



TOWN OF HENRIETTA
 County of Monroe
 State of New York
 475 Calkins Road, Rochester, NY 14623
 (585) 334-7700 • www.henrietta.org

TOWN OF HENRIETTA
 APPLICATION TO TOWN BOARD
 - SPECIAL USE PERMIT -

Appeal No. SP-2022-001
 Date 1/7/22

Applicant: Robert Truett
 Name _____ Email _____
16282 Andalucia Lane Delray Beach FL 33446
 No. & Street City State Zip Code Phone Number

Business Owner: Rochester Motors NY LLC
 Name _____ Email _____
16282 Andalucia Lane Delray Beach FL 33446
 No. & Street City State Zip Code Phone Number

Business Name: Rochester Motors NY LLC

Business Address: 16282 Andalucia Lane Delray Beach FL 33446
 No. & Street City State Zip Code

Property Owner: YORK PROPERTIES OF MONROE CITY, LLC Larry Bell
 Name _____ Email _____
3535 West Henrietta Road Rochester NY 14623
 No. & Street City State Zip Code Phone Number

Architect/Engineer: ArcVision Inc.
 Name _____ Email _____
1950 Craig Road, Suite 300 St. Louis MO 63146
 No. & Street City State Zip Code Phone Number

Hereby request from the Town Board for a Special Use Permit for the property located at:

3535 West Henrietta Road Rochester NY 14623
 No. & Street City State Zip Code
161.11-1-12.1 Commercial B-1
 Tax Map No. Zoning District

If property is under a purchase option, indicate date option expires: March 15th, 2022

Under the Zoning Ordinance, a Special Permit is requested pursuant to:

Article: V1 Section: 295 Subsection: 14 Paragraph: B(9) of the Zoning Ordinance.
 Description of Proposal: Convert an existing furniture store into an automotive service center and an educational gallery / vehicle display for Tesla Motors.

Multiple Dwelling Applications – Dwelling Units per Acre: Not Applicable

Does this exceed allowed amount per Henrietta Code §295-13[E](1)(b) Yes No

Printed Name: Robert Truett

Signature:

Received By

2/9/22
 Date of Meeting*
 (unless rescheduled)

TBD
 Time

*A meeting date will be assigned when applications are turned in but if the application is deemed incomplete, it will not be scheduled and the Applicant will be notified.



Letter Of Intent – Special Use Permit (3535 West Henrietta Road)

Rochester Motors NY LLC is under contract to purchase 3535 West Henrietta Road (Tax Account No. 161.11-1-12.1) and is in negotiations to lease the location to Tesla Motors. We respectfully request for a Special Use Permit to be issued allowing Tesla Motors or a similar use to occupy 3535 West Henrietta Road and to use the location as an automotive service center with a vehicle and educational gallery. The existing building will incur a significant financial investment including the structure being partially demolished and renovated for Tesla Motors to occupy approximately 30,000 square feet in connection with obtaining this Special Use Permit and all other required approvals.

The existing furniture store, which was previously an automotive tire and repair facility, would be modified and significant capital would be invested to improve this site. Specifically, approximately 20,000 square feet of the existing +/- 50,515 square feet would be demolished to create additional parking for customer vehicles in service, customer and employee parking and company-owned or controlled vehicles, which shall be licensed in accordance with New York laws and requirements. This renovation will enhance the external and internal appearance of the building and create additional pervious area by removing a portion of the existing building, additional new landscaping, improved site lighting and other benefits to the community.

Furthermore, if Tesla Motors obtains additional dealer licenses in the state of New York or decides to transfer one of the five existing dealer licenses to 3535 West Henrietta Road, we're also requesting that, at a future date and subject to the submission of a new or amended Special Use Permit Application as required by the Town of Henrietta at such time, Tesla Motors shall enjoy the benefits afforded to similar dealerships with a dealer's license in the Town of Henrietta. More specifically, Tesla Motors shall seek the right to sell, service, provide maintenance, test driving, charging, repair, delivery, paint, body repair and collision repair, and storage of new and pre-owned automobiles and energy products and related parts and accessories, along with general office purposes.



Building
Outside
The Box

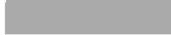
In conclusion, Tesla Motors intends to relocate and expand their existing operations at 3300 West Henrietta Road to 3535 West Henrietta Road to better service the vehicles of Tesla owners located throughout the Greater Rochester Area and the Finger Lakes, Western New York and Central New York Regions and is seeking to obtain a dealer's license at a future date for this location.

Applicant: 

Date: 1/5/22

Robert Truett

Managing Principal

Phone: 

Email: 



SALVATION ARMY FAMILY STORE & DONATION CENTER
3501 WEST HENRIETTA ROAD

RED CREEK

EXISTING ELECTRIC SERVICE TO REMAIN

EXISTING GAS SERVICE TO REMAIN

3535 WEST HENRIETTA ROAD

PROPOSED VEHICLE FACILITY (30,000SF±)
EXISTING BUILDING TO BE REMODELED
(162 PARKING SPACES)

PORTION OF EX. BUILDING TO BE DEMOLISHED AND REPLACED WITH AN ASPHALT PAVEMENT PARKING AREA

PROP. VEHICLE STORAGE AREA

EXISTING STORM INLET TO REMAIN

WEST HENRIETTA ROAD
(NYS ROUTE 15)

CAR CARRIER

EX. PYLON SIGN

PROPOSED OVERHEAD DOOR ENTRANCE

CURB ISLAND (TYP.)

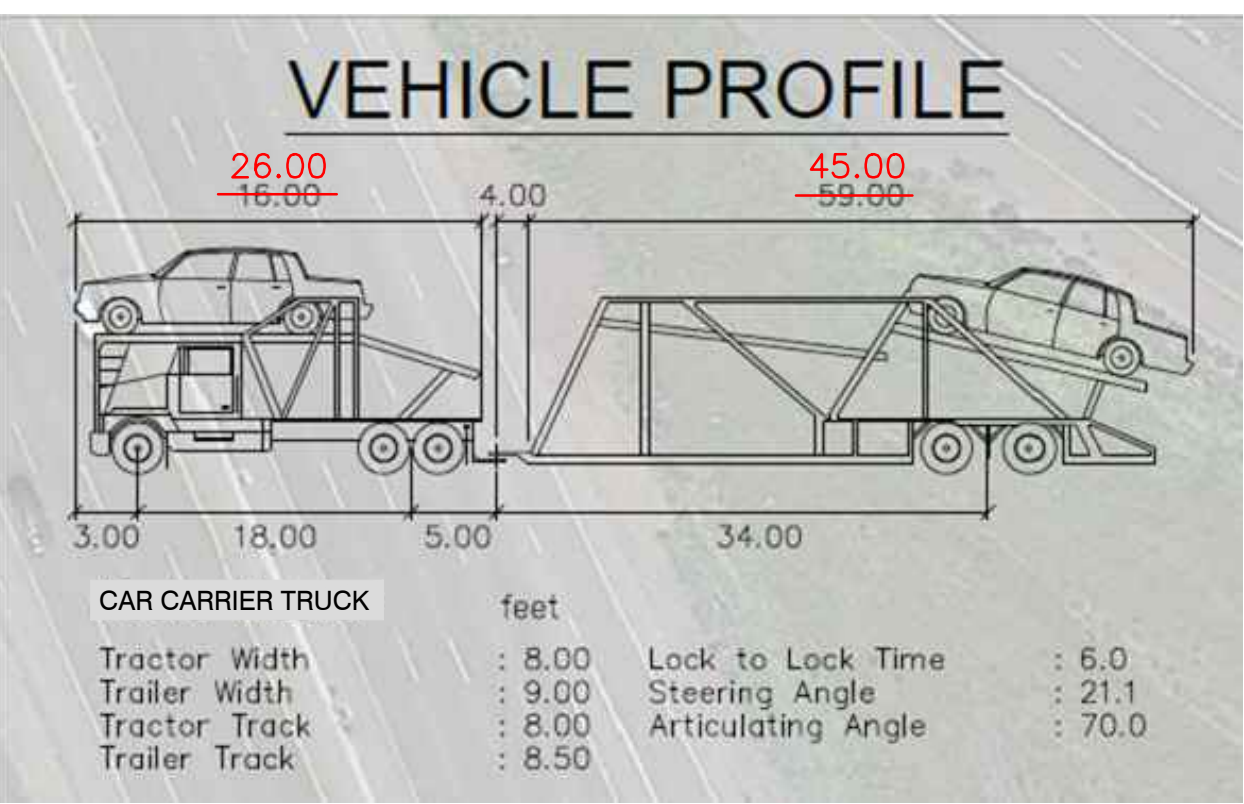
CROSS-ACCESS EASEMENT

EXISTING STORM INLET TO REMAIN

EXISTING WATER SERVICE TO REMAIN

MR. TIRE AUTO SERVICE
3543 WEST HENRIETTA ROAD

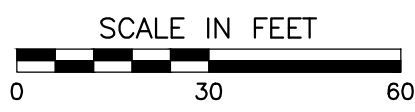
REFERENCE
1. AERIAL PROVIDED BY MICROSOFT BING 2021



ZONING ANALYSIS CHART

ZONING DISTRICT	B-1 BUSINESS DISTRICT		
REQUIRED PERMIT	SPECIAL USE PERMIT		
Zoning Criteria	Required	Existing	Proposed
Minimum Lot Area	Not Specified	154,845± sf (3.35Ac)	No Change
Minimum Lot Width	Not Specified	277 ft	No Change
Building Coverage	Not Specified	52,000± sf	30,000± sf
Minimum Front Setback	125 ft	140± ft	284± ft
Minimum Side Setback	5 ft	35± ft	No Change
Minimum Rear Setback	60 ft	30± ft	No Change
Maximum Building Height	30 ft	25± ft	No Change
Parking Spaces	75	37	162
Accessible Parking Spaces	2	2	4
Parking Stall Criteria	Stall dimensions: 9 ft x 18 ft Use/Category: motor vehicle sales and service Required Parking Calculation: 1 per 400 sf of floor area		

JOHN FRYDRYCH
EOR PE# 101508
*HAND SIGNATURE ON FILE



REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Engineering,
Landscape Architecture and Land Surveying, PLLC
227 S. Main Street
Athens, PA 18810

ARC VISION, INC.
SITE REDEVELOPMENT
3535 W. HENRIETTA ROAD
ROCHESTER, NEW YORK 14623

CONCEPT PLAN
DRAWING NO.:
DATE: JAN 2022
DRAWN BY: MRV
PTB
PROJECT NO.: 318-133
CHECKED BY: 1-30
APPROVED BY: JUF

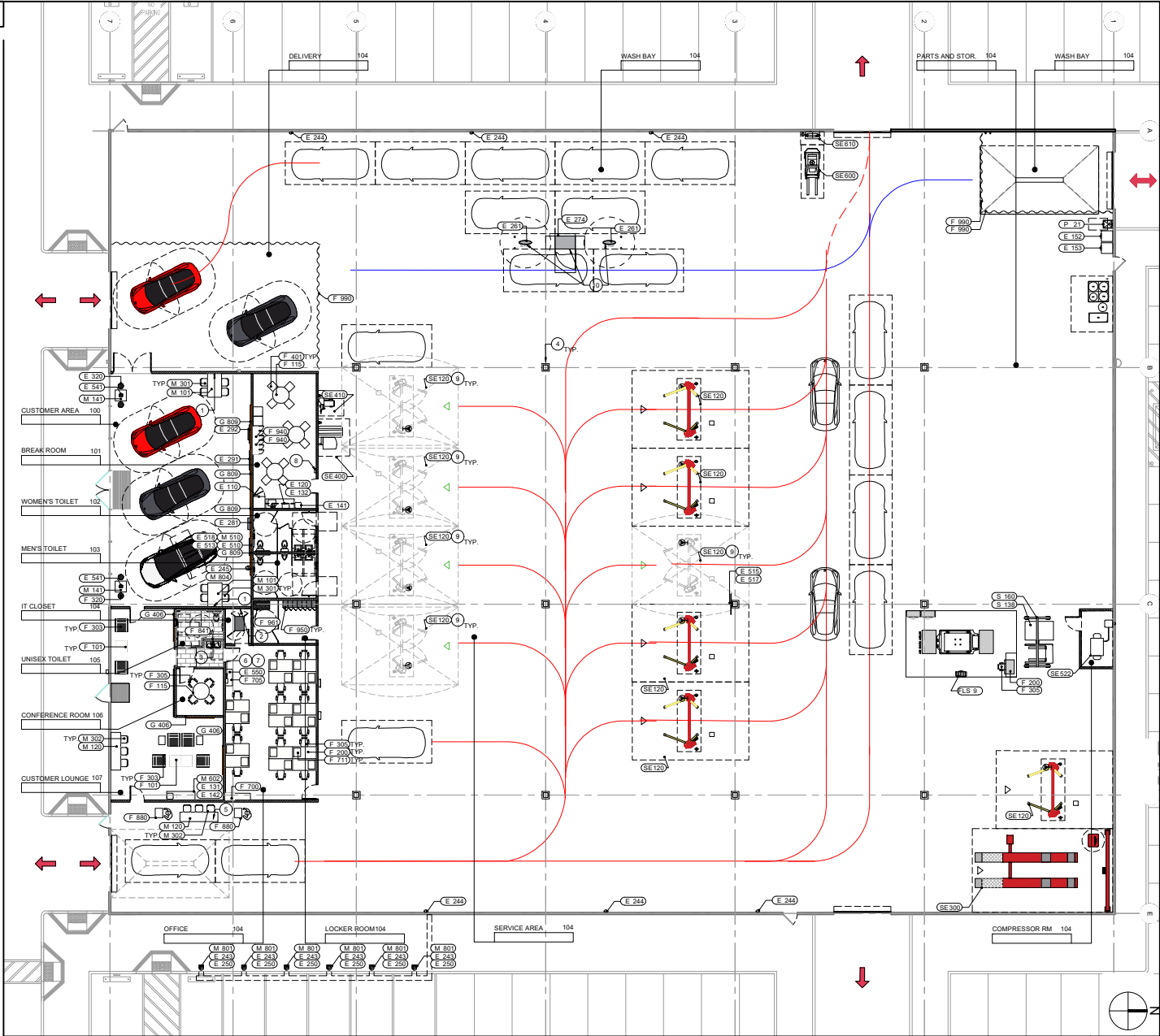
SHEET 1 OF 1
CP01

1:10m-9-91\Projects\310-001\318-133-131-0000\Drawings\CP01-Concept\Plan\CP01.dwg (1/4/2022 - original) - LP: 1/4/2022 1:16 PM



KEY NOTES

- 1 DUPLEX OUTLET (NO DATA REQUIRED)
- 2 ONE 5-20R RECEPTACLE @ +18" A.F.F., SEE ELECTRICAL DRAWING
- 3 FRAME FOR DEALER LICENSES
- 4 FOR COLUMN LESS THAN 12" DIA, INSTALL RED ROUND OR SQUARE PADDING TO 3" H. PAINT COLUMN TO PT-2; FOR COLUMN LARGER THAN 12" DIA, PAINT PT-1 TO DECK, NO PADDING, TYP.
<http://www.arnica.com/connections/pole-pads-and-column-pads/products/6-ball-pole-pad-10-diameter-with-closure>
- 5 PROVIDE CORD MANAGEMENT COVER FOR FLOOR
- 6 VOLUME CONTROL AND AMPLIFIER ON SHELF
- 7 SHELVING ABOVE, PROVIDE DUPLEX OUTLET (2) PER 4' ON SHELF
- 8 TIME CLOCK
- 9 ALL POWERS TO BE TERMINATED WITH 10" WHIP IN J-BOXES ABOVE FUTURE LIFTS, TYP.
- 10 (N) V3 CHARGING CABINET AND (2) CHARGING POST, SEE A8.02b/A8.02c FOR DETAILS. DASHED CIRCLE INDICATES 5'-4 1/2" MAX. REACH OF CHARGING POST.



PROJECT NAME
ADDRESS
CITY, ST ZIP

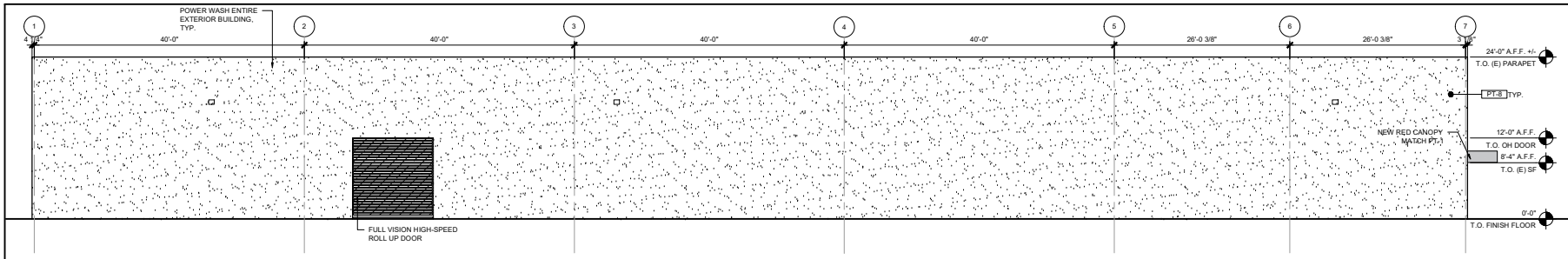
DRAWING TITLE

FURNITURE FIXTURE
EQUIPMENT &
SIGNAGE PLAN

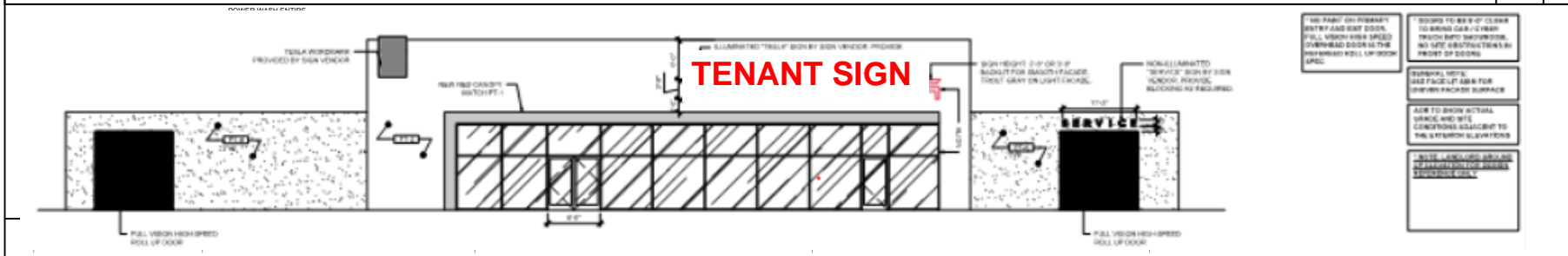
SCALE: AS NOTED

SHEET NUMBER

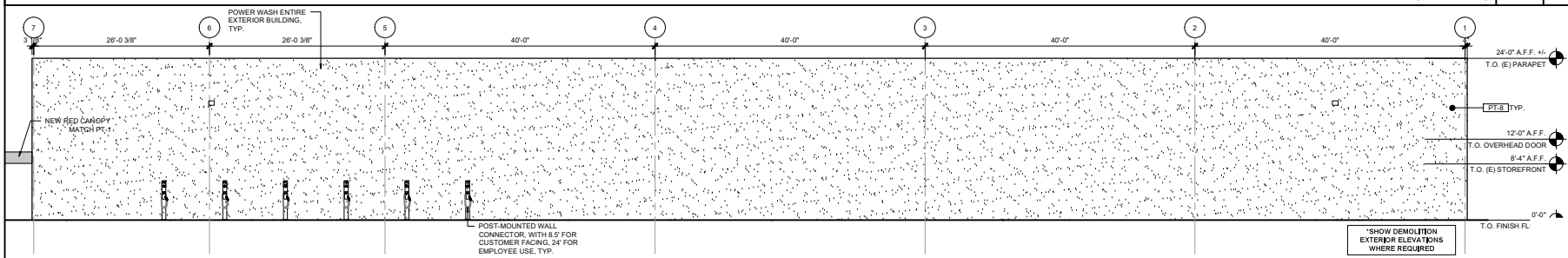
A2.02



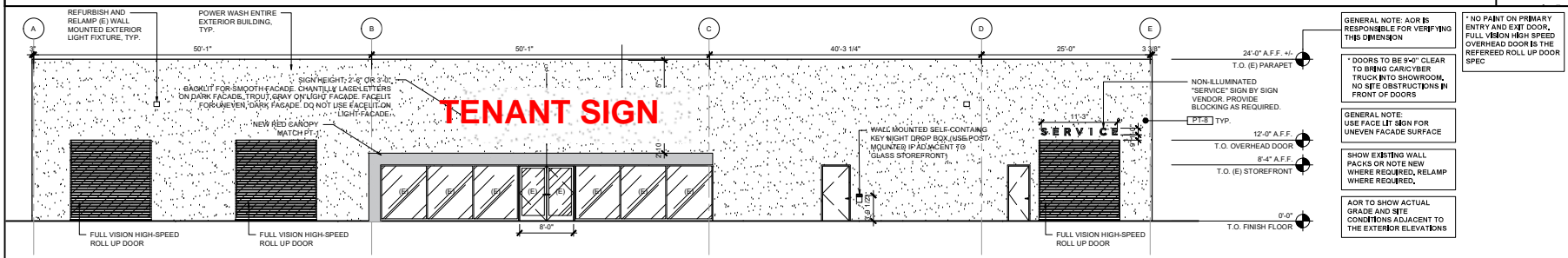
SIDE EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 4



FRONT EXTERIOR ELEVATIONS (OPTION 1) SCALE: 1/8" = 1'-0" 3



SIDE EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 3



FRONT EXTERIOR ELEVATIONS (OPTION 2) SCALE: 1/8" = 1'-0" 1

PROJECT NAME
ADDRESS
CITY, ST ZIP

DRAWING TITLE

EXTERIOR
ELEVATION -
RENOVATION

SCALE: AS NOTED

SHEET NUMBER

A4.01a

