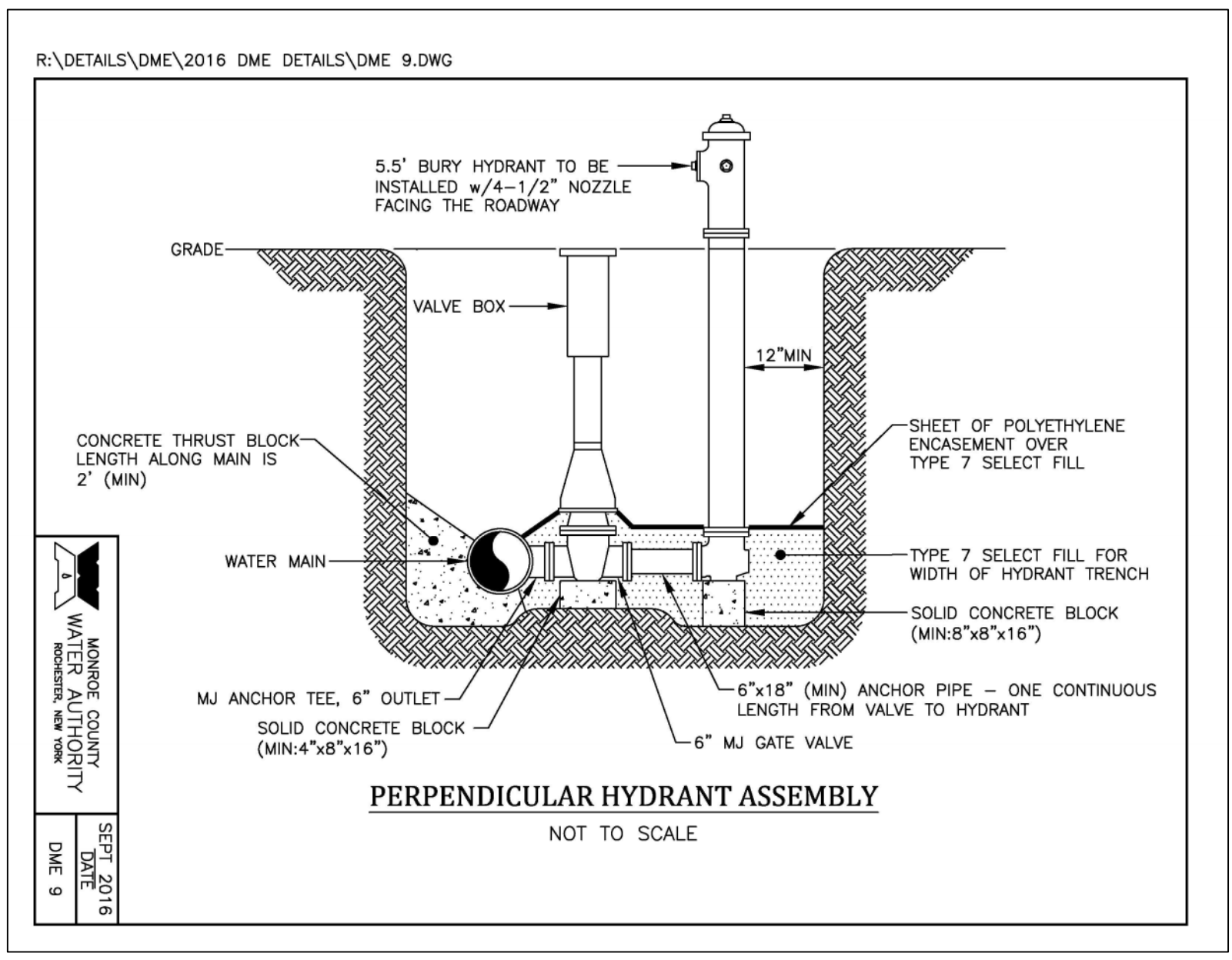
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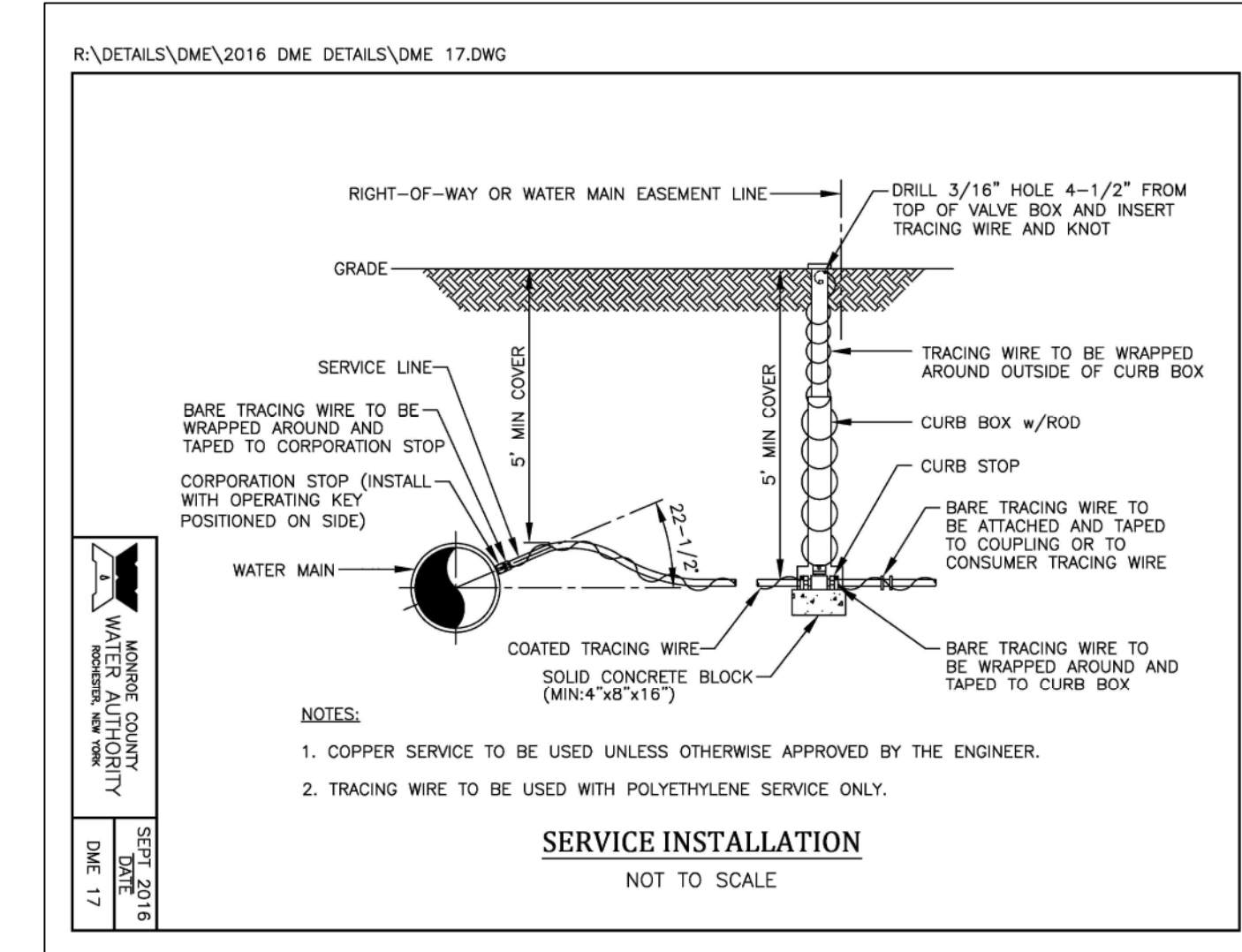
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 7
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 9
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 17
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**PUBLIC WATER SYSTEM NOTES**

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority.

**Material:**

- Water main(s) shall be 8 -inch ductile iron cement-lined Class 52.
- Water service(s) shall be 1 -inch Type K Copper from the water main to the curb box and 1 -inch (Type K soft Copper or PE #4710) from the curb box to the meter.
- Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.

**Tests:**

- Soil Test.** The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWA C105/A21.5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test.** Water mains to be pressure tested in accordance with the latest Water Authority specifications. A Water Authority representative must witness this test.
- Health Sample.** The water main shall be disinfected equal to AWWA Standard Specifications, designation C-651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Monroe County Health Department. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.

**Installation:**

- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
- Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipes at the point of crossing. Minimum horizontal separation between water mains and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All mechanical joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.

MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2017 DATE DME 28
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NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/9/23

**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-271-5231 fax 585-271-3488

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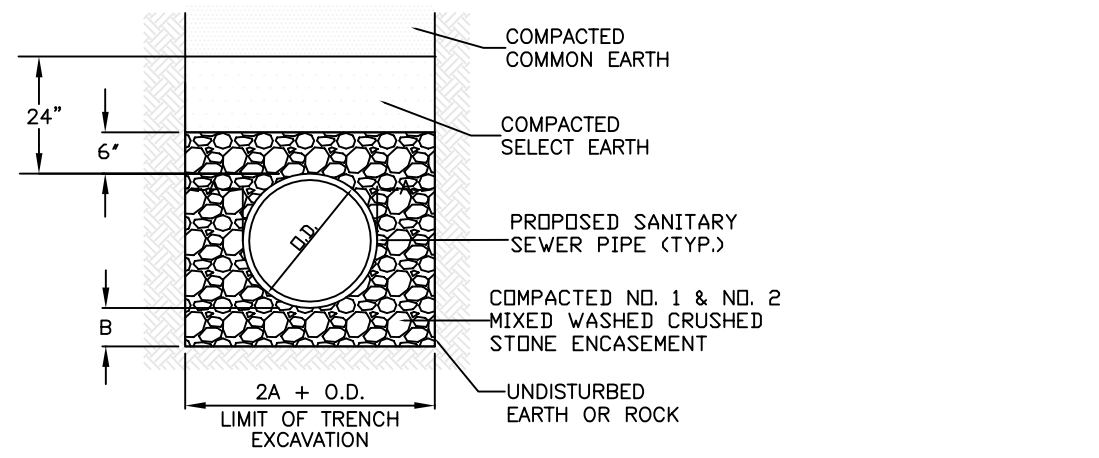
**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PHASE 3  
**DRAWING TITLE**  
 DETAILS AND NOTES

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**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

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PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	NTS	12 of 16

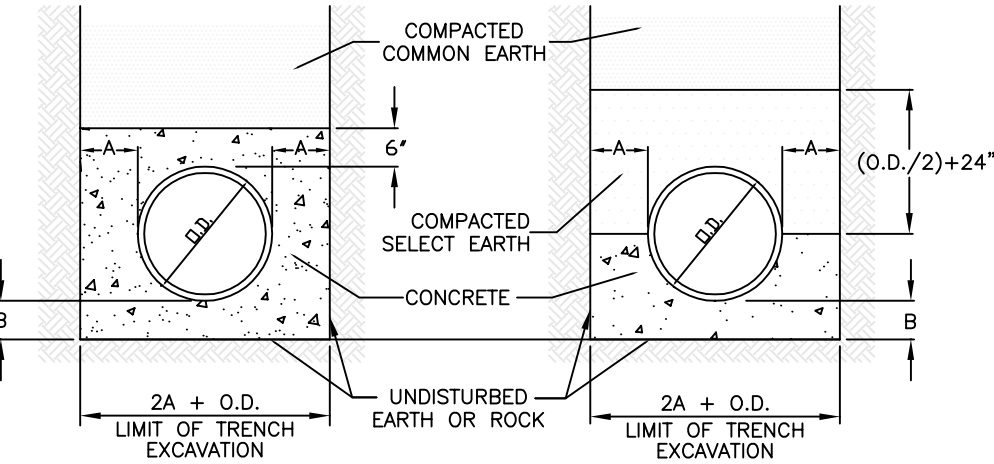


PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

**NOTES:**

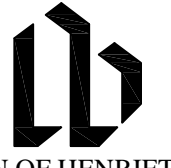
- ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
- ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
- SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LDM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
- STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYSDOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
- CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYSDOT SECTION 501 SPECIFICATIONS.

**TYPICAL SANITARY BEDDING DETAIL**



**CONCRETE ENCASEMENT**

**CONCRETE CRADLE**

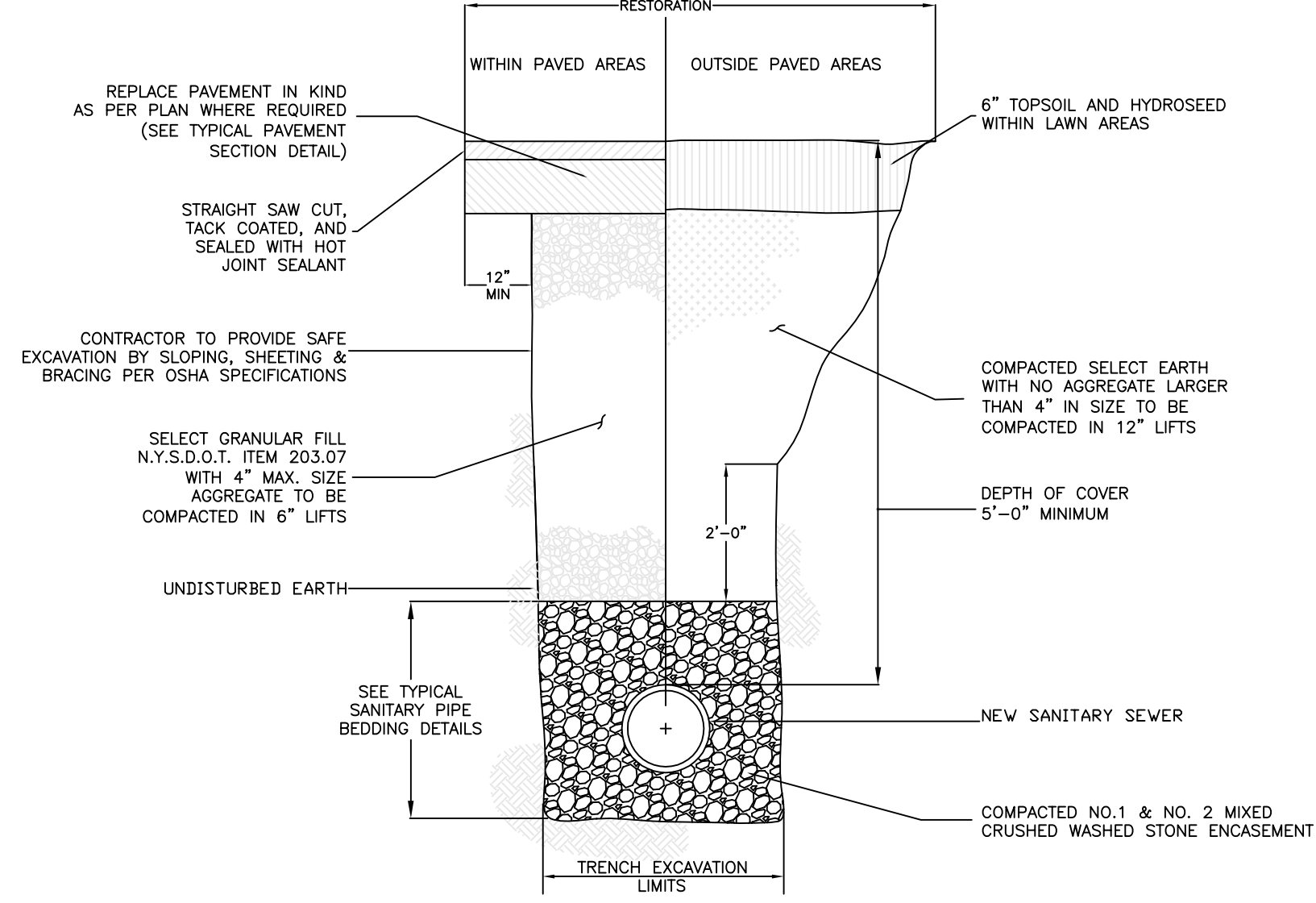


**TYPICAL SANITARY PIPE BEDDING DETAILS**

SCALE: N.T.S.

SA-01

DATE: 11/15/2011

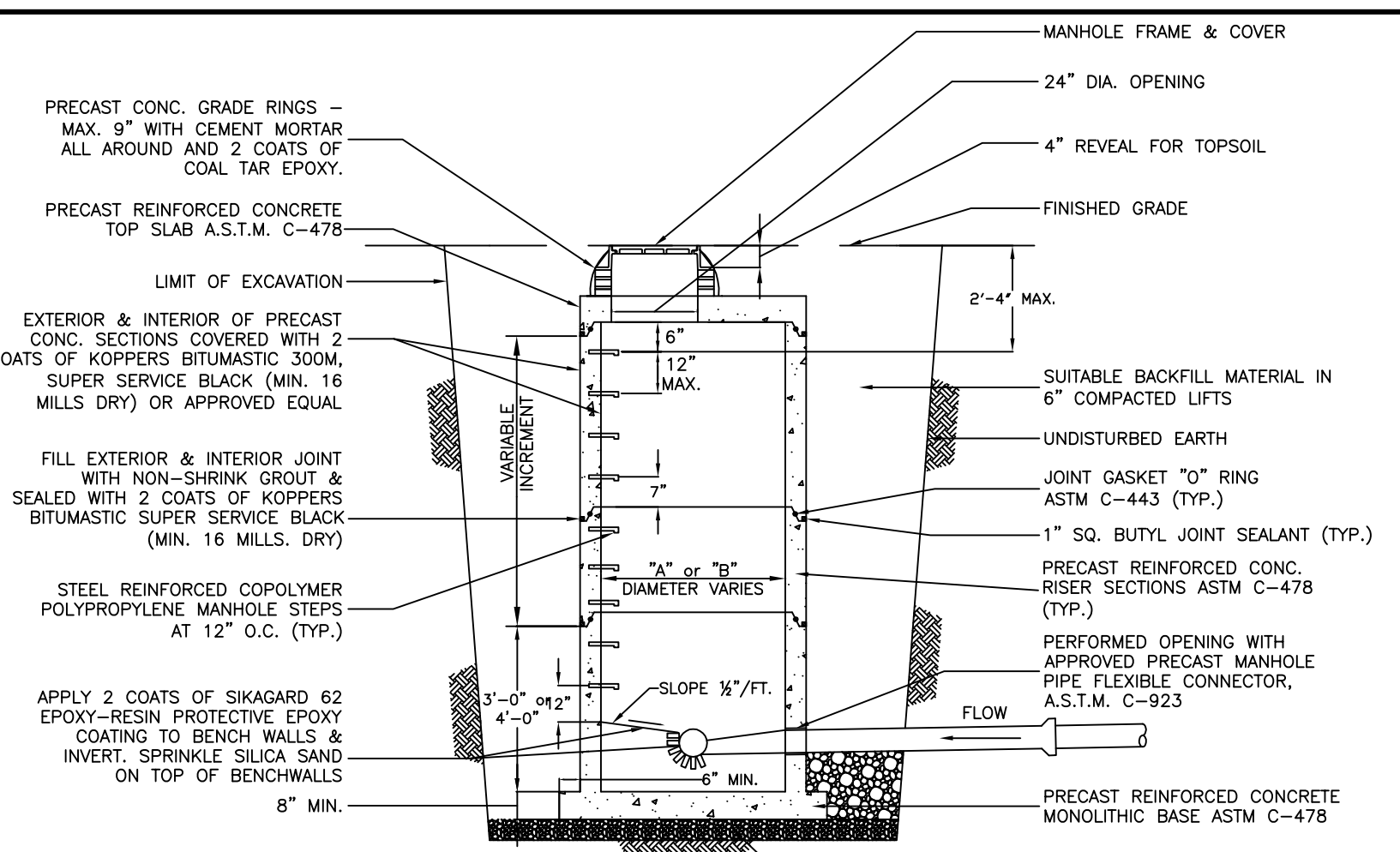


**TYPICAL SANITARY SEWER TRENCH DETAIL**

SCALE: N.T.S.

SA-02

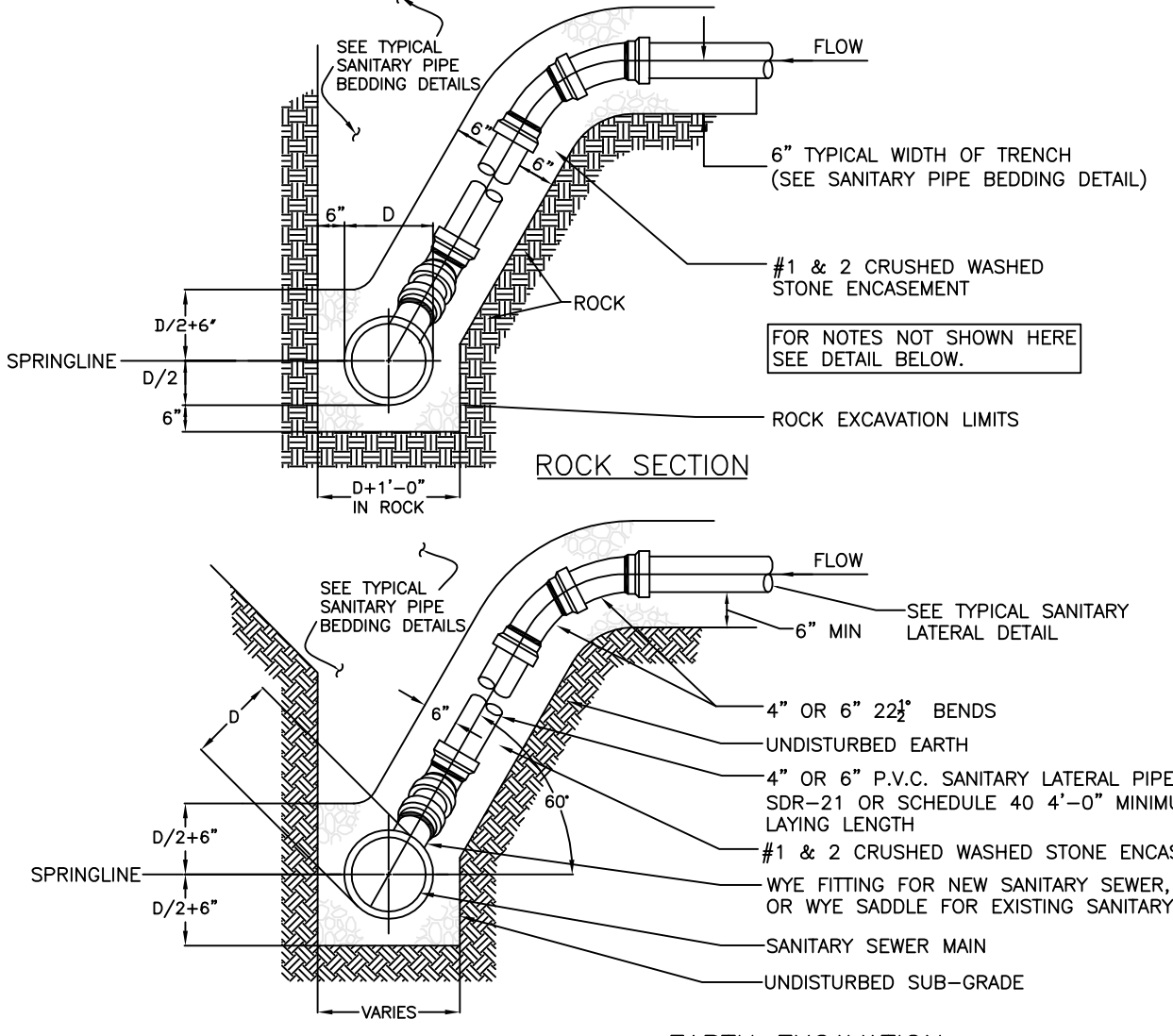
DATE: 11/15/2011



- NOTES:**
- REFER TO MANHOLE INVERT CONFIGURATION & DIMENSIONS DETAIL FOR MANHOLE DIAMETER "A" OR "B".
  - ALL DETAILS LISTED APPLY TO BOTH TYPES OF MANHOLES.
  - PRECAST CONC. MANHOLE WALL & SLAB MINIMUM THICKNESS  
 A. TOP SLAB 8" 8" 8"  
 B. RISER WALL 5" 6" 7"  
 C. BOTTOM SLAB 8" 8" 8"
  - MAXIMUM DISTANCE BETWEEN MANHOLES SHALL BE 400 FEET.

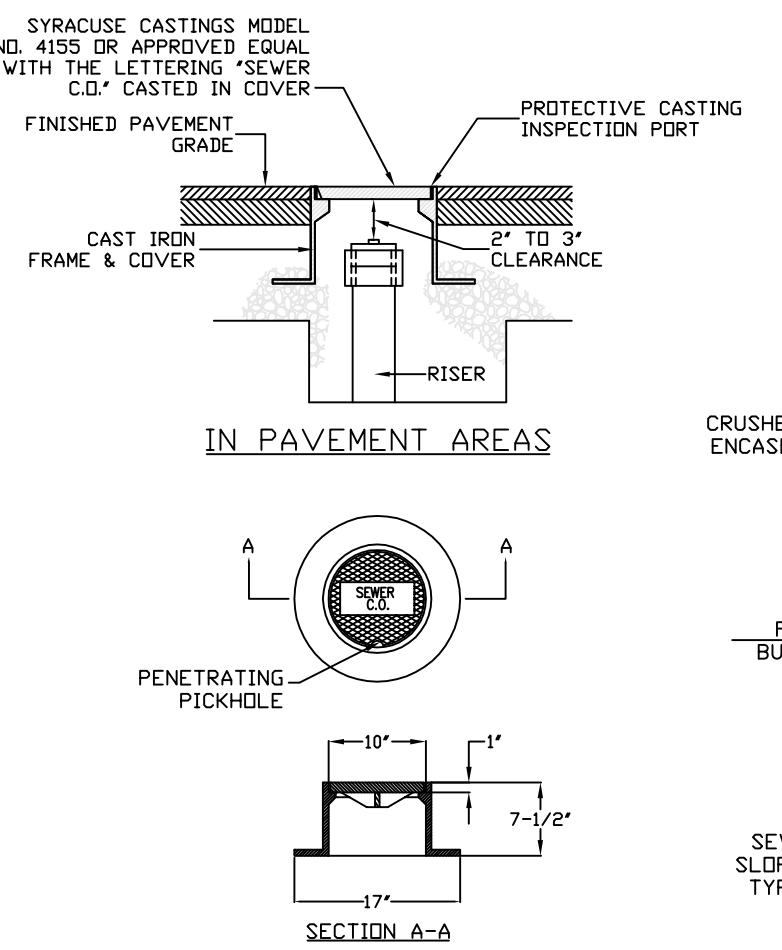
**SANITARY MANHOLE DETAIL**

NTS



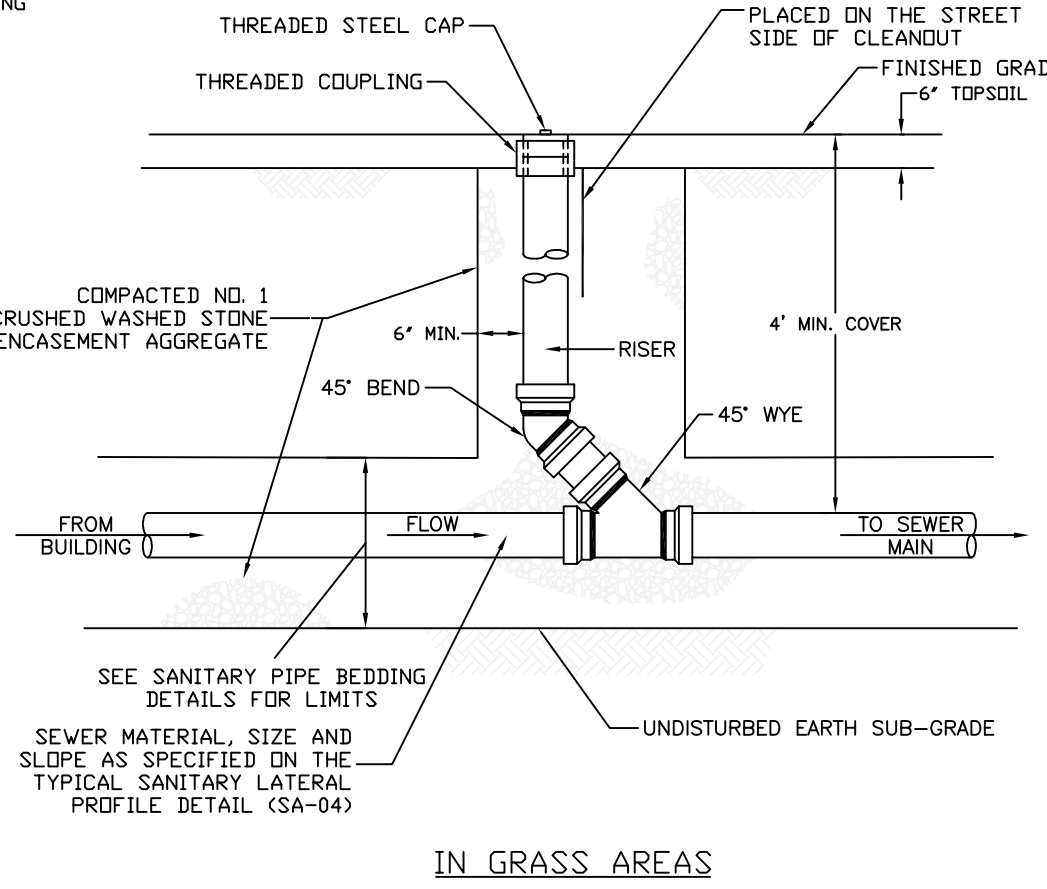
**SANITARY LATERAL RISER DETAIL**

NTS



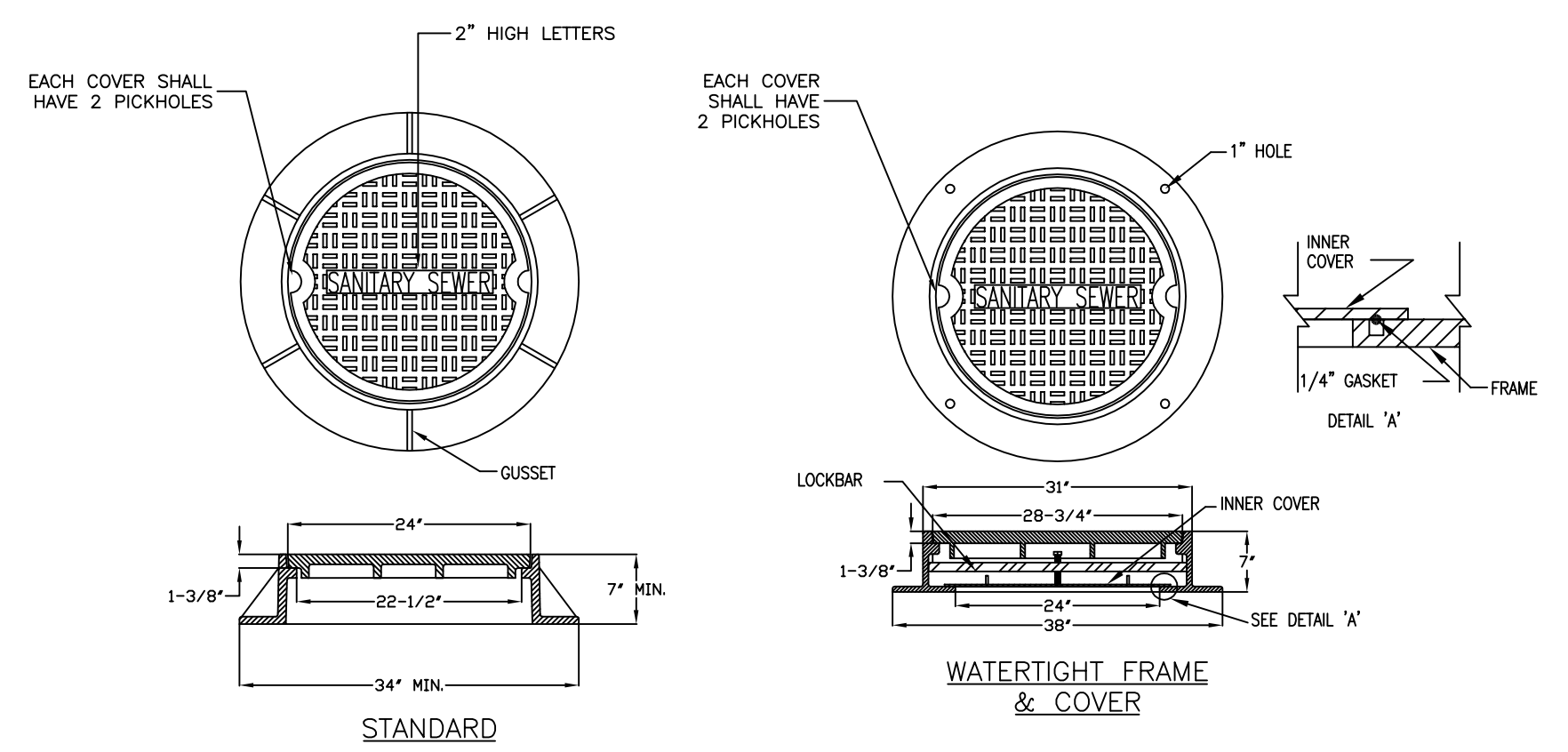
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NTS



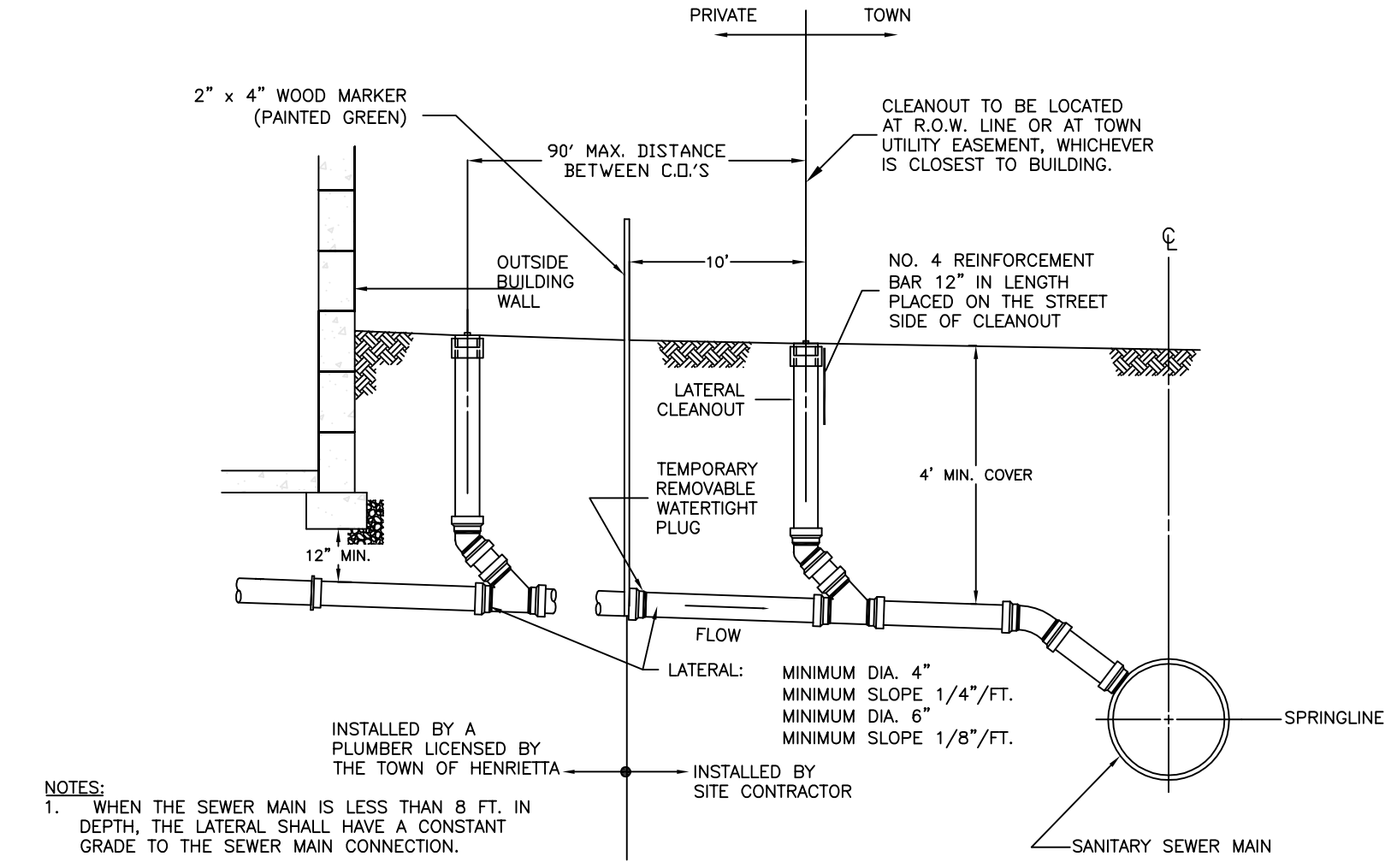
**SANITARY LATERAL CLEANOUT**

NTS



**SANITARY MANHOLE FRAME AND COVER**

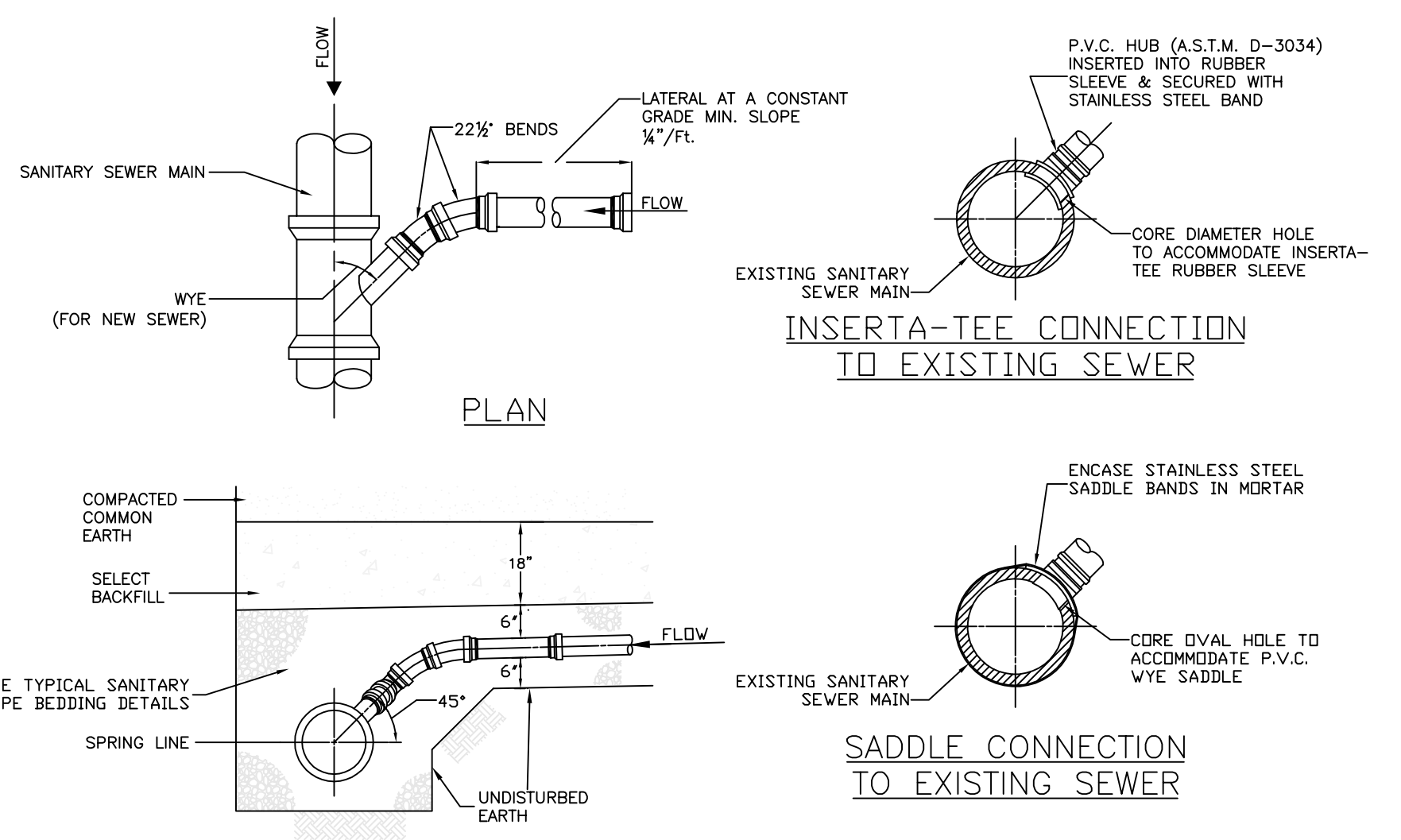
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**TYPICAL HOUSE SANITARY LATERAL PROFILE**

NTS

- NOTES:**
- WHEN THE SEWER MAIN IS LESS THAN 8 FT. IN DEPTH, THE LATERAL SHALL HAVE A CONSTANT GRADE TO THE SEWER MAIN CONNECTION.
  - WHEN THE SEWER MAIN IS GREATER THAN 8 FT. IN DEPTH, A RISER SECTION MAY BE USED TO CONNECT THE CONSTANT GRADE LATERAL WITH THE SEWER MAIN.
  - FOR "HUNG" PLUMBING, PROVIDE 4" MIN. COVER OVER LATERAL AT THE BASEMENT WALL AND ALONG THE ROUTE OF THE LATERAL.
  - THE MATERIAL FOR THE SANITARY LATERAL SHALL BE PVC SDR-21.



**SANITARY LATERAL CONNECTION DETAIL**

NTS

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23



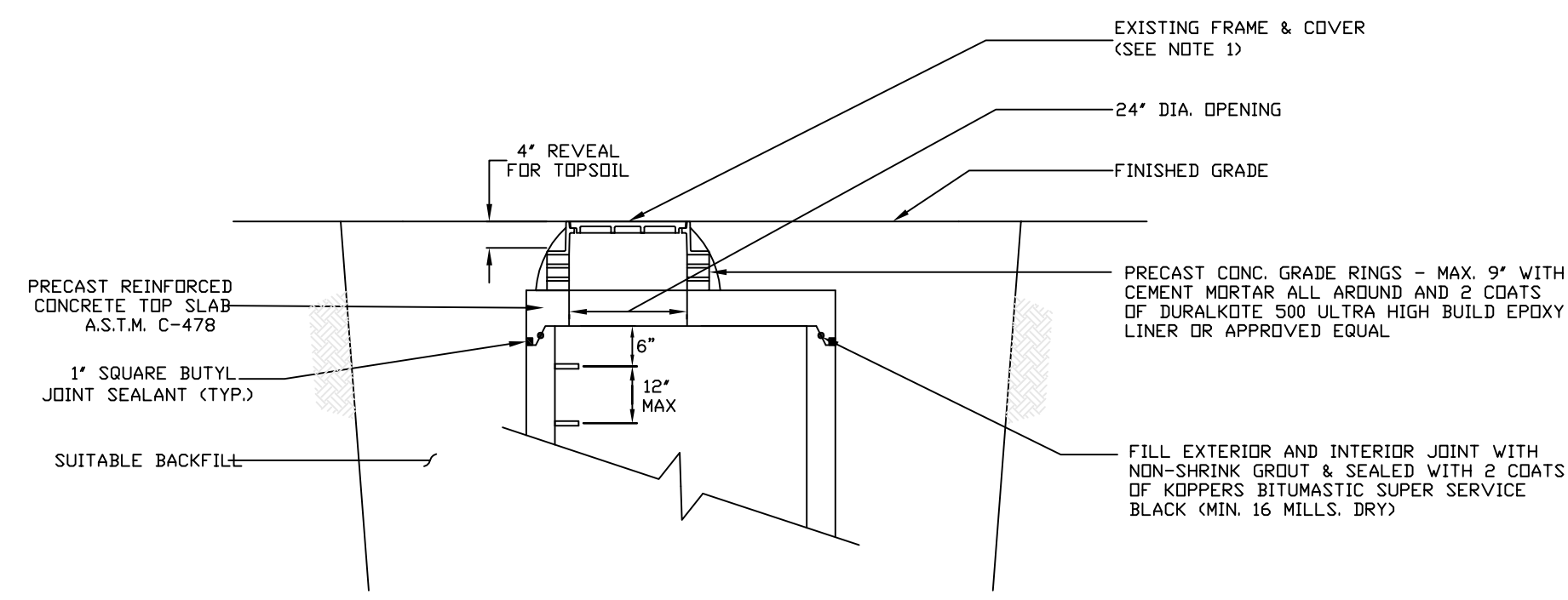
**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-271-5230 fax 585-271-3488

**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PHASE 3

**DRAWING TITLE**  
 DETAILS AND NOTES

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	NTS	13 of 16



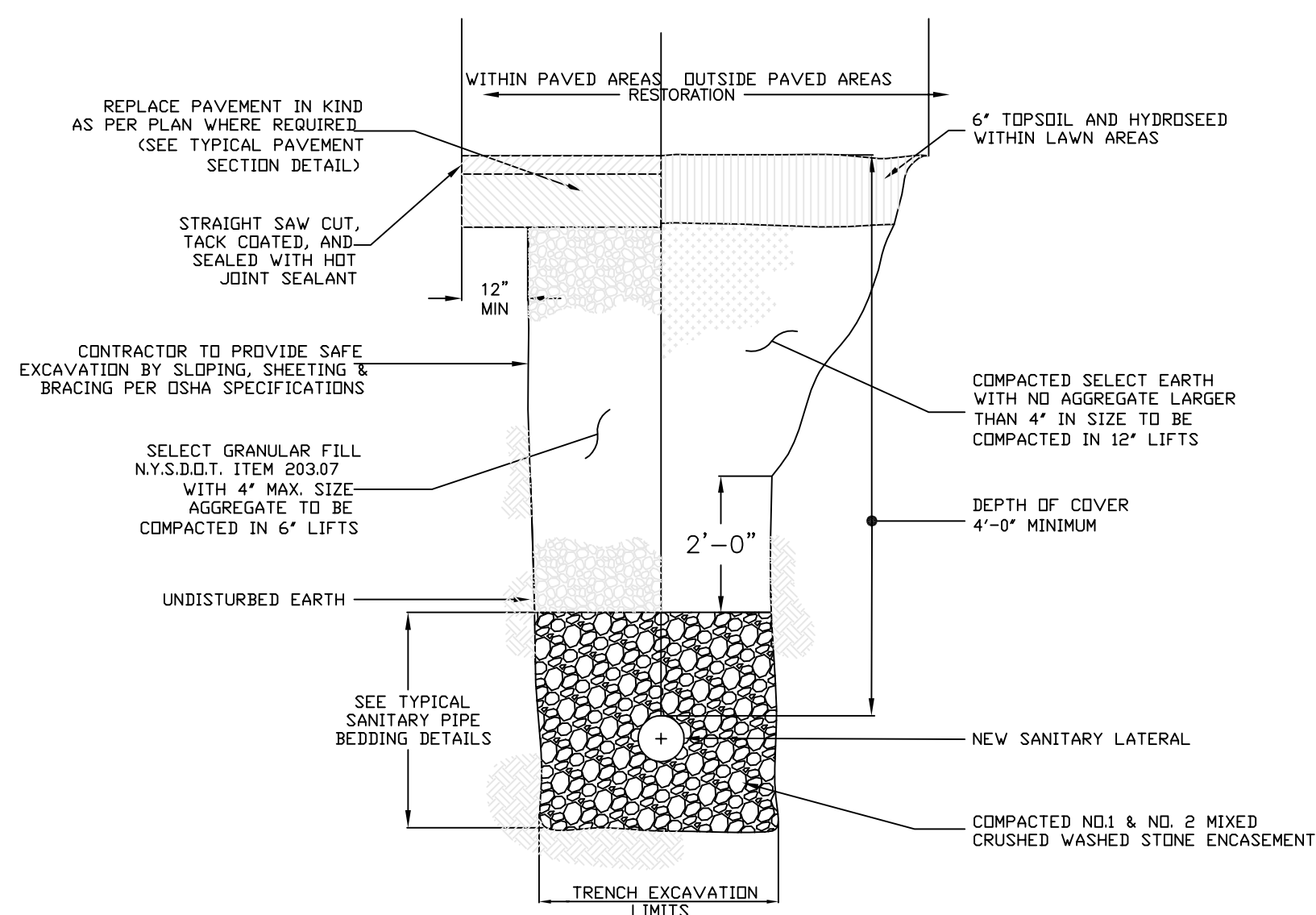
- NOTES:**
1. DEPENDING ON EXISTING CONDITION, THE EXISTING FRAME & COVER MAY NEED TO BE REPLACED. IF SO, THE EXISTING FRAME & COVER SHALL BE RETURNED TO THE TOWN.
  2. MAXIMUM NUMBER OF ALLOWABLE PRECAST CONCRETE GRADE RINGS IS 3.
  3. DEPENDING ON THE DEPTH OR AN ECCENTRIC CONE SECTION ENCOUNTERED, THE CONTRACTOR MAY BE REQUIRED TO ADJUST THE MANHOLE UTILIZING PRECAST REINFORCED CONCRETE BARREL RISER SECTIONS.

**MANHOLE GRADE ADJUSTMENT DETAIL**

SCALE: N.T.S.

DATE: 9/29/2015

SA-15

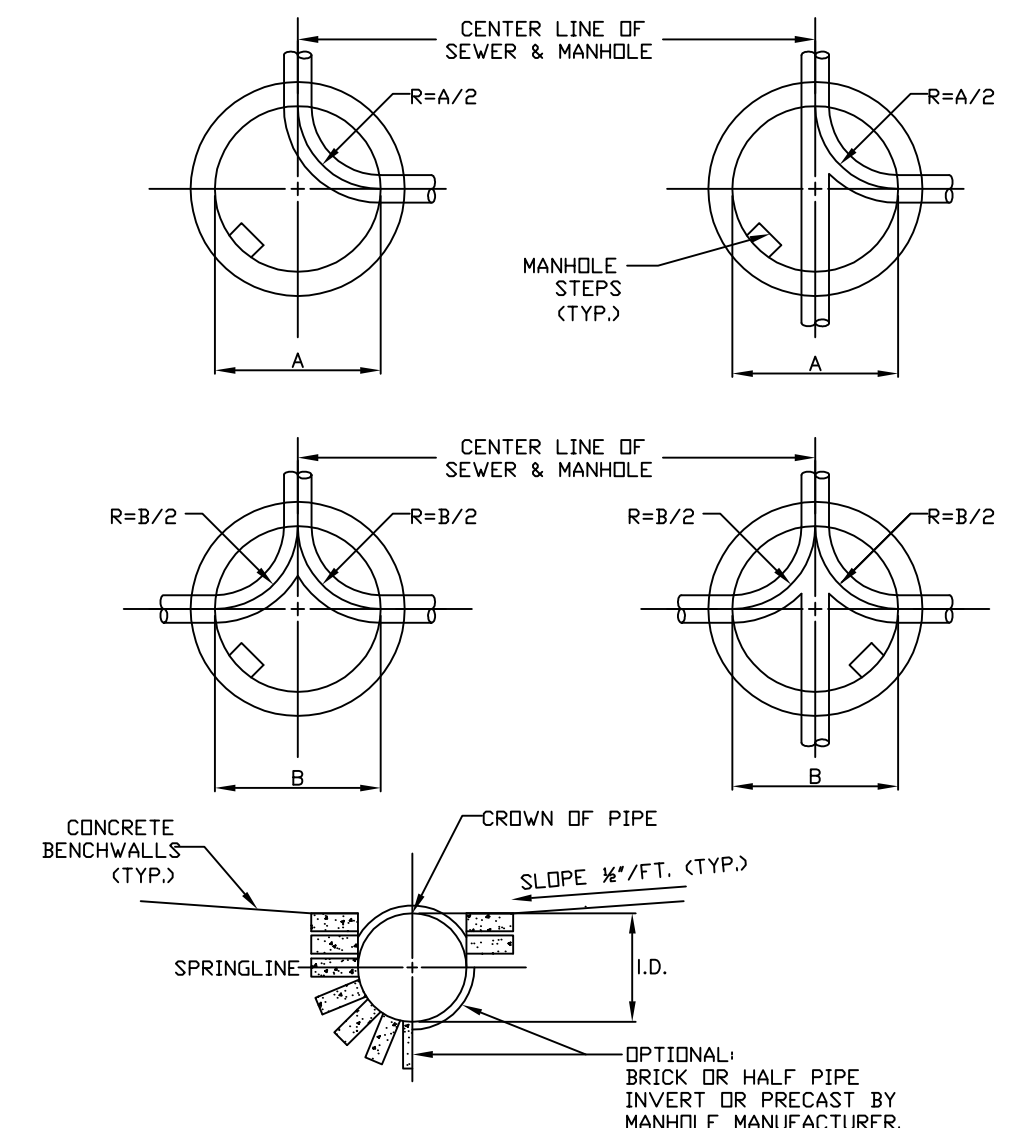


**TYPICAL SANITARY LATERAL TRENCH DETAIL**

SCALE: N.T.S.

DATE: 11/15/2011

SA-03



DIMENSION	MIN. PIPE DIA.					
	8"	10"	12"	15"	18"	
A	4'-0"	4'-0"	4'-0"	5'-0"	5'-0"	
B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	

SEE NOTE 2 FOR INVERT SLOPES

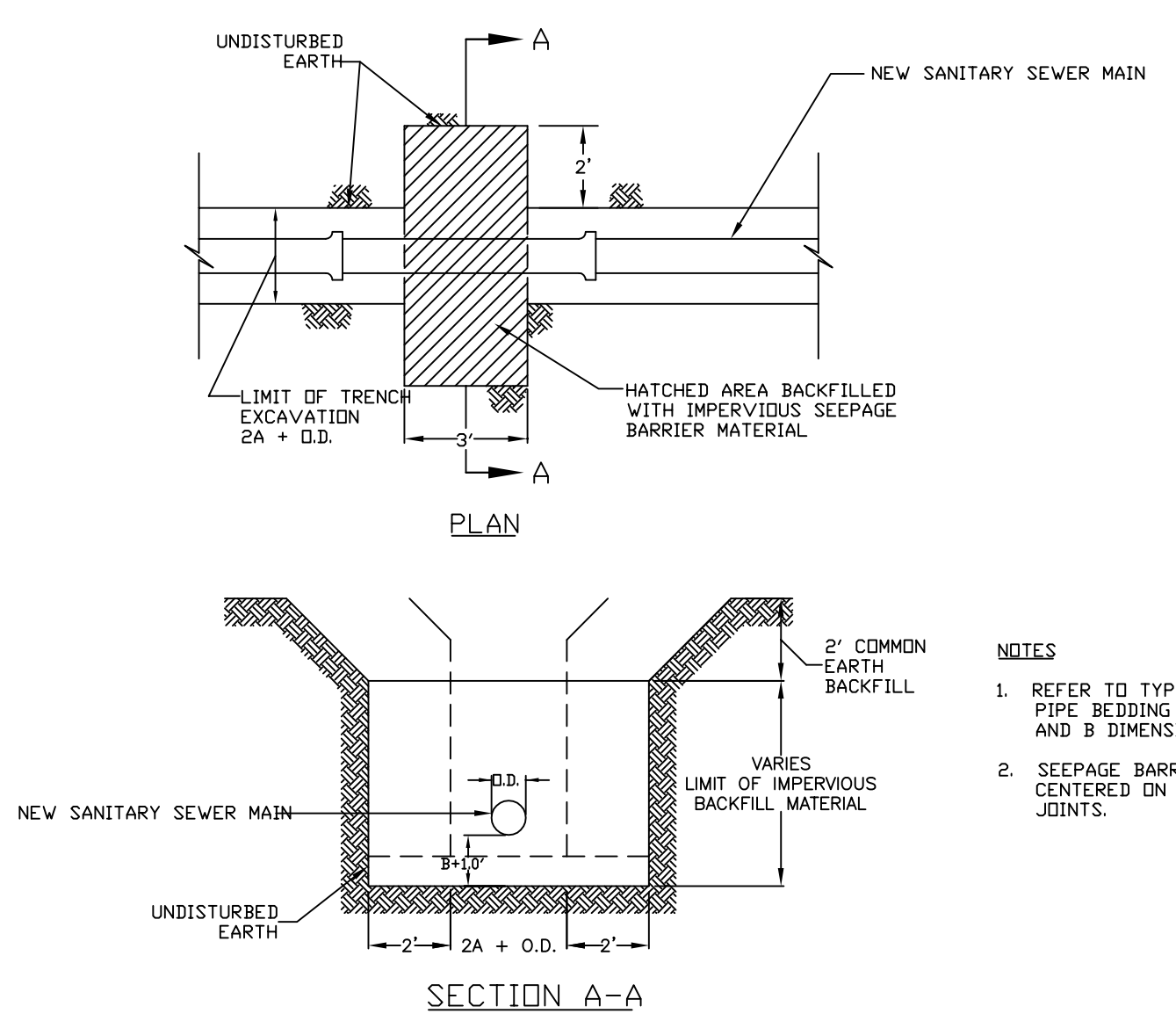
- NOTES:**
1. DIMENSIONS A & B ARE GOVERNED BY OUTLET DIAMETER.
  2. INVERT SLOPES:
    - A) STRAIGHT THROUGH PIPE-SLOPES SHALL BE A MINIMUM 0.10' DROP ACROSS MANHOLE.
    - B) 90° BENDS - PROVIDE MINIMUM 0.25' DROP ACROSS MANHOLE.
    - C) WHERE TWO OR MORE PIPES ENTER A MANHOLE THE STEEPER OF SLOPES ABOVE WILL DETERMINE THE OUTLET ELEVATION.
    - D) WHERE PIPES ARE OF DIFFERENT SIZE, SLOPE SHALL BE AS DETERMINED BY CONTRACT PLANS.

**SANITARY MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**

SCALE: N.T.S.

DATE: 11/15/2011

SA-09



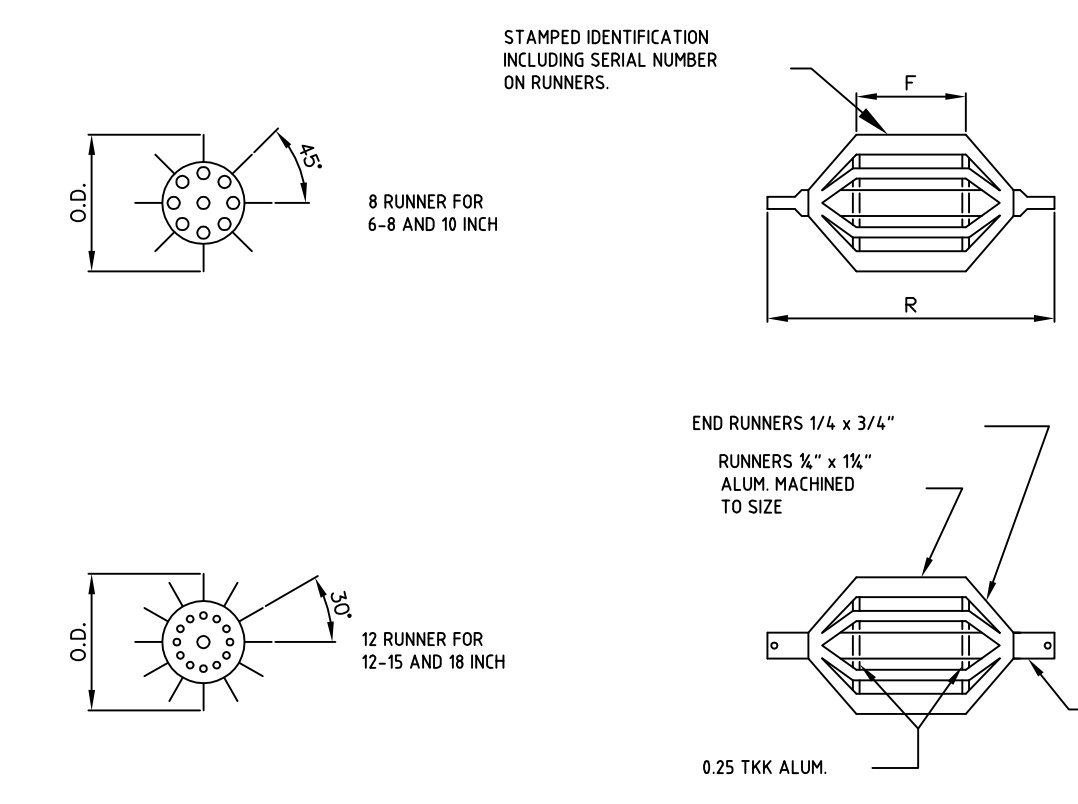
- NOTES:**
1. REFER TO TYPICAL SANITARY PIPE BEDDING DETAILS FOR A AND B DIMENSIONS.
  2. SEEPAGE BARRIER IS TO BE CENTERED ON PIPE BETWEEN JOINTS.

**IMPERVIOUS SEEPAGE BARRIER**

SCALE: N.T.S.

DATE: 11/15/2011

SA-16



**NOTE:**

THE OUTSIDE DIAMETER OF THE MANDREL IS DETERMINED BY THE ACTUAL PIPE INTERNAL DIAMETER (AS CERTIFIED BY THE PIPE MANUFACTURER) MINUS 5% ALLOWABLE DEFLECTION. THE ALLOWABLE TOLERANCE OF THE MANDREL OUTSIDE DIAMETER IS +0.000, -0.040 INCHES.

NOMINAL PIPE DIA.	F	R	NUMBERS OF RUNNERS
6"	6 3/8"	15"	8
8"	6 3/8"	17"	8
10"	8"	21"	8
12"	9"	25"	12
15"	10"	27"	12
18"	10"	27"	12

COM. MEASURE ±1/16"

**DEFLECTION TESTING MANDREL**

SCALE: N.T.S.

DATE: 11/15/2011

SA-17

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/9/23



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 ph. 585-271-5230 fax 585-271-3488

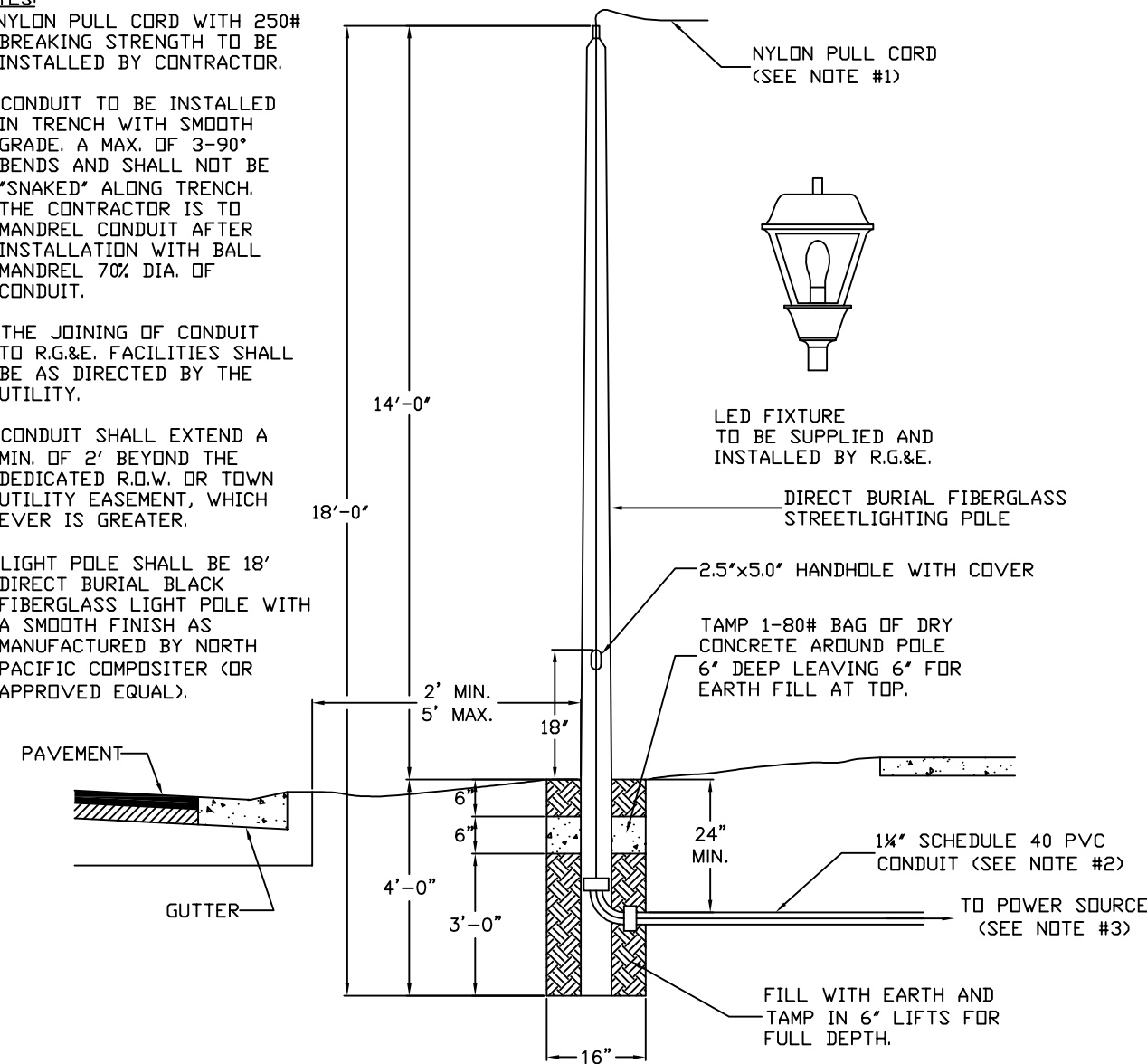
**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PHASE 3

**DRAWING TITLE**  
 DETAILS AND NOTES

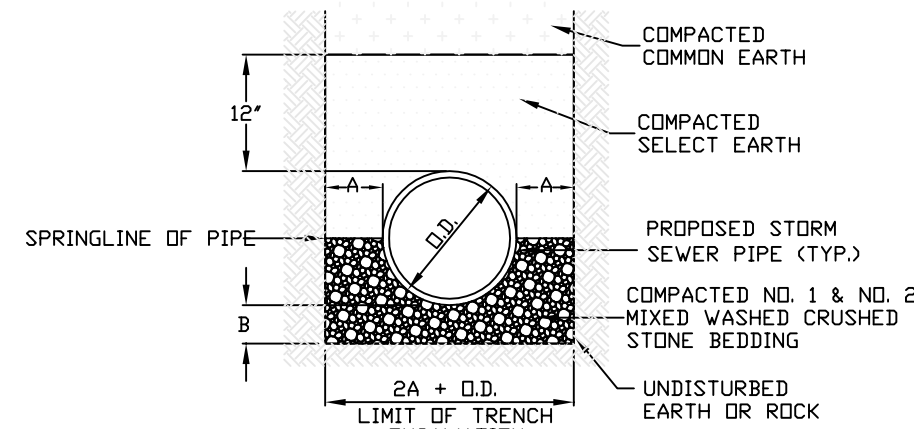
**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

**PROJ. NO.** 08-12034 **DWG. BY** N.E.S. **DESIGN BY** W.F.B. **APPROVED** D.E.S. **DATE** 3/6/2024 **SCALE** NTS **DWG. NO.** 14 of 16

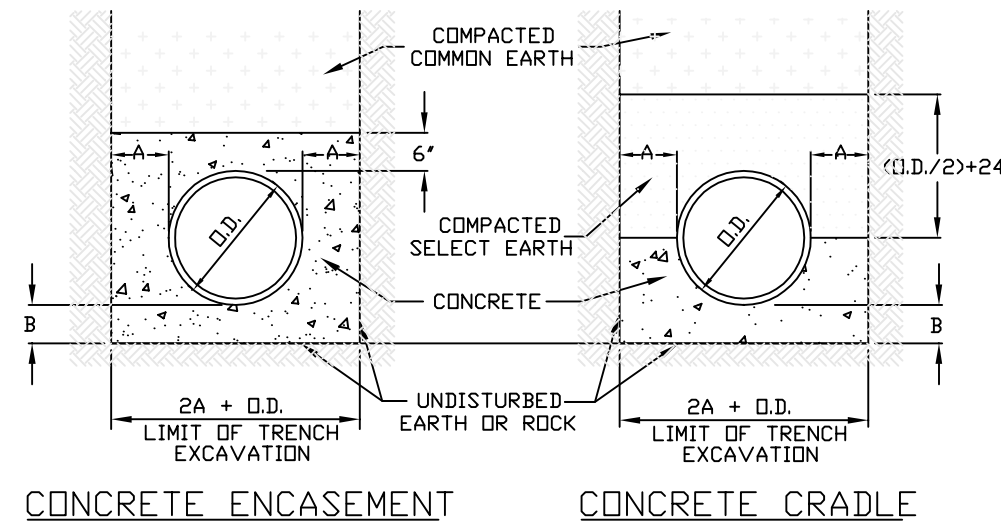
- NOTES:
1. NYLON PULL CORD WITH 250# BREAKING STRENGTH TO BE INSTALLED BY CONTRACTOR.
  2. CONDUIT TO BE INSTALLED IN TRENCH WITH SMOOTH GRADE. A MAX. OF 3-90° BENDS AND SHALL NOT BE "KINKED" ALONG TRENCH. THE CONTRACTOR IS TO HANDLE CONDUIT AFTER INSTALLATION WITH BALL MANDREL 70% DIA. OF CONDUIT.
  3. THE JOINING OF CONDUIT TO R.G.E. FACILITIES SHALL BE AS DIRECTED BY THE UTILITY.
  4. CONDUIT SHALL EXTEND A MIN. OF 2' BEYOND THE DEDICATED R.O.W. OR TOWN UTILITY EASEMENT, WHICHEVER IS GREATER.
  5. LIGHT POLE SHALL BE 18" DIRECT BURIAL BLACK FIBERGLASS LIGHT POLE WITH A SMOOTH FINISH AS MANUFACTURED BY NORTH PACIFIC COMPOSITER (OR APPROVED EQUAL).



**TYPICAL STREET LIGHT POLE & CONDUIT INSTALLATION**  
 SCALE: N.T.S.  
 DATE: 11/10/2011  
 M-3



**TYPICAL STORM BEDDING DETAIL**



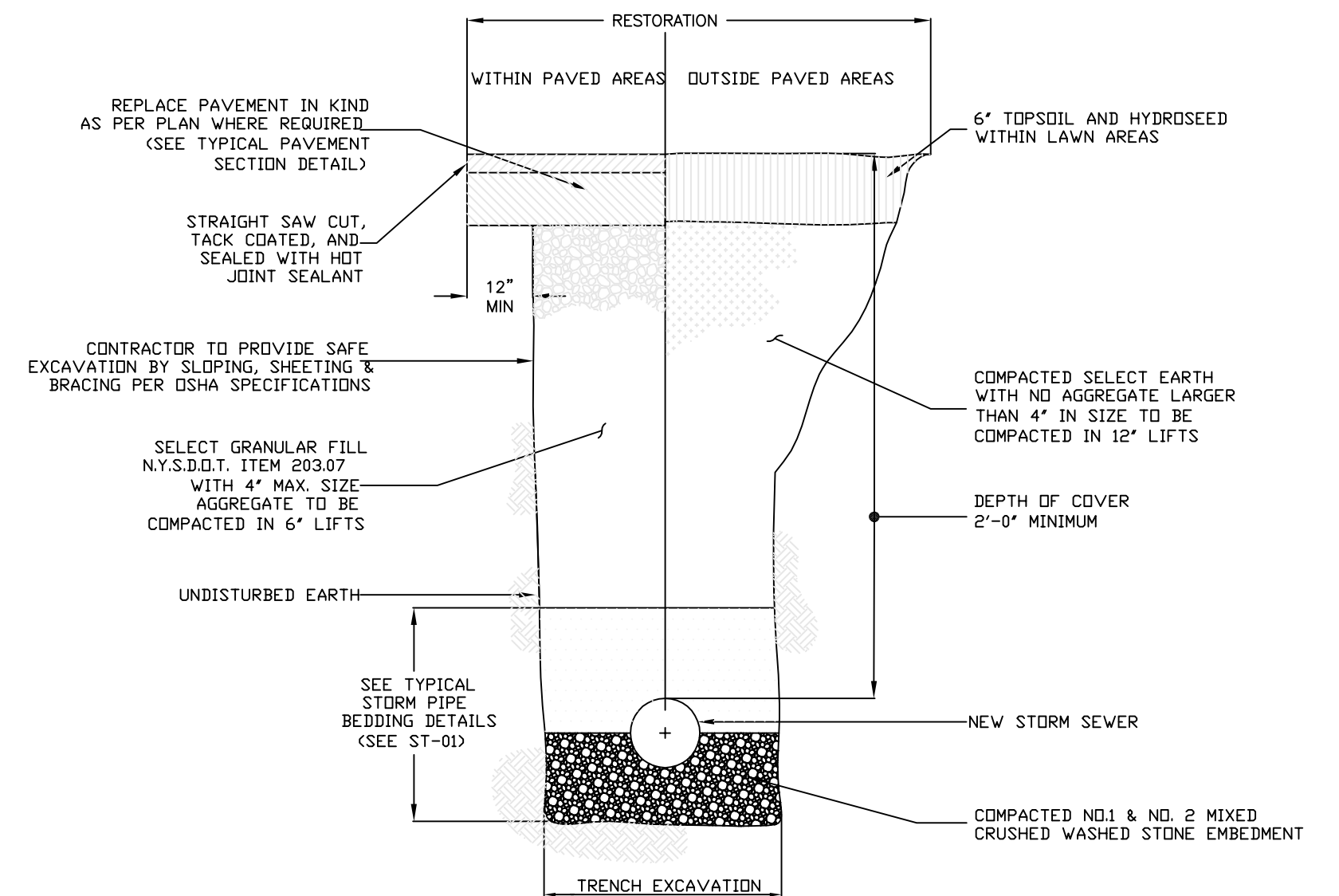
**CONCRETE ENCASEMENT CONCRETE CRADLE**

PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

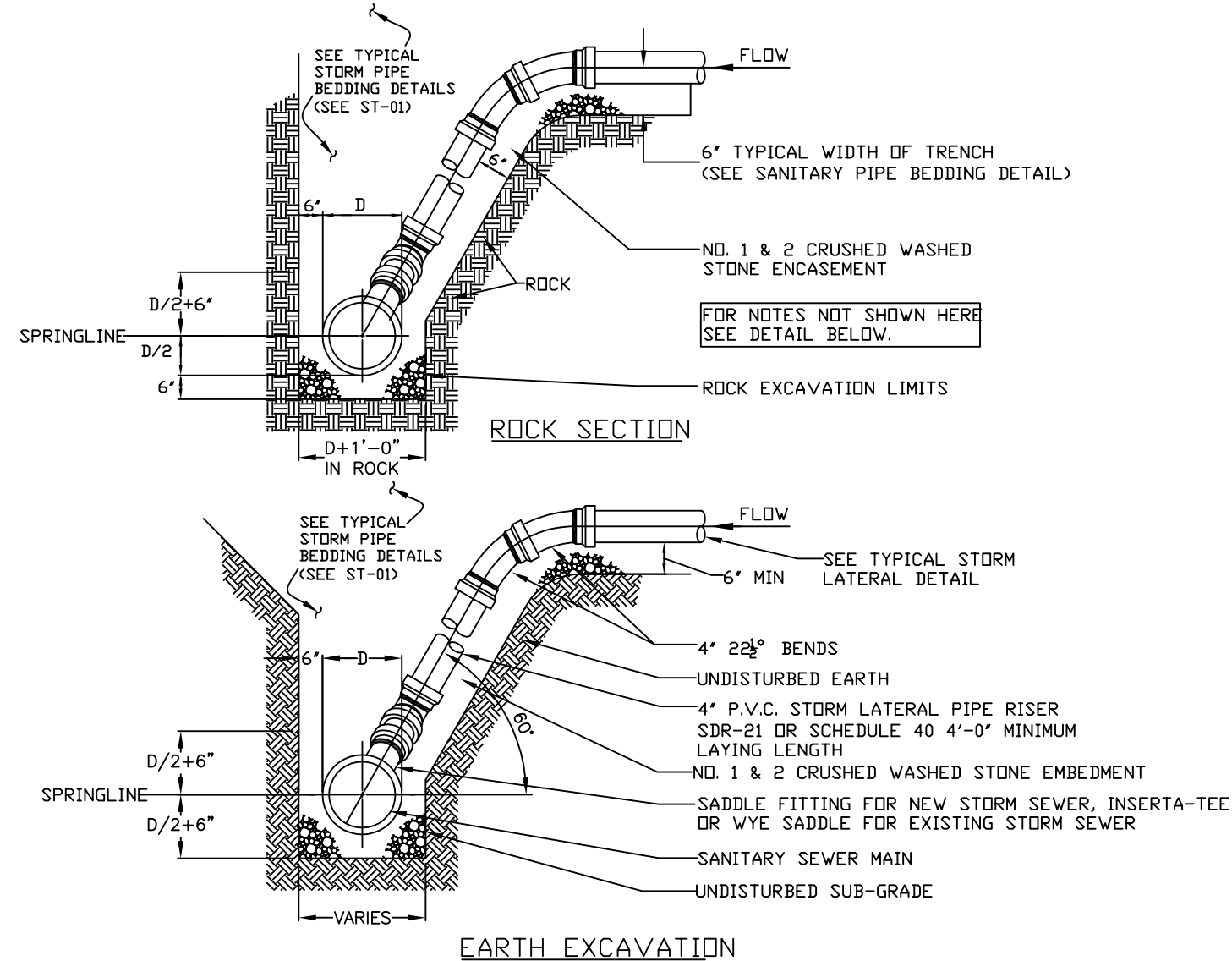
NOTES:

1. ALL STORM SEWER PIPE SHALL BE 12" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35) OR HEAVY DUTY CORRUGATED POLY-ETHYLENE (PE) SMOOTH INNER WALL TYPE D BELL & SPIGOT TYPE & RUBBER GASKET.
2. ALL STORM LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
3. SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LDAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
4. STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYSDDT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
5. CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYSDDT SECTION 501 SPECIFICATIONS.

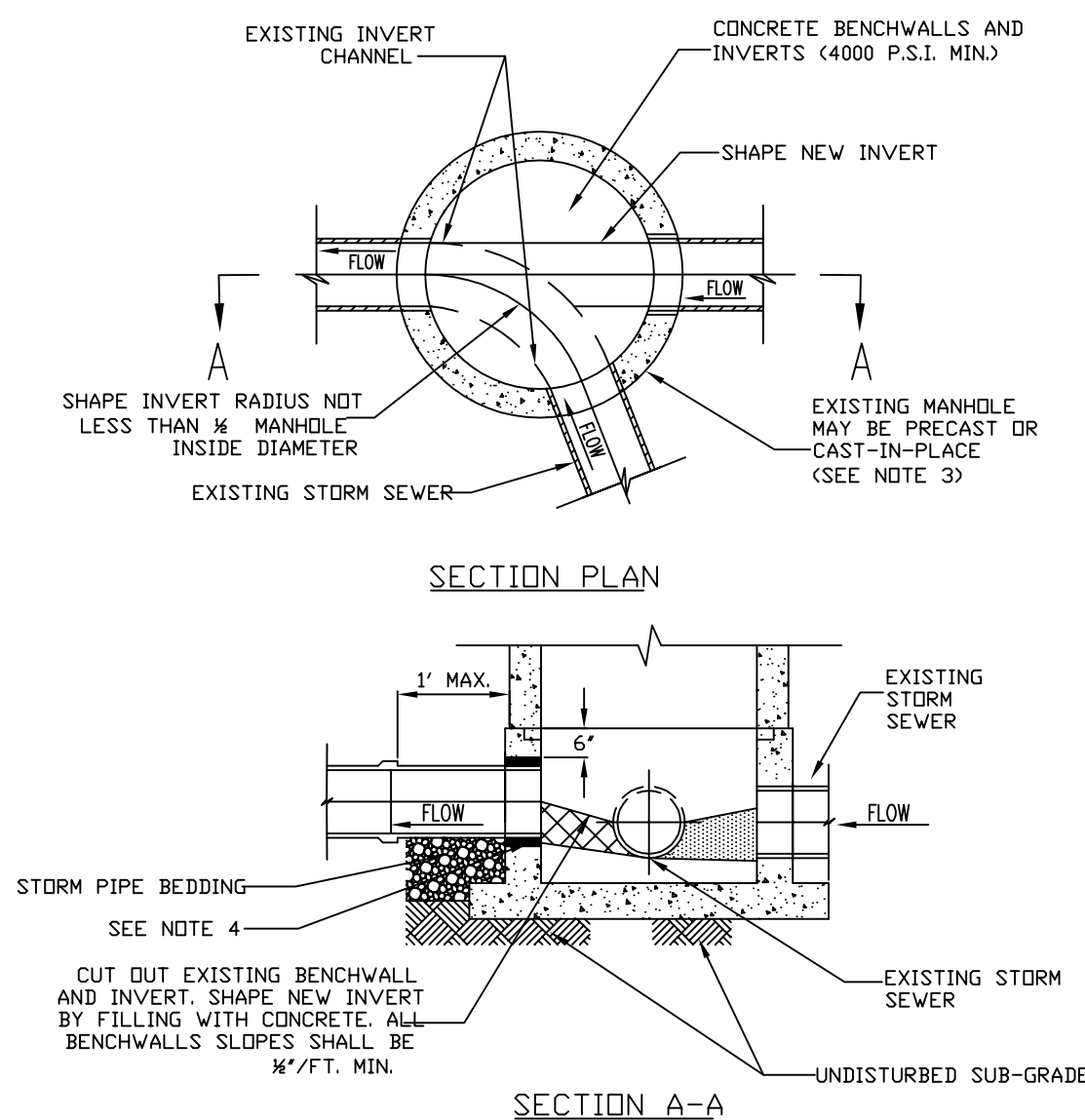
**TYPICAL STORM PIPE BEDDING DETAILS**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
 ST-01



**TYPICAL STORM LATERAL TRENCH DETAIL**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
 ST-03



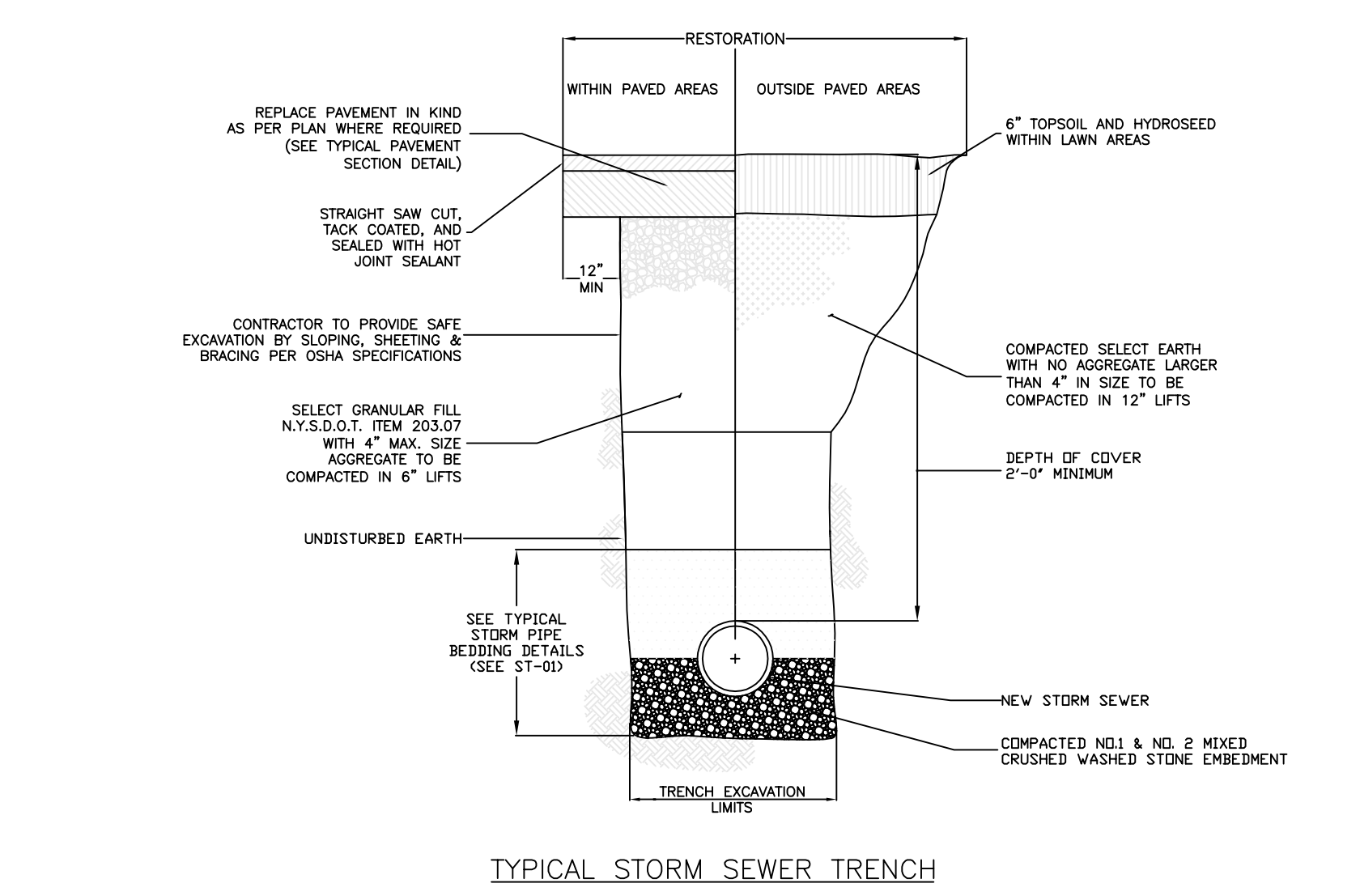
**STORM LATERAL RISER DETAIL**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
 ST-06



NOTES:

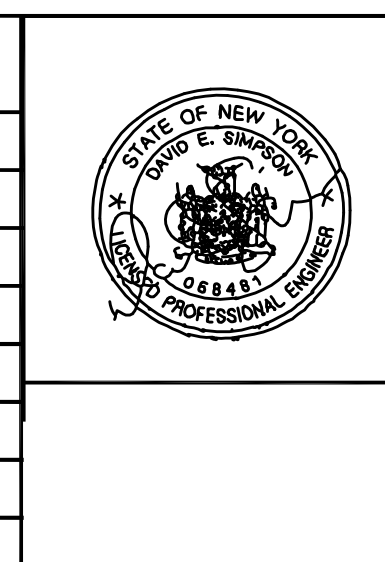
1. THE CROWN OF THE NEW SEWER SHALL NOT BE CONSTRUCTED LOWER THAN THE CROWN OF THE EXISTING MAIN SEWER. THE INVERT OF THE NEW SEWER SHALL BE CONSTRUCTED AT LEAST 3" ABOVE THE EXISTING MAIN SEWER INVERT.
2. EXISTING MANHOLE STRUCTURE SHALL BE SUFFICIENTLY BRACED AND PROTECTED TO PREVENT ANY SHIFTING OR DAMAGE TO THE MANHOLE.
3. THE EXISTING MANHOLE BASE MAY BE ROUND OR CAST-IN-PLACE CONCRETE DEPENDING ON HOW THE MANHOLE WAS CONSTRUCTED.
4. CORE DIAMETER HOLE TO ACCOMMODATE NEW STORM SEWER PIPE EMBEDDED INTO MANHOLE AND SEALED WITH NON-SHRINK GROUT OR APPROVED EQUAL. NO IMPACT DEVICES WILL BE ALLOWED TO BE USED FOR MAKING HOLES.
5. THE INTERIOR OF STORM MANHOLE BASE SECTION TO BE 12" MIN. ABOVE THE HIGHEST PIPE. THE SMOOTH INVERT AND BENCHWALL SHALL BE CAST-IN-PLACE CONCRETE (4000 P.S.I. MIN.) ALL OTHER SURFACES SHALL HAVE 2 COATS KOPPER'S SUPER SERVICE BLACK.
6. PIPE ENTERING INTO STORM MANHOLE SHALL NOT EXCEED 90 DEGREES ALIGNMENT AGAINST EXISTING STORM SEWER MAIN FLOW.
7. CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL BE NOT LESS THAN 6" FROM A RISER JOINT.
8. THE TOWN MUST BE NOTIFIED 48 HOURS IN ADVANCE OF CONSTRUCTION FOR INSPECTION OF CONNECTION.

**STORM SEWER CONNECTION TO EXISTING MANHOLE**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
 ST-13



**TYPICAL STORM SEWER TRENCH DETAIL**  
 SCALE: N.T.S.  
 DATE: 11/15/2011  
 ST-02

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW	DES	1/3/23



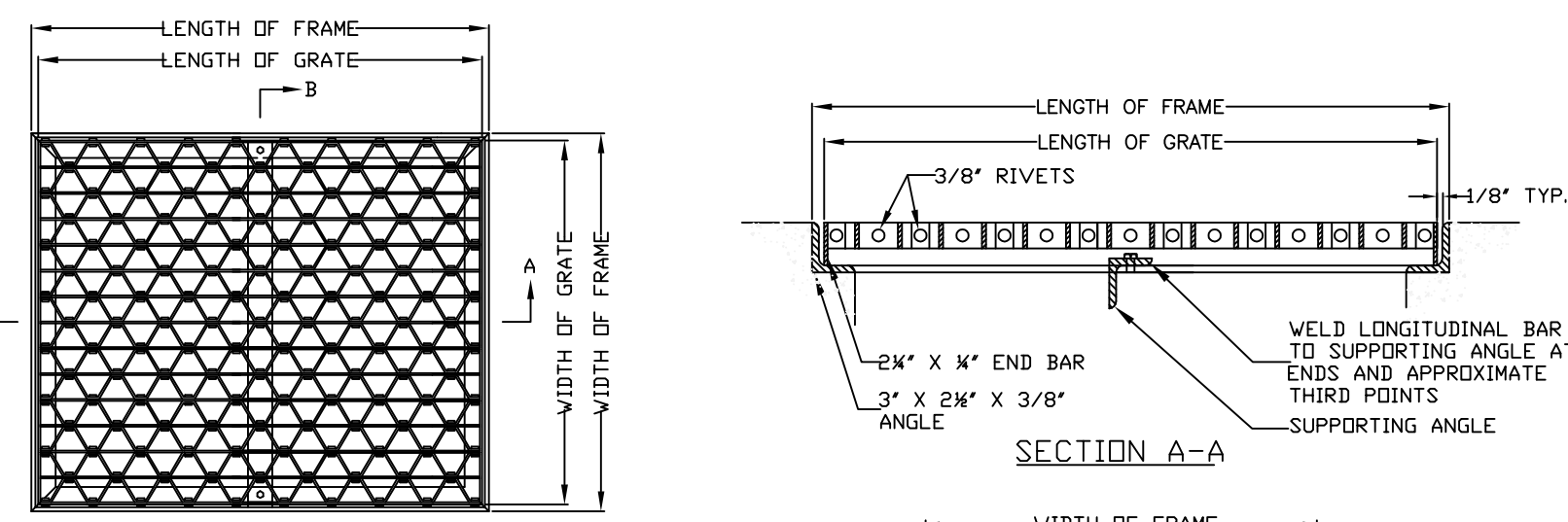
**DSB Engineers and Architects, P.C.**  
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626  
 ph. 585-471-3200 fax 585-471-3488

**PROJECT**  
 THE FAIRWAYS AT RIVERTON SUBDIVISION  
 PHASE 3

**DRAWING TITLE**  
 DETAILS AND NOTES

**CLIENT**  
 FOREST CREEK EQUITY CORP.  
 3240 CHILI AVENUE  
 ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	N.T.S.	15 of 16



- NOTE:
1. THE LOWER GRATE SUPPORTING ANGLE SHALL BE PERPENDICULAR TO ROADWAY PAVEMENT.
  2. GRATING SHALL BE GROUND TO FIT FILLETS IN FRAME ANGLES. WELDS ON INSIDE OF FRAME AND OUTSIDE OF GRATING SHALL BE GROUND SMOOTH. ALL MATERIAL SHALL BE SAND OR SHOT BLASTED BEFORE GALVANIZING. 3\"/>

FRAMES			GRATES					Supporting Angles			Approx. Weight (Lbs.)	Payment Area (S.F.)
No.	Outside Dimensions	Approx. Weight (Lbs.)	Longitudinal Straight Bars @ 2\"/>									
9	2'-4 1/2\"/>											

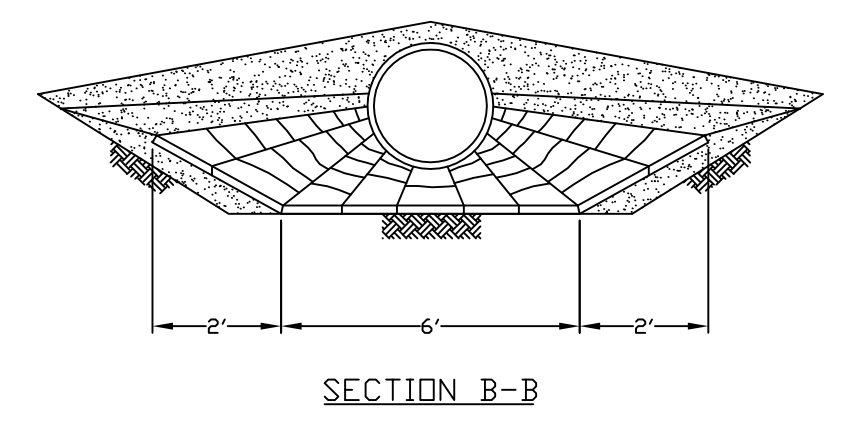
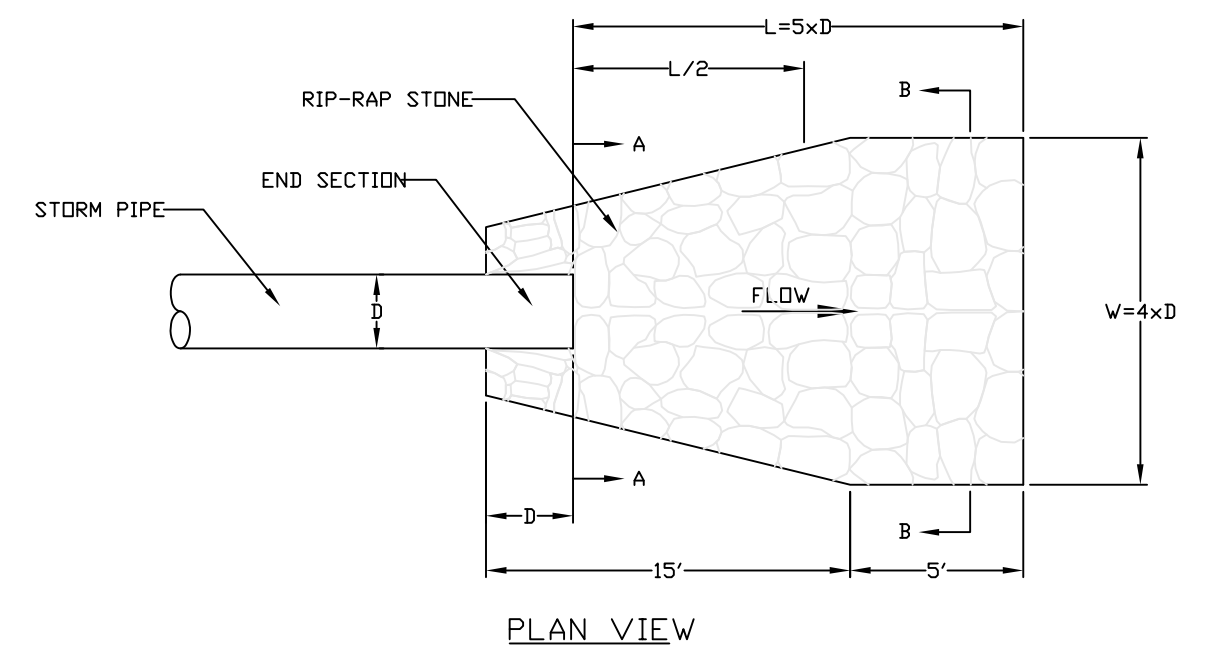
**TOWN OF HENRIETTA**

**RETICULINE TYPE FRAME & GRATE**

SCALE: N.T.S.

DATE: 11/15/2011

**ST-17**



**TOWN OF HENRIETTA**

**RIP-RAP**

SCALE: N.T.S.

DATE: 11/15/2011

**ST-22**

**STORM SEWER NOTES**

1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA STORM SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
2. STORM SEWER PIPE TO BE HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL.
3. STORM SEWER PIPE CONNECTING CATCH BASINS SHALL BE 12\"/>

**SANITARY SEWER EXTENSION NOTES**

1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA SANITARY SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
2. SANITARY SEWER PIPE TO BE PVC SDR-35 SANITARY LATERAL PIPE TO BE PVC SDR-21.
3. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST SHALL BE A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-96 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF WITFRED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
4. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
5. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
6. ALL NEW SANITARY SEWER WILL BE VIDOTAPED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
7. THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).
8. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

**GENERAL UTILITY NOTES**

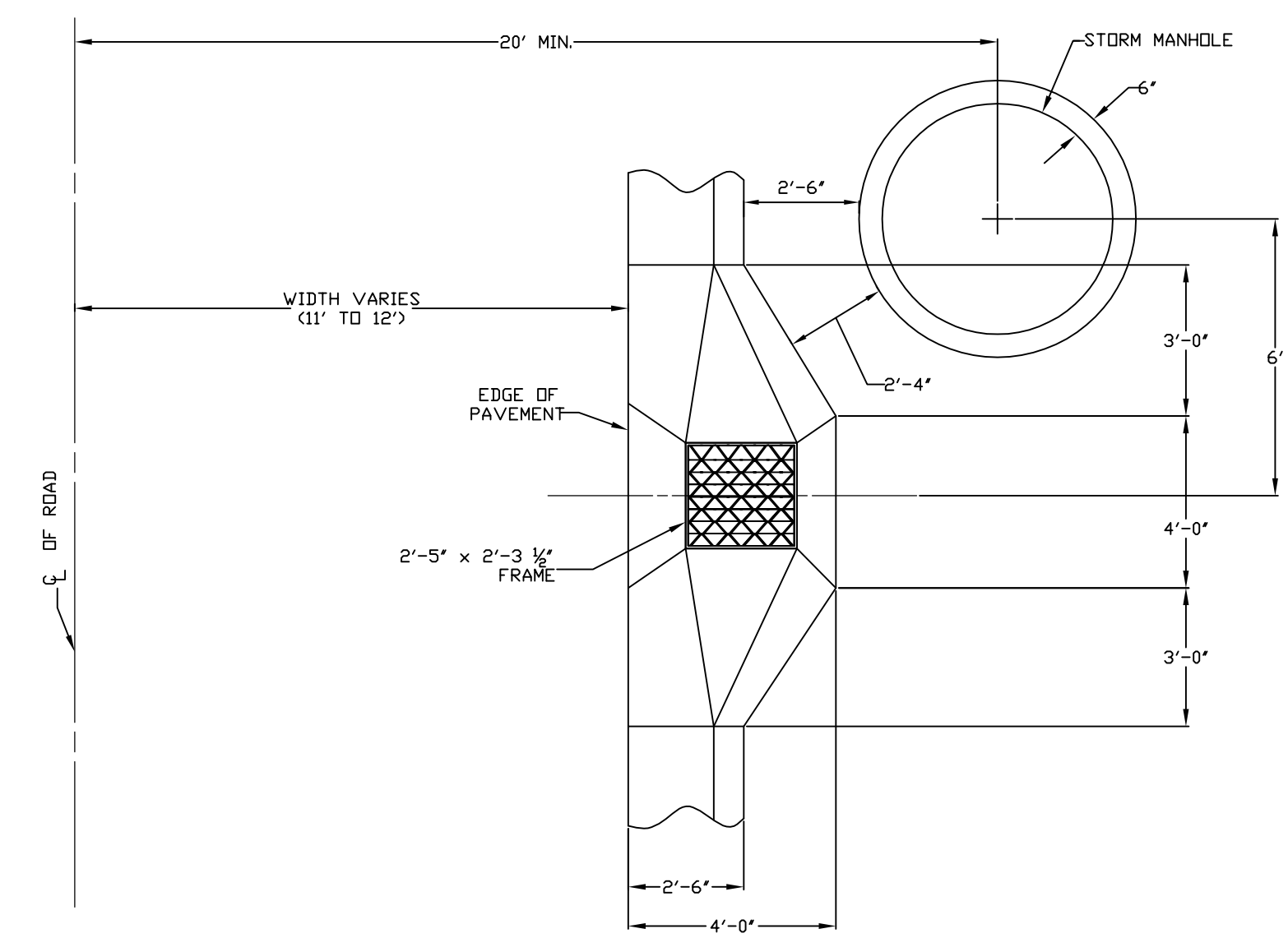
1. LOCATION OF EXISTING STRUCTURES INCLUDING UTILITIES SHOWN ON THE DRAWINGS ARE INTENDED FOR GENERAL INFORMATION ONLY.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. EXPLORATORY EXCAVATION SHALL BE MADE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE PLANS AND ANY OTHER LINES NOT SHOWN NOR OF RECORD. ANY EXPENSE DUE TO THE LOSS OF TIME SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. ALL THICKNESS SHOWN ON THE DETAILS ARE COMPACTED.
4. EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE OF IMPLEMENTATION SHALL FOLLOW THE LATEST NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
5. ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION. CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTION ORGANIZATION UTILITY COORDINATION COMMITTEE 1-800-962-7962.

**GENERAL NOTES**

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA AND/OR MONROE COUNTY HEALTH DEPARTMENT.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CALL FOR STAKE OUT OF ALL UTILITIES BEFORE COMMENCING WORK.
3. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS REQUIRED TO MEET EXISTING CONDITIONS.
4. ALL COSTS RELATED TO THE RELOCATION OF EXISTING UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL REQUESTING THE RELOCATION AND/OR THE UTILITY COMPANY. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
5. ROOF RUNOFF LEADERS SHALL DISCHARGE AWAY FROM ADJOINING PROPERTIES.
6. OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF EROSION/SILTATION CONTROL DURING CONSTRUCTION AND UNTIL SUCH TIME AS THEIR REMOVAL IS APPROVED BY THE TOWN OR ITS ASSIGNS.
7. SIDEWALKS SHALL BE INSTALLED PER THE TOWN DETAIL.
8. STREET TREES SHALL BE INSTALLED PER THE TOWN DETAIL.
9. COMPLIANCE WITH ALL FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS SHALL BE MET.

**SITE GENERAL NOTES:**

1. ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF HENRIETTA.
2. ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND REGULATIONS SET FORTH BY THE TOWN OF HENRIETTA, N.Y.S.D.O.T. AND M.C.D.P.W.
3. ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF HENRIETTA.
4. THE PRESERVATION OF ALL THE MATURE TREES ON THE SITE WHERE POSSIBLE AND THE MARKING OF SAID TREES BY THE DEVELOPER'S ENGINEER OF TREES TO BE REMOVED PRIOR TO THE COMMENCEING OF ANY SITE WORK.
5. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
6. ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
7. A RECORD UTILITY PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. THIS PLAN SHALL INDICATE ALL UTILITY IMPROVEMENTS INCLUDING WATER VALVES, HYDRANTS, MANHOLES, PIPE RUNS AND SURFACE FEATURES SUCH AS GUTTERS, CURBS, ETC. IN ACCORDANCE WITH THE TOWN'S RECORD DRAWING REQUIREMENTS FOR UTILITIES. INDIVIDUAL LOT UTILITY SERVICE MAPS SHALL BE PROVIDED TO THE TOWN'S ENGINEERING DEPARTMENT. EACH MAP SHALL INDICATE SWING TIE DIAGRAMS FOR WATER CURB BOXES AND ALL LATERAL CLEANOUTS.
8. HYDRANTS MUST BE INSTALLED AND FLOW-TESTED BEFORE ABOVEGROUND CONSTRUCTION IS RECOMMENDED. FLOW TESTS SHALL COMPLY WITH THE SPECIFICATIONS OF THE INSURANCE SERVICES OFFICE TO PRODUCE AN A-RATING.
9. NO ABOVEGROUND CONSTRUCTION IS TO COMMENCE UNTIL AN APPROVED ROADWAY BASE CAPABLE OF CARRYING THE WEIGHT OF FIRE APPARATUS IS INSTALLED.



**TOWN OF HENRIETTA**

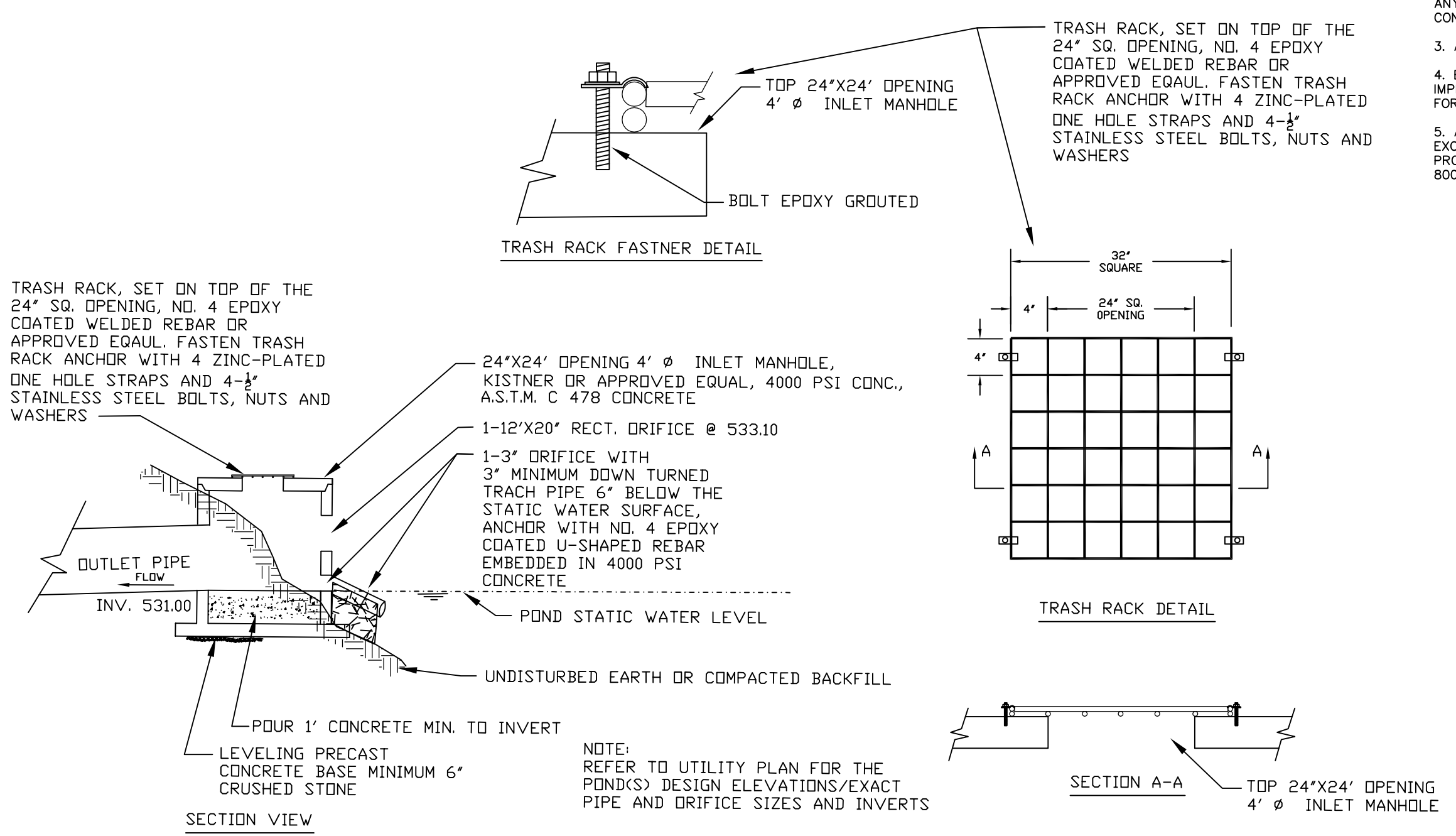
**STORM MANHOLE LOCATION DETAIL**

SCALE: N.T.S.

DATE: 7/11/2013

**ST-27**

**POND OUTLET CONTROL STRUCTURE**



NOT TO SCALE

NO.	REVISION	APP.	DATE
1	TOWN COMMENTS REVIEW 1/3/23	DES	1/5/23
2	TOWN COMMENTS REVIEW 1/11/23	DES	1/12/23



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**PROJECT**  
**THE FAIRWAYS AT RIVERTON SUBDIVISION PHASE 3**

**DRAWING TITLE**  
**DETAILS AND NOTES**

**CLIENT**  
FORREST CREEK EQUITY CORP.  
3240 CHILI AVENUE  
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
08-12034	N.E.S.	W.F.B.	D.E.S.	3/6/2024	NTS	16 of 16