



November 9, 2021

Town of Henrietta
475 Calkins Road
Henrietta, NY 14467

**Re: Coopervision Expansion
Site Plan Application to Planning Board
180 and 230 Thruway Park Drive**

2761

Dear Board Members:

On behalf of Erie Station 241, LLC, the owner/applicant of 180 and 230 Thruway Park Drive (Lots BR-3 and AR-4 of the Konar Industrial Center), we submit the enclosed application for final site plan approval of the site plans for the proposed Coopervision Expansion. We request to appear at the Planning Board's December 14, 2021 meeting, and we enclose the following application materials:

For the Site Plan:

- Fourteen (14) copies of the Letter of Intent
- Fourteen (14) copies of the Site Plan Application to Planning Board
- Fourteen (14) copies of the Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees
- Fourteen (14) copies of the Site Plan Checklist
- Fourteen (14) copies of the Building Elevations
- Fourteen (14) sets of plans (full-size)
- Fourteen (14) copies of the long EAF

For the Coordinated Review:

- Eight (8) copies of the Letter of Intent
- Eight (8) copies of the Site Plan Application to Planning Board
- Eight (8) copies of the Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees
- Eight (8) copies of the Site Plan Checklist
- Ten (10) copies of the Building Elevations (11" x 17")
- Ten (10) sets of plans (11" x 17") – including a reduced copy of the Subdivision Map in each set
- Eight (8) copies of the long EAF

For all Materials:

- Electronic PFD Copy of Application Materials (emailed)

The Coopervision Expansion project includes a proposed ±152,950 square foot warehouse and office space addition to the west side of the existing building located at 180 Thruway Park Drive between the NYS Thruway and Thruway Park Drive. The expansion project will extend the proposed building and

development footprint from the west side Lot AR-4 (existing tax parcel 188.02-01-62.1) into Lot BR-3 (existing tax parcel 188.02-01-59.1). The project area is zoned Industrial and the proposal is a permitted use within the zoning district. The project will include a proposed lot consolidation of the two parcels and an administrative resubdivision application has been submitted to the Town for review and approval to create a single 21.4-acre parcel for the site.

Specifically, the application proposes construction of $\pm 146,350$ square feet of new warehouse floorspace on one floor and $\pm 13,200$ square feet of office support floorspace within a 2-story portion of the building. Access to the site will include use of the two existing curb cuts on Thruway Park Drive as the primary employee access points and a proposed new curb cut at the west side of the development to provide direct truck and trailer access to the existing and proposed loading docks located on the north side of the building. This new driveway will require an area variance from the ZBA from Section 240-3.C(1) of the Town Zoning Ordinance to allow three driveways for the project site. New employee parking areas are proposed along the north, south and west side of the proposed building and accommodations for 5 trailer parking spaces are provided within a truck court located at the northwest corner of the site development area. The site development will provide a total of 526 parking spaces and will include 330 existing spaces to remain and 196 new parking spaces to be constructed as part of the expansion project. This parking is requested by the developer based upon the practical need for the building and the tenant's needs. An additional 242 spaces are proposed to be land banked to illustrate the total parking space capacity of the site. While the site has capacity to provide a total of 768 parking spaces, the site will not meet the industrial and office use parking requirements of the Town Code where 1,029 spaces are required. Thus, the applicant will make an application to the ZBA to request an area variance from Section 295-44.A for a reduction in parking spaces to be provided for the facility based on the operational needs of the tenant.

Water services for the expansion are proposed to be extended from the existing private fire and domestic water services within the site. Sanitary sewer services will be extended from the dedicated mains previously installed along Thruway Park Drive. Bio-retention areas will be constructed on the west side of the site to provide on-site water quality treatment prior to conveying stormwater runoff to the existing regional stormwater management facility. Design information, including the stormwater management plan, are contained within the Engineer's Report which is submitted under separate cover.

The site development plan set includes the proposed landscaping on site and the proposed site lighting. The plans propose a berm and landscape areas to be installed along the south and west limits of the proposed parking areas, similar to the existing site landscaping berm to screen the parking areas from the street. All proposed site lighting, including building mounted lighting will be LED dark sky compliant lighting.

An Engineer's Report will be submitted under separate cover will summarize the project design and will provide supporting information for the Town's review and SEQRA determination. Based on SEQRA regulations, we believe the proposed project would be classified as a Type 1 action based on 6NYCRR Part 617, §617.4(6)(iii) and (v). As such, we have completed Part I of the Full Environmental Assessment Form and we request that the Planning Board declare their intent to be lead agency at your earliest convenience.

We acknowledge that an area variance is required for relief from the required number of parking spaces and for the third driveway. The project will also require an area variance for reduction of the required rear setback dimension where 60 feet is required and 57 feet is proposed per Section 295-28.C. An application for the area variances will be made to the Zoning Board of Appeals, seeking relief for the reduction in parking spaces, the third driveway, and reduction to the minimum required rear setback.

We look forward to reviewing the application at the Planning Board's December 14, 2021 meeting. If you require any additional information, or if there are any questions, please contact our office.

Sincerely,
BME ASSOCIATES

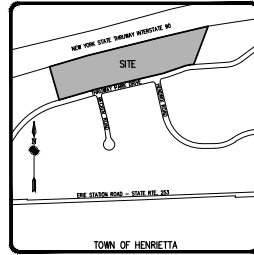


Peter G. Vars, PE

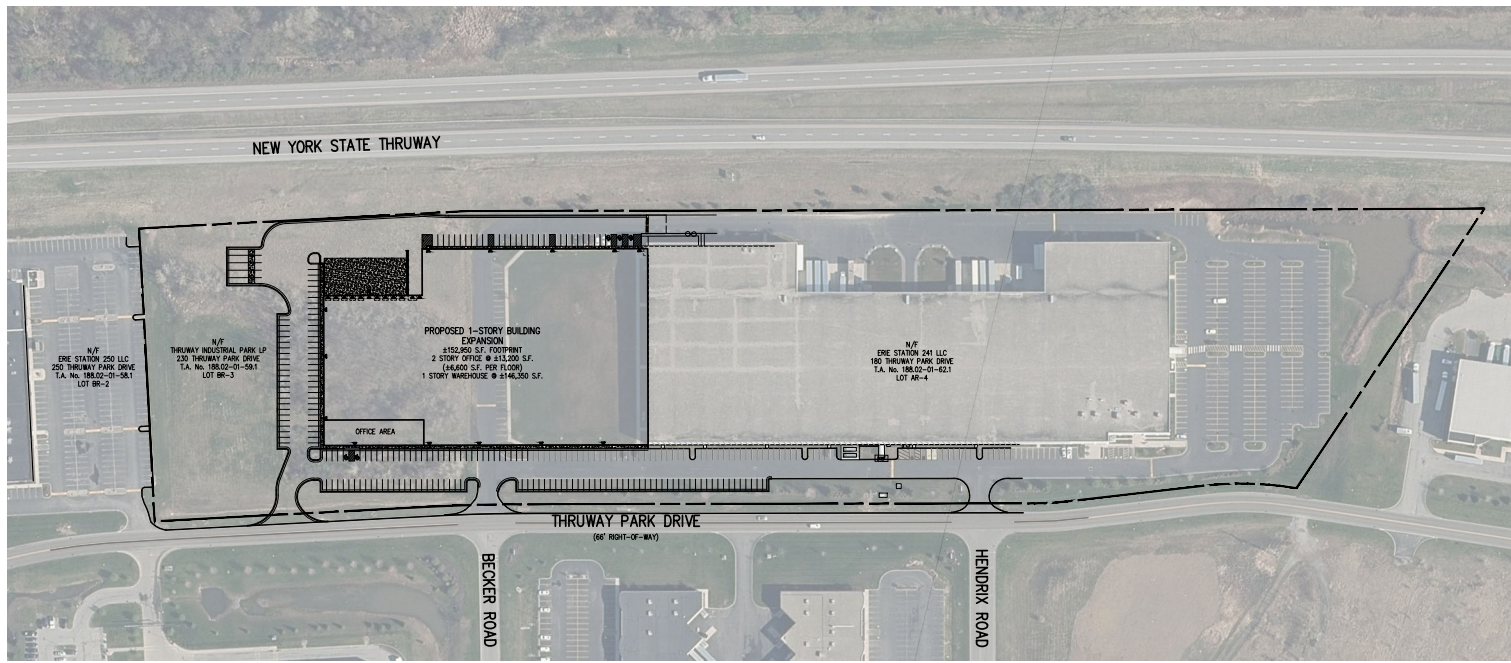
fas/PGV

Encl.

c: Michael Trojian, Erie Station 241, LLC



TOWN OF HENRIETTA
LOCATION MAP
NOT TO SCALE



PRELIMINARY/FINAL SITE PLANS
COOPERVISION EXPANSION

COOPERVISION EXPANSION

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
ERIE STATION 241, LLC
75 THRUWAY PARK DRIVE
W. HENRIETTA, NY 14586

- 2761-01 COVER SHEET
- 2761-02 RESUBDIVISION MAP
- 2761-03 SITE PLAN
- 2761-04 EXISTING CONDITIONS AND DEMOLITION PLAN
- 2761-05 UTILITY PLAN
- 2761-06 GRADING PLAN
- 2761-07 CONSTRUCTION EROSION CONTROL PLAN
- 2761-08 LANDSCAPE PLAN
- 2761-09 LIGHTING PLAN
- 2761-10 DETAIL SHEET (1 OF 3)
- 2761-11 DETAIL SHEET (2 OF 3)
- 2761-12 DETAIL SHEET (3 OF 3)

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

SCALE: 1"=100'
DRAWING NUMBER: 2761-01
DATED: NOVEMBER 10, 2021

18 LIFT BRIDGE LANE EAST PHONE 585-377-7340
FAIRPORT, NEW YORK 14450 FAX 585-377-7309
WWW.BMEPCOM

P:\2017\Drawings\Plan\2017 - Henrick.nwp

REFERENCES:

1. A PLAN ENTITLED "NON-INDUSTRIAL CENTER RESUBDIVISION OF LOT AR-2 AND LOT AR-3", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 246 OF MAPS, PAGE 20.
2. A PLAN ENTITLED "NON-INDUSTRIAL CENTER RESUBDIVISION", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 302 OF MAPS, PAGES 70-74.
3. A PLAN ENTITLED "COOPERATION RESUBDIVISION RESUBDIVISION", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 323 OF MAPS, PAGE 5.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

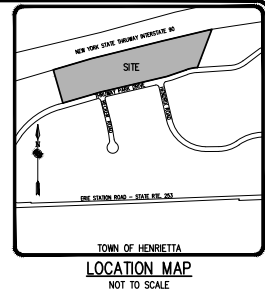
SURVEY NOTES:

1. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, NAD 83 (2011 EPOCH 2010) UTILIZING GPS OBSERVATIONS FROM THE HYDROT REFERENCE NETWORK STATION (NYFP 0033). PERIMETER AND/OR RES TO MONUMENTS WERE MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.
2. BEAKS SHOWN HEREON ARE 90° BEAKS SHOWN HEREON ARE 90° CORNER FACTOR = 0.9999944

SITE NOTES:

1. EXISTING ZONING: INDUSTRIAL
 2. TOTAL PROJECT AREA = 422.4 ACRES
LOT AR-4 = 215.5 ACRES
LOT BR-3 = 25.9 ACRES
 3. PROPOSED USE: 4152,950 S.F. WAREHOUSE/OFFICE EXPANSION
1-STORY WAREHOUSE: 14,000 S.F.
2-STORY OFFICE: 413,200 S.F. (14,800 PER FLOOR)
 4. APPLICABLE DEVELOPMENT STANDARDS FOR PROPOSED EXPANSION: INDUSTRIAL DISTRICT
- | SETBACKS | REQUIRED | PROPOSED |
|--------------------------------|----------|-------------------|
| FRONT | 125' | 495' (SEE NOTE 4) |
| SIDE | 5' | 227' |
| REAR | 40' | 437' |
| BUFFER TO RESIDENTIAL DISTRICT | 50' | N/A |
| MAX. BUILDING HEIGHT | 40' | ±3M'-6" |
5. PARKING REQUIREMENTS:
WAREHOUSE SPACE (1/4000'S): 229,294 SF (EXISTING BUILDING) + 141,200 (EXPANSION) = 390 SPACES REQUIRED
OFFICE SPACE (1/2000'S): 13,258 SF (EXISTING BUILDING) + 13,200 SF (EXPANSION) = 69 SPACES REQUIRED
TOTAL SPACES REQUIRED = 1,029 SPACES (INCLUDING 20 ACCESSIBLE SPACES)
EXISTING PARKING ON SITE = 361 SPACES (INCLUDING 13 ACCESSIBLE SPACES)
PROPOSED ADDITIONAL PARKING = 196 SPACES (INCLUDING 31 EXISTING SPACES, INCLUDING 2 ACCESSIBLE SPACES)
TOTAL PARKING PROVIDED = 528 SPACES (INCLUDING 15 ACCESSIBLE SPACES, 11 REQUIRED)
LAND BANK PARKING TO BE PROVIDED = 242 PARKING SPACES
TOTAL PARKING TO BE PROVIDED ON SITE = 768 PARKING SPACES
ALL AREA VARIANCE WILL BE REQUESTED FROM THE HENRIETTA ZBA FOR THE REQUESTED PARKING REQUIREMENT.

6. AN AREA VARIANCE WAS GRANTED BY THE TOWN OF HENRIETTA ZONING BOARD OF APPEALS FOR REDUCTION IN FRONT SETBACK FROM 125' TO 87' ON MAY 25, 2005 FOR LOT AR-4 (APPLICATION NO. 05-034). AN AREA VARIANCE WILL BE REQUESTED FROM THE ZONING BOARD OF APPEALS FOR REDUCTION IN FRONT SETBACK EQUIVALENT TO WHAT WAS APPROVED FOR THE ADJACENT LOT.
7. THE SETBACK LINES AND NOTES RELATING TO SETBACKS SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF HENRIETTA FOR THE TOWN'S INDUSTRIAL DISTRICT REQUIREMENTS AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
8. UTILITIES:
SANITARY SEWER: TOWN OF HENRIETTA WATERMAIN MONROE COUNTY WATER AUTHORITY
STORM SEWER: TOWN OF HENRIETTA DEDICATED SEWERS
GAS: ROAD
ELECTRIC: ROAD
9. A REVIEW OF THE FEMA MAPS INDICATES THAT NO PORTION OF THIS PROPERTY WAS RECOGNIZED TO BE IN A 100-YEAR FLOODPLAIN
10. THESE LANCES ARE WITHIN THE FOLLOWING UTILITY EXTENSIONS:
1. HENRIETTA CONSOLIDATED DRAINAGE DISTRICT
2. SANITARY SEWER DISTRICT EXTENSION 136
3. WATER DISTRICT EXTENSION 107
4. HENRIETTA CONSOLIDATED LIGHTING DISTRICT EXTENSION 7
11. THERE WERE NO FEDERAL WETLANDS Delineated WITHIN THE SUBJECT PROPERTY LIMITS.



Drinking Water
The information on this map for any purpose, unless it is used under the supervision of a professional engineer or land surveyor, is not to be used for any other purpose. The user assumes all liability for any use of the information on this map for any purpose other than that intended by the engineer or land surveyor. The user assumes all liability for any use of the information on this map for any purpose other than that intended by the engineer or land surveyor.

NO.	REVISIONS	DATE
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BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
144 FORT BRIDGE LANE EAST
FAIRBANK NEW YORK 14450
PHONE: 607-377-2760
FAX: 607-377-2709
WWW.BMEINC.COM



COOPERATION EXPANSION
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PROJECT SURVEYOR
M. PALMER
DRAWN BY
M. PALMER
SCALE
DATE ISSUED
NOVEMBER 2021
PROJECT NO.
2761
DRAWING NO.
02

APPROVALS

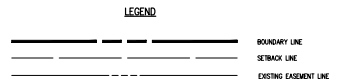
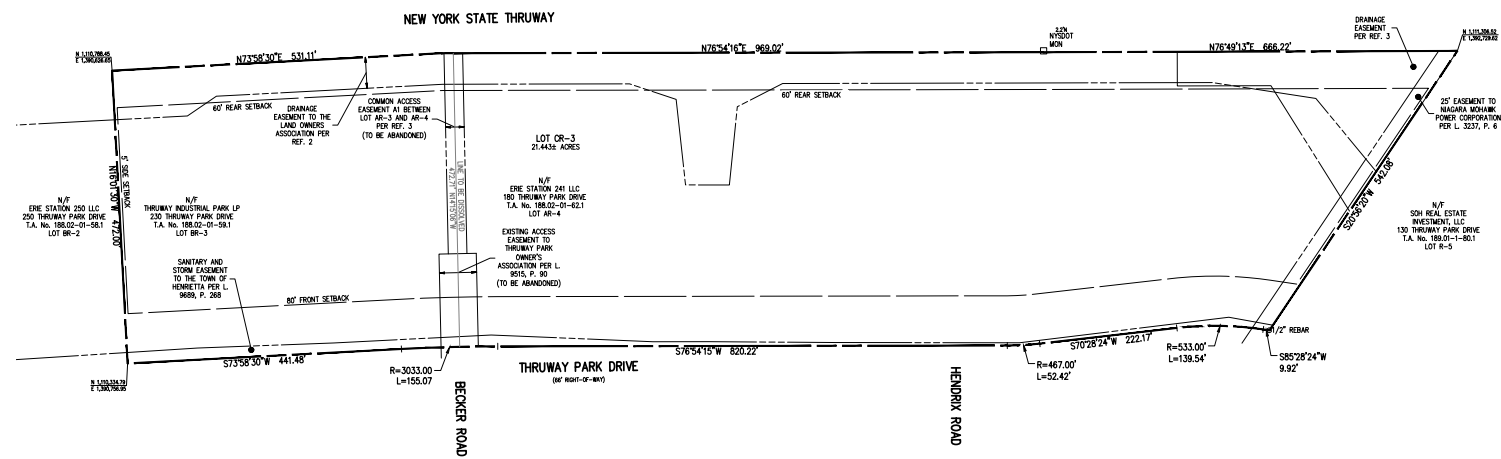
BY: _____ DATE: _____
FIRE MARSHAL

BY: _____ DATE: _____
PLANNING BOARD CHAIRMAN

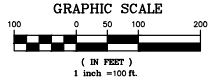
BY: _____ DATE: _____
DIRECTOR OF ENGINEERING AND PLANNING

BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

BY: _____ DATE: _____
DIRECTOR OF BUILDING & FIRE PREVENTION



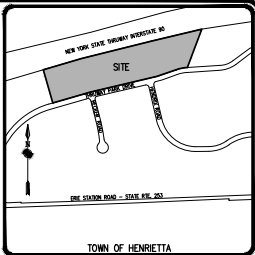
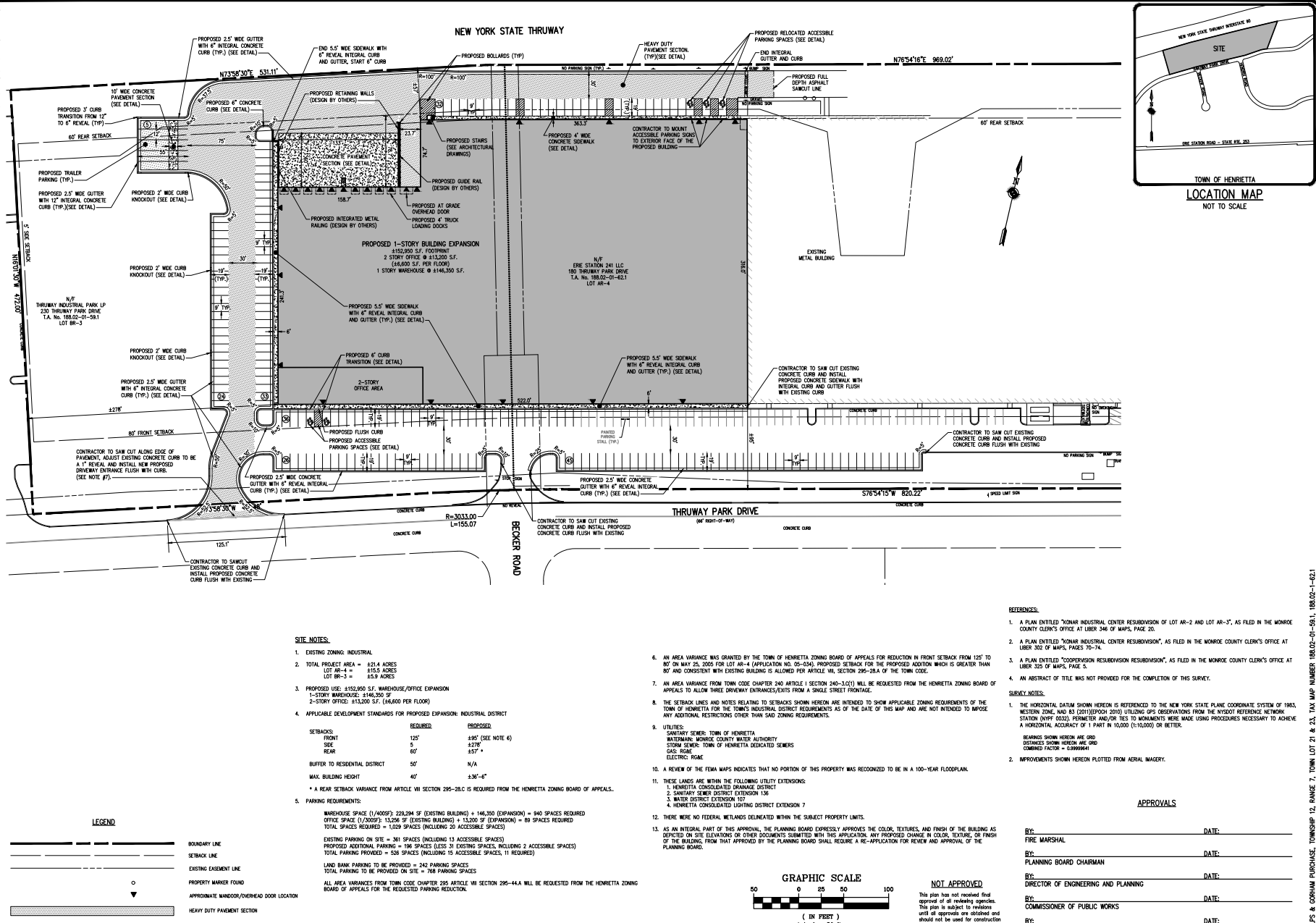
WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON NOVEMBER 3, 2021 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAN AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE OLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.
THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.
BY: *Matthew R. Palmer*
MATTHEW R. PALMER, NYSPLS NO. 028964



NOT APPROVED
This plan has not received final approval of all relevant agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

PHILIPS & CORHAM PURCHASE: TOWNSHIP 12, RANGE 7, TOWN LOT 21 & 23, TAX MAP NUMBER 188-02-01-581, 188-02-1-821

PLANETIMES/VIEWPOINT LIGHT BROTHERS



Disclaimer
The liability is assumed by the client for any errors or omissions in this plan. The client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The client shall be responsible for obtaining all necessary surveys and information from the appropriate authorities. The client shall be responsible for obtaining all necessary surveys and information from the appropriate authorities.

NO.	REVISIONS	DATE
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BME ASSOCIATES
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FAX: 516.377.7209
WWW.BMEINC.COM

COOPERVISION EXPANSION
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PROJECT CLIENT
N.Y. STATE THRUWAY AUTHORITY
20 THRUWAY PARK DRIVE
HENRIETTA, NY 14450
PRELIMINARY/FINAL
DRAWING TITLE

REFERENCES

- A PLAN ENTITLED "MONAR INDUSTRIAL CENTER RESUBDIVISION OF LOT AR-2 AND LOT AR-3", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 346 OF MAPS, PAGE 20.
- A PLAN ENTITLED "MONAR INDUSTRIAL CENTER RESUBDIVISION", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 302 OF MAPS, PAGES 70-74.
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- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

SURVEY NOTES:

- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, AND 83 (2011) (EPOCH 2010) UTILIZING GPS OBSERVATIONS FROM THE NYS027 REFERENCE NETWORK STATION (NYT 0232). PERMITS AND/OR TIES TO MONUMENTS WERE MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.
- BEARINGS SHOWN HEREON ARE GRID DISTANCES SHOWN HEREON ARE GRID COMBINED FACTOR = 0.9999987
- IMPROVEMENTS SHOWN HEREON PLOTTED FROM AERIAL IMAGERY.

APPROVALS

BY: _____ DATE: _____
FIRE MARSHAL

BY: _____ DATE: _____
PLANNING BOARD CHAIRMAN

BY: _____ DATE: _____
DIRECTOR OF ENGINEERING AND PLANNING

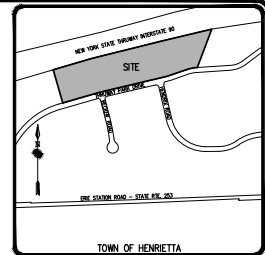
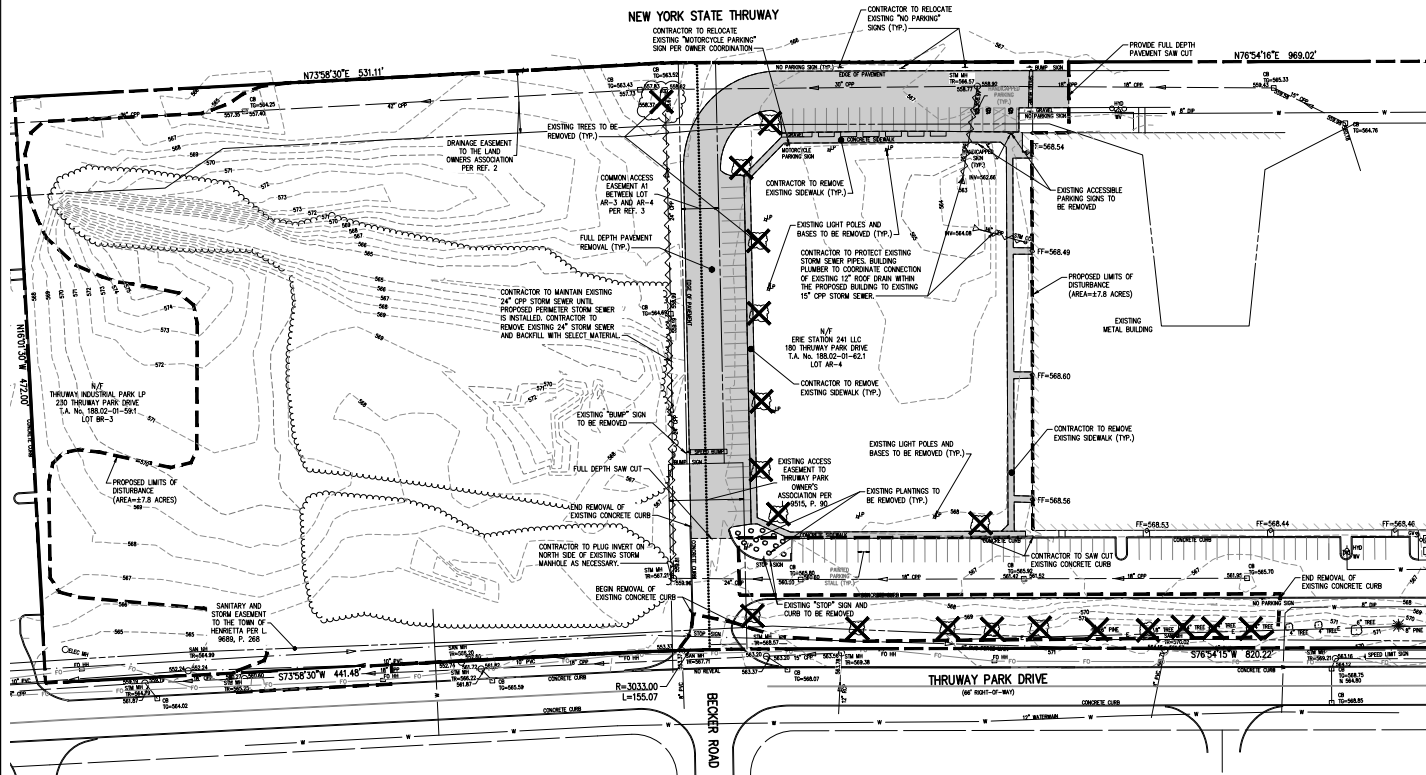
BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

BY: _____ DATE: _____
DIRECTOR OF BUILDING & FIRE PREVENTION

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PHILIPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 21 & 23, TAX MAP NUMBER 188,02-01-591, 188,02-1-821

PL100 (through) (V)201 (single) BME.dwg



Drainage Attention
 The following is an excerpt from the New York State Code of Rules, Title 160 Section 250.0 and applies to this design.
 To be a condition of this law for any project, unless such is stated under the engineer or land planner to alter any part of any lot if the same boundary need of an engineer or land planner to provide the quality engineer or land planner and the related "terms of reference" to the engineer and the date of such observation, and a specific description of the observation.

NO.	REVISIONS	DATE	BY
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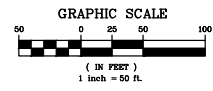
BME ASSOCIATES
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 HENRIETTA, NEW YORK 14456
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 WWW.BMEINC.COM

COOPERVISION EXPANSION
 TOWN OF HENRIETTA, HENRIETTA COUNTY, NEW YORK STATE
 DIE STATION PARK LLC
 DIE STATION PARK DRIVE
 HENRIETTA, NY 14456
 PRELIMINARY/FINAL

EXISTING CONDITIONS AND DEMOLITION PLAN
 PROJECT: COOPERVISION EXPANSION
 LOCATION: TOWN OF HENRIETTA, HENRIETTA COUNTY, NEW YORK STATE
 CLIENT: DIE STATION PARK LLC
 DRAWING TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN

PROJECT MANAGER: P. VARS
 PROJECT ENGINEER: F. SHELLY
 DRAWN BY: J. BASILE
 SCALE: 1"=50'
 DATE ISSUED: NOVEMBER 2021
 PROJECT NO.: 2761
 DRAWING NO.: 04

- DEMOLITION NOTES**
- CONTRACTOR SHALL ABANDON AND/OR REMOVE EXISTING UTILITIES, STRUCTURES, AND APPURTENANCES AS SHOWN ON THE PLANS AND/OR AS DIRECTED. THE CONTRACTOR SHALL COORDINATE THE WORK WITH THE ENGINEER AND THE AGENCY HAVING JURISDICTION PRIOR TO COMMENCING WITH ABANDONMENTS AND REMOVALS. THE CONTRACTOR SHALL DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL CURRENT REGULATIONS AND REQUIREMENTS.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORDS PLANS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT 1-800-942-7942 FOR STAKE-OUT OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL OBTAIN EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
 - CONTRACTOR SHALL LOCATE AND PROTECT PROPERTY CORNER PINS, PILES, STONE/CONC MONUMENTS, ETC. PRIOR TO WORK. ANY PROPERTY CORNER MONUMENTS, PINS OR PILES DAMAGED OR DISTURBED BY THE WORK SHALL BE RESET BY A NYS LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
 - EXISTING PAVEMENT/CONCRETE TO BE SAWCUT AND REMOVED TO FULL DEPTH.
 - CONTRACTOR TO DISPOSE OF ALL DEBRIS OFF-SITE TO A REGISTERED LANDFILL.
 - SEE SEQUENCE OF CONSTRUCTION STEPS ON THE NOTE SHEET (BME DWG 2761-07) FOR DIRECTION FOR EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO DEMOLITION WORK.
 - CONTRACTOR SHALL COORDINATE CLOSING OFF PARKING AREAS AND DRIVE ASSESS W/ OWNER & TENANT.
 - CONTRACTOR TO COORDINATE MAINTENANCE AND/OR TEMPORARY SHUTDOWN OF PERIMETER FIRE LINE WITH TOWN OF HENRIETTA.
 - TREE REMOVAL/EXCAVATIONS WITHIN PROPOSED BUILDING AND PAVED AREAS TO BE BACK FILLED AND COMPACTED WITH SELECT MATERIAL, AS STATED IN GRADING PLAN NOTE #7.
 - CONTRACTOR TO MAINTAIN FREE FLOW OF STORMWATER FROM DEVELOPMENT SITE. ANY UNDERGROUND DRAINAGE DISCOVERED SHALL BE PIPED AROUND DISTURBANCE AND NOT LEFT IN DAMAGED CONDITION.
 - CONTRACTOR SHALL NOTIFY OWNER/CIVIL ENGINEER OF ANY UNKNOWN SUB SURFACE UTILITIES ENCOUNTERED.



NOT APPROVED
 This plan has not received final approval of all retaining agencies. This plan is subject to revision until all approvals are obtained and should not be used for construction purposes.

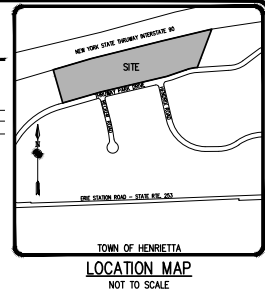
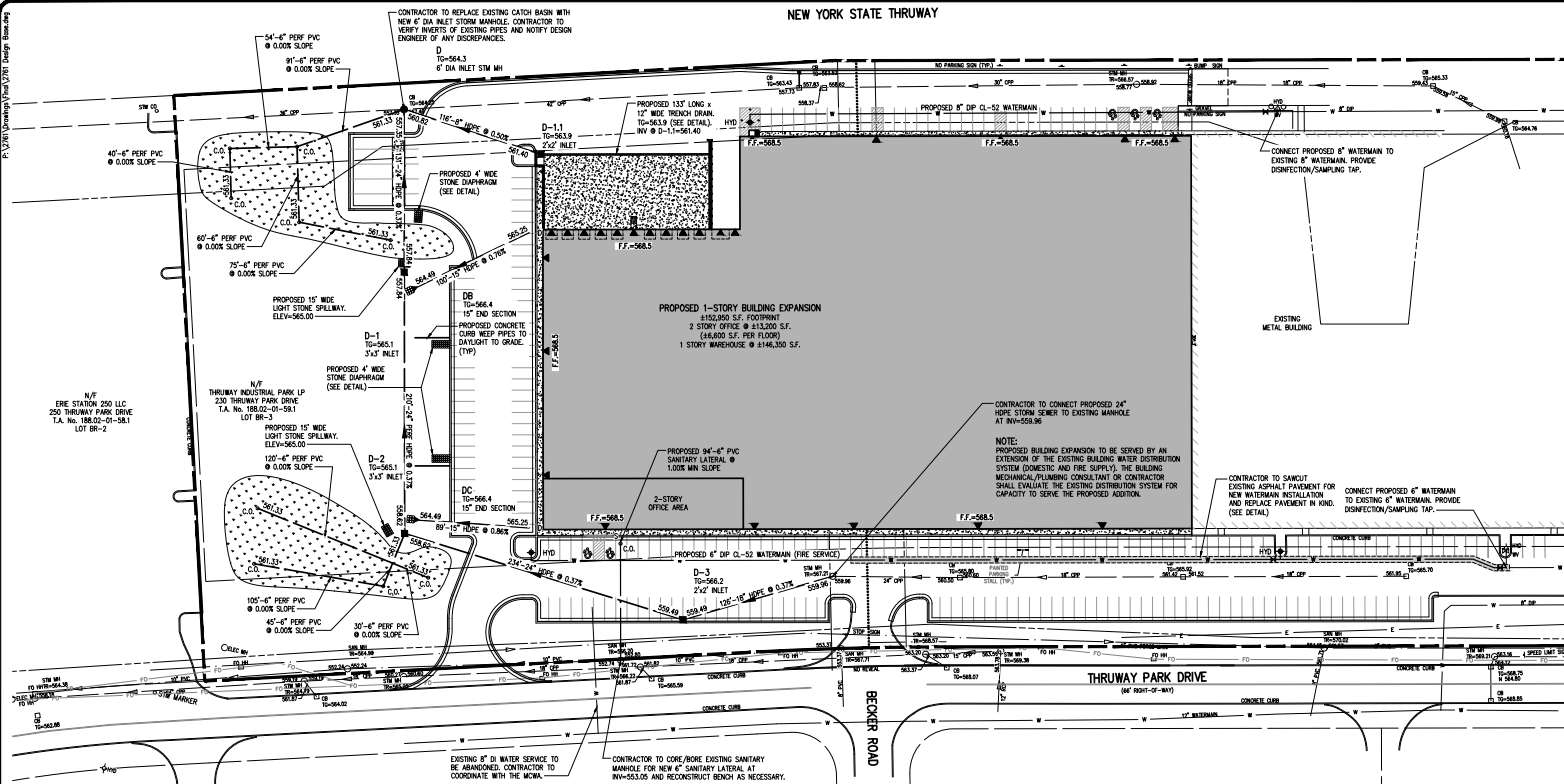
LEGEND

	BOUNDARY LINE
	ADJOINER LINE
	PROPERTY MARKER FOUND
	LIMITS OF EXISTING ASPHALT PAVEMENT AND CONCRETE SIDEWALK TO BE REMOVED
	FULL DEPTH SAW CUT
	EXISTING UTILITY TO BE REMOVED
	EX. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING CONTOUR
	DESIGNATES EXISTING TREE/SHRUB TO BE REMOVED

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PHILIPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 21 & 23, TAX MAP NUMBER: 188.02-01-501, 188.02-1-521

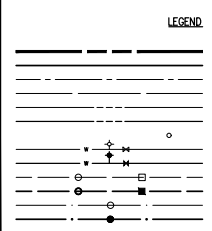
NEW YORK STATE THRUWAY



Quantity Affidavit
The following is an estimate from the contractor of the quantities of work to be done under the contract for the project described in the title block of this plan and is subject to the audit of the engineer or land surveyor to whom the contractor is to submit bills of materials for the work done under the contract. The contractor shall be held responsible for the accuracy of the quantities shown on this plan and the contractor shall be held responsible for the accuracy of the quantities shown on this plan and the contractor shall be held responsible for the accuracy of the quantities shown on this plan.

N/T
EYE STATION 250 LLC
250 THRUWAY PARK DRIVE
T.A. No. 188.02-01-58.1
LOT BR-2

N/T
THRUWAY INDUSTRIAL PARK LP
250 THRUWAY PARK DRIVE
T.A. No. 188.02-01-58.1
LOT BR-3



UTILITY NOTES:

1. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS (AND APPROVALS UNDER SECTION 27B OF TOWN LAW OF THE TOWN OF HENRIETTA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
2. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
3. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA, THE APPROPRIATE AGENCIES (E. MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEOLOGIC SURVEY OFFICE.
5. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 4 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEOLOGIC SURVEY MONUMENTS.
6. EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT (800)942-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
8. HIGHWAY DRAINAGE ALONG THRUWAY PARK DRIVE IS TO BE MAINTAINED. OWNER TO FURNISH AND PLACE DRAINWAY CULVERT PIPE (IF REQUIRED) OF A SIZE AND TYPE, AT A LINE AND GRADE TO BE DETERMINED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS.
9. ALL UNDERGROUND UTILITY LINES AND SERVICES IN PROPOSED PAVEMENT AREAS SHALL BE BACKFILLED WITH #4 AND #2 CRUSHER RUN STONE AND SELECT MATERIAL PLACED IN 8" LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER DETAIL. THROUGH AN INDEPENDENT TESTING LABORATORY, THE CONTRACTOR WILL PROVIDE A MINIMUM OF TWO PASSING TESTS PER TRENCH CROSSING CERTIFYING 95% COMPACTION AT THE SURFACE ELEVATION. EACH TEST IS NOT TO EXCEED 15 LF.
10. ALL PIPE CROSSINGS TO BE STONED FROM BOTTOM TRENCH OF LOWER PIPE TO SPRING LINE OF UPPER PIPE.

ALL WATERMAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
THE WATERMAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.

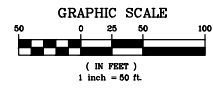
17. ALL WATERMANS SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS. THE CONTRACTOR SHALL CHECK ALL OUT STAKES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMANS WILL HAVE THE REQUIRED COVER.
18. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUNDWATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISH GRADE, FIRE HYDRANT WELPHANGES (DRAINS) SHALL BE PLUGGED.
19. PRIOR TO INSTALLATION OF THE WATERMAIN, THE CONTRACTOR SHALL PROVIDE RESULTS OF A 10 POINT SOIL TEST EVALUATION PER AWWA C600-A21.5-82 TO DETERMINE THE NEED FOR POLYETHYLENE ENCASMENT. SOIL TESTS ARE TO BE PERFORMED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH MCHA STANDARDS.
20. MINIMUM SEPARATION BETWEEN WATERMAIN AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERMANS AND SEWER MAINS TO BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATERMANS.

STORM SEWER:

21. STORM SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA.
22. STORM SEWER PIPE SHALL BE SMOOTH INTERIOR OR AS NOTED ON THE PLAN.
23. CHECK VALVES TO BE PROVIDED ON SWAMP PUMPS.

LATERALS AND SERVICES:

24. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:
WATER - NONE
SANITARY - 4" PVC SDR-21 INSTALLED AT 1% MIN SLOPE.
STORM - 12" HDPE INSTALLED AT 0.2% MIN SLOPE.
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHOEVER IS GREATER.



NOT APPROVED
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APPROVALS

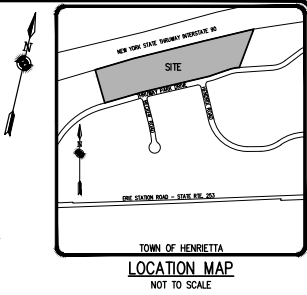
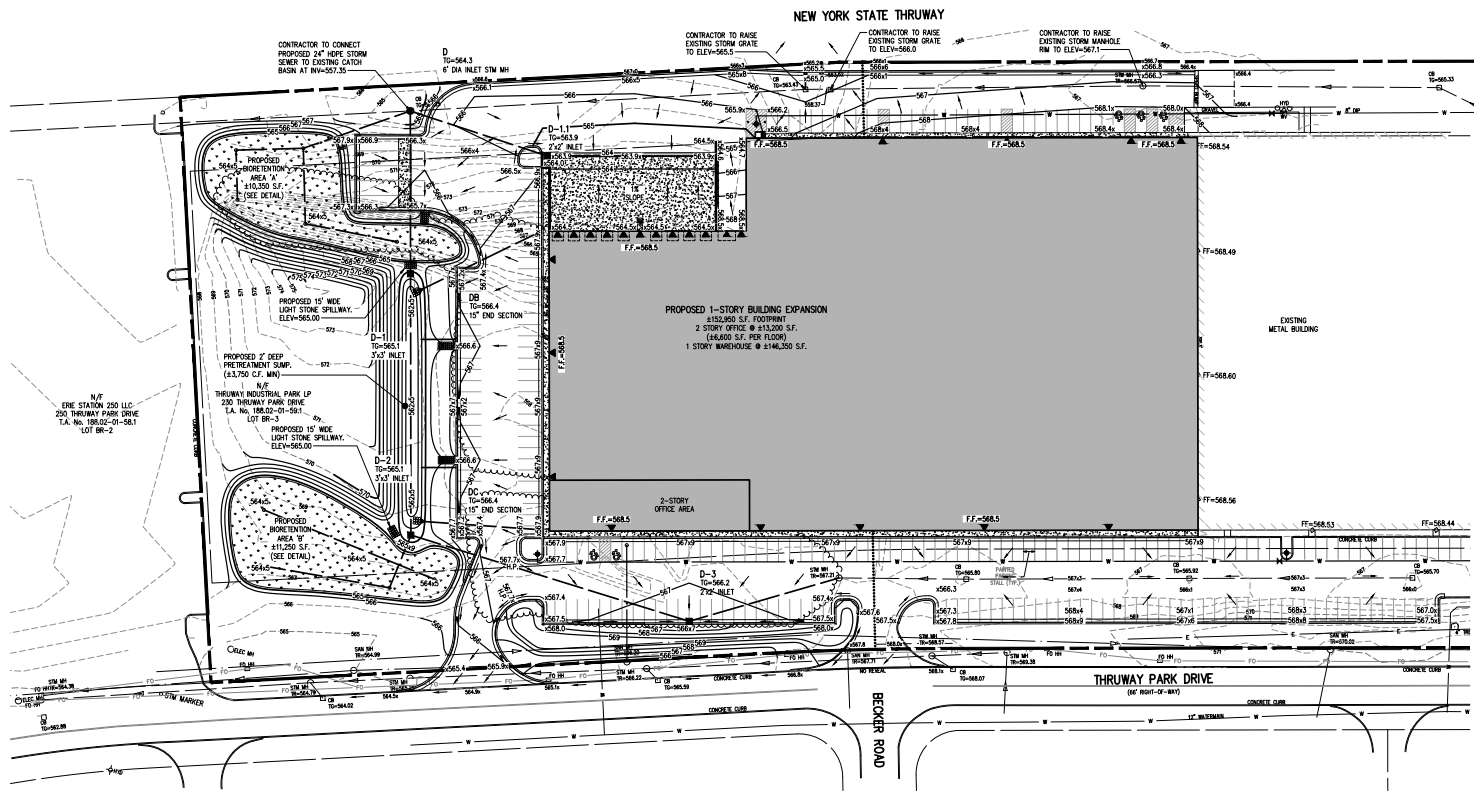
BY: DIRECTOR OF ENGINEERING AND PLANNING DATE: _____
BY: COMMISSIONER OF PUBLIC WORKS DATE: _____
BY: DIRECTOR OF BUILDING & FIRE PREVENTION DATE: _____
BY: TOWN FIRE MARSHAL DATE: _____
BY: MONROE COUNTY WATER AUTHORITY DATE: _____

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PHILIP S. GORHAM PURCHASE: TOWNSHIP 12, RANGE 7, TOWN LOT 21 & 23, TAX MAP NUMBER 188.02-01-58.1, 188.02-01-58.1

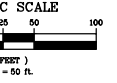
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COOPERVISION EXPANSION
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PROJECT LOCATION: 250 THRUWAY PARK DRIVE, LOT BR-3, HENRIETTA, NY 14450
PRELIMINARY/FINAL
UTILITY PLAN
PROJECT MANAGER: P. VARS
PROJECT ENGINEER: F. SHELLY
DRAWN BY: A. BELVER
SCALE: _____ DATE ISSUED: NOVEMBER 2021
PROJECT NO.: 2761
DRAWING NO.: 05



SEQUENCE OF CONSTRUCTION STEPS

- TOTAL DISTURBED AREA = 47.8 ACRES
- STEP 1: (SITE PREPARATION)**
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
 - CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
 - INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOODING OF LANDS TO MAINTAIN GROUND COVER.
- STEP 2: (CONSTRUCTION ACTIVITY)**
- STRIP AND STOCKPILE TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
 - CONTRACTOR MUST GRADING OPERATIONS COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES, AND TEMPORARY SEDIMENT TRAPS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION AND SEDIMENT TRAPS TO BE STABILIZED IMMEDIATELY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
 - CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES, AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
 - COMPLETE EARTHWORK, INCLUDING THE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDING WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT THE OF SLOPE (IF APPLICABLE).
 - COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND PAVEMENT SUBGRADE. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED.
 - INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
 - INSTALL PAVEMENT BASE, CUTTERS/CURBS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- STEP 3: (STABILIZATION & MONITORING)**
- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY 6P-0-20-201. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES AND MULCH.
 - SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET - EC-18 (EASTCAST) OR AN APPROVED EQUIVALENT.
 - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
 - MONITOR SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
 - MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 60% STABILIZATION.
 - SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
 - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
 - CONSTRUCT BORNEOTENURE AREAS ONCE CONTRIBUTING UPSTREAM AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF HENRIETTA.



NOT APPROVED
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LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SEBACK LINE
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- PROPOSED WATERMAIN, HYDRANT, AND VALVE
- EXISTING STORM SEWER, MANHOLE, AND INLET
- PROPOSED STORM SEWER, MANHOLE, AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CONTOUR W/ ELEVATION
- PROPOSED CONTOUR W/ ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED FLOOR ELEVATION

GRADING NOTES

- THE CONTRACTOR SHALL LOCATE, MARK, SETBACK, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEOLOGIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEOLOGIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1-800-962-7862 FOR STAKE-OUT OF EXISTING UTILITIES.
- LOWEST ARCHITECTURAL OPENING (OR FLOOR ELEVATION) SHALL BE 36.00.
- THE CONTRACTOR SHALL CONTROL DUST (ONITE AS DIRECTED) BY THE TOWN OF HENRIETTA.
- HIGHWAY DRAINAGE ALONG THRUWAY PARK DRIVE TO BE MAINTAINED AS DIRECTED BY THE TOWN.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED IN LIFTS TO 90% MAXIMUM DENSITY. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBGRADE.
- CONTRACTOR SHALL INSTALL STONE SUBGRADE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVIEWED BY THE ENGINEER AND THE OWNER REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL THE ASPHALT CONCRETE BINDER COURSE FOR THE PAVEMENT WITHIN THE PARKING LOT. THE REMAINING ASPHALT CONCRETE TOP COURSE WILL BE PLACED ONE YEAR AFTER THE BINDER COURSE.

Disclaimer
The liability is assumed from the date of this plan to the extent that the contractor shall be held liable for any errors or omissions in the design or construction of the project. The contractor shall be held liable for any errors or omissions in the design or construction of the project. The contractor shall be held liable for any errors or omissions in the design or construction of the project. The contractor shall be held liable for any errors or omissions in the design or construction of the project.

NO.	DATE	REVISIONS
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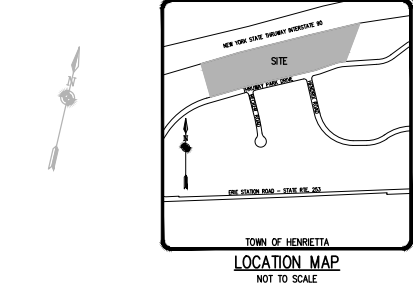
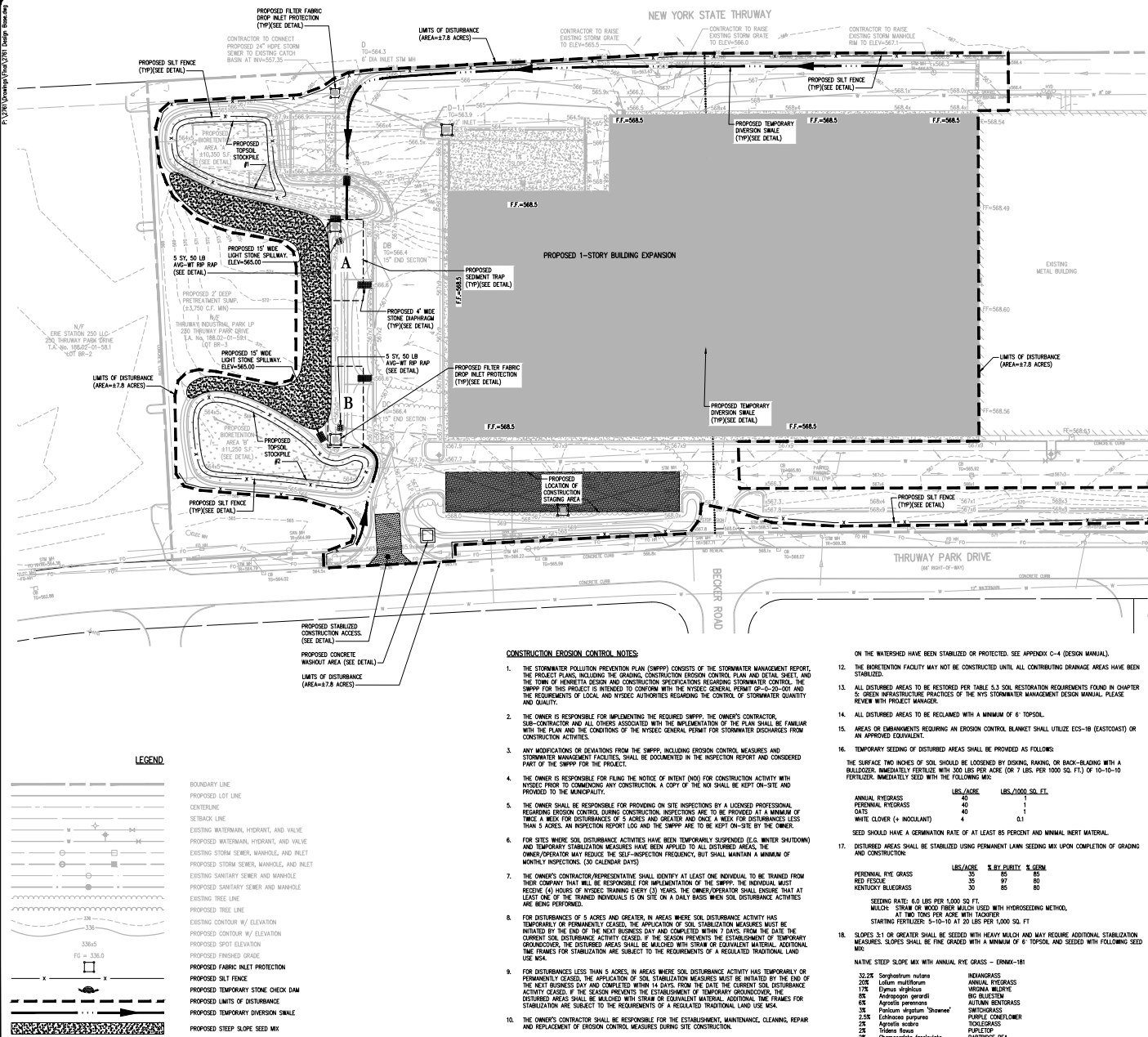
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COOPERVISION EXPANSION
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
200 THRUWAY PARK DRIVE
HENRIETTA, NY 14456
P. VARS
F. SHELLEY
A. BEYER

PRELIMINARY/FINAL GRADING PLAN
PROJECT: COOPERVISION EXPANSION
LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
CLIENT: 200 THRUWAY PARK DRIVE, HENRIETTA, NY 14456
DRAWING TITLE: PRELIMINARY/FINAL GRADING PLAN
PROJECT NUMBER: P. VARS
PROJECT ENGINEER: F. SHELLEY
DRAWN BY: A. BEYER
SCALE: 1"=50'
DATE ISSUED: NOVEMBER 2021
PROJECT NO.: 2761
DRAWING NO.: 06

PL1501 & COPLAN PURCHASE: TOWNSHIP 12, RANGE 7, TOWN LOT 21 & 23, TAX MAP NUMBER 188-02-01-581, 188-02-1-521

PL/310 (University/2021) Deepa Banerji



SEDIMENT TRAP VOLUMES

SEDIMENT TRAP ID	DRAINAGE AREA/ DISTURBED AREA (ACRES)	SEDIMENT TRAP VOLUME (REQ'D)	TRAP DIMENSIONS* (L x W x D)	SEDIMENT TRAP VOLUME (PROVIDED)
A	±3.0 ACRES	10,800 CU. FT.	80'x25'x4'	11,200 CU. FT.
B	±3.1 ACRES	11,160 CU. FT.	80'x25'x4'	11,200 CU. FT.

NOTE: SEDIMENT TRAPS TO BE CONSTRUCTED WITH A MINIMUM LENGTH TO WIDTH RATIO OF 2:1. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 1'. *TRAP DIMENSIONS PRESENTED AS GUIDANCE FOR CONTRACTOR ONLY. ACTUAL DIMENSIONS MAY VARY BASED UPON FIELD CONDITIONS. HOWEVER, MINIMUM "REQ'D" SEDIMENT TRAP VOLUME* MUST BE PROVIDED.

CONSTRUCTION EROSION CONTROL NOTES

1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF HENRIETTA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT (G-4)-20-00 AND THE REQUIREMENTS OF LOCAL AND NYSDEC ACTIVITIES REGARDING THE CONSTRUCTION QUANTITY AND QUALITY.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MANAGER/UTILITY.
5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES OR GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)
7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY 3 YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON-SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
8. FOR DISTURBANCES OF 5 ACRES OR GREATER, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 7 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASES. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
9. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASES. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
10. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
11. INFILTRATION BASIN EXCAVATION SHOULD BE COMPLETED TO WITHIN 2 FEET OF THE FINAL ELEVATION OF THE BASIN FLOOR. FINAL EXCAVATION TO THE FINISHED GRADE SHOULD BE DEFERRED UNTIL ALL DISTURBED AREAS

12. THE BORTENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
13. ALL DISTURBED AREAS TO BE RESTORED PER TABLE 3.3 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 3: GREEN INFRASTRUCTURE PRACTICES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL. PLEASE REVIEW WITH PROJECT MANAGER.
14. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
15. AREAS OF EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE EGS-18 (EASTCOAST) OR AN APPROVED EQUIVALENT.
16. TEMPORARY SEEDS OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSESED BY DISKING, RAKING, OR BACK-BLADING WITH A BACKDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

ANNUAL HYDRAGRASS	40	US 2000 SQ. FT.
PERENNIAL HYDRAGRASS	40	1
GATS	4	0.1
WHITE CLOVER (+ NODULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
17. DISTURBED AREAS SHALL BE STABILIZED USING PRELIMINARY LAWS SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION.

LBS/ACRE	% BY PURITY	% SEED
PERENNIAL RYE GRASS	30	85
RED FESCUE	35	97
KENTUCKY BLUEGRASS	30	85

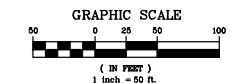
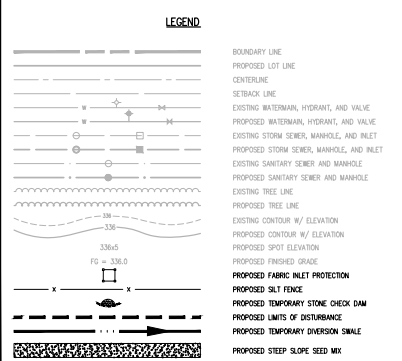
SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD.
AT TWO TONS PER ACRE WITH TACKIFIER.
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.
18. SLOPES 3:1 OR GREATER SHALL BE SEEDED WITH HEAVY MULCH AND MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6" TOPSOIL AND SEEDED WITH FOLLOWING SEED MIX:
NATIVE STEEP SLOPE MIX WITH ANNUAL RYE GRASS - ERN62-181

%	Species
32.2%	Sorghastrum nutans
17.2%	Andropogon gerardii
17%	Elymus virginicus
6%	Agrostis pennsylvanica
6%	Agrostis pennsylvanica
3%	Panicum capillare
2.5%	Echinochloa purpurea
2%	Agrostis scabra
2%	Tripsacum dasyneuron
2%	Chromola luteola
1%	Centaurea jacobina

19. FLOOD TOLERANT EROSION CONTROL SEED MIX TO BE PROVIDED AS FOLLOWS:

% OF WEIGHT	Species
20	PERENNIAL RYE GRASS
20	ANNUAL HYDRAGRASS
20	RED TOP

MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.
20. ALL SEEDING AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 60% SHALL BE RE-SEED.
21. ANY EXCAVATIONS THAT MUST BE DEMONSTRATED SHALL BE RAMPED INTO AN APPROVED FLATENING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
22. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE BACKFILLED OR PROPERLY.
23. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOTI) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT (G-4)-20-00.



NOT APPROVED

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County Attention
The following is an extract from the...
Town of Henrietta
LOCATION MAP
NOT TO SCALE

NO.	DATE	REVISIONS
7		
6		
5		
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1		

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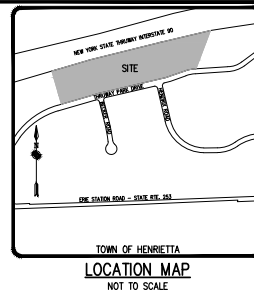
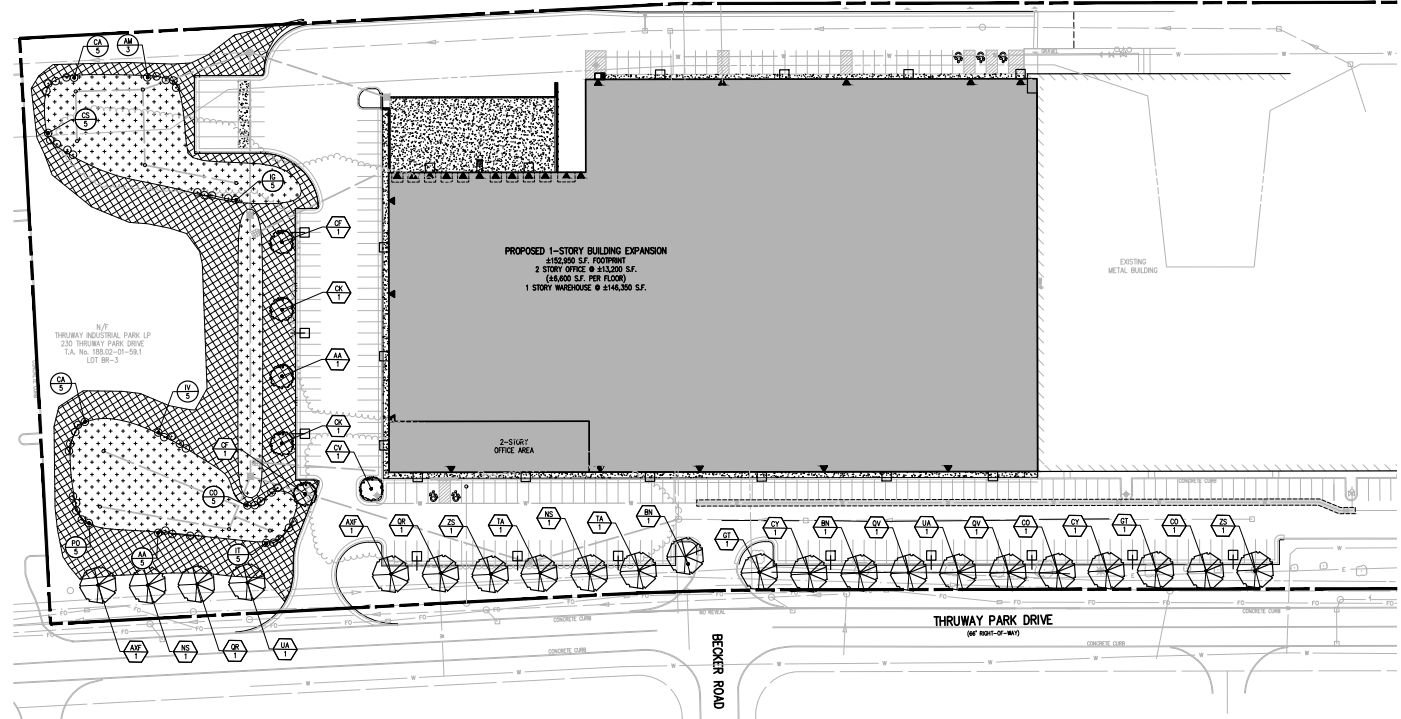
COOPERVISION EXPANSION
TOWN OF HENRIETTA, HENRIETTA COUNTY, NEW YORK STATE
23. TOWN LOT 21 & 23, TAYLOR PARISH, 188.02-01-58.1, 188.02-1-58.1

CONSTRUCTION EROSION CONTROL PLAN

PROJECT MANAGER
P. VARS
PROJECT ENGINEER
F. SHELLY
DRAWN BY
A. BELYER
SCALE
1" = 50'
DATE ISSUED
NOVEMBER 2021
PROJECT NO.
2761
DRAWING NO.
07

PHILIP S. COCHRAN, PURCHASE, TOWNSHIP 13, RANGE 7, TOWN LOT 21 & 23, TAYLOR PARISH, 188.02-01-58.1, 188.02-1-58.1

NEW YORK STATE THRUWAY



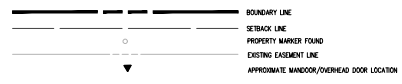
LANDSCAPE NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, AND 2001-2004.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
4. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
5. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
6. PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
7. STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
8. PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS:
FOR BUILDING FOUNDATION PLANTING BEDS, PROVIDE A 3" LAYER OF WASHED CORBELS 1"-3" IN SIZE. PROVIDE WOOD BARRIER MATERIAL BETWEEN SOIL AND MULCH LAYER.
FOR ALL OTHER LANDSCAPE PLANTING BEDS, PROVIDE SHREDED HARDWOOD MULCH PER DETAILS.
9. SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.
A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:
"PERPET", "TATION" & "MORNING STAR" % BY WEIGHT % BY PURITY % GERM
PERENNIAL FINE GRASS "LAMESTOWN II", "TERRACE", "ENGLISH" 40 85 85
RED FESCUE 20 97 80
"BANK" & "MIDWEST"
KENTUCKY BLUEGRASS 40 85 80
SEEDING RATE: 8.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD CHIP MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TRACKER.
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SF.
PLEASE REFER TO BME DRAWING # 2761-07 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS & TEMPORARY SEEDING AND SPECIALIZED SEED MIX.
10. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STANDOFF OF PLANTINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE. ONCE THE LANDSCAPING IS ACCEPTED BY THE OWNER, THE LANDSCAPE MAINTENANCE IS TO BE PROVIDED BY OWNER/OWNER REPRESENTATIVE FOR THE (3) THREE YEAR MAINTENANCE GUARANTEE PERIOD.
12. ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
13. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.

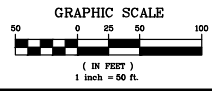
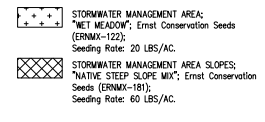
SITE PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
1	AA	<i>Ametanichler x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3" cal	B&B	
2	AN	<i>Acer x fraxinifolium</i> 'Autumn Blaze'	Autumn Blaze Maple	3" cal	B&B	
2	BN	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	3" cal	B&B	
2	CC	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	3" cal	B&B	
2	CF	<i>Cornus florida</i>	Flowering Dogwood	3" cal	B&B	
2	CK	<i>Cornus kousa</i>	Kousa Dogwood	3" cal	B&B	
2	CO	<i>Celtis occidentalis</i>	Hockberry	3" cal	B&B	
1	CV	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	3" cal	B&B	
2	CY	<i>Cladonia verticillata</i>	Yellowwood	3" cal	B&B	
2	GT	<i>Gleditsia triacanthos var. inermis</i> 'Shademaster'	Honeylocust	3" cal	B&B	
2	NS	<i>Nyssa sylvatica</i>	Black Gum	3" cal	B&B	
2	UA	<i>Ulmus americana</i> 'Valley Forge'	American Elm	3" cal	B&B	
2	SA	<i>Sassafras albidum</i>	Sassafras	3" cal	B&B	
2	TA	<i>Tilia americana</i>	American Linden	3" cal	B&B	
2	OR	<i>Quercus rubra</i>	Red Oak	3" cal	B&B	
2	OV	<i>Quercus velutina</i>	Black Oak	3" cal	B&B	
2	TA	<i>Tilia americana</i>	American Linden	3" cal	B&B	
SHRUBS						
5	AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	24"	BR	
5	AM	<i>Aronia melanocarpa</i>	Black Chokeberry	24"	BR	
5	CO	<i>Cephaelis occidentalis</i>	Bullbush	24"	BR	
5	CA	<i>Celtis occidentalis</i>	Summersweet	24"	BR	
5	CS	<i>Cornus sericea</i>	Red-twig Dogwood	24"	BR	
5	CA	<i>Cornus amomum</i>	Silky Dogwood	24"	BR	
5	IG	<i>Ilex glabra</i>	holiberry Holly	24"	BR	
5	IV	<i>Ilex verticillata</i>	Winterberry	24"	BR	
5	IT	<i>Itea virginica</i>	Virginia Sweetapple	24"	BR	
5	PO	<i>Physocarpus opulifolius</i>	Ninebark	24"	BR	

LEGEND



SEED MIX LEGEND:



NOT APPROVED
This plan has not received final approval of all relevant agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

SEE DETAIL SHEET (3 OF 3)
(BME DWG. #2761-12) FOR
TOWN OF HENRIETTA
LANDSCAPE DETAILS

APPROVALS

BY: PLANNING BOARD CHAIRMAN
DATE:

Drafting Information
This drawing is an extract from the New York State Education Law and the Education Code and applies to this State only. It is a violation of this law for any person to use it in any other state. The use of this drawing in any other state is prohibited. The use of this drawing in any other state is prohibited. The use of this drawing in any other state is prohibited.

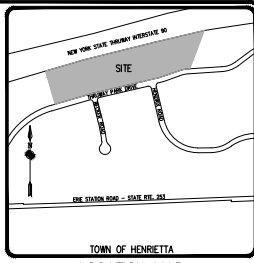
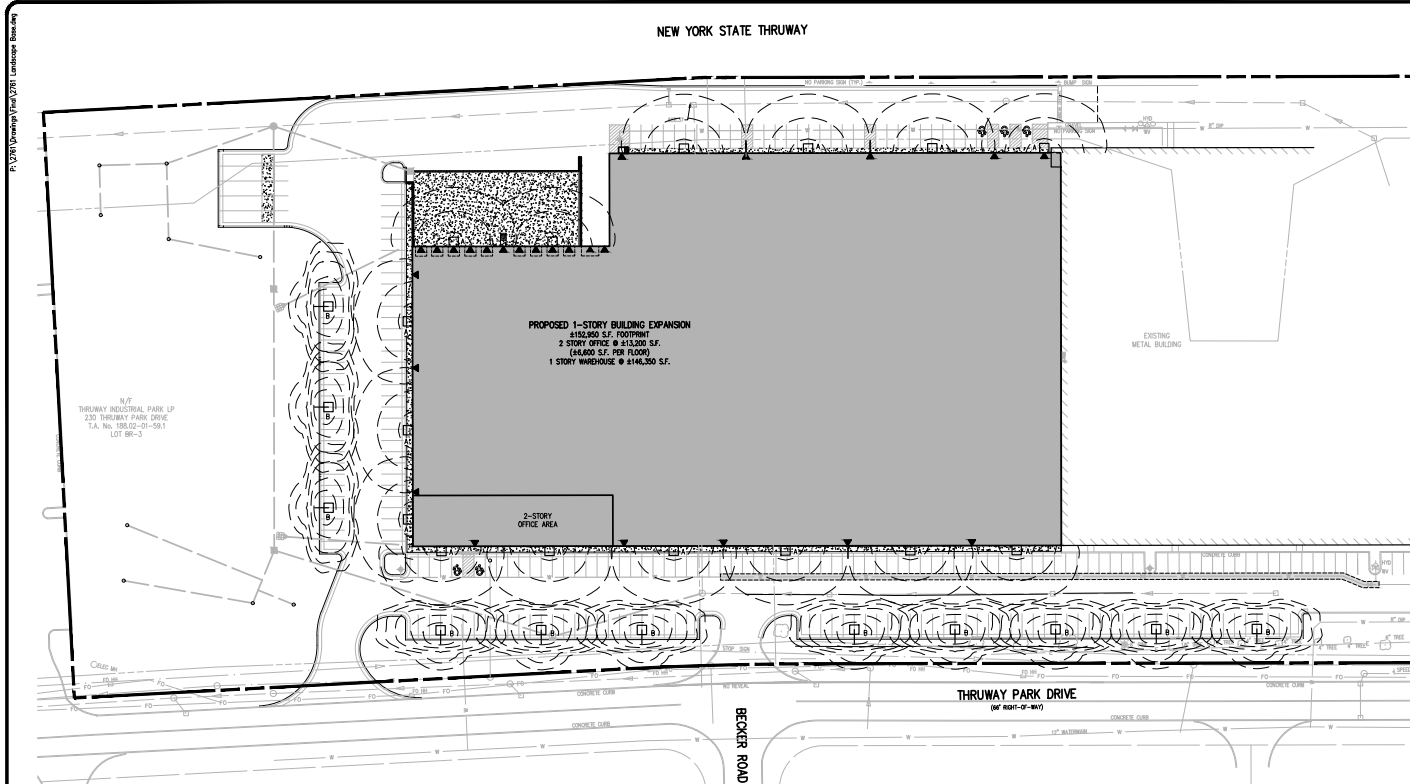
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333 HUNTERS LANE EAST
HENRIETTA, NY 14456
TEL: 835-7730
WWW.BMEINC.COM



COOPERVISION EXPANSION
PROJECT
LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
CLIENT: TOWN OF HENRIETTA, NY 14456
DRAWING TITLE: PRELIMINARY/FINAL LANDSCAPE PLAN

PROJECT MANAGER: P. VANCE
PROJECT ENGINEER: E. SHIPLEY
DRAWN BY: R. JONES
SCALE: 1"=50'
DATE ISSUED: NOVEMBER 2021
PROJECT NO.: 2761
DRAWING NO.: 08



Creative Attention
The information is derived from the New York State Education Law Article 160 Section 720 and applies to this
"S" to a location of this law for any
person, unless the location under the
owner of a commercial premises
and/or any person to whom any
use of an employee or land transfer is
shown, the lighting engineer or land
and the location, "S" to a location
to be maintained in accordance with
information and a specific description
of the situation.

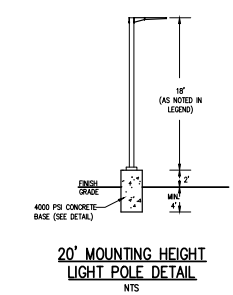
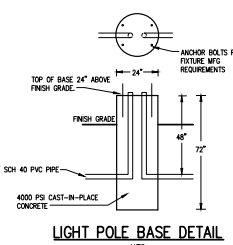
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10 EAST BRIDGE PLAZA EAST
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FAX 916.577.7300



COOPERATION EXPANSION
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
ERIE STATION LLC
20 THRUWAY PARK DRIVE
HENRIETTA, NY 14503
PRELIMINARY/FINAL
DRAWING TITLE

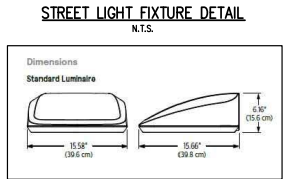
PROJECT MANAGER
P. VAIS
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
R. JONES
SCALE: DATE ISSUED
1/2"=1'-0" NOVEMBER, 2021
PROJECT NO.
2761
DRAWING NO.
09



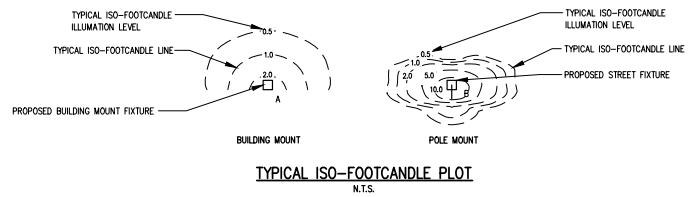
RSX2 LED Area Luminaire

Specifications

- EPA (ft²/foot): 0.69 ft² (0.08 m²)
- Length: 29.3" (74.4 cm) (ØPA mount)
- Width: 13.4" (34.0 cm)
- Height: 3.0" (7.6 cm) Main Body, 7.2" (18.3 cm) Arm
- Weight: 30.0 lbs (13.6 kg) (ØPA mount)



BUILDING MOUNTED LIGHT FIXTURE DETAIL
N.T.S.



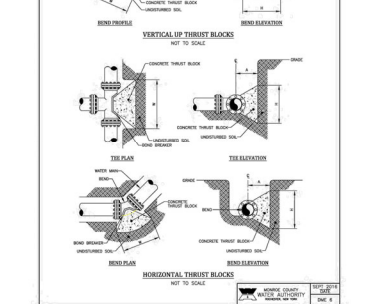
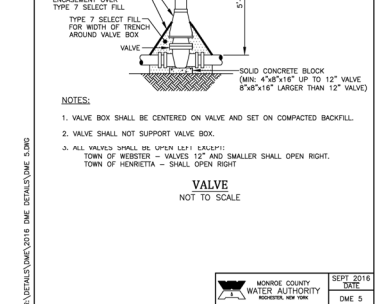
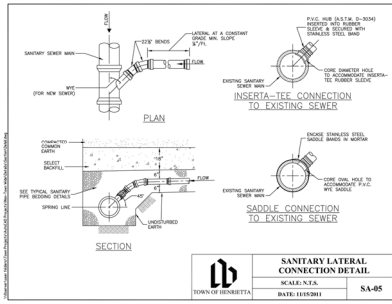
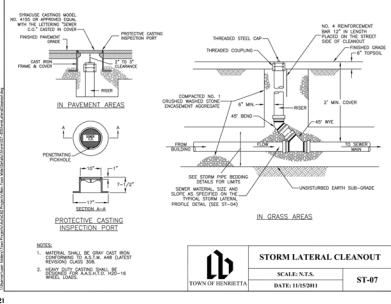
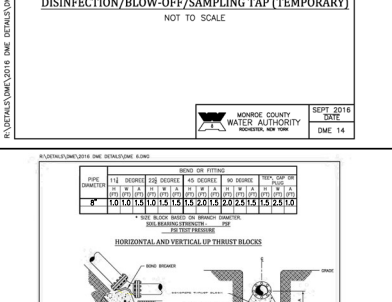
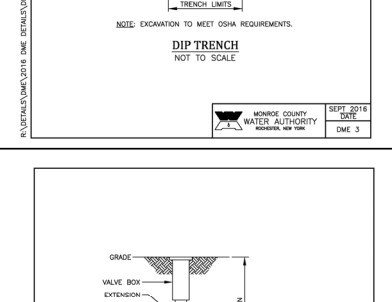
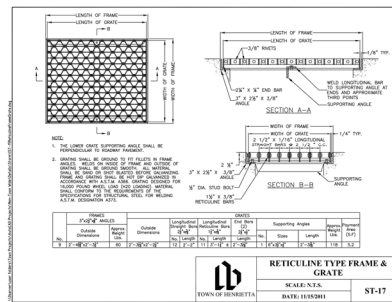
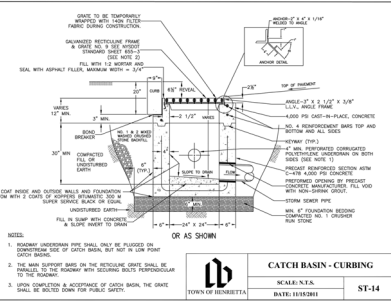
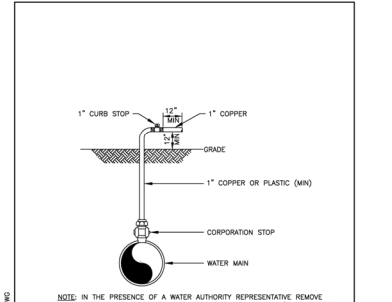
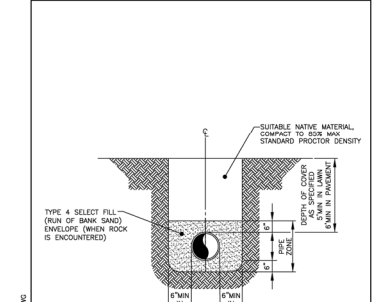
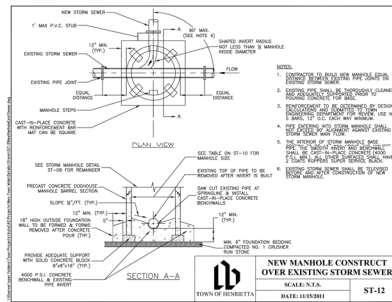
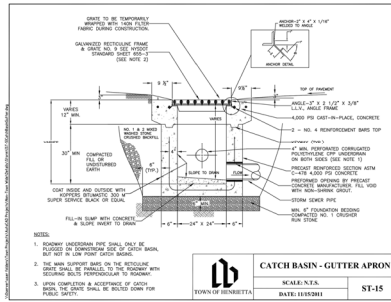
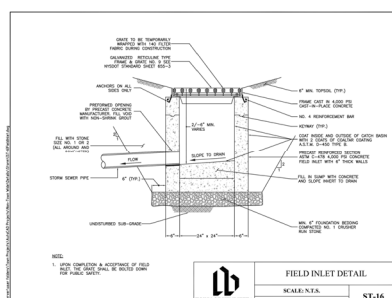
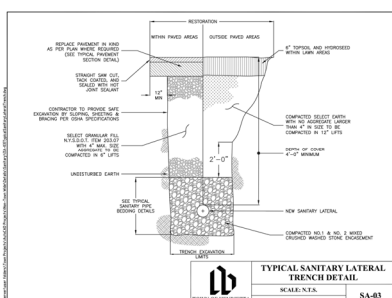
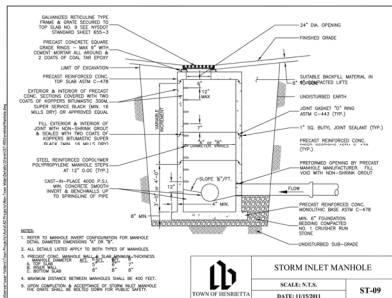
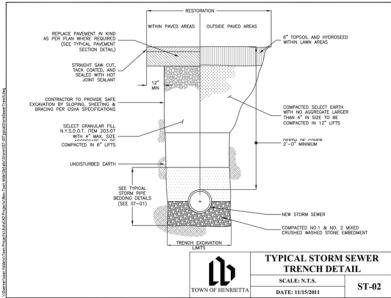
LUMINAIRE SCHEDULE

Label	Symbol	Qty	Height	Arrangement	Total Lamp Lumens	LLF	Luminaire Description	Lum. Watts	BUG Rating
A	■	15	24'	SINGLE	10,072	1.000	PWS-48-500-NW-G2-4	133	B2-U0-G2
B	■	11	20'	SINGLE	17,263	1.000	RSX-LED-P2-40X-R2-MVOLI-SPA	151	B2-U0-G2

- LIGHTING NOTES**
- TYPE A LIGHTING FIXTURE TO BE GARCO PARKFLEX LED SCIENCE (PWS-48-500-NW-G2-4) LED POLE MOUNT FIXTURE WITH 210 CRI 4000K COLOR TEMPERATURE, TYPE 4 LIGHT DISTRIBUTION, UNIVERSAL VOLTAGE AND DARK BRONZE FINISH OR APPROVED EQUIVALENT.
 - TYPE B LIGHTING FIXTURE TO BE LITHONIA LIGHTING RSX2 LED (RSX-LED-P2-40X-R2-MVOLI-SPA) LED POLE MOUNT FIXTURE WITH 4000K COLOR TEMPERATURE, TYPE 2 LIGHT DISTRIBUTION, UNIVERSAL VOLTAGE AND BLACK MATTE TEXTURED FINISH OR APPROVED EQUIVALENT.
 - IF AN EQUIVALENT FIXTURE IS PROPOSED THE LIGHTING CONTRACTOR SHALL SUPPLY SPEC. SHEETS FOR ALL LIGHT FIXTURES AND LIGHT POLES FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - LIGHTING CONTRACTOR TO COORDINATE FINAL LOCATION AND HEIGHT OF FIXTURES WITH BUILDING ARCHITECT/OWNER.
 - CONTRACTOR RESPONSIBLE FOR THEIR OWN QUANTITY AND CIRCUITRY TAKEOFFS AND DESIGN OF ELECTRICAL DISTRIBUTION TO ALL FIXTURES.

APPROVALS

BK. PLANNING BOARD CHAIRMAN _____ DATE: _____



Quantity Alteration
This drawing is an extract from the
100 Section 200 and applies to the
entire project.
It is a condition of this bid for any
project, unless the contract specifies
otherwise, that the contractor shall
be responsible for obtaining the
quantity of materials to be used
and for providing a detailed
description of the materials to be
used.

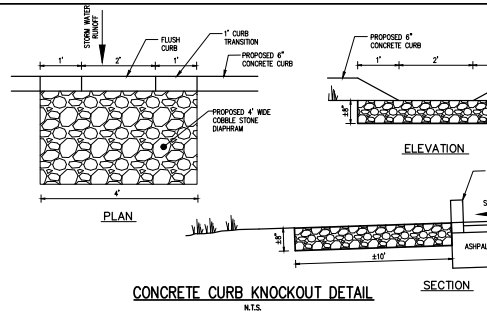
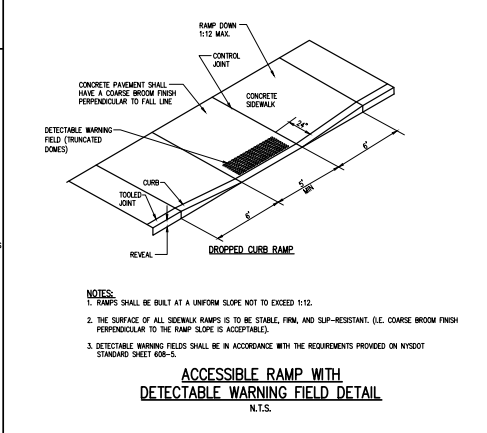
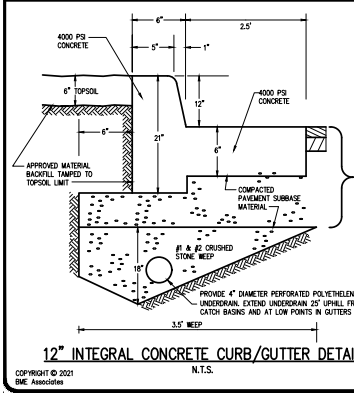
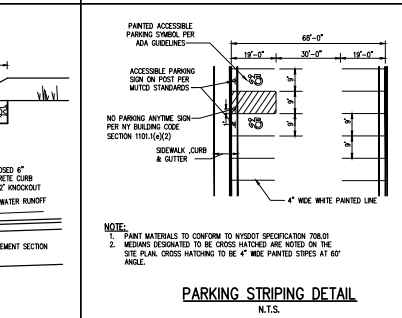
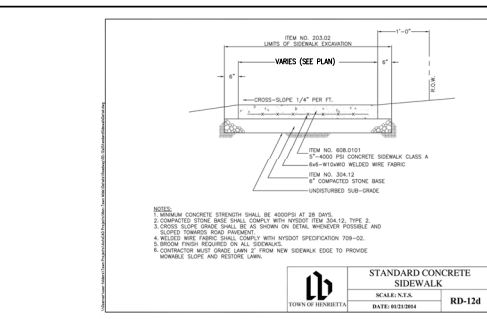
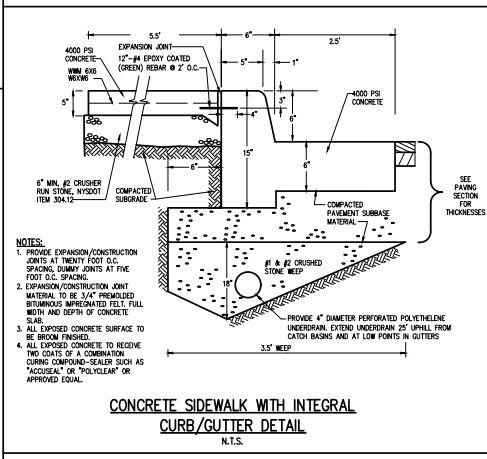
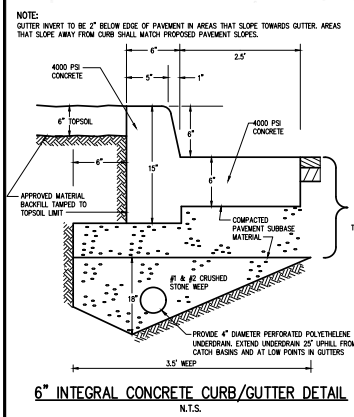
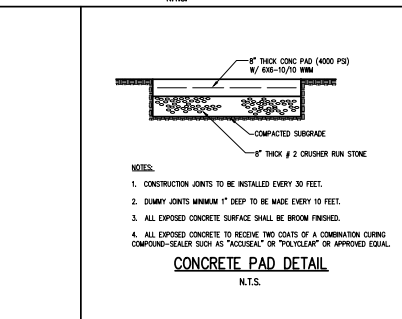
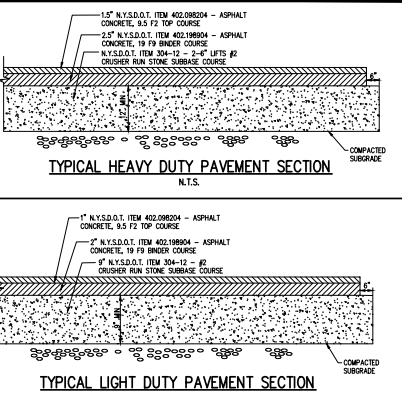
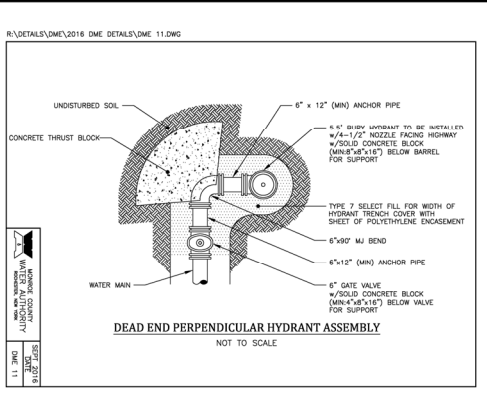
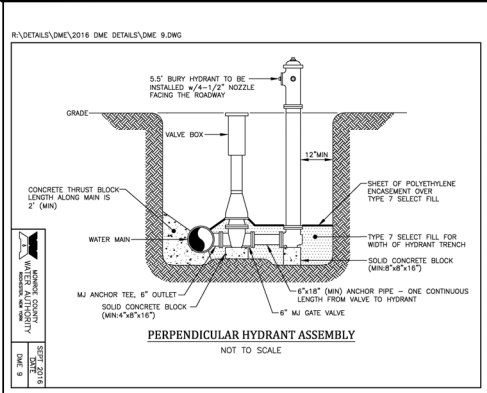
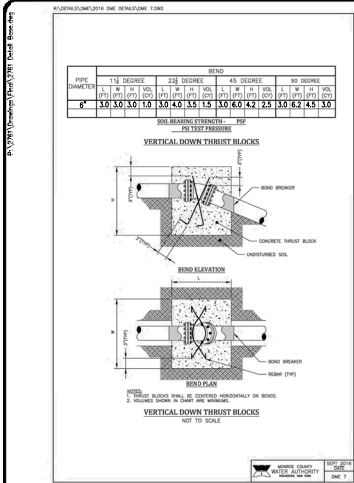
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BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
100 EAST BRIDGE LANE EAST
FAIRFIELD, NEW YORK 14450
PHONE: 516-377-2300
FAX: 516-377-2309
WWW.BMEINC.COM

MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK
DATE: 11/25/2016
DME 3

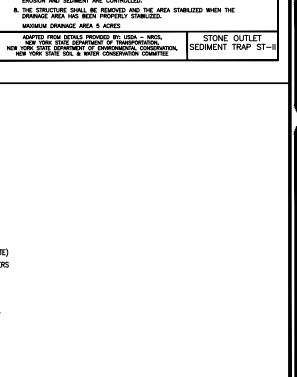
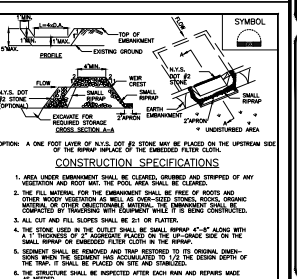
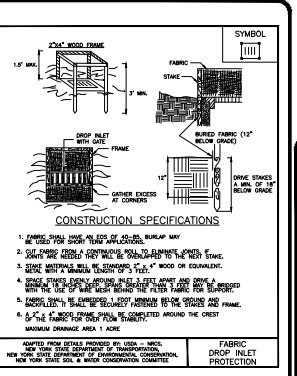
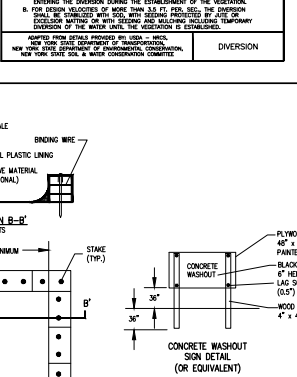
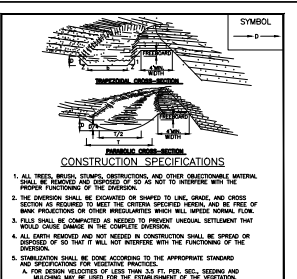
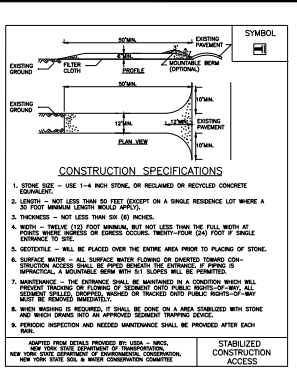
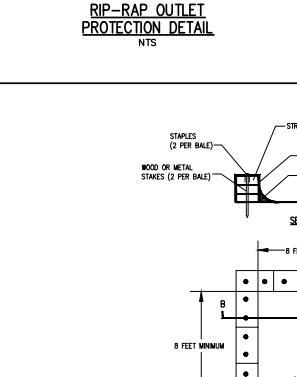
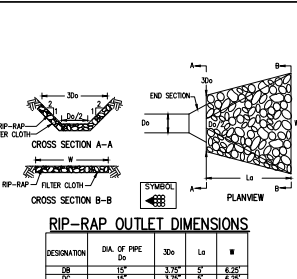
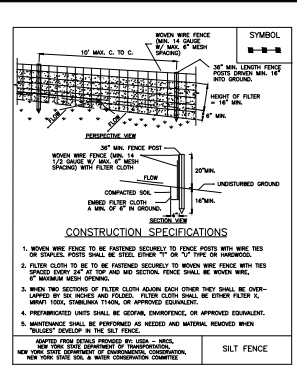
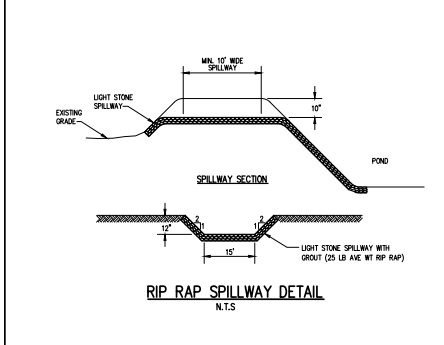
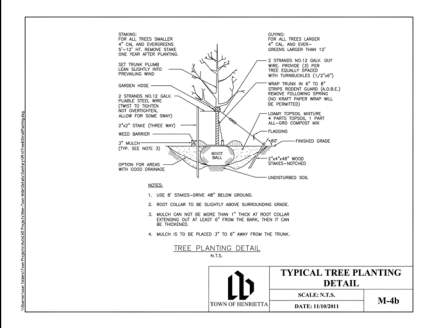
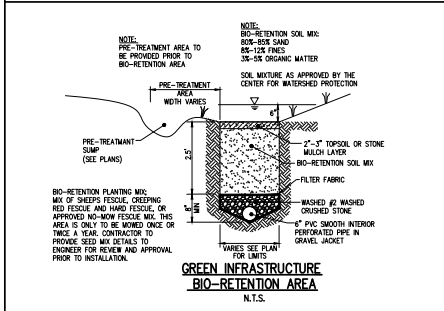
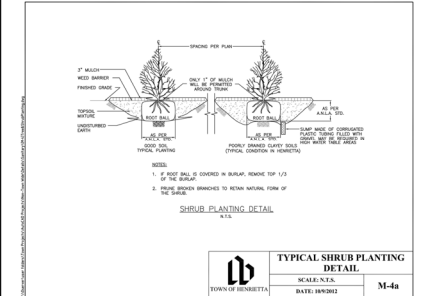
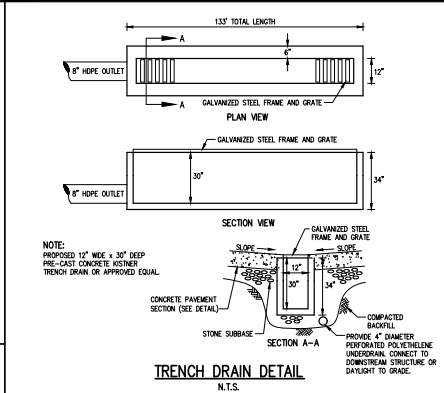
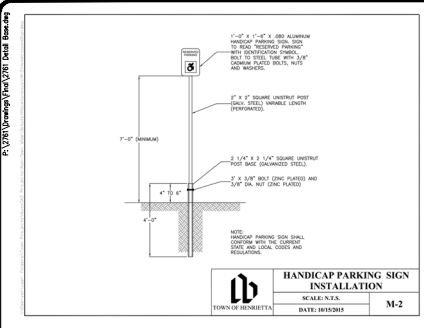
MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK
DATE: 11/25/2016
DME 14

COOPERVISION EXPANSION
TOWN OF HENRETTA, MONROE COUNTY, NEW YORK STATE
PROJECT NO. 2761
DRAWING NO. 10
SHEET 1 OF 3



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Quantity Attention: The following is an extract from the...
 BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 PROJECT: COOPERVISION EXPANSION
 LOCATION: NEW YORK STATE
 CLIENT: [REDACTED]
 PROJECT MANAGER: P. YARS
 PROJECT ENGINEER: F. SHELLEY
 DRAWN BY: J. BASILE
 SCALE: N.T.S.
 DATE ISSUED: NOVEMBER 2021
 PROJECT NO.: 2761
 DRAWING NO.: 11
 SHEET 2 OF 3



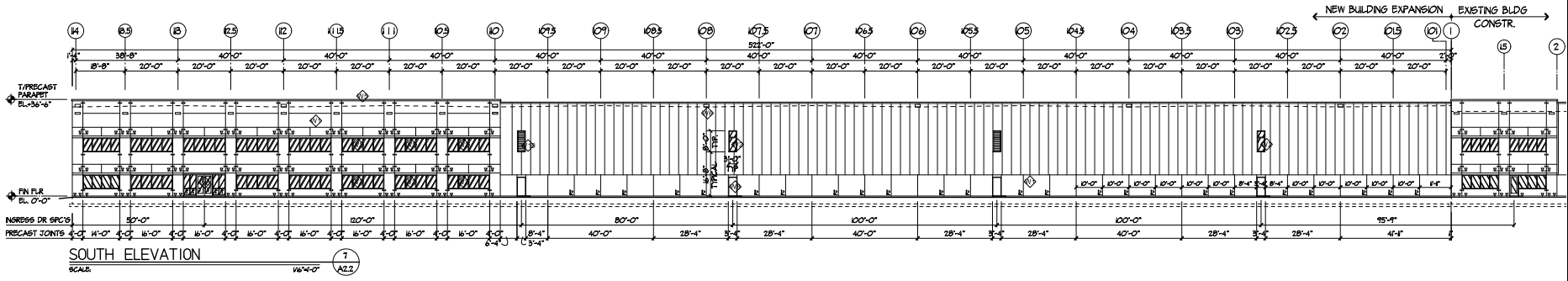
Quantity Affidavit
This is a statement of the quantities of materials shown on the attached drawings and is to be used for the purpose of estimating the cost of the work. It is not to be used for any other purpose. The quantities are based on the drawings and are subject to change without notice. The contractor shall be responsible for verifying the quantities and for any errors or omissions. The contractor shall be responsible for any changes to the quantities and for any errors or omissions. The contractor shall be responsible for any changes to the quantities and for any errors or omissions.

NO.	DESCRIPTION	QUANTITY	DATE
1			
2			
3			
4			
5			
6			
7			

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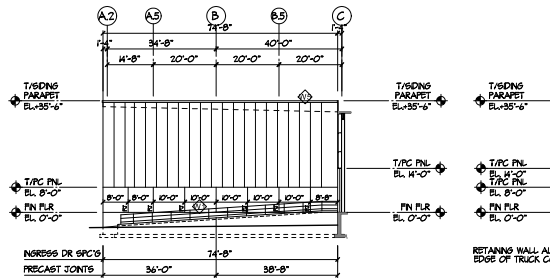
COOPERVISION EXPANSION
TOWN OF FRENCHTOWN, HUNTER COUNTY, NEW YORK STATE
25 STATEWAY PARK DRIVE
FRENCHTOWN, NY 13760
PRELIMINARY/FINAL
DETAIL SHEET

PROJECT: COOPERVISION EXPANSION
LOCATION: HUNTER COUNTY, NEW YORK STATE
CLIENT: TOWN OF FRENCHTOWN
PROJECT MANAGER: P. VARS
PROJECT OWNER: F. SHELLY
DRAWN BY: J. BASILE
SCALE: N.E.S.
DATE ISSUED: NOVEMBER 2021
PROJECT NO.: 2761
DRAWING NO.: 12
SHEET 3 OF 3



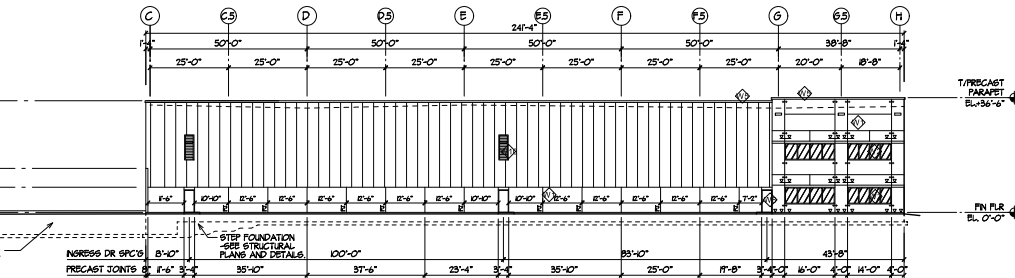
SOUTH ELEVATION

SCALE: 1/8"=1'-0" (A22)



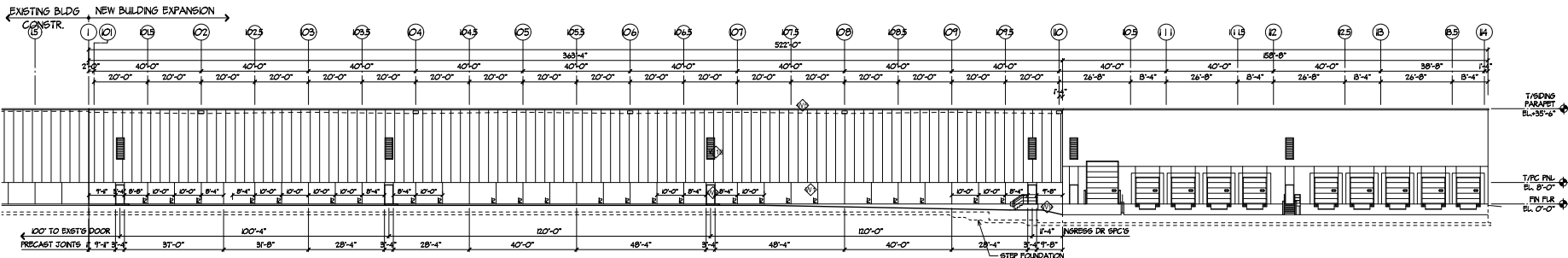
WEST ELEVATION

SCALE: 1/8"=1'-0" (A21)



WEST ELEVATION

SCALE: 1/8"=1'-0" (A21)



NORTH ELEVATION

SCALE: 1/8"=1'-0" (A21)

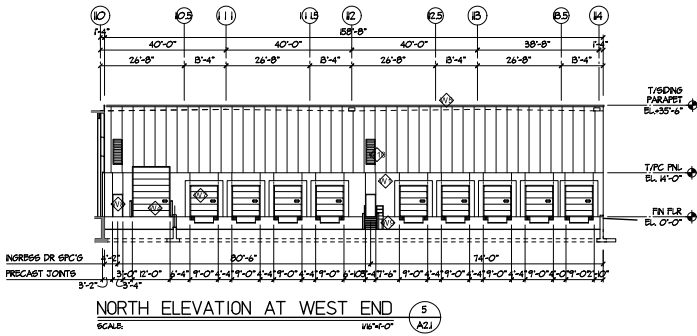
CLEAR HT. AND ROOF CALCULATIONS

CLEAR HEIGHT	30'-0"
JOIST DEPTH	30"
UNDERSIDE OF MTL DECK (AT ROOF HEAD LOCATIONS)	32'-6"
ROOF RITCH USING STEEL FRAMING	12"
W/6 MTL ROOF DECK AT PERIMETER	33'-6"
METAL DECK	1 1/2"
ROOF INSULATION	6.2" NOM.
TOP OF ROOF ELEVATION (AT ROOF HEAD LOCATIONS)	34'-2" NOM.
(AROUND MAJORITY OF ROOF PERIMETER)	
TOP OF ROOF ELEVATION (AT ROOF HEAD LOCATIONS)	33'-2" NOM.
T/INSULATED METAL PANEL	35'-6"
T/PRECAST WALL PANELS	36'-6"

ELEVATIONS AND CALCULATION TO BE VERIFIED ONCE STEEL FRAMING PLANS ARE COMPLETED AND REVIEWED.

EXTERIOR CONSTRUCTION ASSEMBLY LEGEND

- ◆ INSULATED PRECAST WALL PANELS WITH SMOOTH STEEL FORM FINISH AND ARTICULATED REVEALS CLEANED, PRIMERED AND PAINTED IN THE FIELD.
- ◆ STOREFRONT, CURTAINWALL, CLEARESTORY: 1" W/1" VAS INSULATED TINTED GLASS IN THERMALLY BROKEN ANOD. ALUMINUM FRAMING TRIM FINISH AND GLASS COLOR TO BE SELECTED BY ARCH. TEMPER FINISH WHERE INDICATED BY T AND REQUIRED BY CODE.
- ◆ DOOR CONSTRUCTION: 1/2" TINTED, THERMALLY BROKEN ALUM. DOOR SET INTO ALUMINUM STOREFRONT FRAMING SYSTEM. FRAME FINISH AND GLASS COLOR TO BE SELECTED BY ARCHITECT.
- ◆ PREFINISHED INSULATED METAL OVERHEAD DRIVE-IN DOOR WITH IMPRINT STAINLESS VISION PANEL. PROVIDE CONG-FILLED STD. STL. W/6 COLLARS EACH SIDE INSIDE AND OUT PAINT SAFETY YELLOW.
- ◆ PREFINISHED MTL CORNS COLOR TO BE ARCHITECT APPROVED.
- ◆ SCOFFER OPENINGS THRU IMPRINT PANEL COLOR TO MATCH SURROUND.
- ◆ PREFINISHED INSULATED METAL OVERHEAD DOCK DOOR WITH IMPRINT STAINLESS VISION PANEL. DOCK DOORS TO HAVE DOCK BUMPERS MOUNTED TO EACH SIDE OF DOCK LEVELER AND BE EQUIPPED WITH PREPARED DOCK SEAL AND TRAILER RESTRAINT. COMA LIGHTS.
- ◆ MAIN DOORS TO BE INSULATED METAL DOORS SET IN HOLLOW METAL FRAMES. FILL FRAMES BOLD WITH EPSAT FOAM INSULATION-PAINT DOORS AND FRAMES.
- ◆ STEEL FRAMED STAR WITH PREPARED GALVANIZED BRASS TREADS AND LAMING STEEL FRAMING. RAILS, EMBERS AND CORNS TO BE MOUNTED GALVANIZED. PROVIDE CONG-FILLED STD. STL. W/6 COLLARS EACH SIDE AT GRADE. PROVIDE CONG. PERS. BENEATH STRANGERS WHERE NOT LOCATED ON CONC. APRON.
- ◆ GALVANIZED METAL LOWER WIND SCREEN. PAINT TO MATCH WAREHOUSE WINDOW COLOR. METAL FRAMING. SEE MECHANICAL DRAWINGS. COORDINATE INSULATED METAL PANEL CONTRACTOR AND GRT SPACINGS/FRAMING.



NORTH ELEVATION AT WEST END

SCALE: 1/8"=1'-0" (A21)

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NEW BUILDING EXPANSION FOR:
KONAR PROPERTIES
 LOTS 4, 5 AND 6 ERIE STATION BUSINESS PARK
 THURWAY PARK DR. WEST HENRIETTA, NY

12-22-2021
 140-0271
 FOR TRANT REVIEW
 FOR APPROVAL BOARD REVIEW

PROJECT NO.
 22021
 DRAWN BY:
 R3
 DATABASE:
 15_ELEVATIONS

SHEET NO.
 BLDG EXPAN
A2
 1 OF 3 SHEETS