



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 12/14/2022

I (we) Brittany Murphy (SWBR) of 387 E. Main St
Name of Applicant / Business Business Address (Number & Street)

Rochester, NY, 14604 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 339 Jefferson St, Rochester, NY 14623
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

Magnolia Property Holdings is making improvements to the existing +/-1,200sq.ft building and site (previously a calzone restaurant) to accommodate enhanced culinary services and expand amenities for the restaurant customers. The site improvements to the property include an entry vestibule, new bathrooms and storage (within the footprint of previous storage area), covered outdoor seating, concrete sidewalks and curbs, resealing and restriping the parking lot, 8' high board-on-board wood fencing on the south and east edges of the property, and a new CMU dumpster enclosure.

Applicant: Brittany Murphy, SWBR

Address: 387 E. Main St.

Rochester, NY 14604

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: Vilay Sysavath

Address: 37 Shetland Cir.

Rochester, NY, 14624

Phone #: [REDACTED]

Email: _____

Applicant Signature: *Brittany Murphy*

Engineer/Architect: Yang Song, SWBR

Address: 309 S. Franklin St.

Syracuse, NY 13202

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: Vilay Sysavath

Address: 37 Shetland Cir.

Rochester, NY, 14624

Phone #: [REDACTED]

Email: _____

Print Name: Brittany Murphy



ROCHESTER OFFICE
387 East Main St
Rochester NY 14604
585 232 8300
rochester@swbr.com

Architecture
Graphic Design
Interior Design
Landscape Architecture
Structural Engineering

December 14, 2022

James W. Grunert
Planning Board Chairman
Henrietta Town Hall
475 Calkins Rd
Rochester, NY 14623

Re: Magnolia Property Roc Pho Restaurant
Site Plan Application
339 Jefferson Rd, Rochester, NY 14623
SWBR Project No. 22199.00

Dear Mr. Grunert and Board Members:

On behalf of Magnolia Property Holdings, LLC, SWBR submits the enclosed application for site plan approval for the Roc Pho Shop restaurant project located at 339 Jefferson Rd in the Town of Henrietta.

Magnolia Property Holdings proposes to make improvements to the existing +/-1,200sq.ft building and site (previously a calzone restaurant) to accommodate enhanced culinary services and expand amenities for the restaurant customers. The site improvements to the property include an entry vestibule, new bathrooms and storage (within the footprint of previous storage area), covered outdoor seating, concrete sidewalks and curbs, resealing and restriping the parking lot, 8' high board-on-board wood fencing on the south and east edges of the property, and a new dumpster enclosure.

Surrounding land uses include existing commercial/industrial uses to the north (Roc City Grit gym), and to the east (Clean-o-Rama laundromat), and the Livonia Avon & Lakeville Railroad to the south and west. The property is approximately .34 acres, while the area to be disturbed during construction is .05 acres.

The project is on property zoned B-1 with Mixed Use Redevelopment Overlay District, and the proposal is a permitted use within the zoning district, subject to special use permits from the Town Board for the restaurant use and the outdoor seating. A Special Use Permit extension and modification was submitted to the Town Board and will be presented at their December 14, 2022 meeting. The applicant was granted area variances from the Zoning Ordinance of the Town Code for the front and rear setback (295-19 A and C) and parking count (295-44A), approved by the Zoning Board of Appeals at their December 7, 2022 meeting.

We are requesting that this application be placed on the Planning Board's January 17th, 2023 agenda for preliminary and final site plan approval. For your review, we have enclosed copies of the following application materials:

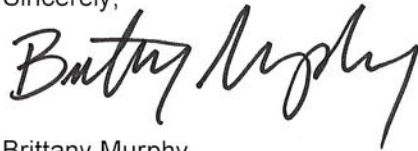
- Completed Site Plan Application Form
- Fourteen (14) sets of Architecture, Site, and Utility Drawing Sheets
- Site Plan Checklist
- Environmental Assessment Form



- Statement of the Applicant and Owner with Respect of Professional and Consulting Fees
- Checks for the application fee of \$150, and the engineering plan review charge of \$700

We acknowledge the requirement to post a sign giving the public notice of the Planning Board meeting. Please let us know if you have any questions or require additional information to support this application.

Sincerely,



Brittany Murphy
Landscape Designer

Xc: V. Sysavath, Magnolia Property Holdings, LLC

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Brittany Murphy, SWBR

By: _____

Title: Landscape Designer

Dated: 12/12/2022

Signed:  12/12/22

Owner: Vilay Sysavath

By: _____

Title: President

Dated: 12/13/2022

Signed: 



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
- 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
- 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- 30 Show wetland and buffer zone limits (when applicable).
- 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
- 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: _____
Name of Developer

_____ Date

Company Name

Street Address

City, State, Zip





SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

Telephone Number

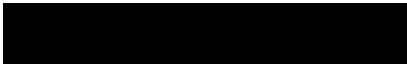
Prepared by: _____
Name of Consultant

_____ Date

_____ Company Name

_____ Street Address

_____ City, State, Zip



_____ Telephone Number

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	Vilay Sysavath _____
Responsible Firm	Magnolia Property Holdings, LLC _____
Street Address	37 Shetland Cir. _____
City, State, Zip Code	Rochester, NY, 14624 _____
Telephone Number	_____ _____

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	_____
Responsible Firm	_____
Street Address	_____
City, State, Zip Code	_____
Telephone Number	_____ _____

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By	_____
Address	_____
City, State Zip	_____
Telephone Number ()	_____

Short Environmental Assessment Form

Part 1 - Project Information

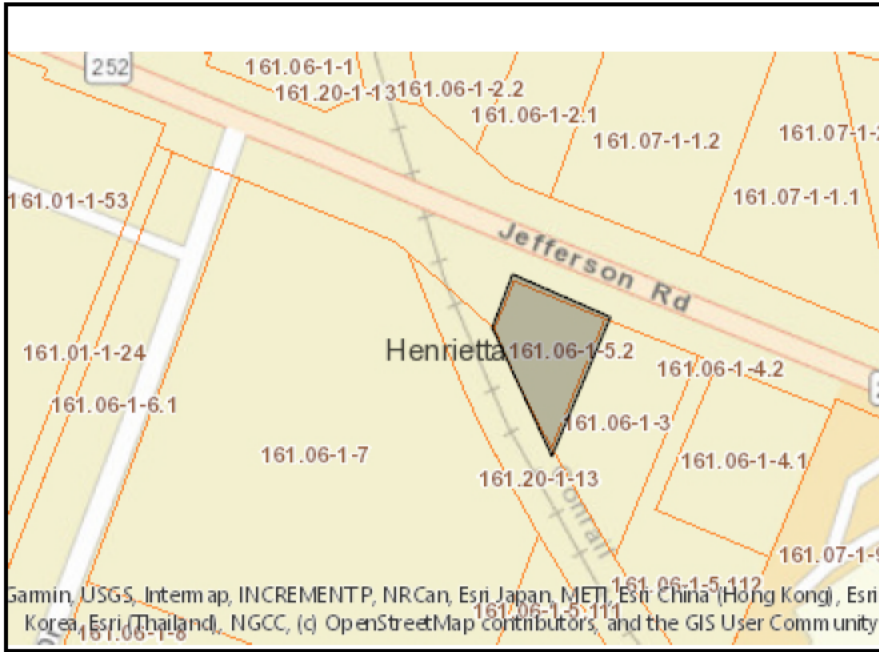
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: "Roc Pho Shop" restaurant			
Project Location (describe, and attach a location map): 339 Jefferson Rd. Rochester, NY 14623			
Brief Description of Proposed Action: Magnolia Property Holdings is making improvements to the existing +/-1,200sq.ft building and site (previously a calzone restaurant) to accommodate enhanced culinary services and expand amenities for the restaurant customers. The site improvements to the property include an entry vestibule, new bathrooms and storage (within the footprint of previous storage area), covered outdoor seating, concrete sidewalks and curbs, resealing and restriping the parking lot, 8' high board-on-board wood fencing on the south and east edges of the property, and a new CMU dumpster enclosure.			
Name of Applicant or Sponsor: Brittany Murphy (SWBR)		Telephone: [REDACTED]	
Address: 387 E. Main St		E-Mail: [REDACTED]	
City/PO: Rochester		State: NY	Zip Code: 14604
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .34 acres			
b. Total acreage to be physically disturbed? _____ .05 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .34 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Wetlands surrounding Red Creek west and south. Site edge is approx. 480' away from nearest portion of State Regulated Wetland Checkzone. Project will not alter any existing wetland or waterbody. _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



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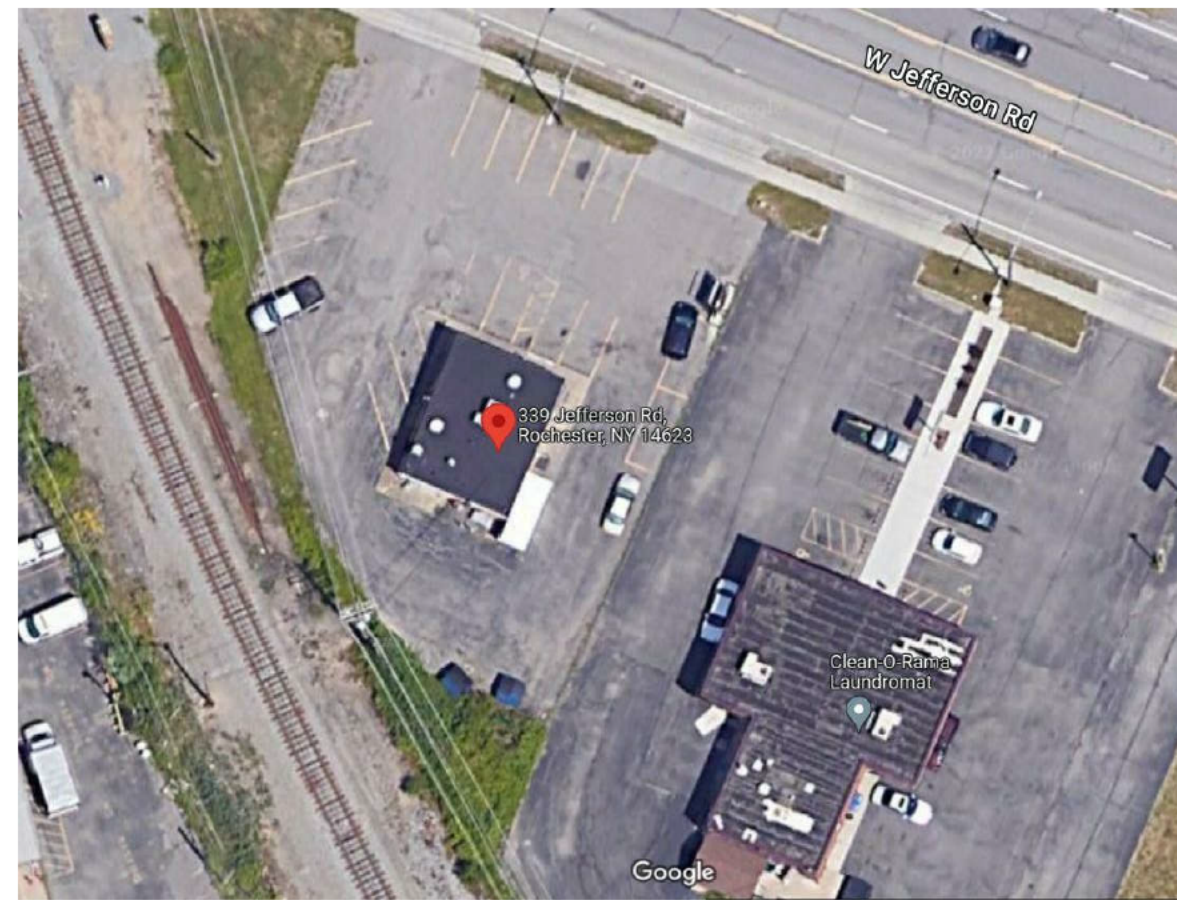
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



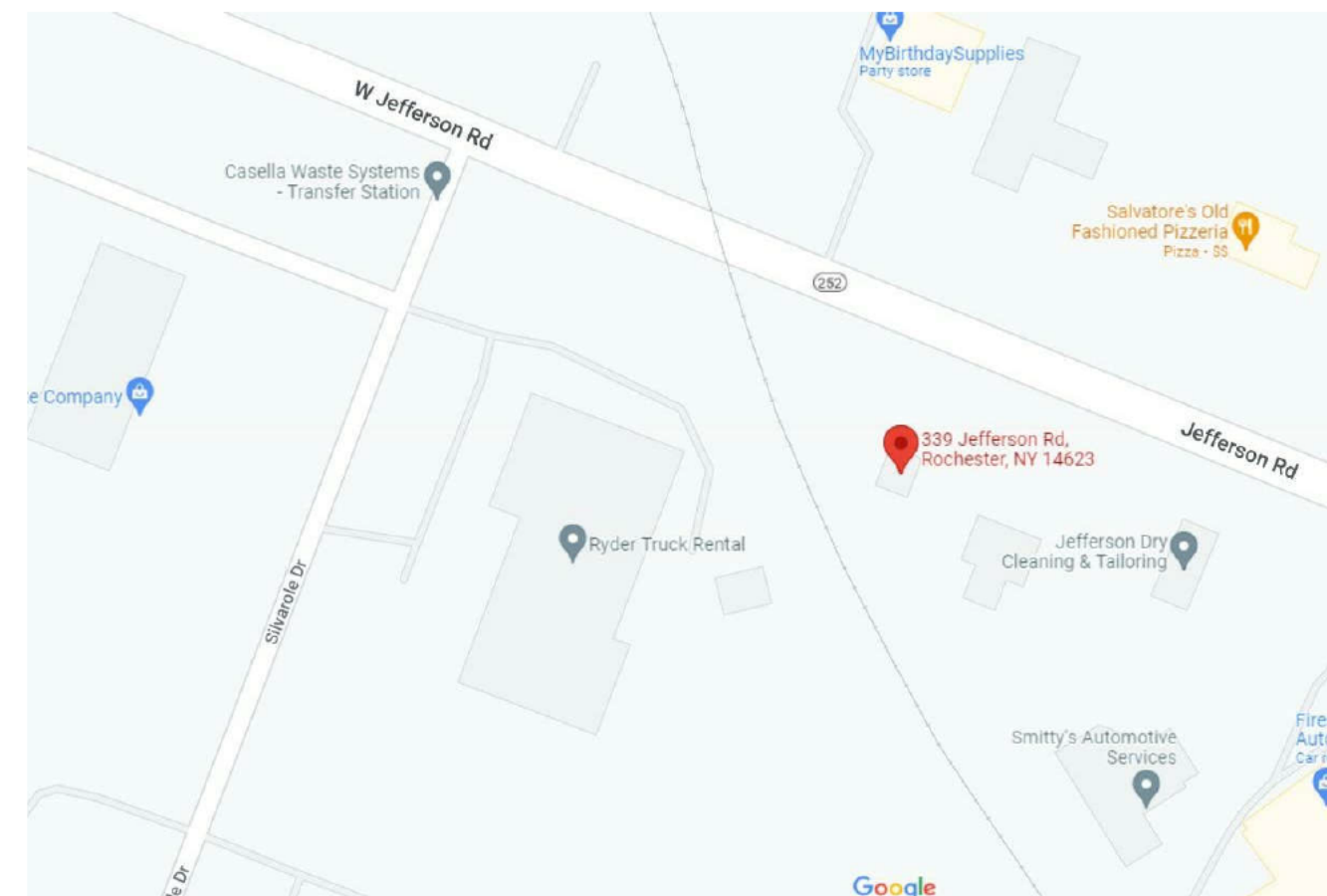
Roc Pho Shop Restaurant

Planning Board Submission December 14, 2022

339 Jefferson Rd
Rochester, NY 14623



Regional Map



Location Map

SWBR Project # 22199.00

DRAWING INDEX

GENERAL

- G-000 COVER SHEET
- G-001 GENERAL NOTES AND LEGENDS
- G-002 CODE COMPLIANCE DRAWINGS AND FIRE SAFETY PLANS

SITE SURVEY

- VA-100 EXISTING FEATURES PLAN

LANDSCAPE

- L-101 SITE PLAN
- L-501 LANDSCAPE DETAILS

ARCHITECTURAL

- A-111 FLOOR PLANS AND EQUIPMENT SCHEDULE
- A-201 EXTERIOR ELEVATIONS
- A-310 WALL SECTIONS AND DETAILS
- A-311 WALL SECTIONS AND DETAILS
- A-910 RENDERINGS

PLUMBING

- CP-100 SITE PLAN - PLUMBING

ELECTRICAL

- CE-100 SITE PLAN - ELECTRICAL



Drawn By: YS
 Checked By: YS
 Project Manager: YS

These documents and all the ideas, arrangements, designs and plans indicated thereon or presented thereby are owned by and remain the property of SWBR and no part thereof shall be used by any person, firm, or corporation for any purpose whatsoever except with the specific written permission of SWBR. All rights reserved. ©

Revisions

NO.	DESCRIPTION

Roc Pho Shop Restaurant
 339 Jefferson Rd
 Rochester, NY 14623
 SWBR Project Number 22199.00

Magnolia Property Holdings, LLC
 37 Shetland Circle, Rochester, NY 14624

G-000

COVER SHEET

December 14, 2022
Planning Board
Submission

SITE SURVEYOR

Costich Engineering
 217 Lake Avenue
 Rochester, NY 14608
 585 458 3020

M/E/P Engineer:

Turner Engineering PC
 One Woodbury Blvd
 Rochester, NY 14604
 585 381 3360

Architect & Structural Engineer:

SWBR
 309 South Franklin Street
 Syracuse, NY 13202
 315 488 5635

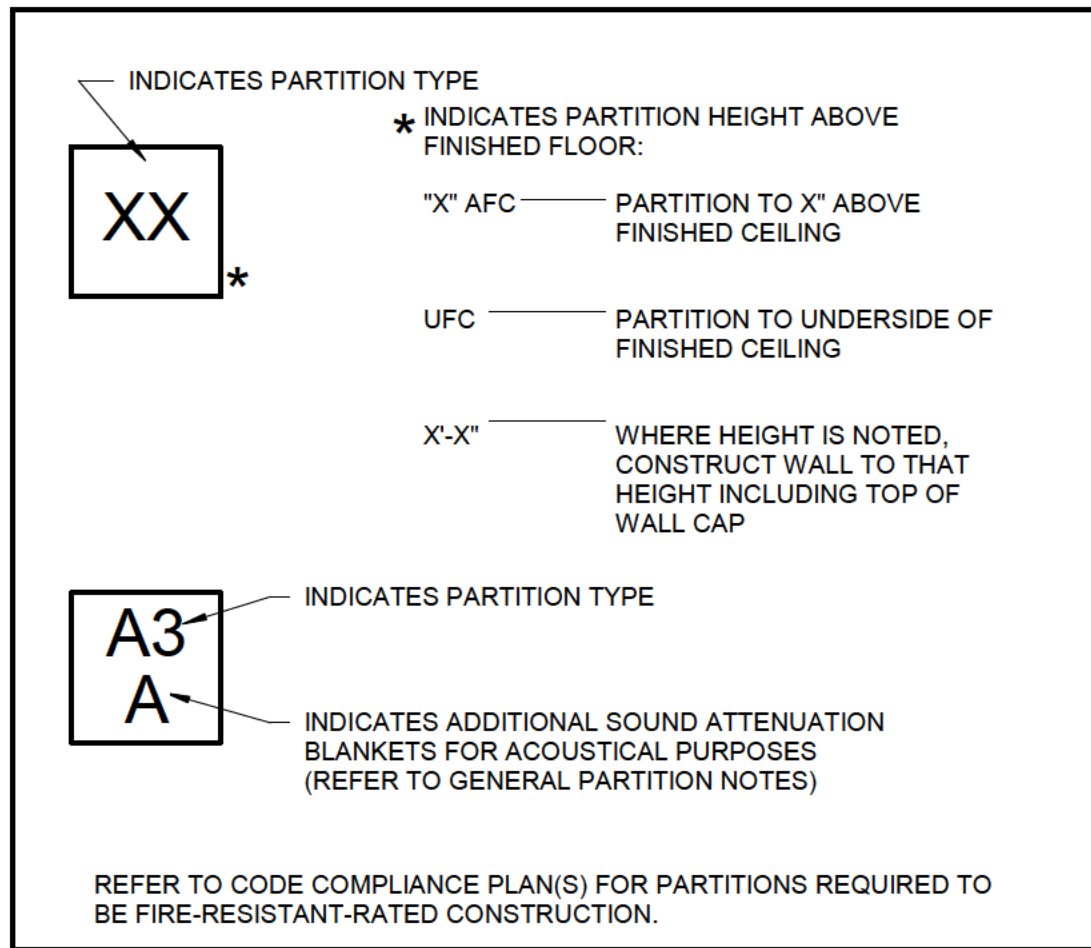
MISCELLANEOUS KEYNOTES

Table with 2 columns: APPLICATION and DESCRIPTION. Contains notes on concrete slab protection, fire-resistant walls, and stud spacing.

GYPSUM BOARD / WOOD STUD SERIES PARTITIONS

Table defining partition types W4 and W6 with stud spacing and gypsum board specifications.

LEGEND



GENERAL PARTITION NOTES:

- A. ALL STUD PARTITIONS NOT INDICATED WITH A PARTITION TYPE SHALL BE TYPE _W4_.
A. PARTITIONS WITH SOUND ATTENUATION BLANKETS...
B. THICKNESS OF BLANKETS IN STUD WALLS...
C. PARTITIONS TO BE SEALED @ THE PERIMETER...
D. SEE WALL TYPE DESCRIPTIONS FOR CONDITIONS...
E. GYPSUM BOARD TO BE "TYPE X" UNLESS OTHERWISE NOTED...
F. ALL PARTITIONS ARE TO BE TO THE UNDERSIDE OF DECK...
G. DIMENSIONS SHOWN FOR EACH PARTITION DESCRIPTION...
H. PROVIDE LISTED U.L. FIRE-RESISTANT JOINT ASSEMBLIES...
I. EQ (EQUIVALENT THICKNESS) STUDS SHALL NOT BE USED...
J. THE TOP OF ALL PARTITIONS FRAMED AGAINST THE UNDERSIDE...
K. PROVIDE BULLNOSE BLOCK AT ALL EXPOSED OUTSIDE CORNERS...
L. ALL METAL STUD PARTITIONS TO RECEIVE CERAMIC TILE...
M. SEE STRUCTURAL DRAWINGS FOR RESTRAINT DETAILS...
N. SEE STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT...

GENERAL NOTES:

- 1. ALL GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL (A-SERIES) DRAWINGS...
2. GENERAL CONTRACTOR TO PROVIDE ALL LOOSE LINTELS AT ALL MASONRY OPENINGS...
3. WHERE DIFFERENT FLOORING MATERIALS MEET, AND A SPECIFIC TRANSITION DETAIL IS NOT INDICATED...
4. PROVIDE CONCEALED STEEL STUD BLOCKING OR 2" x 18 GA CONTINUOUS STEEL STRAPPING...
5. EXTERIOR PERIMETER OF ALL WINDOWS, DOORS, CURTAINWALL, STOREFRONT, LOUVERS...
6. FLOOR FINISH TRANSITIONS/CHANGES SHALL OCCUR BELOW THE DOOR...
7. DIMENSIONS LOCATING INTERIOR PARTITIONS ARE TO THE FACE OF WALL...
8. ALL EXISTING DIMENSIONS ARE APPROXIMATE AND FOR CONTRACTORS VERIFICATIONS...
9. EVERY ATTEMPT HAS BEEN MADE TO INDICATE PERTINENT EXISTING UTILITIES...
10. ALL EXISTING WORK (CEILINGS, FLOORS, WALLS, PARTITIONS, FINISHES, ETC.)...
11. PENETRATIONS THROUGH FIRE-RESISTANT CONSTRUCTION SHALL BE BUILT IN ACCORDANCE...
12. FLOOR CEILING/ AND ROOF/CEILING ASSEMBLIES ARE FIRE-RESISTANT-RATED CONSTRUCTION...

A. PROVIDE CONTROL JOINTS IN GYPSUM BOARD WALLS & CEILINGS.

- FOR CEILINGS:
• INSTALL CONTROL JOINT IN AREAS EXCEEDING 2500SF.
• SPACE CONTROL JOINTS NOT MORE THAN 50 FEET O.C.
• INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.

- FOR PARTITIONS AND FURRING:
• INSTALL CONTROL JOINTS IN PARTITIONS AND WALL FURRING RUNS EXCEEDING 30FT.
• SPACE CONTROL JOINTS NOT MORE THAN 30 FT O.C.
• INSTALL CONTROL JOINTS IN FURRED ASSEMBLIES WHERE JOINTS OCCUR IN BASE SUBSTRATE OF EXTERIOR WALLS.

CONTROL JOINTS IN FIRE-RESISTANT CONSTRUCTION REQUIRE FIRE-RATED JOINT SYSTEMS OR SPECIAL DETAILING. SEE DETAIL _/A_.

- O. FOR STUD CONSTRUCTION NOT EXTENDING TO THE STRUCTURE, PROVIDE DIAGONAL BRACING FROM TOP OF WALL TO STRUCTURE ABOVE. INSTALL AT 12"-0" MAX SPACING AND @ EACH DOOR JAMB

- P. MOISTURE RESISTANT GYPSUM BOARD TO BE USED IN ALL TOILET, SHOWER AND BATHROOMS. SUBSTITUTE CEMENT BACKING BOARD FOR GYPSUM BOARD DIRECTLY BEHIND ALL WALLS/SURFACES TO RECEIVE CERAMIC TILE

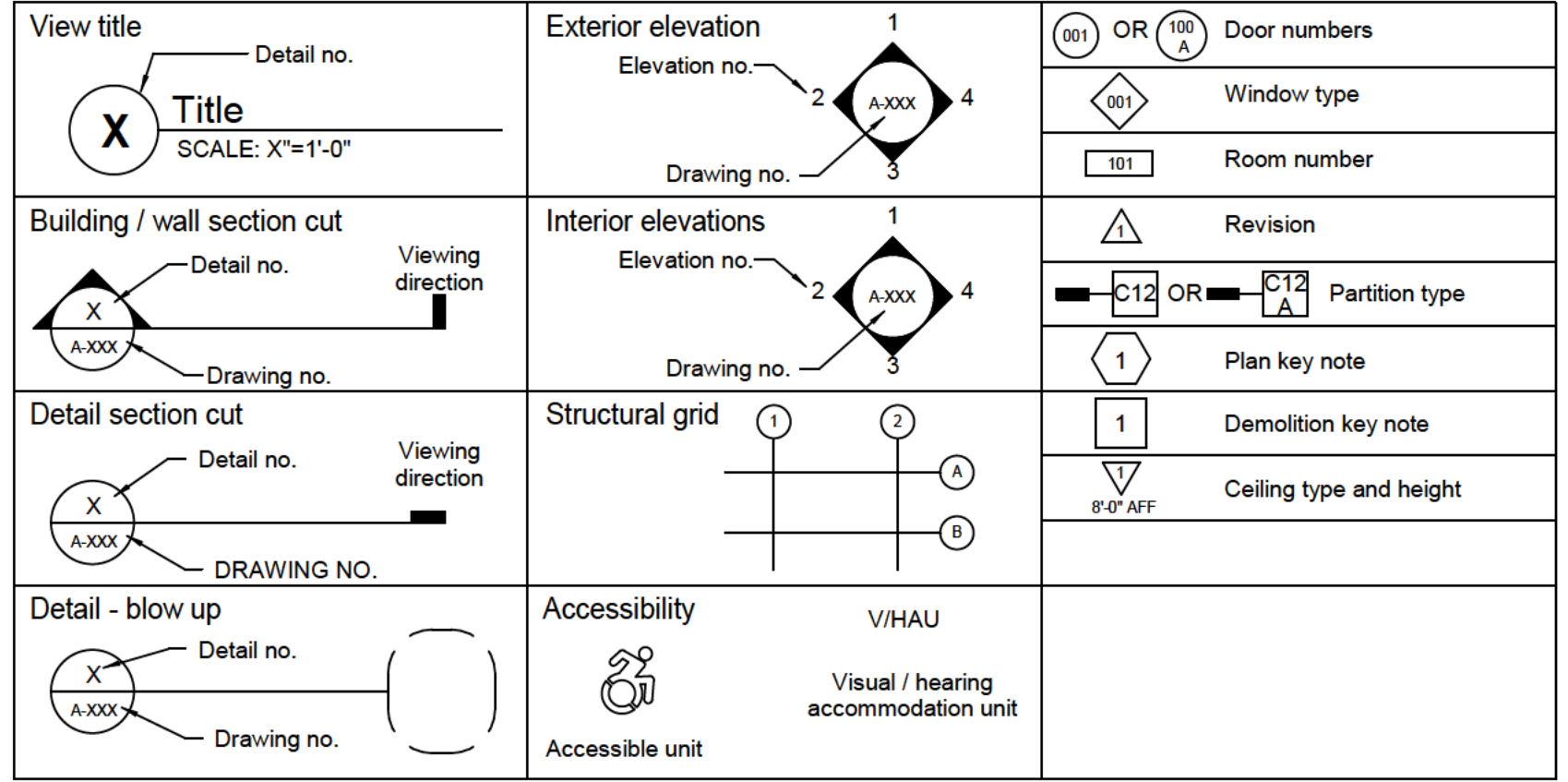
- Q. PROVIDE CONTROL JOINTS IN INTERIOR NON-LOAD BEARING MASONRY WALLS AT A SPACING NOT TO EXCEED 25 FT AND WHERE WALL THICKNESS OR HEIGHTS CHANGE. PROVIDE CONTROL JOINTS FOR FINISHES (TILE OR GYPSUM BOARD) THAT BRIDGE THESE JOINTS. CONTRACTOR TO SUBMIT DRAWING FOR APPROVAL

- R. FOR CMU WALLS INDICATED TO BE FIRE-RESISTANT RATED, PROVIDE UNITS MEETING THE FIRE RATING DURATION INDICATED BASE ON THE EQUIVALENT THICKNESS OF THE MASONRY AND TYPE OF AGGREGATE USED.

S. REFER TO CODE COMPLIANCE PLANS FOR PARTITION FIRE RESISTANCE RATINGS.

- B. GYPSUM BOARD JOINT TREATMENT IN CONCEALED SPACES SHALL BE FIRE TAPED, UNLESS OTHERWISE INDICATED IN A SPECIFIC UL DESIGN, JOINTS SHALL BE FIRE TAPED, AND JOINTS AND FASTENER HEADS COVERED WITH (1) COAT OF JOINT COMPOUND. BASE LAYERS IN MULTILAYER SYSTEMS ARE NOT REQUIRED TO HAVE JOINTS OR FASTENER HEADS TAPED OR COVERED WITH JOINT COMPOUND.

Drawing symbols



Material symbols

Table of material symbols including Undisturbed earth, Gravel or crushed stone, Stone, Concrete, Concrete masonry unit, Brick, Steel - large scale, Steel - small scale, Wood framing, Finish wood, Plywood, Gypsum, sand, mortar, Batt insulation, Rigid insulation, and Wood blocking.

Architectural / Structural abbreviations

Large table of architectural and structural abbreviations, including terms like Anchor bolt, Air conditioning, Accessible, Air cooled condensing unit, etc.

SWBR

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585 232 8300 | rochester@swbr.com



Drawn By: YS
Checked By: YS
Project Manager: YS

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Table with 2 columns: Revisions and Description. Contains revision entries for drawing updates.

Roc Pho Shop Restaurant
339 Jefferson Rd
Rochester, NY 14623
SWBR Project Number 22199.00

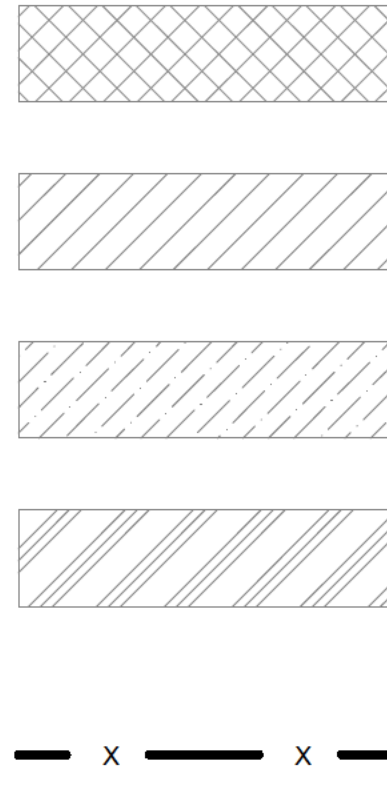
Magnolia Property Holdings, LLC
37 Shetland Circle, Rochester, NY 14624

G-001

GENERAL NOTES AND LEGENDS

December 14, 2022
Planning Board
Submission

CODE COMPLIANCE PLAN LEGEND



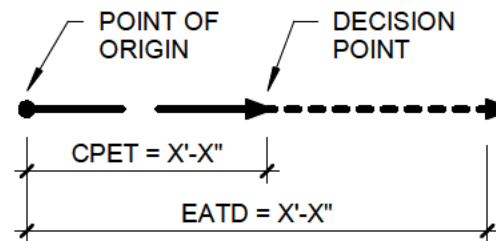
ADDITION

ALTERATION LEVEL 1: REPLACEMENT OF EXISTING BUILDING SYSTEMS (WALLS, CEILING ASSEMBLIES, FLOOR FINISHES, AND ASSOCIATED BUILDING INFRASTRUCTURE SYSTEMS) WITH NEW SYSTEMS FULFILLING THE SAME PURPOSE.

ALTERATION LEVEL 2: RECONFIGURATION OF EXISTING SPACE TO PROVIDE NEW FUNCTION AS LABELED. SEE DETAIL PLANS.

CHANGE OF OCCUPANCY: CHANGE IN THE PURPOSE OR LEVEL OF ACTIVITY WITHIN A SPACE THAT INVOLVES A CHANGE IN APPLICATION OF CODE REQUIREMENTS.

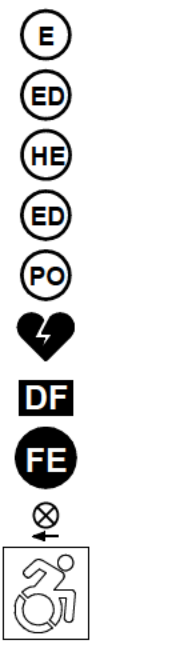
INDICATES FIRE-RESISTANT WALL CONSTRUCTION OF VARIOUS TYPES AND HOURLY RATINGS. SEE FIRE-RESISTANT CONSTRUCTION WALL LEGEND.



COMMON PATH OF EGRESS TRAVEL CPET = X'-X"

EXIT ACCESS TRAVEL DISTANCE EATD = X'-X"

EXIT LOAD CLEAR EXIT WIDTH (INCHES) EXIT CAPACITY (OCCUPANTS)



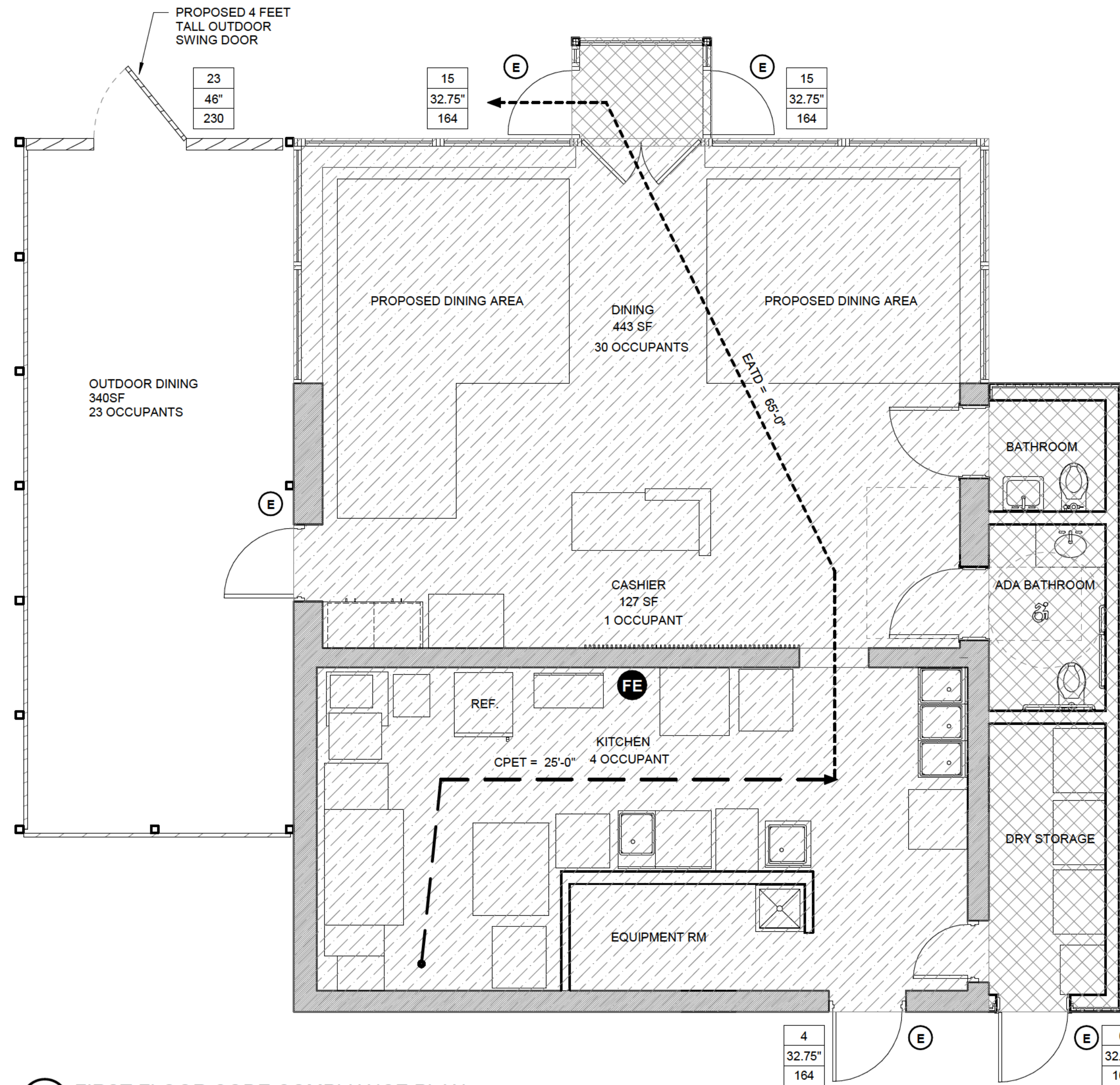
EXIT, MAINTAIN OPERATIONAL AT ALL TIMES DURING CONSTRUCTION EXIT DISCHARGE HORIZONTAL EXIT EXIT DISCHARGE EXTERIOR PROTECTIVE OPENING AUTOMATED EXTERNAL DEFIBRILLATOR AUTOMATED EXTERNAL DEFIBRILLATOR FIRE EXTINGUISHER EXIT SIGN

ACCESSIBLE ENTRANCE, EXIT OR TOILET ROOM

SPECIFIC CODE INFORMATION NOTE

CODE COMPLIANCE GENERAL NOTES

CODE COMPLIANCE DRAWINGS ARE INTENDED TO ASSIST IN THE PERMIT PROCESS AND TO PROVIDE GENERAL INFORMATION TO THE CONTRACTORS WITH RESPECT TO LIFE-SAFETY PROVISIONS OF THE PROJECT. THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE THE SCOPE OF OTHER WORK SPECIFICALLY INDICATED ELSEWHERE IN THE DOCUMENTS. THESE DRAWINGS SHALL BE USED FOR THE LOCATIONS OF FIRE-RESISTANT RATED WALL CONSTRUCTION.



1 FIRST FLOOR CODE COMPLIANCE PLAN 1/4" = 1'-0"

BUILDING DATA & CODE REVIEW

Table with project name (Roc Pho Shop Restaurant), project number (22199.00), and dates for preparation and checking.

Table for building data and code summary including occupancy classification (A-2), use (Restaurant), and construction classification (Type VB).

Table for automatic sprinkler system provided, showing NFPA standard (13) and options for yes/no/13R/13D.

REHABILITATION OF EXISTING STRUCTURES: 2020 EXISTING BUILDING CODE OF NEW YORK STATE. Refer to Code Compliance Drawings for location of Work Areas as defined in Chapter 6 Existing Building Code of the 2020 Existing Building Code of New York State.

Table for compliance path method, including prescriptive method (Ch. 3, Ch. 5), work area method (Ch. 3, Ch. 6-12), and performance method (Ch. 3, Ch. 13).

Table for repair and alteration levels, with checkboxes for repair, alteration levels 1-3, and change of occupancy.

Table for former occupancy classification (A-2) and partial change of occupancy, with checkboxes for yes/no/separated/not separated.

Table for addition, separated from existing with fire wall, and fire resistance rating (Table 706.4 BCNYS).

Table for historic building, relocated structure, and seismic retrofit required, with checkboxes for yes/no.

Table for height and area - actual, showing building height in feet and stories for existing and proposed addition.

Table for building area, showing work area, floor area, addition, and total area in square feet for basement, first, second, third, fourth, and total.

Table for height and area - allowable, showing area per table 504.3 and 506.2, and tabular height for class A-2.

Table for footnotes defining abbreviations like NS, SI, SM, S, S13R, and S13D, and formulas for area increase and frontage.

Table for allowable building area - single story, showing equations for allowable area based on occupancy group and frontage increase.

Table for special detailed requirements based on use and occupancy, listing various building types and their corresponding code sections.

FIRE PROTECTION SYSTEMS: (Chapter 9)

Table for fire protection systems, comparing required vs provided for items like automatic sprinkler, fire alarm, smoke control, etc.

MEANS OF EGRESS: (Chapter 10)

Table for design occupant load summary, showing floor level, design occupant load, and design occupant load for various areas.

Table for means of egress element, showing required vs provided for number of exits, exit access travel distance, etc.

Table for plumbing fixture requirements, showing occupancy classification, occupant load, and required vs provided for water closets, urinals, and lavatories.

Table for separate facilities for each gender, employee facilities, and public facilities, with checkboxes for yes/no.

Table for plumbing fixture requirements (existing structures), including questions about calculated occupant load and change of occupancy.

Table for accessibility (existing structures), including questions about alteration work area and exceptions to 705.2.

Table for accessibility (existing structures) continued, including questions about scope for required accessibility upgrades and features provided.



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Drawn By: YS Checked By: YS Project Manager: YS

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Revisions

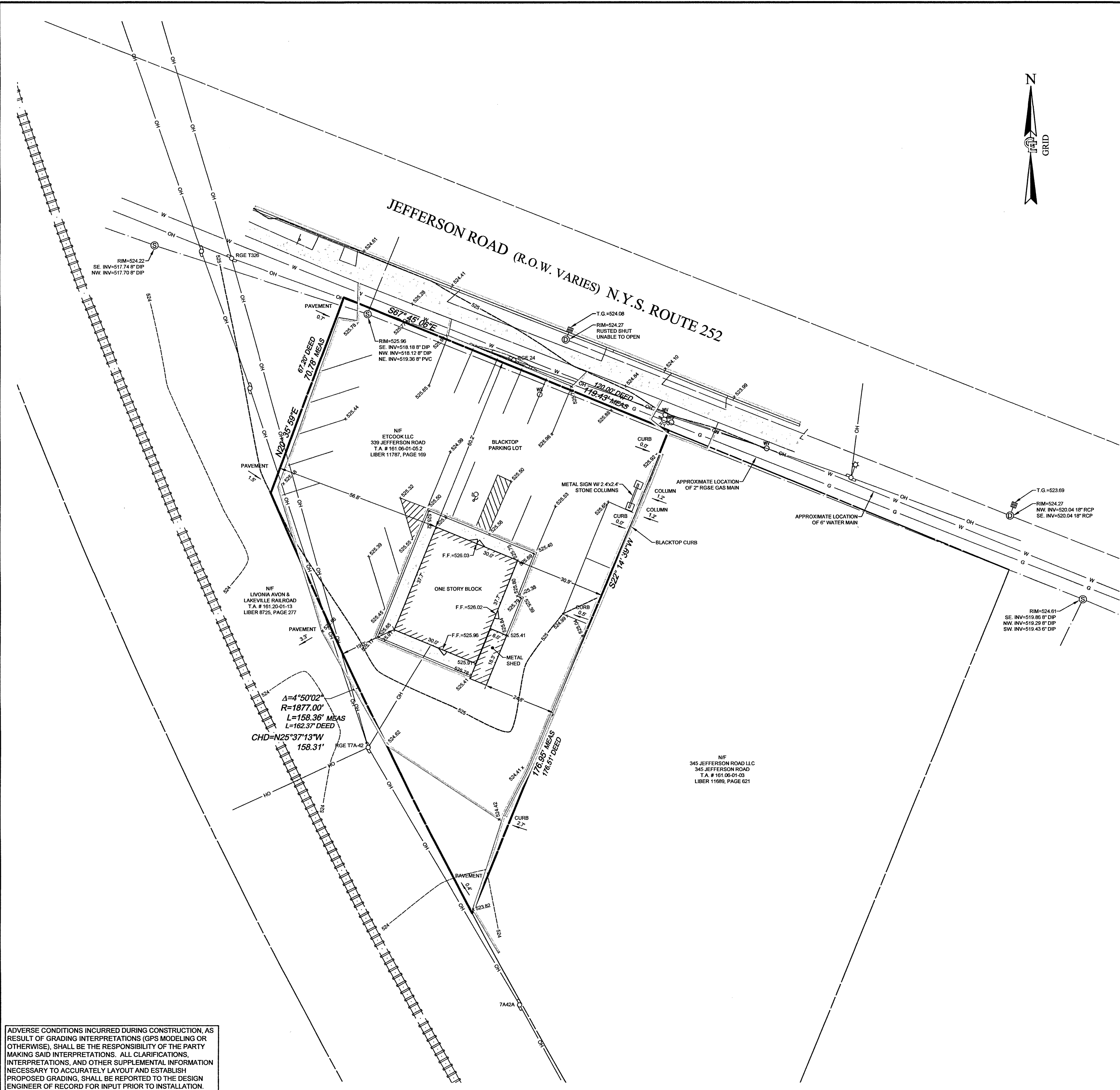
Roc Pho Shop Restaurant 339 Jefferson Rd Rochester, NY 14623 SWBR Project Number 22199.00

Magnolia Property Holdings, LLC 37 Shetland Circle, Rochester, NY 14624

G-002

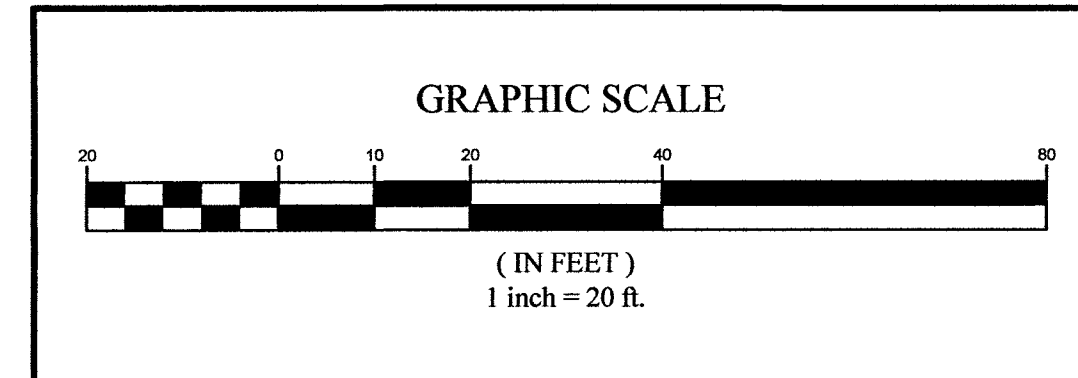
CODE COMPLIANCE DRAWINGS AND FIRE SAFETY PLANS

December 14, 2022 Planning Board Submission



ADVERSE CONDITIONS INCURRED DURING CONSTRUCTION, AS RESULT OF GRADING INTERPRETATIONS (GPS MODELING OR OTHERWISE), SHALL BE THE RESPONSIBILITY OF THE PARTY MAKING SAID INTERPRETATIONS. ALL CLARIFICATIONS, INTERPRETATIONS, AND OTHER SUPPLEMENTAL INFORMATION NECESSARY TO ACCURATELY LAYOUT AND ESTABLISH PROPOSED GRADING, SHALL BE REPORTED TO THE DESIGN ENGINEER OF RECORD FOR INPUT PRIOR TO INSTALLATION.

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



SURVEY NOTES

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 10/06/2021 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYS DOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT
PITTSFORD CORS STATION
-LATITUDE: 43-05-35.48461 (N) NAD 83 (CORS)
-LONGITUDE: 077-31-31.11244 (W)
-ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORS)

SITE DATA

- EXISTING ZONING: B-1 (COMMERCIAL DISTRICT) WITH MIXED USE REDEVELOPMENT AREA OVERLAY DISTRICT
 - BULK REQUIREMENTS: REQUIRED
- MAX. BUILDING HEIGHT (FT) 30
MIN. FRONT YARD SETBACK (FT) 125
MIN. SIDE YARD SETBACK (FT) 5
MIN. REAR YARD SETBACK (FT) 60

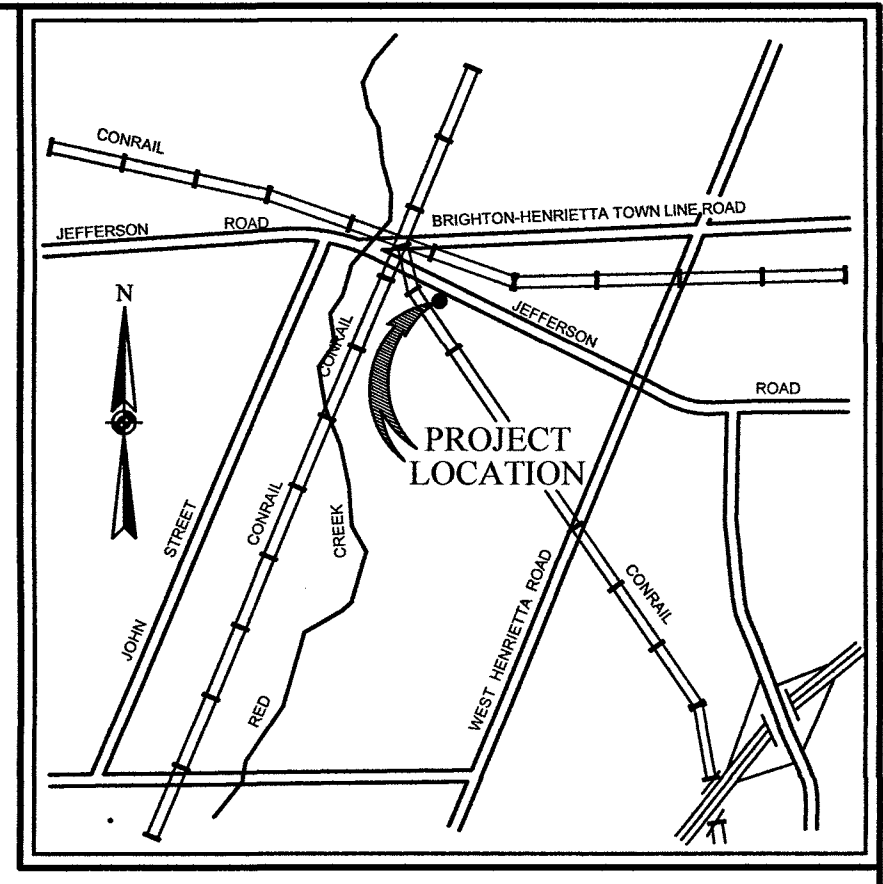
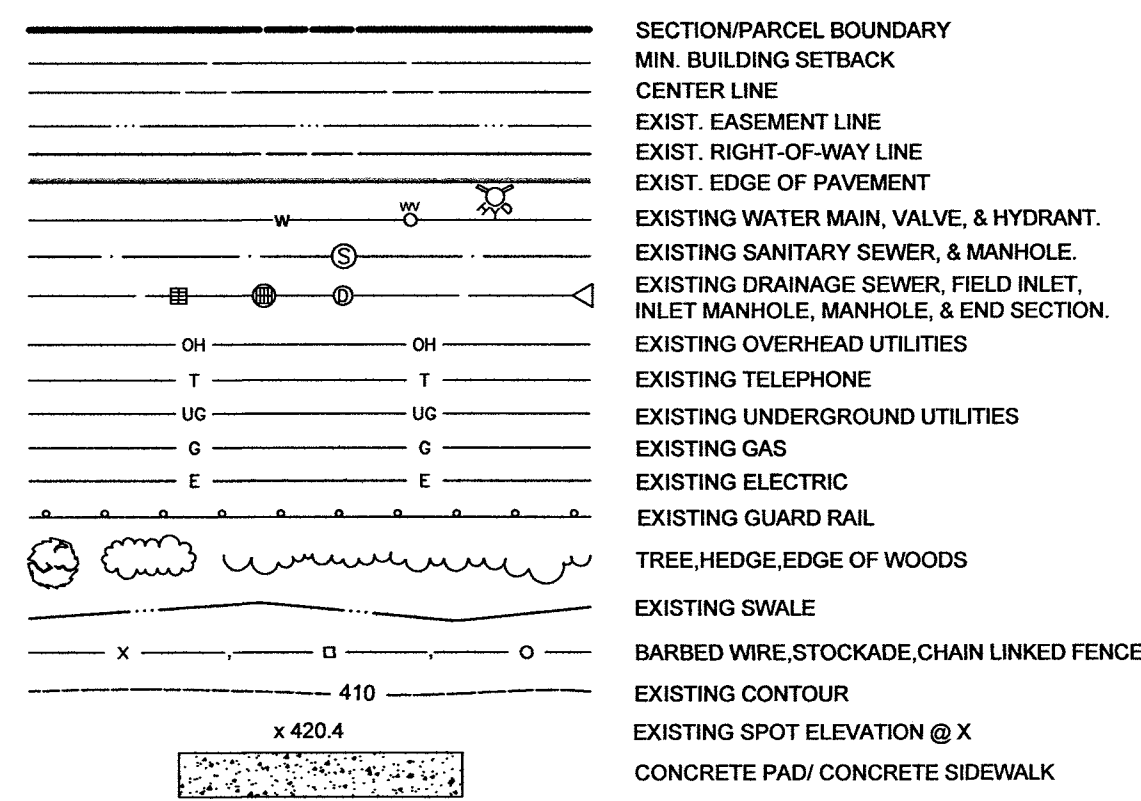
UTILITY INFORMATION

- UTILITY INFORMATION PER UFPO DESIGN TICKET # 09271-000-524-000 DATED SEPTEMBER 27, 2021
- FIRSTLIGHT FIBER 518-857-7836 NO RESPONSE
 - FRONTIER TELEPHONE OF ROCHESTER 585-777-7577 NO RESPONSE
 - MONROE COUNTY WATER AUTHORITY 585-442-200 x 285 UTILITIES PLOTTED
 - NYS DOT ROCHESTER REGION 4 585-753-7790 NO RESPONSE
 - ROCHESTER GAS AND ELECTRIC 585-771-4745 UTILITIES PLOTTED
 - CHARTER COMMUNICATIONS 317 575-7800 x 2 NO RESPONSE
 - TOWN OF HENRIETTA 585-359-7056 UTILITIES PLOTTED

REFERENCES

- MAP ENTITLED "HENRI-JEFF INDUSTRIAL PARK BOUNDARY MAP" PREPARED BY SEAR BROWN ASSOCIATES DATED AUGUST 25, 1967 HAVING DWG # 398-28.
- MAP ENTITLED "HENRI-JEFF INDUSTRIAL PARK BOUNDARY MAP" PREPARED BY CHARLES J. COSTICH P.E., L.S. P.C., DATED OCTOBER 6, 1988 HAVING DWG # 463-1.
- MAP ENTITLED "HENRI-JEFF INDUSTRIAL PARK PLAT MAP" PREPARED BY CHARLES J. COSTICH P.E., L.S. P.C., DATED OCTOBER 6, 1988 HAVING DWG # 463-5.
- THE DEEDS AS SHOWN ON FILE IN THE MONROE COUNTY CLERK'S OFFICE.
- NEW YORK STATE APPROPRIATION MAPPING FOR JEFFERSON ROAD SH # 8443, MAP 12, MAP 13, AND MAP 76 PARCEL 82 & 85.
- ABSTRACT "CHICAGO TITLE" SEARCH # 2116-3536SCH" DATED JULY 8, 2021.

LINE LEGEND



LOCATION SKETCH
NOT TO SCALE

SYMBOL LEGEND



CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO

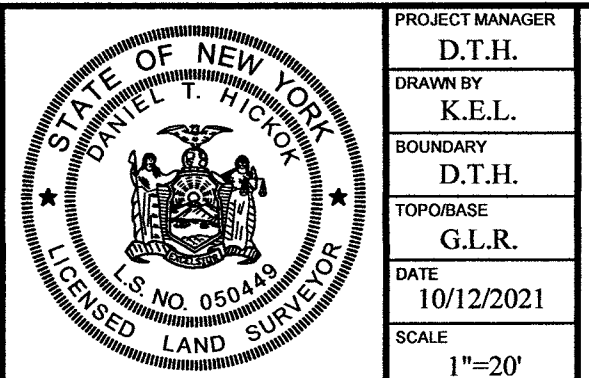
THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON OCTOBER 6, 2021 AND FROM THE REFERENCE(S) LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

By: *Daniel T. Hickok* Date: 10/18/2021
Daniel T. Hickok, N.Y.S. L.S., No. 050449

NO.	DATE	REVISION	BY	CHKD.	APVLS.

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COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT MANAGER
D.T.H.
DRAWN BY
K.E.L.
BOUNDARY
D.T.H.
TOPOBASE
G.L.R.
DATE
10/12/2021
SCALE
1"=20'

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

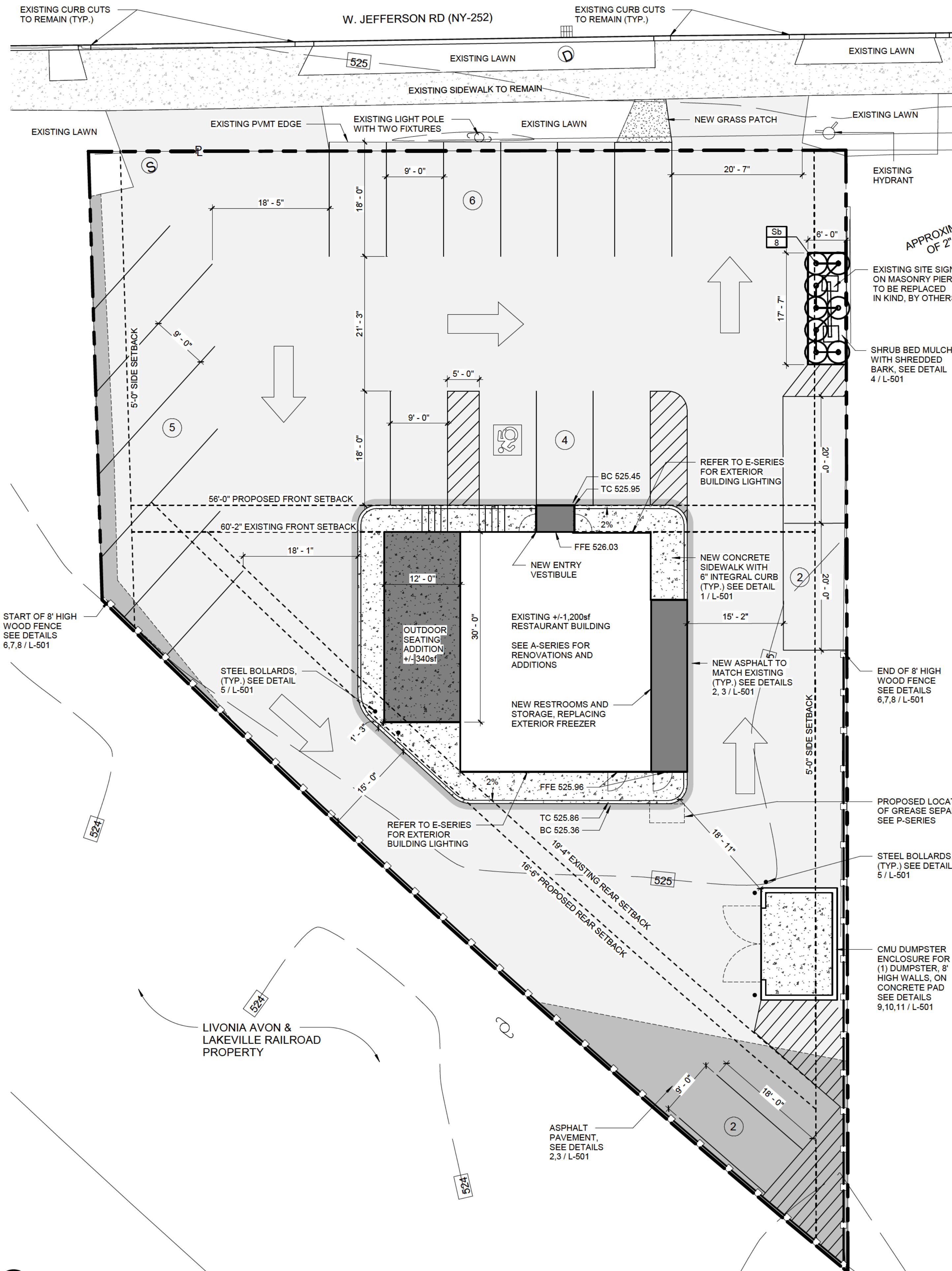
TITLE OF PROJECT
339 JEFFERSON ROAD

TITLE OF DRAWING
EXISTING FEATURES PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 161-06-01-052
TOWN LOT 3, FIFTH RANGE, TOWNSHIP 12, TOWN OF HENRIETTA,
COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
SWBR ARCHITECTS
309 SOUTH FRANKLIN STREET
SYRACUSE, NEW YORK 13202

DWG # 8186
VA100
SHEET 1 OF 1



SHRUBS					
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
Sb	8	Spiraea x bumalda 'Anthony Waterer'	Bumald spirea	#3 Cont.	18 - 24" sp.

SITE DATA

- TAX ACCOUNT NUMBER: 161.06-01-05.2
- PARCEL ADDRESS: 339 JEFFERSON RD
- TOTAL PARCEL AREA: 0.33 ACRES
- EXISTING ZONING: B-1 WITH MIXED USE REDEVELOPMENT OVERLAY DISTRICT
PROPOSED ZONING: B-1 WITH MIXED USE REDEVELOPMENT OVERLAY DISTRICT
- EXISTING USE: RESTAURANT
PROPOSED USE: RESTAURANT¹
- WITHIN 100 YEAR FLOODPLAIN
- AREA REQUIREMENTS:

	REQUIRED	PROPOSED
SETBACK		
FRONT ²	125' (60'-4" SET BACK FOR EXISTING STRUCTURE)	56'
REAR ³	60' (19'-4" SET BACK FOR EXISTING STRUCTURE)	15'-6"
SIDE	5'	30'-10"
BUILDING		
HEIGHT	30' PER ZONING 40' PER BUILDING CODE	15'-6"
PARKING		
SPACES ⁴	21 (BASED ON 53 CUSTOMERS & 5 STAFF)	19
ADA SPACE	1 (PER IBC 2018)	1
SPACE SIZE		
	18' x 9' 20' x 10' PARALLEL	18' x 9' 20' x 10' PARALLEL

NOTE: AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

LANDSCAPE AND PAVING LEGEND

- PROPERTY LINE
- SETBACK LINE
- CONCRETE PAVING
- EXISTING ASPHALT PAVING TO BE RESEALED AND STRIPED
- NEW ASPHALT PAVING
- 8' HIGH WOOD FENCE

GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS AND PAY ALL REQUIRED FEES BY GOVERNING AGENCIES HAVING JURISDICTIONS OVER THE FACILITIES AND NATURAL FEATURES FOUND ON THE SITE.
- ALL WORK AND AMENITIES SHOWN ON THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS "NEW" UNLESS INDICATED TO BE "EXISTING".
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION SITE DISTURBANCE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND MAKE ALL NECESSARY PROVISIONS FOR PROTECTION OF THE PUBLIC, THE WORKMEN AND THE WORK, AND FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
- THE CONTRACTOR SHALL ADHERE TO ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL SAFETY REGULATIONS.
- PROMPTLY REPORT TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES FOUND ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION. PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION.
- SEE CIVIL ENGINEERS DRAWINGS FOR GRADING AND DRAINAGE INFORMATION NOT SHOWN IN THESE DRAWINGS.

PLANTING NOTES

- ALL TOPSOIL SHALL BE SCREENED LOAM SURFACE SOIL, FREE OF STONES AND SHALL HAVE THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. AN ORGANIC CONTENT OF 5% MIN.
 - B. SOIL ACIDITY RANGE OF pH 6.5 TO pH 7.2
 - C. SOLUBLE SALTS OF 1000 PPM OR LESS
 - D. MAXIMUM CLAY CONTENT OF 15-20%
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A CERTIFIED SOIL TEST ANALYSIS OF ON SITE AND / OR IMPORTED TOPSOIL. TOPSOIL ANALYSIS TO INCLUDE THE FOLLOWING DATA:
 - A. pH FACTOR.
 - B. MECHANICAL ANALYSIS, INCLUDING SIEVE ANALYSIS PROVIDING SEPARATE SAND, SILT AND CLAY PERCENTAGES
 - C. PERCENTAGE OF ORGANIC CONTENT BY WEIGHT
 - D. NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHOROUS AND POTASSIUM
- SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS; A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACIDITY RANGE OF pH 6.5 TO 7.2 INCLUSIVE.
- COMPOST SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. ORGANIC CONTENT OF 35-50% (DRY WEIGHT BASIS)
 - B. LOOSE AND FRABLE WITH MOISTURE CONTENT OF 35-55% (WET WEIGHT BASIS)
 - C. PARTICLE SIZE SHALL BE <1/2 INCH (100% PASSING)
 - D. SOLUBLE SALTS CONCENTRATION SHALL BE <4.0 (DS/M), MAXIMUM
 - E. pH RANGE OF 6.0-8.0
- PLANTING BED AREAS SHALL BE PROVIDED WITH AN 18" MINIMUM DEPTH OF APPROVED PLANTING MIX SOIL, UNLESS OTHERWISE SPECIFIED.
- PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF 4 PARTS IMPORTED OR ON-SITE SCREENED TOPSOIL AND 1 PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL.
- ALL AREAS DESIGNATED AS LAWN ON THESE PLANS SHALL RECEIVE APPROVED TOPSOIL (AND SPREAD TO A COMPACTED DEPTH OF SIX (6) INCHES (MIN.), UNLESS OTHERWISE SPECIFIED), BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER DETAILS. ANY DEVIATIONS FROM THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF LANDSCAPE ARCHITECT.
- ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- MULCH ALL PLANT BEDS WITH SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- MULCH SAMPLE TO BE SUBMITTED TO THE OWNER FOR FINAL APPROVAL.
- ANY PLANT WHICH TURNS BROWN, DEFOLIATES OR DIES PRIOR TO FINAL ACCEPTANCE BY THE OWNER, OR LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, AND FERTILIZING, AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING) AND LAWN AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTS, DELIVERY AND LABOR FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.

1 OVERALL SITE PLAN
1" = 10'-0"

SURVEY WAS PREPARED BY COSTICH ENGINEERING
DATED OCTOBER 12, 2021, SEE VA-100



387 East Main Street Rochester NY 14604
585.232.8300 | rochester@swbr.com



Drawn By: BMM
Checked By: BP
Project Manager: YS

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Revisions

No.	Description

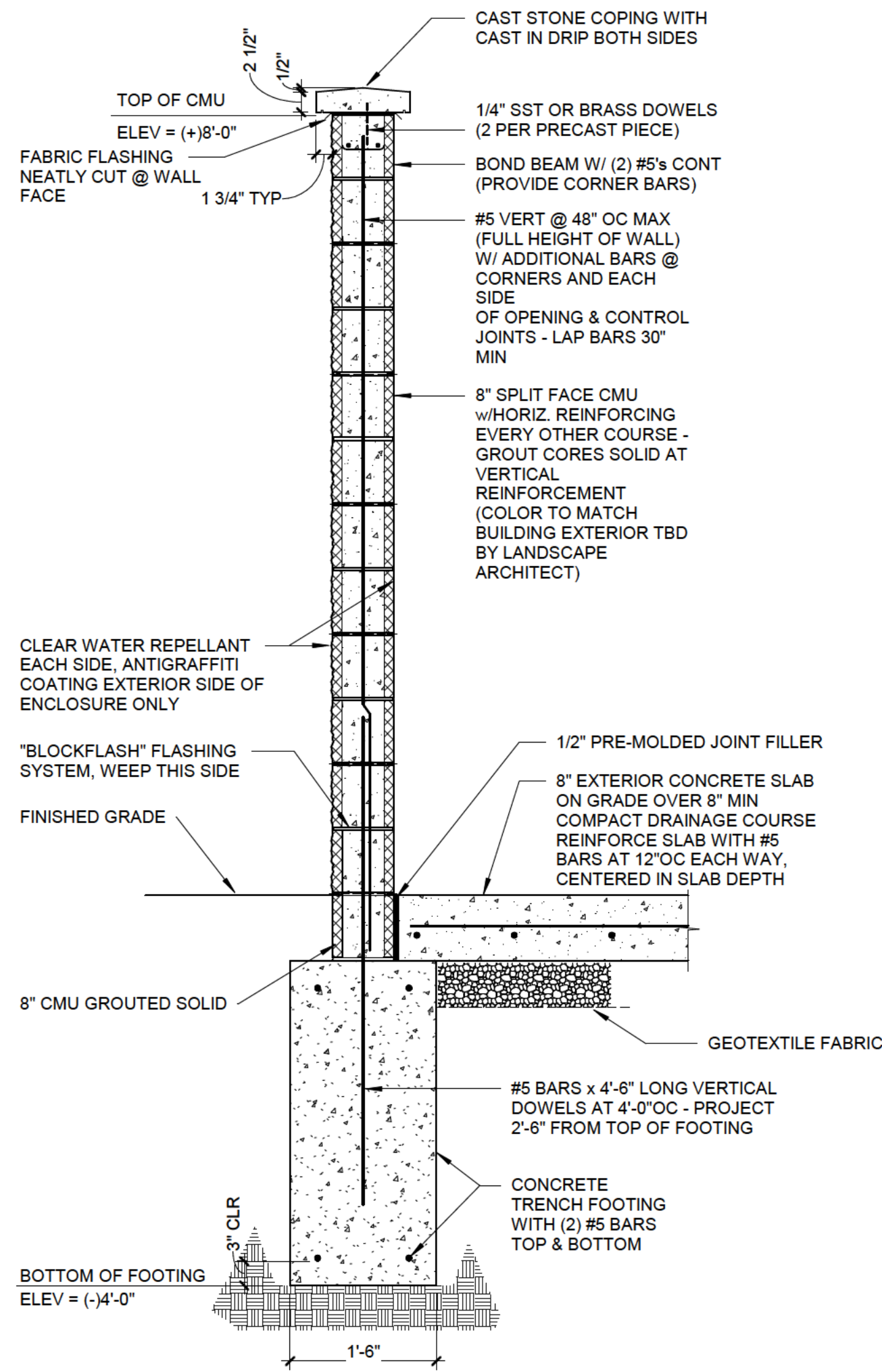
Roc Pho Shop Restaurant
339 Jefferson Rd
Rochester, NY 14623
SWBR Project Number 21199.00

Magnolia Property Holdings, LLC
37 Shetland Cir.
Rochester NY, 14624

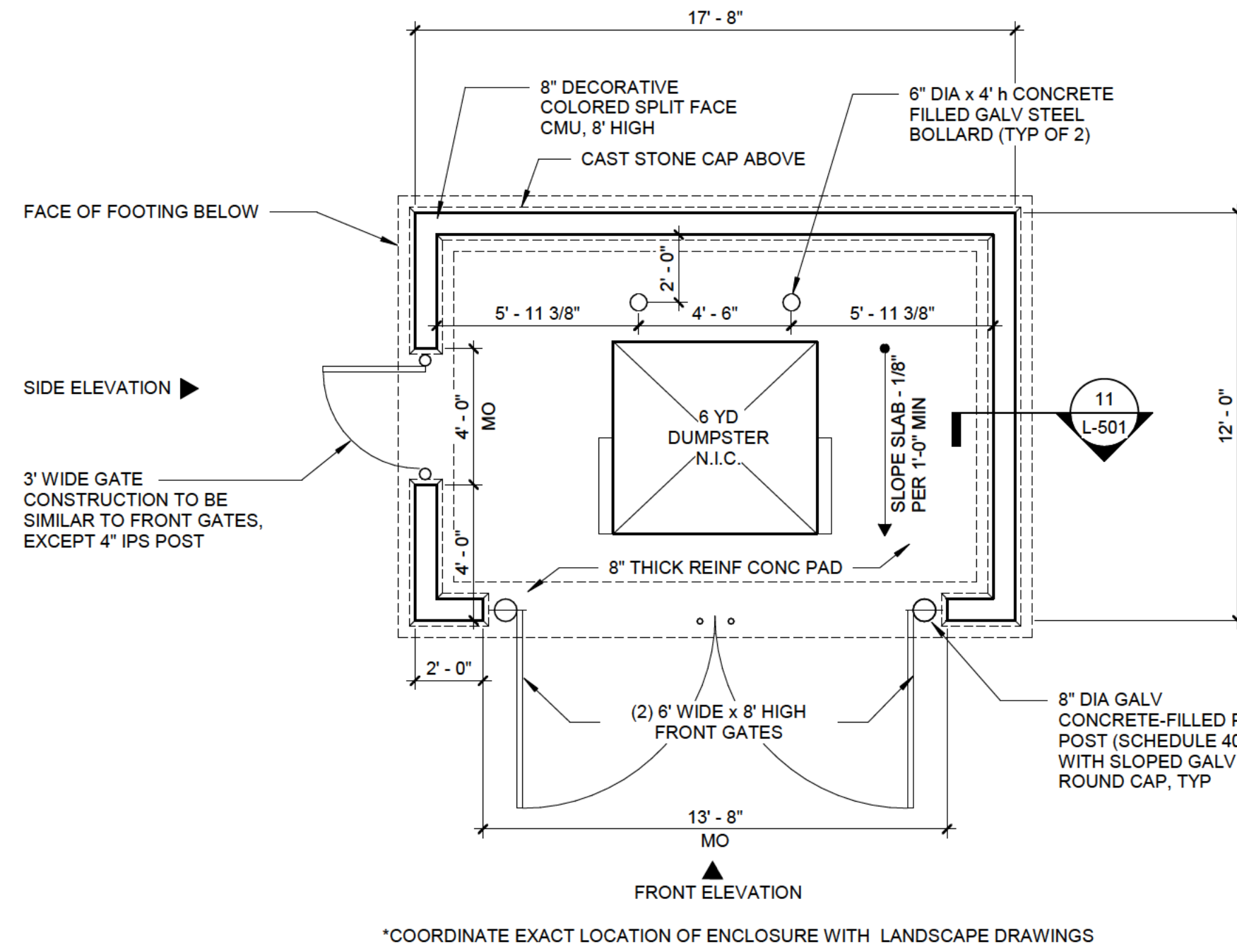
L-101

SITE PLAN

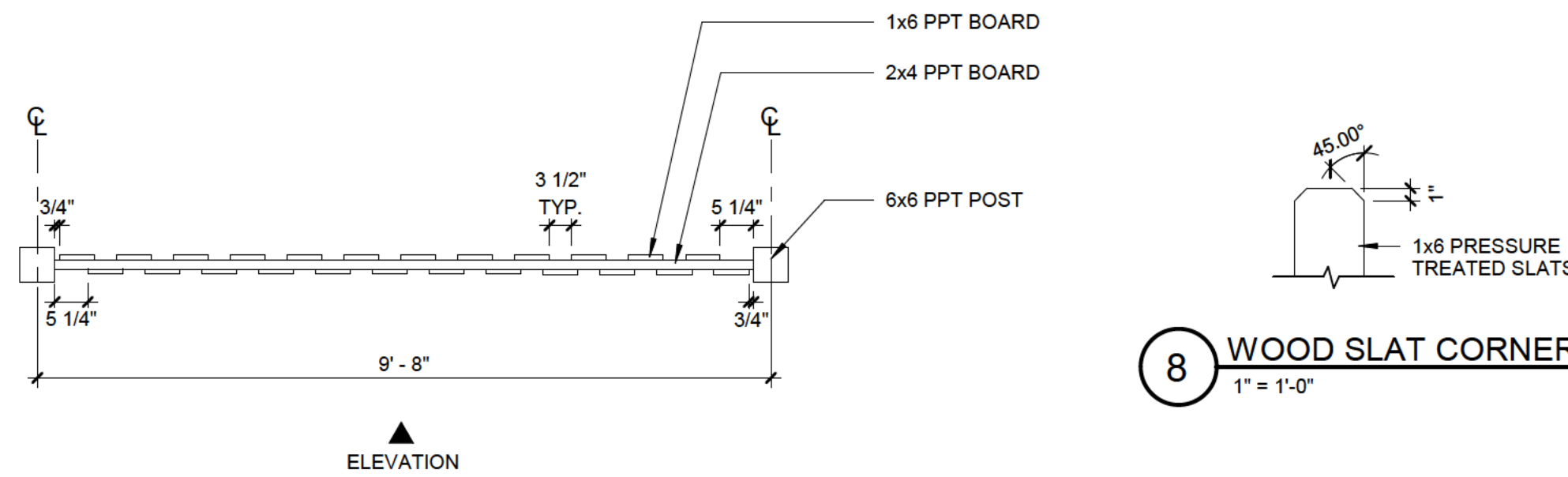
December 14, 2022
PLANNING BOARD
SUBMISSION



11 DUMPSTER / GENERATOR ENCLOSURE SECTION
3/4" = 1'-0"

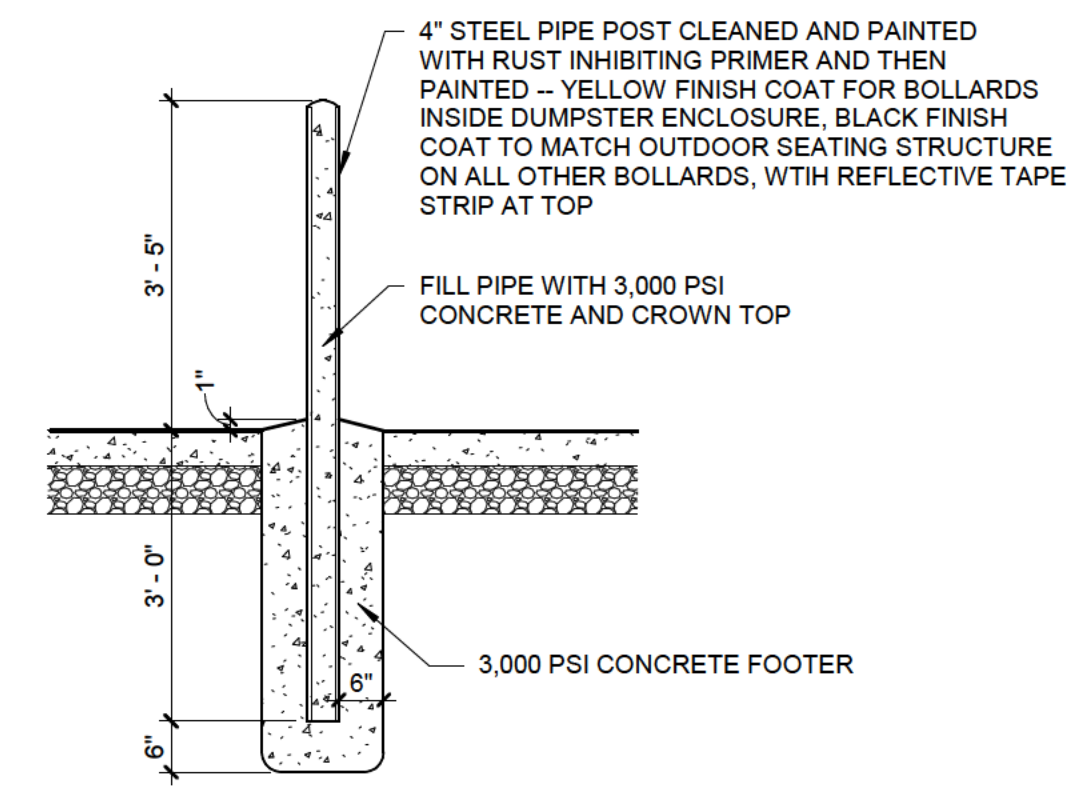


9 DUMPSTER CMU ENCLOSURE
1/4" = 1'-0"

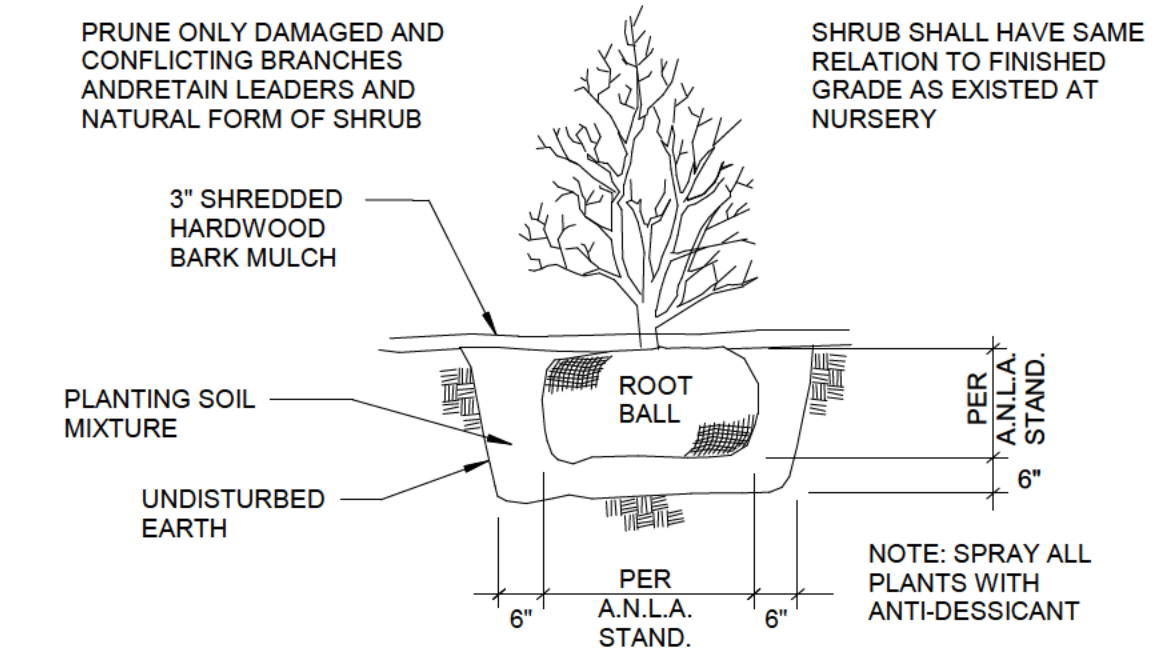


7 8' WOOD BOARD FENCE PLAN
1/2" = 1'-0"

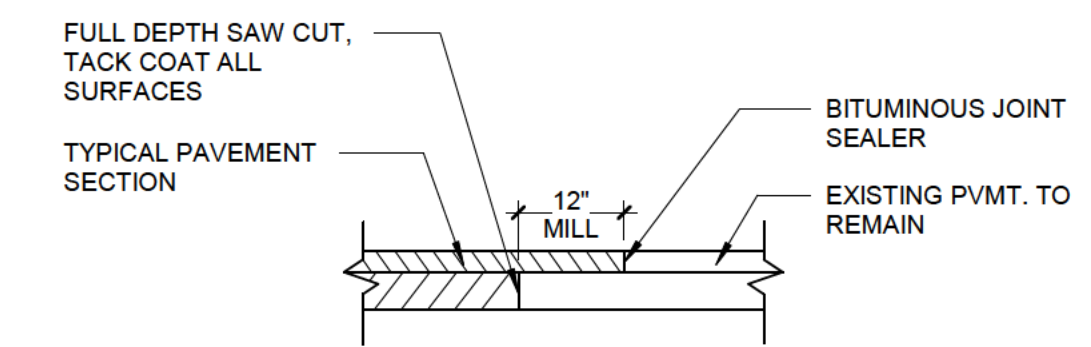
8 WOOD SLAT CORNER CUT DETAIL
1" = 1'-0"



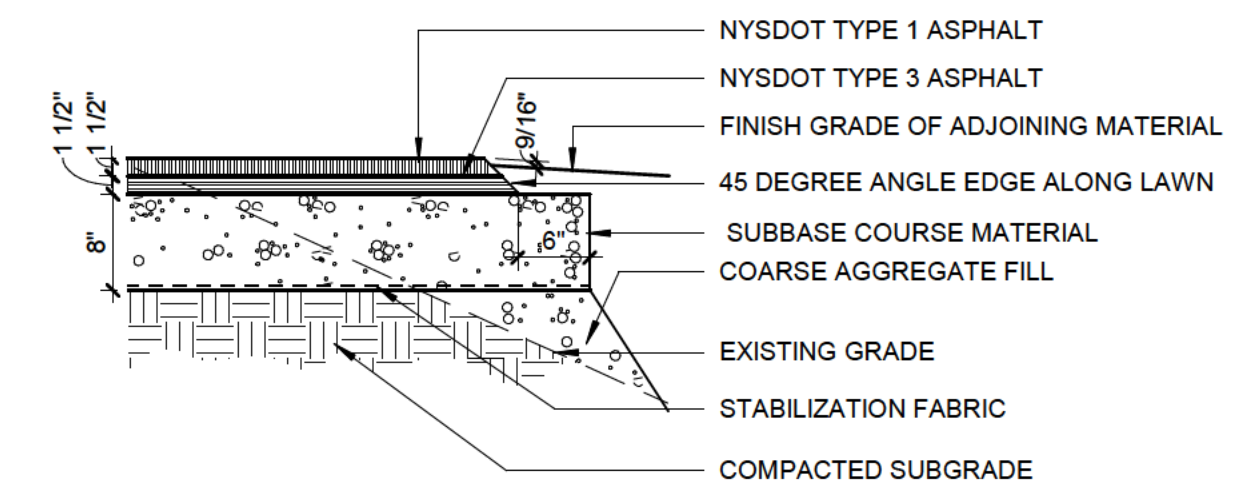
5 CONCRETE FILLED STEEL BOLLARD
1/2" = 1'-0"



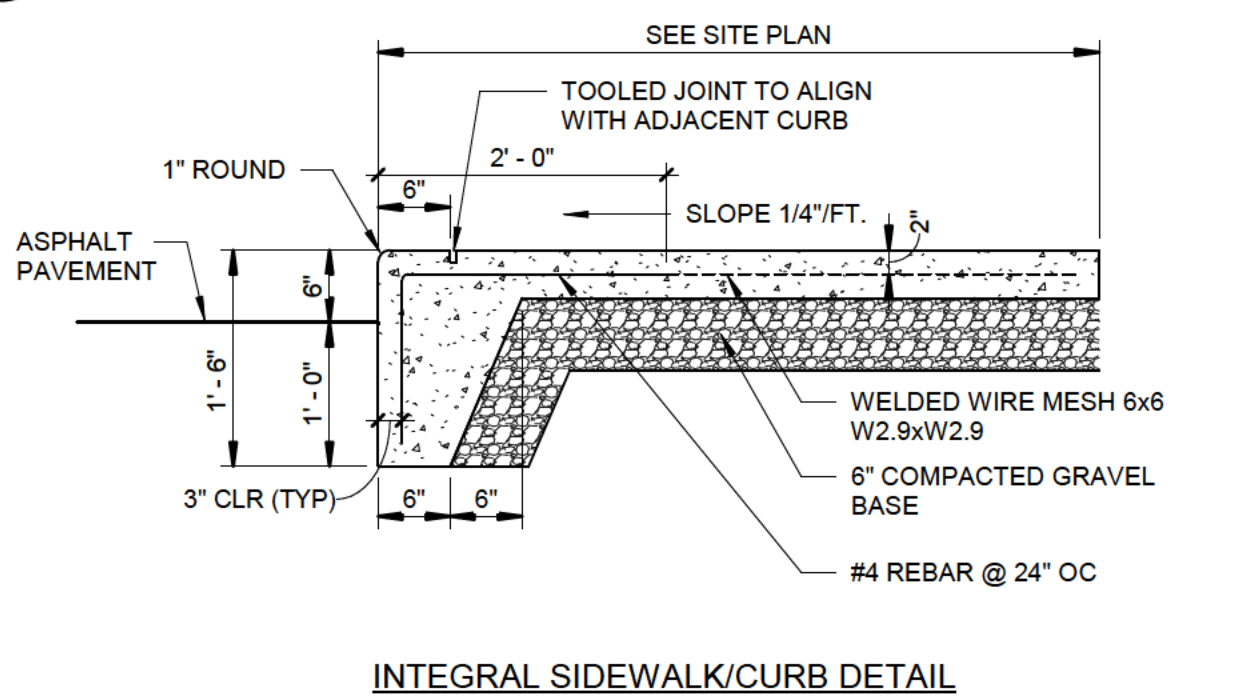
4 SHRUB PLANTING DETAIL
Not To Scale



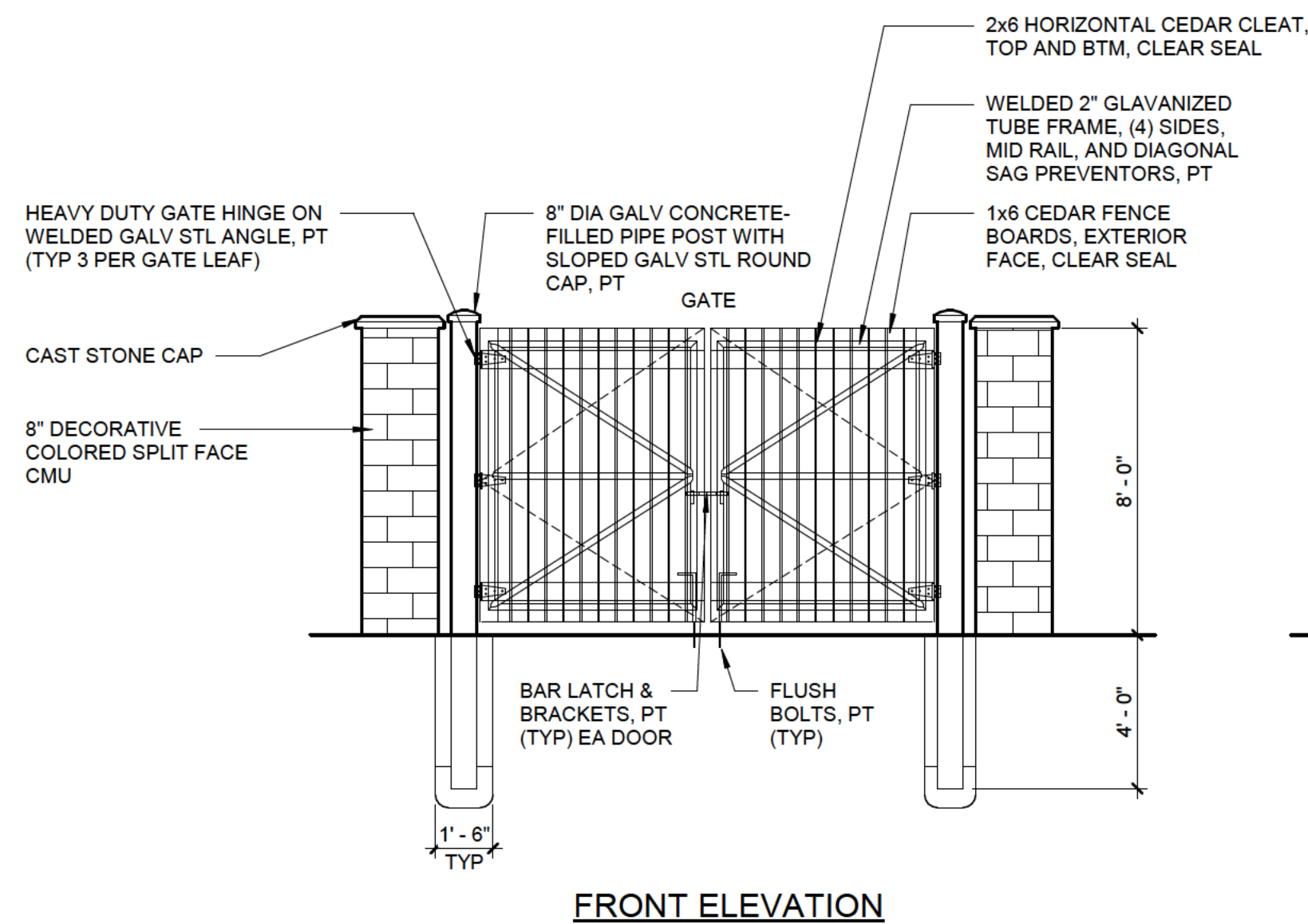
3 ASPHALT PAVEMENT MATCH
1 1/2" = 1'-0"



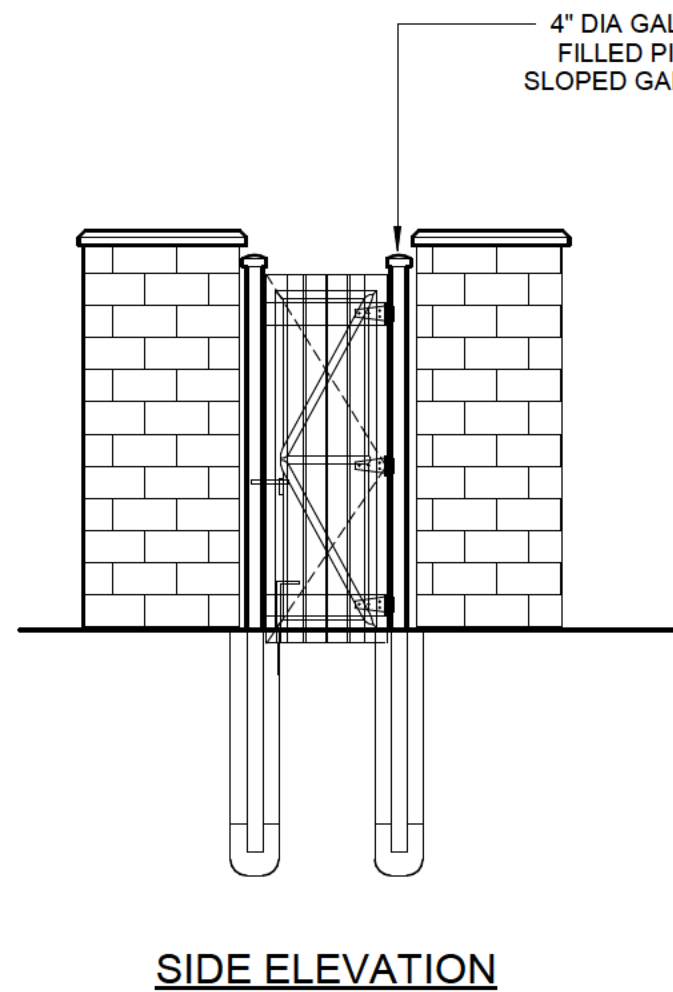
2 ASPHALT PAVEMENT WALK
3/4" = 1'-0"



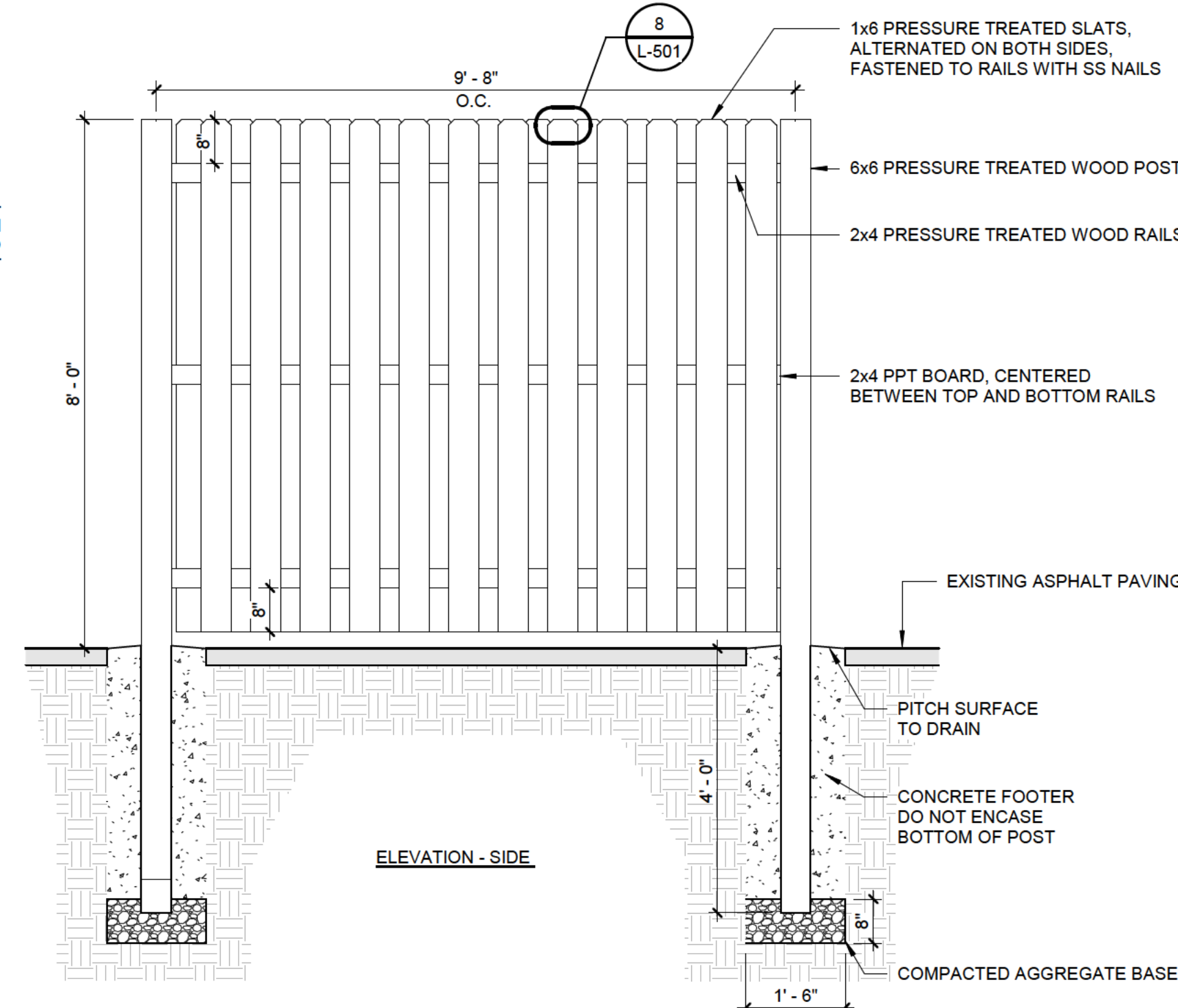
1 CONCRETE SIDEWALK AND CURB
3/4" = 1'-0"



FRONT ELEVATION



SIDE ELEVATION



ELEVATION - SIDE

8 8' WOOD BOARD FENCE ELEVATION
1/2" = 1'-0"

10 DUMPSTER CMU ENCLOSURE ELEVATION
1/4" = 1'-0"

- NOTES:
- COORDINATE EXACT LOCATION OF ENCLOSURE WITH LANDSCAPE DRAWINGS
 - COORDINATE BOTTOM OF GATES WITH GRADE TO ALLOW DOORS TO SWING FULLY OPEN WITHOUT BINDING ON THE PAVEMENT
 - PROVIDE CLEAR SEALER ON ALL WOOD SURFACES
 - CMU COLOR TBD BY LANDSCAPE ARCHITECT FROM MANUFACTURER'S STANDARD RANGE



Drawn By: BMM
Checked By: BP
Project Manager: YS

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Revisions

Roc Pho Shop Restaurant
339 Jefferson Rd
Rochester, NY 14623
SWBR Project Number 21199.00

Magnolia Property Holdings, LLC
37 Shetland Cir.
Rochester NY, 14624

L-501

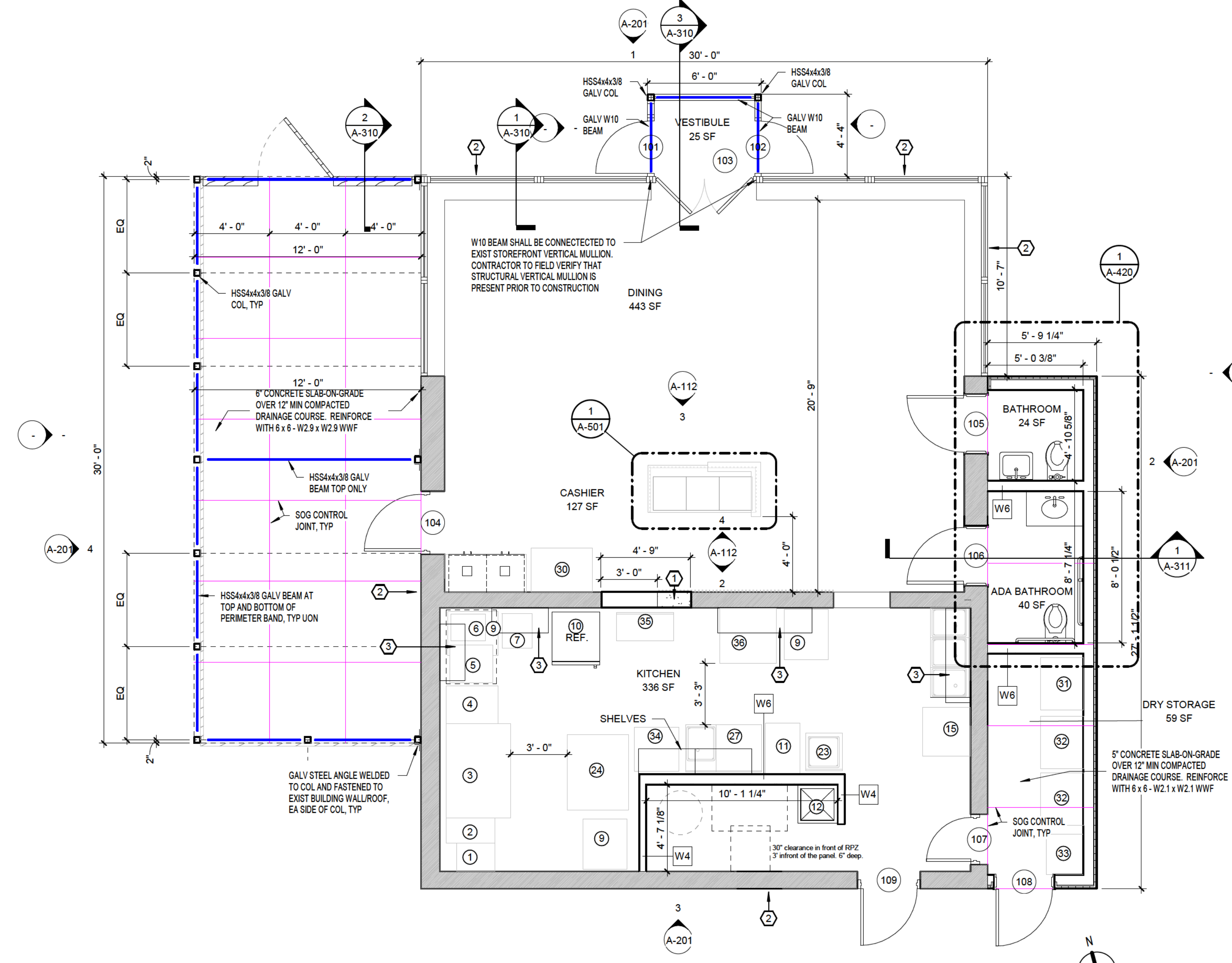
LANDSCAPE DETAILS

December 14, 2022
PLANNING BOARD
SUBMISSION

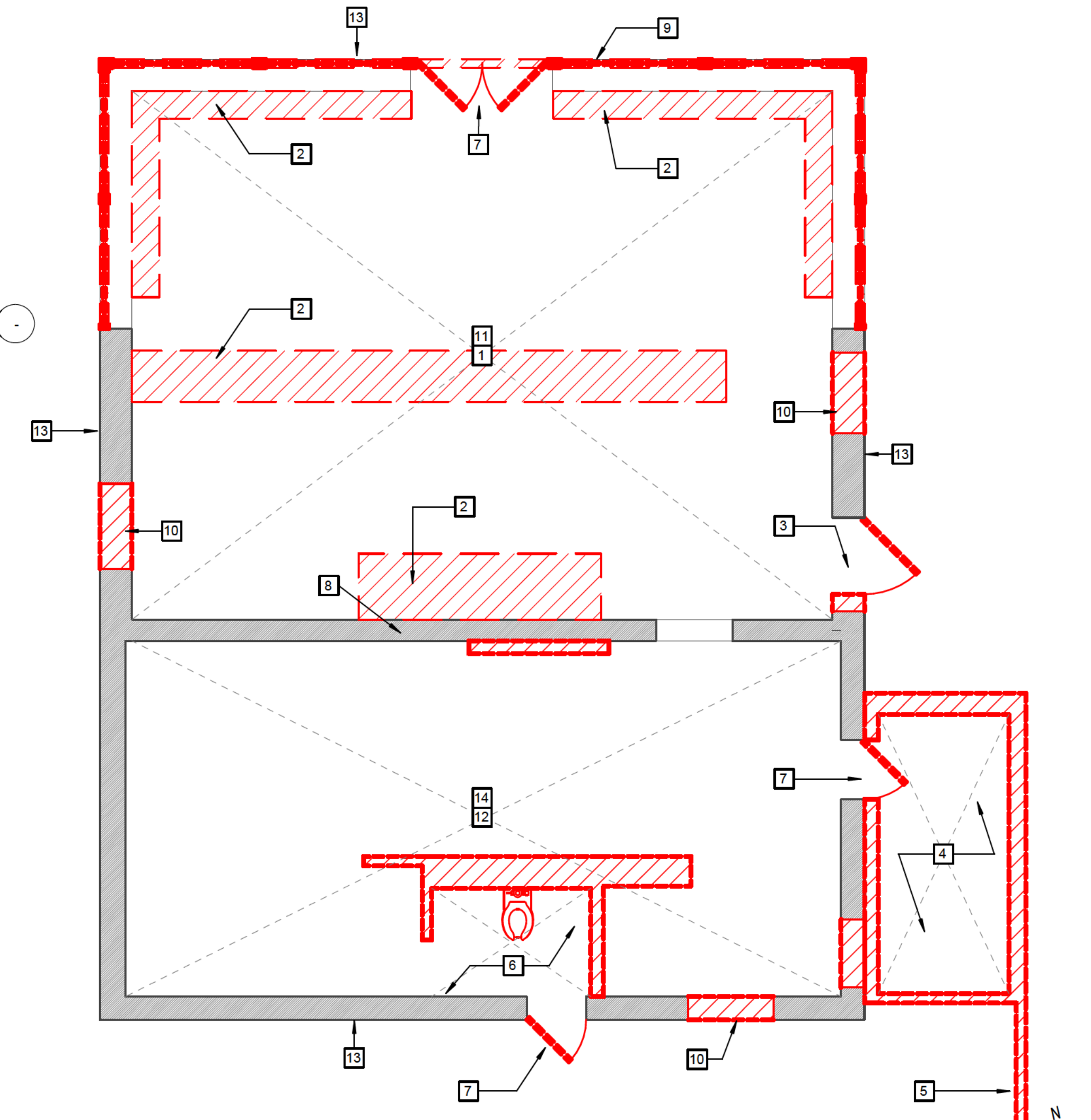
KITCHEN EQUIPMENT / FIXTURES CHEDULE																							
LETTER	QTY	EQUIPMENT NAME	MANUFACTURER	MODEL NO.	LOCATION	DIMENSIONS				NORMAL VOLTAGE (VAC)	PHASE	HZ	ELECTRICAL POWER DRAW			PLUG TYPE (SEE NOTE 1)	EXHAUST (CFM)	OWNER FURNISHED	OWNER INSTALLED	CONTRACTOR FURNISHED	CONTRACTOR INSTALLED	COMMENTS	
						HEIGHT (IN)	WIDTH (IN)	DEPTH (IN)	WEIGHT (LBS)				AMPS	H	WATTS								EMERGENCY POWER
1	1	NATURAL GAS STOCK POT RANGE	VULCAN	VSP100-1	FLOOR	24	18	24.5	-	-	-	-	-	-	-	-	-	-	-	X	X		
2	1	NATURAL GAS FLOOR FRYER	AVANTCO	FF400	FLOOR	48	16	31	-	-	-	-	-	-	-	-	-	-	-	X	X		
3	1	NATURAL GAS RANGE WITH TWO CHAMBER	TOWN	Y-2-SS-N YORK	FLOOR	56.5	60	41	-	-	-	-	-	-	-	-	-	-	-	X	X		
4	1	NATURAL GAS RANGE WITH TWO CHAMBER	CPG	S24-N	FLOOR	56.5	60	41	-	-	-	-	-	-	-	-	-	-	-	X	X		
5	1	CAYENNE GAS COUNTERTOP GRIDDLE	VOLLRATH	40720	COUNTER	16	24	27	-	-	-	-	-	-	-	-	-	-	-	X	X		
6	1	COMMERCIAL MICROWAVE	SOLWAVE	180MWASHD18	COUNTER	13.5	16.5	21 5/8	-	208/240	-	-	-	1800	-	-	-	-	-	X	X		
7	1	COMMERCIAL RICE COOKER	AVANTCO	RCSA90	COUNTER	15 5/16	21 3/4	19	-	208/240	-	-	-	2500	-	-	-	-	-	X	X		
9	1	UNDERCOUNTER FREEZER	BEVERAGE-AIR	UCFD27AHC	FLOOR	35	28	32	-	115	1	60	2.5	-	-	-	-	-	-	X	X		
10	1	REACH-IN REFRIGERATORS	BEVERAGE-AIR	SR1HC-1S	FLOOR	78	30 1/4	33 1/2	-	120	1	60	5	-	-	-	-	-	-	X	X		
11	1	AIR COOLED ICE MACHINE	SCOTSMAN	NS0422A	FLOOR	73	22	34	-	115	1	60	15.2	-	-	-	-	-	-	X	X		
12	1	MOP SINK	REGENCY	600SM16206	FLOOR	21	25	10 7/8	-	-	-	-	-	-	-	-	-	-	-	X	X		
15	1	DISH WASHER	NOBLE	NOBLE I-E	FLOOR	68.5	30 3/8	29.5	-	115/230	1	60	20/15M AX	-	-	-	-	-	-	X	X		
23	1	ONE COMPARTMENT SINK	STEELETON	522CS11818NK	FLOOR	43 3/4	23.5	24	-	-	-	-	-	-	-	-	-	-	-	X	X		
24	1	2 DOOR PREP TABLE	BEVERAGE-AIR	SPE48HC-18M	FLOOR	49	48	38 3/8	-	115	1	60	2	-	-	-	-	-	-	X	X		
27	1	WORK TABLE WITH SINK	EAGLE GROUP	T3048SEB-BS-E23	FLOOR	39 5/8	30	48	-	-	-	-	-	-	-	-	-	-	-	X	X		
30	1	AIR CURTAIN MERCHANDISER	TURBO AIR	TOM-40B-N	FLOOR	78.5	39	28	-	115	1	60	15.5	-	-	-	-	-	-	X	X		
31	2	REACH-IN FREEZER	HOSHIZAKI	FIA-FS	FLOOR	79.5	27.5	33.5	-	115	1	60	8.46	-	-	-	-	-	-	X	X		
32	2	REACH-IN REFRIGERATOR	HOSHIZAKI	R1A-FG	FLOOR	79.5	27.5	34.5	-	115	1	60	8.46	-	-	-	-	-	-	X	X		
33	2	WORK TABLE	STEELETON	522ETS24242	FLOOR	34	24	24	-	-	-	-	-	-	-	-	-	-	-	X	X		
34	1	UNDERCOUNTER REFRIGERATOR	DELFIELD	406CAP	FLOOR	33 1/4	27 1/4	27 3/4	-	115	1	60	4	-	-	-	-	-	-	X	X		
35	1	WORK TABLE	REGENCY	600TB1836G	FLOOR	38	36	18	-	-	-	-	-	-	-	-	-	-	-	-	X	X	
36	1	SANDWICH PREP TABLE	AVANTCO	SS-PT-36M-HC	FLOOR	45 7/8	36 1/4	35	-	115	1	60	2	-	-	-	-	-	-	-	X	X	

DEMOLITION KEY NOTES	
NO.	DESCRIPTION
1	DEMOLISH EXISTING FLOOR TILE, WALL TILE AND WALL BASE, PREPARE SURFACES TO RECEIVE SCHEDULED FINISHES
2	DEMOLISH CASEWORK AND ASSOCIATED HARDWARE. PATCH AND PAINT EXPOSED WALL/FLOOR SURFACE.
3	DEMOLISH DOOR AND ASSOCIATED HARDWARE. REMAIN FRAME IN PLACE.
4	REMOVE FREEZER IN ITS ENTIRETY, INCLUDING DOOR AND EXTERIOR ENCLOSURE.
5	REMOVE FREEZER IN ITS ENTIRETY, INCLUDING DOOR AND EXTERIOR ENCLOSURE.
6	REMOVE BATHROOM FIXTURES AND TURN OVER TO OWNER
7	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE.
8	REMOVE EXISTING FRAME AND SILL AT WALL OPENING
9	REMOVE EXIST STOREFRONT SYSTEM.
10	REMOVE PORTION OF CMU WALL FOR NEW DOOR OPENING.
11	REMOVE ALL EXISTING LIGHTING AND CEILING MOUNTED FIXTURES
12	REMOVE EXISTING ACOUSTIC CEILING ASSEMBLY IN ITS ENTIRETY.
13	REMOVE CMU PAINT AND PREP SURFACE TO RECEIVE NEW PAINT. TYP FOR ALL SIDES OF THE BUILDING
14	REMOVE WALL PANELS IN THE KITCHEN AREA, PREP SURFACE TO RECEIVE NEW FINISHES.

PLAN KEY NOTES	
NO.	DESCRIPTION
1	INFILL PORTION OF EXISTING OPENING TO REDUCE OPENING WIDTH TO 3'-0" WIDE
2	PAINT EXIST CMU WALL. PAINT COLOR TBD
3	



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



Drawn By: YS
Checked By: YS
Project Manager: YS

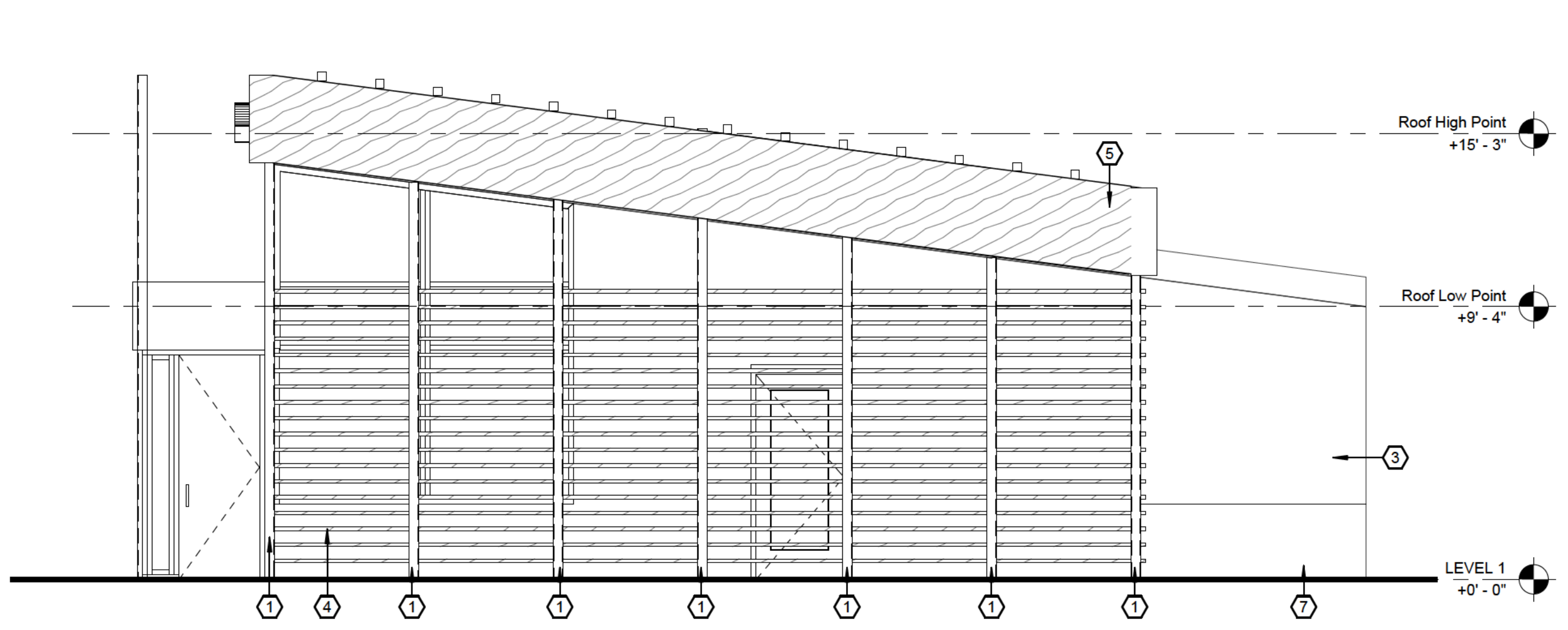
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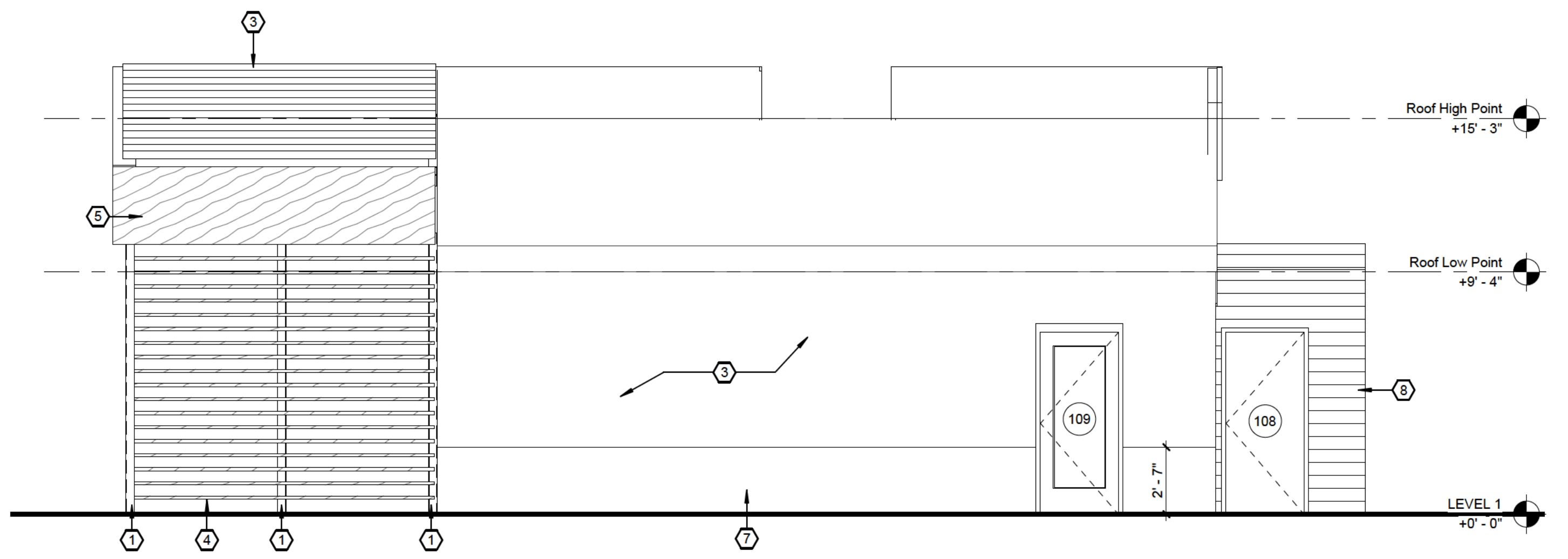
Roc Pho Shop Restaurant
339 Jefferson Rd
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SWBR Project Number 22199.00

Magnolia Property Holdings, LLC
37 Shetland Circle, Rochester, NY 14624

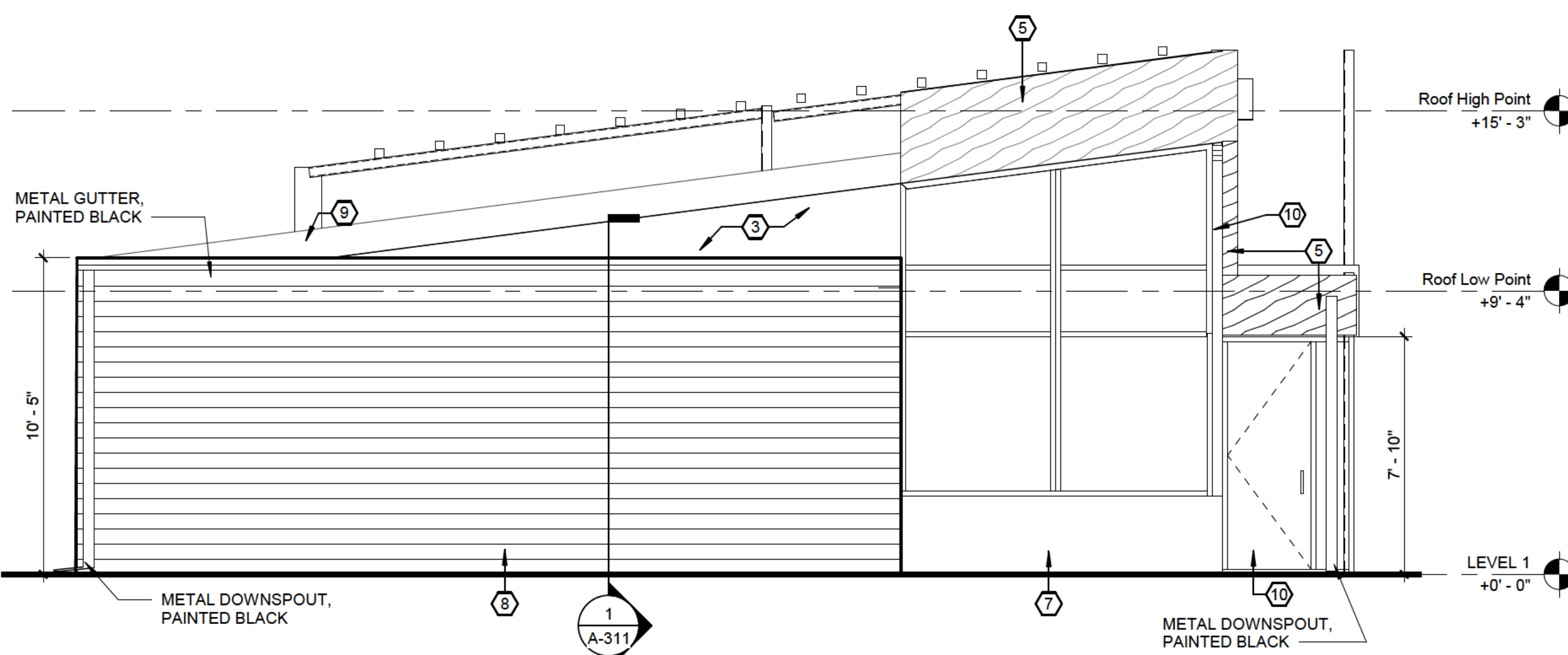
ELEVATION KEY NOTES		
NO.	DESCRIPTION	SHOWN AS:
1	GALVANIZED HSS 4"X 4" COLUMN, PAINTED IN BLACK.	
2	BACKLIT DIMENSIONAL LETTER SIGNAGE.	
3	4"X4" GLU-LAM BEAMS, STAINED.	
4	2"X2" CEDAR HORIZONTAL SLATTS, 5" O.C.	
5	ENGINEERED PANELS, FUNDERMAX EXTERIOR PANELS, 0161 LIGHT AFRO	
7	EXTERIOR PAINT, SHERWIN-WILLIAMS DURATION EXTERIOR ACRYLIC LATEX. PAINT COLOR: IRON ORE SW7069	
8	EXTERIOR SIDING, JAMES HARDIE DREAM COLLECTION - PARCHMENT	
9	EPDM ROOFING OVER METAL DECK.	
10	PROVIDE STOREFRONT SYSTEM AND VESTIBULE. GLAZING CLEAR. MULLION: BLACK ANODIZED ALUMINUM	



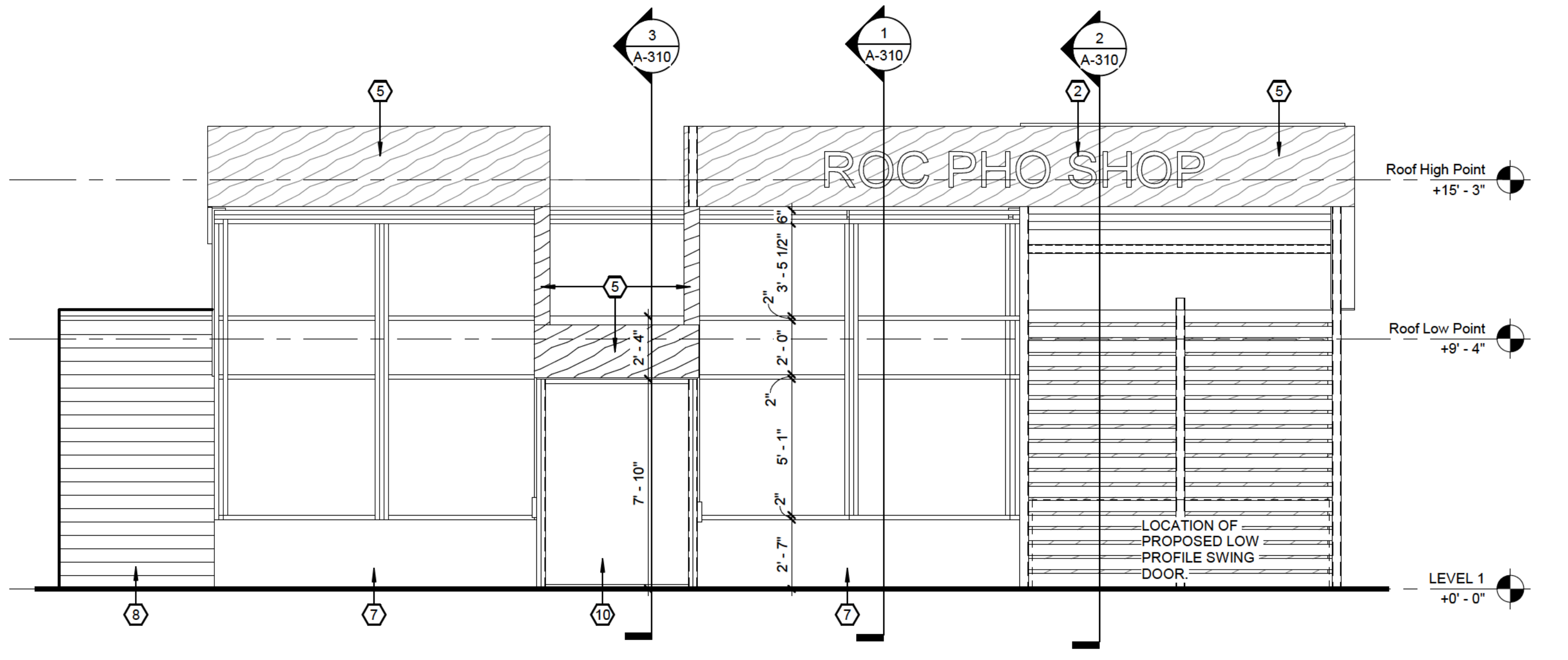
4 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



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Checked By: YS
Project Manager: YS

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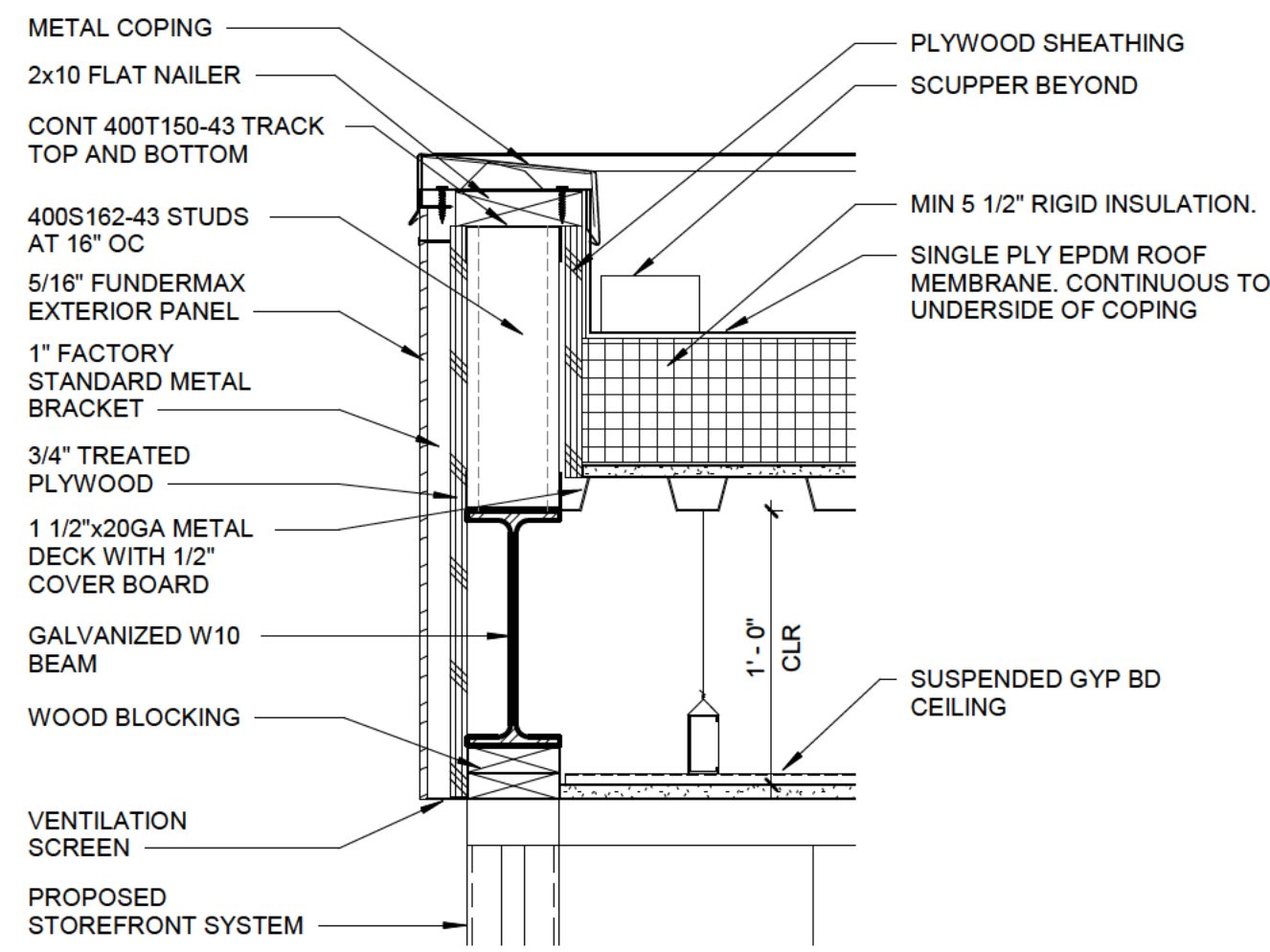
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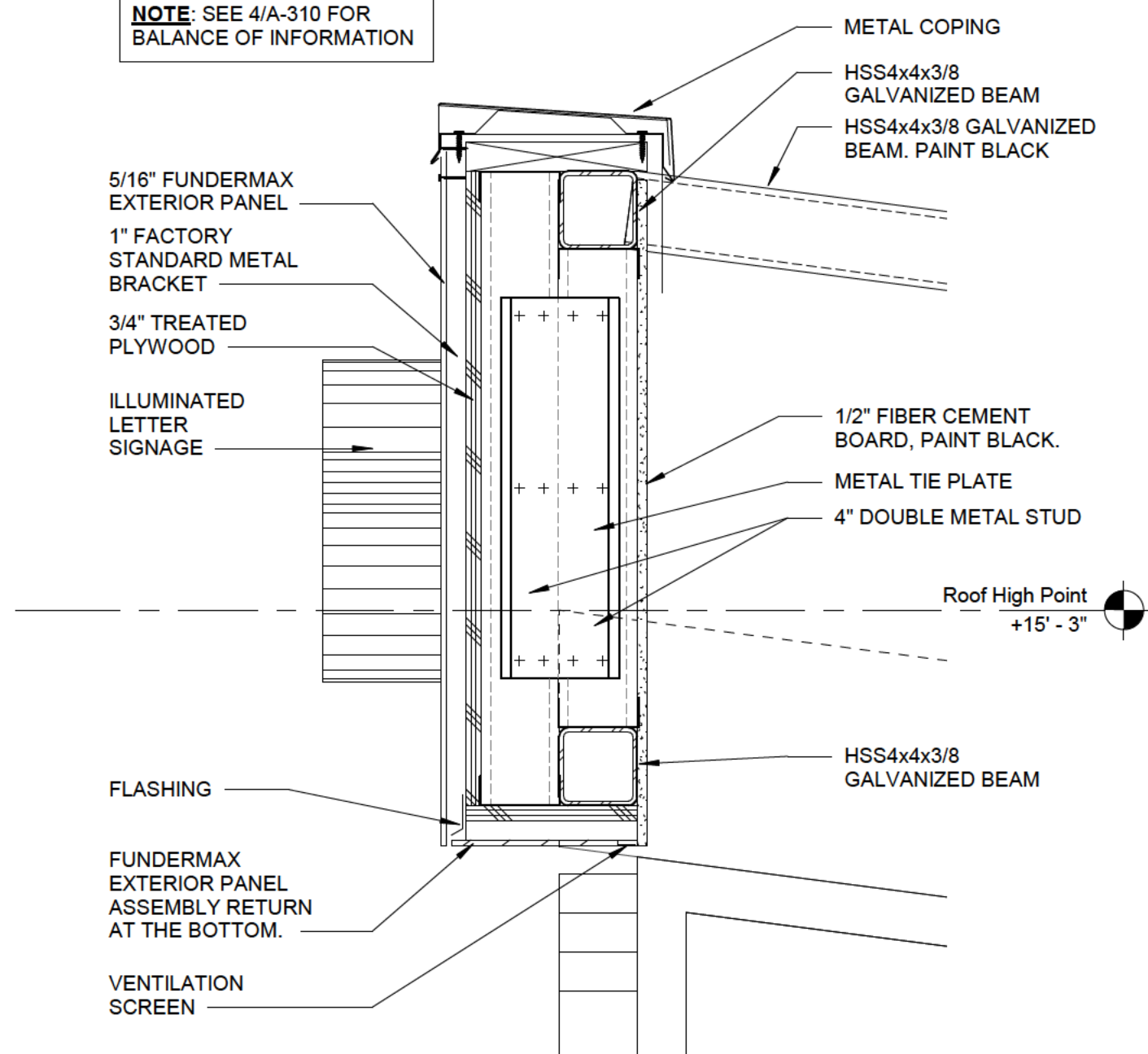
A-201
EXTERIOR ELEVATIONS

December 14, 2022
Planning Board
Submission

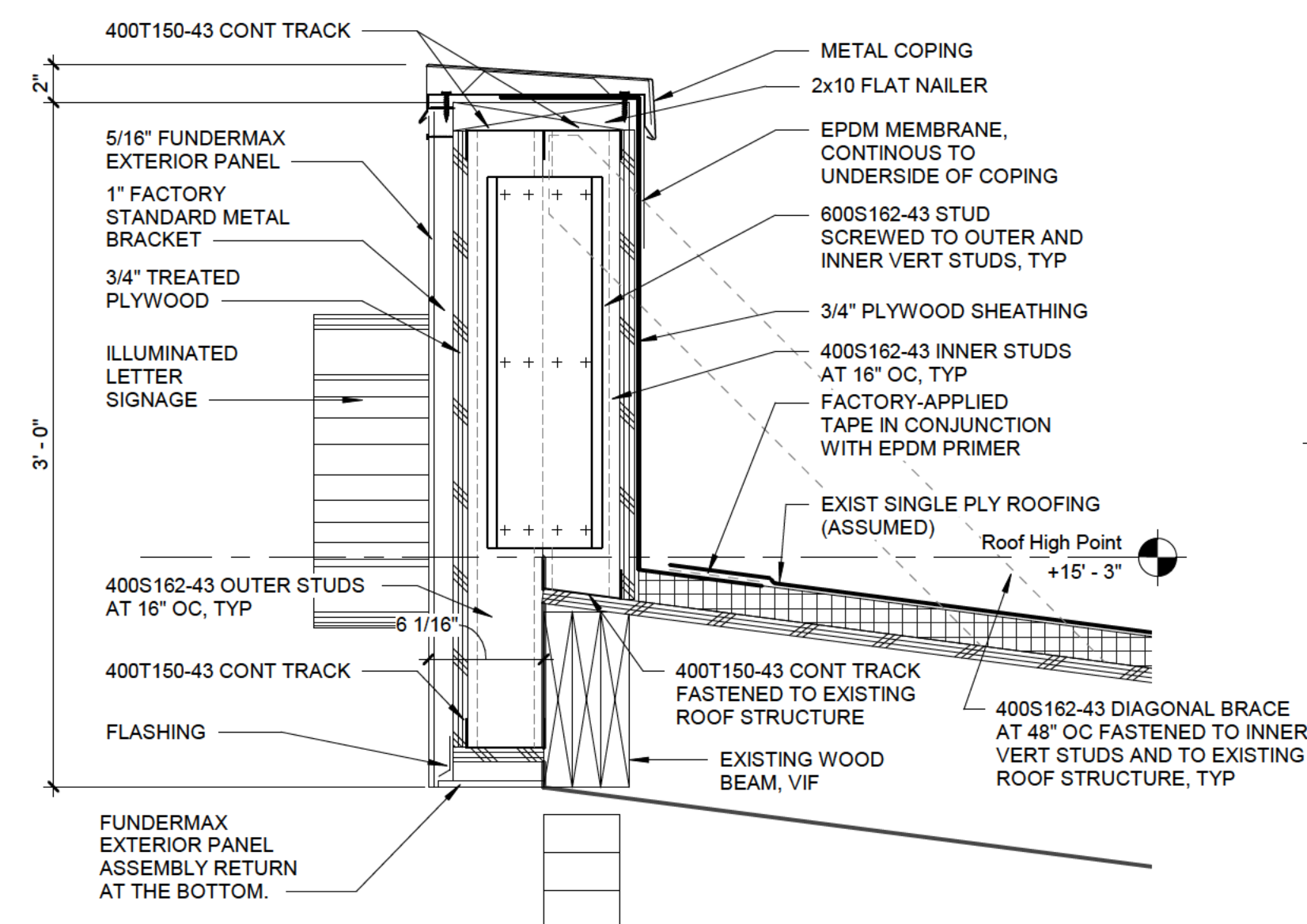


6 TYPICAL PARAPET DETAIL - VESTIBULE
1 1/2" = 1'-0"

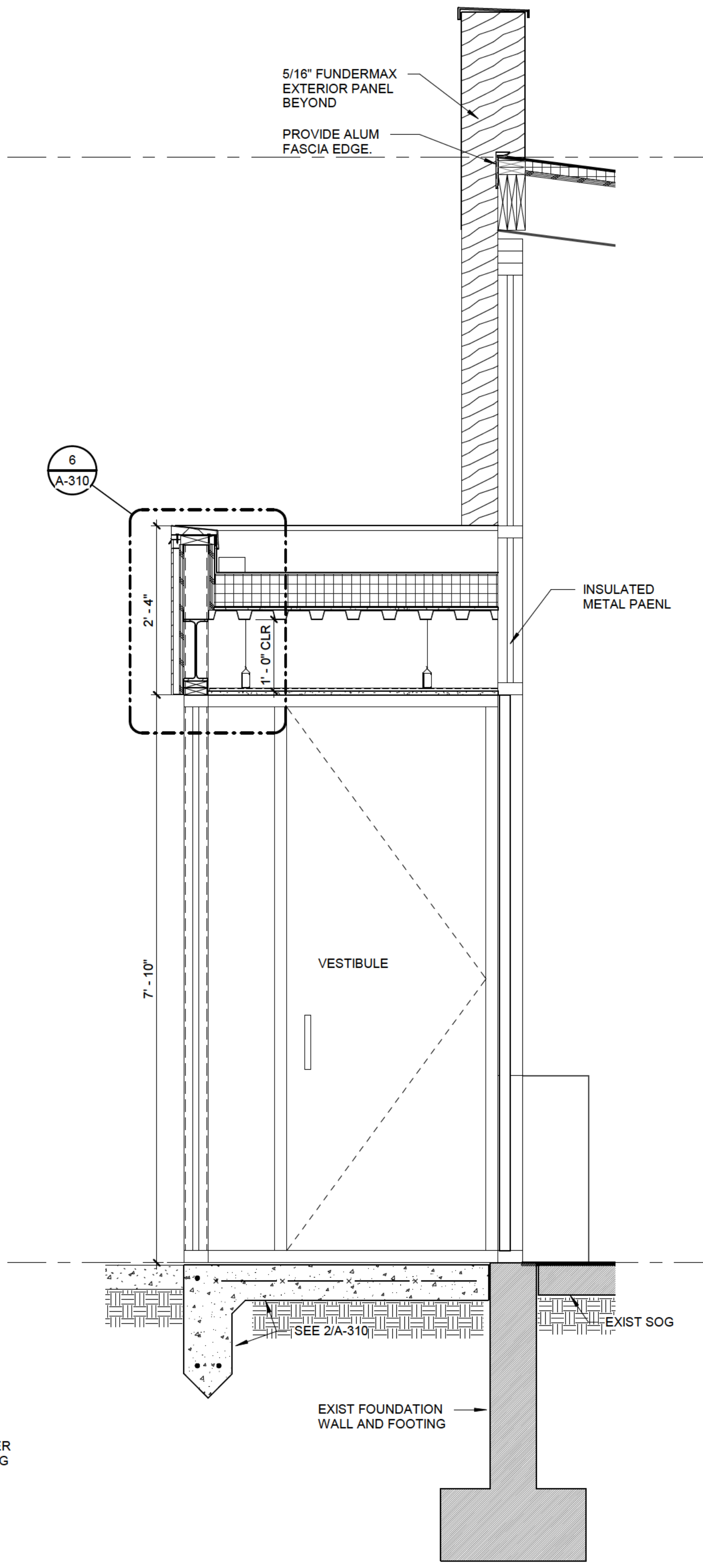
NOTE: SEE 4/A-310 FOR BALANCE OF INFORMATION



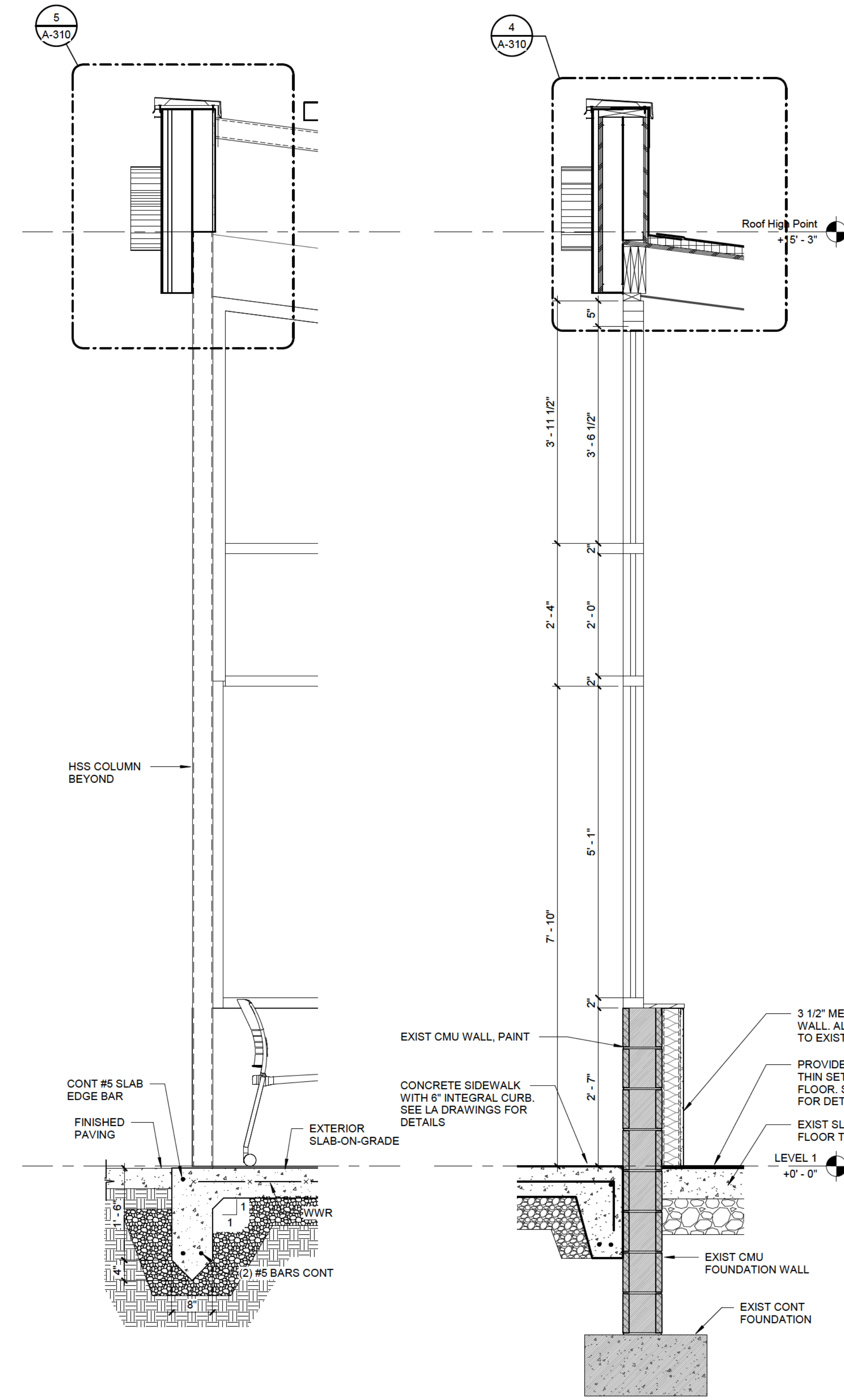
5 TYPICAL WALL DETAIL AT OUTDOOR DINING STRUCTURE
1 1/2" = 1'-0"



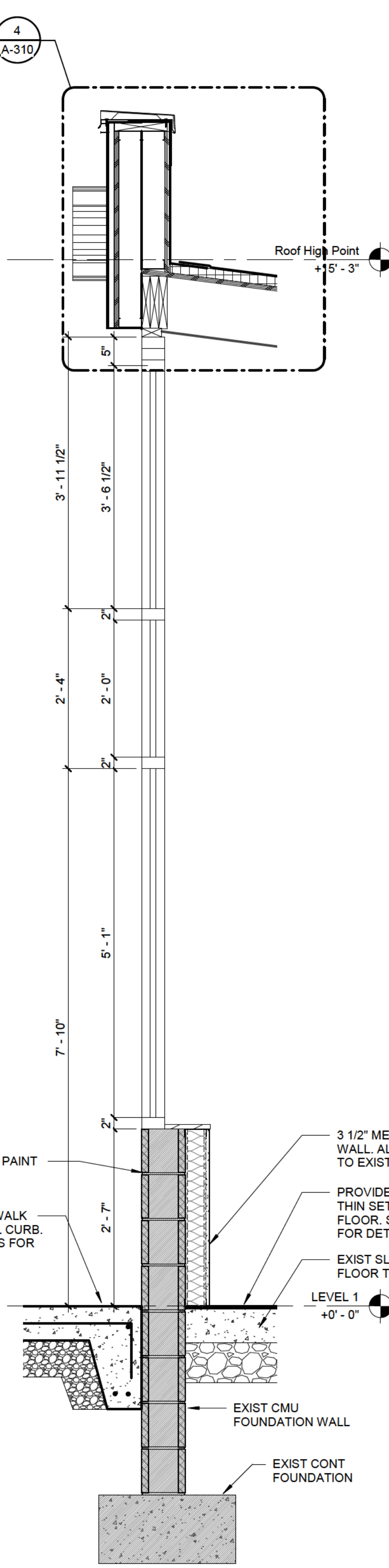
4 TYPICAL PARAPET DETAIL AT EXIST ROOF
1 1/2" = 1'-0"



3 EXTERIOR WALL SECTION - VESTIBULE
3/4" = 1'-0"



2 OUTDOOR DINING STRUCTURE SECTION - TYPICAL
3/4" = 1'-0"



1 EXTERIOR WALL SECTION
3/4" = 1'-0"



Drawn By: YS
Checked By: YS
Project Manager: YS

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No.	Description

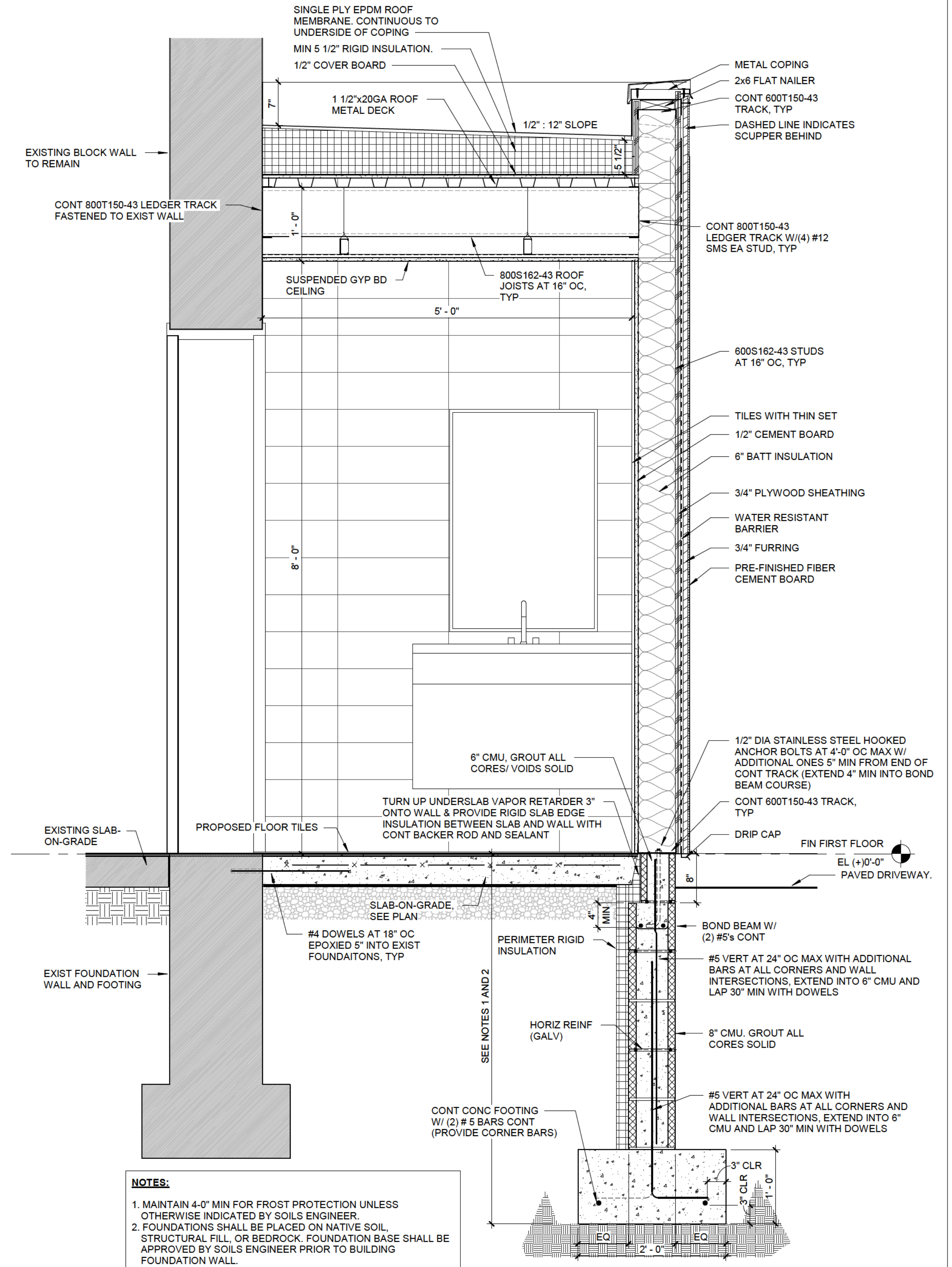
Roc Pho Shop Restaurant
339 Jefferson Rd
Rochester, NY 14623
SWBR Project Number 22199.00

Magnolia Property Holdings, LLC
37 Shetland Circle, Rochester, NY 14624

A-310

WALL SECTIONS AND DETAILS

December 14, 2022
Planning Board
Submission



NOTES:

1. MAINTAIN 4'-0" MIN FOR FROST PROTECTION UNLESS OTHERWISE INDICATED BY SOILS ENGINEER
2. FOUNDATIONS SHALL BE PLACED ON NATIVE SOIL, STRUCTURAL FILL, OR BEDROCK. FOUNDATION BASE SHALL BE APPROVED BY SOILS ENGINEER PRIOR TO BUILDING FOUNDATION WALL.

1 EXTERIOR WALL SECTION - BATHROOM ADDITION
1" = 1'-0"



Drawn By: YS
Checked By: YS
Project Manager: YS

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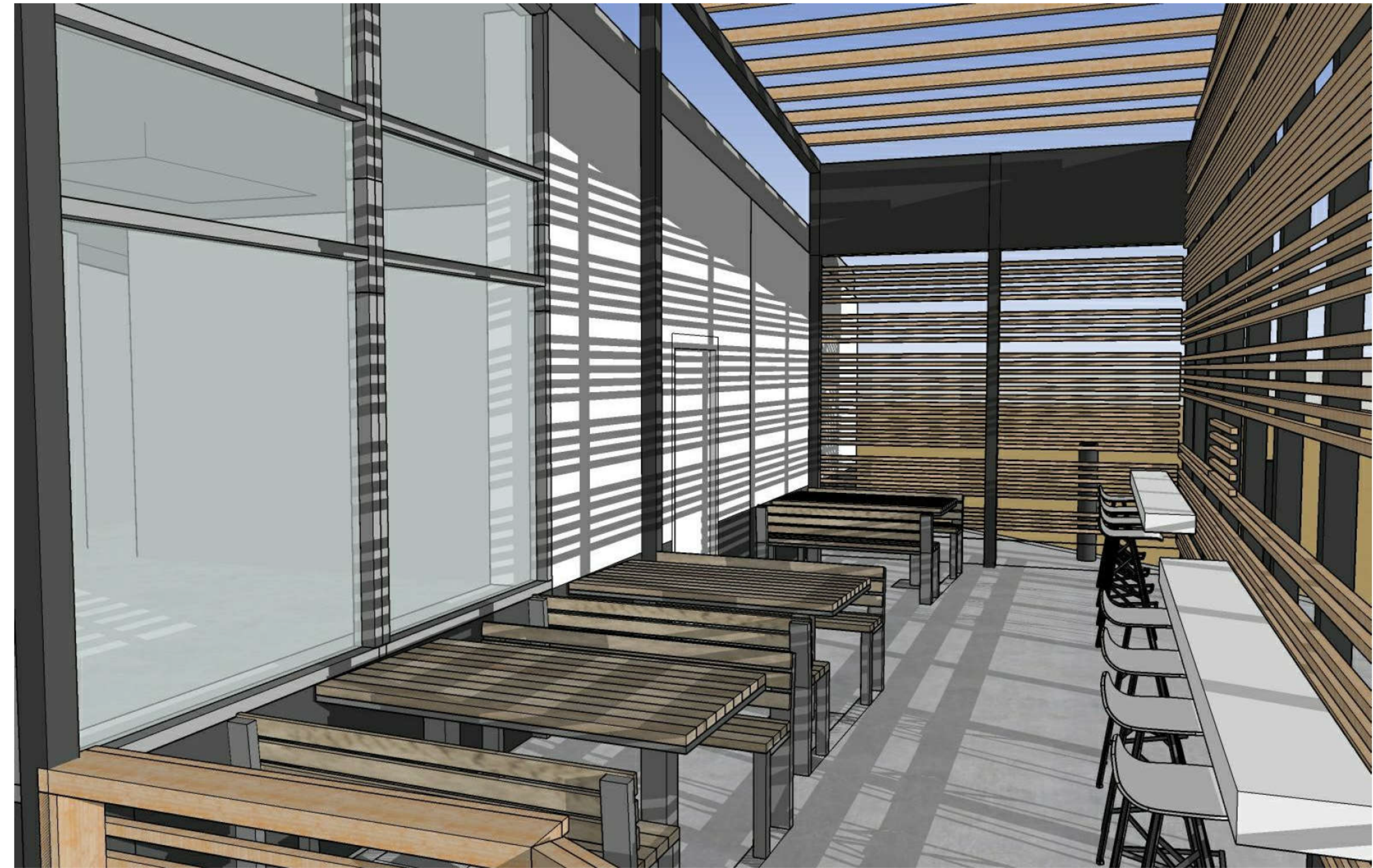
Roc Pho Shop Restaurant
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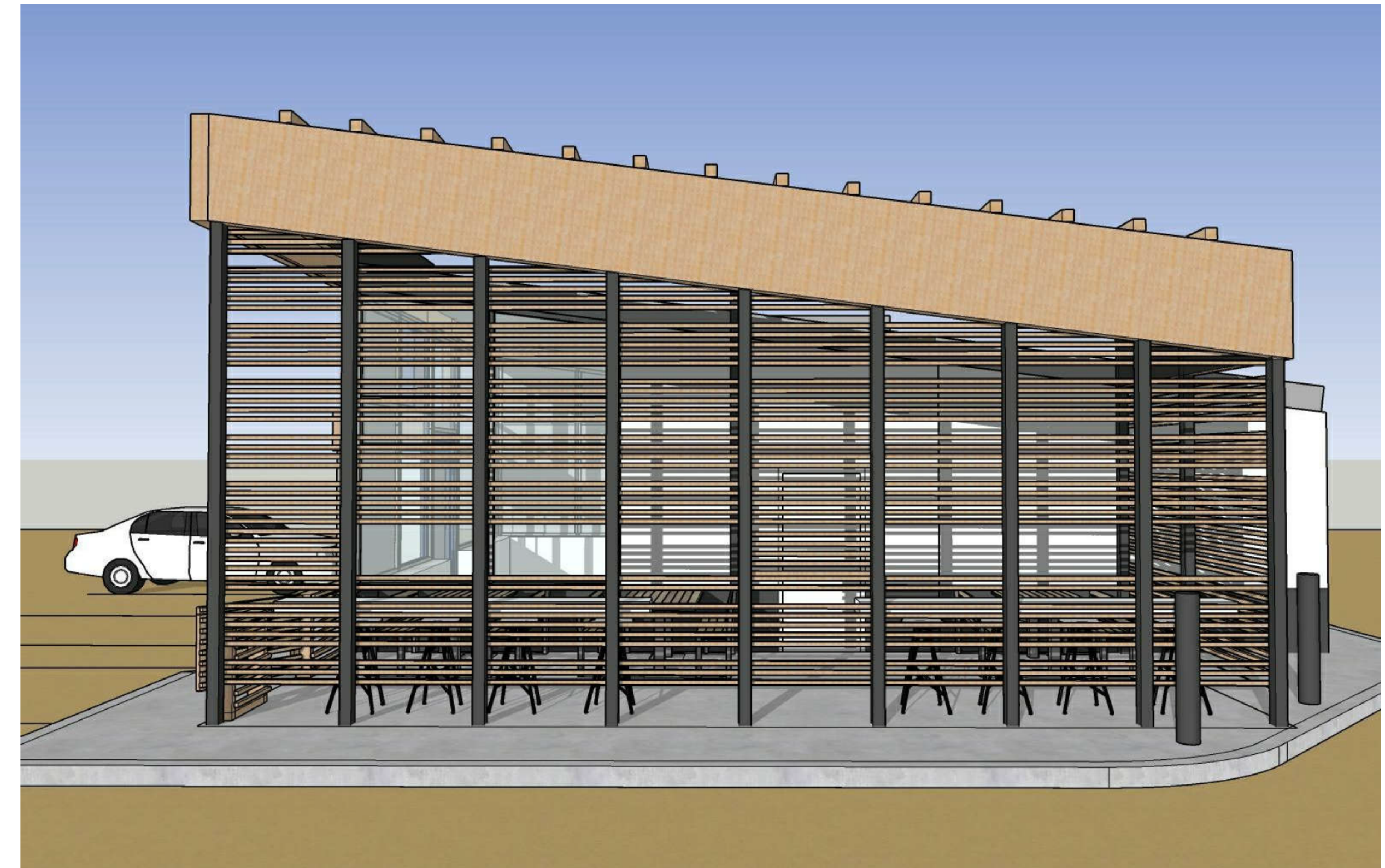
A-311

WALL SECTIONS AND DETAILS

December 14, 2022
Planning Board
Submission



NOTE: FURNITURE SELECTION IS NOT IN CONTRACT.



Drawn By: YS
 Checked By: YS
 Project Manager: YS

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NO.	DESCRIPTION

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Magnolia Property Holdings, LLC
 37 Shetland Circle, Rochester, NY 14624

A-910

RENDERINGS

December 14, 2022
 Planning Board
 Submission

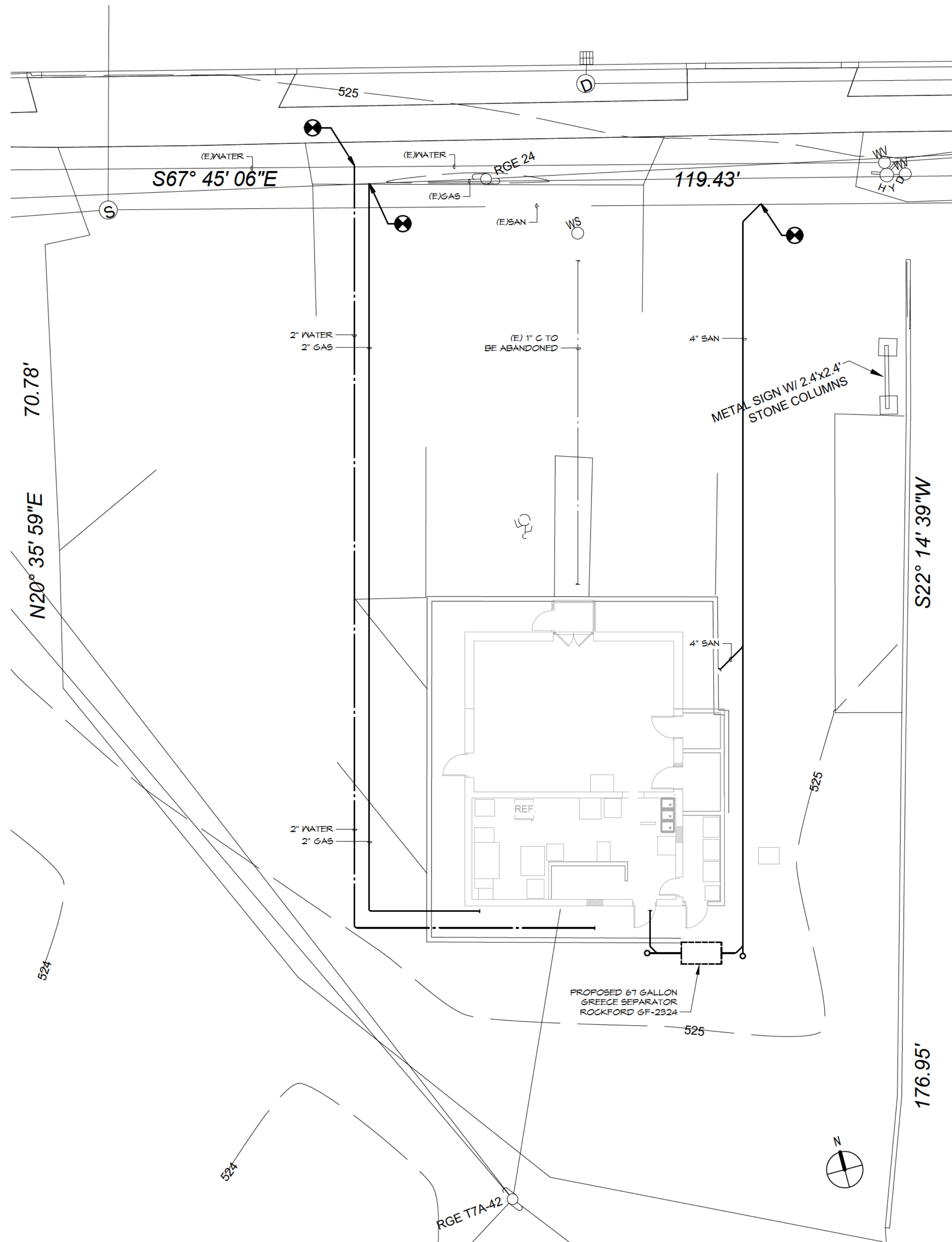
HYDRANT FLOW TEST DATA

- DATA SUPPLIED BY THE MCA FOR 394 JEFFERSON ROAD.
- 75' IS ZONE THE LOW WATER LEVEL IN THE TANK (LWL) IS 731.
- THE ELEVATION OVER THE WATER MAIN IS -524.
- HYDRAULIC GRADE CALC. IS (731 - 524) X 0.433PSI/FT. = -90 PSI IN THE MAIN

NATURAL GAS DEMAND

STANDARD PRESSURE
ESTIMATED DEMAND 802,000 BTU'S

JEFFERSON ROAD (R.O.W. VARIES) N.Y.S. ROUTE 252



1 SITE PLAN -PLUMBING
1" = 10'-0"



Drawn By: NBT
Checked By: CWA
Project Manager: DDT

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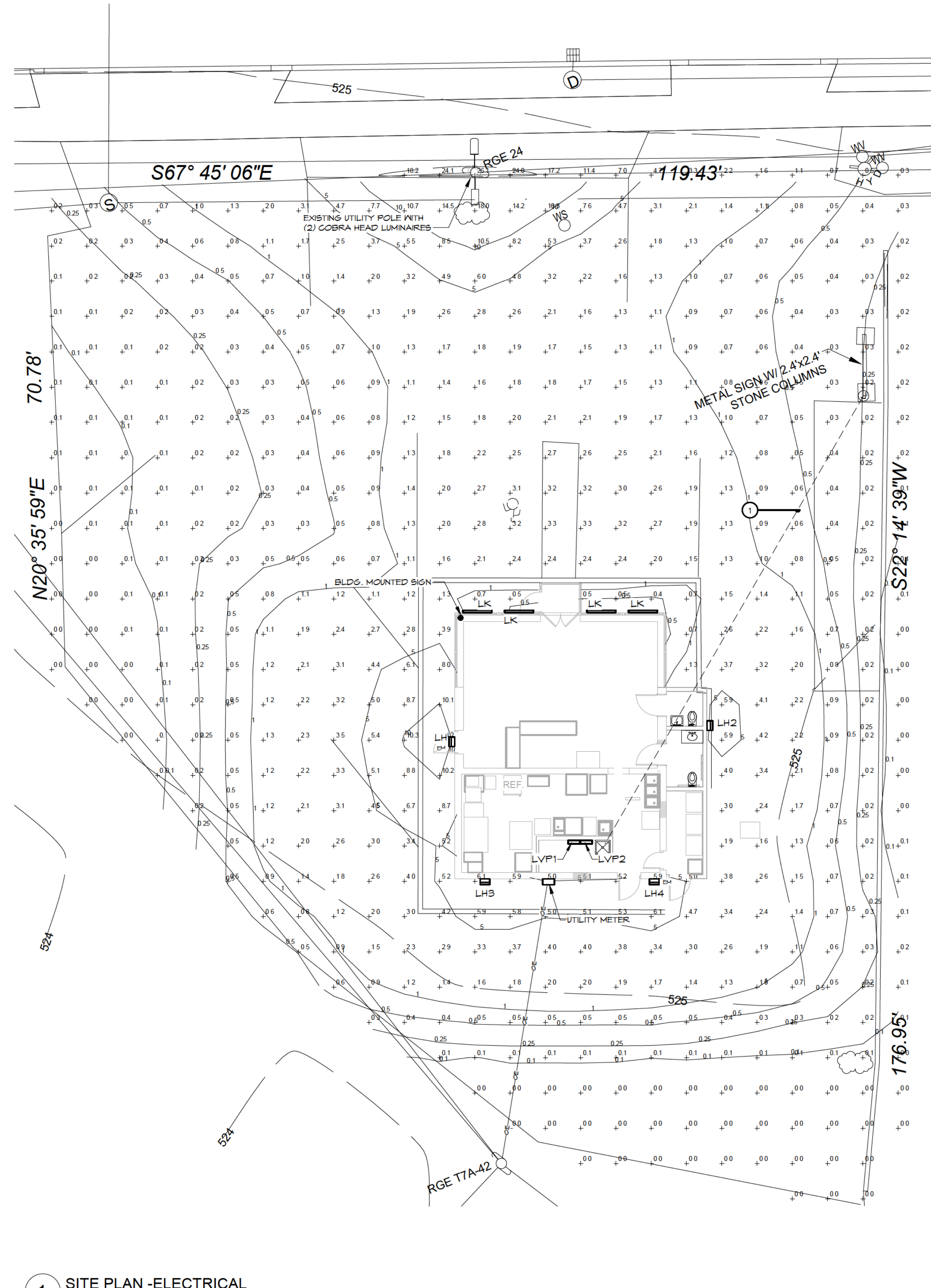
Magnolia Property Holdings, LLC
37 Shetland Circle, Rochester, NY
14624

CP-100

SITE PLAN -
PLUMBING

December 14, 2022
Planning Board Submission

JEFFERSON ROAD (R.O.W. VARIES) N.Y.S. ROUTE 252



1 SITE PLAN -ELECTRICAL
1" = 10'-0"



LIGHT FIXTURE SCHEDULE - SITE

TYPE	DESCRIPTION	LUMENS	LAMP	VOLTAGE	DESIGN MAKE		ACCEPTABLE MANUFACTURER
					MANUFACTURER	MODEL NO.	
LH1	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPEZOIDAL SHAPE, ACRYLIC LENS, TYPE IV WIDE DISTRIBUTION, EMERGENCY BATTERY BACK UP, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7084	58.2 WATT LED, 4000K	120	MCGRAM EDISON LIGHTING	1ST-SA1E-140-U-14N-**-CBP-BCP	APPROVED EQUAL
LH2	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPEZOIDAL SHAPE, ACRYLIC LENS, TYPE II DISTRIBUTION, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7084	58.2 WATT LED, 4000K	120	MCGRAM EDISON LIGHTING	1ST-SA1E-140-U-12-**-BCP	APPROVED EQUAL
LH3	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPEZOIDAL SHAPE, ACRYLIC LENS, TYPE III DISTRIBUTION, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7084	58.2 WATT LED, 4000K	120	MCGRAM EDISON LIGHTING	1ST-SA1E-140-U-13-**-BCP	APPROVED EQUAL
LH4	EXTERIOR WALL MOUNTED LED LUMINAIRE WITH TRAPEZOIDAL SHAPE, ACRYLIC LENS, TYPE III WIDE DISTRIBUTION, EMERGENCY BATTERY BACK UP, INTEGRAL PHOTOCELL, AND COLOR BY ARCHITECT. MOUNT AT 7'-6" TO CENTER OF LUMINAIRE.	7084	58.2 WATT LED, 4000K	120	MCGRAM EDISON LIGHTING	1ST-SA1E-140-U-13-**-CBP-BCP	APPROVED EQUAL
LK	4' LONG RECESSED WALL MOUNTED EXTERIOR LED LUMINAIRE WITH ACRYLIC LENS, HIGH OUTPUT, NET LISTED, AND FINISH COLOR BY ARCHITECT. COORDINATE MOUNTING WITH ARCHITECT.	2683	28 WATT LED, 4000K	120	PERCISION ARCHITECTURAL LIGHTING	ML3/ML66-D-HO-K40-80-4-14-LOH-FO-1M-BF-UNV-C/ND	APPROVED EQUAL

PHOTOMETRIC GENERAL NOTES

- THIS SITE LIGHTING PHOTOMETRIC CALCULATION IS FOR GENERAL REFERENCE ONLY. THE PURPOSE OF THIS DRAWING IS TO SHOW GENERAL DESIGNED ILLUMINATION LEVELS AND DISTRIBUTION. THESE CALCULATIONS ARE BASED ON MAINTAINED ILLUMINATION LEVELS. DUE TO LAMP OUTPUT DEPRECIATION OVER TIME IT IS NOT POSSIBLE TO VERIFY INDIVIDUAL POINTS IN THE FIELD.
- THESE CALCULATIONS DO NOT TAKE INTO EFFECT INSTALLATION AND MANUFACTURING PARAMETERS SUCH AS OVERALL GRADE CHANGES, LEVELNESS OF POLES, HEIGHT OF BASES, OR THE ACTUAL OUTPUT OF THE LAMPS AND DISTRIBUTION OF THE LUMINAIRE AND REFLECTOR ASSEMBLY AS IT ARRIVES ON THE SITE.

PHOTOMETRIC STATISTICS

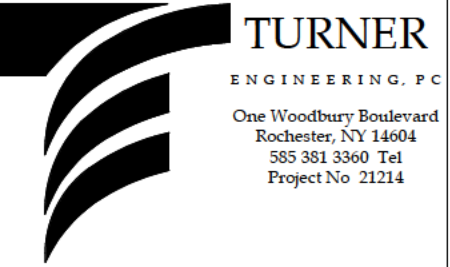
MAXIMUM	18.0 FC
MINIMUM	0.1 FC
AVERAGE	1.6 FC
AVERAGE/MINIMUM	16.0 : 1
MAXIMUM/MINIMUM	180.0 : 1

ELECTRICAL GENERAL SITE NOTES

- GENERAL SITE NOTES APPLY TO ALL SITE ELECTRICAL DRAWINGS.
- COORDINATE NEW ELECTRICAL SERVICE ENTRANCE WITH ROCHESTER GAS AND ELECTRIC, NEW TELEPHONE SERVICE WITH FRONTIER AND NEW CATV SERVICE WITH SPECTRUM CABLE. OBTAIN ALL SPECIFICATIONS AND PAY ALL ASSOCIATED FEES.
RGE# CONTACT IS * AT
SPECTRUM CABLE CONTACT IS * AT
FRONTIER CONTACT IS * AT
- OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED BY THE TOWN OF HENRIETTA.
- THE ELECTRICAL CONTRACTOR SHALL ENGAGE THE SERVICES OF A QUALIFIED SUBCONTRACTOR FOR EXCAVATION, BACKFILL AND CONCRETE WORK.
- A MINIMUM OF TWO DAYS PRIOR TO EXCAVATION, CONTACT DIG SAFELY NEW YORK, INC (1-800-962-7962) AND OBTAIN A STAKEOUT OF ALL PUBLIC AND PRIVATE UTILITIES LOCATED IN THE AREA OF EXCAVATION. COORDINATE PRIVATE UTILITIES WITH THE OWNER PRIOR TO EXCAVATION.
- HAND EXCAVATE ADJACENT EXISTING UTILITIES INCLUDING STORM AND SANITARY SYSTEMS TO AVOID DAMAGE. REPORT ANY DAMAGED UTILITIES TO THE OWNERS REPRESENTATIVE IMMEDIATELY.
- PROVIDE BRACING, SHORING, SHEATHINGS AND OTHER WORK FOR PROTECTION OF PERSONNEL, THE CONTRACT WORK, EXCAVATIONS, TREES, SHRUBS, EXISTING STRUCTURES, AND SURROUNDING PROPERTIES.
- PROVIDE AND MAINTAIN BARRICADES, WARNING SIGNS, FLAGS, AND LIGHTS TO PROVIDE PROTECTION FOR WORK, WORKMEN, PUBLIC, AND PROPERTY. COORDINATE PARKING LOT AND/OR PARKING GARAGE DISRUPTIONS WITH THE OWNER IN ADVANCE.
- PROVIDE PUMPS, HOSES, PIPE, LABOR AND FUEL NECESSARY TO KEEP EXCAVATIONS FREE OF WATER ACCUMULATION. OPERATE AND MAINTAIN EQUIPMENT. DISCHARGE WATER IN MANNER NOT TO UNDERMINE OR DISTURB EXISTING OR ADJACENT STRUCTURES OR LAND. DO NOT DISCHARGE DIRT, BACKFILL, DEBRIS, INTO SANITARY OR STORM DRAINAGE SYSTEMS.
- INSTALL TELEPHONE, CABLE AND ELECTRIC CONDUITS AS STRAIGHT AS POSSIBLE. INSTALL CONDUITS BELOW SITE LIGHTING CONDUITS AND GAS LINES AND ABOVE WATER, STORM, AND SANITARY PIPING.
- TRANSITION ALL CONDUITS TO GRS PRIOR TO RISING ABOVE GRADE.
- MAINTAIN ROAD ACCESS AT ALL TIMES. PROVIDE STEEL PLATES OVER TRENCH AS REQUIRED.
- PROTECT UTILITIES, SIDEWALKS, STRUCTURES, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLING, LATERAL MOVEMENTS, UNDERMINING, WASHOUTS AND OTHER HAZARDS CREATED BY EXCAVATION WORK.
- COMPLETELY RESTORE THE AREA TO THE CONDITION PRIOR TO THE START OF EXCAVATION AND TRENCHING WORK.

ELECTRICAL SITE DRAWING NOTES

- CONDUIT IS EXISTING TO REMAIN. REMOVE EXISTING WIRING AND PROVIDE NEW.



Drawn By: MCE
Checked By: DDT
Project Manager: DDT

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Revisions
1 Date 1 Revision 1

Roc Pho Shop Restaurant
SWBR Project Number 22199.00

Magnolia Property Holdings, LLC
37 Shetland Circle, Rochester, NY
14624

CE-100

SITE PLAN -
ELECTRICAL

December 14, 2022
Planning Board Submission