



December 22, 2021

Town of Henrietta
Planning Board
475 Calkins Road
Rochester, NY 14623

RE: 15 Transport Drive – Planning Board Site Plan Application – Civil Improvement Plans for Old Dominion Freight Line Facility Expansion – Application No. 21-010

Kimley-Horn is pleased to submit this supplemental submission for the current Site Plan Application package for your review on behalf of Old Dominion Freight Line, Inc. for the proposed improvements located at 15 Transport Drive in the Town of Henrietta New York.

Application items previously submitted as a part of this application package:

- Architectural Plans, prepared by DAVID MOLLENKOPF ARCHITECT, dated 07/14/2021
 - The following sheets are being provided for review as a part of this application
 - Overall Terminal Plan
 - Terminal Elevations
 - Perspective View
- Letter of Intent
- Long Form EAF
- Site Lighting Retrofit And Expansion Plan (By Others)

Attachments enclosed:

- Civil Improvement Plans for Old Dominion Freight Line Facility Expansion, prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated 12-21-2-2021.
 - The following sheets are being provided for review as a part of this application
 - C-0-00 COVER SHEET
 - C2-00 EXISTING CONDITIONS AND DEMO PLAN
 - C3-00 SITE LAYOUT PLAN
 - C3-01 PAVING PLAN
 - C4-00 GRADING AND DRAINAGE PLAN
 - C5-00 UTILITY PLAN
 - C6-00 EROSION AND SEDIMENT CONTROL PLAN PHASE 1
 - C6-01 EROSION AND SEDIMENT CONTROL PLAN PHASE 2
 - C6-02 EROSION CONTROL NOTES & DETAILS
 - C7-00 SITE DETAILS
 - L1-00 LANDSCAPE PLAN
 - L1-01 LANDSCAPE NOTES AND DETAILS

Attachments submitted via electronic submission:

- SWPPP Report, prepared by Kimley-Horn prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated 12-20-2021.

The Old Dominion project team thanks you for your attention in the proposed improvements and looks forward to the Town's review of the application. We look forward to speaking with your office regarding the application and would be amenable to meet with you in person to discuss any further steps moving forward. Please contact me if you have any questions at (914) 368-9199 or dean.apostoleris@kimley-horn.com.

Best,

KIMLEY-HORN OF NEW YORK, P.C.



Dean Apostoleris
Project Manager



November 09, 2021

Town of Henrietta
Planning Board
475 Calkins Road
Rochester, NY 14623

RE: 15 Transport Drive – Planning Board Site Plan Application – Civil Improvement Plans for Old Dominion Freight Line Facility Expansion

Kimley-Horn is pleased to submit this Site Plan Application package for your review on behalf of Old Dominion Freight Line, Inc. for the proposed improvements located at 15 Transport Drive in the Town of Henrietta New York.

The applicant proposes to expand the existing 9,255 SF building to incorporate a 7,128 SF dock addition. The building expansion is designed as a separate area and is separated by a 3-hour fire wall. General site improvements proposed as a part of this expansion are to include extension of the eastern parking area to allow for additional trailer/van/truck parking; mill and overlay of existing asphalt parking areas; re-striping of existing and new parking stalls, minor fence and gate additions/replacements; minor wet/dry utilities; additional stormwater infrastructure. A variance is being requested for dock doors on the front of the building in the existing and proposed condition.

Attachments enclosed:

- Civil Improvement Plans for Old Dominion Freight Line Facility Expansion, prepared by Kimley-Horn of New York, P.C., dated 7-13-2021.
 - The following sheets are being provided for review as a part of this application
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 - C3-01 PAVING PLAN
 - C4-00 GRADING PLAN
 - C5-00 UTILITY PLAN
 - SITE LIGHTING RETROFIT AND EXPANSION PLAN (BY OTHERS)
- Architectural Plans, prepared by DAVID MOLLENKOPF ARCHITECT, dated 07/14/2021
 - The following sheets are being provided for review as a part of this application
 - Overall Terminal Plan
 - Terminal Elevations
 - Perspective View
- Letter of Intent
- Long Form EAF

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Best,

KIMLEY-HORN OF NEW YORK, P.C.



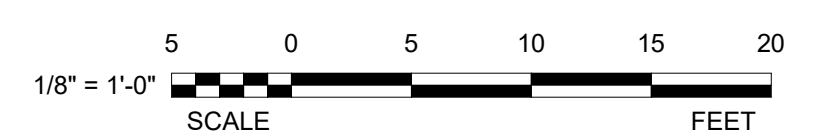
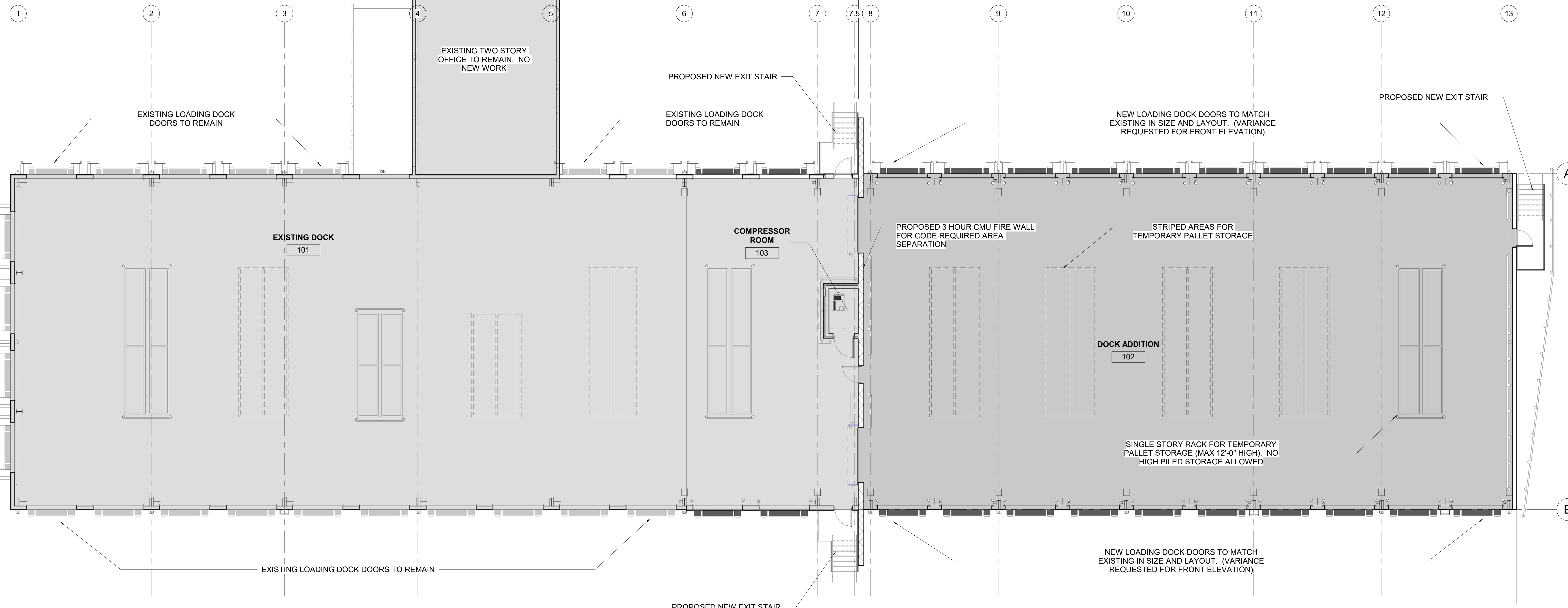
Dean Apostoleris
Project Manager

EXISTING CROSS DOCK WAREHOUSE

PROPOSED CROSS DOCK ADDITION

+/- 152' - 9"

+/- 117' - 8"

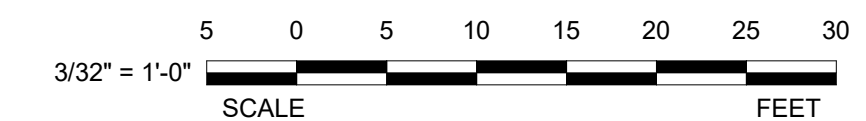
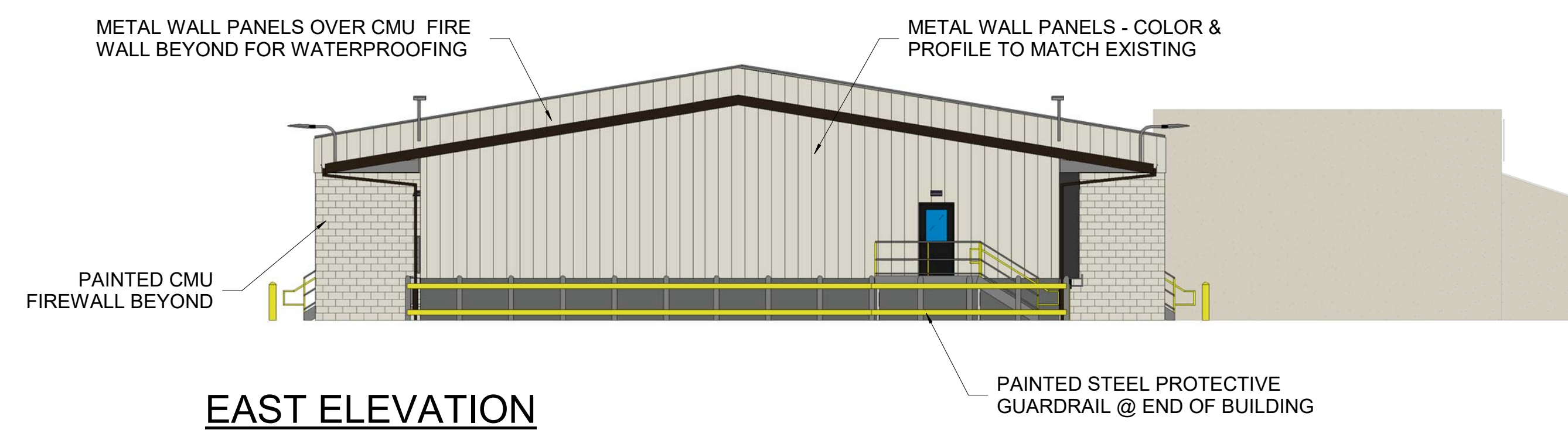
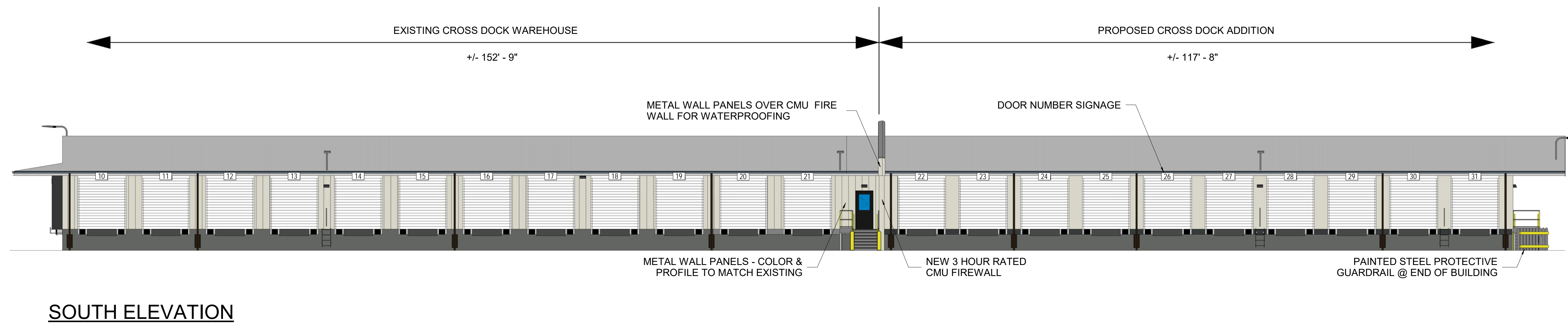
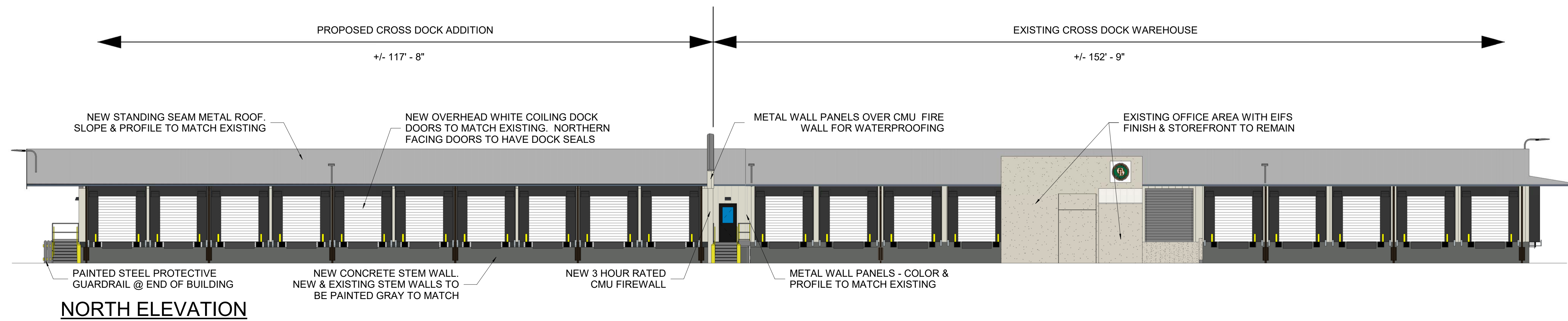


OLD DOMINION FREIGHT LINE
HENRIETTA, NY
OVERALL TERMINAL PLAN

30 x 42 = 1/8" = 1'-0"
11 x 17 = NO SCALE
07/14/21



DAVID MOLLENKOPF ARCHITECT
49 Music Square W-Suite 600
Nashville, Tennessee 37203
615.296.9146
www.theMDGllc.com

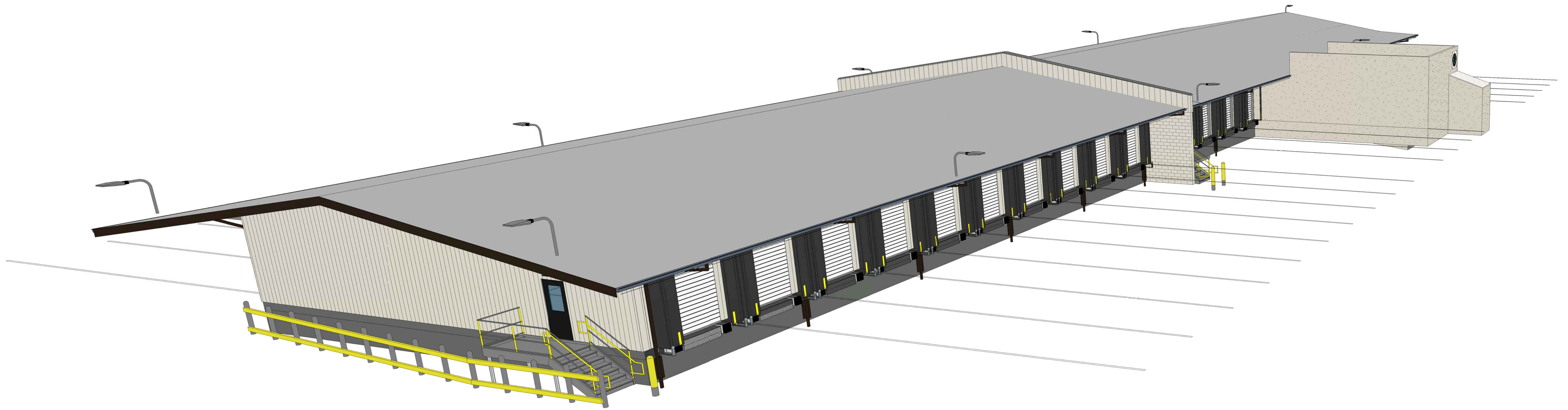


OLD DOMINION FREIGHT LINE
HENRIETTA, NY
TERMINAL ELEVATIONS

30 x 42 = 3/32" = 1'-0"
11 x 17 = NO SCALE
07/14/21



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www.theMDGllc.com



OLD DOMINION FREIGHT LINE
HENRIETTA, NY
PERSPECTIVE VIEW

30 x 42 =
11 x 17 = NO SCALE
07/14/21



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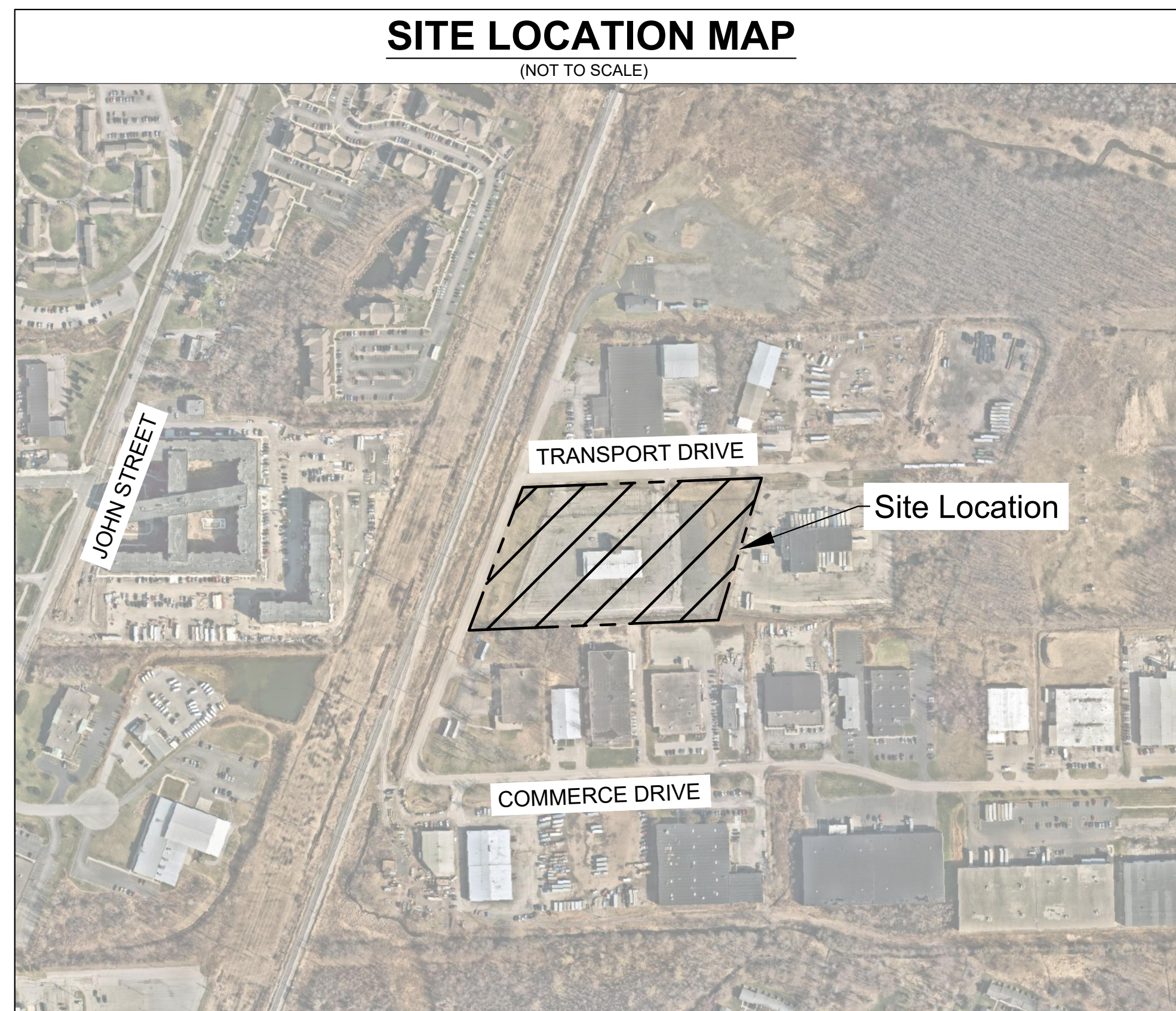
Saved Monday, December 20, 2021 8:03:10 PM TRENK SUBDETH Plotted Monday, December 20, 2021 10:57:21 PM Apartments, Dean
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CIVIL IMPROVEMENT PLANS FOR OLD DOMINION FREIGHT LINE FACILITY EXPANSION

15 TRANSPORT DRIVE, HENRIETTA, NY 14623 MONROE COUNTY

SECTION: 161.10 BLOCK: 1 LOT: 20

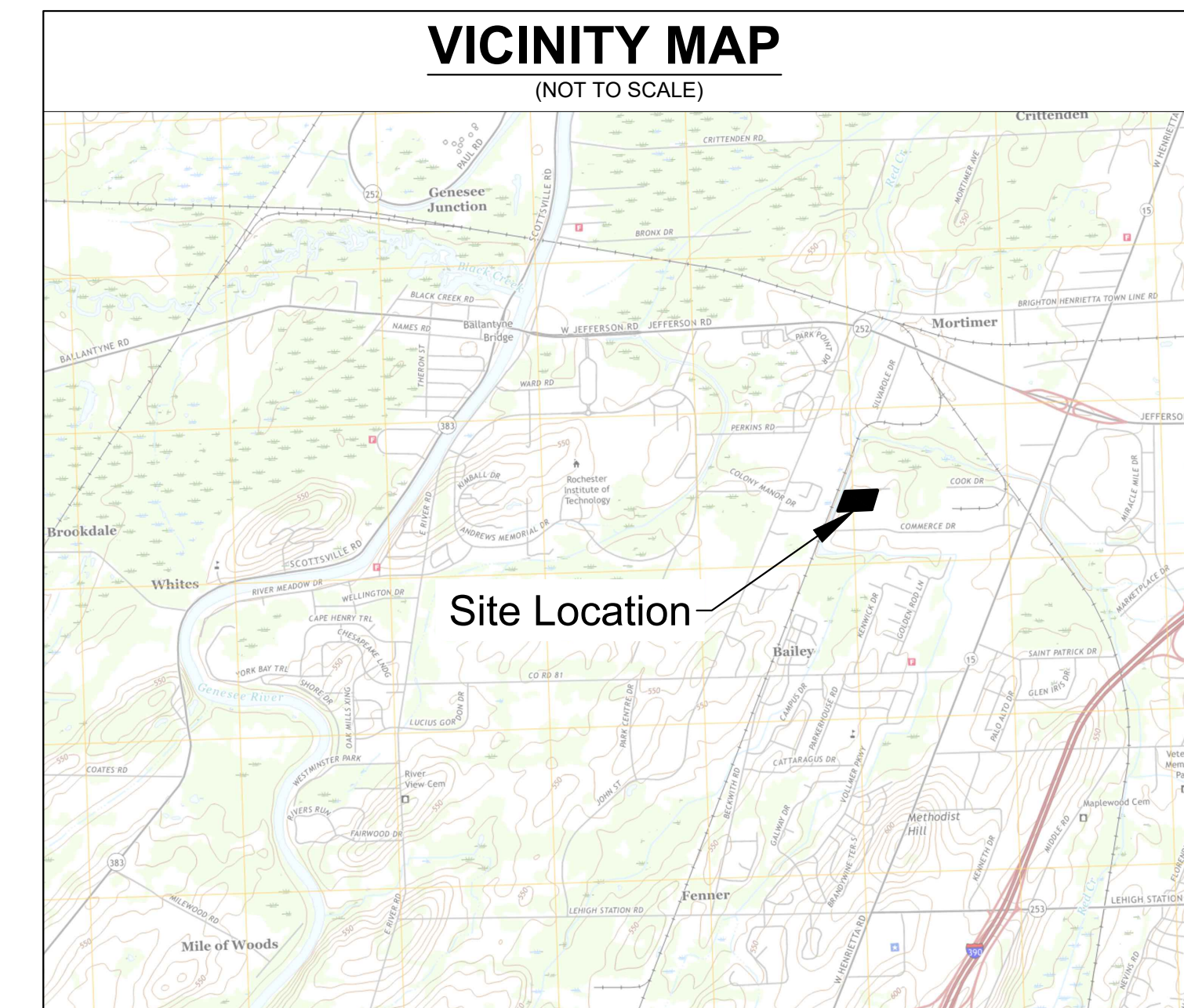
SITE LOCATION MAP (NOT TO SCALE)



PROJECT DESCRIPTION

APPLICANT PROPOSES TO EXPAND THE EXISTING 9,255 SF BUILDING TO INCORPORATE A 7,128 SF DOCK ADDITION. THE BUILDING EXPANSION IS DESIGNED AS A SEPARATE AREA, AND IS SEPARATED BY A 3-HOUR FIRE WALL. GENERAL SITE IMPROVEMENTS PROPOSED AS A PART OF THIS EXPANSION ARE TO INCLUDE EXTENSION OF THE EASTERN PARKING AREA TO ALLOW FOR ADDITIONAL TRAILER/VAN/TRUCK PARKING; MILL AND OVERLAY OF EXISTING ASPHALT PARKING AREA; RE-STRIPING; MINOR FENCING AND GATE ADDITION/REPLACEMENT; ADDITIONAL STORMWATER INFRASTRUCTURE; ADDITIONAL DRY UTILITIES

VICINITY MAP (NOT TO SCALE)



CIVIL SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0-00	COVER SHEET
C2-00	EXISTING CONDITIONS AND DEMO PLAN
C3-00	SITE LAYOUT PLAN
C3-01	PAVING PLAN
C4-00	GRADING AND DRAINAGE PLAN
C5-00	UTILITY PLAN
C6-00	EROSION AND SEDIMENT CONTROL PLAN PHASE 1
C6-01	EROSION AND SEDIMENT CONTROL PLAN PHASE 2
C6-02	EROSION CONTROL NOTES & DETAILS
C7-00	SITE DETAILS
L1-00	SITE DETAILS
L1-01	LANDSCAPE NOTES AND DETAILS
-	SITE LIGHTING RETROFIT AND EXPANSION PLAN (BY OTHERS)

ARCHITECTURAL SHEET LIST TABLE (BY OTHERS)	
SHEET NUMBER	SHEET TITLE
-	OVERALL TERMINAL PLAN
-	TERMINAL ELEVATIONS
-	PERSPECTIVE VIEW

PROJECT TEAM

OWNER
 OLD DOMINION FREIGHT LINE, INC.
 500 OLD DOMINION WAY
 THOMASVILLE, NC 23760
 TEL: (336)-822-5791

CIVIL ENGINEER
 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 1 NORTH LEXINGTON AVENUE, SUITE 505
 WHITE PLAINS, NY 10601
 TEL: (914) 265-1565
 EMAIL: KELLY.ESCH@KIMLEY-HORN.COM
 CONTACT: KELLY ESCH, P.E.

ARCHITECT
 DAVID MOLLENKOPF ARCHITECT
 49 MUSIC SQUARE W, SUITE 600
 NASHVILLE, TN 37203
 TEL: (615) 296-9146
 CONTACT: ANDY DONNELLY AIA, LEED

SURVEYOR
 COSTICH ENGINEERING
 217 LAKE AVENUE
 ROCHESTER, NY 14608
 TEL: (585) 458-3020

CONTRACTOR
 DF CHASE
 3001 ARMORY DRIVE, SUITE 225
 NASHVILLE, TN 37204
 TEL: (615)-777-5900
 CONTACT: DARRELL ELROD

MEP CONSULTANT
 OLG ENGINEERING, INC.
 301 INDUSTRIAL BOULEVARD
 TULLAHOMA, TN 37388
 TEL: (931) 454-9940
 CONTACT: TONY GIPSON

UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
 TOWN OF HENRIETTA
 475 CALKINS ROAD
 ROCHESTER, NY 14623
 TEL: (585) 359-7056
 CONTACT: CHRIS MARTIN, P.E., DIRECTOR OF ENGINEERING & PLANNING

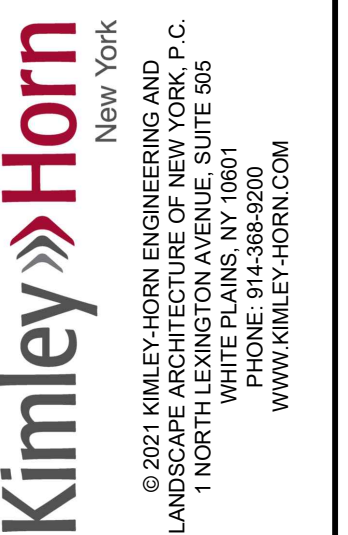
SANITARY SEWER SERVICE
 HENRIETTA PUBLIC WORKS DEPARTMENT
 475 CALKINS ROAD
 ROCHESTER, NY 14623
 TEL: (585) 359-7005
 CONTACT: CHUCK MARSHALL, COMMISSIONER OF PUBLIC WORKS

WATER SERVICE
 MONROE COUNTY WATER AUTHORITY
 475 NORRIS DRIVE
 ROCHESTER, NY 14610
 TEL: (585) 442-2000

ELECTRIC SERVICE
 ROCHESTER GAS AND ELECTRIC EAST
 46 NORTH OCEAN AVE
 FREEPORT, NY 11520
 TEL: (585) 771-4745

NO.	REVISIONS	DATE	BY
1	TOWN OF HENRIETTA PLANNING BOARD SUBMISSION	12/27/2021	TAS

NOT FOR CONSTRUCTION



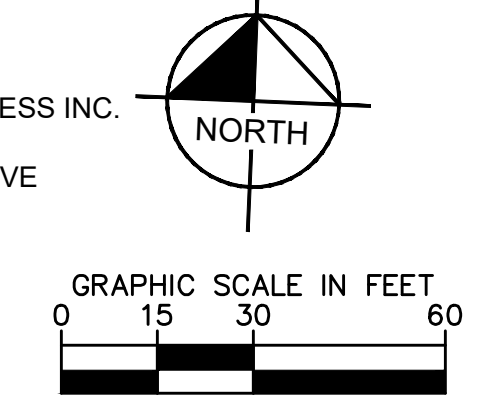
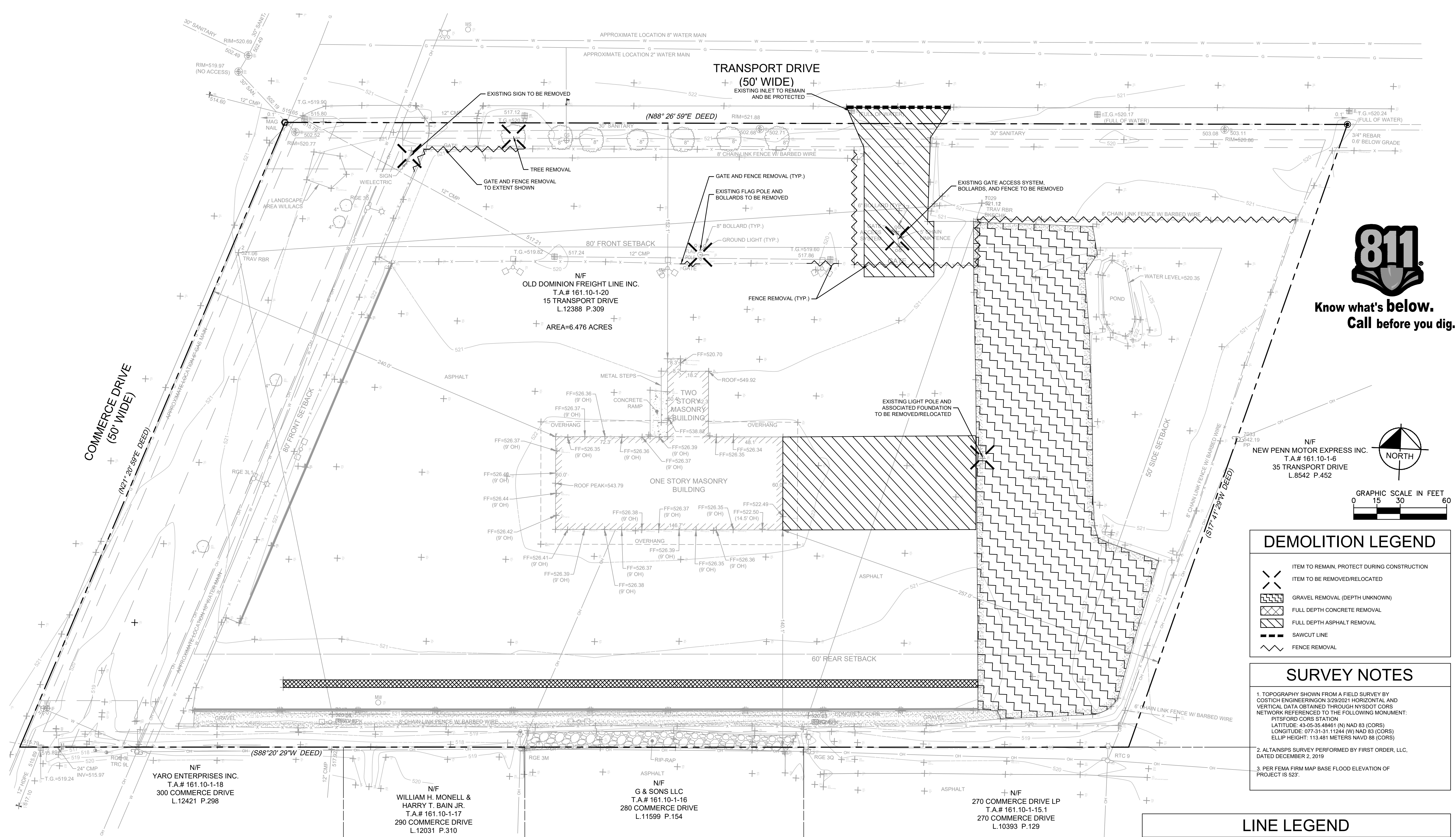
RMA PROJECT	DATE	TAS	DAA
112386000	12-21-2021	TAS	DAA
SCALE:	AS SHOWN	TAS	DAA
DESIGNED BY:		TAS	DAA
DRAWN BY:		TAS	DAA
CHECKED BY:		TAS	DAA

COVER SHEET

CIVIL IMPROVEMENT PLANS FOR
 OLD DOMINION FREIGHT LINE
 FACILITY EXPANSION
 15 TRANSPORT DRIVE
 HENRIETTA, NY 14623
 TOWN OF HENRIETTA
 NEW YORK

SHEET NUMBER
C0-00

Sawed Monday, December 20, 2021 10:03:20 PM DEAN WPOSTOLEWSKI Plotted Monday, December 20, 2021 10:30:09 PM Apcoshoins, Dean
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DEMOLITION LEGEND

	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
	ITEM TO BE REMOVED/RELOCATED
	GRAVEL REMOVAL (DEPTH UNKNOWN)
	FULL DEPTH CONCRETE REMOVAL
	FULL DEPTH ASPHALT REMOVAL
	SAWCUT LINE
	FENCE REMOVAL

SURVEY NOTES

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 3/29/2021 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORRS NETWORK REFERENCED TO THE FOLLOWING MONUMENT: PITSFORD CORRS STATION
LATITUDE: 43-05-35.48461 (N) NAD 83 (CORRS)
LONGITUDE: 077-31-31.11244 (W) NAD 83 (CORRS)
ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORRS)
- ALTA/NSPS SURVEY PERFORMED BY FIRST ORDER, LLC, DATED DECEMBER 2, 2019
- PER FEMA FIRM MAP BASE FLOOD ELEVATION OF PROJECT IS 523'

LINE LEGEND

	SECTION/PARCEL BOUNDARY
	MIN. BUILDING SETBACK
	CENTER LINE
	EXIST. EASEMENT LINE
	EXIST. RIGHT-OF-WAY LINE
	EXIST. EDGE OF PAVEMENT & CURB
	EXISTING WATER MAIN, VALVE, & HYDRANT
	EXISTING SANITARY SEWER, & MANHOLE
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING OVERHEAD UTILITIES
	EXISTING TELEPHONE
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING ELECTRIC
	EXISTING GUARD RAIL
	TREE/HEDGE/EDGE OF WOODS
	EXISTING SWALE
	BARBED WIRE STOCKADE CHAIN LINKED FENCE
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION @ X
	CONCRETE PAD/ CONCRETE SIDEWALK

- ### DEMOLITION NOTES
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
 - CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
 - THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MONROE COUNTY APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
 - QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
 - CONTRACTOR SHALL BEGIN DEMOLITION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
 - CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
 - EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH 2000 PSI FLOWABLE FILL OR ENGINEER APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
 - UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLAS AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CONTACT THE CALL BEFORE YOU DIG 811 HOTLINE AT 1-800-962-7862 TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
 - USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.

NO.	1	REVISIONS	DATE
DATE	12/21/2021	TAS	
BY		TAS	

NOT FOR CONSTRUCTION

Kimley-Horn New York
© 2021 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
1 NORTH LEXINGTON AVENUE, SUITE 905
WHITE PLAINS, NY 10601
WWW.KIMLEY-HORN.COM

STATE OF NEW YORK
J. KELLY C. ESCH
LICENSED PROFESSIONAL ENGINEER
101772
01/2021

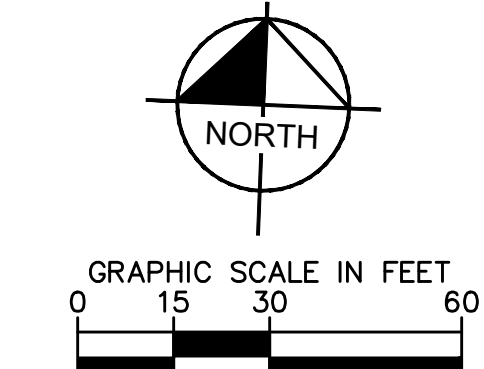
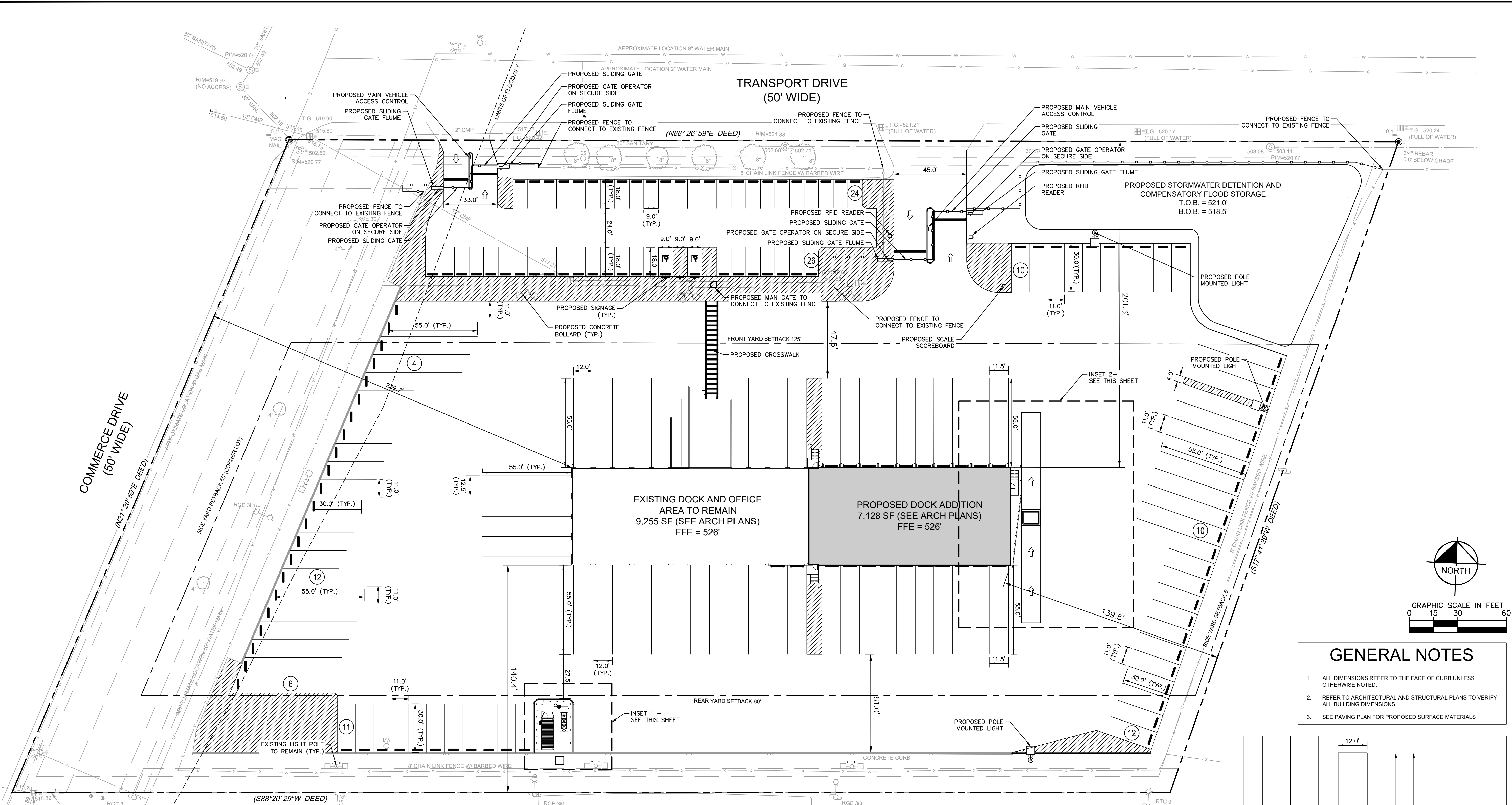
PKA PROJECT	112386000	TAS	DAA
DATE	12-21-2021	TAS	DAA
SCALE	AS SHOWN	TAS	DAA
DESIGNED BY		TAS	DAA
DRAWN BY		TAS	DAA
CHECKED BY		TAS	DAA

EXISTING CONDITIONS AND DEMO PLAN

CIVIL IMPROVEMENT PLANS FOR OLD DOMINION FREIGHT LINE FACILITY EXPANSION
15 TRANSPORT DRIVE
HENRIETTA, NY 14623
TOWN OF HENRIETTA NEW YORK

SHEET NUMBER
C2-00

Sawed Monday, December 20, 2021 10:15:15 PM DEAN POSTOLENS Pinned Monday, December 20, 2021 10:30:36 PM Apocritosis, Dean
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GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- SEE PAVING PLAN FOR PROPOSED SURFACE MATERIALS.

ZONING SUMMARY CHART				
EXISTING / PROPOSED USE:	TRUCKING TERMINAL / NO CHANGE IN USE			
ZONING DISTRICT:	I - INDUSTRIAL DISTRICT	MURA - MIXED-USE REDEVELOPMENT AREA OVERLAY DISTRICT		
MINIMUM REQUIREMENTS:	REQUIRED*	REQUIRED*	EXISTING	PROPOSED
LOT AREA (AC)	N/A	1 AC	6.48 AC	NO CHANGE
FRONT YARD (FT)	125	80	125'-0"	NO CHANGE
REAR YARD (FT)	60	N/A	60'-0"	NO CHANGE
SIDE YARD ALONG COMMERCE DRIVE (FT)	50	N/A	50	NO CHANGE
SIDE-FRONT YARD (FT)	5	N/A	5'-0"	NO CHANGE
MAXIMUM BUILDING AREA (%)	N/A	45	3%	5%
HEIGHT (STORIES/FEET)	40	50	21'-4"	24'-3"

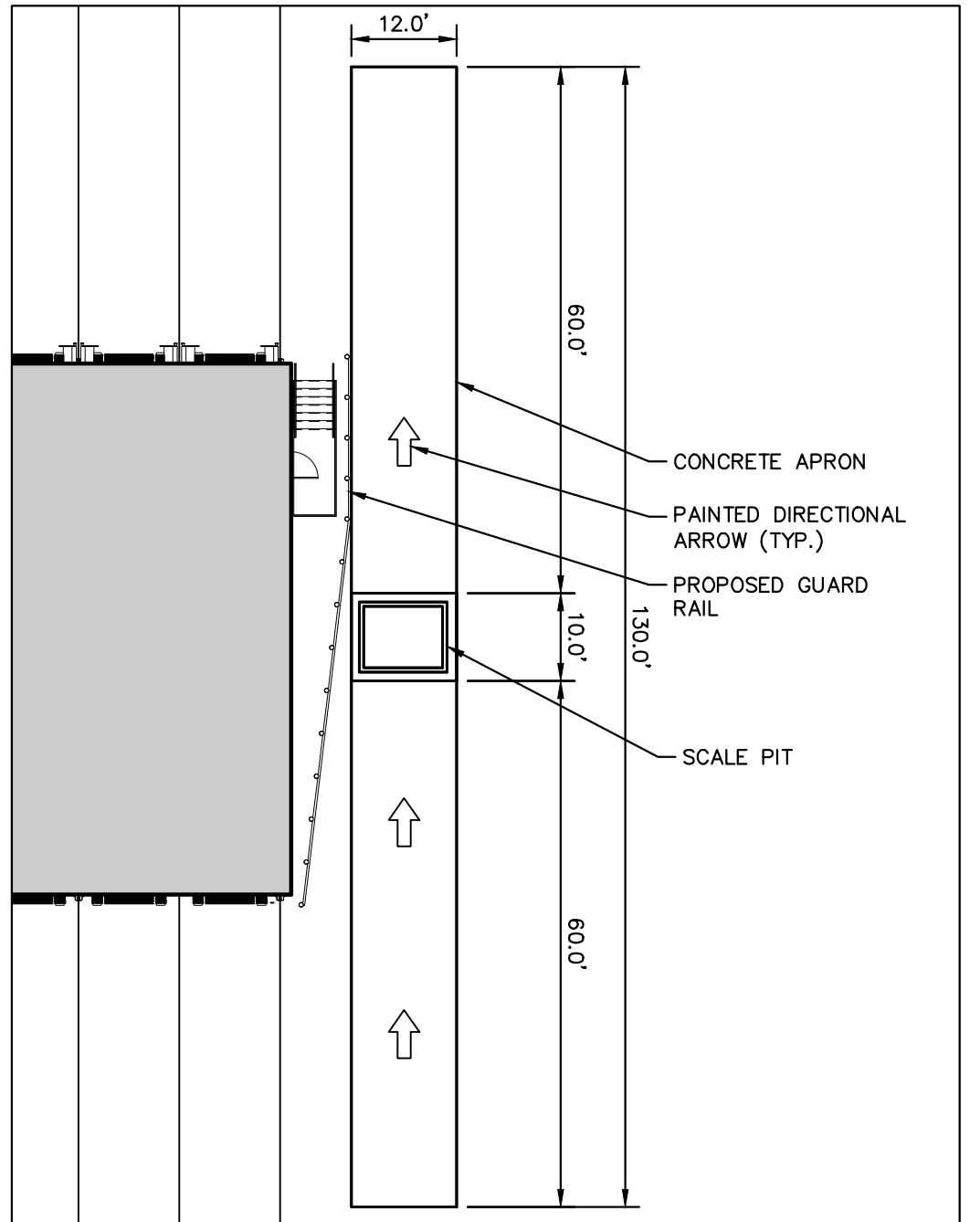
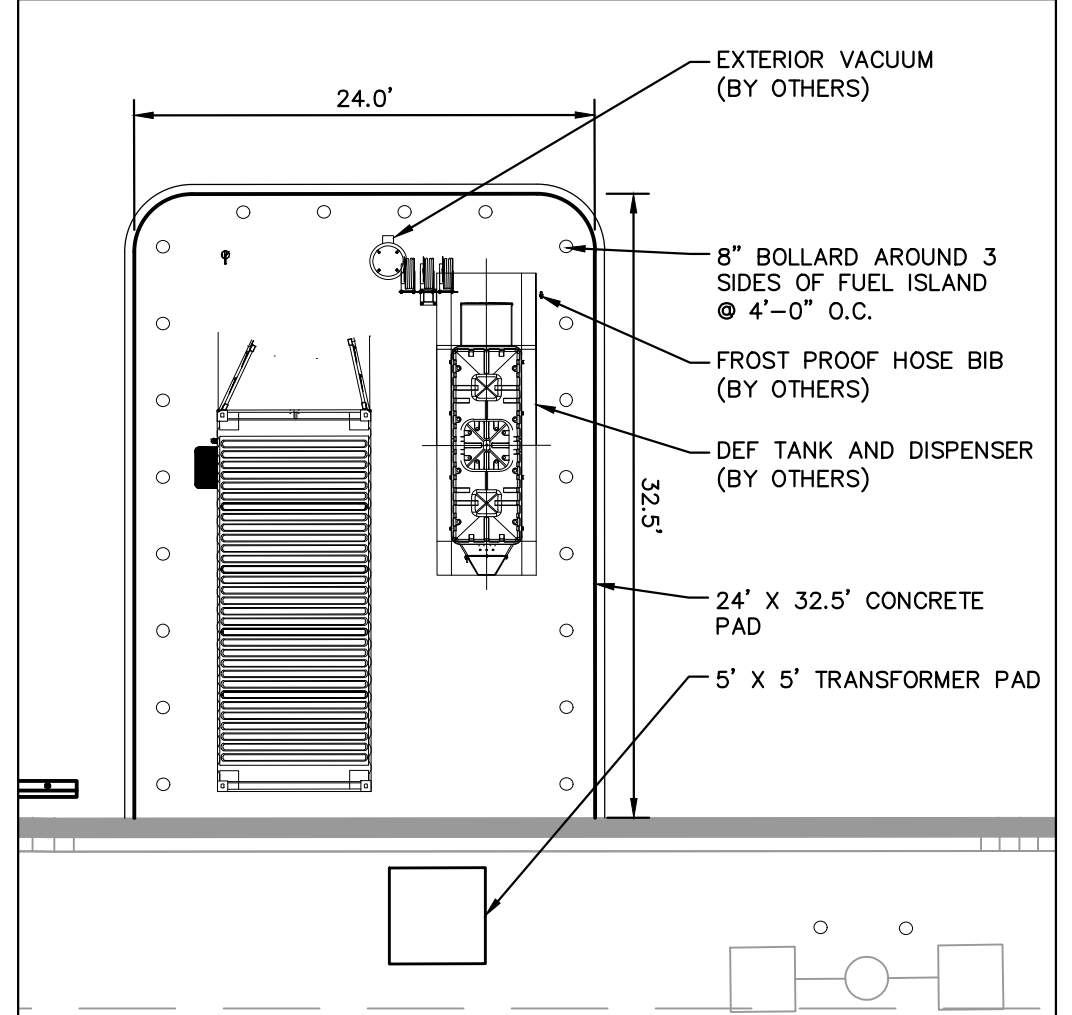
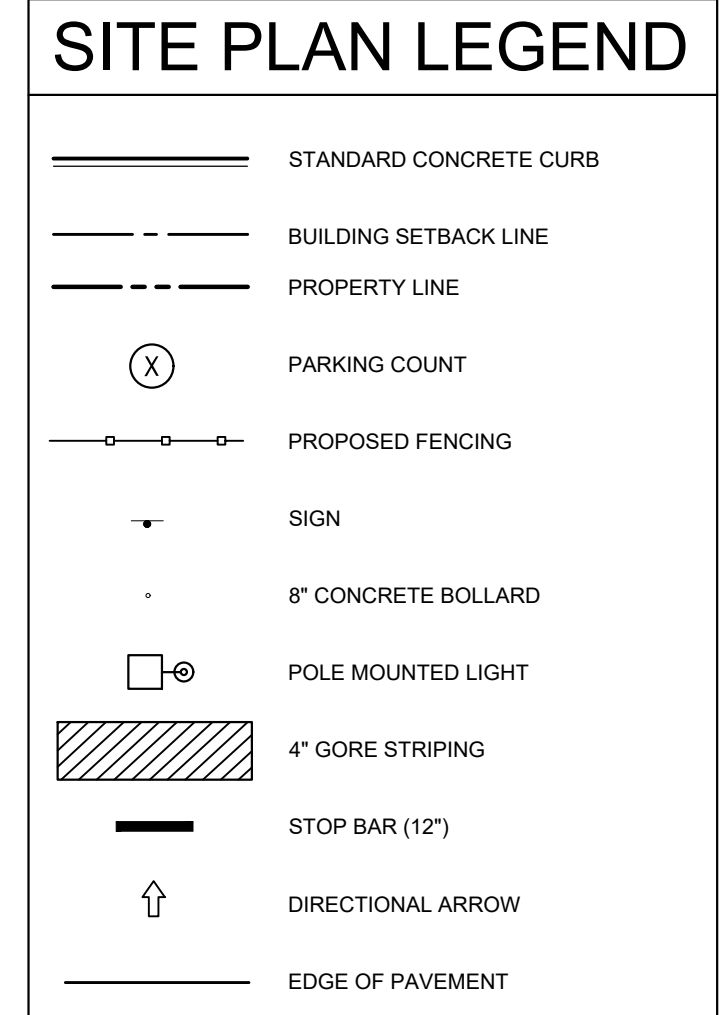
PER TOWN OF HENRIETTA ZONING REGULATIONS

MINIMUM PARKING REQUIREMENTS			
GROSS FLOOR AREA	16,488 SF	x	1 SPACE PER 400 SF*
		=	42 SPACES
TOTAL PARKING REQUIRED		=	42
TOTAL STANDARD PARKING PROVIDED		=	50

*PER TOWN OF HENRIETTA ZONING REGULATIONS § 295-44 OFF-STREET PARKING:
1 FOR EACH 400 SF OF GROSS FLOOR AREA OR FOR EACH 3 WORKERS, WHICHEVER PROVIDES THE GREATER AMOUNT OF PARKING SPACE

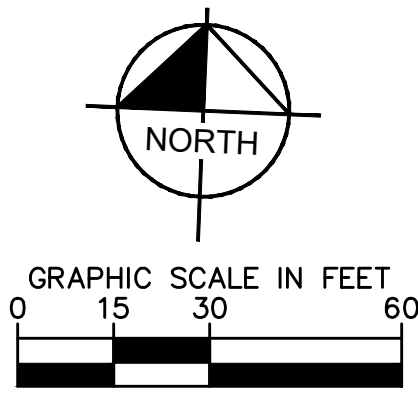
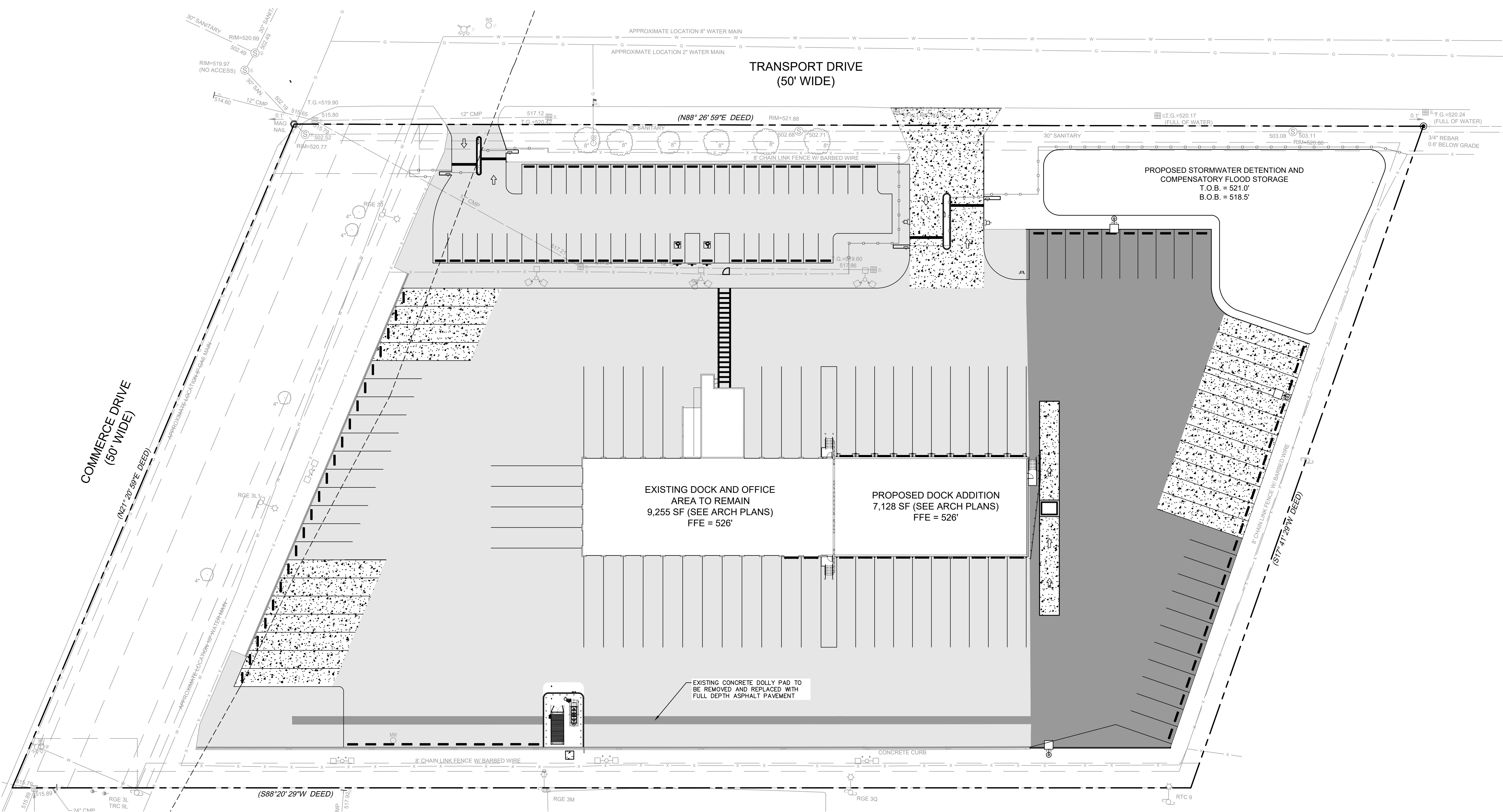
PARKING SUMMARY CHART				
DESCRIPTION	SIZE		SPACES	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
STANDARD SPACES	9' x 18'	9' x 18'	42	48
STANDARD ACCESSIBLE SPACES	8' x 18'	9' x 18'	2**	2
VAN SPACES	-	12' x 30'	-	45
TRAILER SPACES	-	12' x 55'	-	24
TOTAL SPACES			44	119

PER TOWN OF HENRIETTA ZONING REGULATIONS § 295-44 OFF-STREET PARKING:
1 FOR EACH 400 SF OF GROSS FLOOR AREA OR FOR EACH 3 WORKERS, WHICHEVER PROVIDES THE GREATER AMOUNT OF PARKING SPACE
** PER ADA/STATE/LOCAL REQUIREMENTS:
FOR 26-50 TOTAL PARKING SPACES PROVIDED:
MINIMUM OF 2 ACCESSIBLE SPACES



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	REVISIONS NO. 1 TOWN OF HENRIETTA PLANNING BOARD SUBMISSION 12/27/2021 T.A.S. BY DATE
	RMA PROJECT: 112386000 DATE: 12-21-2021 SCALE: AS SHOWN DESIGNED BY: T.A.S. DRAWN BY: T.A.S. CHECKED BY: D.A.A.
CIVIL IMPROVEMENT PLANS FOR OLD DOMINION FREIGHT LINE FACILITY EXPANSION 15 TRANSPORT DRIVE HENRIETTA, NY 14623 NEW YORK	SHEET NUMBER C3-00

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MILL & OVERLAY NOTES

- CONTRACTOR TO PERFORM CORING ON EXISTING ASPHALT AND PCC TO GENERATE CORE SAMPLES AND CORE SAMPLE DATA. CONTRACTOR TO SUBMIT CORE SAMPLE DATA TO ENGINEER FOR REVIEW PRIOR TO MILLING.

SITE PLAN LEGEND

	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT MILL AND OVERLAY

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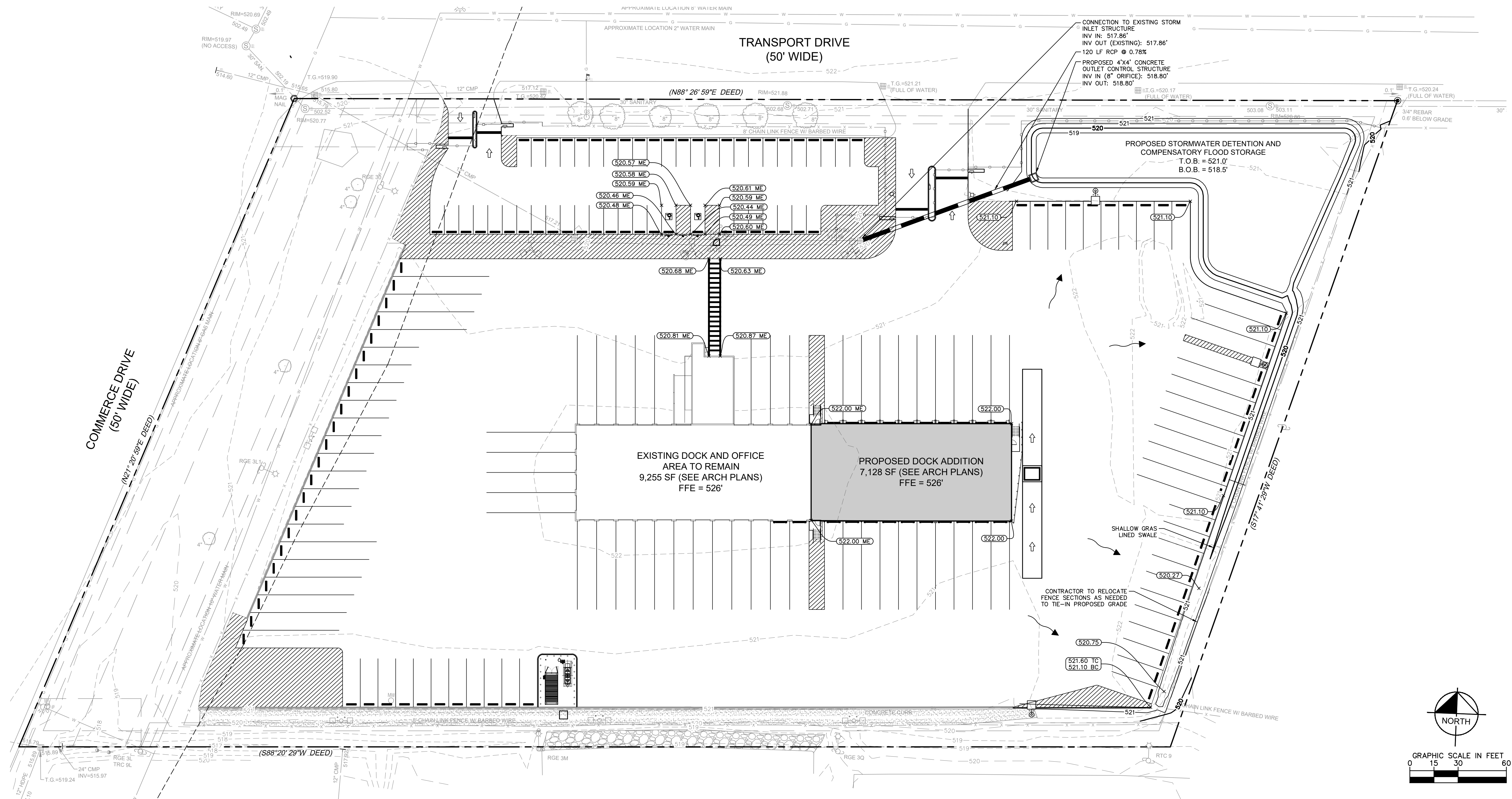
PKA PROJECT	112386000
DATE	12-21-2021
SCALE	AS SHOWN
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DRAWN BY:	TAS
CHECKED BY:	DAA

PAVING PLAN

CIVIL IMPROVEMENT PLANS FOR
OLD DOMINION FREIGHT LINE
FACILITY EXPANSION
15 TRANSPORT DRIVE
HENRIETTA, NY 14623
NEW YORK
TOWN OF HENRIETTA

SHEET NUMBER
C3-01

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DRAINAGE CALCULATIONS

COMPENSATORY FLOOD STORAGE CALCULATIONS:

BFE = 523.1' EL. PER FEMA PANEL 36055C03346 eff. 8/28/2008

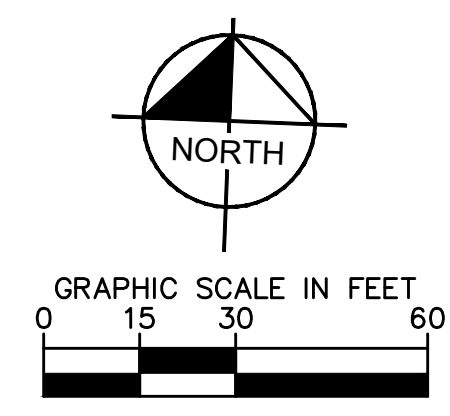
-PROPOSED DISPLACEMENT BUILDING ADDITION = 7,128 SF + 1.5 FT = 10,788.93 CU. FT. = 0.2476 AC-FT

-PROVIDED COMPENSATORY VOLUME ADDITIONAL BASIN VOLUME FOR COMPENSATORY STORAGE = 11,412.70 CU. FT. = 0.262 AC-FT

GRADING LEGEND

ME	=	MATCH ELEVATION
TC	=	TOP OF CURB
BC	=	BOTTOM OF CURB
TW	=	TOP OF WALL
BW	=	BOTTOM OF WALL
FG	=	FINISHED GRADE
—XXX—	=	PROPOSED CONTOUR
- - -XXX-	=	EXISTING CONTOUR
—X.XX%	=	RIDGE LINE
—X.XX%	=	SLOPE AND FLOW DIRECTION
—X.XX%	=	PROPOSED SWALE
—X.XX%	=	PROPOSED STORM SEWER LINE
⊙	=	PROPOSED CLOSED LID DRAINAGE STRUCTURE
⊙	=	PROPOSED OPEN GRATE CURB STRUCTURE
→	=	PROPOSED DRAINAGE FLOW

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 5%, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.



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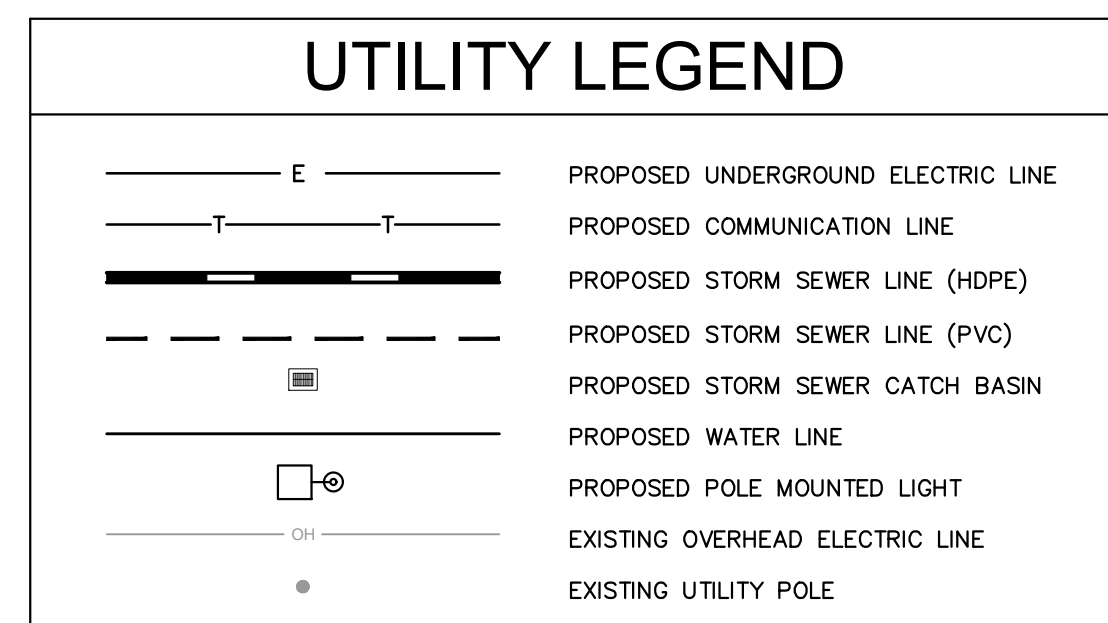
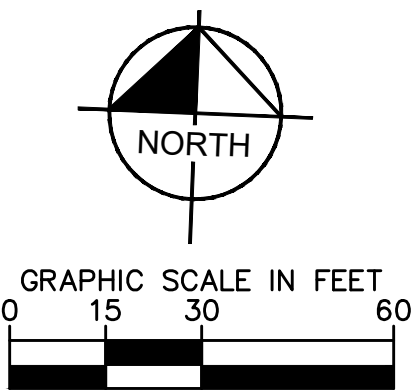
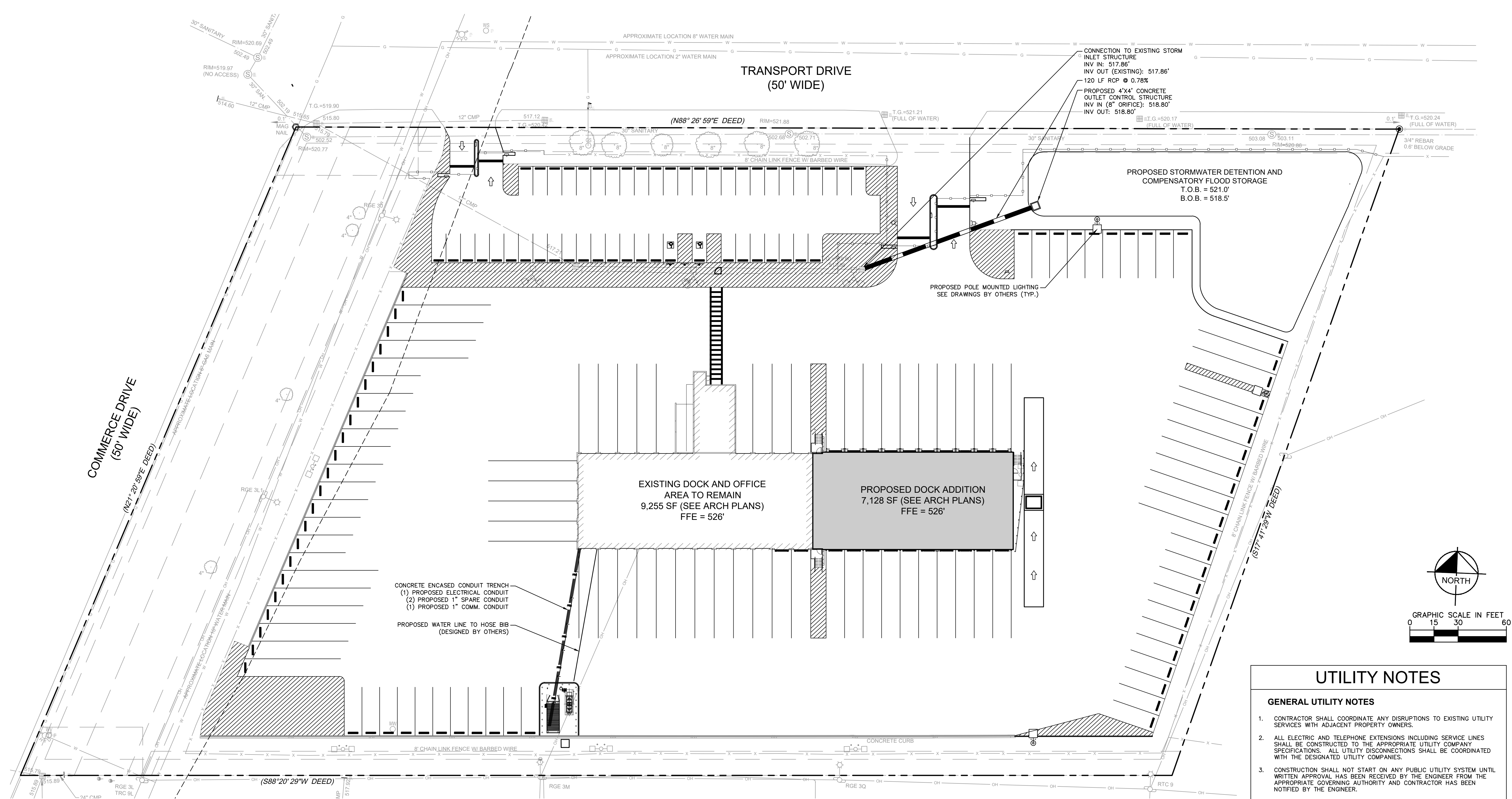
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GRADING AND DRAINAGE PLAN

CIVIL IMPROVEMENT PLANS FOR
 OLD DOMINION FREIGHT LINE
 FACILITY EXPANSION
 15 TRANSPORT DRIVE
 HENRIETTA, NY 14623
 NEW YORK

SHEET NUMBER
C4-00

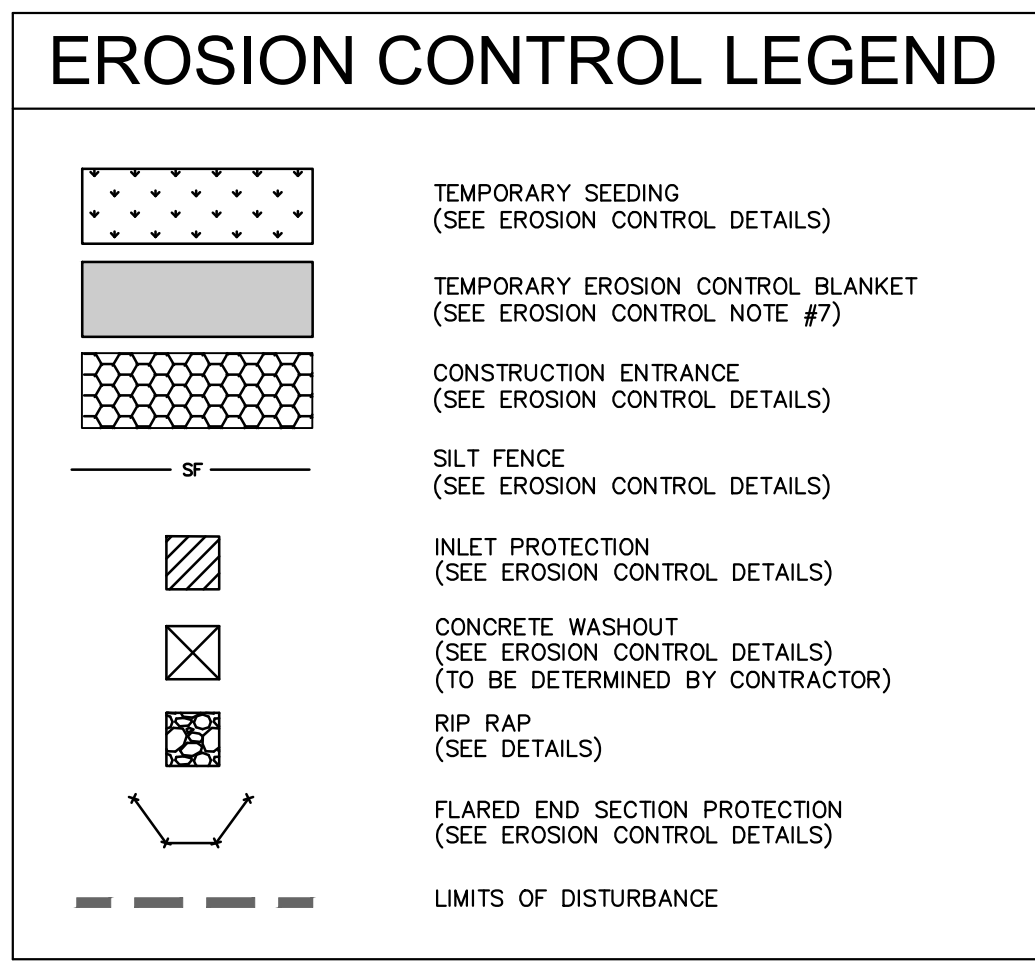
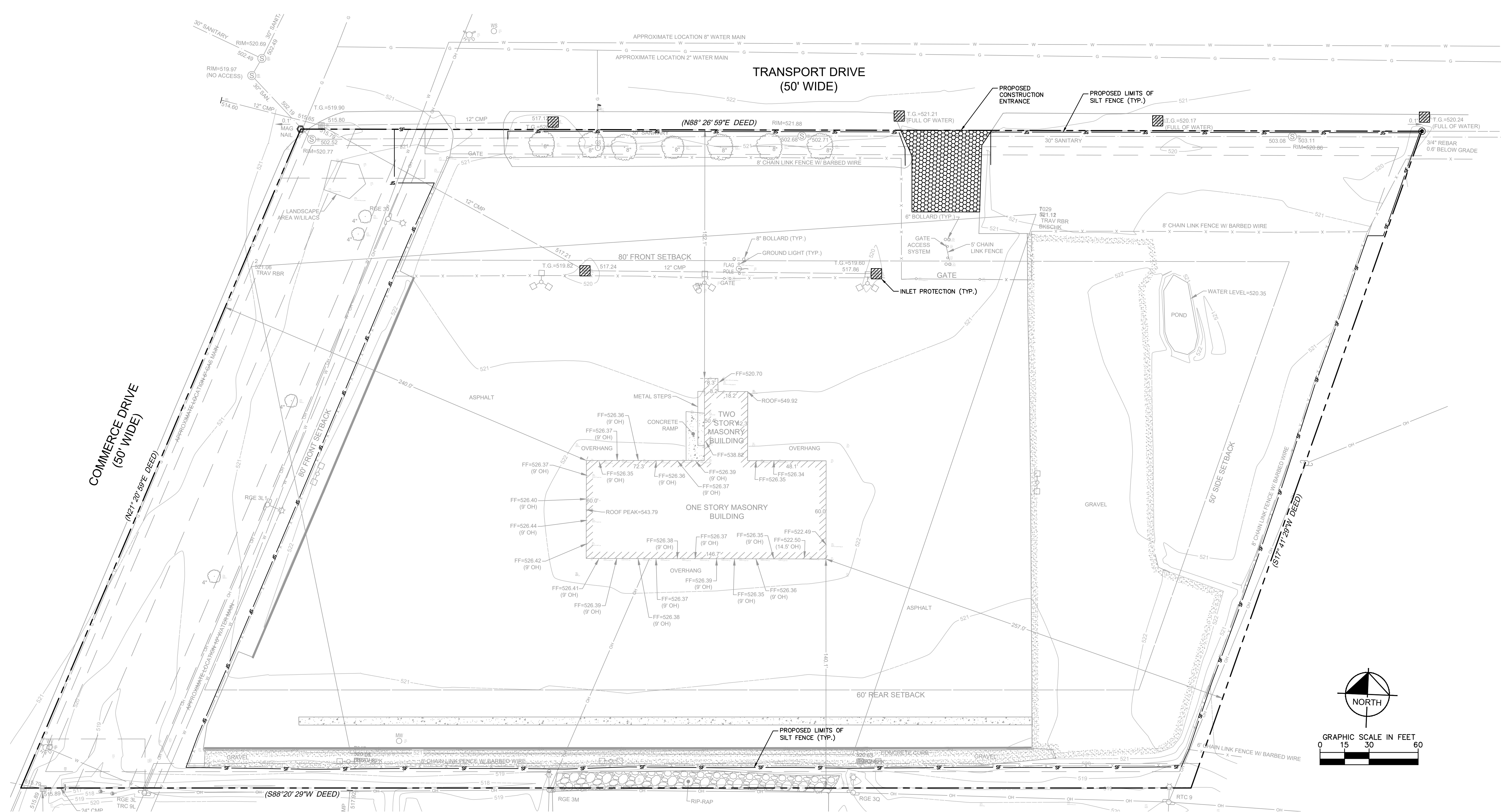
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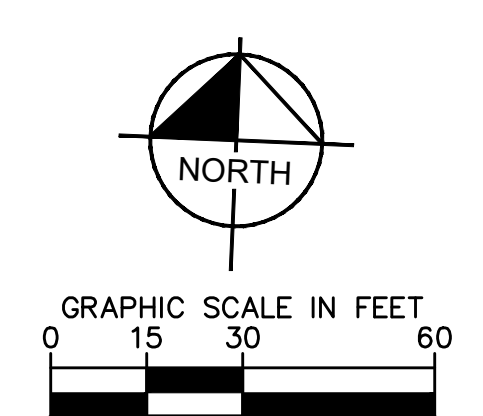
- UTILITY NOTES**
- GENERAL UTILITY NOTES**
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL 811 TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE TOWN OF HENRIETTA SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
 - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
 - STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

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	SHEET NUMBER C5-00
CIVIL IMPROVEMENT PLANS FOR OLD DOMINION FREIGHT LINE FACILITY EXPANSION 15 TRANSPORT DRIVE HENRIETTA, NY 14623 TOWN OF HENRIETTA NEW YORK	CHECKED BY: DAA TAS TAS AS SHOWN 12-21-2021 112386000 RHA PROJECT

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- ### EROSION CONTROL SCHEDULE AND SEQUENCING:
- I. **ROUGH GRADING** CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, AND CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
 - II. **UTILITY INSTALLATION** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
 - III. **PAVING** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
 - IV. **FINAL GRADING/SOIL STABILIZATION/LANDSCAPING** ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.



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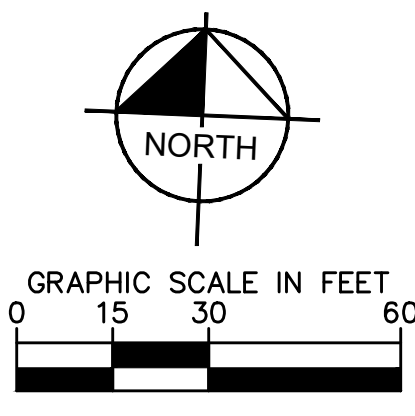
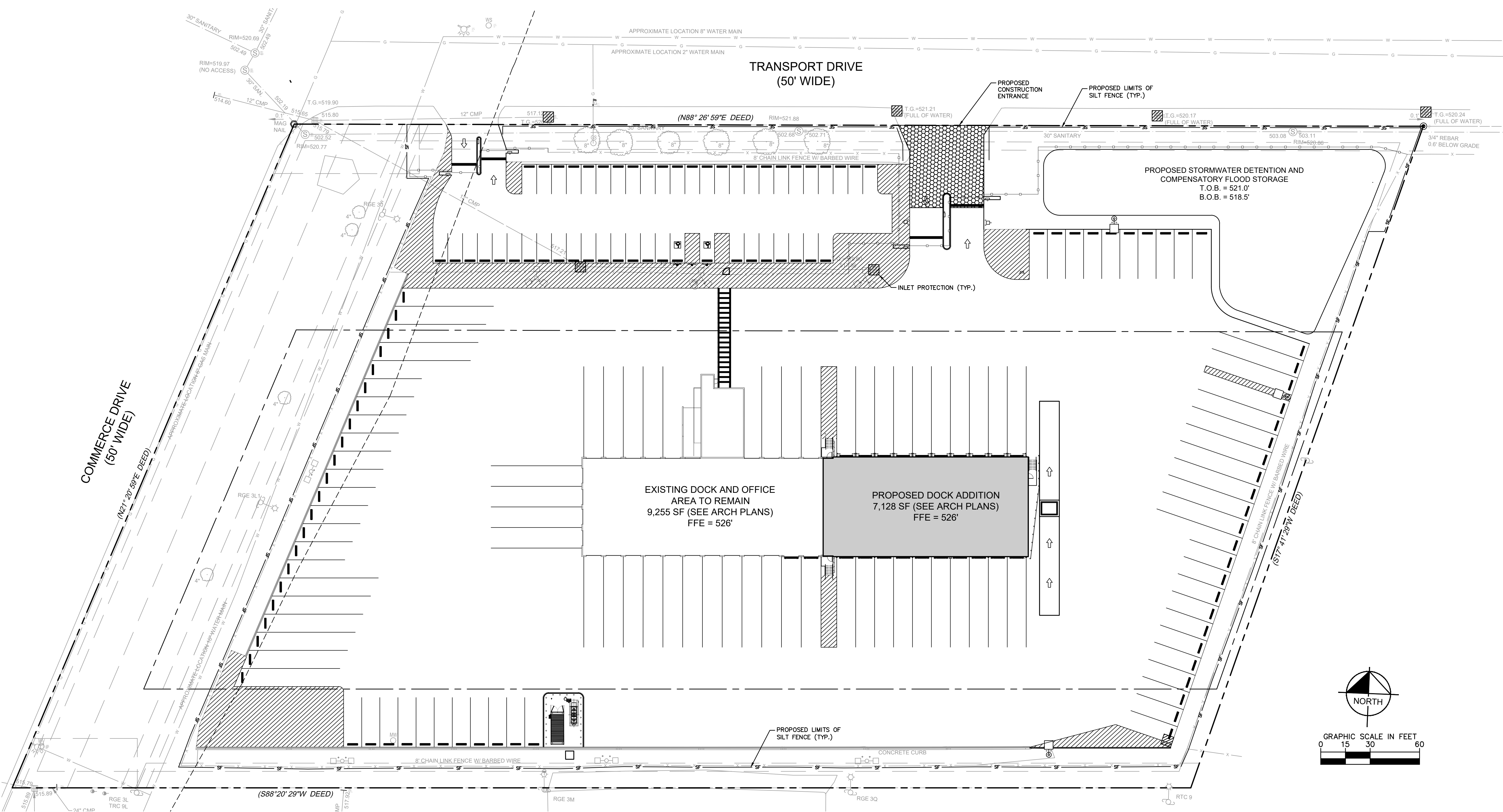
PROJECT NO.	112386000
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EROSION AND SEDIMENT CONTROL PLAN PHASE 1

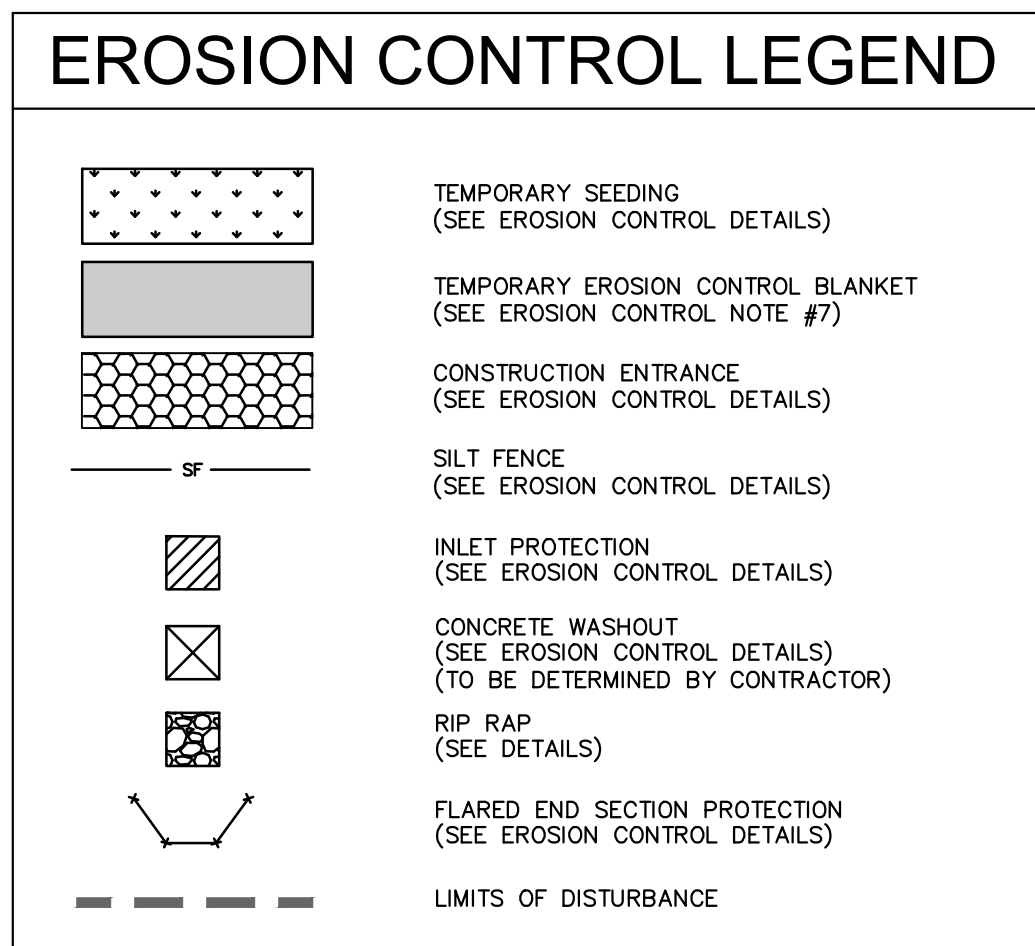
CIVIL IMPROVEMENT PLANS FOR
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FACILITY EXPANSION
15 TRANSPORT DRIVE
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NEW YORK

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 - III. **PAVING** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
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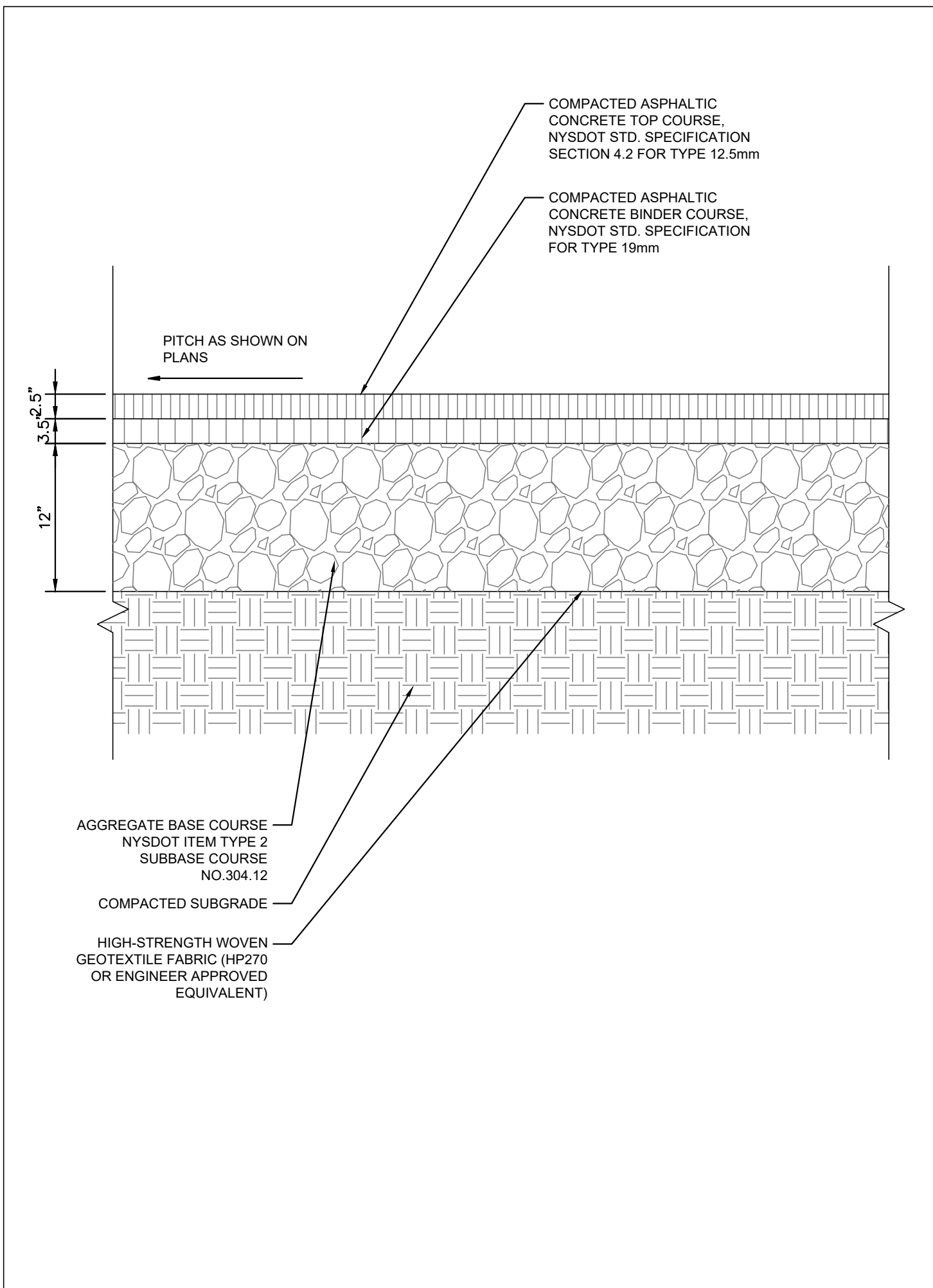
PROJECT NO.	112386000
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EROSION AND SEDIMENT CONTROL PLAN PHASE 2

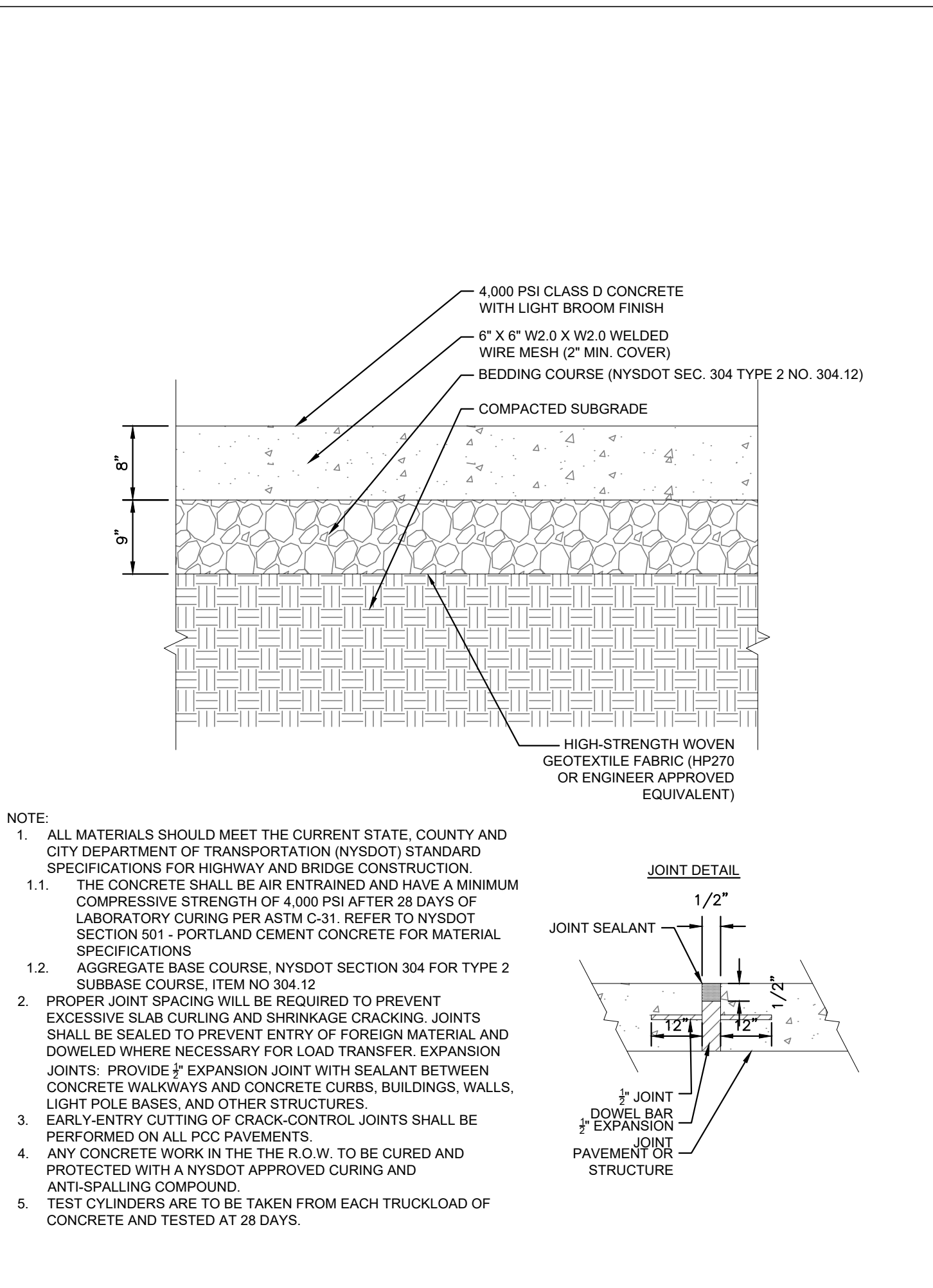
CIVIL IMPROVEMENT PLANS FOR OLD DOMINION FREIGHT LINE FACILITY EXPANSION
 15 TRANSPORT DRIVE
 HENRIETTA, NY 14623
 TOWN OF HENRIETTA NEW YORK

SHEET NUMBER
C6-01

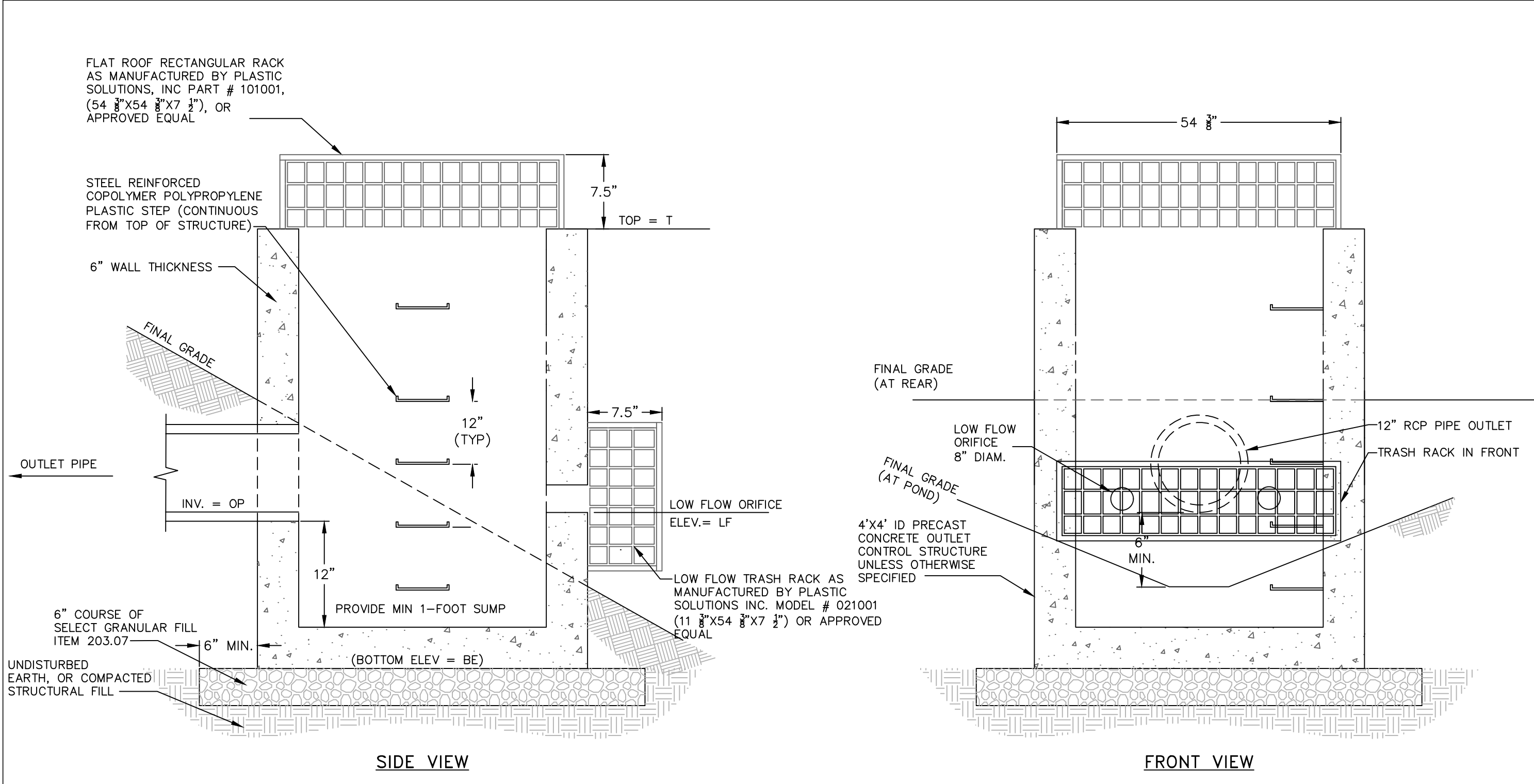
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ASPHALT PAVEMENT (HEAVY DUTY)
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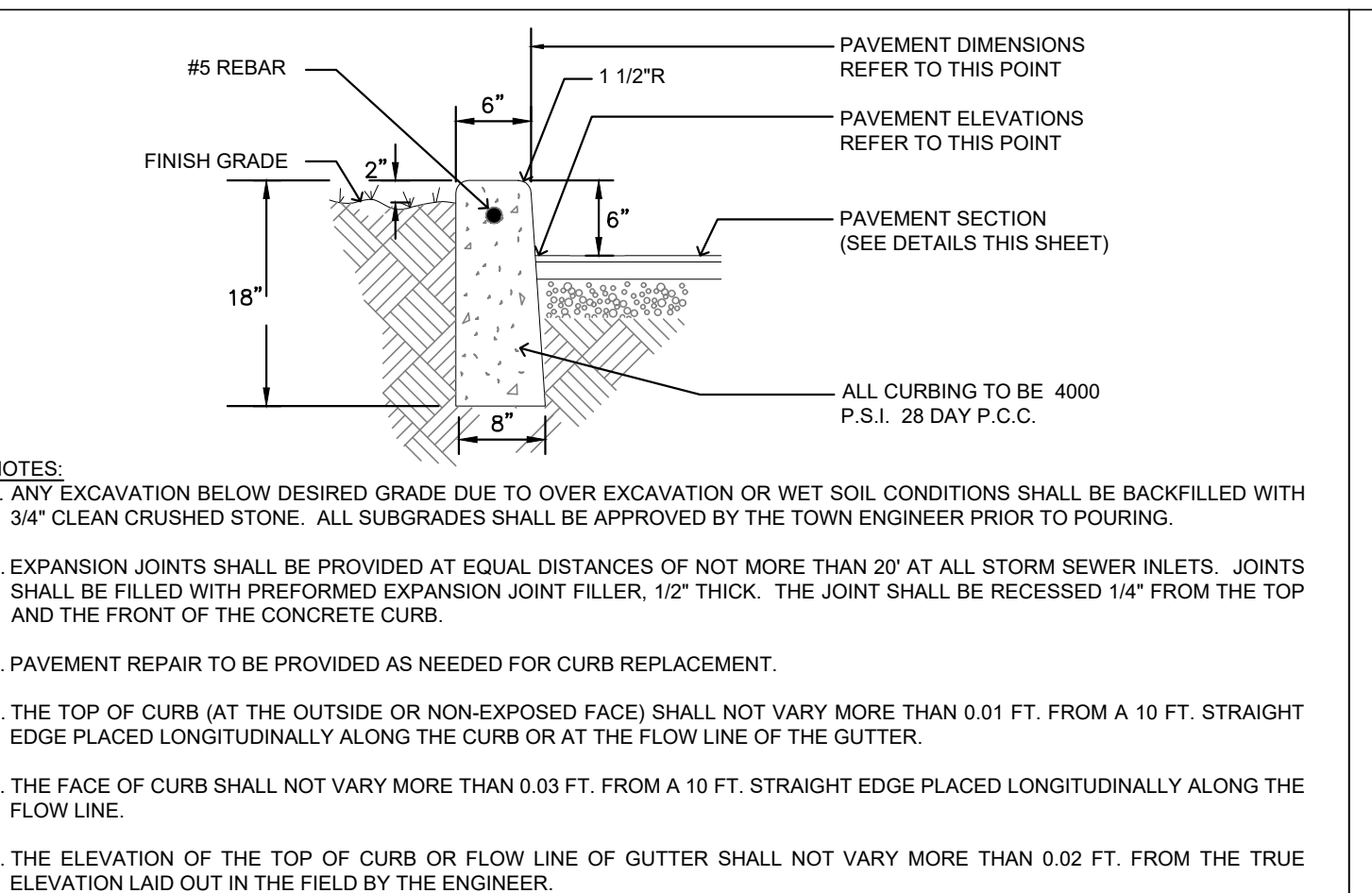
CONCRETE PAVEMENT (HEAVY DUTY VEHICULAR)
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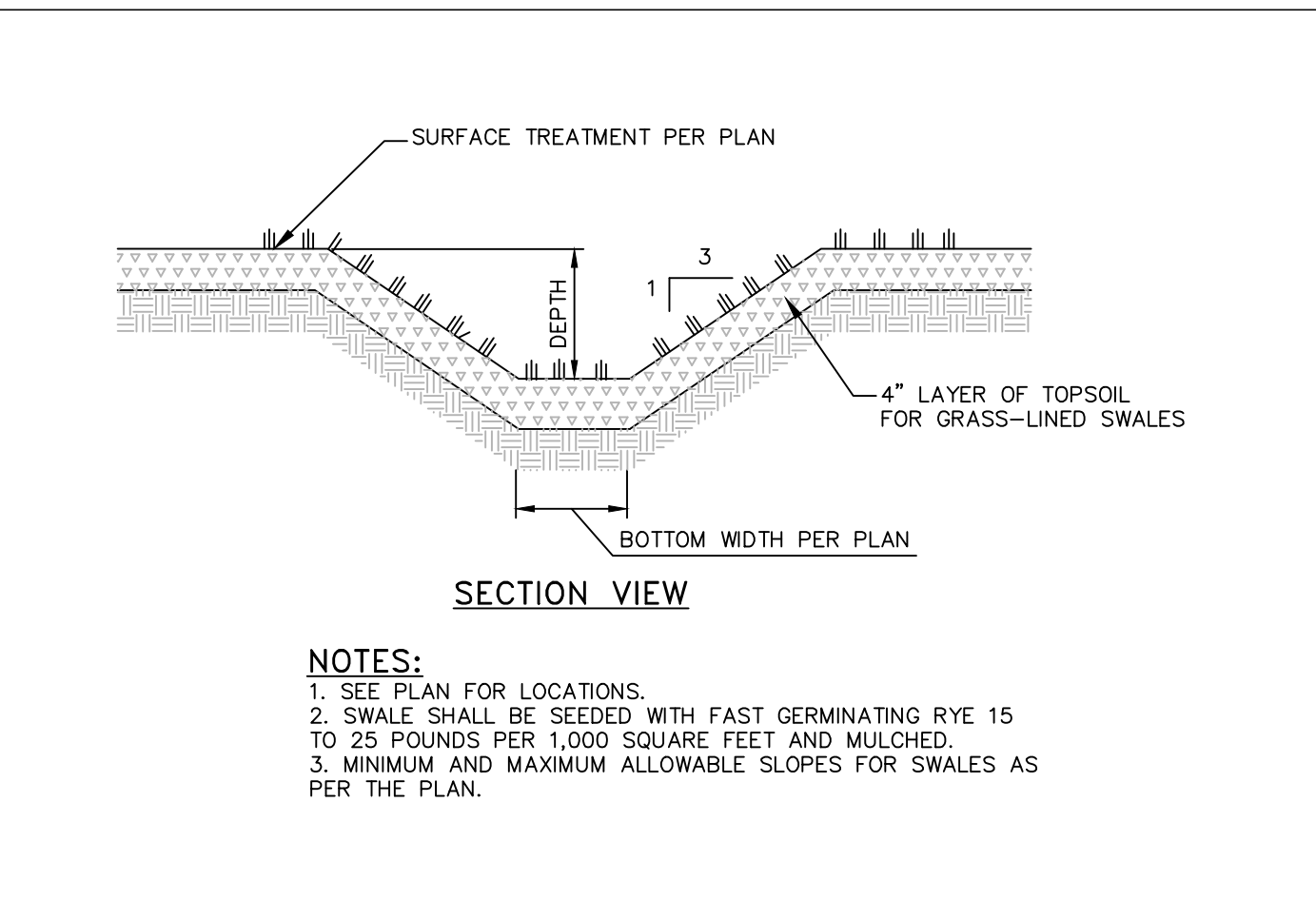
OUTLET CONTROL STRUCTURE DATA										
OCS ID	STRUCTURE DIMENSIONS	LOW FLOW ORIFICE DIMS	"LF" (FT)	LOW FLOW TRASH RACK	# OF LOW FLOW INLETS	"HF" (FT)	"T" (FT)	OUTLET PIPE Ø (IN)	"Op" (FT)	TOP OF STRUCTURE TRASH RACK
1	4'X4' I.D.	8" ORIFICE	680.0	021001	2	N/A	520.50	12"	518.80	101001

- NOTES:
 1. ALL TRASH RACKS SHALL HAVE UV PROTECTION MEETING OR EXCEEDING THE REQUIREMENTS OF ASTM D2565-99.
 2. TRASH RACKS SHALL BE SECURED PER THE MANUFACTURER'S RECOMMENDATIONS.
 3. WHERE HIGH FLOW ORIFICE EXTENDS TO TOP OF STRUCTURE, THE MAXIMUM ALLOWABLE GAP BETWEEN THE TRASH RACKS SHALL BE 4".

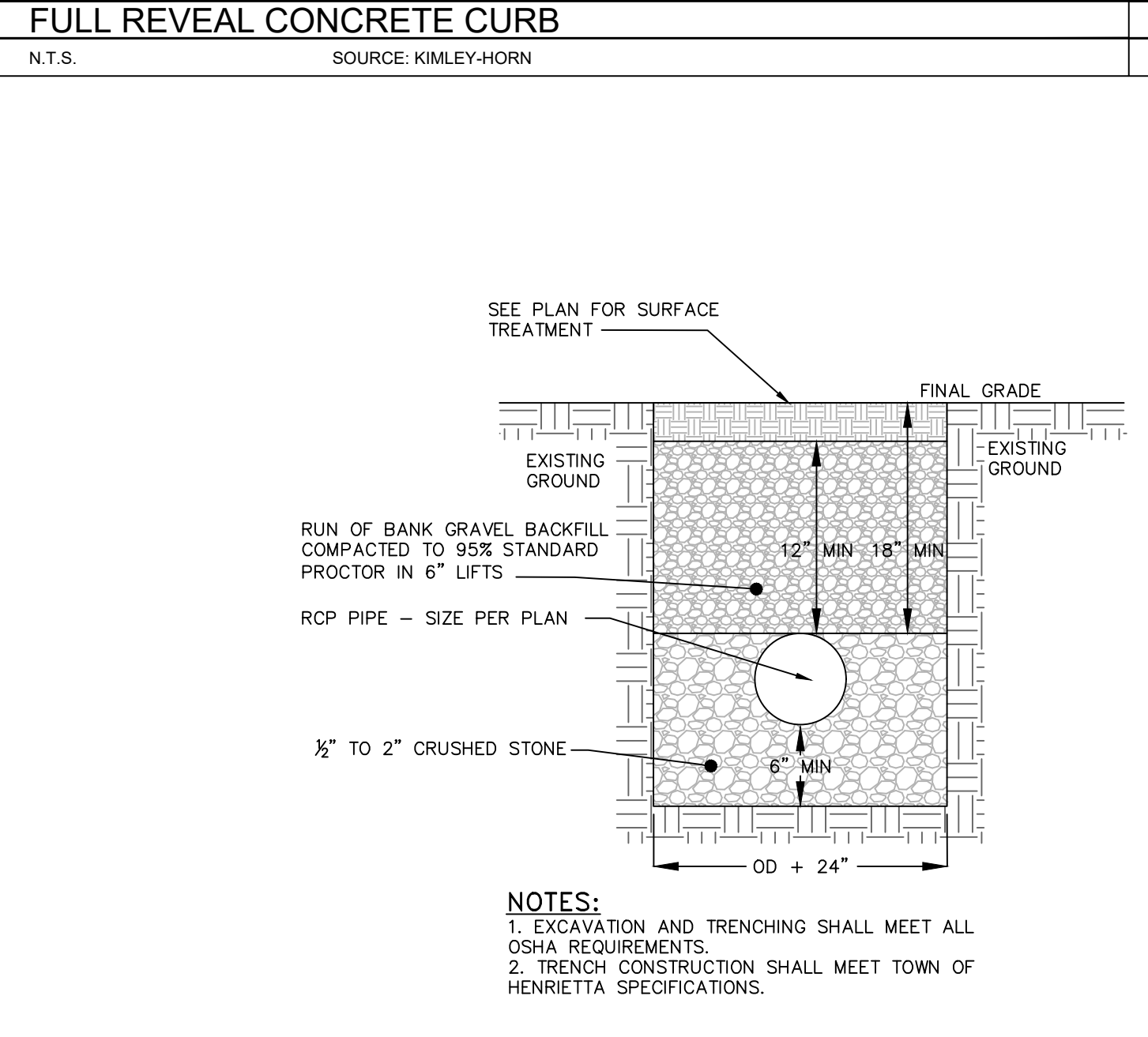
OUTLET CONTROL STRUCTURE
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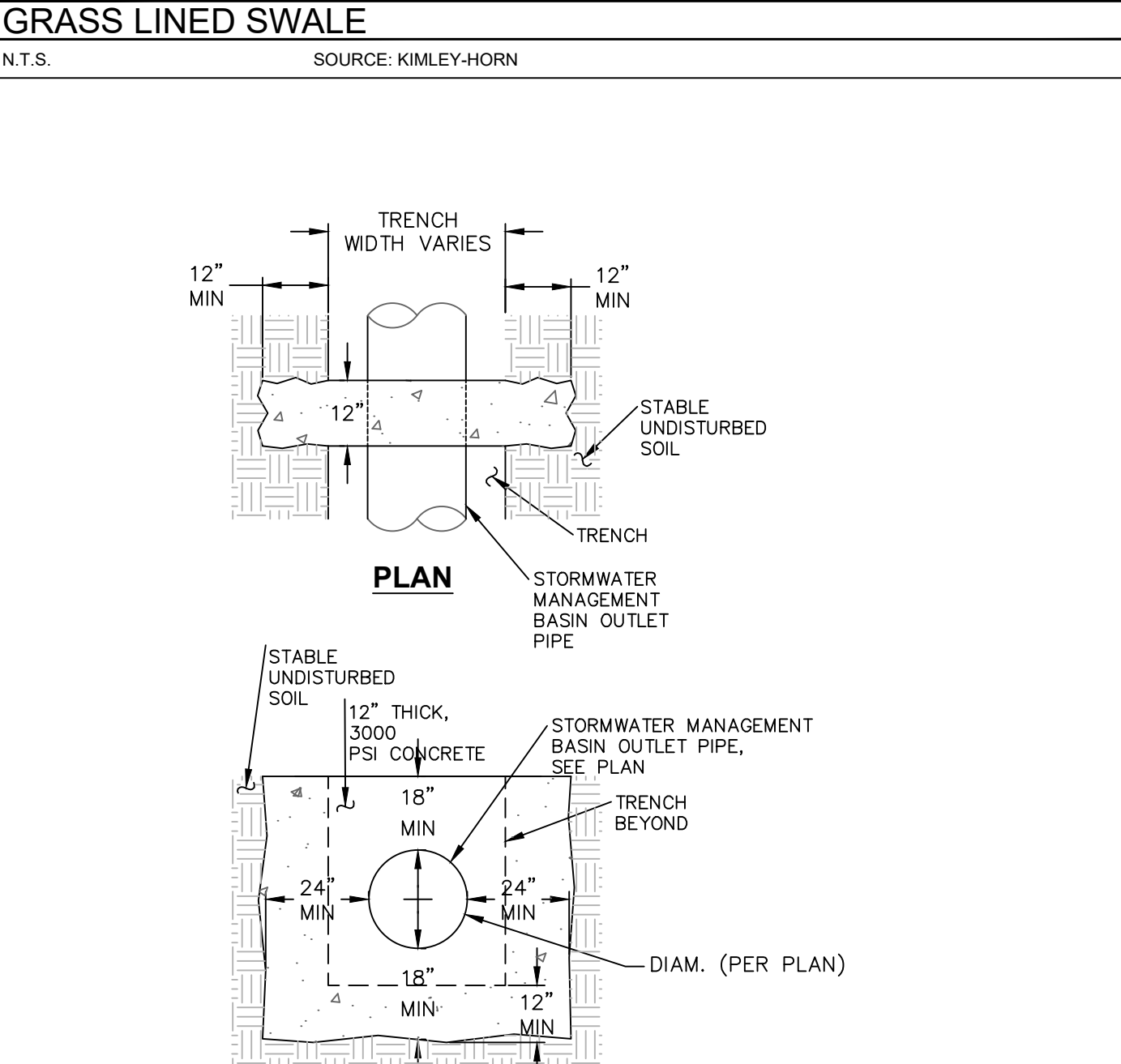
FULL REVEAL CONCRETE CURB
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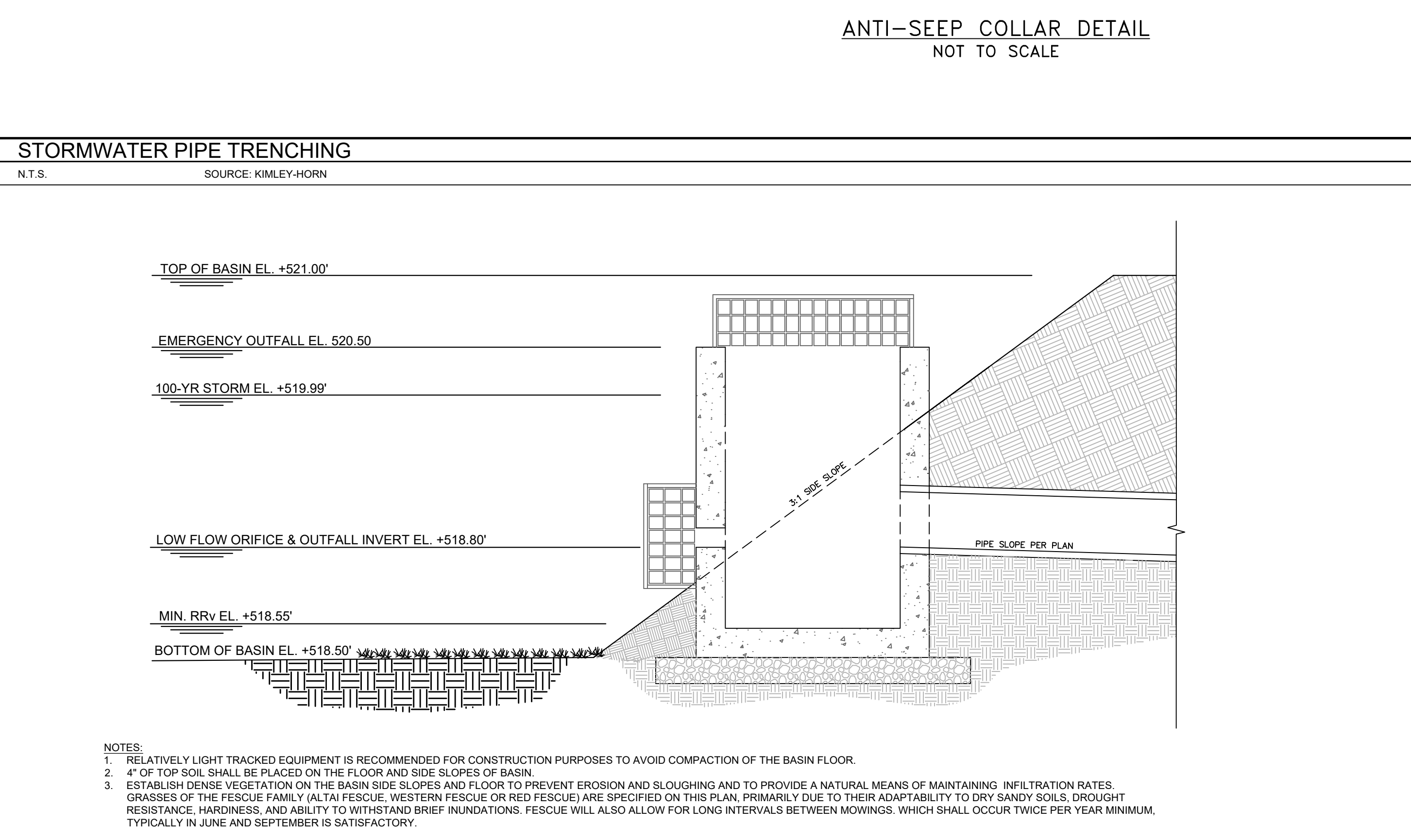
GRASS LINED SWALE
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STORMWATER PIPE TRENCH
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ANTI-SEEP COLLAR DETAIL
NOT TO SCALE



DETENTION BASIN
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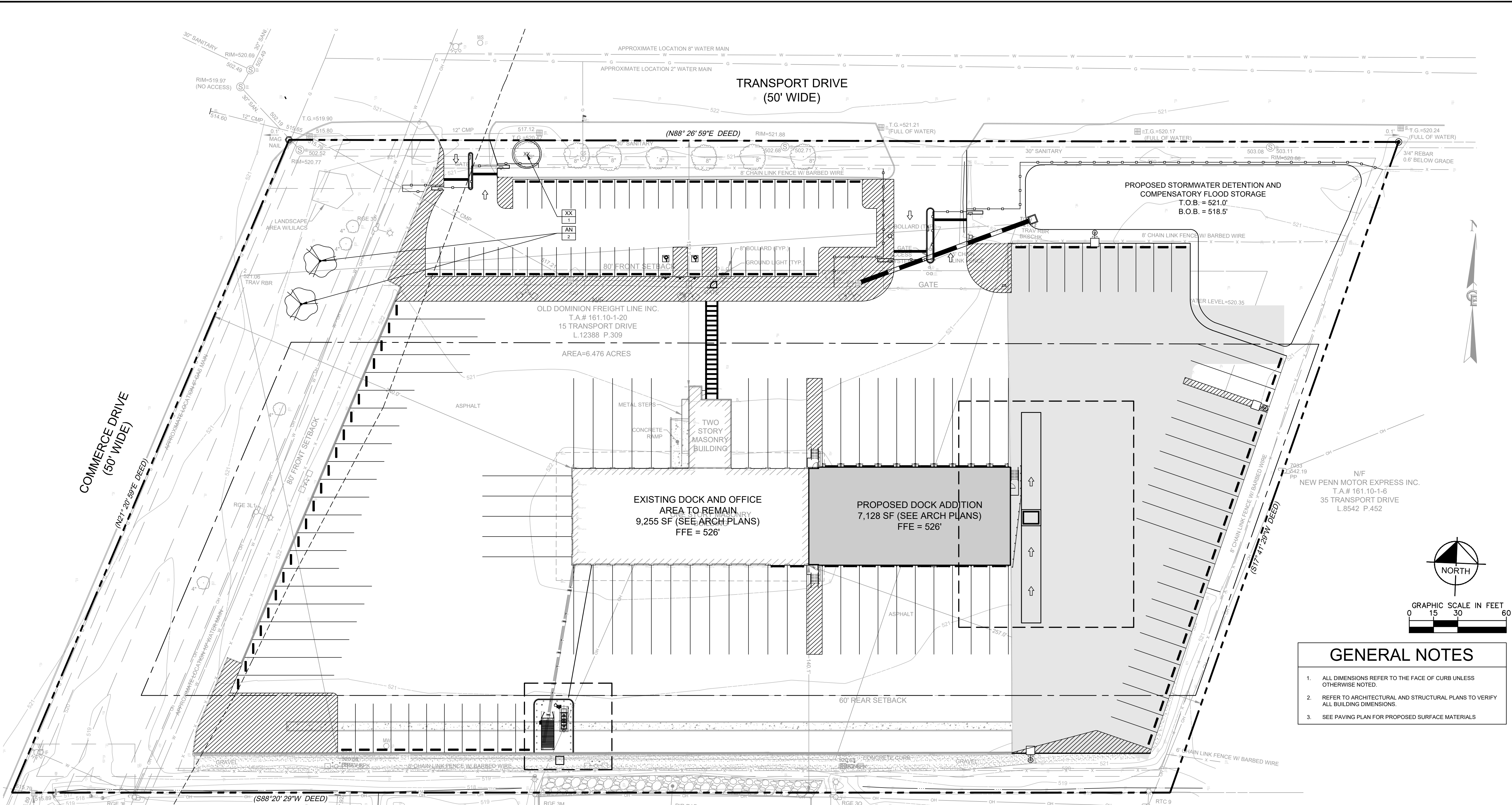
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SITE DETAILS

CIVIL IMPROVEMENT PLANS FOR
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TREE SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
XX	1	----- / TREES TO BE REMOVED	---	
AN	2	Acer x freemanii 'Autumn Blaze' / Autumn Blaze Maple	3" Cal.	B&B

LANDSCAPING REQUIREMENTS

- FOR EVERY 1 TREE REMOVED 2 TREES ARE REQUIRED.
- SEE TOWN OF HENRIETTA LANDSCAPE GUIDELINES, STANDARDS FOR DEVELOPMENT.

SITE PLAN LEGEND

- STANDARD CONCRETE CURB
- BUILDING SETBACK LINE
- PROPERTY LINE
- PARKING COUNT
- PROPOSED FENCING
- SIGN
- 8" CONCRETE BOLLARD
- POLE MOUNTED LIGHT
- 4" GORE STRIPING
- STOP BAR (12")
- DIRECTIONAL ARROW
- EDGE OF PAVEMENT

GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- SEE PAVING PLAN FOR PROPOSED SURFACE MATERIALS

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LANDSCAPE PLAN

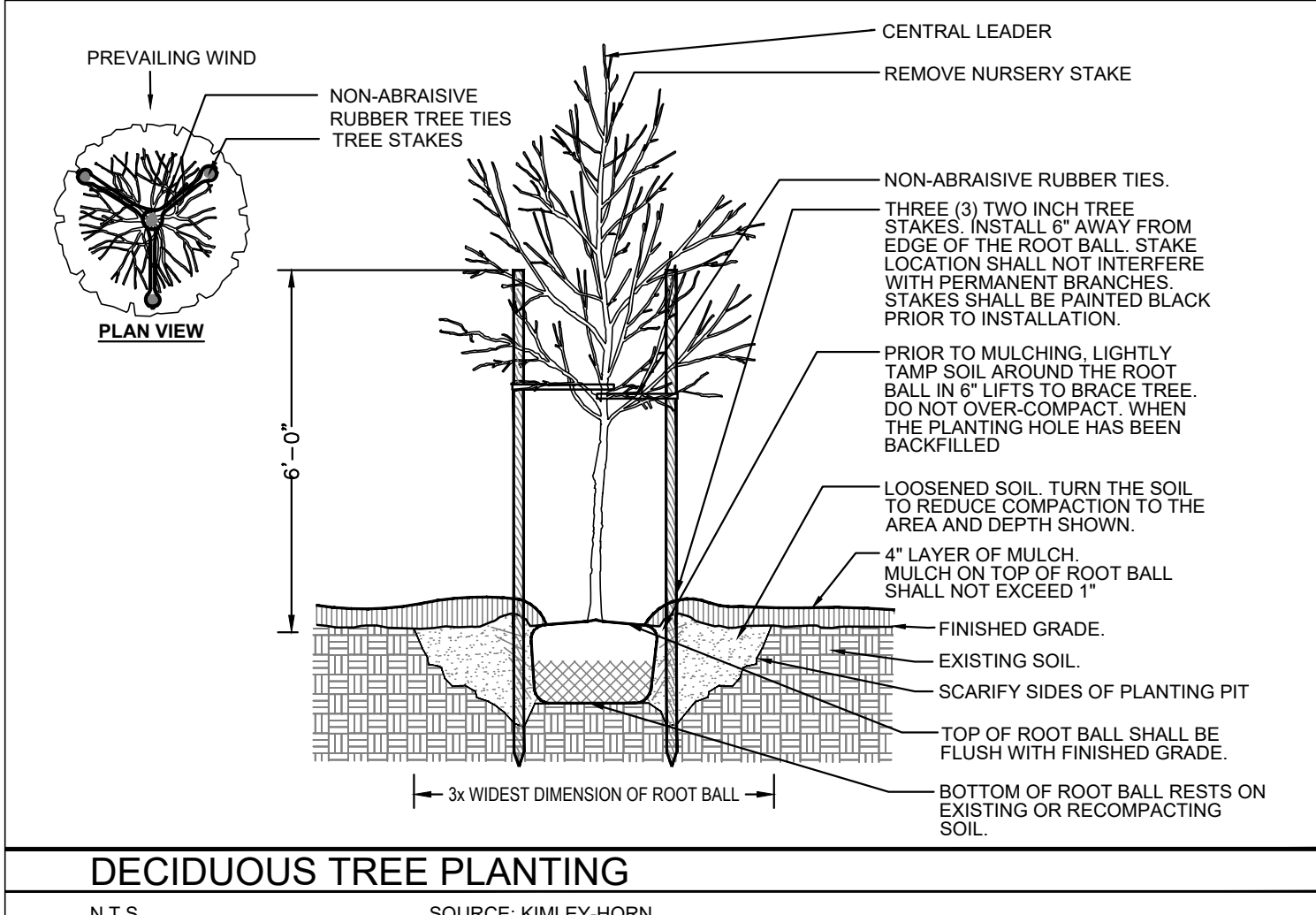
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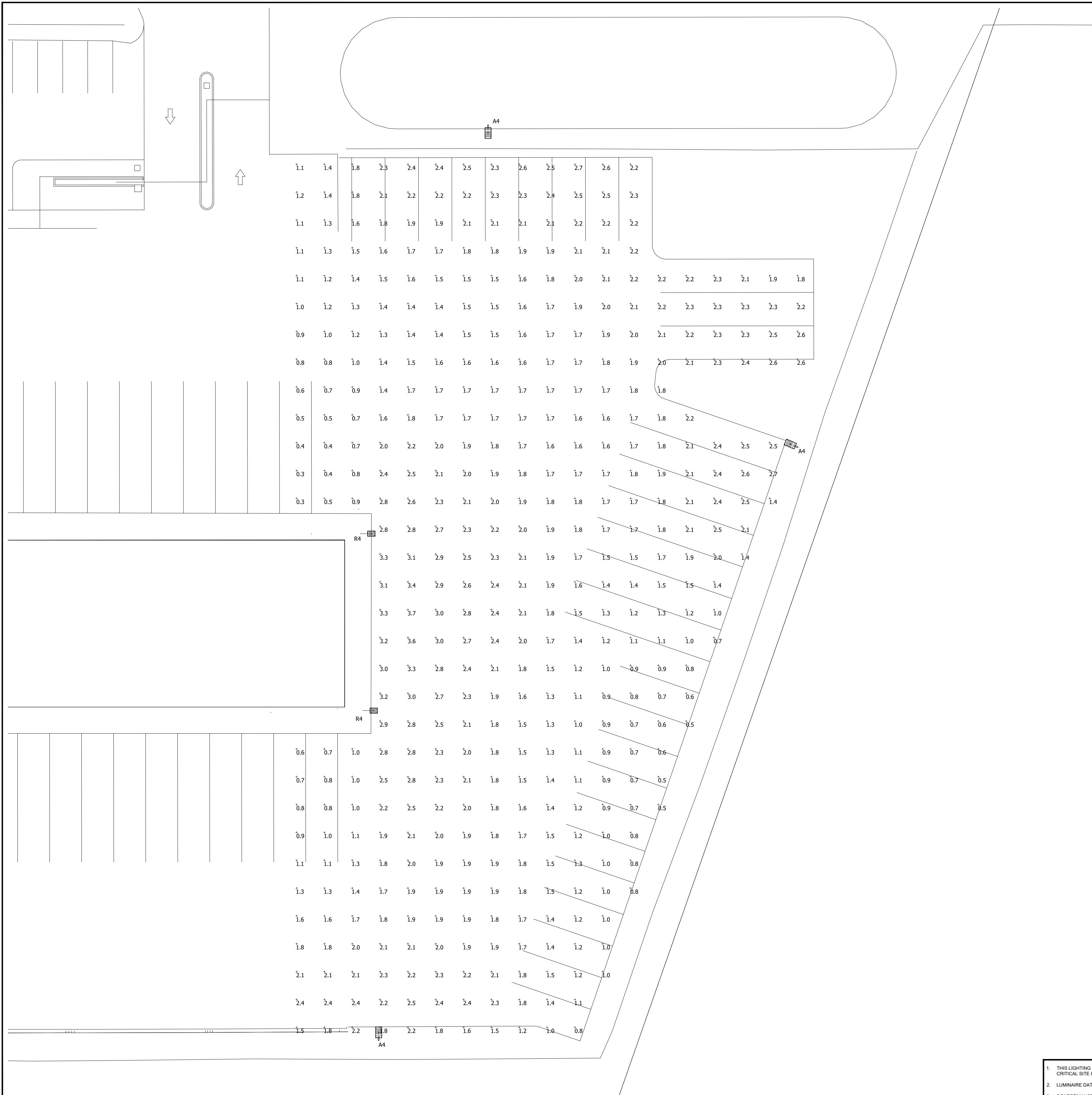
LANDSCAPE NOTES:	BIORETENTION FILTER AREAS AND/OR ABOVE THE SUBGRADE MATERIAL IN RAIN GARDENS, NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448, COARSE-AGGREGATE GRADING AASHTO SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH SIEVE AND 0 TO 5 PERCENT PASSING A NO.8 SIEVE.	REJECTED.	SOIL MATERIAL NOTES:
<p>1. THE LANDSCAPE SUBCONTRACTOR SHALL CERTIFY THAT THE TOPSOIL PROPOSED FOR PLANTING HAS NOT BEEN TREATED WITH PLANT GROWTH OR SEED GERMINATION INHIBITORS WITHIN THE PERIOD OF THE IMMEDIATE OR RESIDUAL EFFECTIVE LIFE OF THE INHIBITORS.</p> <p>a. TESTS AS REQUIRED TO PROVIDE THIS CERTIFICATION SHALL BE PAID FOR BY THE CONTRACTOR OR LANDSCAPE SUBCONTRACTOR.</p> <p>b. THE CERTIFICATION SHALL INCLUDE THE SOURCE OF THE TOPSOIL AND THAT THE MATERIAL DOES NOT CONTAIN RECYCLED MANMADE MATERIALS.</p> <p>2. TOPSOIL: TOPSOIL SHALL BE FERTILE, LOOSE, FRIABLE SOIL MEETING FOLLOWING CRITERIA:</p> <p>a. ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS FOR QUALITY AND USE.</p> <p>b. GRADATION/TEXTURE AS DEFINED BY USDA TRIANGLE OF PHYSICAL CHARACTERISTICS AS MEASURED BY HYDROMETER: SAND: 15 TO 60 PERCENT SILT: 10 TO 60 PERCENT CLAY: 0 TO 20 PERCENT</p> <p>c. STRUCTURE: GRANULAR, CRUMB OR FINE SUBANGULAR BLOCKY</p> <p>d. SIZE: ONE HUNDRED PERCENT BY WEIGHT SHALL PASS A 1" OPENING AND A 97 TO 100 PERCENT SHALL PASS A 1/2" SIEVE. THERE SHALL NOT BE LESS THAN 20 PERCENT OR MORE THAN 65 PERCENT PASSING A NO. 200 MESH SIEVE AS DETERMINED BY A WASH TEST MADE IN ACCORDANCE WITH THE STANDARD TEST ASTM D1140. ALL TOPSOIL SHALL BE OF GOOD RICH, UNIFORM GRADE, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL.</p> <p>e. ACIDITY / ALKALINITY RANGE - PH 5.8 TO 7.0</p> <p>f. SOLUBLE SALTS - LESS THAN 200 PPM</p> <p>g. SODIUM ABSORPTION RATIO (SAR) - LESS THAN 3.0</p> <p>h. ORGANIC MATTER - 1.5%-4% BY WEIGHT, 10%-20% BY VOLUME</p> <p>i. NUTRIENTS: WELL DRAINED TO MODERATELY WELL DRAINED</p> <p>j. NUTRIENT CONTENT: NORMAL CONTENTS OF NITROGEN, PHOSPHORUS AND POTASSIUM; NO SEVERELY LIMITED NUTRIENTS OR NO NUTRIENT; NO NUTRIENT OR MICRONUTRIENT IMBALANCE</p> <p>k. CONTAMINANTS: CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, AND NOXIOUS WEEDS, AND OTHER OBJECTIONABLE MATERIALS. NO CONSTRUCTION DEBRIS OR MANMADE RECYCLED MATERIALS.</p> <p>3. TOPSOIL AMENDMENT (LAWN AND PLANTING AREAS): INCORPORATE INTO THE EXISTING OR IMPORTED TOPSOIL AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND/OR REQUIRED TO REMEDY ANY DEFICIENCIES SHOWN IN SOIL TESTS ANY OF THE FOLLOWING AMENDMENTS TO MEET THE STANDARDS AS SPECIFIED FOR NEW TOPSOIL WITH SPECIFIED RANGES OF PH AS FOLLOWS:</p> <p>GENERAL PLANTING: 5.8-7.0 LAWNS: 5.8-6.3 ERICACEOUS PLANTING: 4.5-5.5</p> <p>ACCEPTABLE AMENDMENTS:</p> <p>a. COMMERCIAL FERTILIZER: COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST- AND SLOW-RELEASED NITROGEN.</p> <p>b. 50 PERCENT DERIVED FROM NATURAL ORGANIC SOURCES.</p> <p>c. SLOW-RELEASE FERTILIZER: GRANULAR FERTILIZER CONSISTING OF 50 PERCENT FROM INSOLUBLE NITROGEN, PHOSPHORUS AND POTASSIUM.</p> <p>d. LIME: GROUND DOLOMITE LIMESTONE; 95 PERCENT PASSING THROUGH A 100-MESH SIEVE.</p> <p>e. ALUMINUM SULFATE: COMMERCIAL GRADE, UNADULTERATED.</p> <p>f. SUPER PHOSPHATE: FINELY GROUND PHOSPHATE ROCK AS COMMONLY USED FOR AGRICULTURAL PURPOSES; CONTAINING NOT LESS THAN 18 PERCENT AVAILABLE PHOSPHORIC ACID.</p> <p>g. SOME MEAL: COMMERCIAL RAW BONE MEAL, FINELY GROUND, MINIMUM ANALYSIS OF 1PERCENT NITROGEN AND 18 PERCENT PHOSPHORIC ACID.</p> <p>h. SAND: ASTM C 33; FINE AGGREGATE.</p> <p>4. AMENDED SOIL: FOR USE IN RAIN GARDENS AND GRASS SWALE AREAS. THIS SOIL MATERIAL SHALL BE A UNIFORM MIX OF TOPSOIL, SAND, AND LEAF COMPOST MATERIAL MEETING THE FOLLOWING MATERIAL SPECIFICATIONS:</p> <p>20%-30% TOPSOIL WITH <5% CLAY CONTENT 50% SAND 20%-30% LEAF COMPOST</p> <p>GRADATION/TEXTURE AS DEFINED BY USDA TRIANGLE OF PHYSICAL CHARACTERISTICS AS MEASURED BY HYDROMETER.</p> <p>5. BIORETENTION PLANTING / FILTER MEDIA: FOR USE IN STORMWATER BIORETENTION FILTERS. THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN 2" INCHES. THE PLANTING / FILTER MEDIA MATERIAL SHALL BE TESTED (1 TEST/PER 100 CY) AND SHALL MEET THE FOLLOWING CRITERIA:</p> <p>PH RANGE: 5.8-7.0 ORGANIC MATTER: 1.5-4% MAGNESIUM: 35 LB./AC. PHOSPHOROUS P205 75 LB./AC. POTASSIUM K20 85 LB./AC. SOLUBLE SALTS NOT TO EXCEED 500 PPM</p> <p>REFER ALSO TO THE PLANTING SOIL MATERIAL SPECIFICATIONS CONTAINED IN THE NYS STORMWATER MANAGEMENT DESIGN MANUAL DATED AUGUST 2010 OR LATEST REVISION THERETO.</p> <p>6. DRAINAGE COURSE: AGGREGATE LAYER SUPPORTING THE COLLECTION AND TRANSPORTING OF WATER. THE MATERIAL IS TO BE INSTALLED AS DETAILED ON THE DRAWINGS, ABOVE THE PREPARED SUBGRADE IN STORMWATER</p>	<p>7. SUBBASE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; NYS DOT TYPE 1 SUBBASE COURSE, ITEM 304.11. RECYCLED MATERIAL (BUILDING AND ROAD DEMOLITION MATERIAL AND RECYCLED MATERIAL CONSISTING OF BRICK, CEMENT CONCRETE, OR OTHER MATERIALS) MAY NOT BE USED.</p> <p>8. IMPORTED TOPSOIL: A SAMPLE OF IMPORTED TOPSOIL FROM THE SOURCE PROPOSED FOR USE SHALL BE TESTED AND THE RESULTS AND RECOMMENDATIONS FROM TESTING COPIED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. IMPORTED TOPSOIL SHALL BE TESTED FOR FERTILITY AND AGRICULTURAL SUITABILITY BY A LABORATORY SUCH AS RUTGERS SOIL TESTING LABORATORY'S TOPSOIL EVALUATION TEST OR OTHER TESTING LABORATORY APPROVED BY THE LANDSCAPE ARCHITECT AND STATE:</p> <p>a. IMPORTED TOPSOIL SHALL MEET MINIMUM SPECIFIED REQUIREMENTS AS SET FORTH IN PART 2 OF THIS SECTION AND BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.</p> <p>b. PERFORM A MINIMUM OF ONE (1) TOPSOIL TEST FOR EVERY 100 CY OF IMPORTED TOPSOIL MATERIAL PRIOR TO PLACEMENT OF THE MATERIAL IN THE FIELD.</p> <p>c. EACH ANALYSIS SHALL BE ACCOMPANIED BY THE TESTING AGENCY'S RECOMMENDATIONS FOR QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL AMENDMENT FOR EACH TYPE OF PLANTING MATERIAL.</p> <p>d. SUBMIT REPORT STATING NAME AND LOCATION OF SOURCE OF IMPORTED TOPSOIL AND ACCOUNT OF RECENT USE.</p> <p>e. THE COST OF THE TESTING SHALL BE PAID FOR BY THE CONTRACTOR.</p> <p>9. UPON DELIVERY TO THE SITE AND PRIOR TO PLANTING, ALL PLANT MATERIALS SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE FOR SIZE, VARIETY, CONDITION, DEFECTS OR INJURY.</p> <p>10. ALL REJECTED PLANT MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE PLANT MATERIALS.</p> <p>11. REQUESTS FOR SUBSTITUTIONS (INCLUDING PLANTS NOT AVAILABLE) FOR SPECIFIED PLANT MATERIALS WILL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. LANDSCAPE SUBCONTRACTOR SHALL REQUEST ALL LANDSCAPING MATERIAL SUBSTITUTIONS IN WRITING.</p> <p>12. DELIVER SOD, PLANTS, TREES, AND SHRUBS IN HEALTHY AND VIGOROUS CONDITION AND STORE IN LOCATION ON SITE WHERE THEY WILL NOT BE ENDANGERED AND WHERE THEY CAN BE ADEQUATELY WATERED AND KEPT IN HEALTHY AND VIGOROUS CONDITION.</p> <p>13. DO NOT PLANT TREES AND SHRUBS UNTIL MAJOR CONSTRUCTION OPERATIONS ARE COMPLETED AND APPROVED BY THE OWNER.</p> <p>14. COORDINATE INSTALLATION OF PLANTING MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF PLANT MATERIAL REQUIRED. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICE.</p> <p>15. BEFORE PROCEEDING WITH WORK, VERIFY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN THE DRAWINGS AND SITE CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH LANDSCAPE WORK. PLANT TOTALS ARE FOR CONVENIENCE OF CONTRACTOR ONLY AND ARE NOT GUARANTEED. VERIFY AMOUNTS SHOWN ON DRAWINGS.</p> <p>16. MACHINE AND HAND EXCAVATE AS REQUIRED TO PREPARE PLANTING AREAS. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL OR ADVERSE DRAINAGE CONDITIONS, NOTIFY LANDSCAPE ARCHITECT BEFORE PLANTING.</p> <p>17. PLANTS SHALL CONFORM TO REQUIREMENTS OF PLANT LIST AND KEY AS SHOWN ON CONTRACT DOCUMENTS; BE NURSERY GROWN; CONFORM TO THE RELATIONSHIP OF CALIPER, HEIGHT AND ROOT BALL SIZE PER ANSI Z60.1 STANDARD; BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT; BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH A NORMAL HABIT OF GROWTH; BE SOUND, HEALTHY AND VIGOROUS; BE UNIFORMLY AND WELL BRANCHED; FREE OF LARGE VOIDS, AND DENSELY FOLIATED WHEN IN LEAF; BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE, AND HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS. THE TRUNK AND MAIN BRANCHES SHALL BE FREE OF WOUNDS AND DAMAGED AREAS. TREES WITH BARK INCLUDED WITHIN MAJOR BRANCH UNIONS WILL NOT BE ACCEPTED. TREES WITH ROOT BALLS THAT HAVE BOUND OR GIRDLED ROOTS SHALL BE</p>	<p>18. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT, DECIDUOUS MATERIAL SHALL BE PLANTED FROM MARCH 15 TO MAY 15 AND FROM OCTOBER 15 TO DECEMBER 15 AND EVERGREEN MATERIAL SHALL BE PLANTED FROM APRIL 15 TO MAY 15 AND FROM SEPTEMBER 15 TO NOVEMBER 15.</p> <p>19. WATERING SCHEDULE: LANDSCAPE SUBCONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL A SCHEDULE AND METHODOLOGY FOR WATERING PLANTS DURING THE ONE (1) YEAR MAINTENANCE SCHEDULE.</p> <p>20. MAINTAIN WATER, AND PROTECT PLANTINGS UNTIL FINAL ACCEPTANCE BY OWNER.</p> <p>21. ALL PLANT MATERIALS SHALL BE WATERED IMMEDIATELY UPON PLANTING AND THEN WATERED, FERTILIZED, PRUNED, WEEDED, AND MAINTAINED AS REQUIRED TO KEEP PLANT MATERIAL IN A HEALTHY, VIGOROUS CONDITION.</p> <p>22. GUARANTEE TREES, SHRUBS, GROUND COVER AND OTHER PLANTED MATERIAL AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE PLANTED MATERIAL, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE LANDSCAPE SUBCONTRACTOR'S CONTROL. FINAL DECISIONS REGARDING REPLACEMENT OF PLANTED MATERIAL SHALL BE MADE BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE SUBCONTRACTOR, IF NOT MAINTAINING THE PROPERTY DURING THE GUARANTEE PERIOD SHALL BE RESPONSIBLE FOR MAKING MONTHLY INSPECTIONS AND ISSUING WRITTEN REPORTS TO THE OWNER DETAILING ANY MAINTENANCE PRACTICES HE OBSERVES WHICH WOULD IN ANY WAY NEGATE HIS GUARANTEE OBLIGATION SO THAT CORRECTIVE MEASURES MAY BE TAKEN.</p> <p>23. REPLACEMENT PLANTS UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE (1) FULL GROWING SEASON FROM DATE OF INSTALLATION. PLANT MATERIAL REPLACEMENT, IF REQUIRED, DURING THE GUARANTEE PERIOD.</p> <p>24. ALL PLANT MATERIAL REQUIRED UNDER THIS CONTRACT, DEEMED BY THE LANDSCAPE ARCHITECT TO BE UNSIGHTLY, UNHEALTHY, OR EXCESSIVELY PRUNED, DURING AND AT THE END OF THE GUARANTEE PERIOD, SHALL BE REPLACED OR ADDED AS SOON AS CONDITIONS PERMIT.</p> <p>25. PROVIDE ALL EQUIPMENT AND MEANS FOR PROPER APPLICATION OF WATER TO INSTALLED PLANT MATERIAL FOR THE DURATION OF THE MAINTENANCE PERIOD.</p> <p>26. ALL SEEDED AREAS MUST HAVE 100% COVER OF SEEDED FORBS OR GRASSES AT END OF FIRST FULL GROWING SEASON.</p> <p>27. MULCH</p> <p>a. SEEDED AREAS- STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS FREE FROM SEED OR NOXIOUS WEEDS.</p> <p>b. PLANT BEDS AND TREE PITS - 100% DOUBLE SHREDDED HARDWOOD BARK MULCH WITH FIBROUS TEXTURE, NATURAL (NO DYE) COLOR.</p> <p>c. BIORETENTION FILTER AREAS - 100% SHREDDED HARDWOOD MULCH AGED SIX (6) TO TWELVE (12) MONTHS.</p>	<p>GENERAL: PROVIDE BORROW SOIL MATERIAL WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS.</p> <p>2. SATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS GW, GM, SW, AND SP ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE SOIL GROUPS, FREE FROM ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.</p> <p>3. UNSATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS SM, SC, CL, ML, CL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE SOIL GROUPS.</p> <p>3.1. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTAINED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT THE TIME OF COMPACTION.</p> <p>4. SUBBASE MATERIAL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND, ASTM D2940, WITH AT LEAST 90 PERCENT PASSING A 1-1/2" (37.5MM) SIEVE AND NOT MORE THAN 5 PERCENT PASSING A NO. 200 (0.075MM) SIEVE.</p> <p>5. BASE COURSE: NATURALLY OR ARTIFICIAL GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND, NYS DOT ITEM 304.11. RECYCLED MATERIAL (BUILDING AND ROAD DEMOLITION MATERIAL CONSISTING OF BRICK, CEMENT CONCRETE, OR OTHER MATERIALS) MAY NOT BE USED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.</p> <p>6. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1-INCH (25MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075MM) SIEVE.</p> <p>7. BEDDING COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH 100 PERCENT PASSING A 1-1/2 INCH (37.5MM) SIEVE AND NOT MORE THAN 0 TO 5 PERCENT PASSING A NO. 8 (2.36MM) SIEVE.</p> <p>8. DRAINAGE COURSE: NARROWLY GRADED MIXTURE WASHED CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448, COURSE AGGREGATE GRADING SIZE 57 WITH 100 PERCENT PASSING A 1-1/2 INCH (37.5MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 4 (4.75MM) SIEVE.</p> <p>9. FILTER MATERIAL: NARROWLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL SAND; ASTM D 448, COURSE AGGREGATE GRADING SIZE 67 WITH 100 PERCENT PASSING A 1-INCH (25MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 4 (4.75MM) SIEVE.</p> <p>10. TRAP ROCK: NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE; ASTM D 448, COURSE AGGREGATE GRADING SIZE 1 WITH 100 PERCENT PASSING A 4-INCH (100MM) SIEVE AND 0 TO 15 PERCENT PASSING A 1-1/2 INCH (37.5MM) SIEVE.</p> <p>11. SAND: ASTM C 33, FINE AGGREGATE.</p> <p>12. IMPERVIOUS FILL: CLAYEY GRAVEL AND SAND MIXTURE CAPABLE OF COMPACTING TO A DENSE STATE.</p> <p>13. TOPSOIL: SEE SPECIFICATIONS BY OTHERS</p>

LANDSCAPE NOTES	SOIL MATERIAL NOTES
N.T.S. SOURCE: KIMLEY-HORN	N.T.S. SOURCE: KIMLEY-HORN



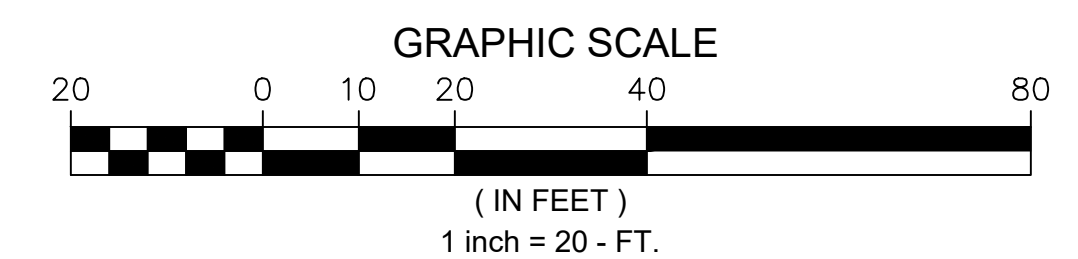
DECIDUOUS TREE PLANTING
N.T.S. SOURCE: KIMLEY-HORN

NO. 1	DATE	12/21/2021	TAS
NO.	DATE		TAS
REVISIONS			
NOT FOR CONSTRUCTION			
RHA PROJECT 112386000	DATE 12-21-2021	SCALE AS SHOWN	DESIGNED BY TAS
			DRAWN BY TAS
			CHECKED BY DAA
LANDSCAPE NOTES AND DETAILS			
CIVIL IMPROVEMENT PLANS FOR OLD DOMINION FREIGHT LINE FACILITY EXPANSION 15 TRANSPORT DRIVE HENRIETTA, NY 14623 NEW YORK			
SHEET NUMBER L1-01			



Luminaire Schedule							
Symbol	Qty	Label	Mounting Height	LLF	Lum. Lumens	Lum. Watts	Description
	6	A4	35' - 0" AFG	0.900	34686	395	VP-L-96L-395-5K7-4W
	2	R4	25' - 0" AFG	0.900	14484	136	VP-S-60L-136-5K7-4W

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Area	Illuminance	Fc	0.18	3.7	0.0	N.A.	N.A.
Expansion Area	Illuminance	Fc	1.76	3.7	0.3	5.87	12.33



1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

OLD DOMINION FREIGHT LINES ROCHESTER, NY SITE LIGHTING RETROFIT AND EXPANSION PLAN	REVISED FROM DRAWING NUMBER(S):		 <small>Hubbell Lighting, Inc. 701 MILLENNIUM BLDG. GREENVILLE, SC 29607</small>	DN BY:	DATE:	CHK BY:
	R1: 05/19/21	R2: 05/20/21		DHK	05/18/21	N/A
	R3: 05/21/21	R4: 05/21/21		DHK	05/21/21	AS NOTED
			QUOTE:	DRAWING / DESIGN NO.:		
			N/A	2127980R3		