

TOWN OF HENRIETTA Site Plan Application

APPLICATION	NO		
PLANNING BO		OR ADMINISTRATIVE	
DATE: 12/	14/2022		
I (we) Britta	any Murphy (SWBR) Name of Applicant / Business	_{of} 387 E. Mair	n St
	er, NY, 14604		Address (Number & Street) by apply to the Planning Board for
Site Plan Rev	Town, State, Zip iew OR Other:		
on proporty l	ocated at 339 Jefferson St, Ro	ochester, NY 146	23
on property is	(Street & Number)	, (Zoni	ng District & Tax Account No.)
Previous Revi	lews, if any, Date:	Number:	
DESCRIPTION	N OF PROPOSAL:		
(previously a for the restar bathrooms a concrete side	operty Holdings is making improvement calzone restaurant) to accommodate urant customers. The site improvement of storage (within the footprint of preewalks and curbs, resealing and restine south and east edges of the prope	te enhanced culinary sents to the property inc evious storage area), c triping the parking lot, t	ervices and expand amenities clude an entry vestibule, new covered outdoor seating, 8' high board-on-board wood
Applicant:	Brittany Murphy, SWBR	Engineer/Ar	chitect: Yang Song, SWBR
Address:	387 E. Main St.	Address:	309 S. Franklin St.
	Rochester, NY 14604		Syracuse, NY 13202
Phone #:		Phone #:	
Email:		Email:	
Property Ow	_{mer:} Vilay Sysavath	Business Ow	_{mer:} Vilay Sysavath
Address:	37 Shetland Cir.	Address:	37 Shetland Cir.
	Rochester, NY, 14624		Rochester, NY, 14624
Phone #:		Phone #:	
Email:		Email:	
Applicant Sign	ature: Butter Mly	Print Name	Brittany Musshy



ROCHESTER OFFICE

387 East Main St Rochester NY 14604 585 232 8300 rochester@swbr.com Architecture
Graphic Design
Interior Design
Landscape Architecture
Structural Engineering

December 14, 2022

James W. Grunert Planning Board Chairman Henrietta Town Hall 475 Calkins Rd Rochester, NY 14623

Re: Magnolia Property Roc Pho Restaurant Site Plan Application 339 Jefferson Rd, Rochester, NY 14623 SWBR Project No. 22199.00

Dear Mr. Grunert and Board Members:

On behalf of Magnolia Property Holdings, LLC, SWBR submits the enclosed application for site plan approval for the Roc Pho Shop restaurant project located at 339 Jefferson Rd in the Town of Henrietta.

Magnolia Property Holdings proposes to make improvements to the existing +/-1,200sq.ft building and site (previously a calzone restaurant) to accommodate enhanced culinary services and expand amenities for the restaurant customers. The site improvements to the property include an entry vestibule, new bathrooms and storage (within the footprint of previous storage area), covered outdoor seating, concrete sidewalks and curbs, resealing and restriping the parking lot, 8' high board-on-board wood fencing on the south and east edges of the property, and a new dumpster enclosure.

Surrounding land uses include existing commercial/industrial uses to the north (Roc City Grit gym), and to the east (Clean-o-Rama laundromat), and the Livonia Avon & Lakeville Railroad to the south and west. The property is approximately .34 acres, while the area to be disturbed during construction is .05 acres.

The project is on property zoned B-1 with Mixed Use Redevelopment Overlay District, and the proposal is a permitted use within the zoning district, subject to special use permits from the Town Board for the restaurant use and the outdoor seating. A Special Use Permit extension and modification was submitted to the Town Board and will be presented at their December 14, 2022 meeting. The applicant was granted area variances from the Zoning Ordinance of the Town Code for the front and rear setback (295-19 A and C) and parking count (295-44A), approved by the Zoning Board of Appeals at their December 7, 2022 meeting.

We are requesting that this application be placed on the Planning Board's January 17th, 2023 agenda for preliminary and final site plan approval. For your review, we have enclosed copies of the following application materials:

- Completed Site Plan Application Form
- Fourteen (14) sets of Architecture, Site, and Utility Drawing Sheets
- Site Plan Checklist
- Environmental Assessment Form





Robert Peckham Town of Henrietta SWBR Project No. 22199.00 Nov. 2, 2022 Page 2

- Statement of the Applicant and Owner with Respect of Professional and Consulting Fees
- Checks for the application fee of \$150, and the engineering plan review charge of \$700

We acknowledge the requirement to post a sign giving the public notice of the Planning Board meeting. Please let us know if you have any questions or require additional information to support this application.

Sincerely

Brittany Murphy Landscape Designer

Xc: V. Sysavath, Magnolia Property Holdings, LLC

J:\2022\22199.00 MAGNOLIA PROPERTY ROC PHO REST SD-CD\2-PROJECT MGT\2.08_APPLICATIONS\ZONING BOARD OF APPEALS (SETBACK VARIANCES)\ZBA COVER LETTER ROC PHO 103122.DOCX

<u>Statement of Applicant and Owner with Respect to Reimbursement</u> <u>of Professional and Consulting Fees</u>

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant:	Brittany Murphy, SWBR
Ву:	
Title:	Landscape Designer
Dated:	12/12/2022
Signed:	Butty Myly 12/12/22
Owner:	Vilay Sysavath
Ву:	
Title:	President
Dated:	12/13/2022
Signed:	Vely My

PROJEC	T NA	ME: APPLICATION No
	1	Acceptable plans size to match the New York State Legal Filing Size (22° x 34°), prepared with india ink on mylar.
	2	Except in the simplest form of site plan application, the proposal package should contain at least the following drawings: a. Site Plan b. Utility Plan c. Grading Plan d. Landscape Plan e. Lighting Plan f. Profiles and Construction Details g. Building Elevations
	3	The Title Block should contain the following: a. Proposed Name of Development b. Location of Development c. Name, Address, and Telephone Number of Developer or Applicant d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
	4	Show General Location Map (sketch). North should be located at the top of the drawing.
	5	A scale of not more than fifty feet to the inch is to be used.
	6	Show names and tax account numbers of adjacent lands.
	7	Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
	8	By plan note, list all variances and special permits accompanied by Application Number and approval date.
	9	Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
	10	Show a tie distance from the proposed site to nearest road intersection
	11	Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.

PROJECT	ΓNA	ME: APPLICATION No
	12	All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
	13	A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
	14	List the names of existing streets, their legal width, and jurisdiction.
	15	Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
	16	Show planned use for the proposed structure (i.e. office etc).
	17	Show proposed and/or existing setbacks.
	18	Show parking requirements (indicate the proposed and required).
	19	Show the fire lanes.
	20	 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums: a. To scale plot of proposed trees and/or shrubs b. The plan must contain a table of quantities. See Appendix for proper requirements. c. Enlargement details for areas of proposal that are not legible at the plan scale. d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional. e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman. f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth. g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
	21	All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.

PROJEC	ET NA	ME: APPLICATION No
	22	Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
	23	Please plan to bring samples of the proposed architectural materials to the meeting.
	24	The following statement should appear on all Site Plans: "As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
	25	A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
	26	Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer by supplied.
	27	Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
	28	Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
	29	If the parking lot is to be used for stormwater detention, limits of this area are to be indicated
	30	on the site and grading plans. Show wetland and buffer zone limits (when applicable).
	31	Show floodplain and floodway limits (when applicable).
	32	In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
	33	In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe

PROJECT	ΓΝΑ	ME: APPLICATION No.
		sizes, and details of any water crossings.
	34	Show location and size of proposed water services and/or watermains including shutoff valves.
	35	Show location of fire protection systems components.
	36	Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
	37	Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
	38	The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
	39	If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
	40	Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
	41	Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
	42	Required supporting data and/or Reports: a. Environmental Assessment Form (one copy) (Short Form or Part 1 Long Form) b. Drainage Report (two copies) c. Traffic Report if required (twelve copies) d. Lighting catalog cuts (copy with each set of plans) e. Architectural Renderings f. Letter of Credit Estimate (one copy). g. Engineering Review Charge and Engineering Site Inspection Charge Form.



PROJECT	NA	ME:	APPLICATION No.
		See Appendix.	
	43	Thirty (30) sets of folded plans will be required	
0	44	Is this project a TYPE I Action? If so, then an add required for the Coordinated Review process (37	
D 1(r		
Prepared f	or:	Name of Developer	Date
		Company Name	
		Street Address	
		City, State, Zip	<u> </u>



PROJECT NA	AME:	APPLICATION No.	
	Telephone Number		
Prepared by:	Name of Consultant	Date	
	Company Name		
	Street Address		
	City, State, Zip		
	Telephone Number		

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

	Application Number:
Sit	te Plan and Subdivision Application Engineering Review Charges
and/or Consultant Forces. All costs in	tions are subject to be reviewed by the Town Engineering Department neurred in providing this service are a direct charge to the Applicant or and/or party in this matter shall be identified in the following listing:
Responsible Individual	Vilay Sysavath
Responsible Firm	Magnolia Property Holdings, LLC
Street Address	37 Shetland Cir.
City, State, Zip Code	Rochester, NY, 14624
Telephone Number	
-	
E	ngineering Site Inspection Charges
his designee. The responsible person Responsible Individual Responsible Firm Street Address City, State, Zip Code Telephone Number	and/or party in this matter shall be identified in the following listing:
Note: When this information has been provided:	n provided by another party, the following information needs to be
Provided By	
Address	
City, State Zip	
Telephone Number ()

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

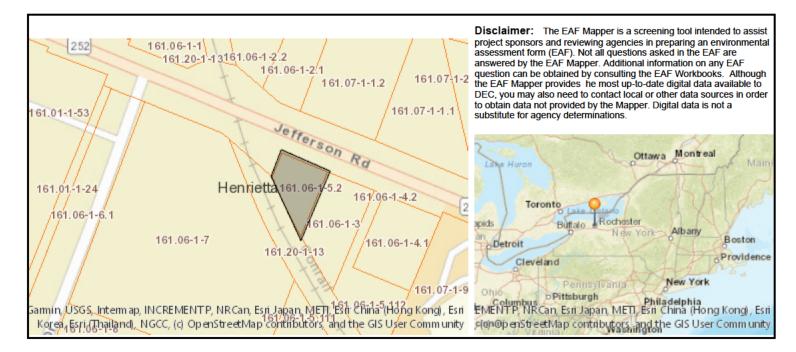
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information					
Name of Action or Project:					
"Roc Pho Shop" restaurant					
Project Location (describe, and attach a location map):					
339 Jefferson Rd. Rochester, NY 14623					
Brief Description of Proposed Action:					
Magnolia Property Holdings is making improvements to the existing +/-1,200sq.ft building and site (previously a calzone restaurant) to accommodate enhanced culinary services and expand amenities for the restaurant customers. The site improvements to the property include an entry vest bule, new bathrooms and storage (within the footprint of previous storage area), covered outdoor seating, concrete sidewalks and curbs, resealing and restriping the parking lot, 8' high board-on-board wood fencing on the south and east edges of the property, and a new CMU dumpster enclosure.					
Name of Applicant or Sponsor:	Telephone:				
Brittany Murphy (SWBR)	E-Mail:				
Address:					
387 E. Main St					
City/PO:	State:	Zip Co	ode:		
Rochester	NY	14604			
1. Does the proposed action only involve the legislative adoption of a plan, loca administrative rule, or regulation?	l law, ordinance,	L	NO	YES	
If Yes, attach a narrative description of the intent of the proposed action and the e may be affected in the municipality and proceed to Part 2. If no, continue to ques		at	√		
2. Does the proposed action require a permit, approval or funding from any other		-+	NO	YES	
If Yes, list agency(s) name and permit or approval:	,		7		
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 3. a. Total acreage of the site of the proposed action? 5. 34 acres 6. 25 acres 7. 34 acres					
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. ☑ Urban ☐ Rural (non-agriculture) ☑ Industrial ☑ Commercia ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Special Commercial ☐ Parkland		ban)			

5.	Is the proposed action,	NO	YES	N/A
	a. A permitted use under the zoning regulations?		√	
	b. Consistent with the adopted comprehensive plan?		√	
		,	NO	YES
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	,		✓
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES
If Y	Ves, identify:		✓	
				<u> </u>
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
	b. Are public transportation services available at or near the site of the proposed action?		<u>v</u>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			✓
9.	Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If th	he proposed action will exceed requirements, describe design features and technologies:			
			Ш	✓
10.	Will the proposed action connect to an existing public/private water supply?		NO	YES
	If No, describe method for providing potable water:			
	11 No, describe method for providing potable water.			√
11	Will the proposed action connect to existing wastewater utilities?		NO	7770
11.			NO	YES
	If No, describe method for providing wastewater treatment:			√
12	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district	ot .	NO	YES
whi	ich is listed on the National or State Register of Historic Places, or that has been determined by the			IES
	mmissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the te Register of Historic Places?	<u>.</u>	V	Ш
			_	
arch	b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for haeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		Ш	
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain		NO	YES
	wetlands or other waterbodies regulated by a federal, state or local agency?			√
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		√	
	Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			
Wetla Chec	ands surrounding Red Creek west and south. Site edge is approx. 480' away from nearest portion of State Regulated Wet ckzone. Project will not alter any existing wetland or waterbody.	land ——		

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional		
☐Wetland ☑ Urban ☐ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or	NO	YES
Federal government as threatened or endangered?	✓	
16. Is the project site located in the 100-year flood plan?	NO	YES
		√
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	✓	
a. Will storm water discharges flow to adjacent properties?	√	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	√	
No changes to existing drainage. Adding small area of asphalt (approx. 850sqft) to back portion of site to provide staff parking.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water	NO	VEC
or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:		
	✓	Ш
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste	NO	YES
management facility?		
If Yes, describe:	✓	
	الثا	
20.Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or	NO	YES
completed) for hazardous waste? If Yes, describe:		
	✓	
	_	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BE MY KNOWLEDGE	ST OF	
Applicant/sponsor/name: Brittany Murphy, SWBR Date: 12/14/2022		
Signature: Brittany Murphy Title: 12/14/2022		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

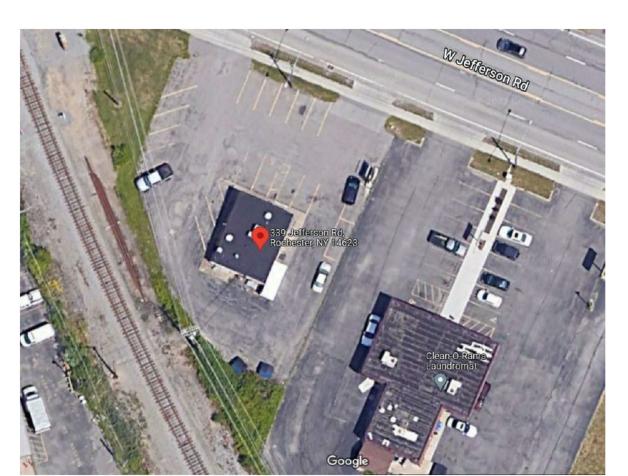


Roc Pho Shop Restaurant



Planning Board Submission December 14, 2022

339 Jefferson Rd Rochester, NY 14623





SWBR Project # 22199.00

DRAWING INDEX

SITE SURVEY

VA-100 EXISTING FEATURES PLAN

LANDSCAPE

L-101 SITE PLAN L-501 LANDSCAPE DETAILS

RENDERINGS

ARCHITECTURAL

FLOOR PLANS AND EQUPMENT SCHEDULE

EXTERIOR ELEVATIONS
WALL SECTIONS AND DETAILS WALL SECTIONS AND DETAILS

CE-100 SITE PLAN - ELECTRICAL

Regional Map

Location Map

SITE SURVEYOR

Costich Engineering 217 Lake Avenue Rochester, NY 14608 585 458 3020

M/E/P Engineer:

Turner Engineering PC One Woodbury Blvd Rochester, NY 14604 585 381 3360

Architect & Structural Engineer:

SWBR 309 South Franklin Street Syracuse, NY 13202 315 488 5635



Checked By: Project Manager:

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Roc Pho Shop Restaurant 339 Jefferson Rd Rochester, NY 14623 SWBR Project Number 22199.00

Magnolia Property Holdings, LLC 37 Shetland Circle, Rochester,

G-000

COVER SHEET

APPLICATION:

EXPOSED)

PROTECTION OF CONCRETE SLABS ON GRADE (ESPECIALLY WHEN LEFT

MISCELLANEOUS KEYNOTES

DESCRIPTION:

PROTECTION IS ESSENTIAL.

CONSTRUCTION: • NO ACIDIC OR CHEMICAL CLEANING PROCEDURES WILL BE ALLOWED TO REMOVE STAINS FROM THE CONCRETE SURFACE.

PROTECTION OF CONCRETE SLAB ON GRADE SURFACE DURING

- ALL HYDRAULIC POWERED EQUIPMENT MUST BE DIAPERED TO AVOID STAINING ON THE CONCRETE
- NO TRADE SHALL PARK VEHICLES ON THE SLAB. IF NECESSARY TO COMPLETE THE SCOPE OF WORK, DROP CLOTHES NEED TO BE PLACED UNDER THE VEHICLES AT ALL TIMES.
- NO PIPE CUTTING MACHINES WILL BE USED ON THE SLAB. STEEL MATERIALS WILL NOT BE PLACED ON SLABS TO AVOID
- RUST STAINING.
- WHEN EQ (EQUIVALENT THICKNESS) STUDS ARE ALLOWED, AND THEIR USE IN CONSTRUCTING FIRE-**RESISTANT WALL** CONSTRUCTION

EQ (EQUIVALENT THICKNESS) STUDS SHALL NOT BE USED TO CONSTRUCT ANY FIRE-RESISTANT-RATED WALL CONSTRUCTION. ALL METAL STUDS USED IN THE CONSTRUCTION OF FIRE-RESISTANT-RATED WALL CONSTRUCTION SHALL HAVE A MINIMUM STEEL BASE-METAL THICKNESS OF .03" (30 MIL) UNLESS OTHERWISE INDICATED (EXCLUDING UL DESIGN DESCRIPTIONS).

GENERAL NOTES:

- 1. ALL GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL (A-SERIES) DRAWINGS IN THIS SET
- 2. GENERAL CONTRACTOR TO PROVIDE ALL LOOSE LINTELS AT ALL MASONRY OPENINGS EXCEEDING 16" WIDE INCLUDING, BUT NOT LIMITED TO: DOORS, WINDOWS, F.E.C.S., DUCTS, ETC. SEE STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE. LINTEL LOCATIONS FOR PLUMBING, ELECTRICAL AND MECHANICAL WORK ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE DRAWINGS.
- 3. WHERE DIFFERENT FLOORING MATERIALS MEET. AND A SPECIFIC TRANSITION DETAIL IS NOT INDICATED, PREPARE SUBSTRATE WITH A TRANSITION HEIGHT BUILD UP USING TROWELABLE LEVELING AND PATCHING COMPOUND TO PRODUCE A FLUSH SMOOTH CONDITION. TROWEL MATERIAL FOR A MINIMUM DISTANCE OF 2 FEET FROM A FEATHER EDGE CONDITION UP TO A MAXIMUM SINGLE LAYER APPLICATION THICKNESS OF 1/2". FOR APPLICATIONS THICKER THAN 1/2", PLACE MATERIAL IN SUCCESSIVE LAYERS, SCORING PREVIOUS LAYER, UP TO A MAXIMUM THICKNESS OF 1".
- 4. PROVIDE CONCEALED STEEL STUD BLOCKING OR 2" x 18 GA CONTINUOUS STEEL STRAPPING ATTACHED TO FACE OF STUDS BEHIND ALL WALL MOUNTED ITEMS SUCH AS: WALL CABINETS, SHELVING, COAT RODS, GRAB BARS, HANDRAILS, TOILET ACCESSORIES, ETC. SEE INTERIOR ELEVATIONS & FURNITURE PLANS FOR ADDITIONAL INFORMATION AND SCOPE
- 5. EXTERIOR PERIMETER OF ALL WINDOWS, DOORS, CURTAINWALL, STOREFRONT, LOUVERS, OR OTHER ITEMS INSERTED IN OR PENETRATING AN EXTERIOR WALL SHALL BE SEALED WITH BACKER ROD AND SEALANT WHETHER INDICATED ON DRAWINGS OR NOT
- 6. FLOOR FINISH TRANSITIONS/CHANGES SHALL OCCUR BELOW THE DOOR
- 7. DIMENSIONS LOCATING INTERIOR PARTITIONS ARE TO THE FACE OF WALL (EXCLUDING FINISH MATERIALS SUCH AS - BUT NOT LIMITED TO: CERAMIC TILE, AND WOOD PANELING) UNLESS NOTED OTHERWISE. SEE PARTITION SCHEDULE FOR WALL THICKNESS
- 8. ALL EXISTING DIMENSIONS ARE APPROXIMATE AND FOR CONTRACTORS VERIFICATIONS. IF DISCREPANCIES ARISE, NOTIFY THE ARCHITECT (AND/OR CONSTRUCTION MANAGER) PRIOR TO PROCEEDING WITH THE WORK THAT MAY BE EFFECTED BY THE DIMENSION CHANGE
- 9. EVERY ATTEMPT HAS BEEN MADE TO INDICATE PERTINENT EXISTING UTILITIES AND CONDITIONS AS ACCURATELY AS POSSIBLE FROM EXISTING SURVEYS, DRAWINGS AND OTHER DATA. PRIOR TO THE BID OPENING, CONTRACTORS SHALL WALK THE JOB SITE AND SATISFY THEMSELVES TO EXISTING CONDITIONS. THE ARCHITECT SHALL BE CONSULTED WHEN ANY QUESTION ARISES RELATIVE TO MATERIALS NOT SPECIFICALLY SHOWN OR SPECIFIED
- 10. ALL EXISTING WORK (CEILINGS, FLOORS, WALLS, PARTITIONS, FINISHES, ETC.) DISTURBED BY NEW CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL, SHALL BE PATCHED AND REPAIRED TO RESTORE SURFACES TO THE ORIGINAL CONDITION AFTER INSTALLATION OF OTHER WORK
- 11. PENETRATIONS THROUGH FIRE-RESISTANT CONSTRUCTION SHALL BE BUILT IN ACCORDANCE WITH U.L. LISTED THROUGH-PENETRATION FIRESTOP SYSTEMS. SEE CODE COMPLIANCE PLAN FOR PARTITION LOCATIONS. PENETRATIONS THROUGH NON FIRE-RESISTANT RATED HORIZONTAL ASSEMBLIES, NOT PROTECTED BY A SHAFT ENCLOSURE, SHALL HAVE ITS ANNULAR SPACE FILLED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT THE PASSAGE OF FLAME, SMOKE FUMES, AND HOT GASES. NON-COMBUSTIBLE PENETRATING ITEMS SHALL NOT PENETRATE MORE THAN 3 FLOOR ASSEMBLIES. COMBUSTIBLE PENETRATING ITEMS SHALL NOT PENETRATE MORE THAN 1 FLOOR ASSEMBLY
- 12. FLOOR CEILING/ AND ROOF/CEILING ASSEMBLIES ARE FIRE-RESISTANT-RATED CONSTRUCTION WHICH EMPLOY A GYPSUM BOARD MEMBRANE CEILING. THIS GYPSUM BOARD MEMBRANE IS PERMITTED TO BE INTERRUPTED WITH A DOUBLE TOP PLATE OF A WOOD STUD PARTITION. PIPE AND WIRE PENETRATIONS THOUGH THE DOUBLE TOP PLATE MUST BE PROTECTED WITH LISTED THROUGH-PENETRATION FIRESTOP ASSEMBLIES. THE GYPSUM BOARD ON THE WALLS SHALL BE 5/8" TYPE-X BOARD. WALL BOARD SHALL BE ATTACHED TO THE WOOD STUDS WITH SCREWS @ 7" O.C. MAXIMUM. SCREWS SHALL BE A MINIMUM 1-7/8" LONG FOR SINGLE LAYER APPLICATIONS.

GYPSUM BOARD / WOOD STUD SERIES PARTITIONS

STUD SPACING PER PARTITION TYPES BELOW UON ON STRUCTURAL DRAWINGS.

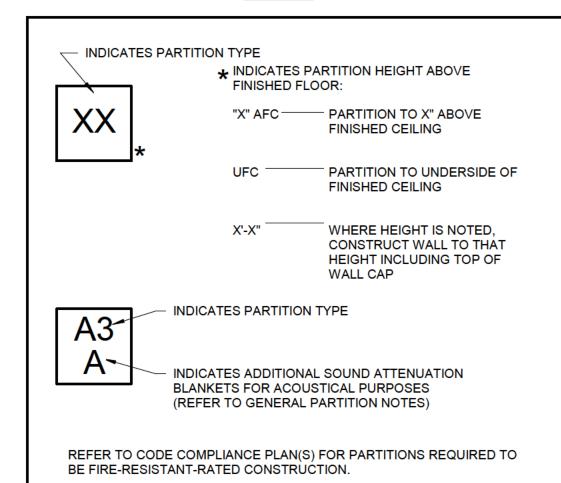
2 x 4 WOOD STUDS AT 16" O.C. (1) LAYER 5/8" GYPSUM BOARD EACH SIDE. 1 HOUR FIRE RESISTANT RATED WHEN INDICATED (WITH OR WITHOUT BATT INSULATION) PER UL U305.

W6

2 x 6 WOOD STUDS AT 16" O.C. (1) LAYER 5/8" GYPSUM BOARD EACH SIDE. 1 HOUR FIRE RESISTANT RATED WHEN INDICATED (WITH OR WITHOUT BATT INSULATION) PER UL U305. MAXIMUM STUD SPACING IS LIMITED TO 16" O.C.

MAXIMUM STUD SPACING IS LIMITED TO 16" O.C.

LEGEND



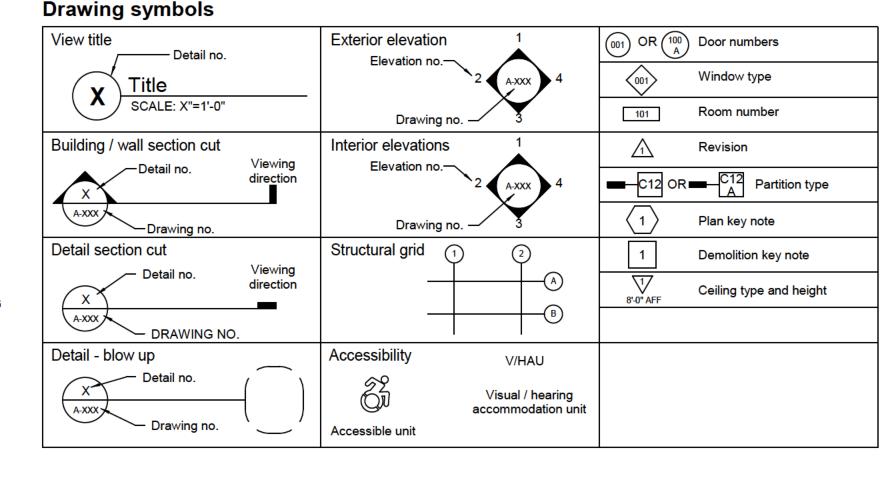
GENERAL PARTITION NOTES:

A. ALL STUD PARTITIONS NOT INDICATED WITH A PARTITION TYPE SHALL BE TYPE

- A. PARTITIONS WITH SOUND ATTENUATION BLANKETS:
- A. PROVIDE SOUND ATTENUATION BLANKETS IN ALL CAVITY SPACES IN WALL FULL
- B. THICKNESS OF BLANKETS IN STUD WALLS SHALL BE EQUAL TO THICKNESS OF CAVITY TO NEAREST 1/2", UNLESS INDICATED OTHERWISE
- C. PARTITIONS TO BE SEALED @ THE PERIMETER, BEHIND CONTROL JOINTS, AROUND OPENINGS AND AT ALL PENETRATIONS WITH EACH LAYER OF BOARD TO RECEIVE A BEAD OF NON-HARDENING SEALANT
- D. SEE WALL TYPE DESCRIPTIONS FOR CONDITIONS REQUIRING MINERAL FIBER SAFING INSULATION BATTS
- E. GYPSUM BOARD TO BE "TYPE X" UNLESS OTHERWISE NOTED
- F. ALL PARTITIONS ARE TO BE TO THE UNDERSIDE OF DECK UNLESS OTHERWISE NOTED
- G. DIMENSIONS SHOWN FOR EACH PARTITION DESCRIPTION INDICATE FACE-TO-FACE THICKNESS OF MATERIALS LISTED FOR THAT PARTITION
- H. PROVIDE LISTED U.L. FIRE-RESISTANT JOINT ASSEMBLIES @ TOP OF ALL WALLS INDICATED TO BE FIRE-RESISTANT RATED
- I. EQ (EQUIVALENT THICKNESS) STUDS SHALL NOT BE USED TO CONSTRUCT ANY FIRE-RESISTANT WALL CONSTRUCTION. ALL METAL STUDS USED IN THE CONSTRUCTION OF FIRE-RESISTANT-RATED WALL CONSTRUCTION SHALL HAVE MINIMUM STEEL BASE-METAL THICKNESS OF .03" (30MIL) UNLESS OTHERWISE INDICATED (EXCLUDING UL DESIGN DESCRIPTIONS).
- J. THE TOP OF ALL PARTITIONS FRAMED AGAINST THE UNDERSIDE OF STRUCTURES SHALL HAVE PROVISIONS FOR DEFLECTION & RESTRAINT
- K. PROVIDE BULLNOSE BLOCK AT ALL EXPOSED OUTSIDE CORNERS OF CMU
- L. ALL METAL STUD PARTITIONS TO RECEIVE CERAMIC TILE SHALL BE CONSTRUCTED USING 20 GAUGE METAL STUDS @ 16" O.C.
- M. SEE STRUCTURAL DRAWINGS FOR RESTRAINT DETAILS AT THE TOP OF NON-LOAD
- BEARING CMU WALLS
- N. SEE STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT IN CMU WALLS
 - A. PROVIDE CONTROL JOINTS IN GYPSUM BOARD WALLS & CEILINGS.

FOR CEILINGS:

- INSTALL CONTROL JOINT IN AREAS EXCEEDING 2500SF • SPACE CONTROL JOINTS NOT MORE THAN 50 FEET O.C.
- INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING
- CHANGES DIRECTION.
- FOR PARTITIONS AND FURRING: INSTALL CONTROL JOINTS IN PARTITIONS AND WALL FURRING RUNS
- EXCEEDING 30FT.
- SPACE CONTROL JOINTS NOT MORE THAN 30 FT O.C.
- INSTALL CONTROL JOINTS IN FURRED ASSEMBLIES WHERE JOINTS OCCUR IN BASE SUBSTRATE OF EXTERIOR WALLS.
- CONTROL JOINTS IN FIRE-RESISTANT CONSTRUCTION REQUIRE FIRE-RATED JOINT SYSTEMS OR SPECIAL DETAILING. SEE DETAIL __/A___.
- O. FOR STUD CONSTRUCTION NOT EXTENDING TO THE STRUCTURE, PROVIDE DIAGONAL BRACING FROM TOP OF WALL TO STRUCTURE ABOVE. INSTALL AT 12'-0" MAX SPACING AND @ EACH DOOR JAMB
- P. MOISTURE RESISTANT GYPSUM BOARD TO BE USED IN ALL TOILET, SHOWER AND BATHROOMS. SUBSTITUTE CEMENT BACKING BOARD FOR GYPSUM BOARD DIRECTLY BEHIND ALL WALLS/SURFACES TO RECEIVE CERAMIC TILE
- Q. PROVIDE CONTROL JOINTS IN INTERIOR NON-LOAD BEARING MASONRY WALLS AT A SPACING NOT TO EXCEED 25 FT AND WHERE WALL THICKNESS OR HEIGHTS CHANGE. PROVIDE CONTROL JOINTS FOR FINISHES (TILE OR GYPSUM BOARD) THAT BRIDGE THESE JOINTS. CONTRACTOR TO SUBMIT DRAWING FOR APPROVAL
- R. FOR CMU WALLS INDICATED TO BE FIRE-RESISTANT RATED, PROVIDE UNITS MEETING THE FIRE RATING DURATION INDICATED BASE ON THE EQUIVALENT THICKNESS OF THE MASONRY AND TYPE OF AGGREGATE USED.
- S. REFER TO CODE COMPLIANCE PLANS FOR PARTITION FIRE RESISTANCE RATINGS.
- B. GYPSUM BOARD JOINT TREATMENT IN CONCEALED SPACES SHALL BE FIRE TAPED. UNLESS OTHERWISE INDICATED IN A SPECIFIC UL DESIGN, JOINTS SHALL BE FIRE TAPED, AND JOINTS AND FASTENER HEADS COVERED WITH (1) COAT OF JOINT COMPOUND. BASE LAYERS IN MULTI-LAYER SYSTEMS ARE NOT REQUIRED TO HAVE JOINTS OR FASTENER HEADS TAPED OR COVERED WITH JOINT COMPOUND.



Material symbols

Und	disturbed earth		Steel - large scale (Other metals as noted)	Batt insulation
Gra	avel or crushed stone		Steel - small scale (Other metals as noted)	Rigid insulation
Sto	one	\bowtie	Wood framing (continuous)	Wood blocking (intermittent)
Con	ncrete		Finish wood	
Con	ncrete masonry unit		Plywood	
Brid	ck		Gypsum, sand, mortar	

Architectural / Structural abbreviations

IB	Anchor bolt	DWV	Drainage waste & vent	LH	Left hand, Latent heat	RF	Resilient flooring
VC	Air condition(ing) (ed)	DWG	Drawing	LN	Linear	RFG	Roofing
CC	Accessible	DWL	Dowel	LKR	Locker	RH	Right hand, Roof hatch
ICCU ICI	Air cooled condensing unit American Concrete Institute	E EA	East Each	LL LLH	Live load Long leg horizontal	RM RO	Room Rough opening
CT	Acoustical ceiling tile	EBCNYS	Existing Building Code of New York State	LLV	Long leg vertical	ROW	Right of way
CM	Asbestos containing material	EC	Electrical contractor	LOC	Location	RTU	Roof top unit
	Acoustical panel	EF EIFS	Each face Exterior insulation and finish system	LRFD LT	Load & resistance factor design Light	RV RWB	Roof vent Rubber wall base
NDDL	Access panel Additional	EJ	Expansion joint	LTG	Lighting	S	South
DJ	Adjustable, adjacent	ELAS	Elastomeric	LWC	Light-weight concrete	SAB	Sound attenuation batts
DH	Adhesive	EL	Elevation	MACH	Machine	SAN	Sanitary
NFF NGGR	Above finished floor Aggregate	ELEC ELEV	Electric(al) Elevator	MAINT MAS	Maintenance Masonry	SC SCHED	Solid core, Shading coefficient Schedule
HU	Air handling unit	EM	Entry mat, Expanded metal	MATL	Material	SEAL	Sealer on floor (finish)
ISC	American Institute of Steel Construction	EMER	Emergency	MAX	Maximum	SECT	Section
ISI	American Iron and Steel Institute	ENCL	Enclosure	MC	Mechanical contractor	SF	Square foot, Safety factor
LT LUM	Alternate Aluminum	ENGR EOS	Engineer Edge of slab	MCB MDO	Metal corner bead Medium density overlay	SFRM	Sprayed fire-resistive Material
NOD	Anodized	EP	Electric panel	MDF	Medium density fiberboard	SGT	Structural glazed tile
PPROX	Approximate	EQ	Equal	MECH	Mechanical	SHT	Sheet
RCH	Architect(ural)	EQUIP ES	Equipment	MEP MEZZ	Mechanical, electrical, plumbing and fire protection	SHR SIM	Shower Similar
NRD NSD	Auxillary roof drain Allowable stress design	ETC	Emergency shower Et cetera	MFR	Mezzanine Manufacturer	SOG	Slab on grade
STM	American Society for Testing and Materials	ETR	Existing to remain	MH	Manhole	SP	Standpipe, Sump pit
WP	Acoustical wall panel	EW	Each way	MM	Millimeter	SPA	Spaces
WS BAT	American Welding Society Batten	EWC EXIST	Electric water cooler Existing	M FRC M N	Mastic/intumescent fire-resistive coating Minimum	SPKR SPEC	Speaker Specification
3/B	Back to back	EXC	Excavation, Excavate	MISC	Miscelaneous	SQ	Square
BD	Base board	EXP	Expand, Expansion	MLWK	Millwork	SRD	Secondary roof drain
CNYS	Building Code of New York State	EXT	Exterior, External, Extinguisher	MO	Masonry opening	SS	Service sink
BITUM BD	Bituminous Board	F/F FAAP	Face to face Fire alarm annunciator panel	MRK BD MTD	Marker board Mounted	SSM SSP	Solid surface material Stainless steel pipe
BLDG	Building	FACP	Fire alarm control panel	MTL	Metal	SST	Stainless steel
BLKG	Blocking	FD	Floor drain	MULL	Mullion	ST	Stain
BM BOT	Beam, Benchmark	FDTN	Foundation	N NAT	North Natural	STA STC	Station
BOT BR	Bottom Bedroom	FE FEC	Fire extinguisher Fire extinguisher cabinet		Natural Noncombustible	STD	Sound transmission class Standard
BRG	Bearing	FHC	Fire hose cabinet	NIC	Not in contract	ST FF	Stiffener
BRZ	Bronze	FN	Finish(ed)		Number	STL	Steel
SSMT STWN	Basement Between	FIXT FLASH	Fixture Flashing	NOM NORM	Nominal Normal	STOR STR	Storage Straight, Stringers
BUR	Built up roofing	FLEX	Flexible	NRC	Noise reduction coefficient	STRUCT	Structural
BW	Both ways	FLOUR	Fluorescent	NTS	Not to scale	SUSP	Suspended
CTV	Closed circuit television	FLG	Flooring, flange	NWC	Normal weight concrete	SV	Sheet vinyl
CAB CB	Cabinet Catch basin, Corner bead	FO FP	Finished opening Fire protection, Fireproof	O/O OA	Out to out Overall, Outside air	SY T	Square yard Tread
CH BD	Chalkboard	FRTW	Fire retardant treated wood	OC	On center	Ť/	Top of
EM	Cement	FT	Foot, Feet	OD	Outside diameter	T&B	Top and bottom
F	Contractor furnished	FTG	Footing	OF/CI	Owner furnished, Contactor installed	T&G	Tongue and groove
CFMF CF/CI	Cold-formed metal framing Contractor furnished/ Contractor installed	FTR FURN	Finned tube radiation Furnace, Furniture, Furnish	OF/OI OFD	Owner furnished, Owner installed Overflow drain	TEL THRES	Telephone Threshold
F/OI	Contractor furnished/ Owner installed	FUT	Future	OFF	Office	TEMP	Temporary
G	Corner guard	FWC	Fabric wall covering	OH	Opposite hand	TER	Terrazzo
H	Coat hook Cast iron	GA GAL	Gage Gallon	OH DR OPNG	Overhead (coiling) door Opening	THK TK BD	Thick(ness) Tack board
P	Cast in place, Cast iron pipe	GALV	Galvanized	OPP	Opposite	TMPD	Tempered
ມ	Control joint	GB	Grab bar	OPT	Optional, Optimum	TOC	Top of concrete
L	Centerline	GC	General contract(or)	OZ	Ounce	TOM	Top of masonry
LG LO	Ceiling Closet	GFRC GFRG	Glass fiber reinforced concrete Glass fiber reinforced gypsum	PA PBD	Public address Particleboard	TOPO TOS	Topography, Topographic Top of steel
LR	Clear, Color	GL	Glass, Ground level	PC	Plumbing contractor, Portland cement	TOW	Top of wall
MT	Ceramic mosaic tile	GL BLK	Glass block	PCC	Precast concrete	TPD	Toilet paper dispenser
MU	Concrete masonry unit	GLU LAM	Glued laminated beam	PCT PED	Porcelain ceramic tile	TSTAT	Thermostat
ONTR	Counter Cleanout, Cased opening, Company	GR GWT	Grade, Gross Glazed wall tile	PEND	Pedestal Pendant	TV TYP	Television Typical
OL	Column	GYP	Gypsum	PER	Period	Ü	Heat transfer coefficient
CONC	Concrete	GYP BD	Gypsum board	PERF	Perforated	UC	Undercut
CONF	Conference Connect(ion)	HB	Gypsum plaster Hose bibb	PGBD PL	Peg board Plate, Property line	UCL UGND	Under cabinet lighting Underground
ONSTR	Construction	HC	Hollow core, Hose cabinet	PLF	Ponds per linear foot	UH	Unit heater
CONT	Continue(ous)	HCP	Handicapped	PLAM	Plastic laminate	UL	Underwriter's laboratories
CONTR	Contract(or)	HDW HDWD	Hardware Hardwood	PLAS	Plaster	UNEX UNFIN	Unexcavated Unfinished
COORD CPT	Coordinate Carpet	HDWD HM	Hardwood Hollow metal	PLB PLYWD	Plumbing Plywood	UNFIN	Untinished Unless otherwise noted
SJ	Construction joint	НО	Hold open	PNL	Panel	UTIL	Utility
SK	Counter sunk	HORIZ	Horizontal	POL	Polished	UV	Unit ventilator
T TR	Ceramic tile, Count, Current transformer Center	HP HR	High point, Horsepower Hour	PORC POS	Porcelain Positive, Position	VARN VB	Varnish(ed) Vinyl base
CW	Cold water piping, Casement window	HSS	Hollow structural section	PPT	Pressure-preservative treated	VCT	Vinyl composition tile
U	Cubic	HT	Height	PR	Pair Partheisete	VENT	Ventilation
CUH CU YD	Cabinet unit heater Cubic vard	HTG HTR	Heating Heater	Prefab Prefin	Prefabricate Prefinish	VERT VEST	Vertical Vestibule
)	Deep, Depth	HVAC	Heating, ventilating and air conditioning	PREP	Preparation	VEST	Verify in field
)	Penny (nail)	HW	Hot water	PROJ	Project	VIN	Vinyl
lb)BL	Bar diameter Double	HYD ID	Hydrant Inside diameter	PROJ SCR PSF	N Projection screen Pounds per square foot	VOL VR	Volume Vapor retarder
DEFS	Direct-applied exterior finish system	IN	Inches	PSI	Pounds per square foot Pounds per square inch	VK	Vinyl tile
)EG	Degree	INCL	Included	PT	Paint, Post tension	V SHT	Vinyl sheet
EMO	Demolition	INCAND	Incandescent	PTN	Partition	VWC	Vinyl wall covering
)ept)et	Department Detail	INFO INSUL	Information Insulation	PVC PVG	Polyvinyl chloride (plastic) Paving	W W/	West With
)F	Drinking fountain	INTERM	Intermediate	QT	Quarry tile	WC	Water closet, Wall covering
IA OR ø	Diameter	INT	Interior	QTR	Quarter	W/O	Without
)IAG	Diagonal, Diagram	JAN	Janitor laint	QTY	Quantity	WDW	Wood
) M) FF	Dimension Diffuser	JST JT	Joist Joint	R RB	Riser, Radius, Thermal resistance Rubber base, Resilient base	WDW WF	Window Wide flange
)R	Direction	KIP	1000 Pounds	RCP	Reinforced concrete pipe, Reflected ceiling plan	WD GD	Wood guard
ISP	Dispenser	KIT	Kitchen	RD	Roof drain, Road	WH	Water heater
)IV)MPF	Division Damp proofing	KO KPL	Knockout Kick plate	REC REF	Recessed Refrigerator	WI WM	Wrought iron Wire mesh
)L	Dead load	L	Liter, Angle	REFL	Reflect	WP	Waterproofing, Working point
N	Down	LAM	Laminate(d)	REG	Register, Regulation	WR	Water repellent, weather resistant
)O	Ditto	LAU	Laundry	RE NF	Reinforced Poquired		Waste receptacle Wainscot
OR OS	Door, Drive Downspout	LAV LB	Lavatory Pound	REQD RES L	Required Resilient	WSCT WT	Wainscot Weight, Watertight, Water table
)W	Dishwasher	LBL	Label	REV	Revision	WWF	Welded wire fabric
		LD	Load			X	By
		LF	Linear feet (foot)			YD	Yard



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Drawn By: Checked By: YS Project Manager: YS

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Revisions

Roc Pho Shop Restaurant 339 Jefferson Rd Rochester, NY 14623

SWBR Project Number 22199.00

Magnolia Property Holdings, 37 Shetland Circle, Rochester, NY 14624

G-001

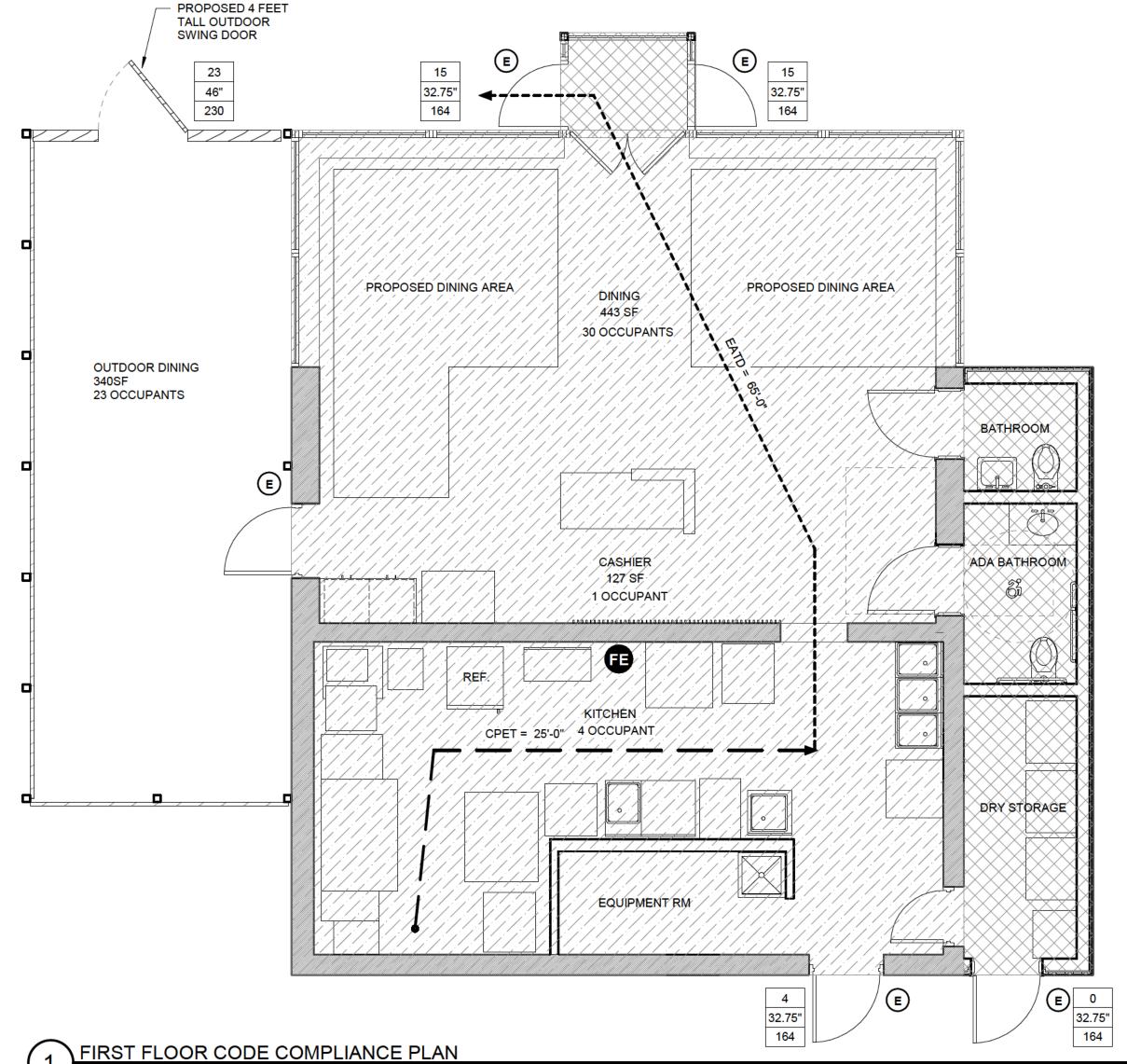
GENERAL NOTES AND LEGENDS

CODE COMPLIANCE PLAN LEGEND EXIT. MAINTAIN OPERATIONAL AT **ADDITION** ALL TIMES DURING CONSTRUCTION POINT OF - DECISION COMMON PATH OF EGRESS TRAVEL EXIT DISCHARGE ORIGIN CPET = X'-X''HORIZONTAL EXIT REPLACEMENT OF EXISTING BUILDING SYSTEMS (WALLS, CEILING ASSEMBLIES, CPET = X'-X" FLOOR FINISHES, AND ASSOCIATED BUILDING EXIT ACCESS TRAVEL DISTANCE EXIT DISCHARGE INFRASTRUCTURE SYSTEMS) WITH NEW EATD = X'-X''EATD = X'-X''SYSTEMS FULFILLING THE SAME PURPOSE. EXTERIOR PROTECTIVE OPENING ALTERATION LEVEL 2: RECONFIGURATION OF EXISTING SPACE TO AUTOMATED EXTERNAL DEFIBRILLATOR EXIT LOAD PROVIDE NEW FUNCTION AS LABELED. SEE AUTOMATED EXTERNAL DEFIBRILLATOR Χ" CLEAR EXIT WIDTH (INCHES) DETAIL PLANS. X FIRE EXTINGUISHER EXIT CAPACITY (OCCUPANTS) CHANGE OF OCCUPANCY: CHANGE IN THE PURPOSE OR LEVEL OF EXIT SIGN ACTIVITY WITHIN A SPACE THAT INVOLVES A CHANGE IN APPLICATION OF CODE ACCESSIBLE ENTRANCE, EXIT REQUIREMENTS. OR TOILET ROOM INDICATES FIRE-RESISTANT WALL CONSTRUCTION OF VARIOUS TYPES AND HOURLY RATINGS. SEE SPECIFIC CODE INFORMATION NOTE FIRE-RESISTANT CONSTRUCTION

CODE COMPLIANCE GENERAL NOTES

CODE COMPLIANCE DRAWINGS ARE INTENDED TO ASSIST IN THE PERMIT PROCESS AND TO PROVIDE GENERAL INFORMATION TO THE CONTRACTORS WITH RESPECT TO LIFE-SAFETY PROVISIONS OF THE PROJECT. THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE THE SCOPE OF OTHER WORK SPECIFICALLY INDICATED ELSEWHERE IN THE DOCUMENTS. THESE DRAWINGS SHALL BE USED FOR THE LOCATIONS OF FIRE-RESISTANT RATED WALL CONSTRUCTION.

WALL LEGEND.



IF YES:

HEIGHT IN FEET

10

WORK AREA

1.320

NA

NA

1,320

AREA PER TABLE 504.3 (HEIGHT IN FEET), 504.4 (HEIGHT IN STORIES) & 506.2 (AREA)

TABULAR AREA

SEPARATED FROM EXISTING WITH FIRE WALL?

IF YES, FIRE RESISTANCE RATING (Table 706.4 BCNYS):

(Chapter 11)

(Chapter 12)

(Chapter 14)

YES

IF NO, HEIGHT AND FIRE AREA OF ENTIRE BUILDING (EXISTING PLUS ADDITION) SHALL BE IN COMPLIANCE WITH CHAPTER

IF YES, CHAPTER 11 OF THE EBCNYS DOES NOT APPLY. THE ADDITION IS CONSIDERED A SEPARATE BUILDING AND NOT AN ADDITION TO THE EXISTING BUILDING. THE ADDITION SHALL COMPLY WITH THE BCNYS.

(Chapter 5)

HEIGHT IN STORIES

SAME FLOOR

FLOOR AREA

1,130

sf 1,130 sf 190

NA

NA

FOOTNOTE

190

NA

TABUL

FEET

sf NA

X ADDITION

HISTORIC BUILDING

HEIGHT & AREA - ACTUAL:

PROPOSED ADDITION

BUILDING HEIGHT

EXISTING

BUILDING AREA

BASEMENT

FIRST

SECOND

FOURTH

CLASS

FRONTAGE F =

PER METER P =

TOTAL (NOT INCLUDING BASEMENT)

HEIGHT & AREA - ALLOWABLE

OCCUPANCY CLASSIFICATION

THIRD

RELOCATED STRUCTURE

SEISMIC RETROFIT REQUIRED?

BUILDING DAT	TA & CODE I	REVIEW		FIRE PROTECTION SYSTEMS:	
				Indicate size and location of fire areas of	n code
PROJECT NAME:	Roc Pho Shop Restaurant 21180.00	t		FIRE PROTECTION SYSTEM	
SWBR PROJECT NUMBER:	21160.00 YS	Lourageney	l ys	AUTOMATIC SPRINKLER	
PREPARED BY: DATE:	10/27/2022	CHECKED BY: DATE:	11/18/2022	ALTERNATIVE AUTO FIRE EXT	
				STANDPIPE	
BUILDING DATA & CODE SUMMA	RY - 2020 NEW YORK STATE	UNIFORM CODE		PORTABLE FIRE EXTINGUISHER	
OCCUPANCY CLASSIFICATION:		(Chapter 3)		FIRE ALARM & DETECTION	
x SINGLE		, , ,		EMERGENCY ALARM	
MIXED OCCUPANCY	SEPARATED	NON-SEPARATED	COMBINATION OF BOTH	SMOKE CONTROL SYSTEM	
IF SEPARATED, FIRE RES	ISTANCE RATING OF FIRE B	ARRIER (Table 508.4):	— HR	SMOKE & HEAT REMOVAL	
OCCUPANCY CLASSIFICATION				FIRE COMMAND CENTER	
USE(S):	Restaurant			FIRE DEPARTMENT CONNECTIONS	i
(-).				FIRE PUMPS	
ONSTRUCTION CLASSIFICATION	N: (Chapter 6) TYPE VB			EMERGENCY RESPONDER SAFETY	,
				CARBON MONOXIDE DETECTION	
UTOMATIC SPRINKLER SYSTEM	_	YES	X NO	GAS DETECTION SYSTEMS	
NFPA STANDARD:	∐ 13	13R	13D	MASS NOTIFICATION SYSTEMS	
EHABILITATION OF EXISTING S				EMERGENCY RESPONDER RADIO	Т
		defined in Chapter 6 Existing Building (Code of the 2020 Existing Building Code of		
ew York State				MEANS OF EGRESS:	
COMPLIANCE PATH METHOD				DESIGN OCCUPANT LOAD SUMMAR	RY - T/
PRESCRIPTIVE METHOD: CH	•				[
WORK AREA METHOD: CH. 3	•			FLOOR LEVEL	(V
PERFORMANCE METHOD: C	H. 3; CH. 13			BASEMENT	\perp
REPAIR	(Chapter 4)			FIRST	
ALTERATION - LEVEL 1	(Chapter 7)			SECOND	_
ALTERATION - LEVEL 2	(Chapter 8)			THIRD	_
ALTERATION - LEVEL 3	(Chapter 9)			FOURTH	
CHANGE OF OCCUPANCY	(Chapter 10))		TOTAL	丄
FORMER OCCUPANCY CL	ASSIFICATION: A	-2	_		
NEW OCCUPANCY CLASS	IFICATION: A	-2		MEANS OF EGRESS ELEMENT	\perp
PARTIAL CHANGE OF OCC	UPANCY:	YES X	NO	NUMBER OF EXITS	\perp
		= =			- 1 -

NOT SEPARATED

sf NA

sf NA

sf NA

1,320

IRE PROTECTION SYSTEMS:		(Chapter 9)	
Indicate size and location of fire areas on code	compliance drawing		
FIRE PROTECTION SYSTEM	REQUIRED	PROVIDED	SECTIO
AUTOMATIC SPRINKLER	N	N	(903)
ALTERNATIVE AUTO FIRE EXT	Υ	Y	(904)
STANDPIPE	N	N	(905)
PORTABLE FIRE EXTINGUISHER	Υ	Y	(906)
FIRE ALARM & DETECTION	N	Y	(907)
EMERGENCY ALARM	N	N	(908)
SMOKE CONTROL SYSTEM	N	N	(909)
SMOKE & HEAT REMOVAL	N	N	(910)
FIRE COMMAND CENTER	N	N	(911)
FIRE DEPARTMENT CONNECTIONS	N	N	(912)
FIRE PUMPS	N	N	(913)
EMERGENCY RESPONDER SAFETY	N	N	(914)
CARBON MONOXIDE DETECTION	N	Y	(915)
GAS DETECTION SYSTEMS	N	N	(916)
MASS NOTIFICATION SYSTEMS	N	N	(917)
EMERGENCY RESPONDER SAFETY CARBON MONOXIDE DETECTION GAS DETECTION SYSTEMS	N N	Y N	

DESIGN OCCUPANT LOAD SUMI	MARY - TABLE 1004.5	
FLOOR LEVEL	DESIGN OCCUPANT LOAD (WORK AREA - EXIST BLDG.)	DESIGN OCCUPANT LOAD (FLOOR)
BASEMENT	NA	NA
FIRST	35 (OUTDOOR SEATING FXCLUDED)	35
SECOND	NA ,	NA
THIRD	NA	NA
FOURTH	NA	NA
TOTAL	35	35

PLUMBING FIXTURE	REQUIREMENT	S:				(Chapte	er 29)						
OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS MEN WOMEN		URII	NALS	D	.F.	М	LAVAT EN	ORIES	MEN		
A-2	58 (OUTDOOR SEATING INCLUDED)	REQURED 1	PROVIDED 1	REQUIRED	PROVIDED 1	REQUIRED N	PROV DED	REQUIRED N	PROVDED	0.5	0.5	0.5	PROVIDED 0.5
SEPARATE FAC	LITIES FOR EAC	H GENDE	R REQU	JIRED?		X YES			□ NO		(290	2.2)	

PLUMBING FIXTURE REQUIREMENTS (EXISTING STRUCTURES):							
OTHER PLUMBING FIXTURE REQUIREMENTS?	DRINKING FOUNTAIN: RES AS A SUBSTITUTION.	TAURANT PROVIDE WAT	TER FREE OF CHARG				
LOCATION OF PUBLIC FACILITIES COMPLIES?	X YES	NO	(2902.3.2)				
LOCATION OF EMPLOYEE FACILITIES COMPLIES?	? X YES	□ NO	(2902.3.2)				
SEPARATE EMPLOYEE FACILITIES REQUIRED?	☐ YES	X NO	(2902.3)				

DOES THE CALCULATED OCCUPANT LOAD OF THE STORY INCREASE BY <u>GREATER THAN</u> 20% AS A RESULT OF THE ALTERATION? (FOR LEVEL 2 AND LEVEL 3 ALTERATIONS)
(IF NO, THE QUANTITY OF PLUMBING FIXTURES ON THE WORK AREA FLOOR LEVEL

SHALL NOT BE REQUIRED TO BE REVIEWED AND/OR INCREASED).

st	NA	st	DOES THE CHANGE OF OCCUPANCY RESULT IN A NEW OCCUPANCY WHICH IS SUBJECT	
sf	NA	sf	TO INCREASED OR DIFFERENT PLUMBING FIXTURE REQUIREMENTS OR TO INCREASED	
sf	1,320	sf	WATER SUPPLY REQUIREMENTS IN ACCORDANCE WITH THE PLUMBING CODE. (IF NO, THE QUANTITY OF PLUMBING FIXTURES ON THE WORK AREA LEVEL SHALL	
			NOT BE REQUIRED TO BE REVIEWED AND/OR INCREASED).	
				_
			ACCESSIBILITY (EXISTING STRUCTURES):	
LAR HEIGHT			DOES THE ALTERATION WORK AREA OR PARTIAL CHANGE OF OCCUPANCY AFFECT THE ACCESSIBILITY TO OR CONTAIN AN AREA OF PRIMARY FUNCTION.	
STORIES	F00	TNOTE		
1	1	NS	ARE ANY OF THE EXCEPTIONS TO 705.2 APPLICABLE TO THE SCOPE OF WORK? 1. COST OF ACCESSIBLE UPGRADES WOULD EXCEED 20% OF THE CONSTRUCTION.	
			1. OCCI OI ACCECCICLE OI CIVADEC WOOLD EACHED 20 /0 OI THE CONSTRUCTION.	

EXIT ACCESS TRAVEL DISTANCE

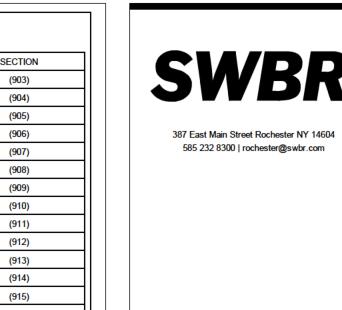
DEAD-END L MIT

						$\overline{}$
FOOTNOTE	ES:					
"NS" =	BUILDINGS "NOT" EQ	QUIPPED THROUGH	HOUT WITH AN AUTOM	ATIC SPRINKLER SYS	TEM.	
"S1" =	BUILDINGS A MAXIM	UM OF ONE STORY	Y ABOVE GRADE PLAN	E EQUIPPED THROUG	SHOUT WITH AN AL	JTOMATIC
	SPRINKLER SYSTEM	I INSTALLED IN ACC	CORDANCE WITH SECT	TION 903.3.1.1 (NFPA	13 SPRINKLER SYS	STEM).
"SM" =	BUILDINGS TWO OR	MORE STORIES A	BOVE GRADE PLANE E	QUIPPED THROUGHO	OUT WITH AN AUTO	DMATIC
	SPRINKLER SYSTEM	I INSTALLED IN ACC	CORDANCE WITH SECT	TION 903.3.1.1 (NFPA	13 SPRINKLER SYS	STEM).
"S" =	BUILDINGS EQUIPPE	D THROUGHOUT V	WITH AN AUTOMATIC S	PRINKLER SYSTEM IN	NSTALLED IN ACCO	ORDANCE WITH
	SECTION 903 3.3.1 (N	NFPA 13 SPRINKLE	R SYSTEM) (USED FOR	ALLOWABLE HEIGH	T IN FEET AND STO	RIES)
"S13R" =	BUILDINGS EQUIPPE	ED THROUGHOUT V	WITH AN AÚTOMATIC S	PRINKLER SYSTEM IN	NSTALLED IN ACCO	ORDANCE WITH
	SECTION 903 3.1.2 (N					
"S13D" =	BUILDINGS EQUIPPE	ED THROUGHOUT V	WITH AN AUTOMATIC S	PRINKLER SYSTEM IN	NSTALLED IN ACCO	ORDANCE WITH
	SECTION 903 3.1.3 (N	NFPA 13D SPRINKL	ER SYSTEM).			
	·		`			
AREA INCREA	ASE - FRONTAGE (506	6.3) YES	NO			

FRONTAGE INCREASE If =	28.57 ft 0.48	(30 FEET MAX.) (NOT TO EXCEED .75)
ALLOWABLE BUILDING AREA - 9	SINGLE STORY: FRONTAGE INCREASE)		
EQUATION 5-1	,		
ALLOWABLE AREA Aa = At + (NS x If)	A-2 OCCUPANCY GRO	OUP 8,800	SF
ALLOWABLE AREA Aa = At + (NS x If)	OCCUPANCY GRO	DUP	SF
ALLOWABLE AREA Aa = At + (NS x lf)	OCCUPANCY GRO	OUP	SF

ECIAL DETAILED REQUIREMENTS BASED ON USE AND O	— Con Arter (onapies 4)
Covered mall and open mall buildings [402]	Drying rooms [417]
High-rise buildings [403] – Occupied floors > 75 feet	Organic coatings [418]
Atriums [404]	Live/Work units [419]
Underground buildings [405]	Group I-1, R-1, R-2, R-3, R-4 [420]
Motor vehicle related occupancies [406]	Hydrogen fuel gas rooms [421]
Group I-2 (health care) [407]	Ambulatory care facilities [422]
Group I-3 (correctional or detention) [408]	Storm shelters [423]
Motion picture projection rooms [409]	Children's play structures [424]
Stages, platforms, technical production areas [410]	Hyperbaric facilities [425]
Special amusement buildings [411]	Combustible dusts, grain processing & storage [426]
Aircraft related occupancies [412]	Medical Gas Systems [427]
Combustible storage [413]	Higher Education Laboratories [428]
Hazardous materials [414]	Healthcare Facilities [429]
Group H1 through H5 [415]	Live Fire Training Facility [430]

NOT BE REQUIRED TO BE REVIEWED AND/OR INCREASED).	
ACCESSIBILITY (EXISTING STRUCTURES):	
DOES THE ALTERATION WORK AREA OR PARTIAL CHANGE OF OCCUPANCY AFFECT THE ACCESSIBILITY TO OR CONTAIN AN AREA OF PRIMARY FUNCTION.	(2020 EBCNYS 305.7) X YES NO N/A
ARE ANY OF THE EXCEPTIONS TO 705.2 APPLICABLE TO THE SCOPE OF WORK? 1. COST OF ACCESSIBLE UPGRADES WOULD EXCEED 20% OF THE CONSTRUCTION. 2. ALTERATION LIMITED TO WINDOWS, HARDWARE, CONTROLS, OUTLETS, SIGNS. 3. ALTERATION LIMITED TO MECHANICAL, ELECTRICAL, FIRE PROTECTION, HAZ MAT. 4. PRIMARY PURPOSE OF ALTERATION IS INCREASING THE ACCESSIBILITY. 5. ALTERATION LIMITED TO TYPE B DWELLING AND SLEEPING UNITS.	(2020 EBCNYS 305.7) YES X NO N/A
IF RESPECTIVELY "YES-NO" RESPONSES ABOVE, DOES PROJECT INCLUDE SCOPE FOR REQUIRED ACCESSIBILITY UPGRADES?	(2020 EBCNYS 305.7) X YES NO N/A
FOR A COMPLETE CHANGE OF OCCUPANCY HAVE ALL OF THE FOLLOWING ACCESSIBLE FEATURES BEEN PROVIDED?	
1. NOT FEWER THAN ONE ACCESSIBLE BUILDING ENTRANCE.	YES NO X N/A
NOT FEWER THAN ONE ACCESSIBLE ROUTE FROM AN ACCESSIBLE BUILDING ENTRANCE TO PRIMARY FUNCTION AREAS.	YES NO X N/A
SIGNAGE COMPLYING WITH SECTION 1111 OF THE BUILDING CODE OF NEW YORK STATE.	YES NO X N/A
4. ACCESSIBLE PARKING, WHERE PARKING IS BEING PROVIDED.	YES NO X N/A
NOT FEWER THAN ONE ACCESSIBLE PASSENGER LOADING ZONE, WHERE LOADING ZONES ARE PROVIDED.	YES NO X N/A
NOT FEWER THAN ONE ACCESSIBLE ROUTE CONNECTING ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES TO AN ACCESSIBLE ENTRANCE	YES NO X N/A



SECTION

(Table 1006.3.2)

(Table 1017 2)

(1020.4)

X YES NO N/A

YES X NO N/A

(2020 EBCNYS 1009.1)

585 232 8300 | rochester@swbr.com



Drawn By: Checked By: YS Project Manager: YS

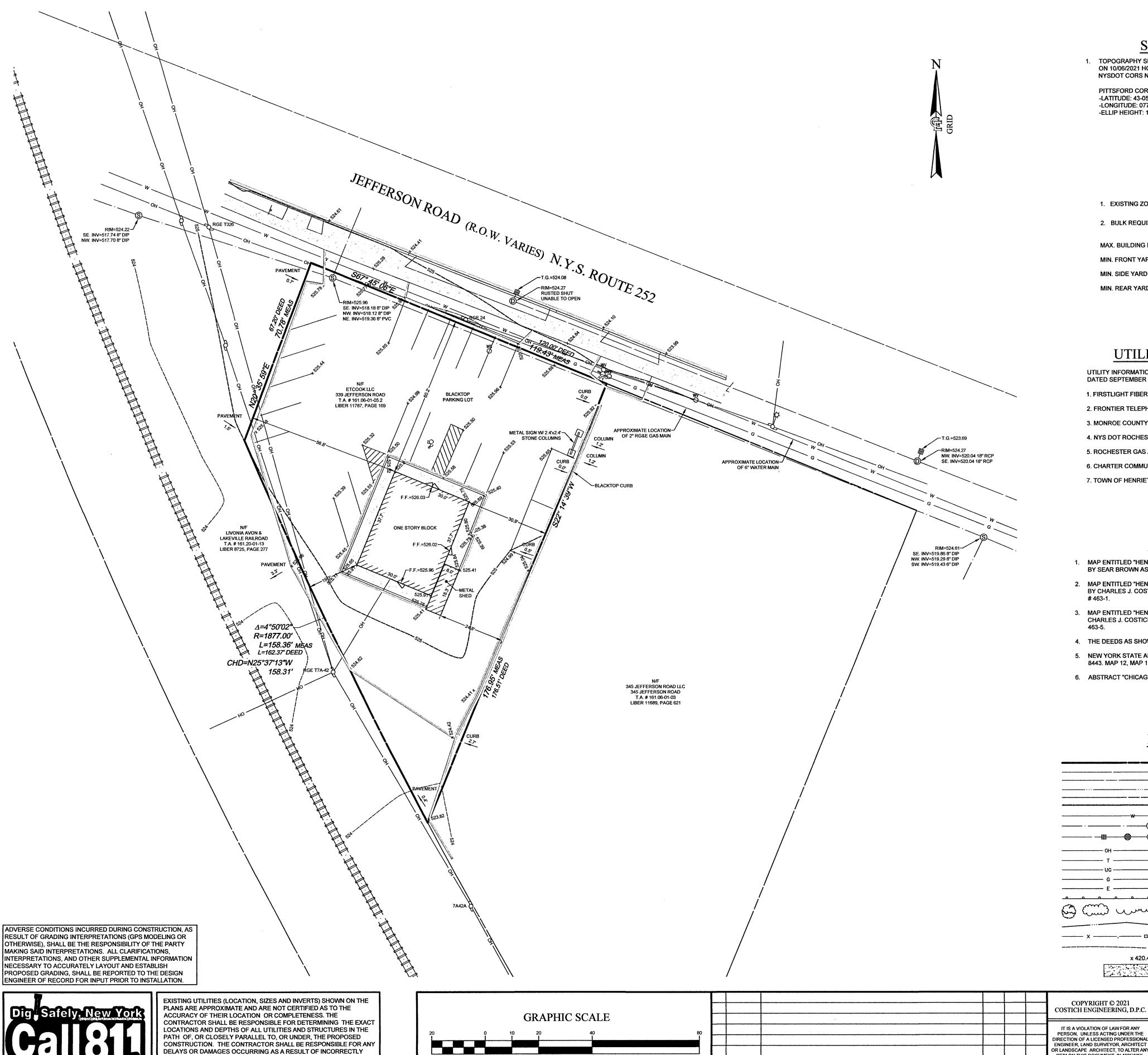
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Roc Pho Shop Restaurant 339 Jefferson Rd Rochester, NY 14623 SWBR Project Number 22199.00

Magnolia Property Holdings, LLC 37 Shetland Circle, Rochester, NY 14624

G-002

CODE COMPLIANCE DRAWINGS AND FIRE SAFETY PLANS



(IN FEET)

1 inch = 20 ft.

DATE REVISION

OCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO

NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO

NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48

HOURS IN ADVANCE OF COMMENCING ANY WORK.

LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO

SURVEY NOTES

- 1. TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 10/06/2021 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT
- PITTSFORD CORS STATION -LATITUDE: 43-05-35.48461 (N) NAD 83 (CORS) -LONGITUDE: 077-31-31.11244 (W) -ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORS)

SITE DATA

- 1. EXISTING ZONING: B-1 (COMMERCIAL DISTRICT) WITH MIXED USE REDEVELOPMENT AREA OVERLAY DISTRICT
- 2. BULK REQUIREMENTS:
- REQUIRED
- MAX. BUILDING HEIGHT (FT)
- MIN. FRONT YARD SETBACK (FT) 125
- MIN. SIDE YARD SETBACK (FT)
- MIN. REAR YARD SETBACK (FT) 60

UTILITY INFORMATION

UTILITY INFORMATION PER UFPO DESIGN TICKET # 09271-000-524-000 DATED SEPTEMBER 27, 2021

1. FIRSTLIGHT FIBER 518-857-7836 NO RESPONSE

2. FRONTIER TELEPHONE OF ROCHESTER

3. MONROE COUNTY WATER AUTHORITY

4. NYS DOT ROCHESTER REGION 4

5. ROCHESTER GAS AND ELECTRIC

6. CHARTER COMMUNICATIONS 7. TOWN OF HENRIETTA

585-442-200 x 285 UTILITIES PLOTTED 585-753-7790 NO RESPONSE 585-771-4745 UTILITIES PLOTTED

585-777-7577 NO RESPONSE

317 575-7800 x 2 NO RESPONSE

585-359-7056 UTILITIES PLOTTED

REFERENCES

- MAP ENTITLED "HENRI-JEFF INDUSTRIAL PARK BOUNDARY MAP" PREPARED BY SEAR BROWN ASSOCIATES DATED AUGUST 25, 1967 HAVING DWG # 398-28.
- 2. MAP ENTITLED "HENRI-JEFF INDUSTRIAL PARK BOUNDARY MAP" PREPARED BY CHARLES J. COSTICH P.E., L.S. P.C., DATED OCTOBER 6, 1988 HAVING DWG
- 3. MAP ENTITLED "HENRI-JEFF INDUSTRIAL PARK PLAT MAP" PREPARED BY CHARLES J. COSTICH P.E., L.S. P.C., DATED OCTOBER 6, 1988 HAVING DWG #
- 4. THE DEEDS AS SHOWN ON FILE IN THE MONROE COUNTY CLERK'S OFFICE.
- 5. NEW YORK STATE APPROPRIATION MAPPING FOR JEFFERSON ROAD SH # 8443. MAP 12, MAP 13,AND MAP 76 PARCEL 82 & 85.
- 6. ABSTRACT "CHICAGO TITLE" SEARCH # 2116-3536SCH" DATED JULY 8, 2021.

LINE LEGEND

	SECTION/PARCEL BOUNDARY
	MIN. BUILDING SETBACK
	CENTER LINE
***************************************	EXIST. EASEMENT LINE
	EXIST. RIGHT-OF-WAY LINE
	EXIST. EDGE OF PAVEMENT
w ₩ ₩	EXISTING WATER MAIN, VALVE, & HYDRANT.
·	EXISTING SANITARY SEWER, & MANHOLE.
——————————————————————————————————————	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION.
	EXISTING OVERHEAD UTILITIES
	EXISTING TELEPHONE
UG UG	EXISTING UNDERGROUND UTILITIES
G G	EXISTING GAS
E	EXISTING ELECTRIC
<u> </u>	EXISTING GUARD RAIL
@ Communication	TREE,HEDGE,EDGE OF WOODS
	EXISTING SWALE
x, o	BARBED WIRE,STOCKADE,CHAIN LINKED FENCE
410	EXISTING CONTOUR

ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS

DOCUMENT IS REQUIRED BY LAW TO AFFD

"ALTERED BY", FOLLOWED BY HIS/HER

IGNATURE AND SPECIFIC DESCRIPTION OF

THE ALTERATION, TO THE DOCUMENT.

BY CHKD. APVL

SECTION/PARCEL BOUNDARY

x 420.4 EXISTING SPOT ELEVATION @ X CONCRETE PAD/ CONCRETE SIDEWALK

K.E.L. DUNDARY D.T.H. OPO/BASE G.L.R.

10/12/2021

Costich ENGINEERING

• CIVIL ENGINEERING • LAND

SURVEYING LANDSCAPE ARCHITECTURE

217 Lake Avenue Rochester, NY 14608

(585) 458-3020

339 JEFFERSON ROAD

EXISTING FEATURES PLAN

LOCATION SKETCH

ELECTRIC MANHOLE

ELECTRIC METER

PHONE BOOTH

LAMP POST

LIGHT POLE

FLAG POLE

MAILBOX

BOLLARD

POST

SIGN

SIGN

SIGN

HANDICAP

STOP BAR

TURNING ARROW

TREE DECIDUOUS

TREE CONIFEROUS

AIR CONDITIONING UNIT

SANITARY UTILITY LATH

TELEPHONE UTILITY LATH

ELECTRIC UTILITY LATH

CABLE UTILITY LATH

GAS UTILITY LATH WATER UTILITY LATH

PEDESTRIAN POLE

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

TRAFFIC CONTROL CABINET

UTILITY POLE WITH LIGHT

SYMBOL LEGEND

ф---p

POLE

00

STOP

0

SAN

DRAINAGE MANHOLE

END SECTION

END OF PIPE

SANITARY MANHOLE

MANHOLE

CLEAN OUT

GAS VALVE

GAS SERVICE

GAS METER

SPRINKLER VALVE

SPRINKLER HEAD

WATER VALVE

WATER METER

MONITOR WELL

SIGNAL POLE

UTILITY POLE

GUY WIRE

PULL BOX

CABLE TV PEDESTAL

ELECTRIC PULL BOX

TRAFFIC PULL BOX

TRANSFORMER

TELEPHONE PULL BOX

CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO

THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY

HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS

COMPLETED ON OCTOBER 6, 2021 AND FROM THE REFERENCE(S) LISTED

MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

HYDRANT

WATER SERVICE

o C.O.

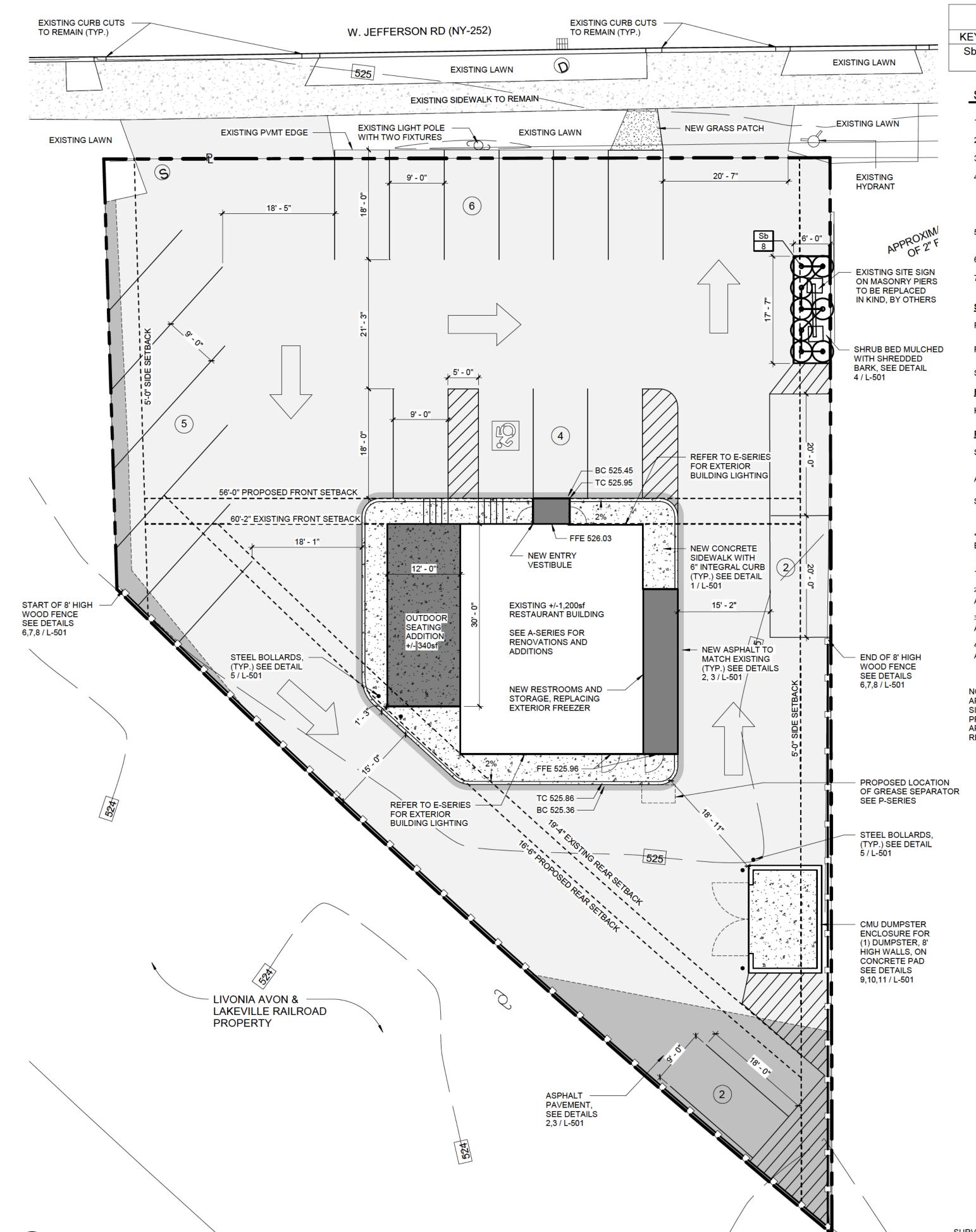
INLET DRAINAGE MANHOLE

OCATION OF PROJECT TAX PARCEL NO. 161.06-01-05.2 TOWN LOT 3, FIFTH RANGE, TOWNSHIP 12, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

SWBR ARCHITECTS 309 SOUTH FRANKLIN STREET SYRACUSE, NEW YORK 13202

VA100

OVERALL SITE PLAN



	SHRUBS									
	KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE				
=	Sb	1	Spiraea x bumalda 'Anthony Waterer'	Bumald spirea	#3 Cont.	18 - 24" sp.				

PROPOSED

SITE DATA

- 1. TAX ACCOUNT NUMBER: 161.06-01-05.2
- 2. PARCEL ADDRESS: 339 JEFFERSON RD
- 3. TOTAL PARCEL AREA: 0.33 ACRES
- 4. EXISTING ZONING: B-1 WITH MIXED USE REDELOPMENT OVERLAY DISTRICT
- PROPOSED ZONING: B-1 WITH MIXED USE REDELOPMENT OVERLAY DISTRICT
- 5. EXISTING USE: RESTAURANT PROPOSED USE: RESTAURANT1
- 6. WITHIN 100 YEAR FLOODPLAIN
- 7. AREA REQUIREMENTS:

	REQUIRE
SETBACK	

<u>SETBACK</u>		
FRONT ²	125' (60'-4" SET BACK FOR EXISTING STRUCTURE)	56' *
REAR ³	60' (19'-4" SET BACK FOR EXISTING STRUCTURE)	15'-6"
SIDE	5'	30'-10"
BUILDING		
HEIGHT	30' PER ZONING 40' PER BUILDING CODE	15'-6"
PARKING		
SPACES ⁴	21 (BASED ON 53 CUSTOMERS & 5 STAFF)	19
ADA SPACE	1 (PER IBC 2018)	1
SPACE SIZE	18' x 9' 20' x 10' PARALLEL	18' x 9' 20' x 10' PARALLEL

- * ON THE SAME SIDE OF JEFFERSON RD, 351 JEFFERSON RD'S SET BACK IS AROUND 30'.
- ¹ SPECIAL USE PERMIT APPLICATION No. 2022-49, MEETING 12/14/2022
- ² PER TOWN CODE 295-19A. VARIANCE APPLICATION No. 2022-084, APPROVED 12/7/2022
- ³ PER TOWN CODE 295-19C. VARIANCE APPLICATION No. 2022-086, APPROVED 12/7/2022
- ⁴PER TOWN CODE 295-44A. VARIANCE APPLICATION No. 2022-085,

APPROVED 12/7/2022

NOTE: AS AN INTEGTRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

LANDSCAPE AND PAVING LEGEND

PROPERTY LINE

---- SETBACK LINE



CONCRETE PAVING



EXISTING ASPHALT PAVING TO BE RESEALED AND STRIPED



NEW ASPHALT PAVING



8' HIGH WOOD FENCE

GENERAL LANDSCAPE NOTES

- 1. THE CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS AND PAY ALL REQUIRED FEES BY GOVERNING AGENCIES HAVING JURISDICTIONS OVER THE FACILITIES AND NATURAL FEATURES FOUND ON THE SITE.
- 2. ALL WORK AND AMENITIES SHOWN ON THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS "NEW" UNLESS INDICATED TO BE "EXISTING".
- 3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION SITE DISTURBANCE. 4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND MAKE ALL
- NECESSARY PROVISIONS FOR PROTECTION OF THE PUBLIC, THE WORKMEN AND THE WORK, AND FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
- 5. THE CONTRACTOR SHALL ADHERE TO ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL SAFETY REGULATIONS. 6. PROMPTLY REPORT TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES FOUND
- ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION, PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION. 7. SEE CIVIL ENGINEERS DRAWINGS FOR GRADING AND DRAINAGE INFORMATION NOT

PLANTING NOTES

SHOWN IN THESE DRAWINGS.

- 1. ALL TOPSOIL SHALL BE SCREENED LOAM SURFACE SOIL, FREE OF STONES AND SHALL HAVE THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. AN ORGANIC CONTENT OF 5% MIN.
 - B. SOIL ACIDITY RANGE OF pH 6.5 TO pH 7.2
 - C. SOLUBLE SALTS OF 1000 PPM OR LESS D. MAXIMUM CLAY CONTENT OF 15-20%
- 2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A CERTIFIED SOIL TEST ANALYSIS OF ON SITE AND / OR IMPORTED TOPSOIL. TOPSOIL ANALYSIS TO INCLUDE THE FOLLOWING DATA:
- A. pH FACTOR.

LANDSCAPE ARCHITECT.

- B. MECHANICAL ANALYSIS, INCLUDING SIEVE ANALYSIS PROVIDING SEPARATE SAND, SILT AND CLAY PERCENTAGES
- C. PERCENTAGE OF ORGANIC CONTENT BY WEIGHT
- D. NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHOROUS AND POTASSIUM 3. SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS; A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACIDITY
- RANGE OF pH 6.5 TO 7.2 INCLUSIVE. 4. COMPOST SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- A. ORGANIC CONTENT OF 35-60% (DRY WEIGHT BASIS) B. LOOSE AND FRIABLE WITH MOISTURE CONTENT OF 35-55% (WET WEIGHT BASIS) C. PARTICLE SIZE SHALL BE <1/2 INCH (100% PASSING)
- D. SOLUBLE SALTS CONCENTRATION SHALL BE <4.0 (DS/M), MAXIMUM
- E. pH RANGE OF 6.0-8.0 5. PLANTING BED AREAS SHALL BE PROVIDED WITH AN 18" MINIMUM DEPTH OF APPROVED
- PLANTING MIX SOIL, UNLESS OTHERWISE SPECIFIED. 6. PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF 4 PARTS IMPORTED OR ON-SITE SCREENED TOPSOIL AND 1 PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST
- IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL. 7. ALL AREAS DESIGNATED AS LAWN ON THESE PLANS SHALL RECEIVE APPROVED TOPSOIL (AND SPREAD TO A COMPACTED DEPTH OF SIX (6) INCHES (MIN.), UNLESS OTHERWISE SPECIFIED), BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. OBTAIN OWNER'S REPRESENTATIVE
- APPROVAL PRIOR TO SEEDING. 8. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER DETAILS. ANY DEVIATIONS FROM THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. 9. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF
- 10. ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO
- 11. ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 12. MULCH ALL PLANT BEDS WITH SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. MULCH SAMPLE TO BE SUBMITTED TO THE OWNER FOR FINAL APPROVAL. 13. ANY PLANT WHICH TURNS BROWN, DEFOLIATES OR DIES PRIOR TO FINAL
- ACCEPTANCE BY THE OWNER, OR LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE. 14. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS
- (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, AND FERTILIZING, AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING) AND LAWN AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. 15. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS, DELIVERY AND LABOR FOR A
- PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- 16. ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.



387 East Main Street Rochester NY 14604 585 232 8300 | rochester@swbr.com

BMM Drawn By: Checked By: Project Manager: YS These documents and all the ideas, arrangements designs and plans indicated thereon or presented

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Revisions

Roc Pho Shop Restaurant 339 Jefferson Rd Rochester, NY 14623

SWBR Project Number 21199.00 Magnolia Property Holdings,

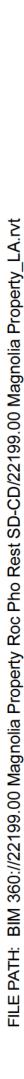
Rochester NY, 14624 L-101

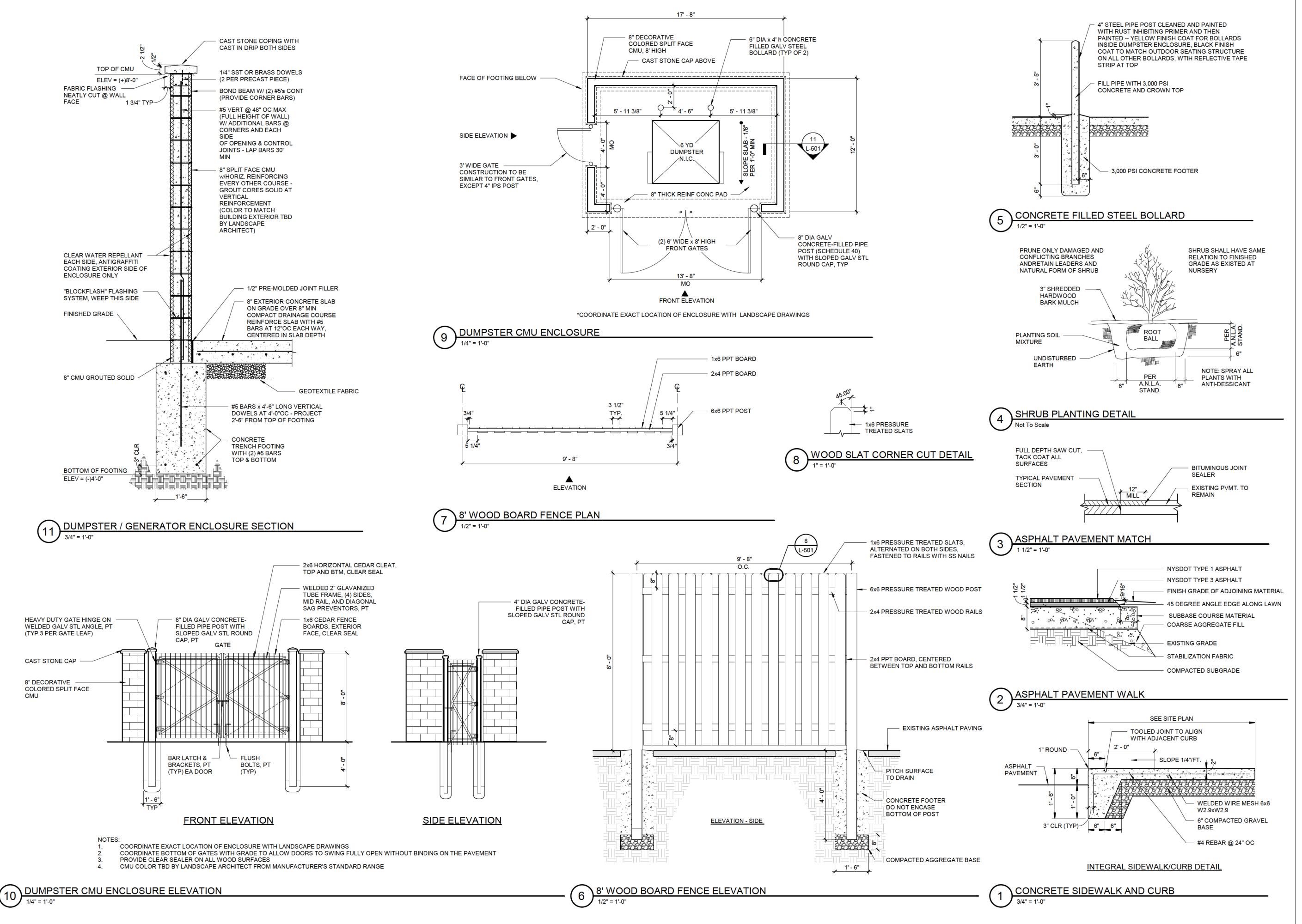
37 Shetland Cir.

SITE PLAN

December 14, 2022 PLANNING BOARD SUBMISSION

SURVEY WAS PREPARED BY COSTICH ENGINEERING DATED OCTOBER 12, 2021, SEE VA-100





SWBR

387 East Main Street Rochester NY 14604 585 232 8300 | rochester@swbr.com



Drawn By: BMM

Checked By: BP

Project Manager: YS

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Revisions

Roc Pho Shop Restaurant 339 Jefferson Rd Rochester, NY 14623

Magnolia Property Holdings, LLC

37 Shetland Cir. Rochester NY, 14624

L-501

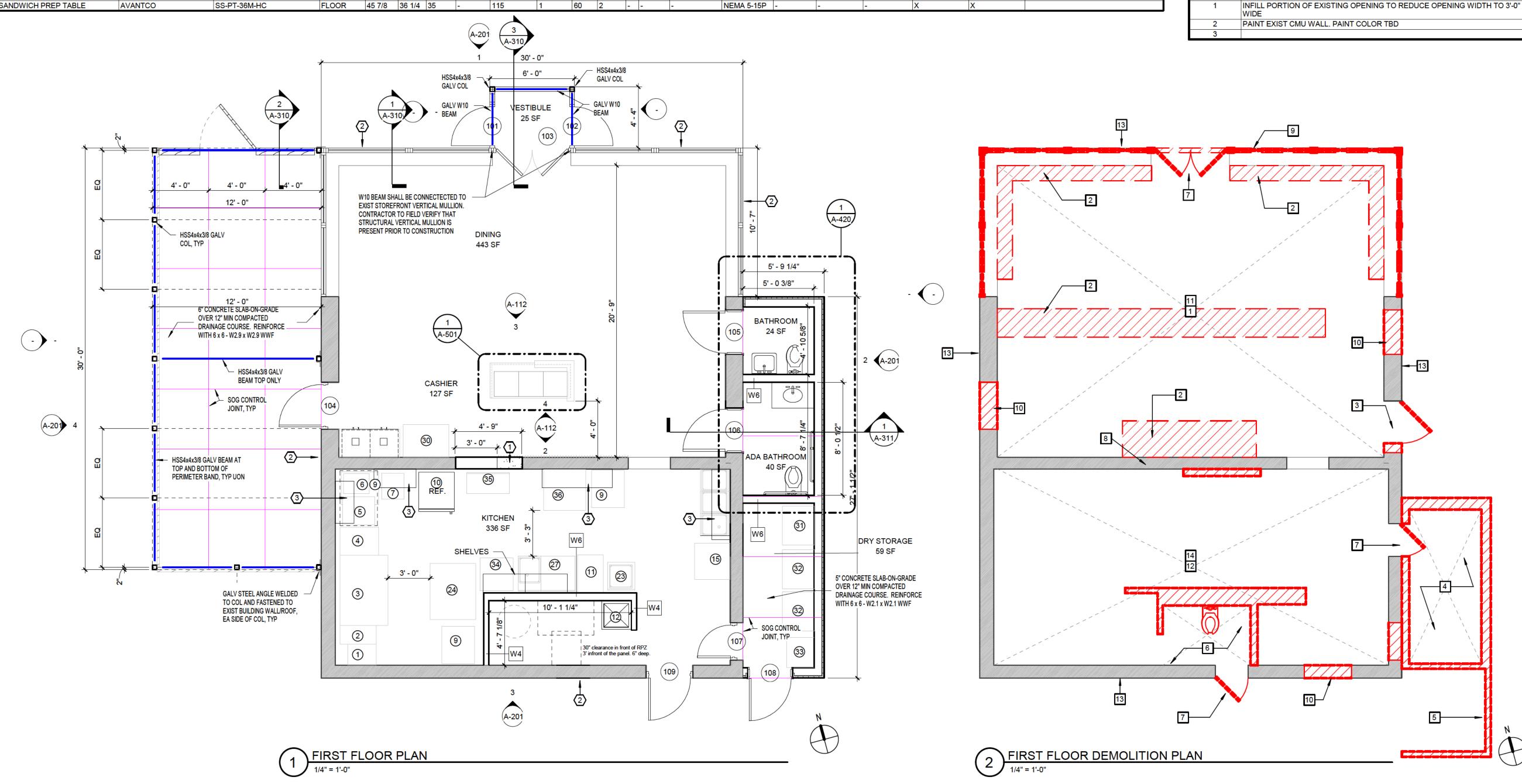
LANDSCAPE DETAILS

December 14, 2022 PLANNING BOARD SUBMISSION

	KITCHEN EQUIPMENT / FIXTURES CHEDULE																						
							DIME	NSIONS					EL	ECTRIC	AL								
										NORMAL			PO	WER DR	RAW		PLUG TYPE						
									WEIGHT					H		EMERGENCY	(SEE NOTE					CONTRACTOR	
LETTER	QTY	EQUIPMENT NAME	MANUFACTURER	MODEL NO.	LOCATION	(IN)	(IN)	(IN)	(LBS)	(VAC)	PHASE	HZ	AMP	S P W	VATTS	POWER	1)	(CFM)	FURNISHED	INSTALLED	FURNISHED	INSTALLED	COMMENTS
1	1	NATURAL GAS STOCK POT	VULCAN	VSP100-1	FLOOR	24	18	24.5				T_				I_	T_	<u> </u>		T_	Y	Y	
l '		RANGE	VOLCAIN	V OF 100-1	LOOK	24	10	24.5		-	-					_	-	_	_	-	^	^	
2	1	NATURAL GAS FLOOR FRYER	AVANTCO	FF400	FLOOR	48	16	31	-	-	-	-	-			-	-	-	-	-	X	X	
3	1	NATURAL GAS RANGE WITH TWO CHAMBER	TOWN	Y-2-SS-N YORK	FLOOR	56.5	60	41	-	-	-	-	-			-	-	-	-	-	Х	X	
4	1	NATURAL GAS RANGE WITH TWO CHAMBER	CPG	S24-N	FLOOR	56.5	60	41	-	-	-	-	-			-	-	-	-	-	Х	X	
5	1	CAYENNE GAS COUNTERTOP GRIDDLE	VOLLRATH	40720	COUNTER	16	24	27	-	-	-	-	-	- -		-	-	-	-	-	Х	X	
6	1	COMMERCIAL MICROWAVE	SOLWAVE	180MWASHD18	COUNTER	13.5	16.5	21 5/8	-	208/240	-	-	-	- 18	800	-	-	-	-	-	X	X	
7	1	COMMERCIAL RICE COOKER	AVANTCO	RCSA90	COUNTER	15 5/16	21 3/4	19	-	208/240	-	-	-	- 25	500	-	-	-	X	X	-	-	
9		UNDERCOUNTER FREEZER	BEVERAGE-AIR	UCFD27AHC	FLOOR	35	28	32	-	115	1	60	2.5			-	-	-	-	-	X	X	
10	1	REACH-IN REFRIGERATORS	BEVERAGE-AIR	SR1HC-1S	FLOOR	78	30 1/4	33 1/2	-	120	1	60	5			-	NEMA 5-15P	-	-	-	X	X	
11	1	AIR COOLED ICE MACHINE	SCOTSMAN	NS0422A	FLOOR	73	22	34	-	115	1	60	15.2			-	-	-	-	-	X	X	
12	1	MOP SINK	REGENCY	600SM16206	FLOOR	21	25	10 7/8	-	-	-	-	-			-	-	-	-	-	X	X	
15	1	DISH WASHER	NOBLE	NOBLE I-E	FLOOR	68.5	30 3/8	29.5	-	115/230	1	60	20/15	M		-	-	-	-	-	X	X	
													AX										
23		ONE COMPARTMENT SINK	STEELTON	522CS11818NK	FLOOR	43 3/4	23.5	24	-	-	-	-	-	- -		-	-	-	-	-	X	X	
24		2 DOOR PREP TABLE	BEVERAGE-AIR	SPE48HC-18M	FLOOR	49	48	38 3/8	-	115	1	60	2			-	-	-	-	-	X	X	
27		WORK TABLE WITH SINK	EAGLE GROUP	T3048SEB-BS-E23	FLOOR	39 5/8	30	48	-	-	-	-	-			-	-	-	-	-	X	X	
30		AIR CURTAIN MERCHANDISER	TURBO AIR	TOM-40B-N	FLOOR	78.5	39	28	-	115	1	60	15.5	- -		-	NEMA 5-20P	-	-	-	X	X	
31		REACH-IN FREEZER	HOSHIZAKI	FIA-FS	FLOOR	79.5	27.5	33.5	-	115	1	60	8.46			-	NEMA 5-15P	-	-	-	X	X	
32		REACH-IN REFRIGERATOR	HOSHIZAKI	R1A-FG	FLOOR	79.5	27.5	34.5	-	115	1	60	8.46			-	NEMA 5-15P	-	-	-	X	X	
33	2	WORK TABLE	STEELTON	522ETSG24242	FLOOR	34	24	24	-	-	-	-	-			-	-	-	-	-	X	X	
34	1	UNDERCOUNTER REFRIGERATOR	DELFIELD	406CAP	FLOOR	33 1/4	27 1/4	27 3/4	-	115	1	60	4	- -		-	NEMA 5-15P	-	-	-	X	X	
35	1	WORK TABLE	REGENCY	600TB1836G	FLOOR	38	36	18	-	-	-	-	-			-	-	-	-	-	X	X	
36	1	SANDWICH PREP TABLE	AVANTCO	SS-PT-36M-HC	FLOOR	45 7/8	36 1/4	35	-	115	1	60	2			-	NEMA 5-15P	-	-	-	X	X	

DEMOLITION KEY NOTES						
	SHOWN AS): [
NO.	DESCRIPTION					
1	DEMOLISH EXISTING FLOOR TILE, WALL TILE AND WALL BASE, PREPARE SURFACES TO RECEIVE SCHEDULED FINISHES					
2	DEMOLISH CASEWORK AND ASSOCISATED HARDWARE. PATCH AND PAIR EXPOSED WALL/FLOOR SURFACE.	NT				
3	DEMOLISH DOOR AND ASSOCIATED HARDWARE. REMAIN FRAME IN PLACE	CE				
4	REMOVE FREEZER IN ITS ENTIRETY, INCLUDING DOOR AND EXTERIOR ENCLOSURE.					
5	REMOVE FREEZER IN ITS ENTIRETY, INCLUDING DOOR AND EXTERIOR ENCLOSURE.					
6	REMOVE BATHROOM FIXTURES AND TURN OVER TO OWNER					
7	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE.					
8	REMOVE EXISTING FRAME AND SILL AT WALL OPENING					
9	REMOVE EXIST STOREFRONT SYSTEM.					
10	REMOVE PORTION OF CMU WALL FOR NEW DOOR OPENING.					
11	REMOVE ALL EXISTING LIGHTING AND CEILING MOUNTED FIXTURES					
12	REMOVE EXISTING ACOUSTIC CEILING ASSEMBLY IN ITS ENTIRETY.					
13	REMOVE CMU PAINT AND PREP SURFACE TO RECEIVE NEW PAINT. TYP I ALL SIDES OF THE BUILDING	FC				
14	REMOVE WALL PANELS IN THE KITCHEN AREA, PREP SURFACE TO RECE NEW FINISHES.	ΙV				

PLAN KEY NOTES								
		SHOWN AS: 🗵						
NO.	DESCRIPTION							
1	INFILL PORTION OF EXISTING OPENING TO REDUCE OPENING WIDE	WIDTH TO 3'-0"						
2	PAINT EXIST CMU WALL. PAINT COLOR TBD							





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Checked By: YS
Project Manager: YS

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Revisions

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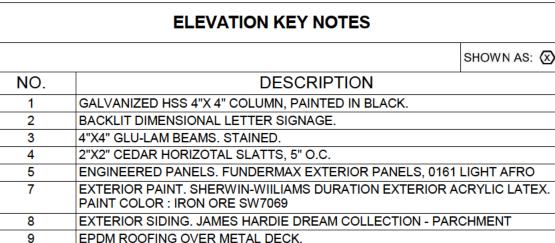
Rochester, NY 14623 SWBR Project Number 22199.00

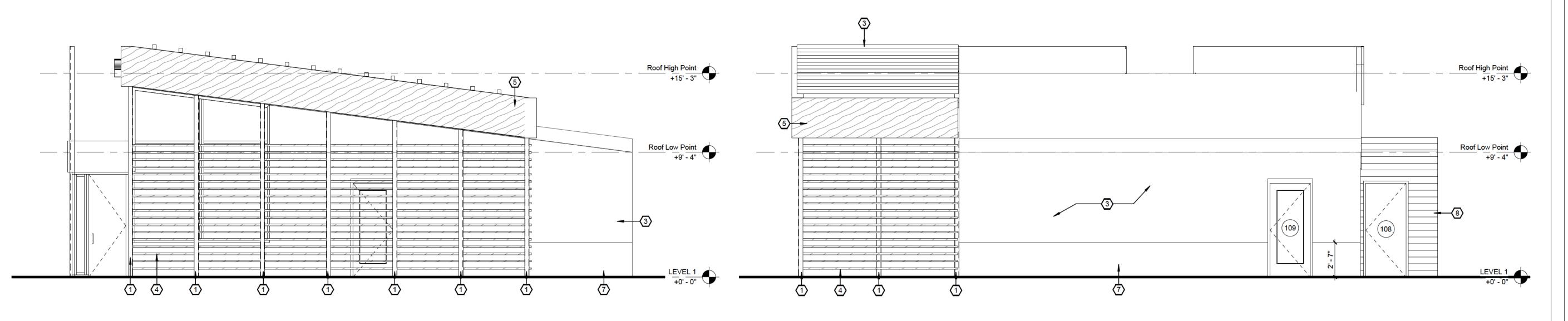
Magnolia Property Holdings, LLC 37 Shetland Circle, Rochester, NY 14624

A-111

FLOOR PLANS AND EQUIPMENT SCHEDULE

	ELEVATION KEY NOTES								
	SHOWN AS: 🛇								
NO.	DESCRIPTION								
1	GALVANIZED HSS 4"X 4" COLUMN, PAINTED IN BLACK.								
2	BACKLIT DIMENSIONAL LETTER SIGNAGE.								
3	4"X4" GLU-LAM BEAMS. STAINED.								
4	2"X2" CEDAR HORIZOTAL SLATTS, 5" O.C.								
5	ENGINEERED PANELS. FUNDERMAX EXTERIOR PANELS, 0161 LIGHT AFRO								
7	EXTERIOR PAINT. SHERWIN-WIILIAMS DURATION EXTERIOR ACRYLIC LATEX. PAINT COLOR: IRON ORE SW7069								
8	EXTERIOR SIDING. JAMES HARDIE DREAM COLLECTION - PARCHMENT								
9	EPDM ROOFING OVER METAL DECK.								
10	PROVIDE STOREFRONT SYSTEM AND VESTIBULE. GLAZING CLEAR. MULLION: BLACK ANODIZED ALUMINUM								

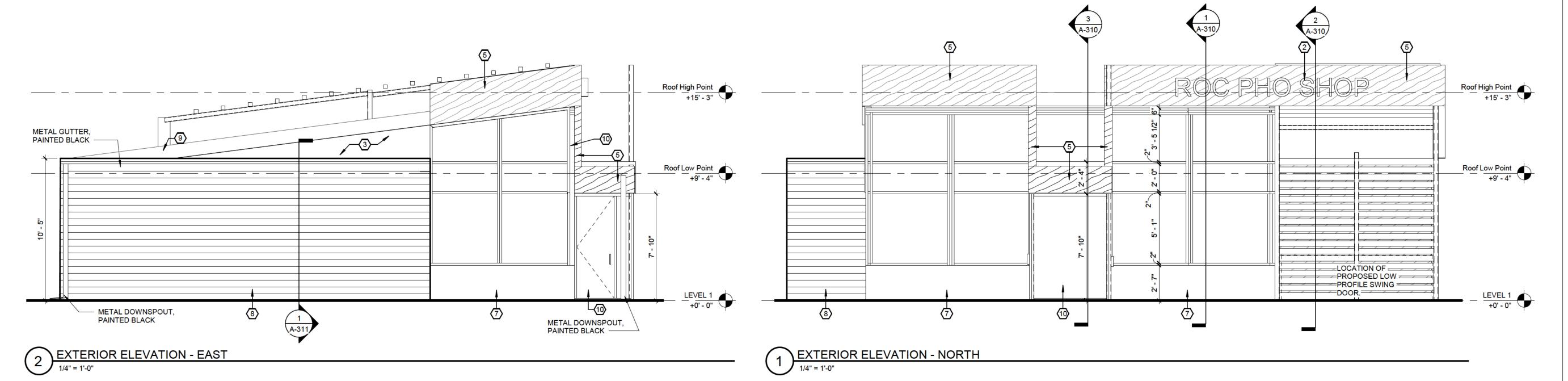




4 EXTERIOR ELEVATION - WEST

3 EXTERIOR ELEVATION - SOUTH

1/4" = 1'-0"





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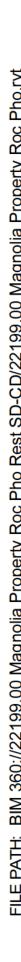
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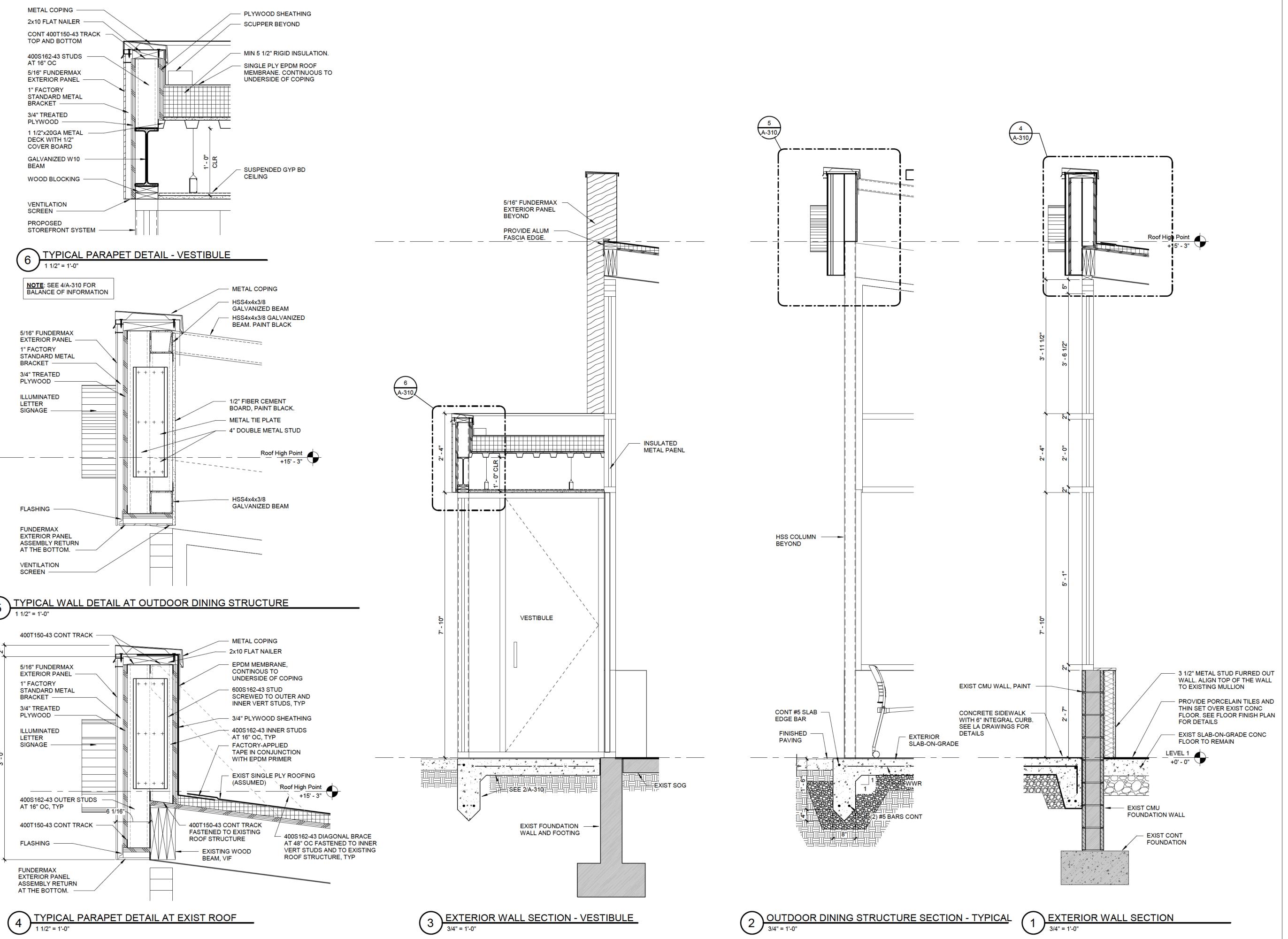
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A-201

EXTERIOR ELEVATIONS







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Drawn By: YS

Checked By: YS

Project Manager: YS

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LLC

LLC 37 Shetland Circle, Rochester, NY 14624

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WALL SECTIONS AND DETAILS



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Drawn By:

Revisions

Checked By:

Project Manager: YS

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Roc Pho Shop Restaurant

SWBR Project Number 22199.00

WALL SECTIONS AND

Magnolia Property Holdings, LLC

37 Shetland Circle, Rochester,

339 Jefferson Rd Rochester, NY 14623

NY 14624

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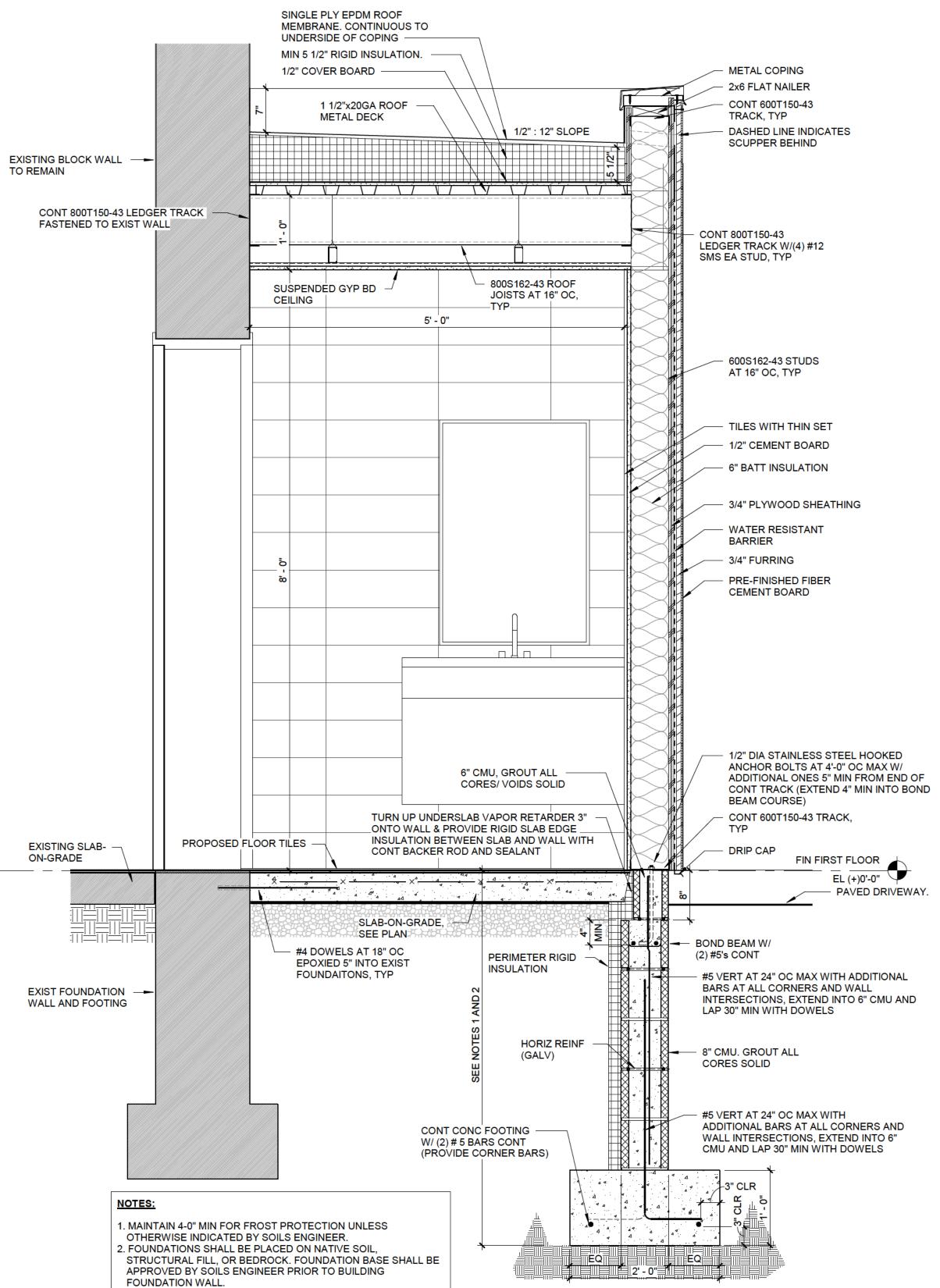
DETAILS

December 14, 2022

Planning Board Submission

YS

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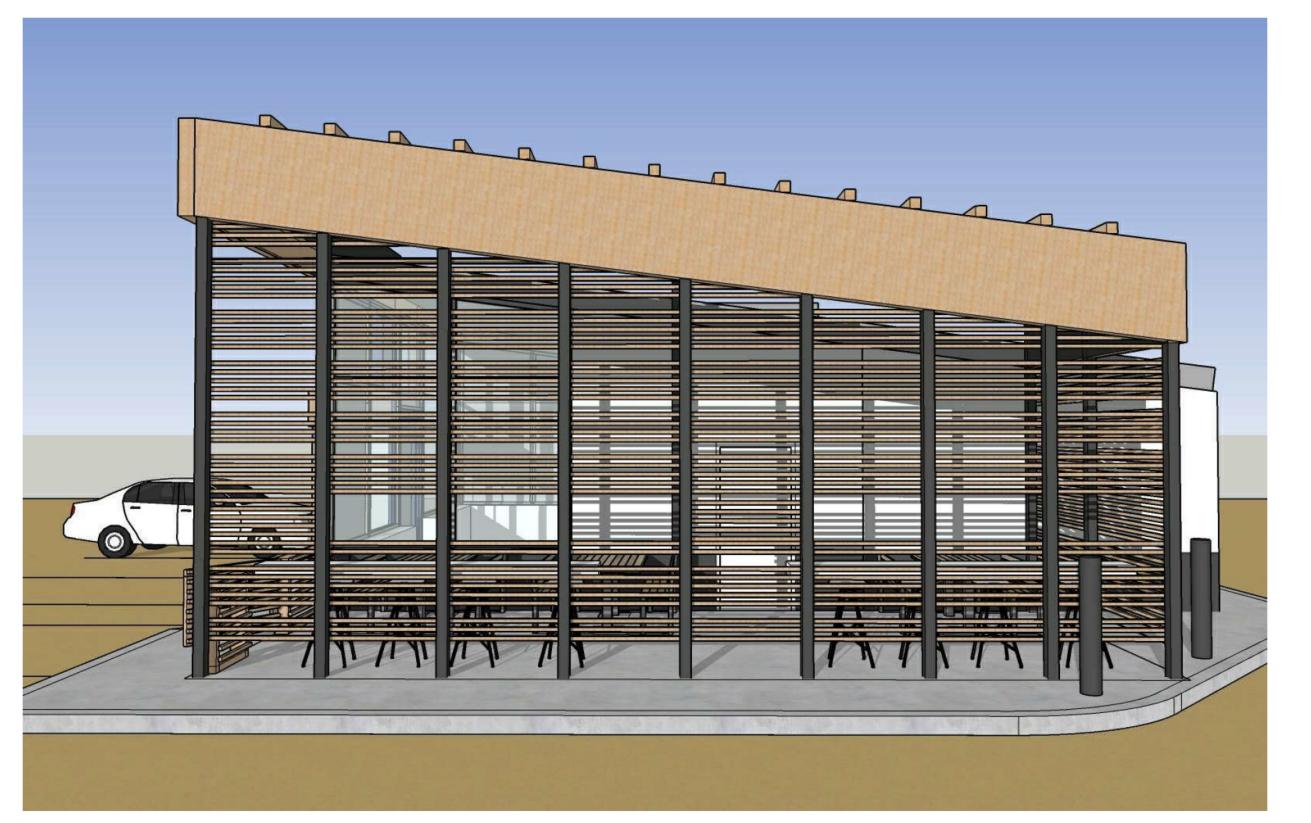






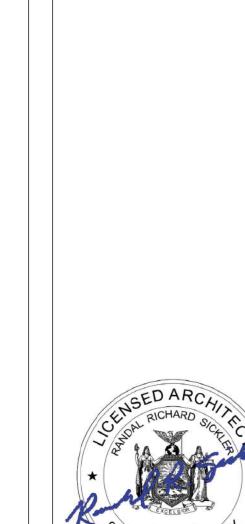






NOTE: FURNITURE SELECTION IS NOT IN CONTRACT.





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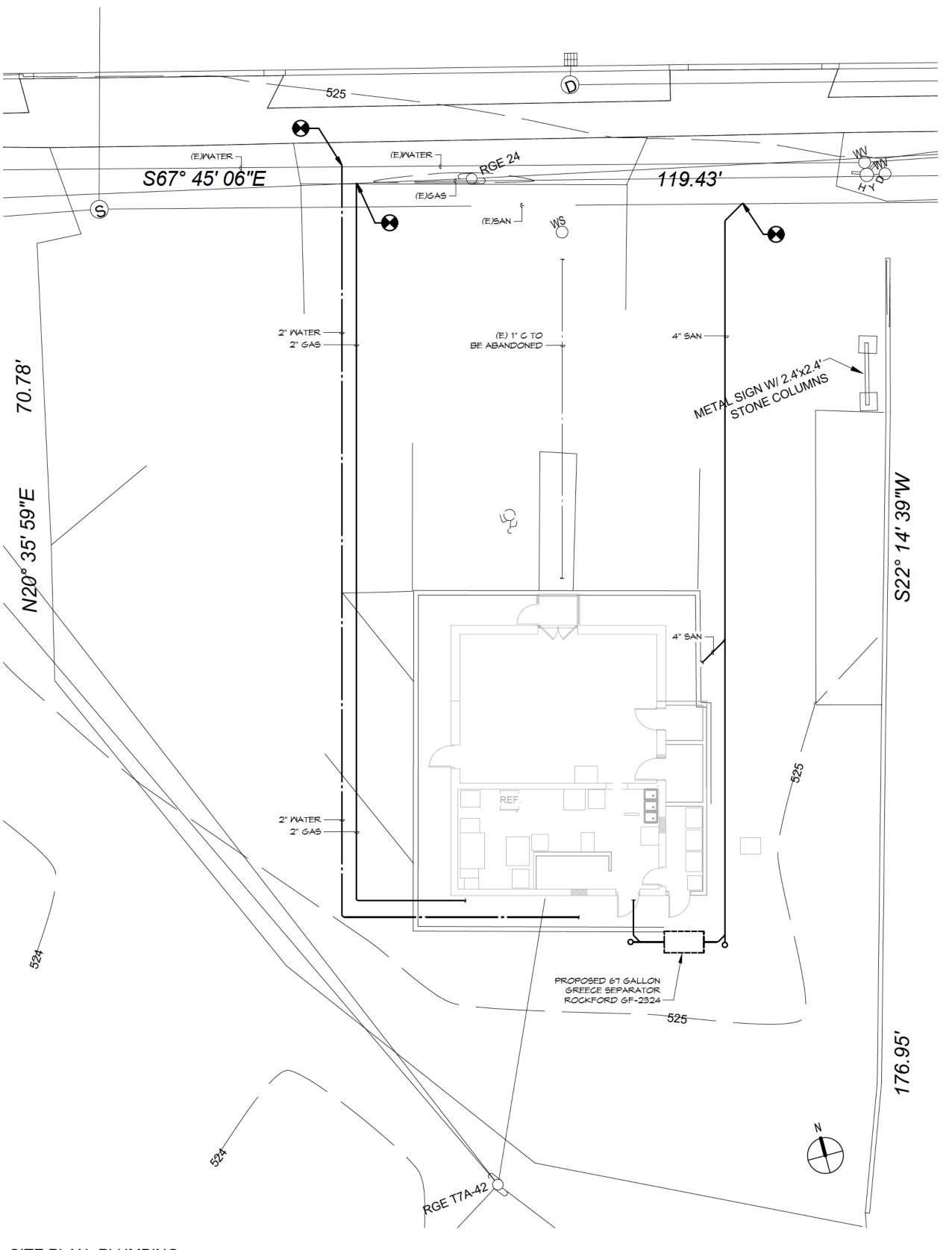
RENDERINGS

HYDRANT FLOW TEST DATA

- DATA SUPPLIED BY THE MCWA FOR 339 JEFFERSON ROAD.
- T515 ZONE THE LOW WATER LEVEL IN THE TANK (LWL) IS 731.
 THE ELEVATION OVER THE WATER MAIN IS ~524'.
 HYDRAULIC GRADE CALC. IS (731' 524') X 0.433PSI/FT. = ~90 PSI IN THE MAIN

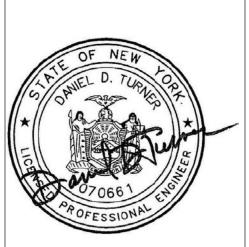
NATURAL GAS DEMAND STANDARD PRESSURE ESTIMATED DEMAND 802,000 BTU'S

JEFFERSON ROAD (R.O.W. VARIES) N.Y.S. ROUTE 252





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Drawn By:	NBT
Checked By:	CWA
Project Manager:	DDT

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Revisions

Roc Pho Shop Restaurant

SWBR Project Number 22199.00

Magnolia Property Holdings, LLC 37 Shetland Circle, Rochester, NY

CP-100 SITE PLAN -PLUMBING

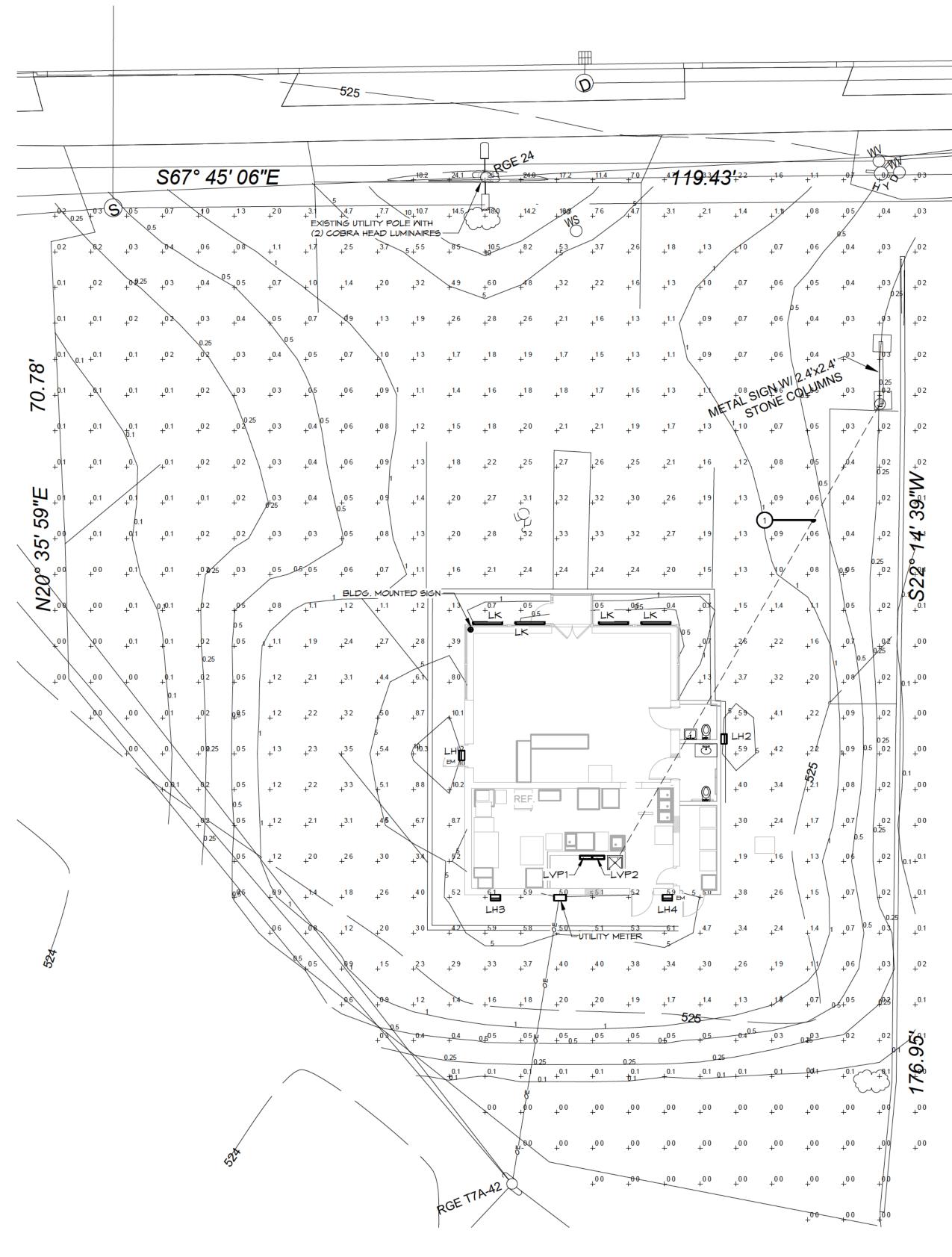
December 14, 2022

Planning Board Submission

SITE PLAN -PLUMBING

SITE PLAN -ELECTRICAL

JEFFERSON ROAD (R.O.W. VARIES) N.Y.S. ROUTE 252



	LIGHT FIXTURE SCHEDULE - SITE									
					1	DESIGN MAKE	ACCEPTABLE			
TYPE	DESCRIPTION	LUMENS	LAMP	VOLTAGE	MANUFACTURER	MODEL NO.	MANUFACTURER			
LH	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPOZOIDAL SHAPE, ACRYLIC LENS, TYPE IV WIDE DISTRIBUTION, EMERGENCY BATTERY BACK UP, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7089	58.2 WATT LED, 4000K	120	MCGRAW EDISON LIGHTING	IST-SA1E-740-U-T4W-**-CBP-BCP	APPROVED EQUAL			
LH2	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPOZOIDAL SHAPE, ACRYLIC LENS, TYPE II DISTRIBUTION, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7089	58.2 WATT LED, 4000K	120	MCGRAW EDISON LIGHTING	IST-SA1E-740-U-T2-**-BCP	APPROVED EQUAL			
LH3	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPOZOIDAL SHAPE, ACRYLIC LENS, TYPE III DISTRIBUTION, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7089	58.2 WATT LED, 4000K	120	MCGRAW EDISON LIGHTING	IST-SA1E-740-U-T3-**-BCP	APPROVED EQUAL			
LH4	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPOZOIDAL SHAPE, ACRYLIC LENS, TYPE III WIDE DISTRIBUTION, EMERGENCY BATTERY BACK UP, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7089	58.2 WATT LED, 4000K	120	MCGRAW EDISON LIGHTING	IST-SA1E-740-U-T3-**-CBP-BCP	APPROVED EQUAL			
LK	4' LONG RECESSED WALL MOUNTED EXTERIOR LED LUMINAIRE WITH ACRYLIC LENS, HIGH OUTPUT, WET LISTED, AND FINISH COLOR BY ARCHITECT. COORDINATE MOUNTING WITH ARCHITECT.	2683	28 WATT LED, 4000K	120	PERCISION ARCHITECTURAL LIGHTING	ML3NL66-D-HO-K40-80-4-W-LOH-FO 1M-BF-UNV-CMD	APPROVED EQUAL			

PHOTOMETRIC GENERAL NOTES

- A. THIS SITE LIGHTING PHOTOMETRIC CALCULATION IS FOR GENERAL REFERENCE ONLY.
 THE PURPOSE OF THIS DRAWING IS TO SHOW GENERAL DESIGNED ILLUMINATION LEVELS AND DISTRIBUTION. THESE CALCULATIONS ARE BASED ON MAINTAINED ILLUMINATION LEVELS. DUE TO LAMP OUTPUT DEPRECIATION OVER TIME IT IS NOT POSSIBLE TO VERIFY INDIVIDUAL POINTS IN THE PIELD.
- B. THESE CALCULATIONS DO NOT TAKE INTO EFFECT INSTALLATION AND MANUFACTURING PARAMETERS SUCH AS OVERALL GRADE CHANGES LEVELNESS OF POLES HEIGHT OF BASES OR THE ACTUAL OUTPUT OF THE LAMPS AND DISTRIBUTION OF THE LUMINAIRE AND REPLECTOR ASSEMBLY AS IT ARRIVES ON THE SITE.

PHOTOMETRIC STATIST	TICS
MAXIMUM	18.0 FC
MINIMUM	0.1 FC
AVERAGE	1.6 FC
AVERAGE/MINIMUM	16.0 : 1
MAXIMUM/MINIMUM	180.0 : 1

- B. COORDINATE NEW ELECTRICAL SERVICE ENTRANCE WITH ROCHESTER GAS AND ELECTRIC, NEW TELEPHONE SERVICE WITH FRONTIER AND NEW CATV SERVICE WITH SPECTRUM CABLE. OBTAIN

SPECTRUM CABLE CONTACT IS * AT

FRONTIER CONTACT IS * AT

- D. THE ELECTRICAL CONTRACTOR SHALL ENGAGE THE SERVICES OF A QUALIFIED
- E. A MINIMUM OF TWO DAYS PRIOR TO EXCAVATION, CONTACT DIG SAFELY NEW YORK, INC. IN THE AREA OF EXCAVATION, COORDINATE PRIVATE UTILITIES WITH THE OWNER PRIOR TO
- G. PROVIDE BRACING, SHORING, SHEATHING AND OTHER WORK FOR PROTECTION OF PERSONNEL, THE CONTRACT MORK, EXCAVATIONS, TREES, SHRUBS, EXISTING STRUCTURES,
- H. PROVIDE AND MAINTAIN BARRICADES, WARNING SIGNS, FLAGS, AND LIGHTS TO PROVIDE AND/OR PARKING GARAGE DISRUPTIONS WITH THE OWNER IN ADVANCE.
- PROVIDE PUMPS, HOSES, PIPE, LABOR AND FUEL NECESSARY TO KEEP EXCAVATIONS FREE OF MATER ACCUMULATION. OPERATE AND MAINTAIN EQUIPMENT. DISCHARGE MATER IN MANNER NOT TO UNDERMINE OR DISTURB EXISTING OR ADJACENT STRUCTURES OR LAND. DO NOT DISCHARGE DIRT, BACKFILL, DEBRIS, INTO SANITARY OR STORM DRAINAGE SYSTEMS.
- INSTALL TELEPHONE, CABLE AND ELECTRIC CONDUITS AS STRAIGHT AS POSSIBLE. INSTALL CONDUITS BELOW SITE LIGHTING CONDUITS AND GAS LINES AND ABOVE WATER, STORM, AND
- K. TRANSITION ALL CONDUITS TO GRS PRIOR TO RISING ABOVE GRADE.
- L. MAINTAIN ROAD ACCESS AT ALL TIMES. PROVIDE STEEL PLATES OVER TRENCH AS REQUIRED.
- M. PROTECT UTILITIES, SIDEMALKS, STRUCTURES, PAVEMENTS AND OTHER FACILITIES FROM

1 CONDUIT IS EXISTING TO REMAIN. REMOVE EXISTING WIRING AND



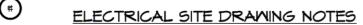


ALL SPECIFICATIONS AND PAY ALL ASSOCIATED FEES.

RG &E CONTACT IS * AT

- C. OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED BY THE TOWN OF HENRIETTA.
- SUBCONTRACTOR FOR EXCAVATION, BACKFILL AND CONCRETE WORK.
- (1-800-962-7962) AND OBTAIN A STAKEOUT OF ALL PUBLIC AND PRIVATE UTILITIES LOCATED
- F. HAND EXCAVATE ADJACENT EXISTING UTILITIES INCLUDING STORM AND SANITARY SYSTEMS TO AVOID DAMAGE. REPORT ANY DAMAGED UTILITIES TO THE OWNERS REPRESENTATIVE
- AND SURROUNDING PROPERTIES.
- PROTECTION FOR WORK, WORKMEN, PUBLIC, AND PROPERTY. COORDINATE PARKING LOT

- DAMAGE CAUSED BY SETTLING, LATERAL MOVEMENTS, UNDERMINING, WASHOUTS AND OTHER HAZARDS CREATED BY EXCAVATION WORK.
- N. COMPLETELY RESTORE THE AREA TO THE CONDITION PRIOR TO THE START OF EXCAVATION



PROVIDE NEW.



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Rochester, NY 14604 585 381 3360 Tel Project No 21214

Project Manager:	DDT
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Checked By:

1 Date 1 Revision 1

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37 Shetland Circle, Rochester, NY

CE-100 SITE PLAN -ELECTRICAL

