



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: _____

I (we) Benderson Development Comapny, LLC of 1300 Jefferson Road
Name of Applicant / Business Business Address (Number & Street)

Rochester New York 14623 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 1300 Jefferson Road I- Industrial
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: January 2021 Number: _____

DESCRIPTION OF PROPOSAL: _____

Applicant: Benderson Development Comapny, LLC

Address: 570 Delaware Avenue
Buffalo, New York 14202

Phone: 
Email: _____

Property Owner: 1300 JR Associates, LLC

Address: 570 Delaware Avenue

Phone: 
Email: _____

Applicant Signature: 

Engineer/Architect: Pinewoods Engineering, P.C.

Address: 42 Aston Villa
N. Chilli, New York 14514

Phone: 
Email: _____

Business Owner: _____

Address: _____

Phone #: _____
Email: _____

Print Name: Matthew J. Oates

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Benderson Development Comapny, LLC

By: Matthew J. Oates

Title: Director of Engineering

Dated: 08/10/2023

Signed: 

Owner: 1300 JR Associates, LLC

By: Matthew J. Oates

Title: Agent

Dated: 08/10/2023

Signed: 

August 15, 2023

Chris Martin, P.E. – Director of Engineering & Planning
Engineering Department
Town of Henrietta
475 Calkins Road
Henrietta, NY 14467

**Re: 1300 Jefferson Road – Proposed 8,086 SF Medical Office Building
Benderson Development Company LLC
Premises: 1300 Jefferson Road, Henrietta, New York
BDCL Property # 5220**

Dear Mr. Martin:

At this time, Benderson Development Company, LLC (hereinafter “Benderson”) is pleased to be submitting a revised site plan application for a proposed medical office building located at 1300 Jefferson Road as the previously issued site plan approval has expired. In regards to the site plan, please note the following:

- 1) The building square footage has been increased by 738 SF from 7,348 SF to 8,086 SF
- 2) The building dimensions have been modified 96.33’ x 76.33’ to 96.04’ x 80.11’
- 3) The Town Board approved the required Special Use Permit on August 9, 2023

In regards to the proposed application, please find enclosed the following information:

- 1) Civil Engineering plans prepared by Pinewoods Engineering, P.C.
- 2) Architectural Building Elevations prepared by James A. Rumsey, R.A
- 3) Short Environmental Assessment Form
- 4) Town of Henrietta Site Plan Application

If you could please review the proposed application and let us know when we can appear in front of the Planning Board to discuss the project, it would be appreciated. Should you have any questions, please do not hesitate to contact me by phone at (716) 878-9397.

Sincerely,
BENDERSON DEVELOPMENT COMPANY, LLC

Matthew J. Oates, P.E.
Director of Engineering

Enc.

REAL ESTATE SERVICES

DIRECTOR OF LEASING



July 10, 2023

Town of Henrietta
475 Calkins Road
PO Box 999 Henrietta, NY 14467

RE: Special Permit Application dated June 16, 2023 and submitted June 19, 2023 by Benderson Development Company for "University of Rochester Urgent Care" Medical Office Use (BDC# 3834); Premises: 1300 Jefferson.

Dear Sir/Madam:

This letter shall confirm that 1300 JR Associates, LLC has submitted a Special Permit Application for a University of Rochester Urgent Care at 1300 Jefferson Road, and the University is in favor of the application. Accordingly, Matthew J. Oates, P.E., and any other representative from Benderson Development Company, LLC, are authorized to appear on behalf of the University for purposes of submitting and processing the Special Permit application referenced above, and to file such other documents as may be required in connection with this project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael Neiderbach".

Michael Neiderbach, Director of Leasing

cc: Amber Foster, Executive Director, Space Planning and Real Estate, URM
Mark Merry, Director Acquisitions and Regional Development, URM
Mark Wright, Senior Counsel, URM
Greg Feltes, The Cabot Group

135 Corporate Woods, Suite 160
Box 278944, Rochester, NY 14623-1459

[REDACTED] | 585-271-0997 Fax

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed 8K Medical Office Building			
Project Location (describe, and attach a location map): 1300 Jefferson Road, Town of Henrietta, Monroe County			
Brief Description of Proposed Action: The proposed action is a 8,086 SF Medical Office Building outparcel to the existing Residence Inn property in the area of three (3) previously demolished Hotel Pod buildings. The project includes new paving, utilities, drainage. lighting and landscaping improvements.			
Name of Applicant or Sponsor: Benderson Development Company, LLC	Telephone: [REDACTED]	E-Mail: [REDACTED]	
Address: 570 Delaware Ave			
City/PO: Buffalo	State: NY	Zip Code: 14202	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Henrietta - Building Permit; NYSDEC - Wetland Buffer Impact Permit		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.40 acres	
b. Total acreage to be physically disturbed?		_____ 1.40 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 12.14 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Adjacent to a NYSDEC Wetland If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



Revision Schedule			
Revision Number	Issued by	Revision Description	Revision Date

SPECIAL INFORMATION:
 THIS DRAWING PREPARED FOR TENANT IMPROVEMENTS TO AN EXISTING BUILDING OR BUILDINGS CONSTRUCTED BY OTHERS IT IS UNDERSTOOD THAT ANY WARRANTY INFORMATION CONCERNING EQUIPMENT INSTALLED MUST BE FORWARDED TO THE OWNER AND THAT ANY AND ALL CONTRACTORS SHALL GUARANTEE THE WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.

PROPERTY NUMBER: 2941
 AREA: 8086 S.F.

HEALTH & WELLNESS URGENT CARE
 JEFFERSON AVE. HENRIETTA, NY 14623

8K SHELL BUILDING

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 Phone: 8716 886-0211

SEAL

TITLE:
ELEVATION

DRAWN BY: TZ
 CHECKED BY: JM
 DATE: 8/15/2023

DRAWING NO.
A2.0

PROPOSED MEDICAL

1300 Jefferson Road
Town of Henrietta, Monroe County, NY

SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET	8/4/23	12/6/21
C2.0	EXISTING SURVEY		1/29/19
C3.0	EROSION CONTROL & DEMOLITION PLAN	6/21/23	12/6/21
C3.1	EROSION CONTROL DETAILS	6/22/22	12/6/21
C4.0	OVERALL SITE PLAN	8/4/23	12/6/21
C4.1	DETAILED SITE PLAN	8/4/23	12/6/21
C4.2	SITE DETAILS - 1	8/4/23	12/6/21
C5.0	GRADING PLAN	8/4/23	12/6/21
C5.1	DRAINAGE PLAN	8/4/23	12/6/21
C6.0	UTILITY PLAN	8/4/23	12/6/21
C6.1	DRAINAGE & UTILITY DETAILS - 1	6/22/22	12/6/21
C6.2	DRAINAGE & UTILITY DETAILS - 2	8/4/23	12/6/21
C6.3	STORM SEWER PROFILES	6/21/23	12/6/21
C7.0	LANDSCAPE PLAN (BY OTHERS)	8/4/23	12/6/21
C7.1	LANDSCAPE NOTES & DETAILS (BY OTHERS)	6/22/22	12/6/21
C8.0	LIGHTING PLAN	8/4/23	12/6/21

AGENCIES:

PLANNING & ENGINEERING DEPARTMENT
 NAME/TITLE: CHRISTOPHER MARTIN, P.E.
 COMPANY/DEPT: TOWN OF HENRIETTA ENGINEERING DEPARTMENT
 ADDRESS: 475 CALKINS ROAD, ROCHESTER, NY 14623
 PHONE: 585 - 359 - 7070

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
 CONTACT: MATT OATES, P.E.
 PHONE: 716 - 878 - 9397

DIG SAFELY NEW YORK

PHONE: 1 - 800 - 962 - 7962 OR (811)

REFERENCES:

TOPOGRAPHIC SURVEY/EXISTING CONDITIONS
 PREPARED BY: MAGDE LAND SURVEYING, P.C.
 DWG. SET TITLE: SURVEY OF 1300 JEFFERSON ROAD, TOWN OF HENRIETTA
 DATE PREPARED: SEPTEMBER 6, 2018
 LAST REVISED: JANUARY 29, 2019

UTILITIES:

STORY/SANITARY SEWER
 NAME/TITLE: MICHAEL CATALANO
 AGENCY/DEPT: TOWN OF HENRIETTA DEPARTMENT OF PUBLIC WORKS
 ADDRESS: 405 CALKINS ROAD, ROCHESTER, NY 14623
 PHONE: 585 - 359 - 7005

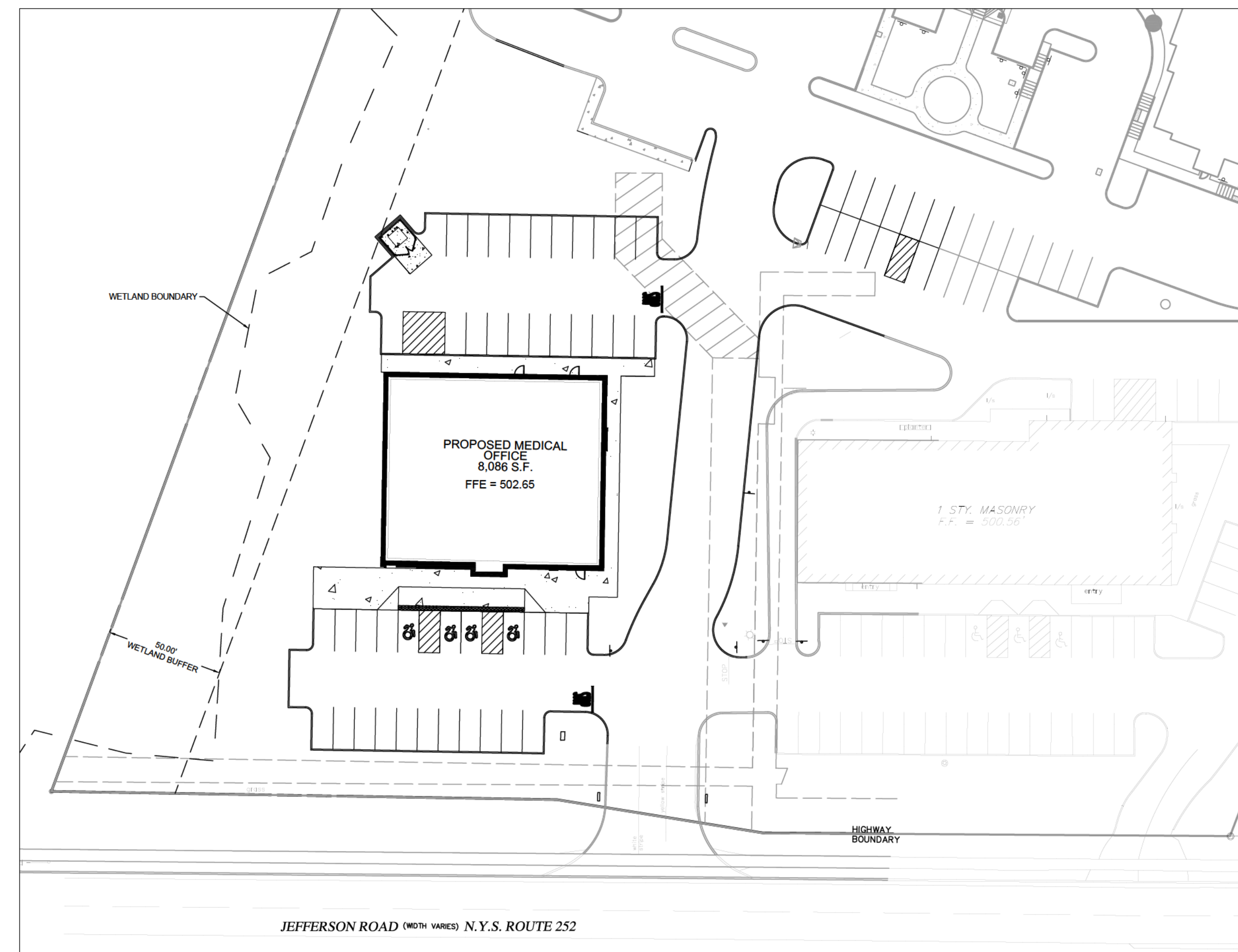
WATER DEPARTMENT
 NAME/TITLE: HEIDI YOUNG
 COMPANY/DEPT: MONROE COUNTY WATER AUTHORITY
 ADDRESS: 475 NORRIS DRIVE, ROCHESTER, NY 14610
 PHONE: 585 - 442 - 2000

NATURAL GAS
 COMPANY/DEPT: ROCHESTER GAS & ELECTIC
 PHONE: 585 - 724 - 8769

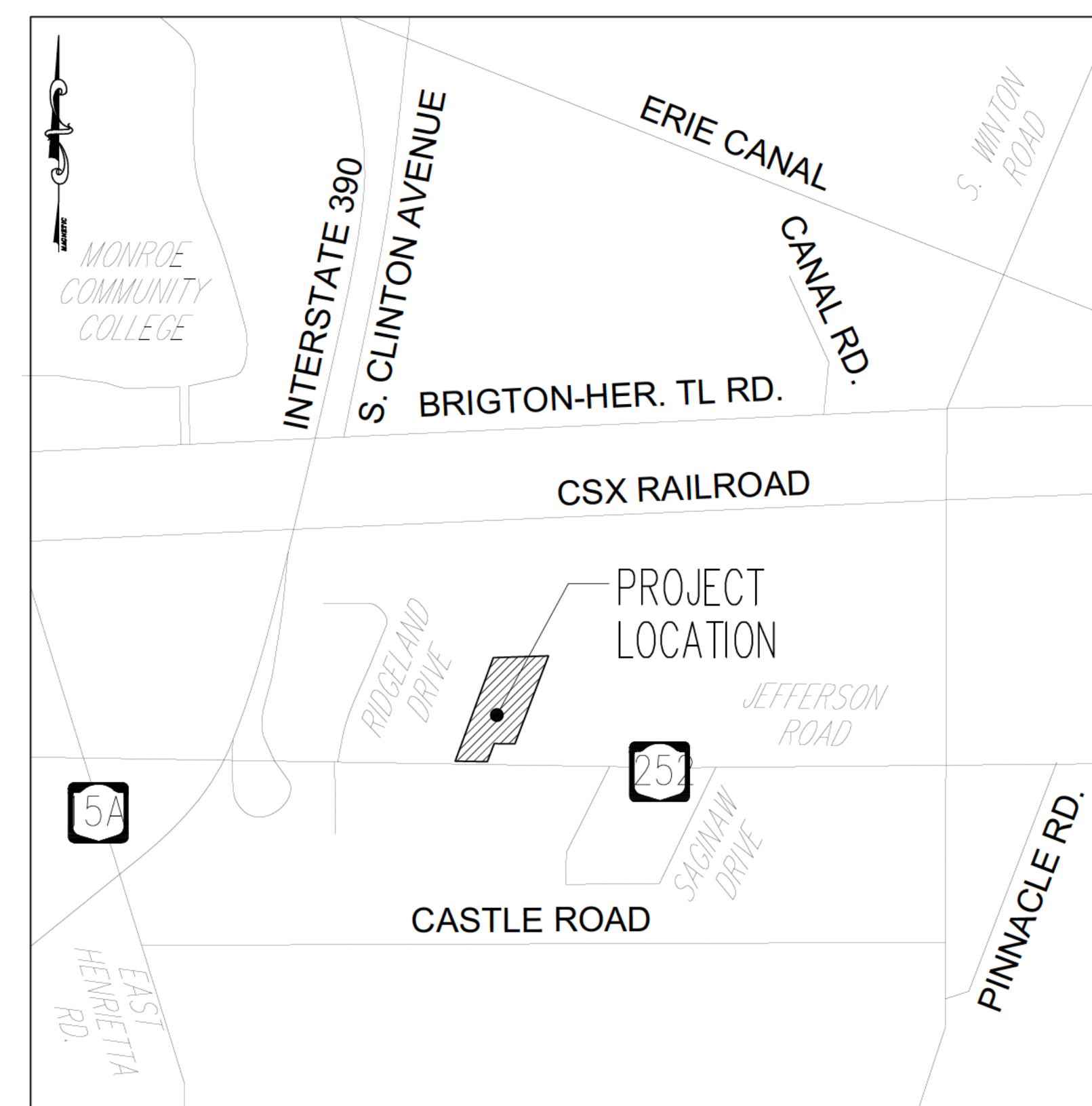
TELEPHONE COMPANY
 COMPANY/DEPT: FRONTIER
 PHONE: 585 - 777 - 1234

ELECTRIC
 COMPANY/DEPT: ROCHESTER GAS & ELECTRIC
 PHONE: 585 - 724 - 8769

CABLE
 COMPANY/DEPT: TIME WARNER CABLE
 PHONE: 585 - 756 - 5000



PROJECT KEY MAP
Scale: 1"=40'



PROJECT LOCATION MAP
NTS

Revisions	No.	Revision/Issue	Date
	6.	REVISIONS PER BENDERSON	8/4/23
	5.	REVISIONS PER BENDERSON	6/21/23
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
	2.	REVISIONS PER BENDERSON	4/14/22
	1.	REVISIONS PER BENDERSON	2/6/22

Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES. AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW
 COPYRIGHT 2021, ALL RIGHTS RESERVED

Applicant

BENDERSON DEVELOPMENT

570 DELAWARE AVE. BUFFALO, NY 14202
 PHONE: (716) 885-0111 FAX: (716) 885-7751
 WWW.BENDERSON.COM

PROJECT NO. 1818

Engineer's Seal

Engineer

PINEWOODS ENGINEERING, P.C.
 www.pinewoodsengineering.com

42 Aston Villa, North Chili, New York 14514
 Phone: (585) 261-7852

Project Name and Address

PROPOSED MEDICAL
 1300 Jefferson Road
 Henrietta, New York 14623

Drawing Name

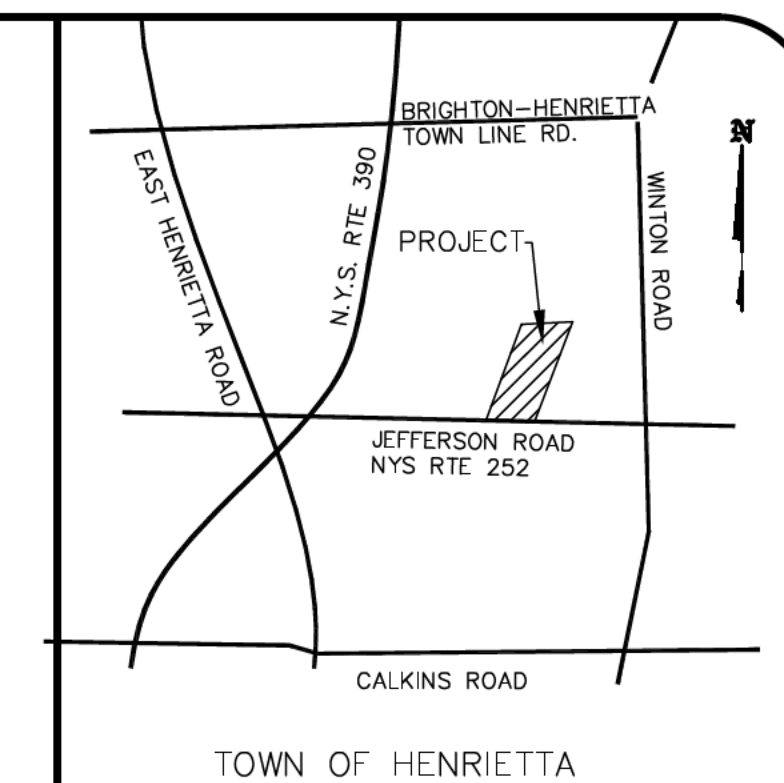
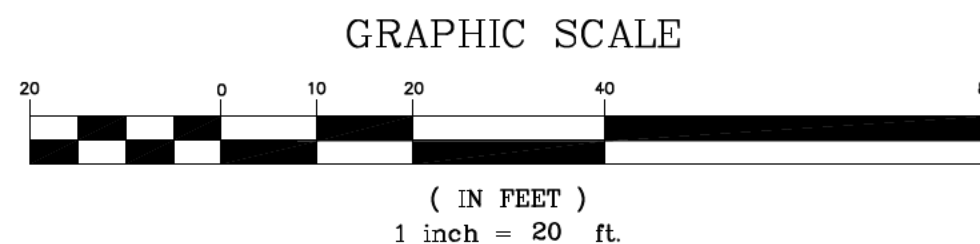
COVER SHEET

Sheet: 1 OF 16
 Title: 12/15/2021
 Scale: AS NOTED

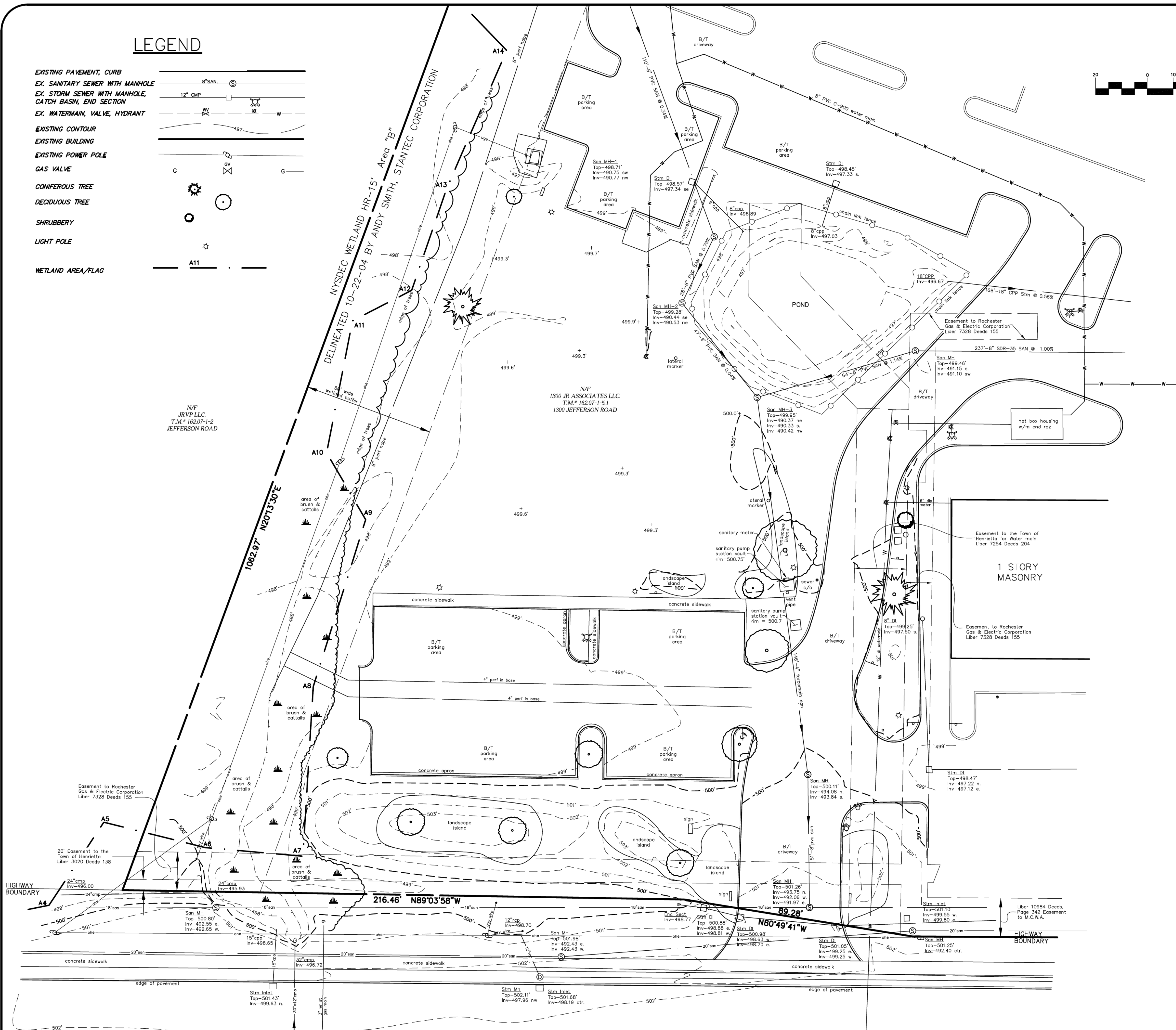
Drawing Number: C-1.0

LEGEND

- EXISTING PAVEMENT, CURB
- EX. SANITARY SEWER WITH MANHOLE
- EX. STORM SEWER WITH MANHOLE, CATCH BASIN, END SECTION
- EX. WATERMAIN, VALVE, HYDRANT
- EXISTING CONTOUR
- EXISTING BUILDING
- EXISTING POWER POLE
- GAS VALVE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUBBERY
- LIGHT POLE
- WETLAND AREA/FLAG



LOCATION SKETCH
N.T.S.



- REFERENCES:
1. 'URGENT CARE 1300 JEFFERSON ROAD - AS-BUILT SURVEY' PREPARED BY COSTICH ENGINEERING BEING DRAWING NO. 4521/VB120 LAST DATED 1/5/2012
 2. '1300 & 1320 JEFFERSON ROAD - SUBDIVISION PLAN' FILED JUNE 13, 2011 AS LIBER 341 OF MAPS PAGE 56
 3. 'RESIDENCE INN - 1300 JEFFERSON ROAD - SITE AS-BUILT MAP' PREPARED BY COSTICH ENGINEERING BEING DRAWING NO. 4521-ASB LAST DATED 8/10/2011
 4. 'THE RESIDENCE INN - UTILITY INN' BEING DRAWING #005.2-03 & #005.2-04 LAST DATED SEPTEMBER, 1987
 5. AUTOCAD DRAWING PROVIDED BY BENDERSON

- SITE DATA:
1. PARCEL ADDRESS: #1300 JEFFERSON ROAD
 2. TAX MAP # 162.07-1-5.1
 3. SETBACKS REQUIRED:
 - FRONT: 125' MINIMUM
 - SIDE: 5' MINIMUM
 - 60' MINIMUM

*NOTE: 100 FEET FRONT SETBACK VARIANCE WAS GRANTED BY ZBA ON 2/23/2011 APPLICATION #11-002

4. MAXIMUM BUILDING HEIGHT: 40'
5. PARCEL IS LOCATED IN
 - EXTENSION 2, HENRIETTA WATER DISTRICT
 - CONSOLIDATED LIGHTING DISTRICT
 - CONSOLIDATED DRAINAGE DISTRICT
 - SANITARY SEWER DISTRICT EXTENSION 187
6. FLOOD ZONES 'X' & 'AE' PER COMMUNITY PANEL 36055C03546 EFFECTIVE DATE: 8/28/2008

SURVEY NOTES:

BEARINGS SHOWN HEREON ARE REFERENCED TO GRID.
DISTANCE SHOWN ARE GROUND. SURVEY WORK FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.

ELEVATIONS SHOWN HEREON ARE NAVD 1988.

WE, MAGDE LAND SURVEYING, P.C., HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON SEPTEMBER 6, 2018 AND FROM THE REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.



Douglas W. Magde
DOUGLAS W. MAGDE, L.S. LIC. #049957

WETLAND LOCATIONS ADDED 1/29/2019

TOPOGRAPHIC SURVEY MAP
PREPARED FOR
1300 JEFFERSON ROAD ROAD
MARRIOTT "RESIDENCE INN"
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

MAGDE LAND SURVEYING, P.C.

4460 CULVER ROAD ** ROCHESTER ** NEW YORK ** 14622
(585) 654-5897 ** (585) 654-6149 (FAX) ** email: dmagde@magdesurveying.com



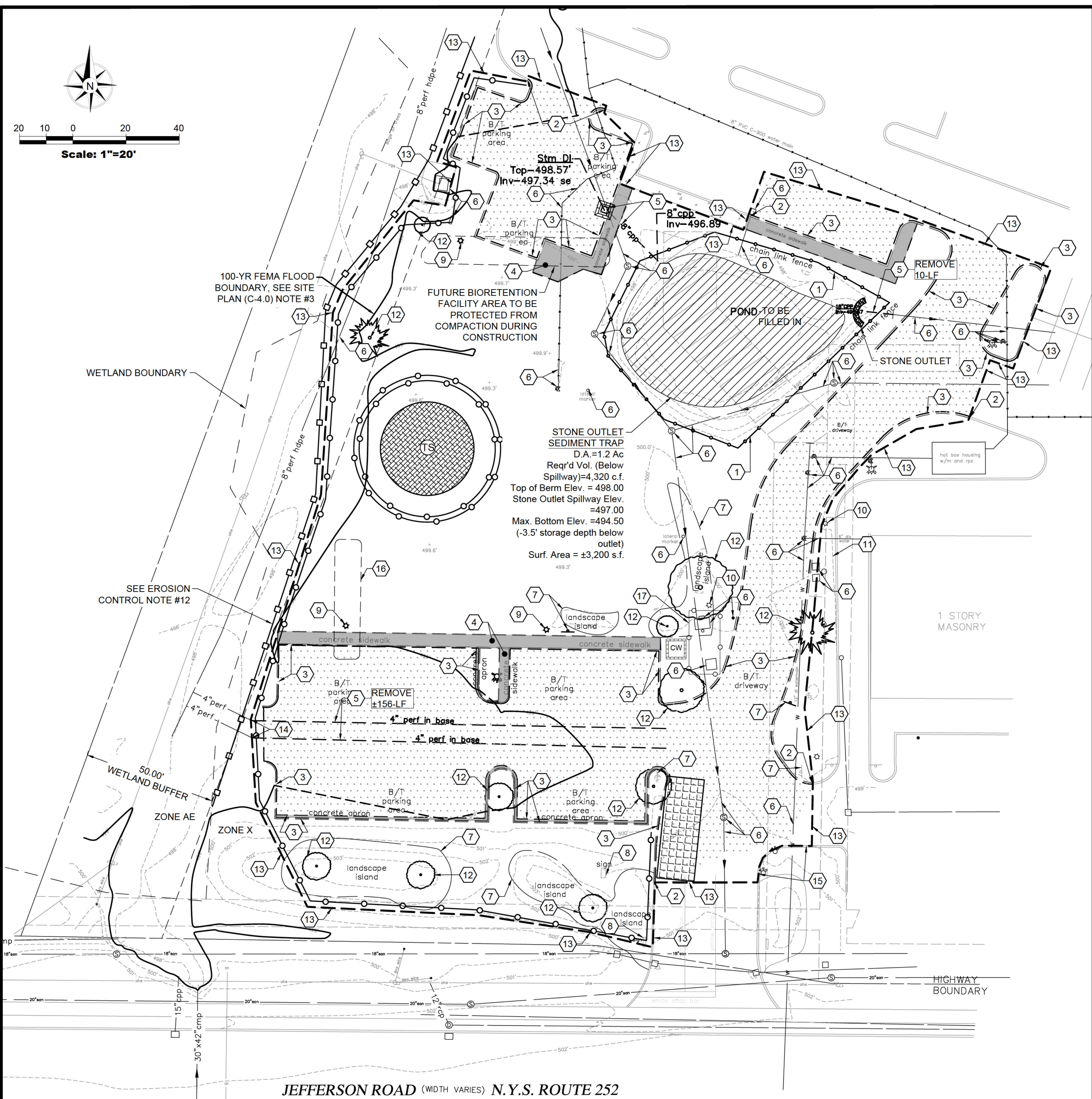
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MAGDE LAND SURVEYING, P.C.
All rights reserved.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7208, subdivision 2, of the New York State Education Law.

Only boundary survey maps with the surveyor's original seal are genuine and correct copies of the surveyor's original work and opinion.

Certifications hereon are not transferable.

The location of underground improvements or encroachments are not shown unless and often must be estimated.



EROSION & SEDIMENT CONTROL NOTES

- PROJECT LIMITS OF DISTURBANCE (AS SHOWN) IS 1.40 ACRES. TOTAL SITE DISTURBANCE IS TO BE KEPT WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS.
- NO EARTH DISTURBING ACTIVITIES ARE TO COMMENCE UNTIL COVERAGE UNDER THE NYSDEC GENERAL PERMIT GP-0-20-001 IS OBTAINED. ANY ADDITIONAL CHANGES TO THE DISTURBANCE AREA WILL REQUIRE AN UPDATE TO THE PERMIT. DISTURBANCE IS NEVER TO EXCEED FIVE (5) ACRES AT A TIME.
- INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
- ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
- THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION, DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
- DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
- ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 6" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, WATER QUALITY UNITS AND DETENTION SYSTEMS. SILT BUILD-UP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM PIPES, WATER QUALITY UNITS OR DETENTION STRUCTURES, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.
- CONTRACTOR IS TO COMPLETE SOIL RESTORATION PRACTICES IN ACCORDANCE WITH THE CHART ON C-3.1.
- CONTRACTOR IS TO USE ORANGE CONSTRUCTION FENCE TO DELINEATE AND PROTECT 50-FT WETLAND BUFFER. ANY WORK WITHIN THE BUFFER WILL REQUIRE PRE-APPROVAL FROM THE NYSDEC.

PHASE I - CONSTRUCTION SEQUENCING FOR EROSION CONTROL

This phase involves preparing the site for the commencement of construction and soil disturbing activities, demolition, topsoil stripping, establishment of staging areas and mass grading. The following erosion and sediment control activities should be completed during this phase:

- Install stabilized construction exit and SWPPP Entrance Sign.
- Install silt fence on the site (clear only those areas necessary to install silt fence).
- Prepare staging and operations area (ie. concrete wash-out, storage containers, trailers, etc.).
- Complete demolition.
- Sediment tracked out of the delineated disturbed area should be removed or cleaned on a daily basis
- Construct Sediment Trap. Begin clearing and grubbing the site. Topsoil storage areas should be seeded as soon as possible.
- Perform rough grading of site including bioretention & planter areas. Avoid using heavy machinery or equipment and compaction of these areas. Protect from siltation during construction. Do not install subsoils and drainage gravel or underdrain until tributary areas are permanently stabilized. Immediately stabilize these areas upon installation of subsoils. These facilities are to remain offline until completely and fully stabilized. If necessary, re-route drainage and install additional silt fence around practices to protect while stabilizing or while upstream areas are disturbed.
- Site Disturbance should never exceed five (5) acres at a time until prior written authorization is obtained from the Town of Henrietta.
- Begin construction of buildings foundations and structures.
- Maintain the temporary sediment and erosion control practices during construction.

Refer to Drawing C-3.1 for Phase II of the Construction Sequence.

- DEMOLITION NOTES LEGEND #**
- REMOVE EXISTING FENCE
 - LIMIT OF CONCRETE CURB REMOVAL
 - EXIST. CONC. CURB/CONCRETE APRON TO BE REMOVED
 - EXISTING CONCRETE SIDEWALK TO BE REMOVED
 - EXISTING UTILITY TO BE REMOVED (R-TYPICAL)
 - EXISTING UTILITY TO REMAIN
 - EXISTING SITE FEATURE TO BE REMOVED
 - EXISTING SITE FEATURE TO REMAIN
 - EXISTING LIGHT POLE - RELOCATION REQUIRED
 - EXISTING LIGHT POLE - TO REMAIN
 - EXISTING TREE/LANDSCAPING TO REMAIN & BE PROTECTED DURING CONSTRUCTION
 - EXISTING TREE TO BE REMOVED
 - LIMIT OF WORK/ASPHALT SAWCUT LINE: N PAVED AREAS/TREE REMOVAL IN WOODS/BRUSH AREA OR REQUIRED ORANGE FENCE DELINEATION
 - PLUG ENDS OF P PE
 - EXISTING CURB TO REMAIN
 - FUTURE PLANTER AREA, PERFORM SO L RESTORATION PRACTICES AFTER DEMOLITION, PROTECT FROM COMPACTION AND SILTATION AFTER SOIL RESTORED.
 - PUMP STATION & VAULT TO BE PROTECTED DURING CONSTRUCTION, SEE DETAIL.

- DEMOLITION & EROSION CONTROL SYMBOLGY LEGEND**
- EXISTING CONCRETE TO BE REMOVED
 - FULL-DEPTH ASPHALT REMOVAL
 - SILT FENCE/SILT SOCK, REFER TO DETAIL
 - STABILIZED CONSTRUCTION ENTRANCE, REFER TO DETAIL
 - LIMITS OF WORK/ASPHALT SAWCUT LINE: N PAVED AREAS
 - TOPSOIL STOCKPILE LOCATION
 - CONCRETE WASHOUT, REFER TO DETAIL
 - INLET PROTECTION, REFER TO DETAIL
 - TEMPORARY CHECK DAM, REFER TO DETAIL
 - ORANGE CONSTRUCTION FENCE, SEE NOTE #12

Revisions	No.	Revision/Issue	Date
	5.	REVISIONS PER BENDERSON	6/21/23
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
	2.	REVISIONS PER BENDERSON	4/14/22
	1.	REVISIONS PER BENDERSON	2/6/22

Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES. AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

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PROJECT NO. 1810

Engineer's Seal

STATE OF NEW YORK
SPRUE LYNN GIBBONS
087296
LICENSED PROFESSIONAL ENGINEER

Engineer

PINEWOODS ENGINEERING, P.C.
www.pinewoodsengineering.com
42 Aston Villa, North Chili, New York 14514
Phone: (585) 261-7852

Project Name and Address

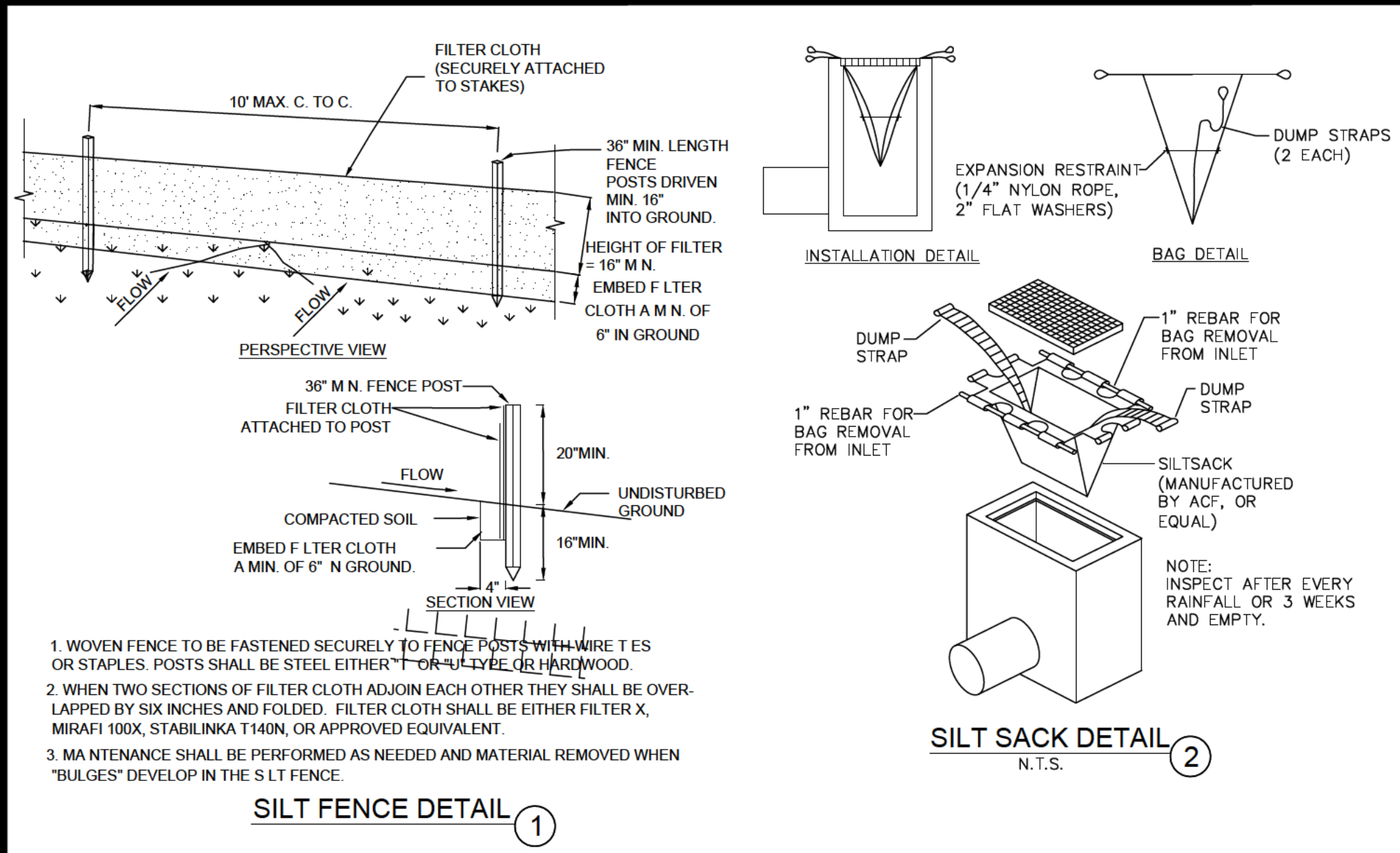
PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

Drawing Name

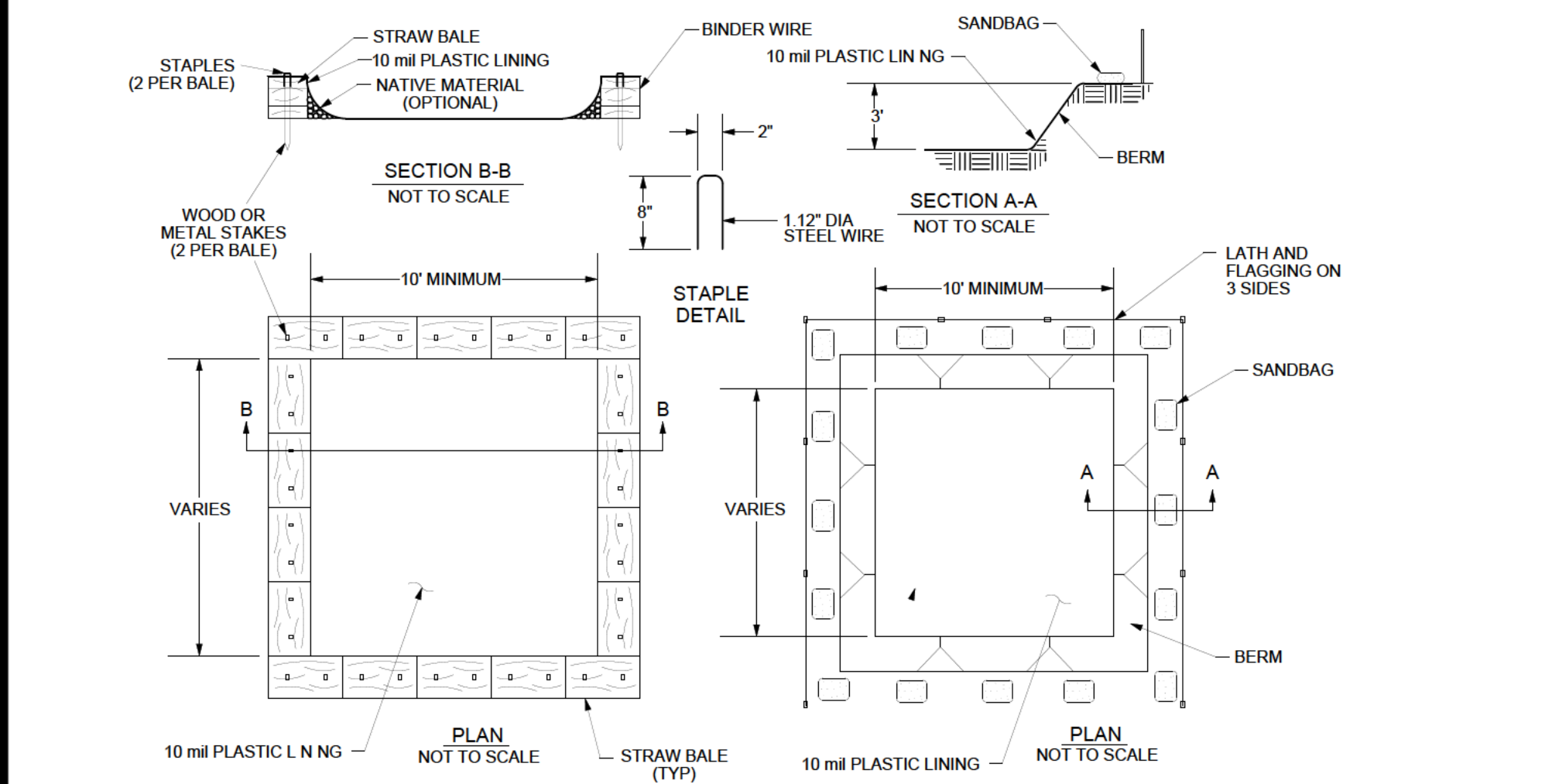
EROSION CONTROL & DEMOLITION PLAN

Sheet	3 OF 16	Drawing Number	
Date	12/15/2021		C-3.0
Scale	1"=30'		

EROSION CONTROL & DEMOLITION PLAN



1. WOVEN FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" DIA. OR HARDWOOD.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRA1 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

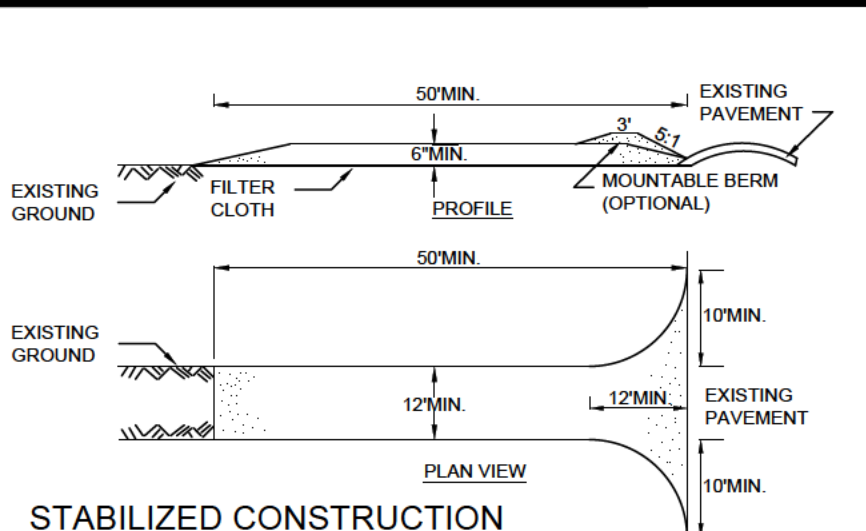


- NOTES**
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
 2. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
 3. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
- CAPACITY**
The washout facility should be sized to contain solids, wash water, and rainfall and sized to allow for the evaporation of the wash water and rainfall. Wash water shall be estimated at 7 gallons per chute and 50 gallons per hopper of the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2 horizontal to 1 vertical.
- LOCATION**
Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.
- MAINTENANCE**
All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip. Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site. Dispose of the hardened material off-site in a construction/demolition landfill. The plastic liner shall be replaced with each cleaning of the washout facility. Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.

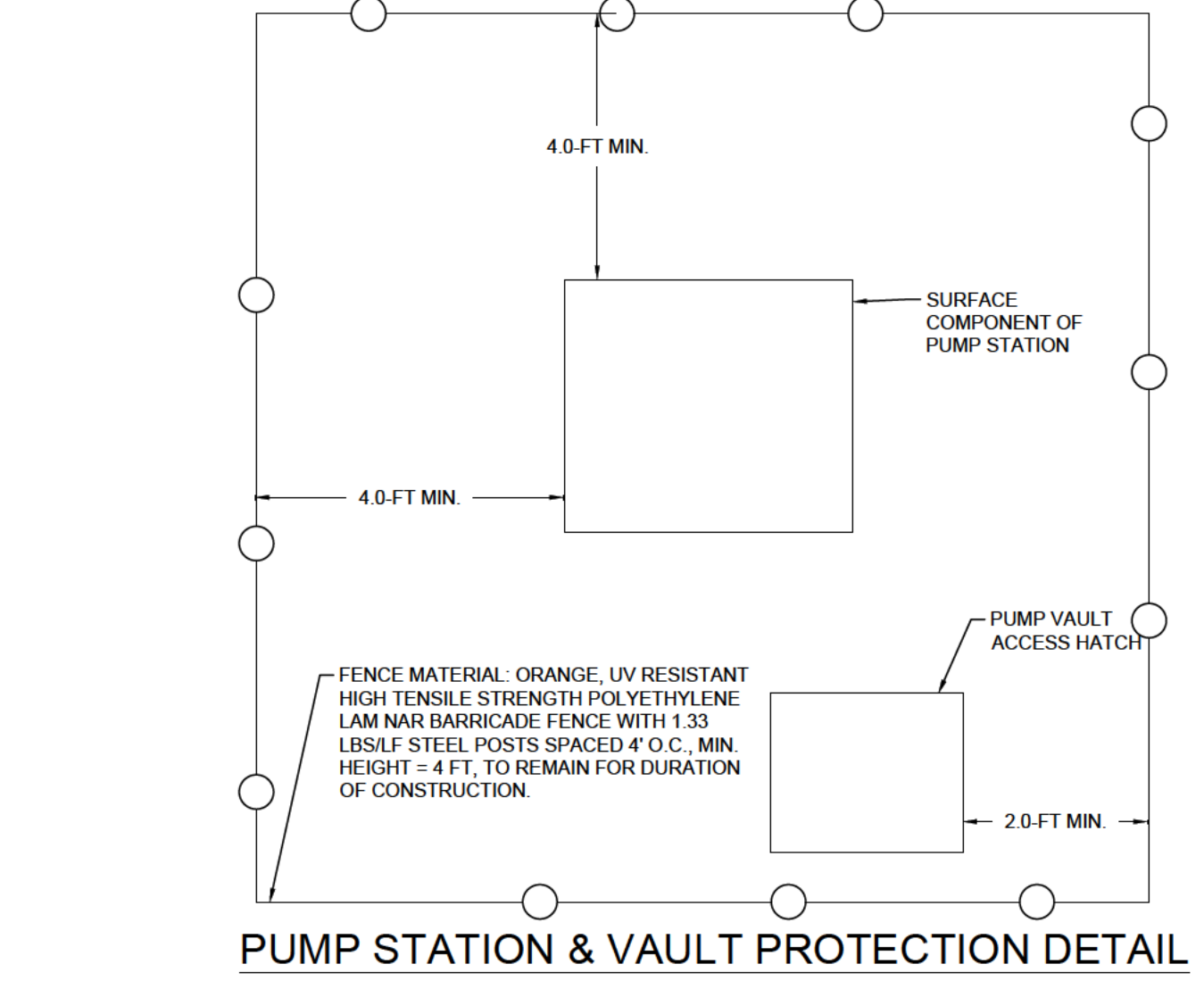
PHASE II - CONSTRUCTION SEQUENCING FOR EROSION CONTROL

This phase involves storm sewer and utility installation, building and site amenity construction, paving, fine grading and project completion. The following erosion and sediment control activities should be completed during this phase:

1. Temporary seed, throughout construction denuded areas that will be inactive for 7 days or more.
2. Install new storm sewer system, utilities, underdrains, curbs and gutters. Concurrent with installation install outlet (rip rap) protection for new storm sewer structures. Install silt fence inlet protection. Inlet protection to remain in-place until surrounding areas are fully stabilized with vegetation or complete subbase compaction.
3. Prepare site for paving. Remove silt fence inlet protection on future pavement areas and install silt fence on future pervious areas as necessary.
4. During building and site amenities construction monitor BMP's. Check stabilized construction entrance for required maintenance to maintain conformity with requirements, monitor stabilizing areas and encourage growth as necessary with watering, hay cover, etc. Control dust, garbage, material stockpiles, and other potential sources of pollutants that may leave the site.
5. Pave site, install bioretention & planter subsurface profiles, permanently landscape or seed and topsoil disturbed areas. Block bioretention's outfall or use sediment control measure on outfall until this area is fully stabilized. Remove construction entrance when necessary for paving. Wash down vehicle wheels as necessary to prevent sediment from being tracked offsite. Use clean wash water (solvent free) and capture water and direct to a sediment capturing practice.
6. Perform soil restoration practices as necessary.
7. All erosion and sediment control features shall be maintained until establishment of a substantial stand of grass (80% uniform density across all pervious areas)
8. Remove temporary sediment control practices including silt fence and inlet protection. Restore lawn area to original condition.

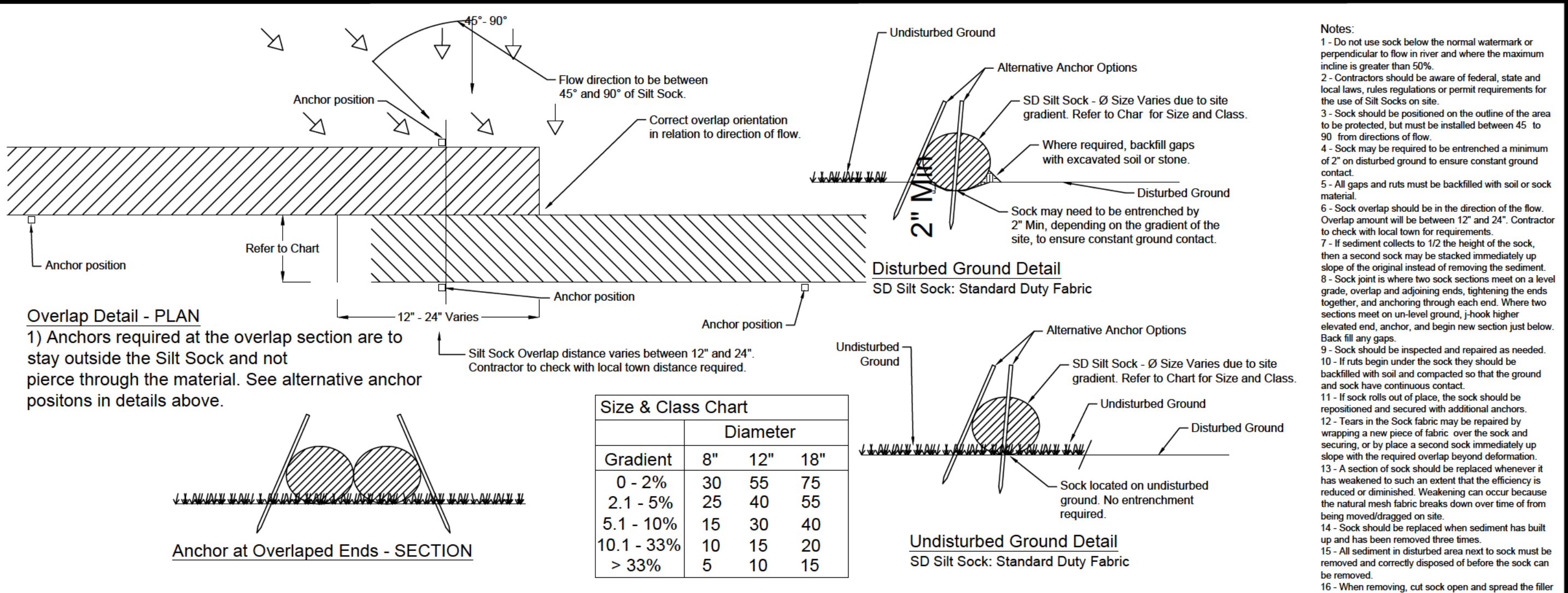


- NOT TO SCALE**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 1:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



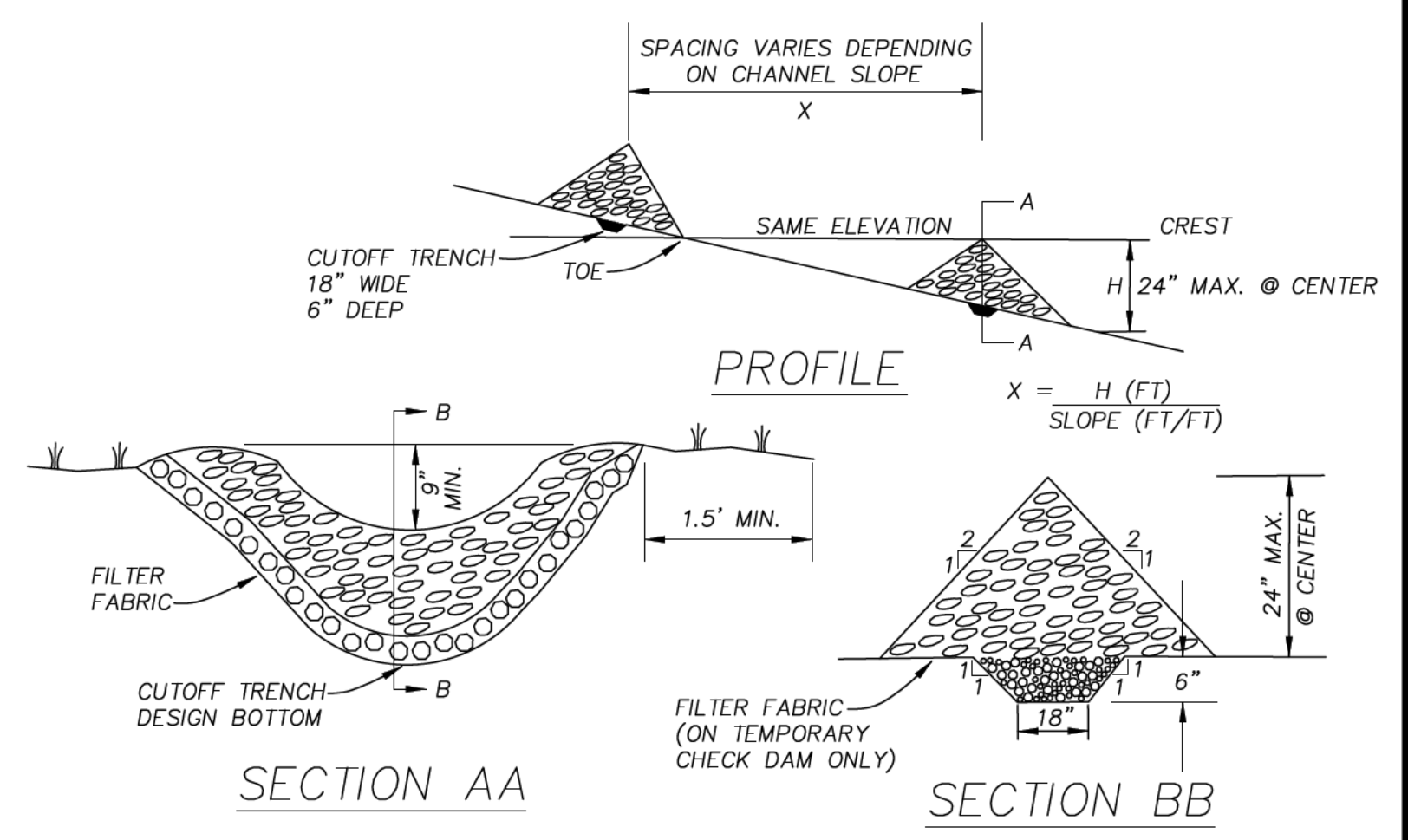
SOIL RESTORATION REQUIREMENTS

TYPE OF SOIL DISTURBANCE	RESTORATION REQUIREMENTS	COMMENTS
MINIMAL SOIL DISTURBANCE	NOT REQUIRED	CLEARING & GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A&B: APPLY 6" OF TOPSOIL HSG C&D: AERATE AND APPLY 6" OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES.
AREAS OF CUT OR FILL	HSG A&B: AERATE & APPLY 6" OF TOPSOIL HSG C&D: APPLY FULL SOIL RESTORATION	
HEAVY TRAFFIC AREAS (ESPECIALLY 5-25FT AROUND BLDG BUT NOT WITHIN A 5 FT PERIMETER OF FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION & COMPOST ENHANCEMENT)	
AREAS WHERE INFILTRATION PRACTICES ARE APPLIED	RESTORE SOIL AS REQUIRED	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA.
REDEVELOPMENT PROJECTS	REQUIRED IN AREAS WHERE EXIST. IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREAS.	

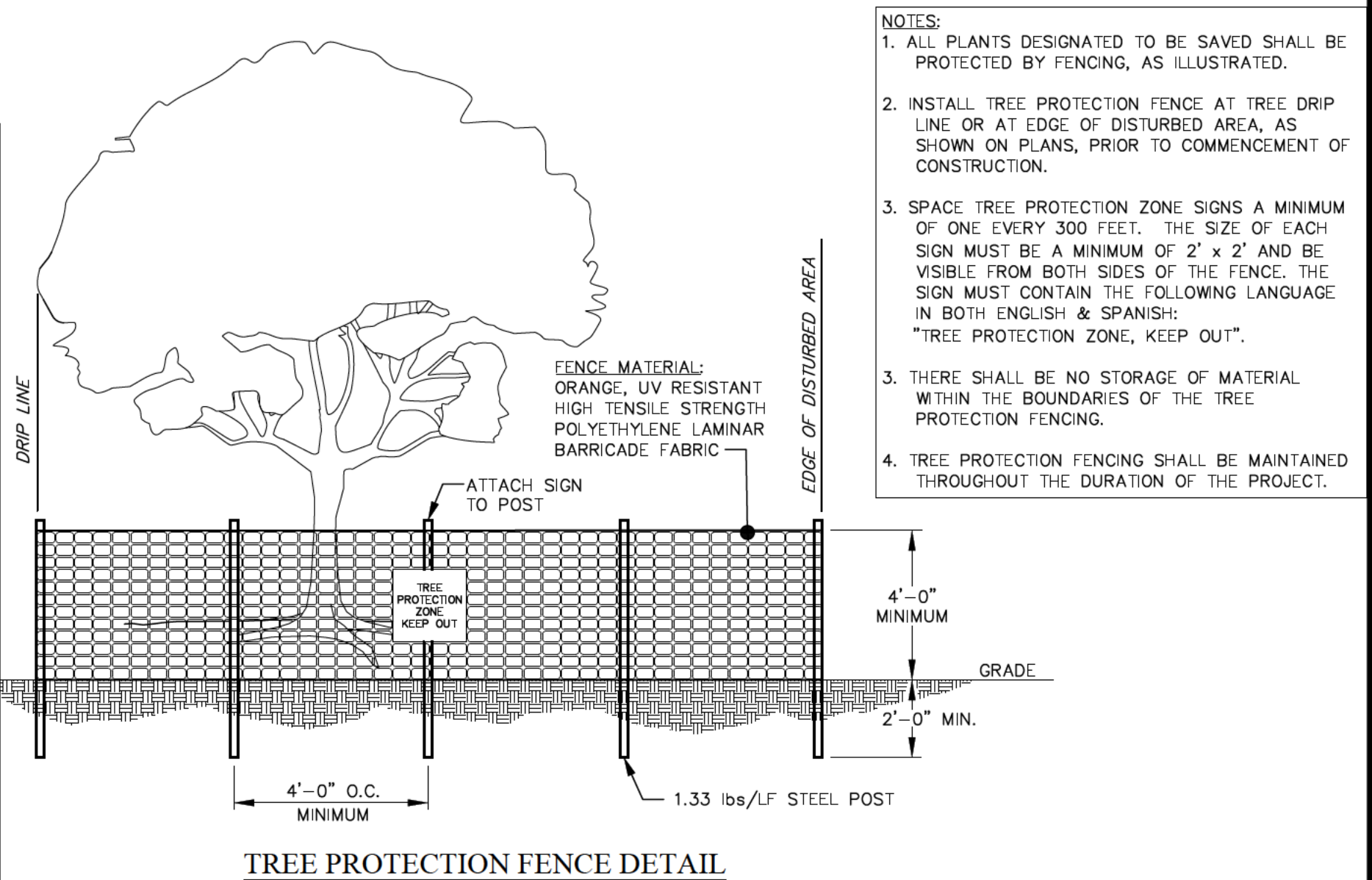


SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric



- CONSTRUCTION SPECIFICATIONS:**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.



- NOTES:**
1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

Revisions	Revision/Issue	Date
4.	REVISIONS PER TOWN REVIEW	6/22/22
3.	REVISIONS PER BENDERSON	5/11/22
2.	REVISIONS PER BENDERSON	4/14/22
1.	REVISIONS PER BENDERSON	2/6/22
No.	Revision/Issue	Date

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PROJECT NO. 1910

Engineer's Seal

STATE OF NEW YORK
SPRING LYNN GIBBONS
087298
PROFESSIONAL ENGINEER

Engineer

PINWOODS ENGINEERING, P.C.

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Project Name and Address

PROPOSED MEDICAL

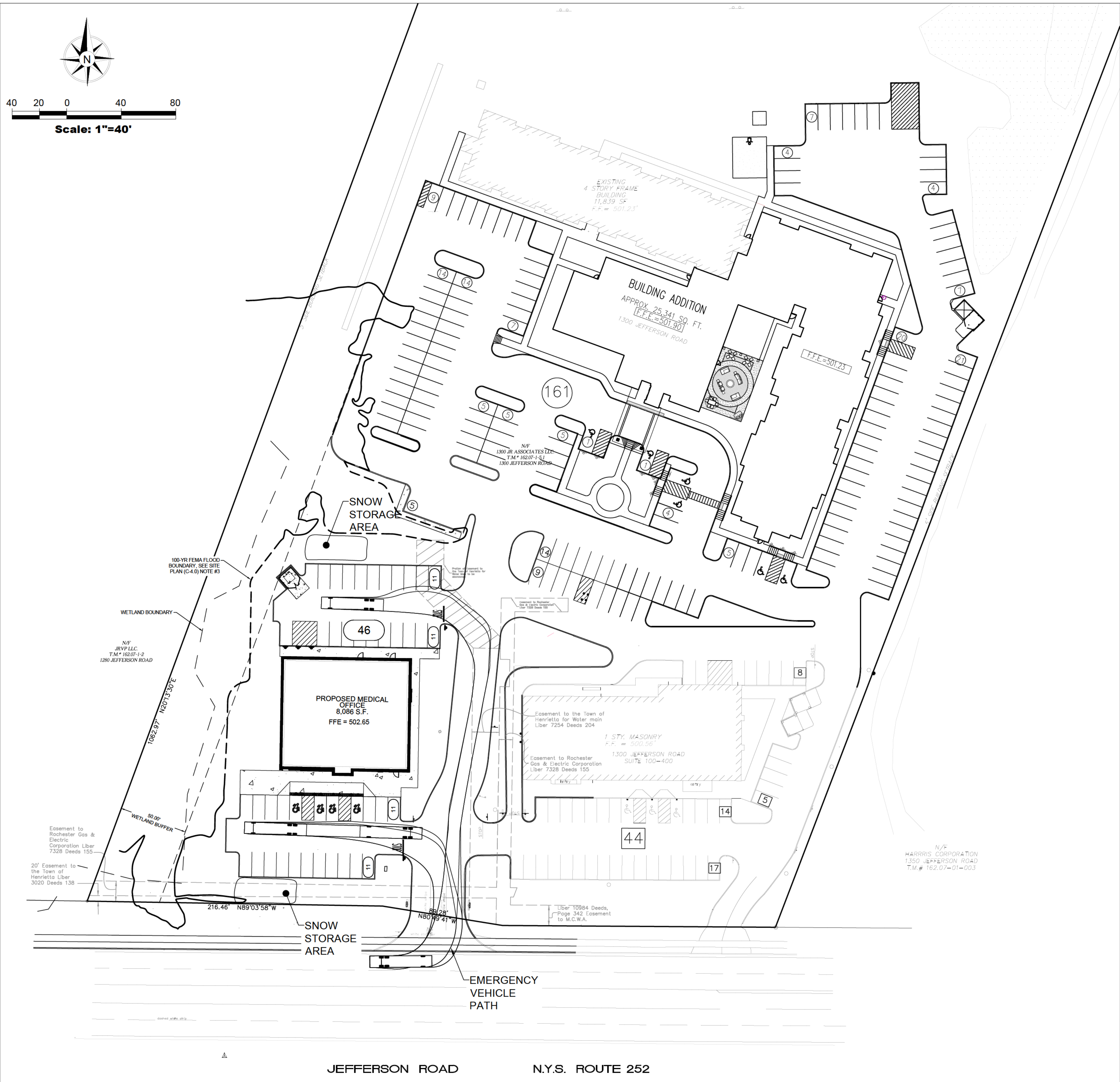
1300 Jefferson Road
Henrietta, New York 14623

Drawing Name

EROSION CONTROL DETAILS

Sheet: 4 OF 16
Date: 12/15/2021
Scale: AS NOTED

Drawing Number: C-3.1



OVERALL SITE PLAN

GENERAL NOTES (APPLICABLE TO ALL DRAWINGS IN SET)

- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
- BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
- SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
- CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - POLYSEAL WB-15 NON YELLOWING X2 COATS REQUIRED (SECOND COAT AT END OF CONSTRUCTION PROJECT).
 - EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE WR MEADOWS CS 309-25 NON YELLOWING ACRYLIC - X2 COATS REQUIRED (SECOND COAT AT END OF CONSTRUCTION PROJECT).
- AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLORS, TEXTURE AND FINISH OF THE BUILDING AS DEPICTED IN THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD, SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL BY THE PLANNING BOARD.
- A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING TIE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

PARKING COUNT ANALYSIS			
USE	CODE	REQUIRED	PROPOSED
HOTEL	1 SPACE / ROOM ¹	140 (6 ADA) ¹	161 (6 ADA)
MEDICAL	1 SPACE / 200 SF ²	70 (3 ADA)	74 (5 ADA)
FAST FOOD	1 SPACE / 120 SF ³	7 (1 ADA)	8 ¹ (1 ADA)
OFFICE/RETAIL	1 SPACE / 300 SF ⁴	10 (1 ADA)	6 ¹ (1 ADA)
TOTAL		227 SPACES (7 ADA)	249 SPACES (13 ADA)

¹ REFERENCE: SITE PLANS PREPARED BY T.Y. LIN INTERNATIONAL (TYLI), DATED 2014
² REFERENCE: TYLI EXISTING MEDICAL=7,826 SF, NEW MEDICAL=6,204 SF, TOTAL=13,830 SF
³ 840 SF FLOOR AREA FROM REF. TYLI = 7 SPACES
⁴ 1,093 SF FLOOR AREA FROM REF. TYLI, NEW RETAIL/OFFICE=1,882 SF, TOTAL=2,975 SF

SITE NOTES

- TAX ACCOUNT NO. 162.07-1-5.1
- PARCEL IS LOCATED IN:
 - HENRIETTA CONSOLIDATED DRAINAGE DISTRICT
 - EXTENSION #2 TO THE HENRIETTA WATER DISTRICT
 - HENRIETTA CONSOLIDATED LIGHTING DISTRICT
 - EXTENSION #187 TO THE HENRIETTA SEWER DISTRICT
- LOCATED IN FLOOD ZONES 'X' AND 'AE' PER COMMUNITY PANEL 36055C0353G EFFECTIVE DATE 8/28/2008 AE FLOOD ZONE BASE ELEVATION FOR THIS SITE IS 499.0 (NAVD 88). THIS PROJECT IS BASED ON NAVD 1929 THEREFORE THE FLOOD ELEVATION IS 499.6. 100-YR FLOOD BOUNDARY FROM FEMA NATIONAL FLOOD HAZARD LAYER (NFHL).

TOWN APPROVALS	
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING & PLANNING	DATE
DIRECTOR OF BUILDING & FIRE PREVENTION	DATE
FIRE MARSHAL	DATE
COMMISSIONER OF PUBLIC WORKS	DATE

Revisions	No.	Revision/Issue	Date
	6.	REVISIONS PER BENDERSON	8/4/23
	5.	REVISIONS PER BENDERSON	6/21/23
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
	2.	REVISIONS PER BENDERSON	4/14/22
	1.	REVISIONS PER BENDERSON	2/6/22

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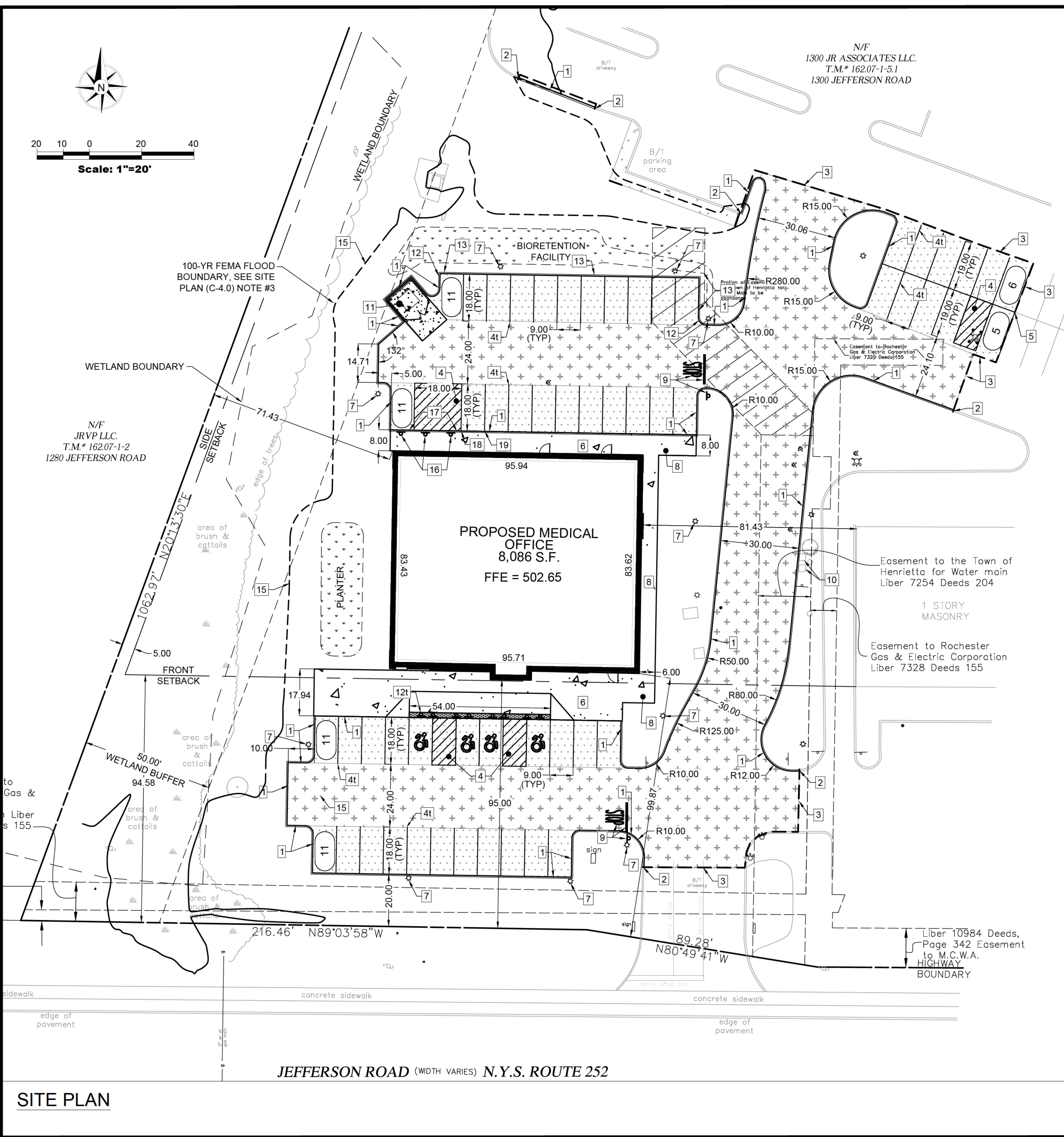
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42 Aston Villa, North Chili, New York 14514
 Phone: (585) 261-7852

Project Name and Address

PROPOSED MEDICAL
 1300 Jefferson Road
 Henrietta, New York 14623

Drawing Name	
OVERALL SITE PLAN	
Sheet	Drawing Number
5 OF 16	C-4.0
Date	Scale
12/15/2021	1"=40'



- SITE NOTES LEGEND #**
- 1 PROPOSED 6" CONCRETE CURB-INTEGRAL CURB, SEE DETAIL
 - 2 MATCH INTO EXISTING CURB
 - 3 MATCH INTO EXISTING PAVEMENT - REFER TO TRANSITION DETAIL
 - 4 PROPOSED 4" YELLOW PAVEMENT STRIPE (@ 2'-C-C IN NO PARK NG ZONES) (TYPICAL)
 - 5 TIE-INTO EXISTING PAVEMENT STRIPE
 - 6 PROPOSED CONCRETE PAVEMENT, SEE BUILDING AND SIDEWALK DETAIL
 - 7 NEW/RELOCATED LIGHT POLE BASE, SEE DETAIL
 - 8 CONCRETE SIDEWALK
 - 9 PROPOSED STOP BAR PAVEMENT MARKINGS AND STOP SIGN, SEE DETAILS
 - 10 PROTECT EXISTING AC UNITS AND CONCRETE PADS
 - 11 DUMPSTER ENCLOSURE, SEE DETAIL
 - 12 ADA SIGNAGE (TYPICAL) SEE DETAIL
 - 13 FLUSH CURB
 - 14 TRANSITION CURB FROM 6" TO FLUSH OVER 2-FT
 - 15 FEMA 100-YR FLOODPLAIN BOUNDARY
 - 16 6" BOLLARD WITH "NO PARKING" SIGN, SEE DETAIL
 - 17 FLUSH CURB
 - 18 START CURB TRANSITION TO 6" REVEAL
 - 19 END CURB TRANSITION WITH 6" REVEAL
- *ALL CURB RADII TO BE 3 FT. UNLESS OTHERWISE NOTED
REFER TO SURVEY FOR EXISTING FEATURES LEGEND

- SITE SYMBOLOGY LEGEND**
- PROPERTY LINE OF DEVELOPMENT PARCEL
 - PROPOSED BUILDING
 - NEW 6" CONCRETE CURB (TYPICAL)
 - NEW PARKING STRIPE
 - BUILDING SETBACK/YARD REQUIREMENTS
 - PROPOSED SITE SIGNS
 - PROPOSED/RELOCATED LIGHT POLE
 - 9-FT WIDE SPACE PARKING ROW STALL COUNT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED FULL-DEPTH STANDARD DUTY ASPHALT PAVEMENT
 - PROPOSED FULL-DEPTH HEAVY DUTY ASPHALT PAVEMENT
 - PROPOSED BIORETENTION AREA
 - LAWN/LANDSCAPE AREA

TOWN OF HENRIETTA, NY ZONING ANALYSIS

TAX ACCOUNT NUMBER: 162.07-1-5.1
TOWN LOT 3 OF THE 2ND RANGE OF LOTS, TOWNSHIP 12, RANGE 7 OF THE PHELPS & GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK
PARCEL AREA: 12.10 AC (528,829 S.F.)
ZONED: I - INDUSTRIAL

ZONING REQUIREMENTS	REQUIRED	PROVIDED
MAX. BLDG. / LOT COVERAGE	N/A	11% ¹
MAX. BLDG. HT.	40-FT	<40-FT
BUILDING SETBACKS:		
FRONT	95.00 FT	95.00 FT
SIDE	5 FT	71.43 FT
REAR	60 FT	±376 FT
PARKING SETBACKS:		
FRONT	25 FT	20 FT
SIDE	N/A	N/A
REAR	N/A	32.88 FT
PARKING STALL SIZE (90°):		
	9' X 18'	9'x18' (NEW) 9'x19' (EXIST/REPLACE)

¹ TOTAL BUILDING COVERAGE IS ±55,619 S.F. - BASED ON 37,180 S.F. FOR RESIDENCE INN BLDG. FROM PLANS PREPARED BY T.Y. LIN INTERNATIONAL (TYLI), DATED 2014, 10,353 S.F. FOR URGENT CARE BLDG. FROM SURVEY INCLUDED IN TYLI PLAN SET; 8,086 S.F. FOR PROPOSED BUILDING (6,204 S.F. MEDICAL AND 1,882 S.F. RETAIL).

GREEN SPACE SUMMARY
EXISTING: 8.27-AC (68.2%) - (REF. TYLI PLANS)
PROPOSED: 7.40-AC (61.2%)

- SITE PLAN REFERENCES:**
1. WETLAND DELINEATION BY ENVIRONMENTAL RESOURCES, LLC, PER BENDERSON DEVELOPMENT COMPANY, LLC.
 2. FLOODPLAIN BOUNDARY PER FEMA, NFHL DATED 12/16/2021.
- SITE PLAN NOTE:**
1. AN ELEVATION CERTIFICATE WILL BE REQUIRED FOR THE BUILDING.
 2. A FLOODPLAIN DEVELOPMENT PERMIT WILL BE REQUIRED.

TOWN APPROVALS

PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING & PLANNING	DATE
DIRECTOR OF BUILDING & FIRE PREVENTION	DATE
FIRE MARSHAL	DATE
COMMISSIONER OF PUBLIC WORKS	DATE

Revisions	No	Revision/Issue	Date
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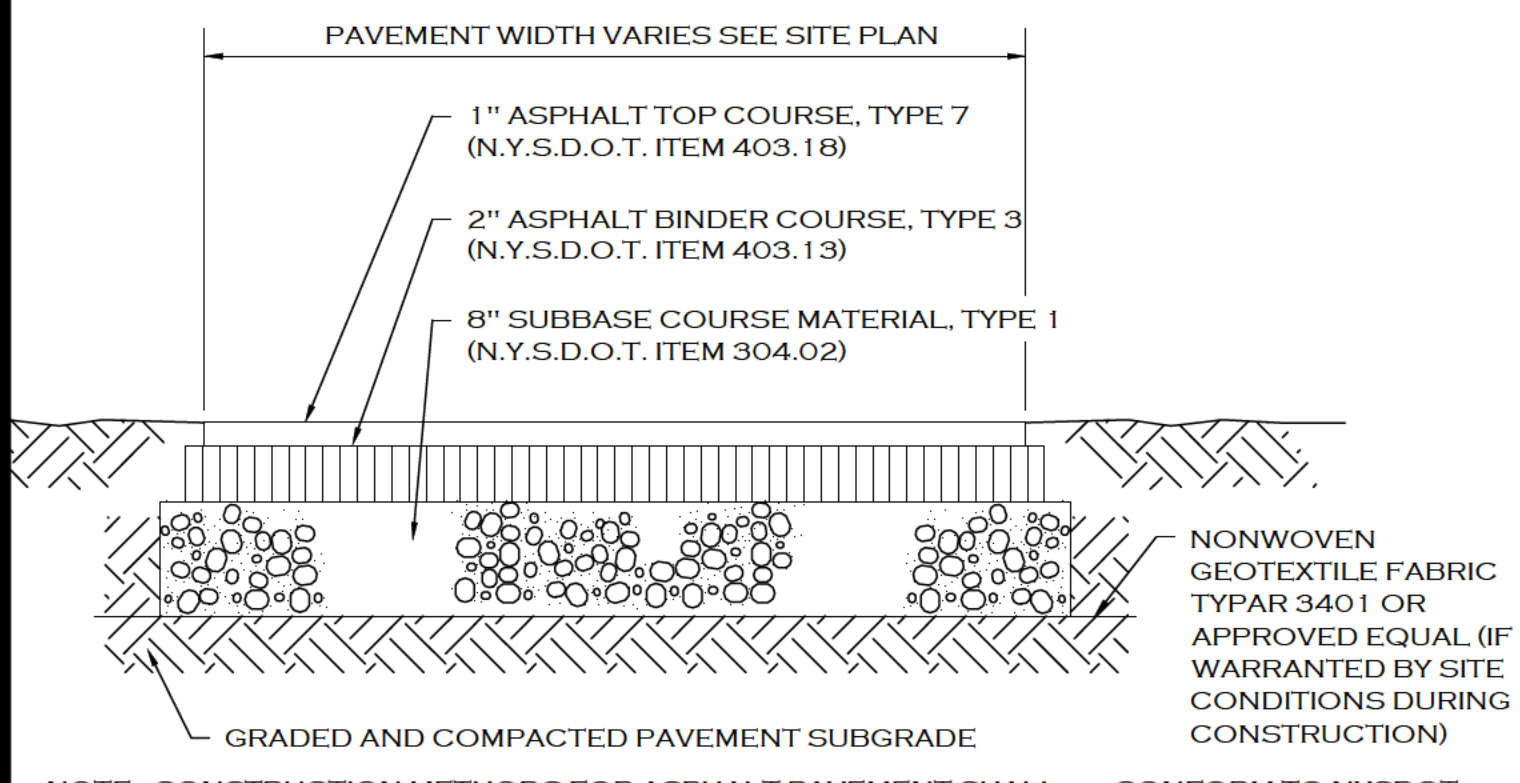
Drawing Name

DETAILED SITE PLAN

Sheet	6 OF 16	Drawing Number	C-4.1
Date	12/15/2021		
Scale	1"=20'		

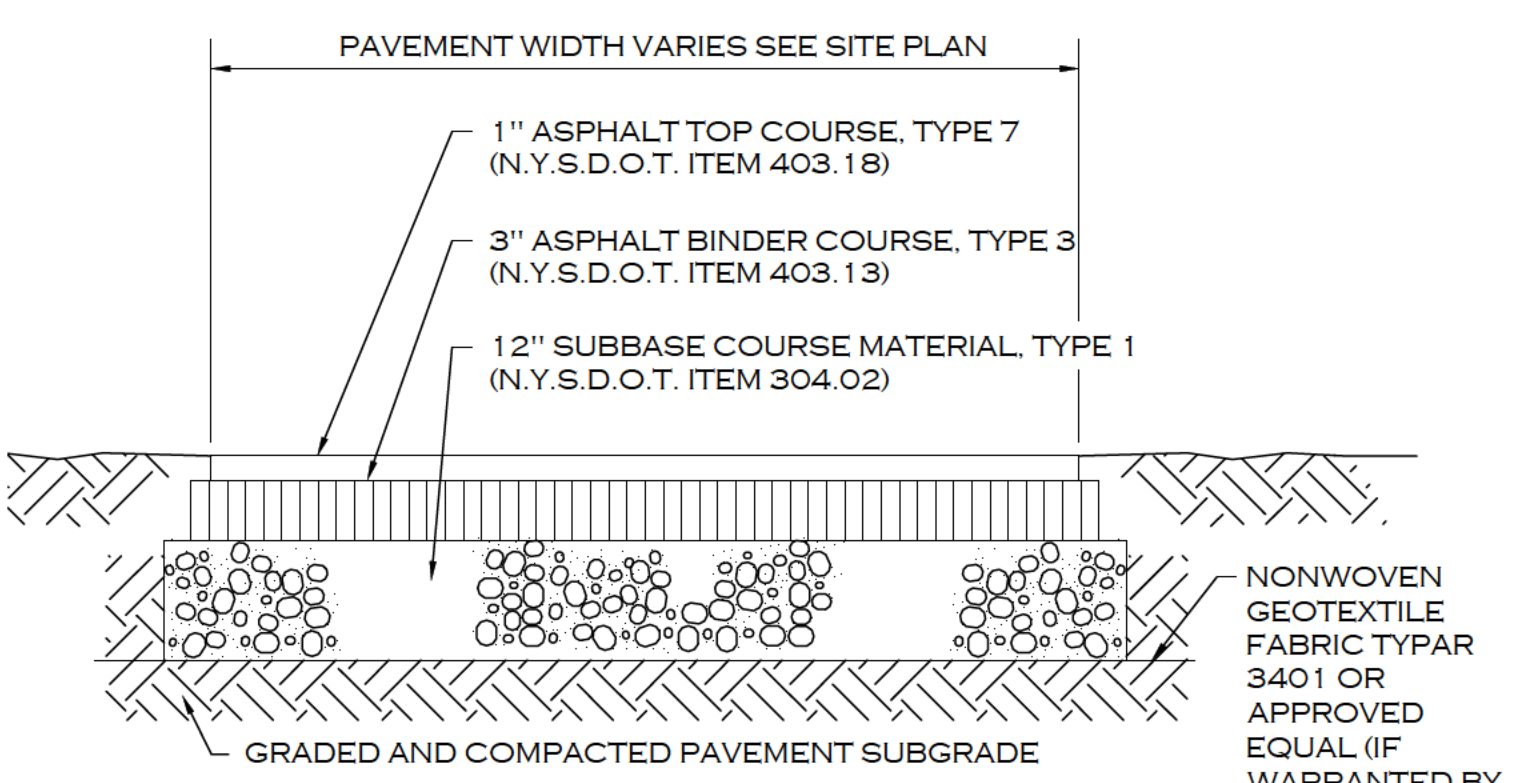
SITE PLAN

JEFFERSON ROAD (WIDTH VARIES) N.Y.S. ROUTE 252



NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 401-3. WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYS DOT STANDARD SPECIFICATION 304-3.

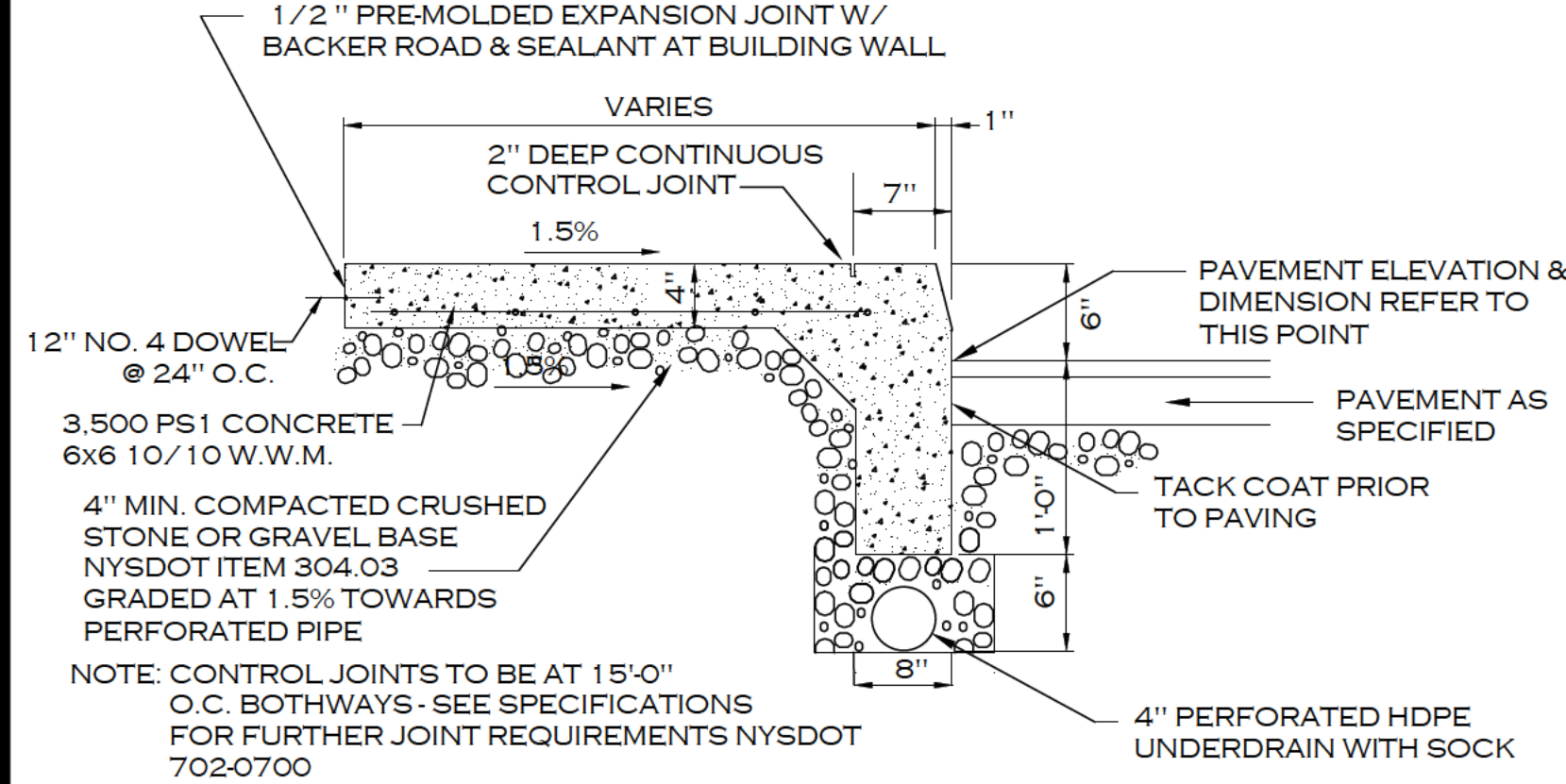
STANDARD DUTY ASPHALT SECTION



NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 401-3. WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYS DOT STANDARD SPECIFICATION 304-3.

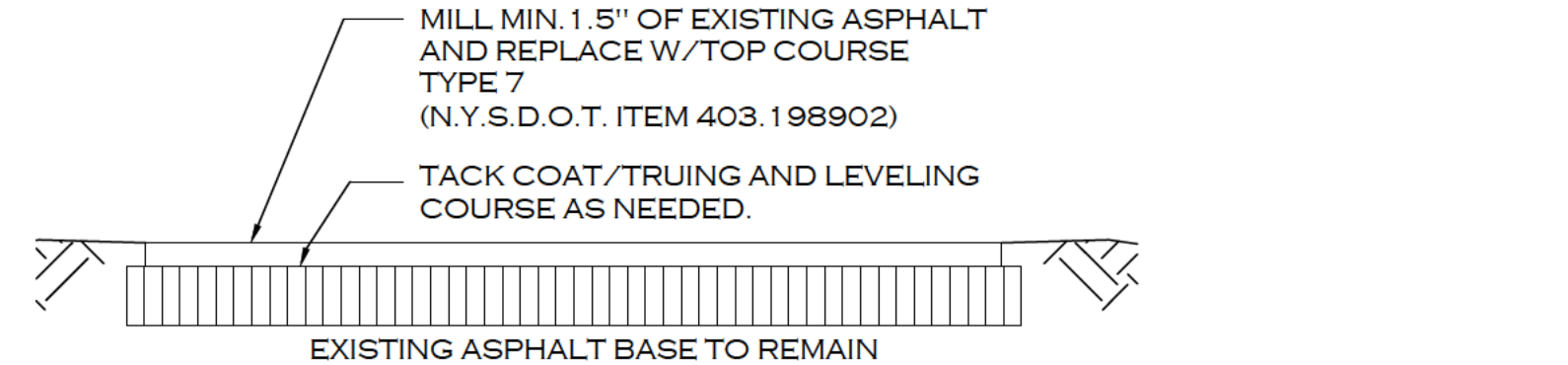
HEAVY DUTY ASPHALT SECTION

NOTE: CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.



BUILDING/INTEGRAL SIDEWALK/CURB DETAIL

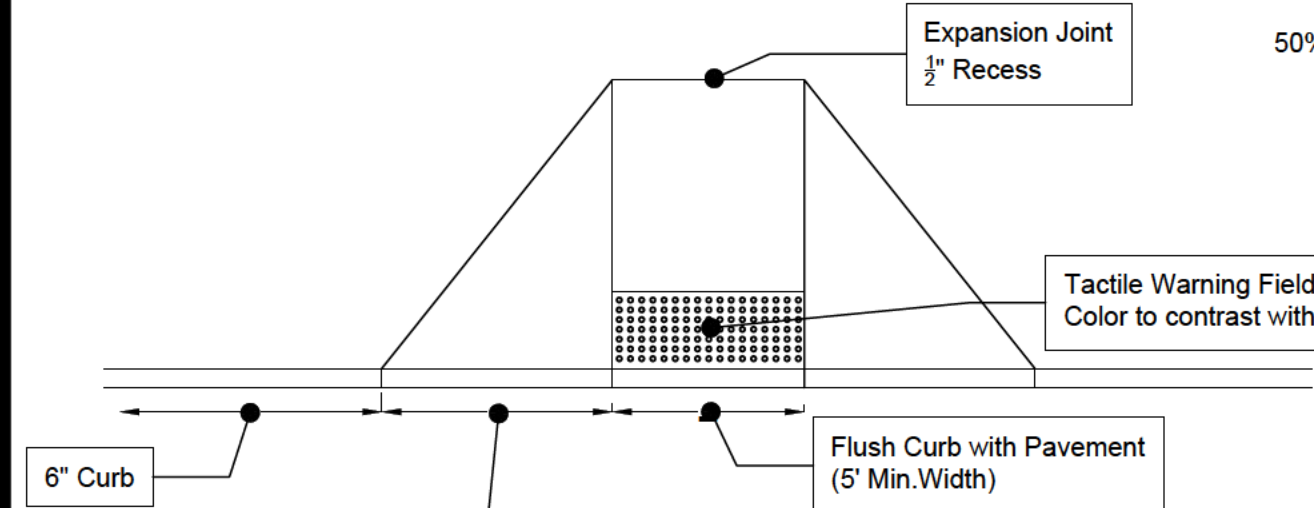
CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL



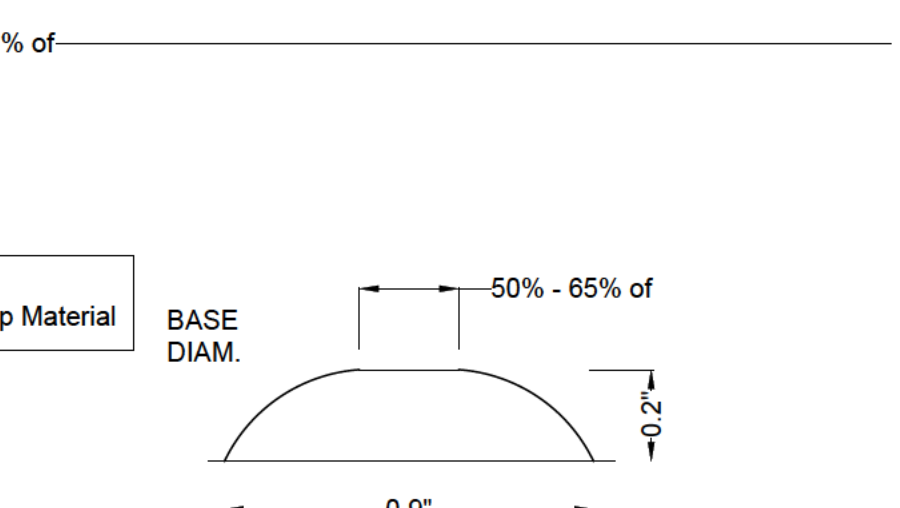
ASPHALT MILLING & OVERLAY DETAIL

NOTES:
1. CONTROL JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.
2. CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.

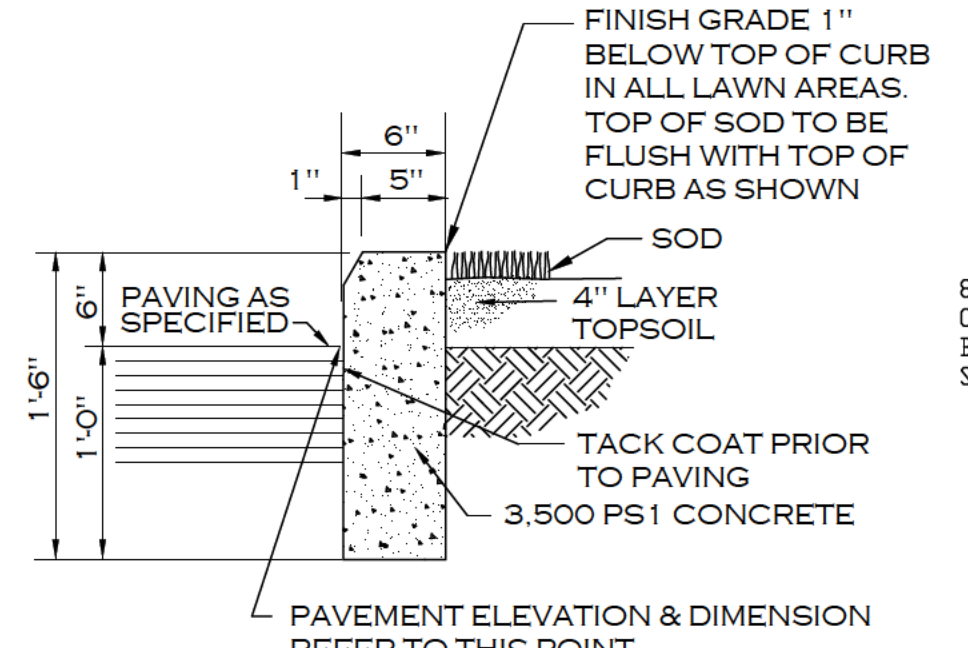
CONCRETE SIDEWALK



RAMP PLAN

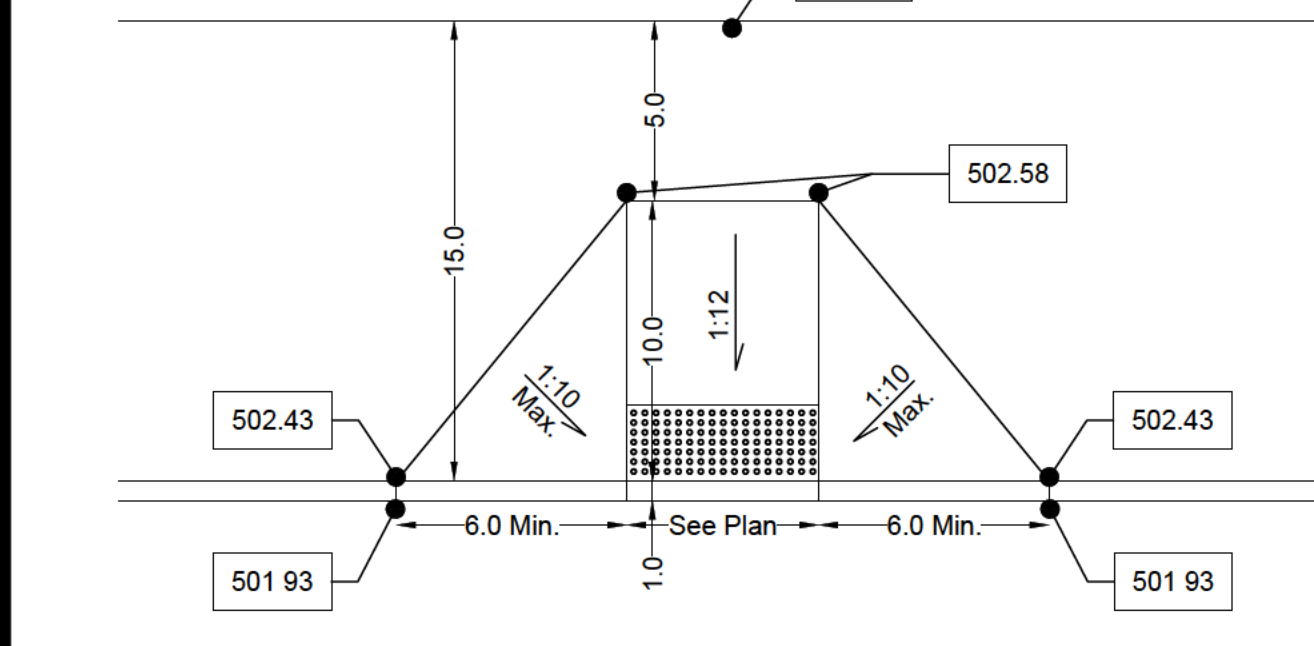


DOME SECTION

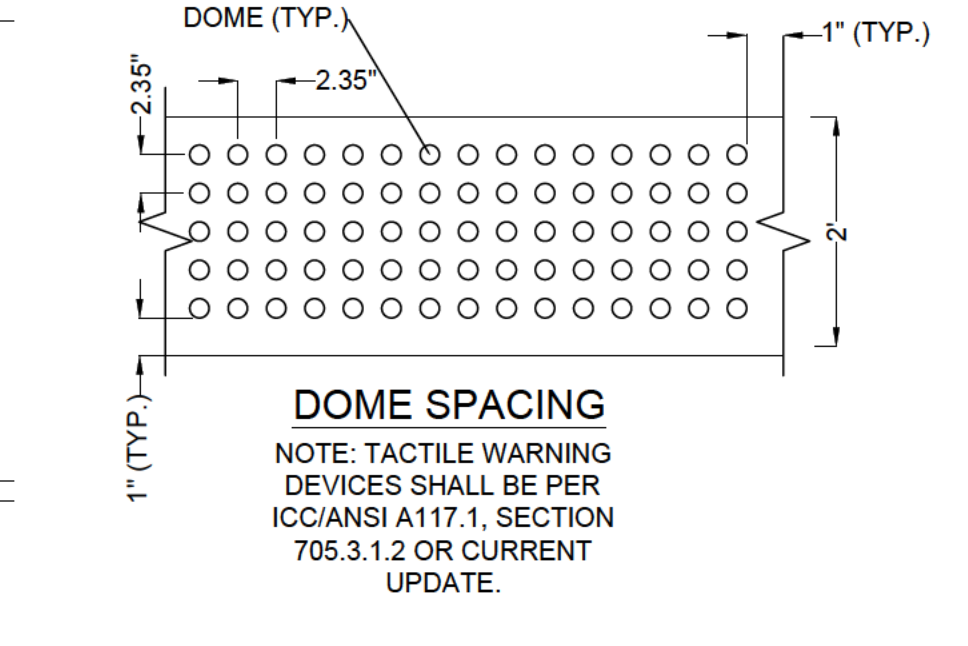


TYPE "A" CONCRETE CURB

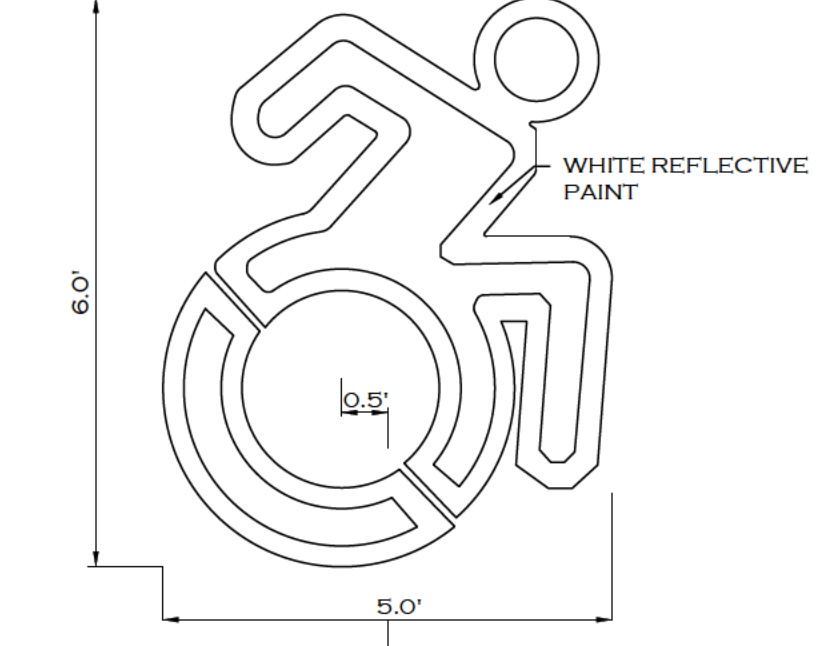
NOTE: CONTROL JOINTS TO BE 2" DEEP AT 15'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700



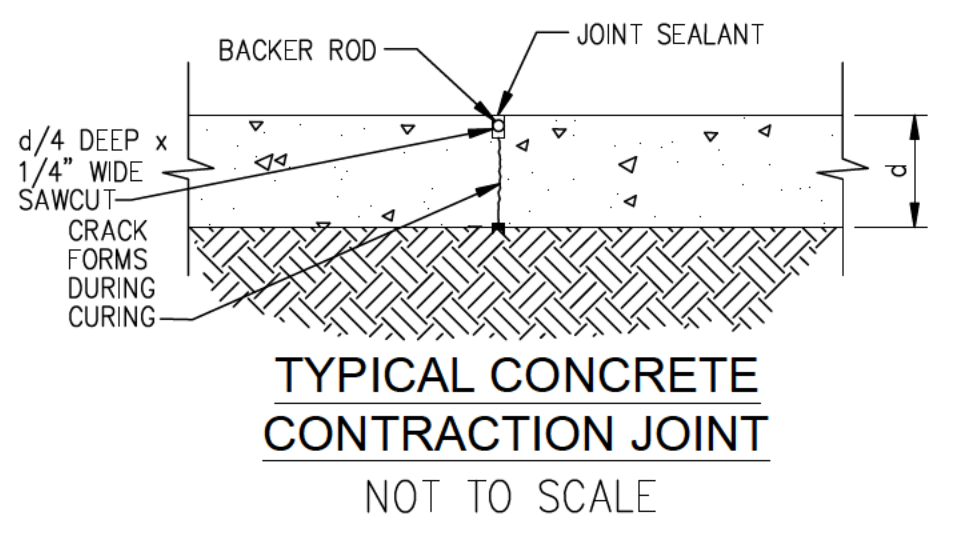
RAMP SECTION A-A



RAMP SECTION B-B

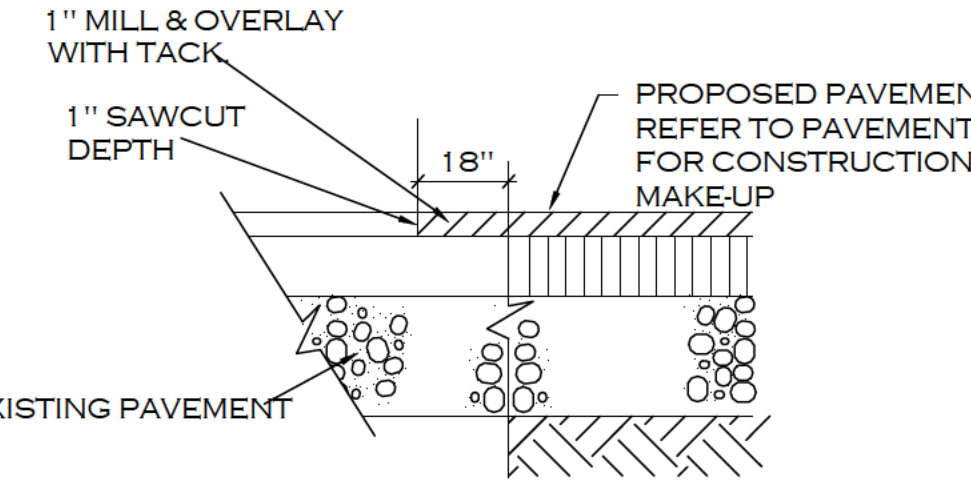


INTERNATIONAL SYMBOL OF ACCESSIBILITY

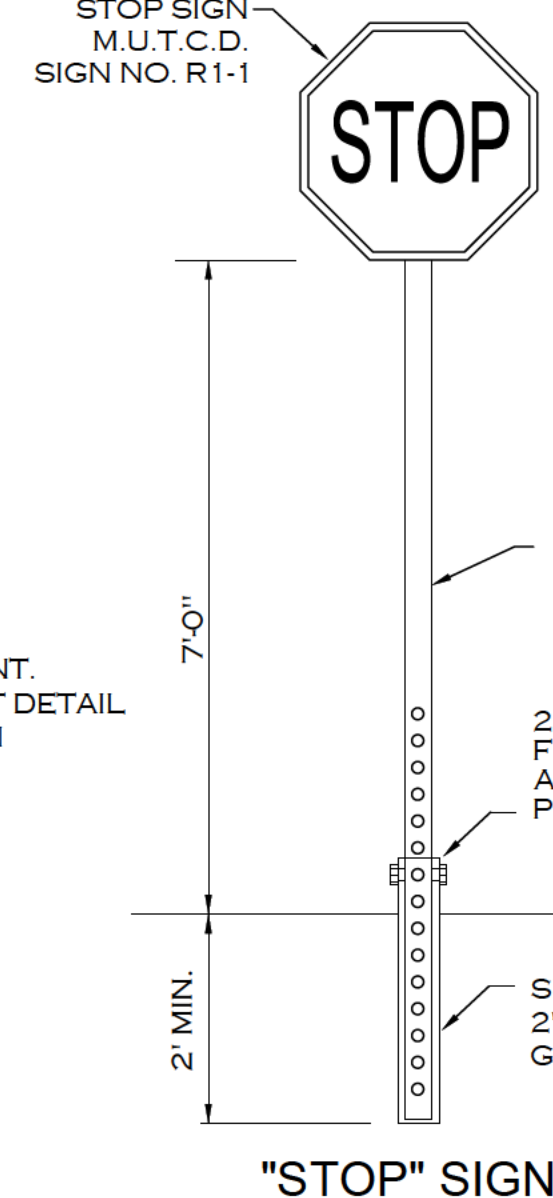


TYPICAL CONCRETE CONTRACTION JOINT

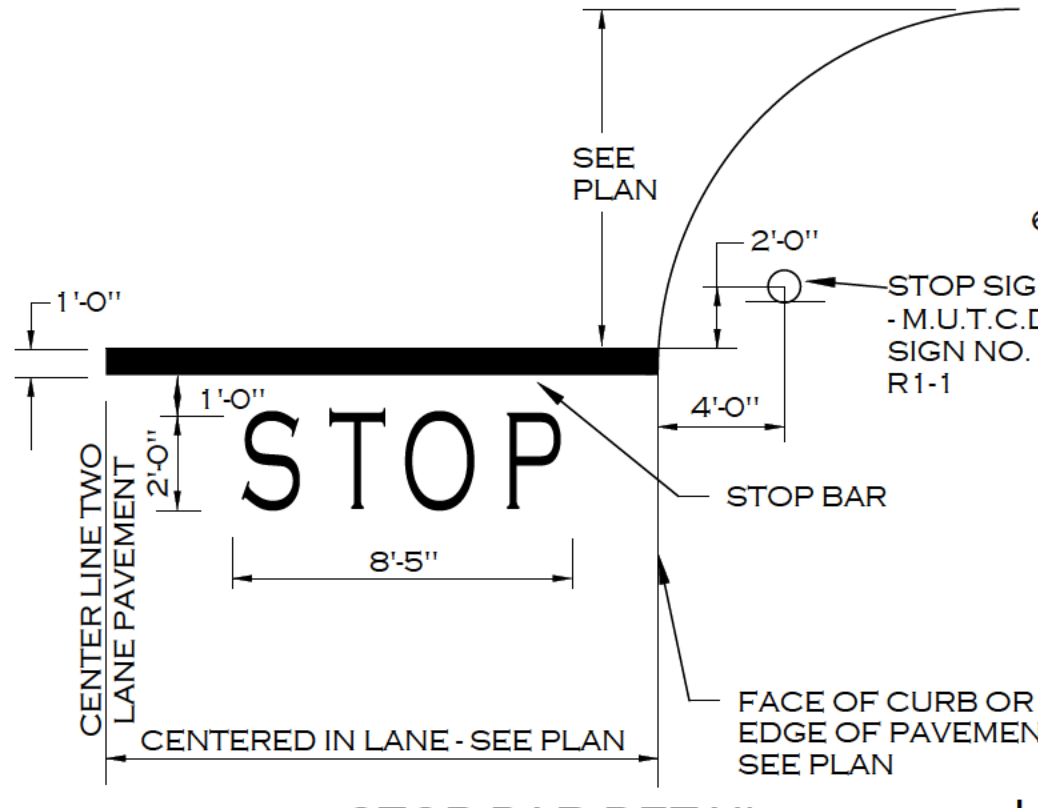
NOT TO SCALE



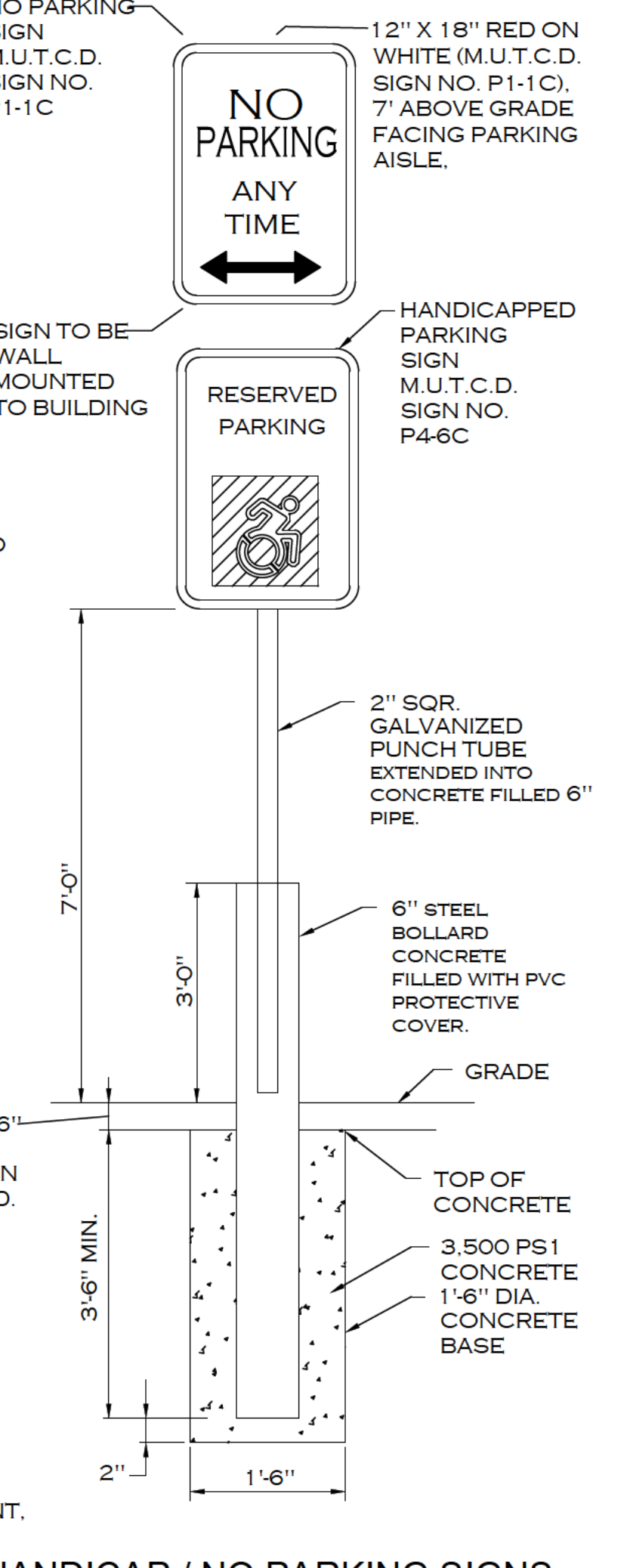
ASPHALT PAVEMENT TRANSITION DETAIL



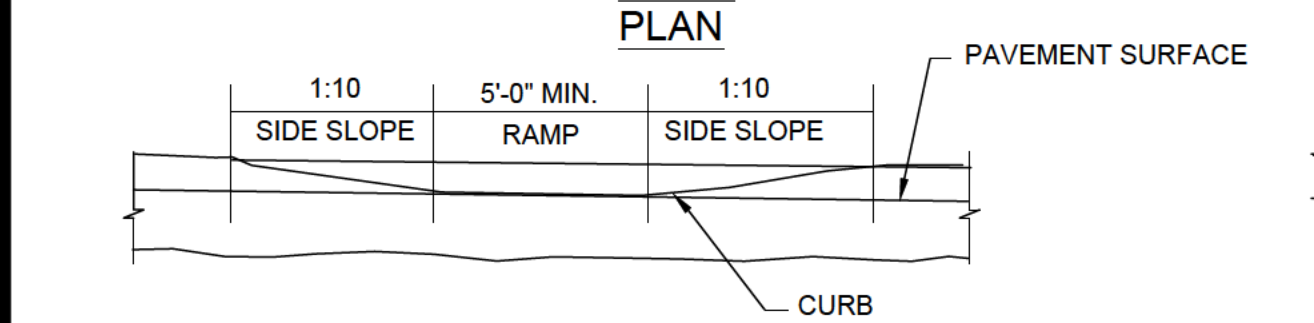
"STOP" SIGNS



STOP BAR DETAIL



HANDICAP / NO PARKING SIGNS



SIDEWALK CURB RAMP DETAIL

NOTES: (1) 3% SIDEWALK

Revisions	No.	Revision/Issue	Date
	5.	UPDATED TRASH ENCLOSURE DETAIL	8/4/23
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
	2.	REVISIONS PER BENDERSON	4/14/22
	1.	REVISIONS PER BENDERSON	2/6/22
	No.		

Notes & References
 CONTRACTOR SHALL CONTACT 'DIG SAFELY' NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION
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PROJECT NO. 1810

Engineer's Seal

STATE OF NEW YORK
 SPRA LYNN GIBBONS
 087296
 PROFESSIONAL ENGINEER

Engineer

PINWOODS ENGINEERING, P.C.
 www.pinwoodsengineering.com
 42 Aston Villa, North Chili, New York 14514
 Phone: (585) 261-7852

Project Name and Address

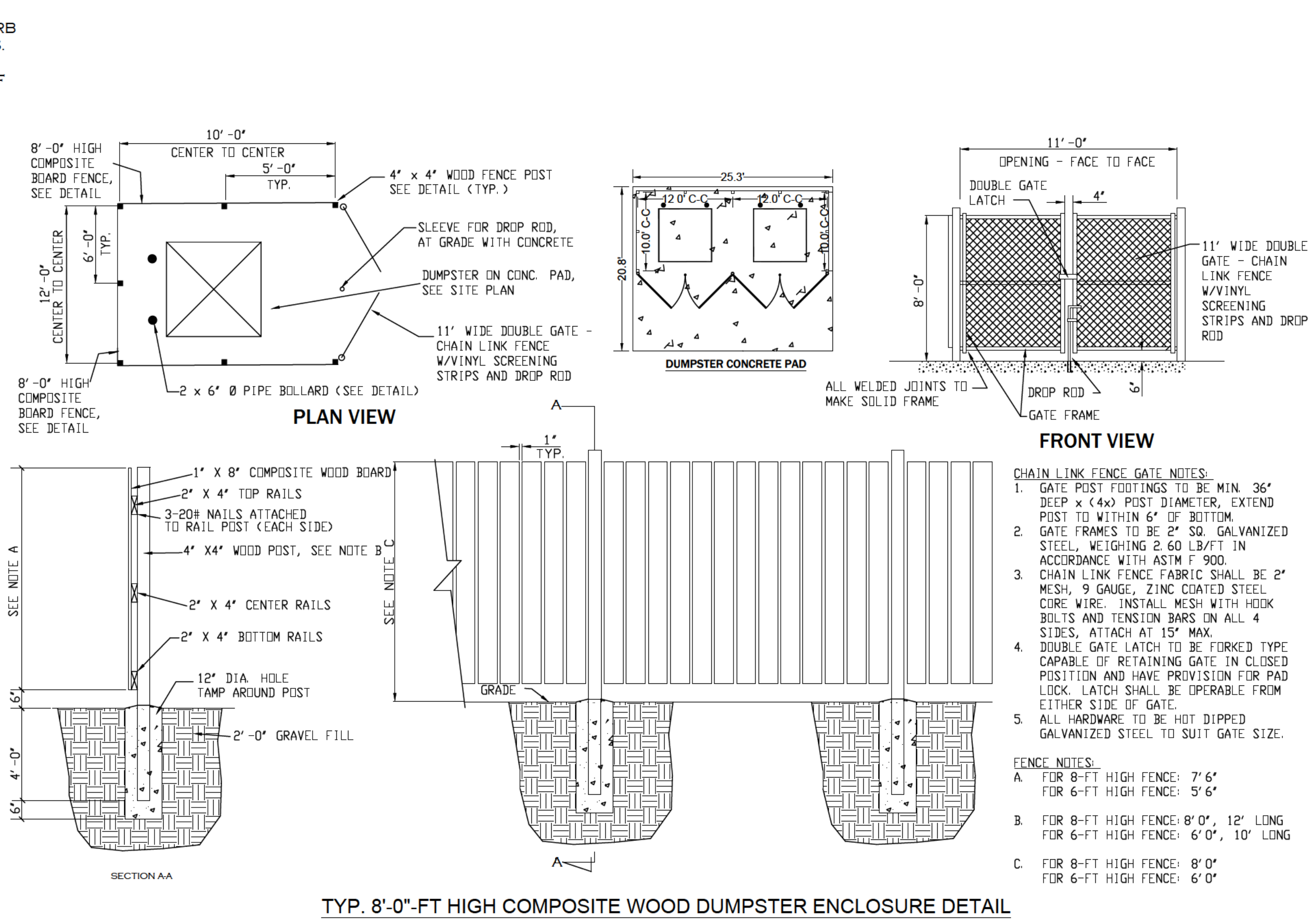
PROPOSED MEDICAL
 1300 Jefferson Road
 Henrietta, New York 14623

Drawing Name

SITE DETAILS

Sheet: **7 OF 16**
 Date: **12/15/2021**
 Scale: **AS NOTED**

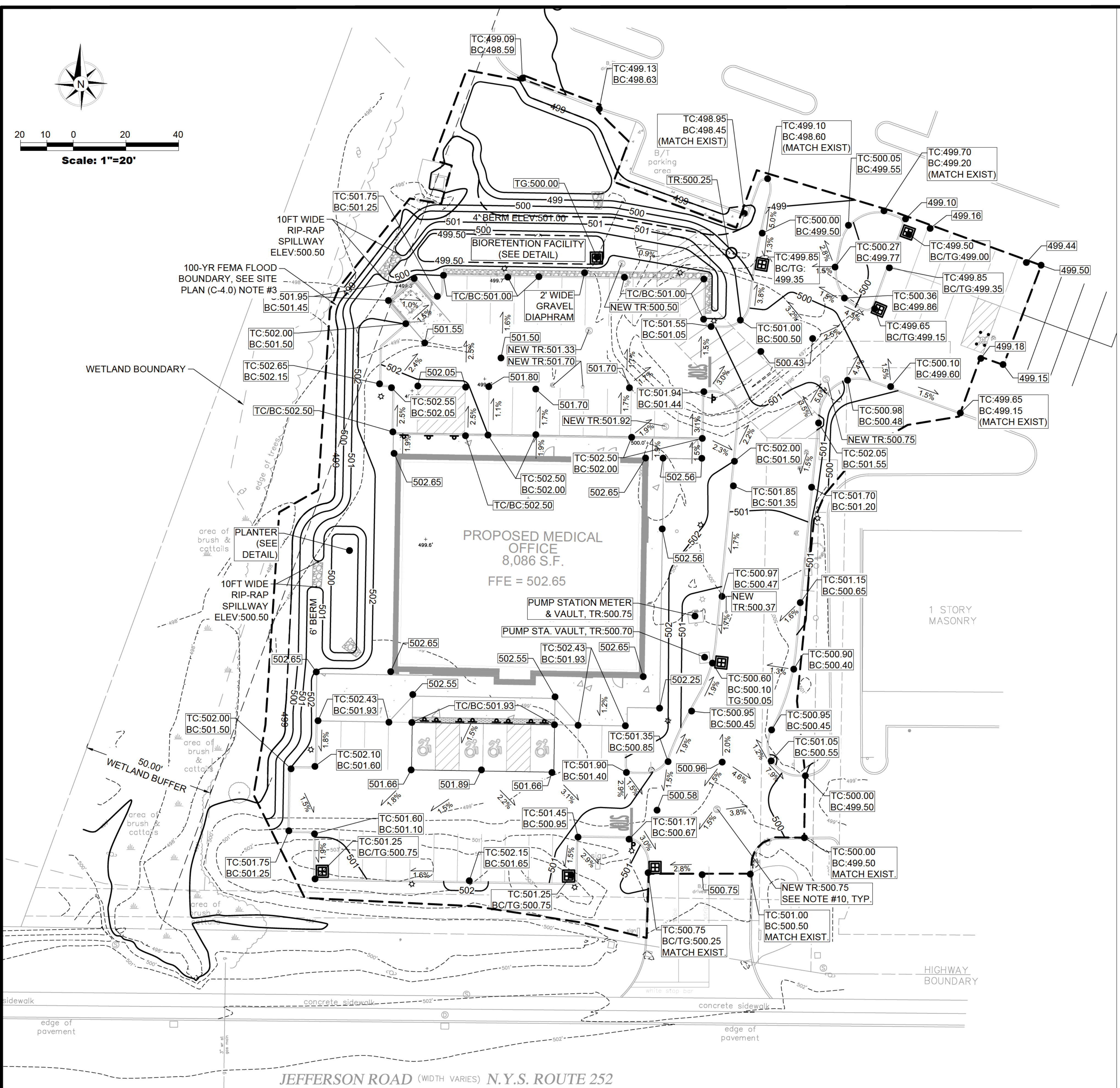
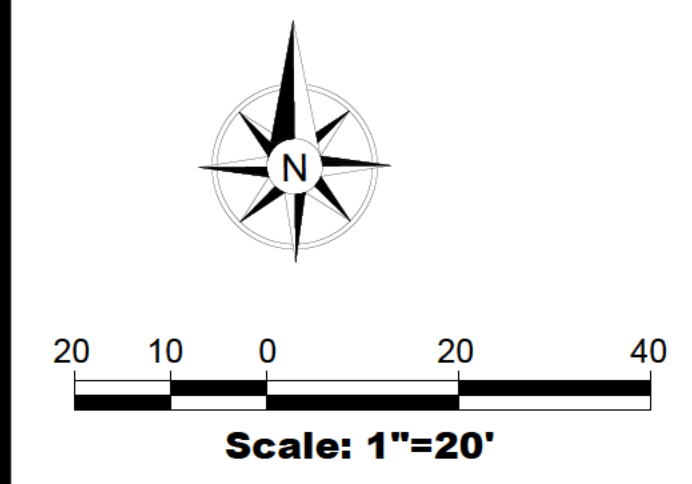
Drawing Number: **C-4.2**



TYP. 8'-0" HIGH COMPOSITE WOOD DUMPSTER ENCLOSURE DETAIL

CHAIN LINK FENCE GATE NOTES:
 1. GATE POST FITTINGS TO BE MIN. 36" DEEP x (4x) POST DIAMETER, EXTEND POST TO WITHIN 6" OF BOTTOM.
 2. GATE FRAMES TO BE 2" SQ. GALVANIZED STEEL, WEIGHING 2.60 LB/FT IN ACCORDANCE WITH ASTM F 900.
 3. CHAIN LINK FENCE FABRIC SHALL BE 2" MESH, 9 GAUGE, ZINC COATED STEEL CORE WIRE. INSTALL MESH WITH HOOK BOLTS AND TENSION BARS ON ALL 4 SIDES. ATTACH AT 15" MAX.
 4. DOUBLE GATE LATCH TO BE FORKED TYPE CAPABLE OF RETAINING GATE IN CLOSED POSITION AND HAVE PROVISION FOR PAD LOCK. LATCH SHALL BE OPERABLE FROM EITHER SIDE OF GATE.
 5. ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL TO SUIT GATE SIZE.

FENCE NOTES:
 A. FOR 8'-FT HIGH FENCE: 7' 6"
 FOR 6'-FT HIGH FENCE: 5' 6"
 B. FOR 8'-FT HIGH FENCE: 8' 0", 12' LONG
 FOR 6'-FT HIGH FENCE: 6' 0", 10' LONG
 C. FOR 8'-FT HIGH FENCE: 8' 0"
 FOR 6'-FT HIGH FENCE: 6' 0"



GRADING NOTES:

- GRADING SHALL BE KEPT WITHIN THE 1.15-AC LIMITS OF DISTURBANCE SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- CONTRACTOR SHALL PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
- TEMPORARY STOCKPILES THAT WILL REMAIN IN PLACE MORE THAN ONE WEEK SHALL BE GRADED AND PROVIDED WITH COVER CROP SEEDING.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, BUILDING DIMENSIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL UNSURFACED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- PRIOR TO GRADING OR CONSTRUCTION OF BIORETENTION FACILITY, CONTRACTOR TO FIELD VERIFY GROUNDWATER ELEVATION ("GWE") AND NOTIFY OWNER IF ACTUAL ELEVATION IS HIGHER THAN NOTED ON PLANS.
- STORMWATER POLLUTION PREVENTION PLAN AND STORMWATER MANAGEMENT FACILITIES ARE NOT DESIGNED FOR CONSTRUCTION OF BANKED PARKING.
- ALL EXISTING SURFACE COMPONENTS OF UTILITIES TO REMAIN ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- PROVIDE A COMPREHENSIVE SITE RECORD MAP TO THE TOWN OF HENRIETTA WHEN CONSTRUCTION IS COMPLETE.
- A PROJECT BENCHMARK WILL BE ADDED WHEN CONSTRUCTION COMMENCES, THE TOPOGRAPHIC INFORMATION IS ON THE VERTICAL DATUM NAVD 1988.

GRADING SYMBOLOLOGY LEGEND

- 575- NEW CONTOUR & ELEVATION
- TC=699.20 BC=698.70 NEW SPOT ELEVATION*
- ADA ACCESSIBLE AREA, MAX. 2% SLOPE ALL DIRECTIONS
- 1.93% NEW FLOW ARROW AND PAVEMENT SLOPE
- LIMITS OF DISTURBANCE
- * TC=TOP OF CURB, BC=BOTTOM OF CURB, TR=TOP OF RIM, TG=TOP OF GRATE, M.E.= MATCH TOP OF PAVEMENT/GRADE TO EXISTING ELEVATION.

BIORETENTION & PLANTER INFILTRATION AREA & ELEV.

PRACTICE	INFILTRATION SURFACE AREA*	INFILTRATION SURFACE ELEV.*
BIORETENTION	750 S.F.	499.50 FT
PLANTER	450 S.F.	500.00 FT

* Refer to Facility Detail

Revisions	No	Revision/Issue	Date
	6	REVISIONS PER BENDERSON	8/4/23
	5	REVISIONS PER BENDERSON	6/21/23
	4	REVISIONS PER TOWN REVIEW	6/22/22
	3	REVISIONS PER BENDERSON	5/11/22
	2	REVISIONS PER BENDERSON	4/14/22
	1	REVISIONS PER BENDERSON	2/6/22

Notes & References

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WWW.BENDERSON.COM

PROJECT NO. 1810

Engineer's Seal

STATE OF NEW YORK
SPRING LYNN GIBBONS
087298
REGISTERED PROFESSIONAL ENGINEER

Engineer

PINEWOODS ENGINEERING, P.C.
www.pinewoodsengineering.com

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Phone: (585) 261-7852

Project Name and Address

PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

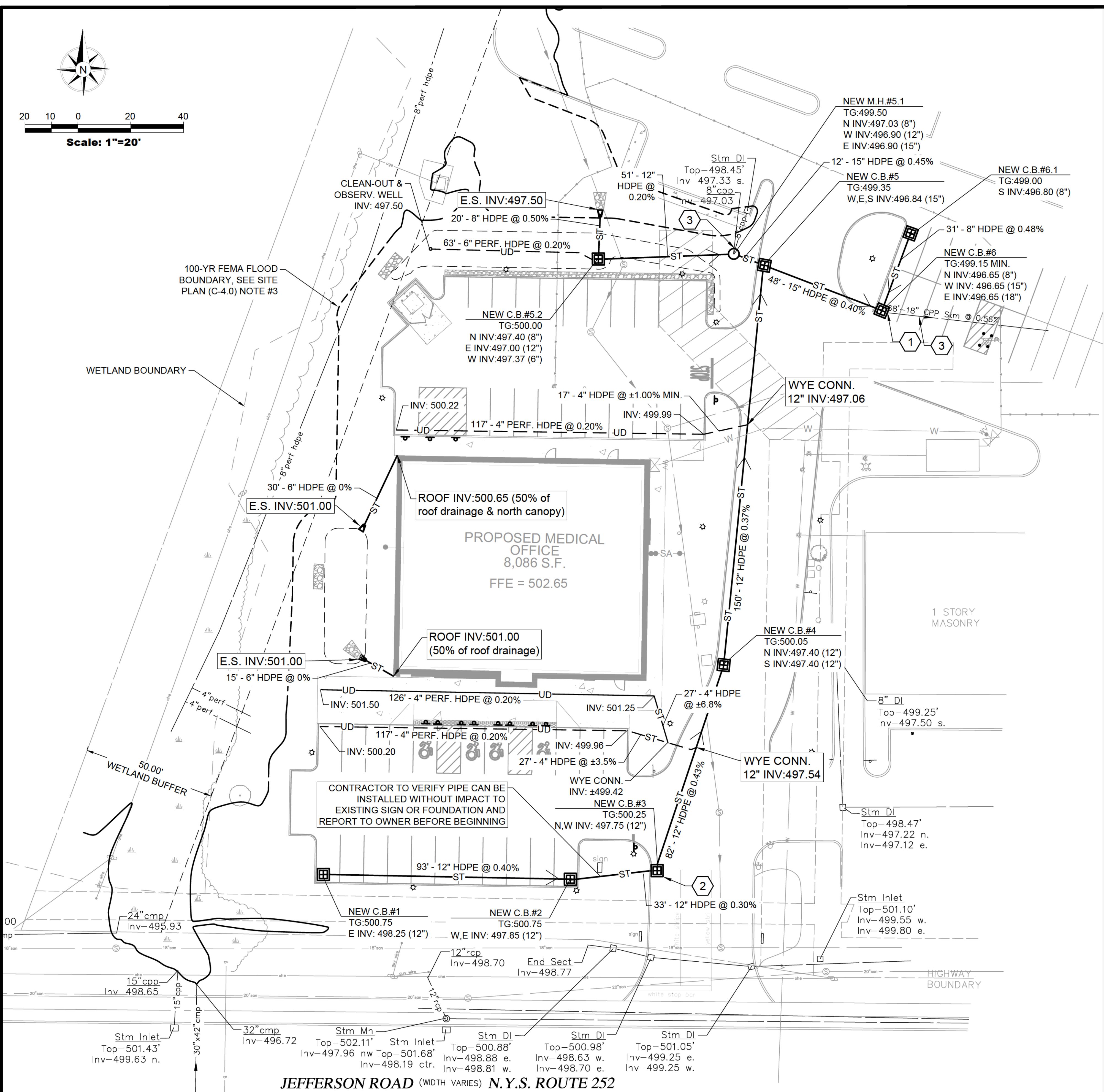
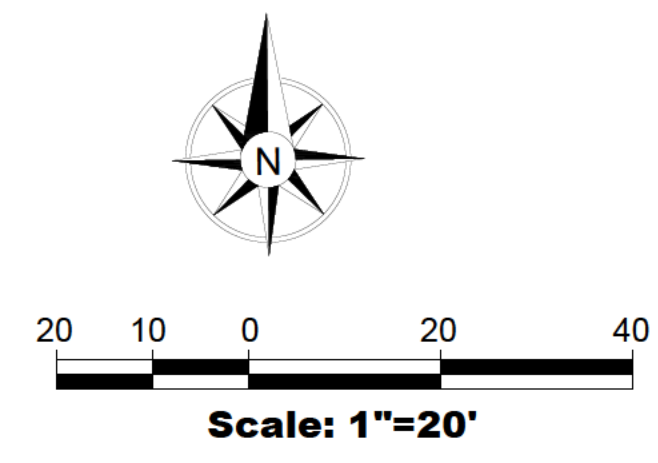
Drawing Name

GRADING PLAN

Sheet	8 OF 16	Drawing Number	C-5.0
Date	12/15/2021		
Scale	1"=20'		

GRADING PLAN

JEFFERSON ROAD (WIDTH VARIES) N.Y.S. ROUTE 252



STORM SEWER & STORMWATER MANAGEMENT NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL PIPE LENGTHS ARE SHOWN CENTERLINE TO CENTERLINE OF STRUCTURE, ACTUAL LAYING LENGTHS WILL VARY DUE TO STRUCTURE SIZE AND SLOPE. INVERTS SHOWN ARE THE INTERSECTION OF PIPE INVERT PROFILE WITH CENTERLINE OF STRUCTURE. ACTUAL PIPE INVERTS AT STRUCTURE WALL WILL VARY DEPENDING ON PROFILE GRADE AND STRUCTURE SIZE.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMP, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
4. ALL ON-SITE STORM LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE REQUIRED.
5. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
6. ROOF DRAINS UP TO COLLECTOR PIPE TO BE UNDERTAKEN BY BUILDING PLUMBER.

STORM SEWER SYMBOLOGY LEGEND

- ST — NEW STORM PIPE W/ CLEAN-OUT (C.O.)
- UD — NEW PERFORATED UNDERDRAIN
- ■ ■ NEW STORM STRUCTURE: CATCH BASIN ("C.B."), END SECTION ("ES"), & MANHOLE ("M.H.")
- ▨ NEW LIGHT STONE FILL RIP-RAP ("RR")
- WYE CONN.=WYE CONNECTION

STORM NOTES LEGEND

- ① CONTRACTOR TO FIELD VERIFY EXISTING INVERT AND NOTIFY OWNER/ENGINEER OF DISCREPANCIES
- ② EMPTY
- ③ CONNECT EXISTING PIPE TO NEW STRUCTURE, SEE DETAIL

Revisions	No.	Revision/Issue	Date
	6.	REVISIONS PER BENDERSON	8/4/23
	5.	REVISIONS PER BENDERSON	6/21/23
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
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	1.	REVISIONS PER BENDERSON	2/6/22
	No.		

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PROJECT NO. 1810

Engineer's Seal

Engineer

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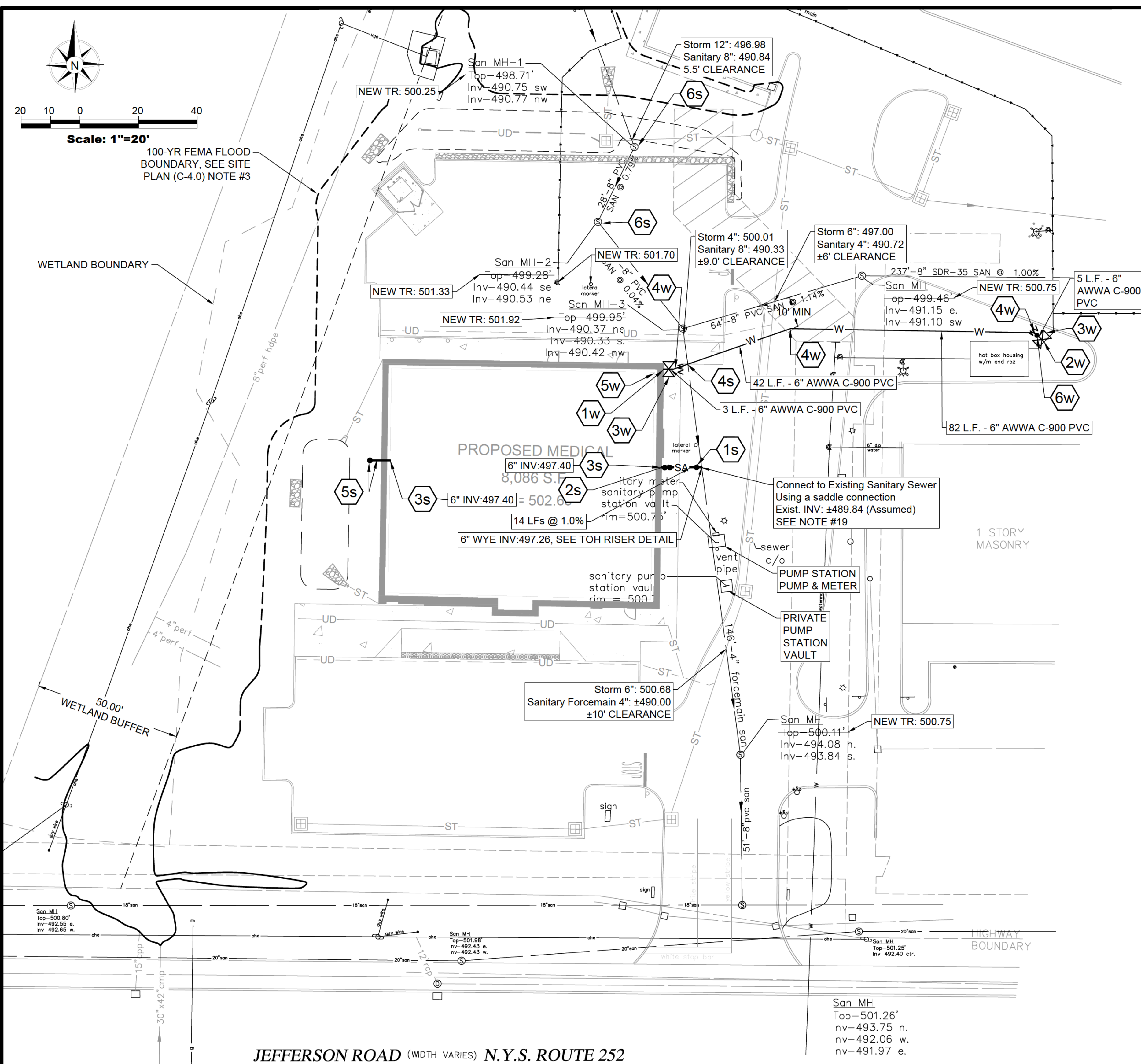
Project Name and Address

PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

Drawing Name	
DRAINAGE PLAN	
Sheet	Drawing Number
9 OF 16	C-5.1
Date	
12/15/2021	
Scale	
1"=20'	

DRAINAGE PLAN

JEFFERSON ROAD (WIDTH VARIES) N.Y.S. ROUTE 252



UTILITY PLAN

- WATERLINE NOTES LEGEND #W**
- 1W NEW 6" WATER SERVICE BLDG. ENTRY LOCATION AND TURN UP INSIDE BUILDING AND CAP WITH FLANGE BY SITE CONTRACTOR
 - 2W CONNECT NEW WATER SERVICE TO EXISTING WATER SERVICE W/ TAPPING SLEEVE & VALVE
 - 3W NEW 6" GATE VALVE (VALVE SHALL OPEN RIGHT)
 - 4W 6" - 45° BEND, AWWA C-900
 - 5W FDC LOCATION, REFER TO BLDG. PLANS
 - 6W SAMPLING/DISINFECTION TAP AND BLOW-OFF LOCATION

Irondequoit Bay South
Central Pure Waters District

UTILITY NOTES

1. ALL ELECTRIC, TELEPHONE, CABLE AND GAS EXTENSIONS AND SERVICE LINES TO BE COORDINATED WITH, AND CONSTRUCTED TO, THE APPROPRIATE UTILITY COMPANY AND THEIR SPECIFICATIONS.
2. ALL WORK PERFORMED IN TRENCHES SHALL COMPLY WITH OSHA STANDARDS FOR OPEN TRENCH EXCAVATIONS.
3. CLEAN-OUTS SHALL BE PROVIDED ON THE SANITARY SEWER LINE EVERY 100 FT AND AT EVERY CHANGE IN DIRECTION ON THE UPSTREAM SIDE.
4. WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
5. PROVIDE ALL FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. ALL PIPE LENGTHS ARE SHOWN CENTERLINE TO CENTERLINE OF STRUCTURE, ACTUAL LAYING LENGTHS WILL VARY DUE TO STRUCTURE SIZE AND SLOPE. INVERTS SHOWN ARE THE INTERSECTION OF PIPE INVERT PROFILE WITH CENTERLINE OF STRUCTURE. ACTUAL PIPE INVERTS AT STRUCTURE WALL WILL VARY DEPENDING ON PROFILE GRADE AND STRUCTURE SIZE. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
8. ALL ON-SITE SANITARY, STORM, AND WATER LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE SHOWN.
9. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
10. WATER SERVICE SIZE PROVIDED BY BENDERSON DEVELOPMENT COMPANY. REFER TO ARCH. PLANS FOR SIZING.
11. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN (10) FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
12. WATER SERVICE LINES SHALL PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE OUTSIDES OF THE WATER AND SANITARY SEWER PIPE CROSSINGS AND JOINTS SHALL BE OFFSET TO THE GREATEST EXTENT POSSIBLE.
13. PRIOR TO EXCAVATING NEAR GAS OR ELECTRIC LINES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY.
14. THE PROPOSED UTILITY WORK ON THIS SITE MAY REQUIRE WORK ON EXISTING MAINS CONTAINING ASBESTOS. ALL WORK INVOLVING MATERIALS CONTAINING ASBESTOS SHALL BE PERFORMED BY A SUBCONTRACTOR THAT IS SPECIFICALLY LICENSED BY THE NEW YORK STATE DEPARTMENT OF LABOR FOR ASBESTOS SERVICES. ALL WORK INVOLVING ASBESTOS MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, INCLUDING NEW YORK STATE DEPARTMENT OF LABOR CODE RULE 56.
15. ALL OTHER REQUIRED PERMITS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF MONROE, TOWN OF HENRIETTA ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.
16. SANITARY LINES TO VENT THROUGH ROOF BY BUILDING CONTRACTOR.
17. WATER SERVICE PIPE, BACKFLOW AND METERING SIZING PROVIDED BY BENDERSON DEVELOPMENT CO. VERIFICATION OF ADEQUATE PRESSURE/FLOW AT BLDG. TO BE PERFORMED BY OTHERS.
18. PRIOR TO STAIRING ON SITE, CONTRACTOR TO EXPOSE EXISTING SERVICE TO DETERMINE EXACT LOCATION AND TO CONFIRM CONNECTION POSSIBLE AT PROPOSED INVERT. CONTRACTOR TO USE A SADDLE CONNECTION, AFTER TAPPING, PRESSURE TEST THE MAIN FROM THE PUMP STATION TO THE UPSTREAM MANHOLE.
19. ALL SANITARY SEWER MANHOLES THAT WERE ADJUSTED TO FINISHED GRADE SHALL BE VACUUM TESTED.

UTILITY SYMBOLOGY LEGEND

- SA — NEW SANITARY PIPE
- NEW SANITARY STRUCTURE: CLEAN-OUT & MANHOLE
- W — NEW WATER LINE
- NEW WATER VALVE
- G — NEW GAS LINE
- E — NEW UNDERGROUND ELECTRIC/TELEPHONE/CABLE LINE

HYDRANT FLOW DATA*
 LOCATION: 1300 JEFFERSON RD
 MAIN: 24"
 ELEVATION: 500
 PRESSURE ZONE: 751
 FLOW: 30 MGD
 PRESSURE: 24.3 PSI
 *HYDRANT FLOW DATA IS COMPUTE SIMULATED FIRE FLOW TEST/SUPPLY CURVE GENERATED AND SUPPLIED BY MONROE COUNTY WATER AUTHORITY

SANITARY SEWER NOTES LEGEND #S

- 1s NEW CLEAN-OUT
 - 2s NEW CLEAN-OUT, TRAP AND VENT; VENT THROUGH BUILDING WALL AND OUT ROOF BY BUILDING PLUMBER, REFER TO COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL.
 - 3s NEW 6" SEWER BLDG. ENTRY LOCATION
 - 4s 18" MIN. VERTICAL SEPARATION BETWEEN OUTSIDE OF WATER AND SEWER PIPES
 - 5s 2-FT STUB OUT OF 6" SANITARY LINE WITH CLEAN-OUT BY BUILDING PLUMBER, REFER TO ARCH. PLANS
 - 6s PROVIDE A WATER-TIGHT MANHOLE COVER IF NOT CURRENTLY PROVIDED
- LFs = 6" SDR-21 SANITARY PIPE

TOWN APPROVALS

DIRECTOR OF ENGINEERING & PLANNING	DATE
DIRECTOR OF BUILDING & FIRE PREVENTION	DATE
FIRE MARSHAL	DATE
COMMISSIONER OF PUBLIC WORKS	DATE

Revisions	6/4/23	6/21/23	6/22/22	5/11/22	4/14/22	2/6/22	Date
6.	REVISIONS PER BENDERSON	REVISIONS PER BENDERSON	REVISIONS PER TOWN REVIEW	REVISIONS PER BENDERSON	REVISIONS PER BENDERSON	REVISIONS PER BENDERSON	No

Notes & References

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Engineer's Seal

Engineer

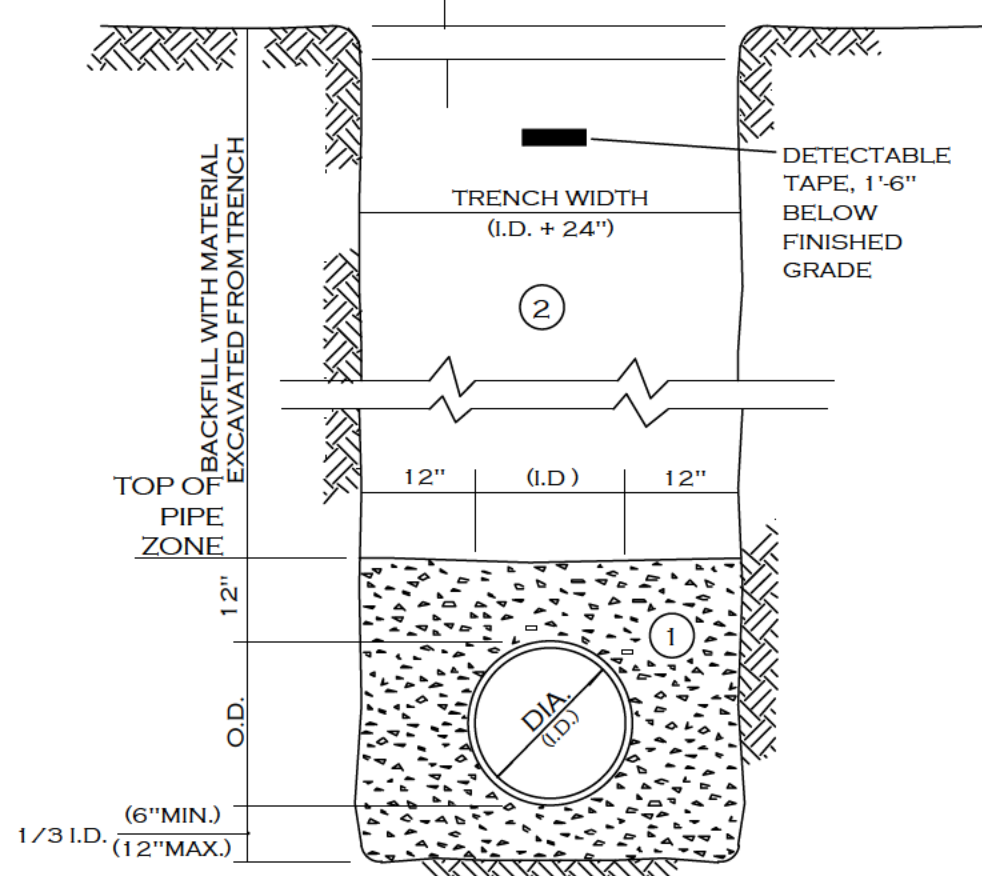
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UTILITY PLAN	
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10 OF 16	C-6.0
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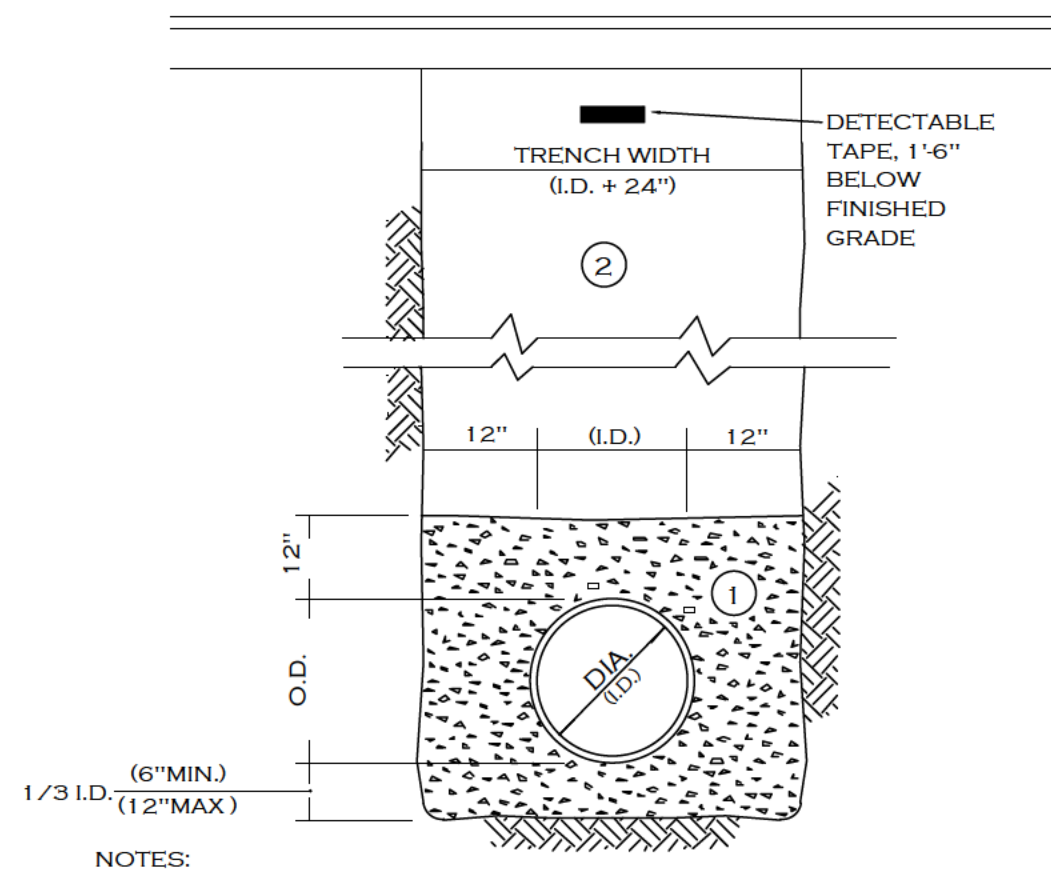


- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.
 - TRENCHING, EXCAVATION AND BACKFILLING TO BE DONE IN ACCORDANCE WITH SECTION 306 OF THE 2015 INTERNATIONAL PLUMBING CODE.

MATERIALS

PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

- NO.1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

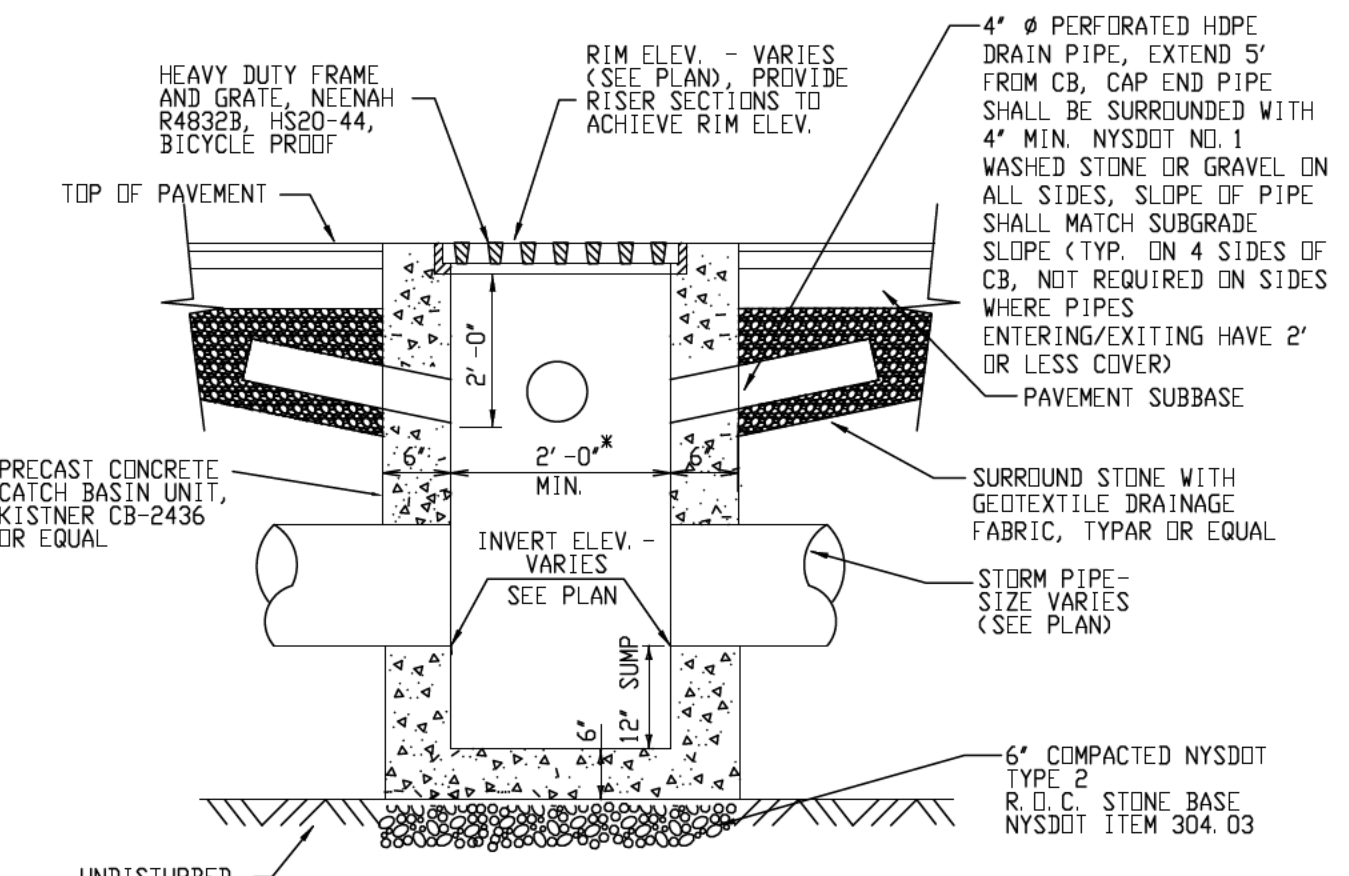


- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.
 - TRENCHING, EXCAVATION AND BACKFILLING TO BE DONE IN ACCORDANCE WITH SECTION 306 OF THE 2015 INTERNATIONAL PLUMBING CODE.

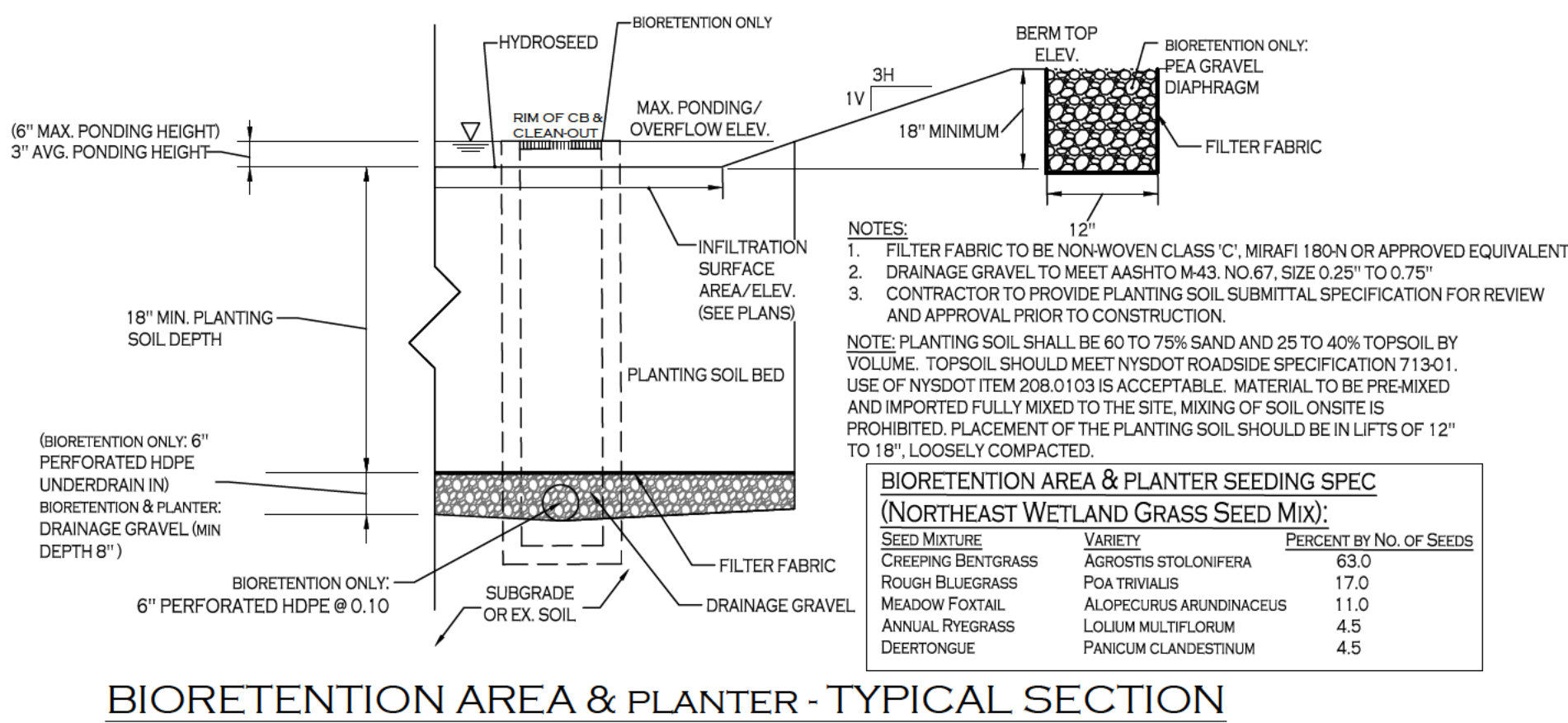
MATERIALS

PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

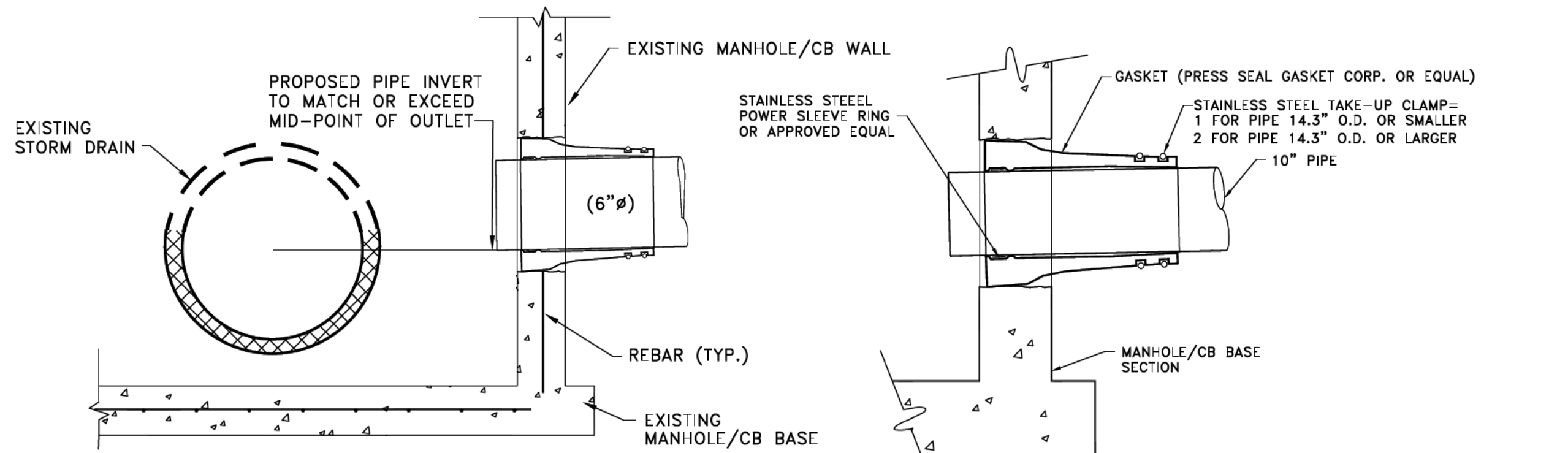
- NO.1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 304.2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.



TYPICAL PRECAST CATCH BASIN



BIORETENTION AREA & PLANTER - TYPICAL SECTION

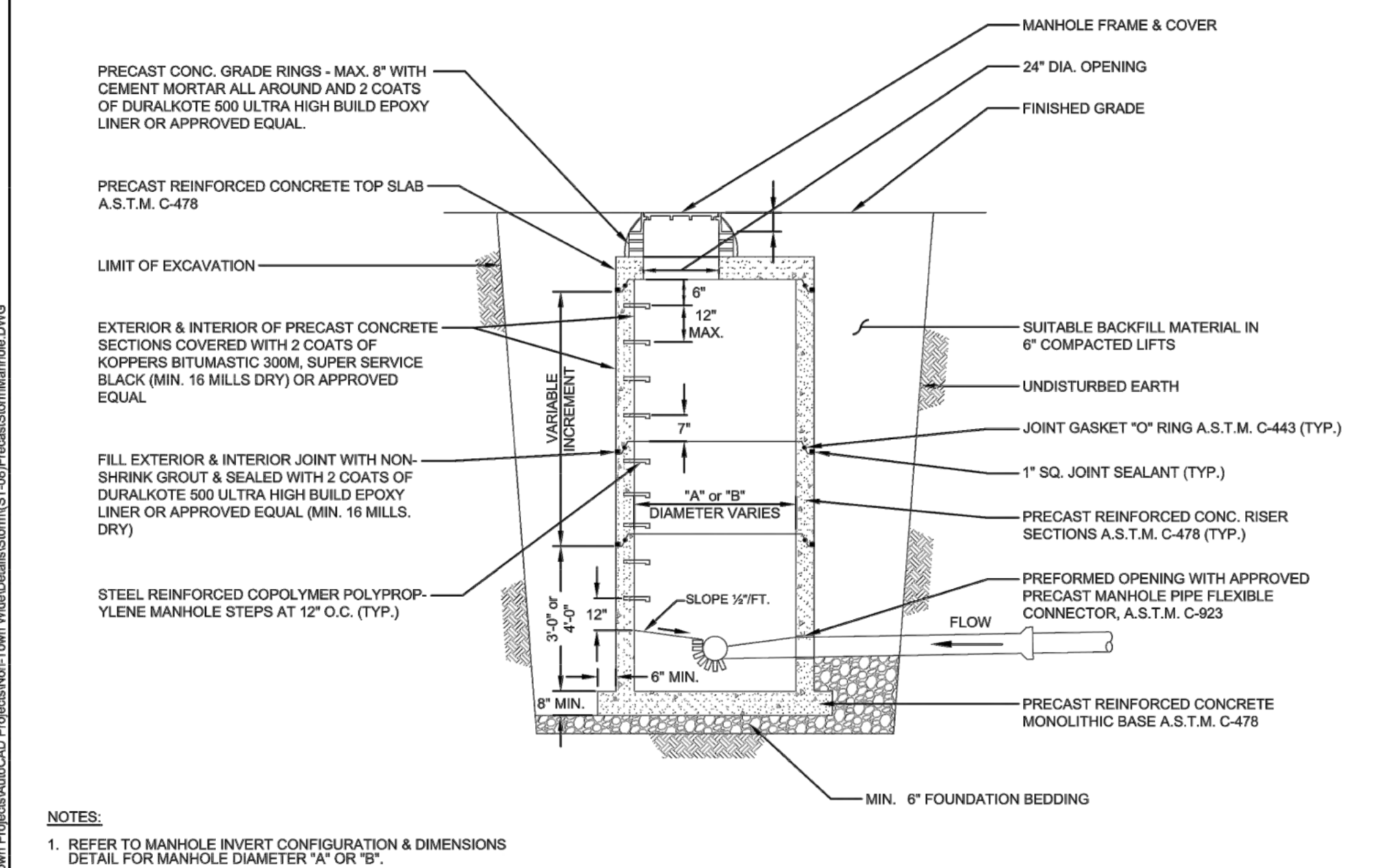


- NOTES:
- CORE DRILL ENTRANCE HOLE IN PRECAST MAN-HOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE. PER MANUFACTURERS RECOMMENDATIONS.
 - DOES NOT APPLY TO HOUSE LATERALS.
 - WATERTIGHT PIPE TO MANHOLE BOOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.

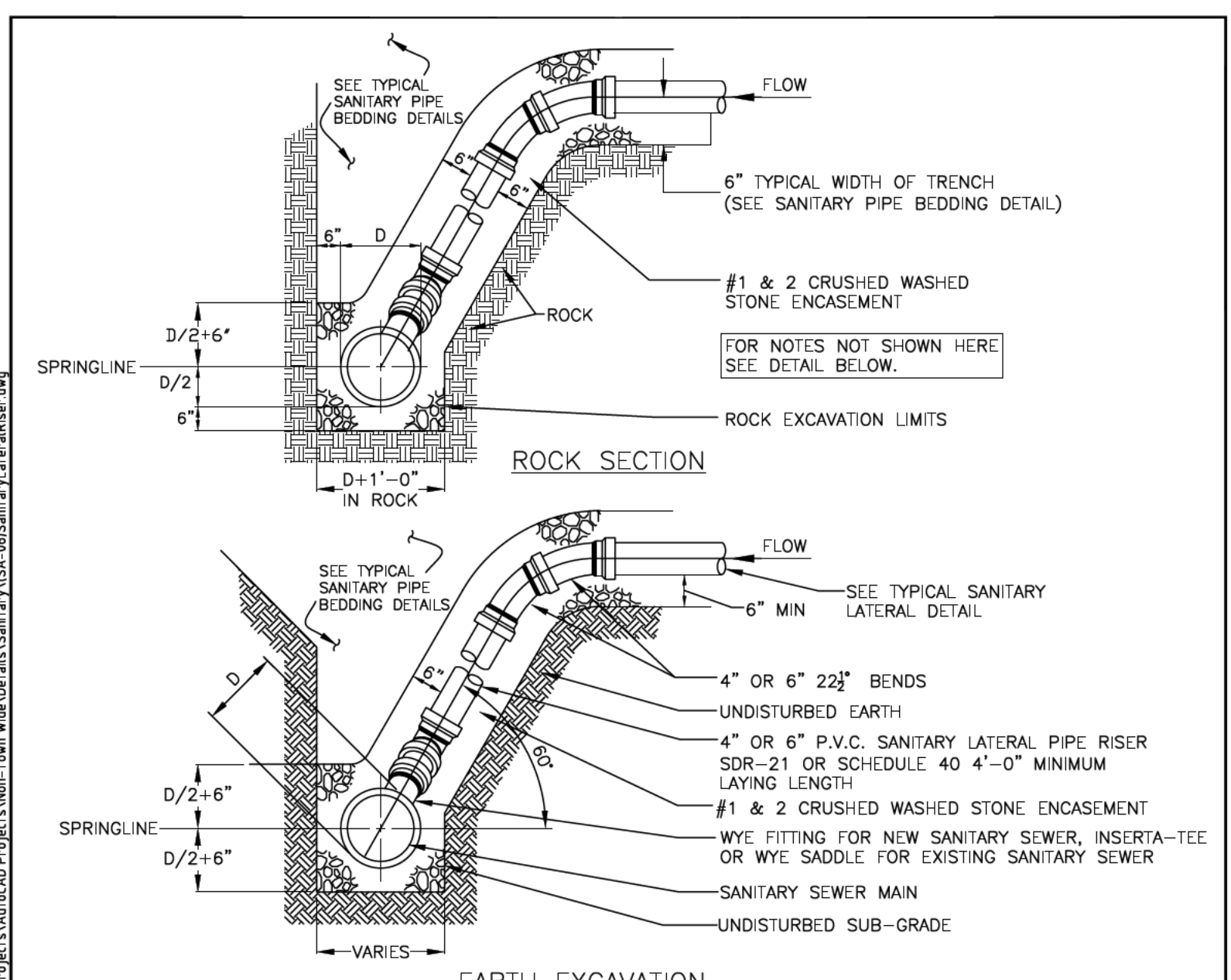
CONNECTION TO EXISTING MANHOLE/CB

STORM PIPE TRENCH SECTION IN UNPAVED AREAS
(FOR USE IN WORK OUTSIDE THE RIGHT-OF-WAY ONLY, FOR WORK INSIDE THE RIGHT-OF-WAY, REFER TO DETAIL ON DRAWING C-4.2)

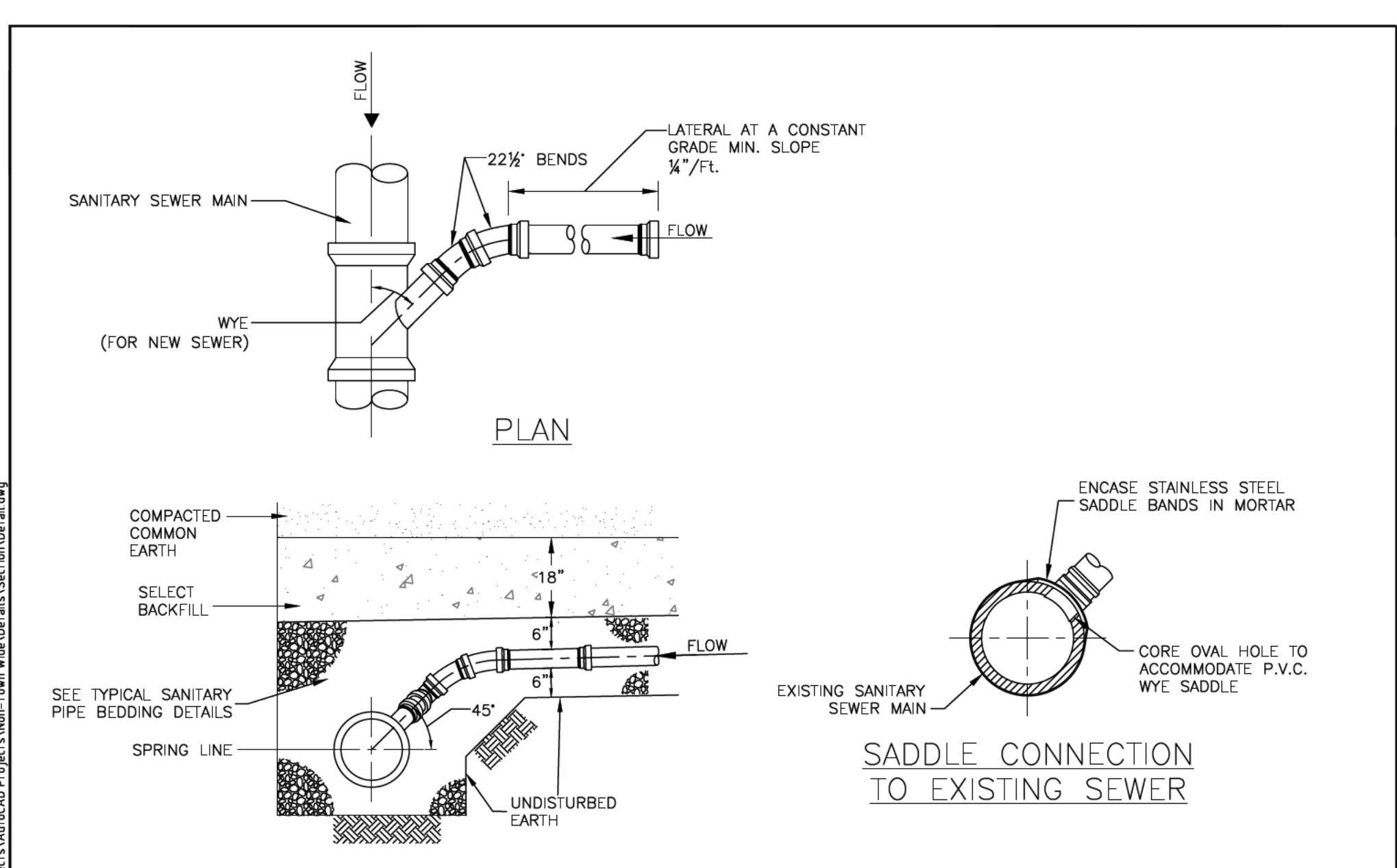
STORM PIPE TRENCH SECTION IN PAVED AREAS
(FOR USE IN WORK OUTSIDE THE RIGHT-OF-WAY ONLY, FOR WORK INSIDE THE RIGHT-OF-WAY, REFER TO DETAIL ON DRAWING C-4.2)



TOWN OF HENRIETTA		PRECAST STORM MANHOLE DETAIL	
SCALE: N.T.S.		ST-08	
DATE: 9/29/2015			



TOWN OF HENRIETTA		SANITARY LATERAL RISER DETAIL	
SCALE: N.T.S.		SA-06	
DATE: 11/15/2011			



TOWN OF HENRIETTA		SANITARY LATERAL CONNECTION DETAIL	
SCALE: N.T.S.		SA-05	
DATE: 11/15/2011			

Revisions	No.	Revision/Issue	Date
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
	2.	REVISIONS PER BENDERSON	4/14/22
	1.	REVISIONS PER BENDERSON	2/6/22
	No.	Revision/Issue	Date

Notes & References

CONTRACTOR SHALL CONTACT 'DIG SAFELY' NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES. AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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PROJECT NO. 1810

Engineer's Seal

STATE OF NEW YORK
SPARA LYNN GIBBERTI
087296
REGISTERED PROFESSIONAL ENGINEER

Engineer

PINEWOODS ENGINEERING, P.C.
www.pinewoodsengineering.com

42 Aston Villa, North Chili, New York 14514
Phone: (585) 261-7852

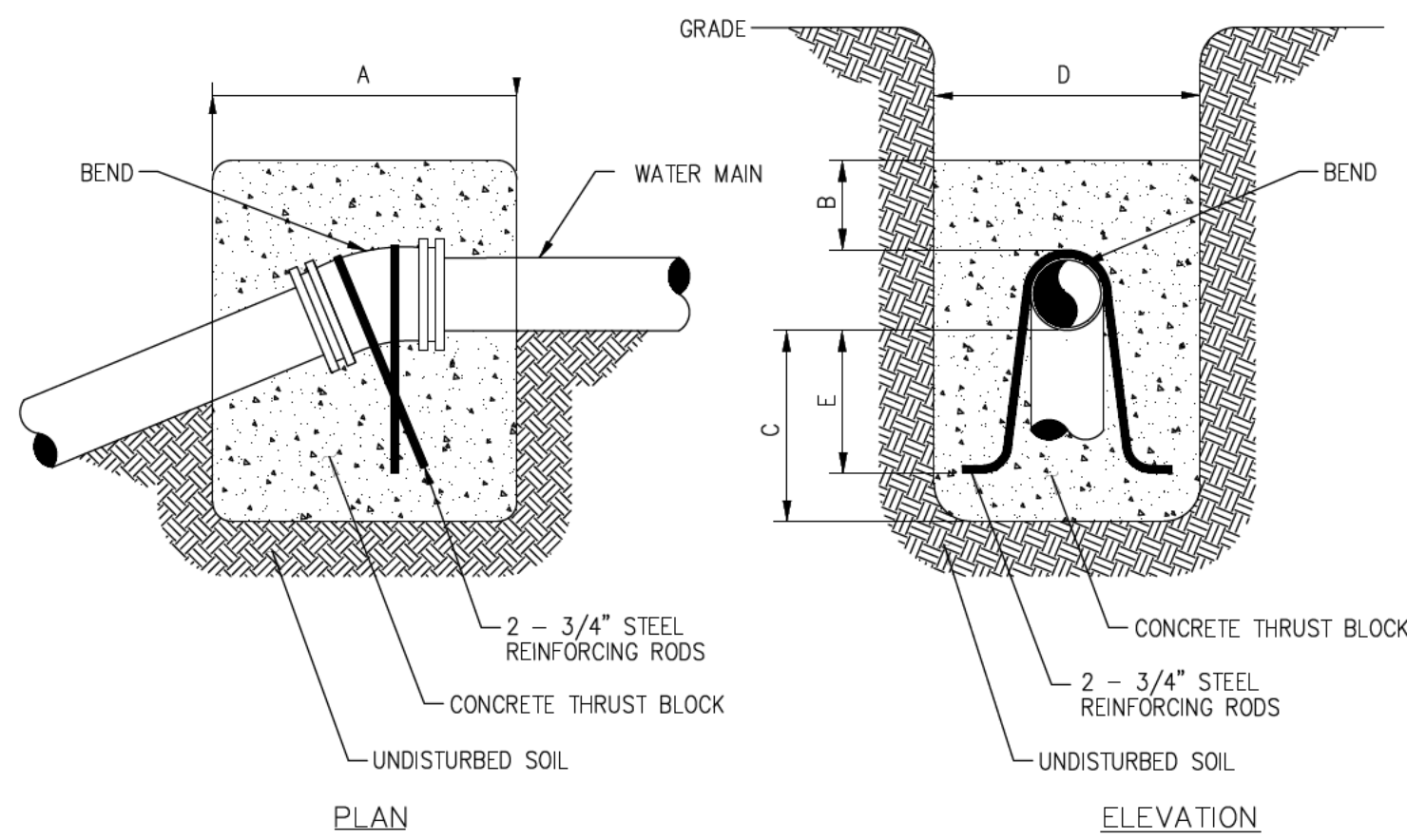
Project Name and Address

PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

Drawing Name	
DRAINAGE & UTILITY DETAILS - 1	
Sheet	11 OF 16
Date	12/15/2021
Scale	AS NOTED
Drawing Number	C-6.1

BEND	MINIMUM VOLUME OF CONCRETE DIMENSIONS	VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
4" / 6" - 90° BEND	0.70 CY	3'-0"	1'-0"	1'-6"	2'-0"	1'-0"
4" / 6" - 45° BEND	0.40 CY	2'-0"	1'-0"	1'-0"	2'-0"	0'-6"
4" / 6" - 22 1/2° BEND	0.20 CY	1'-0"	1'-0"	1'-0"	2'-0"	0'-6"
4" / 6" - 11 1/4° BEND	0.20 CY	1'-0"	1'-0"	1'-0"	2'-0"	0'-6"
8" - 11-1/4° BEND	1.00 CY	3'-0"	1'-0"	1'-3"	3'-0"	1'-0"
8" - 22-1/2° BEND	1.50 CY	4'-0"	1'-0"	1'-10"	3'-0"	1'-6"
8" - 45° BEND	2.50 CY	6'-0"	1'-6"	2'-0"	3'-0"	1'-8"

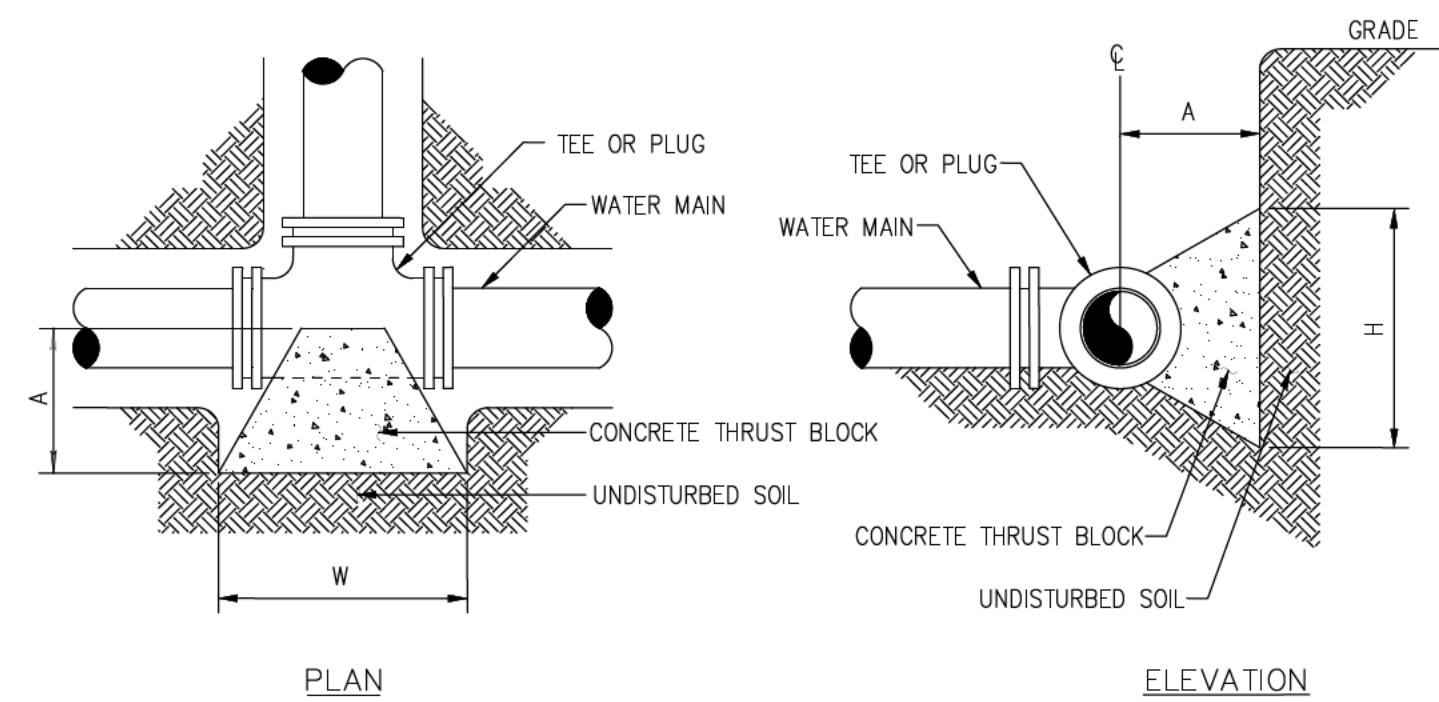
* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.



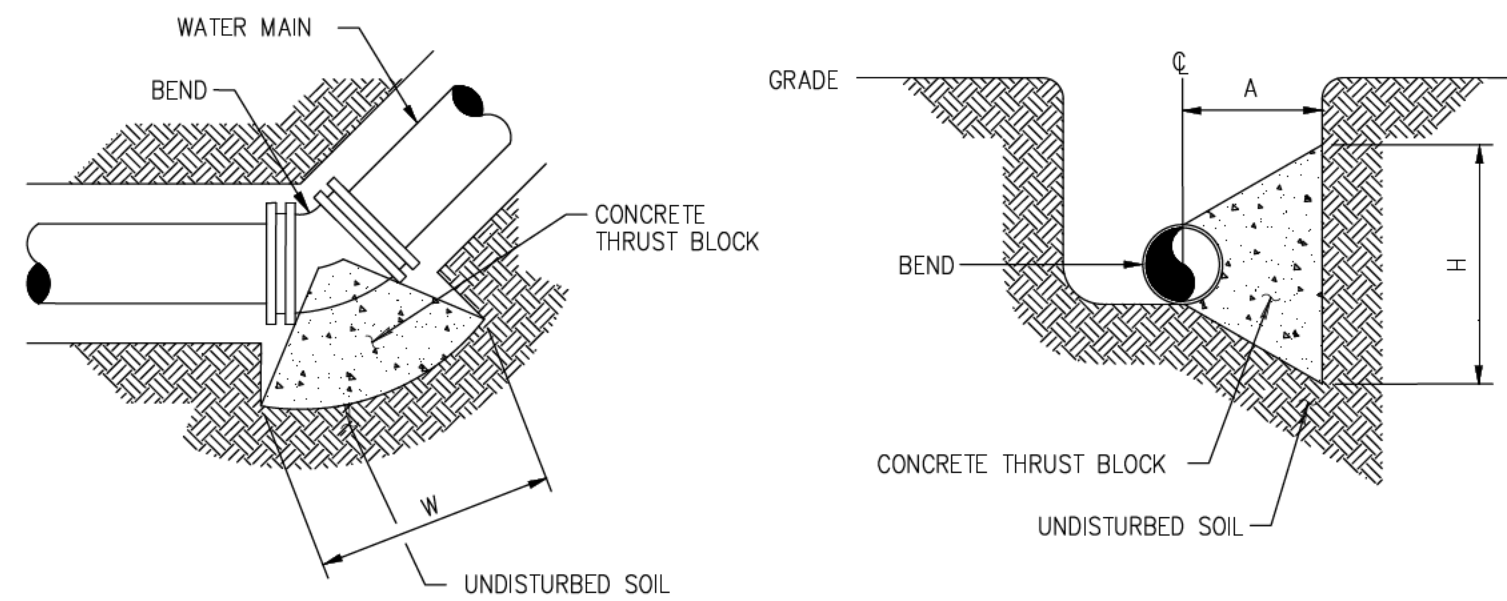
VERTICAL THRUST BLOCK
NOT TO SCALE

MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS (IN FEET), TO BE POURED AGAINST UNDISTURBED SOIL.			
FITTING	H	W	A
4" / 6" - 90° BEND	1'-9"	3'-6"	1'-3"
4" / 6" - 45° BEND	1'-3"	2'-6"	1'-3"
4" / 6" - 22 1/2° BEND	1'-3"	2'-6"	1'-3"
4" / 6" - 11 1/4° BEND	1'-3"	2'-6"	1'-3"
4" / 6" TEE OR PLUG	1'-9"	3'-6"	1'-3"
8" - 11-1/4° BEND	1'-0"	1'-0"	1'-6"
8" - 22-1/2° BEND	1'-0"	1'-6"	1'-6"
8" - 45° BEND	1'-6"	2'-0"	1'-6"
8" - 90° BEND	2'-0"	2'-6"	1'-6"
8" TEE OR PLUG	1'-6"	2'-6"	1'-0"

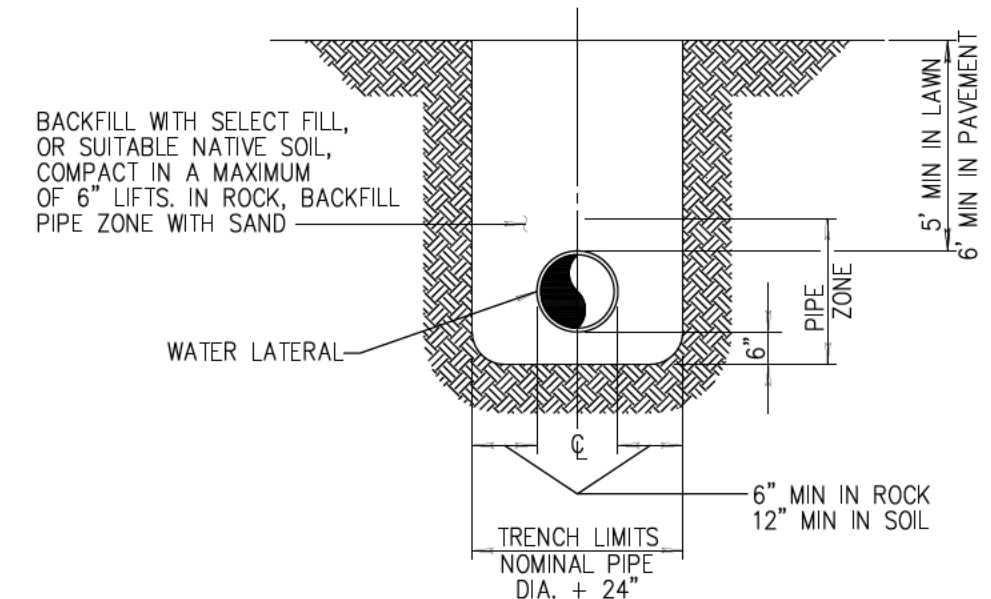
NOTE:
WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).



HORIZONTAL THRUST BLOCK FOR TEES AND PLUGS
NOT TO SCALE



HORIZONTAL THRUST BLOCK FOR BENDS
NOT TO SCALE



BLDG WATER LATERAL INSTALLATION TRENCH
NOT TO SCALE

WATER LATERAL INSTALLATION AND TESTING NOTES

Waterlines shall be installed to maintain at least a minimum vertical and horizontal separation from existing or proposed sanitary sewers in conformance with Parts 8.6.2 and 8.6.3 of the Recommended Standards for Water Works (New York State Health Department Bulletin 42).

Pipe: From Top/Tee to Backflow Prevention: 6" diameter class 52 Ductile Iron pipe.
After Backflow Prevention: 6" diameter AWWA C-900 Polyvinyl chloride (PVC) pipe.
After Backflow Prevention & where specified: 2" diameter class 160 PE tubing.
Irrigation Line: From top/tee to Backflow Prevention: 2" diameter Type K Copper pipe.
After Backflow Prevention: 2" diameter class 160 PE tubing.

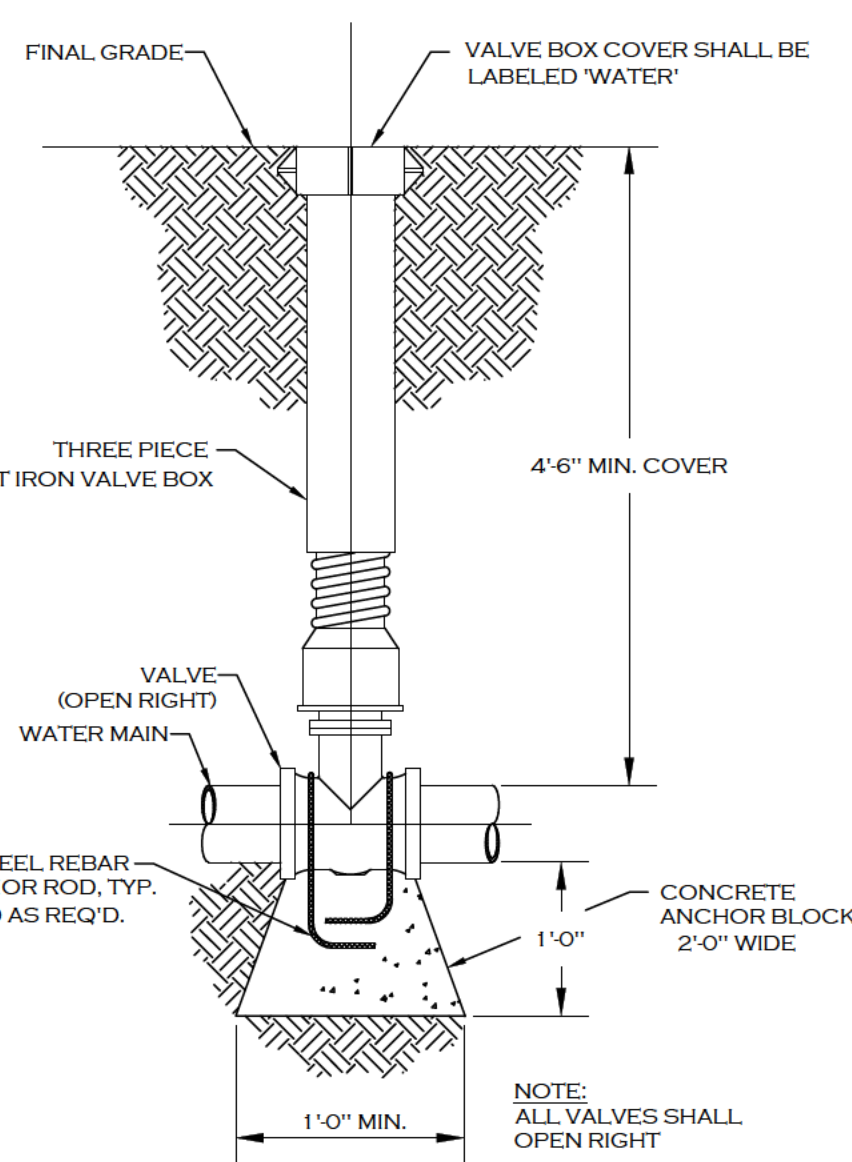
Unless otherwise noted in the specifications or drawings, the installation of water pipe shall be governed by the A.W.W.A. Standard Specifications for installation of PVC pipe.

When completed and before the work is accepted, each section of pipe shall be flushed, tested, and disinfected prior to being placed in service.

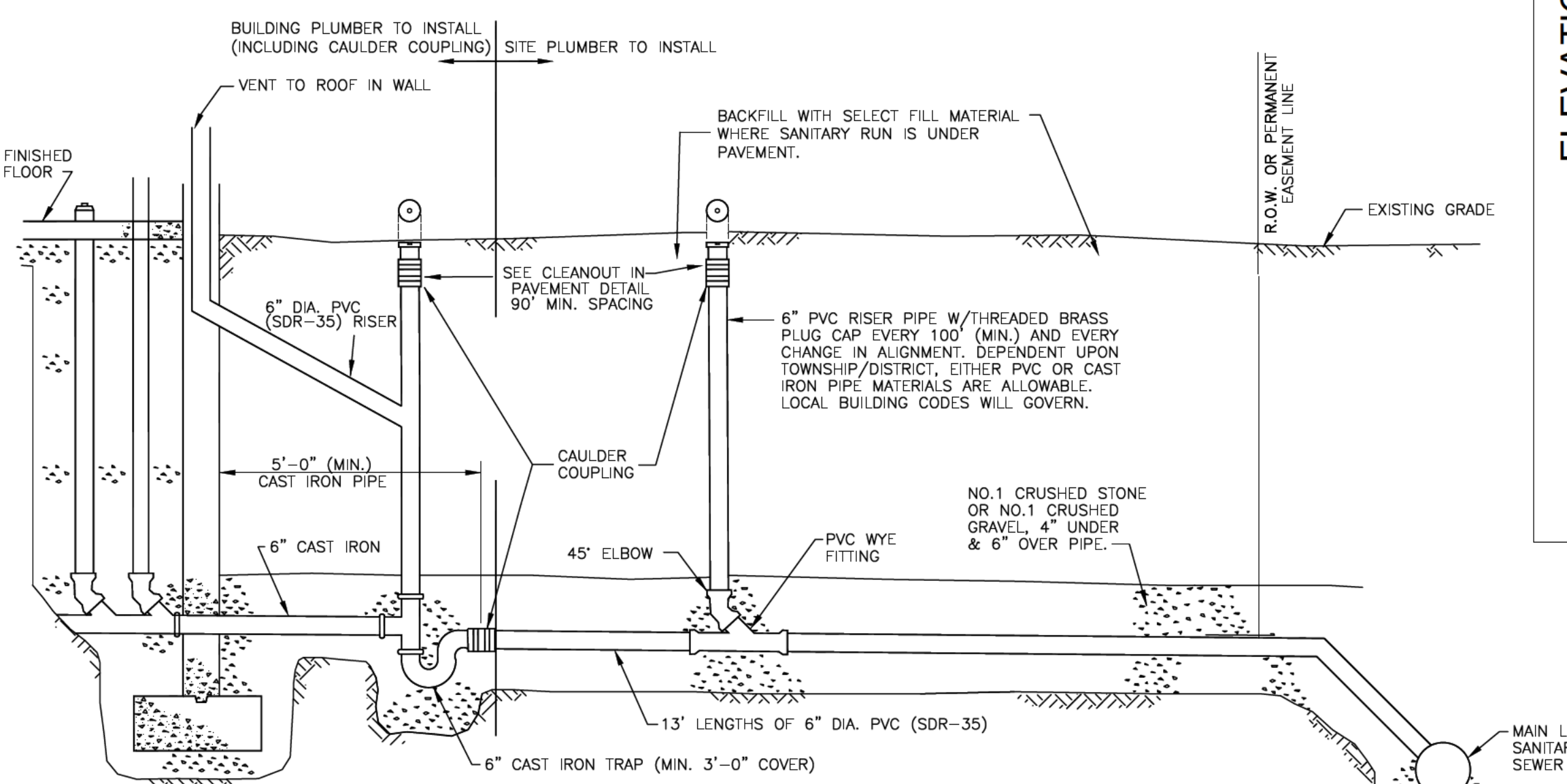
The contractor shall do all work and furnish all means and apparatus necessary for admitting the water into the mains for flushing, testing, and disinfection, including providing necessary pumps, calibrated gauges, and metering devices.

Hydrostatic (leakage testing) at a minimum shall comply with the requirements of AWWA C600-82 Section 4. If leakage discovered exceeds the amount specified, the contractor shall replace defective pipes, valves, or appurtenances and do any work necessary immediately and conduct re-test.

Disinfection shall be carried out in conformance with AWWA C651-86 (excluding Section 5.1). The sections of watermain to be disinfected shall be flushed first to remove any solids or contaminated material that may exist. Samples shall be taken from the beginning and end of each section as well as from any stub attached to that section. If the mains being tested are long, samples shall be taken at intervals not to exceed 1000 feet. In the event that tests prove unsatisfactory by the County Health Department Standards, chlorination and sampling shall be repeated.

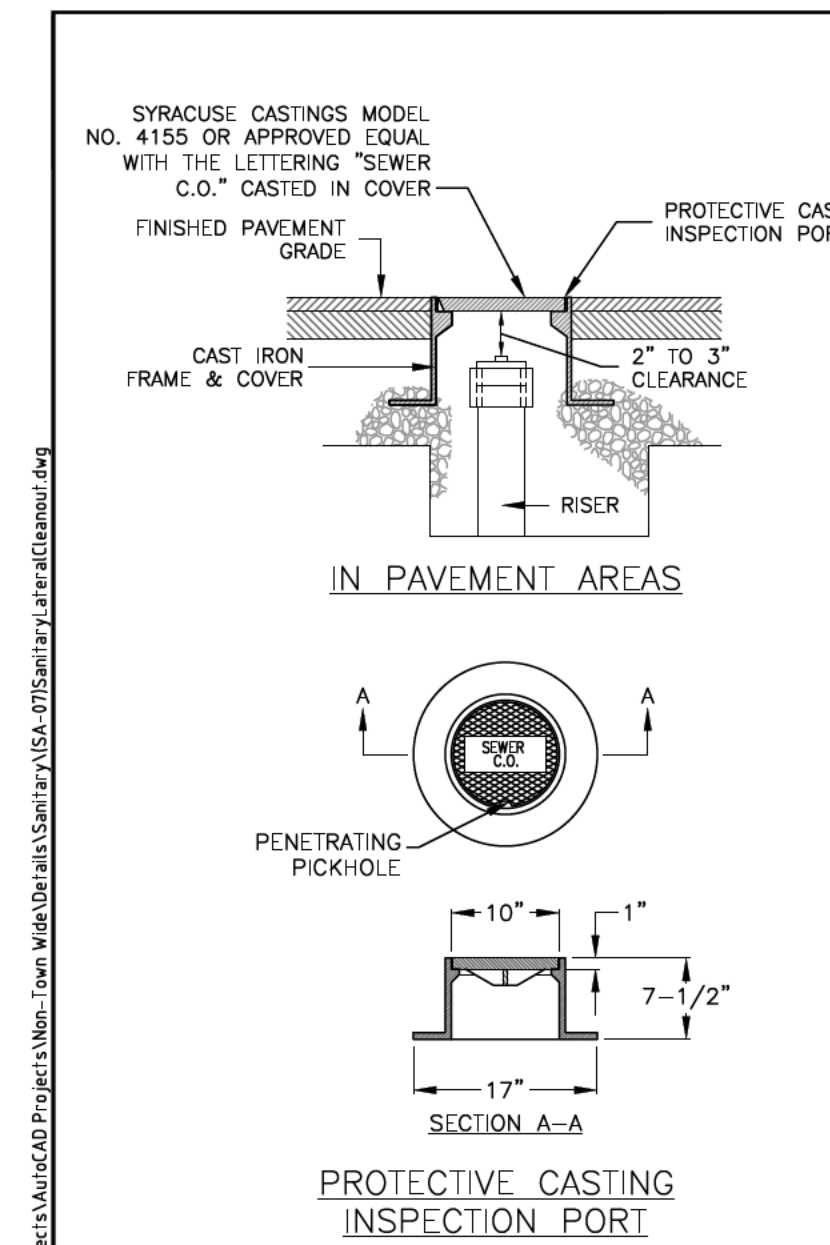


TYPICAL GATE VALVE DETAIL



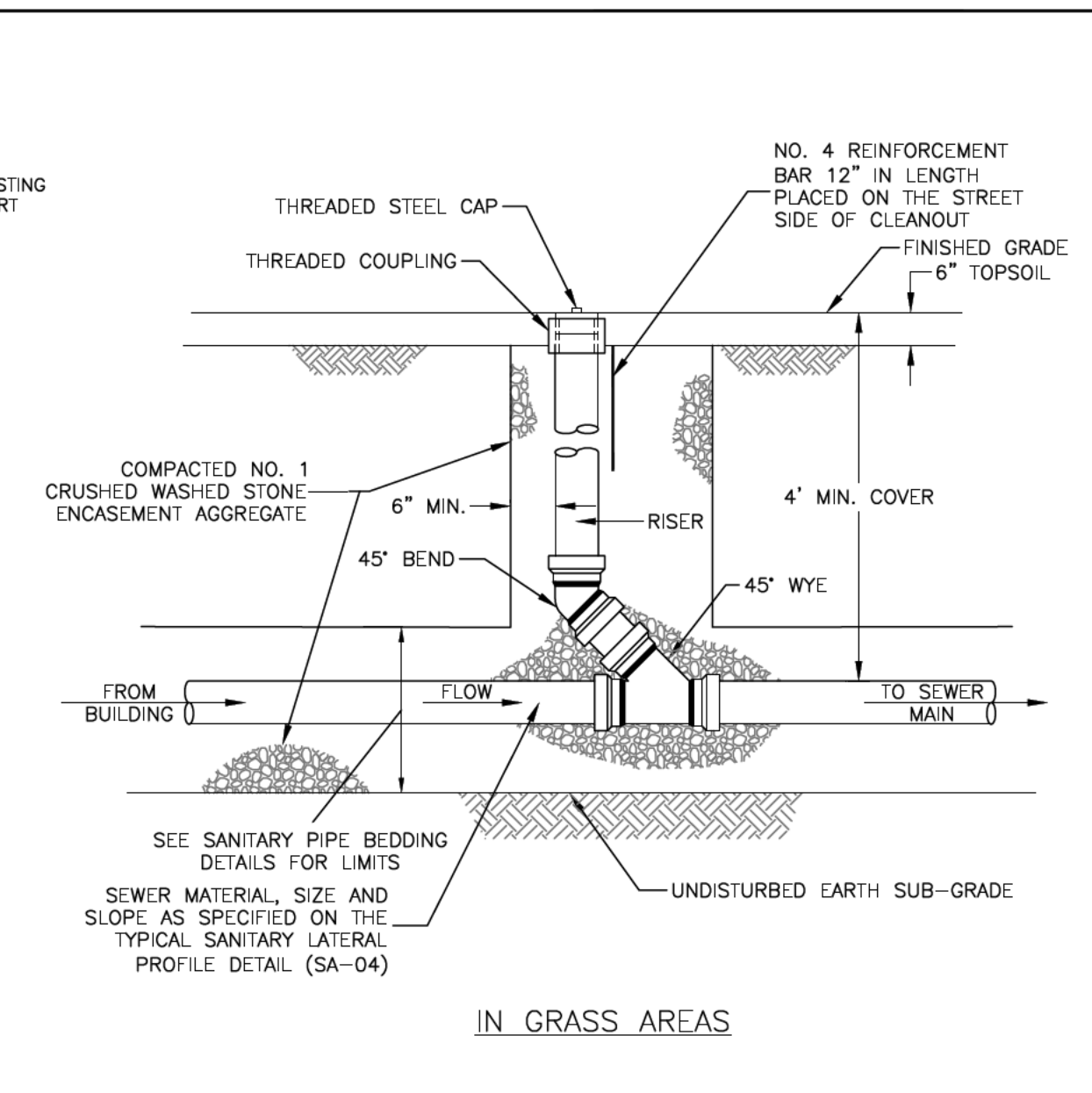
- Notes:
- NO INSPECTION WILL BE PROVIDED WITHOUT A PERMIT. INSPECTIONS REQUIRE 48 HR. ADVANCE NOTICE FOR SCHEDULING.
 - ALL WORK MUST BE INSPECTED BY A COUNTY INSPECTOR.
 - PVC PIPE MATERIAL SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST ASTM SPECIFICATION D-3033/D-3034. CAST IRON PIPE MATERIAL SHALL BE EXTRA HEAVY CAST IRON MEETING THE REQUIREMENTS OF ASTM A142.
 - SELECT BACKFILL REQUIRED UNDER PAVED AREAS.
 - CONCRETE ENCASUREMENT IF COVER DEPTH IS LESS THAN 4'-0" UNDER PAVED AREAS.
 - MIN. DEPTH OF COVER 3'-0".
 - CLEAN OUT MEASUREMENTS SHALL START FROM CENTERLINE OF MAIN SEWER FOR NEARS DE LATERALS AND FROM THE 6" CLEAN OUT FOR FAR SIDE CONNECTIONS. A CLEAN OUT MAY BE REQUIRED FOR ANY ABRUPT CHANGES IN LATERAL DIRECTION FLOW.
 - A 6" CLEAN OUT IS REQUIRED AT R.O.W. WHENEVER THE MAIN SEWER IS UNDER THE PAVEMENT LIMITS OR AT FAR SIDE OF PAVEMENT.
 - ANY SEWER LATERAL THROUGH OR OVER A SEPTIC TANK MUST BE CAST IRON (SEPTIC TANK MUST BE FILLED WITH BANK RUN GRAVEL).
 - ANY EXCAVATION TO BE LEFT OPEN OVERNIGHT SHALL BE COMPLETELY ENCLOSED IN FENCING, OR WHERE NECESSARY, COVERED WITH STEEL PLATES.
 - DOWN SPOUTS, SUMP PUMPS AND FOOTING DRAINS ARE NOT PERMITTED TO BE CONNECTED TO THE LATERAL.
 - FOR NEW STRUCTURES, NO CONNECTION SHALL BE MADE UNTIL BUILDING ROOF IS ERECTED AND BASEMENT FLOOR IS POURED.

TYPICAL COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL



PROTECTIVE CASTING INSPECTION PORT
IN PAVEMENT AREAS

- NOTES:
- MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 30B.
 - HEAVY DUTY CASTING SHALL BE DESIGNED FOR A.A.S.H.T.O. H20-16 WHEEL LOADS.



PROTECTIVE CASTING INSPECTION PORT
IN GRASS AREAS

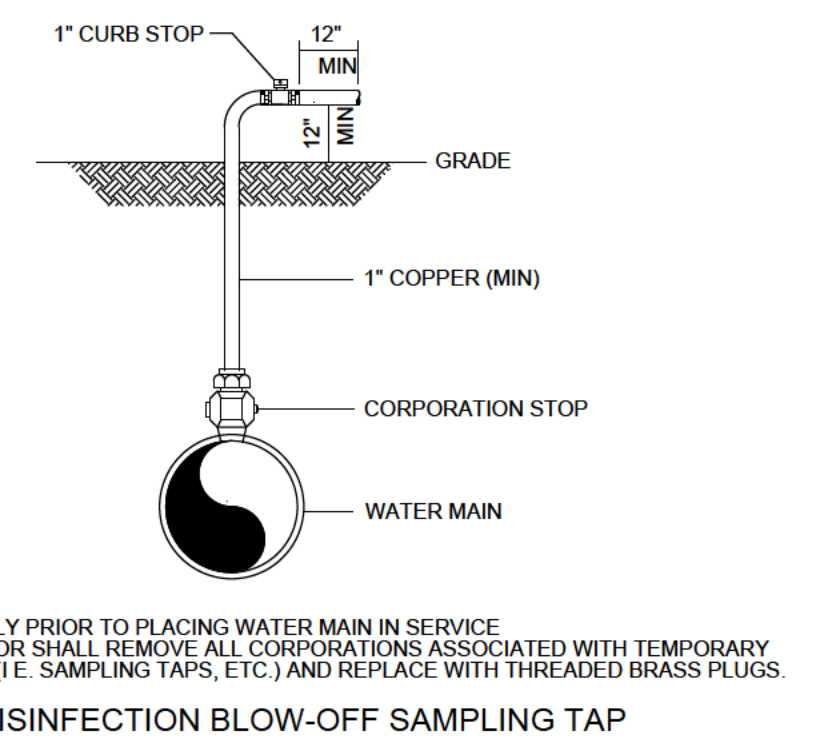
TOWN OF HENRIETTA

SANITARY LATERAL CLEANOUT

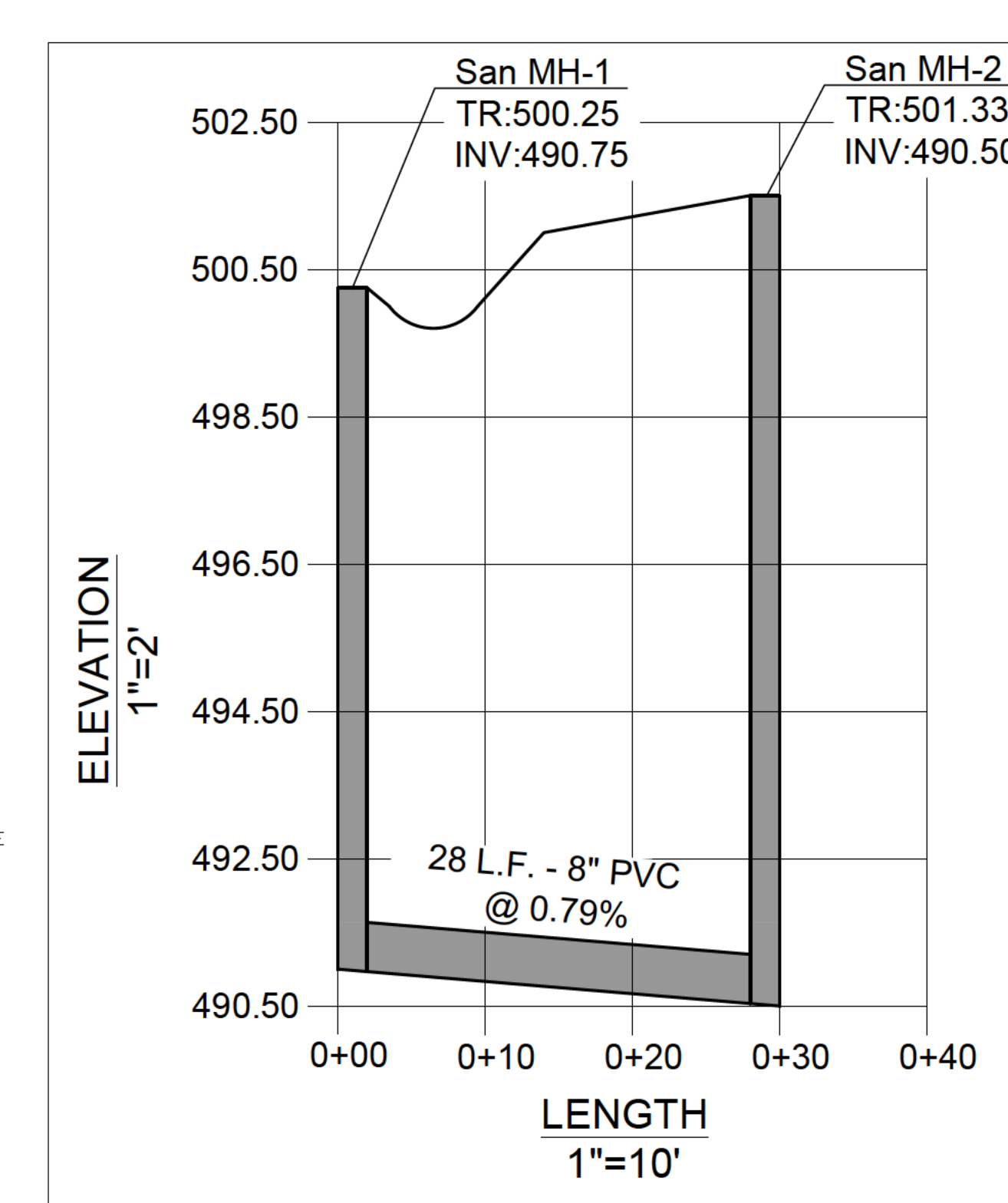
SCALE: N.T.S.

DATE: 11/15/2011

SA-07



DISINFECTATION BLOW-OFF SAMPLING TAP
NOT TO SCALE



Revisions	8/4/23	6/22/22	5/11/22	4/14/22	2/6/22	Date
5.	REVISIONS PER BENDERSON					
4.	REVISIONS PER TOWN REVIEW					
3.	REVISIONS PER BENDERSON					
2.	REVISIONS PER BENDERSON					
1.	REVISIONS PER BENDERSON					
No.						Revision/Issue

Notes & References

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PROJECT NO. 1810

Engineer's Seal

STATE OF NEW YORK
SPRING LYNN GIBBONS
087296
REGISTERED PROFESSIONAL ENGINEER

Engineer

PINWOODS ENGINEERING, P.C.

www.pinwoodsengineering.com

42 Aston Villa, North Chili, New York 14514
Phone: (585) 261-7852

Project Name and Address

PROPOSED MEDICAL

1300 Jefferson Road
Henrietta, New York 14623

Drawing Name

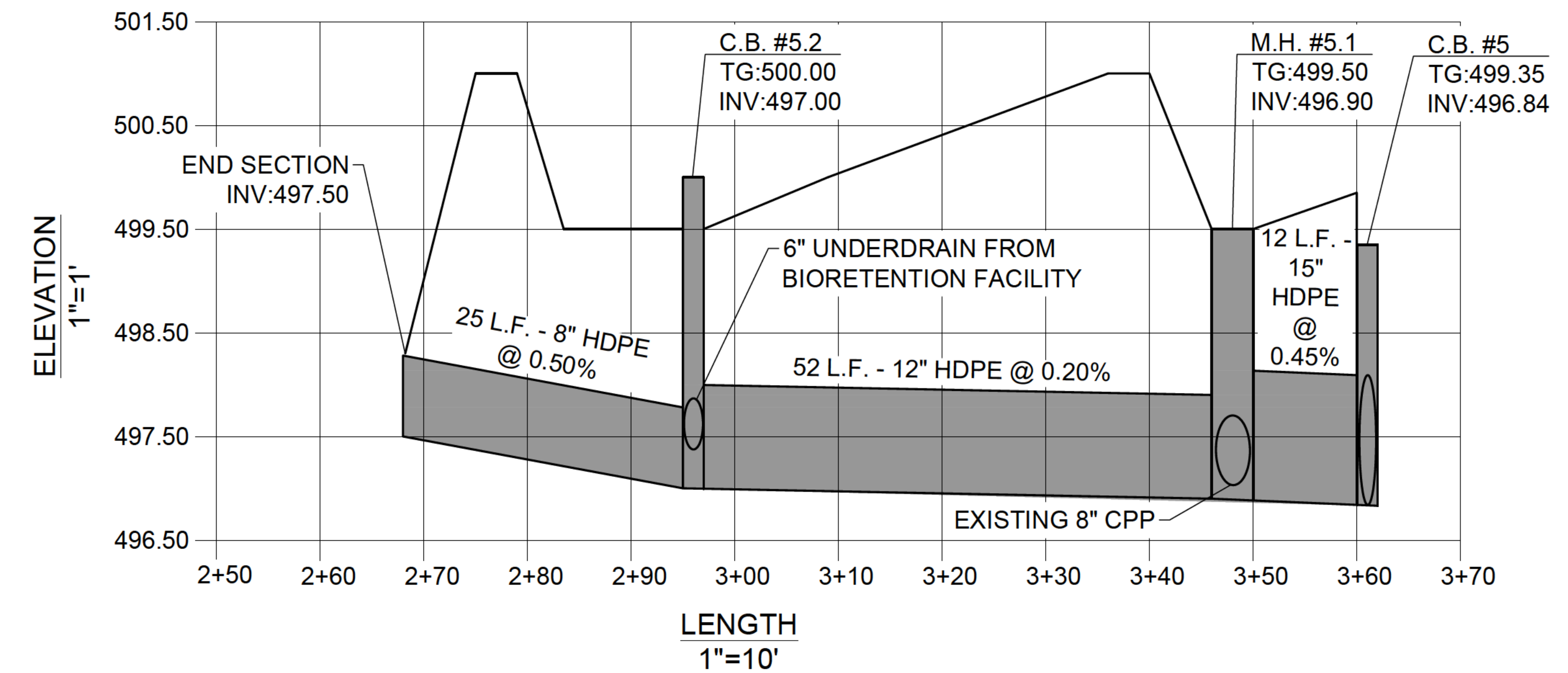
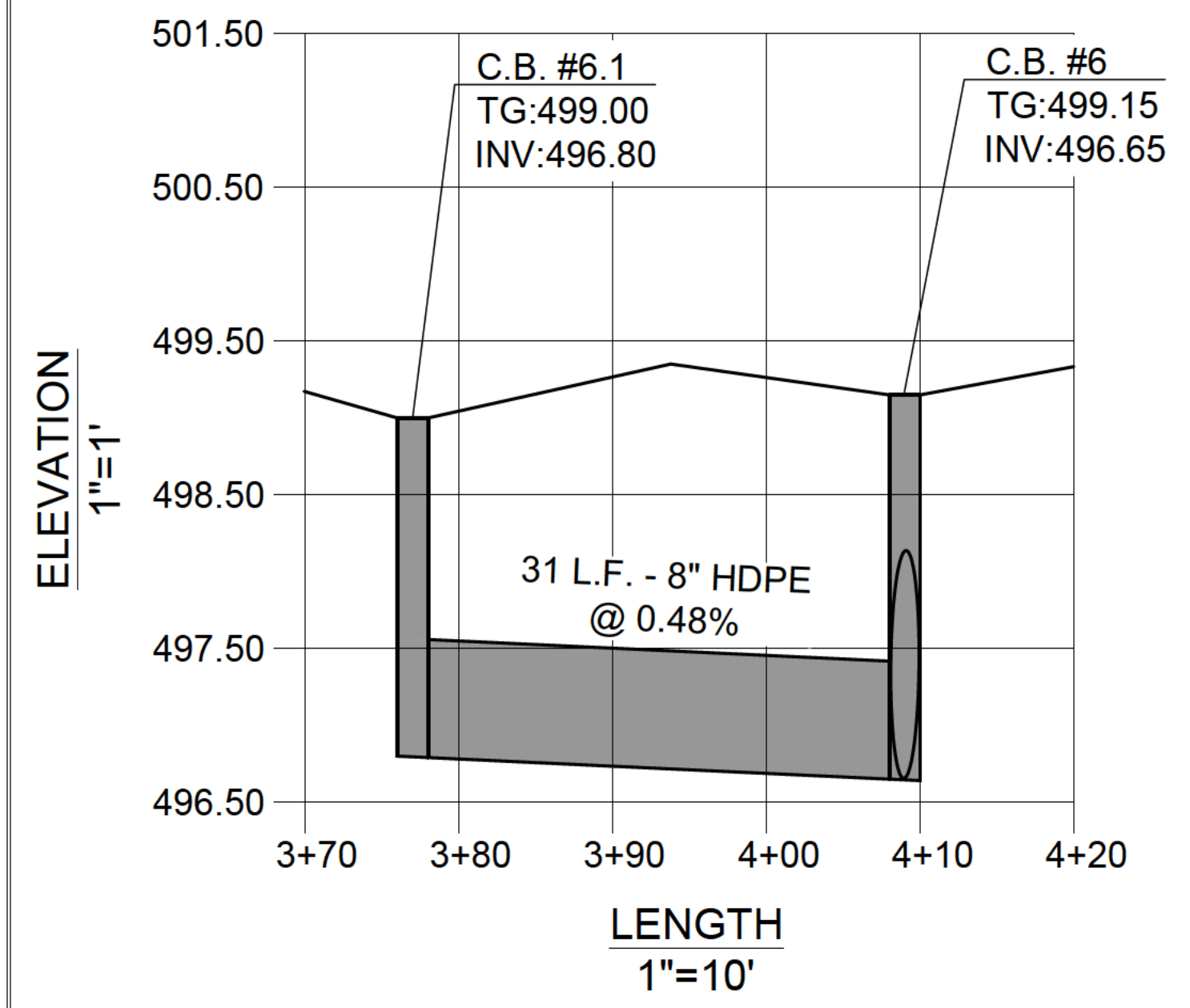
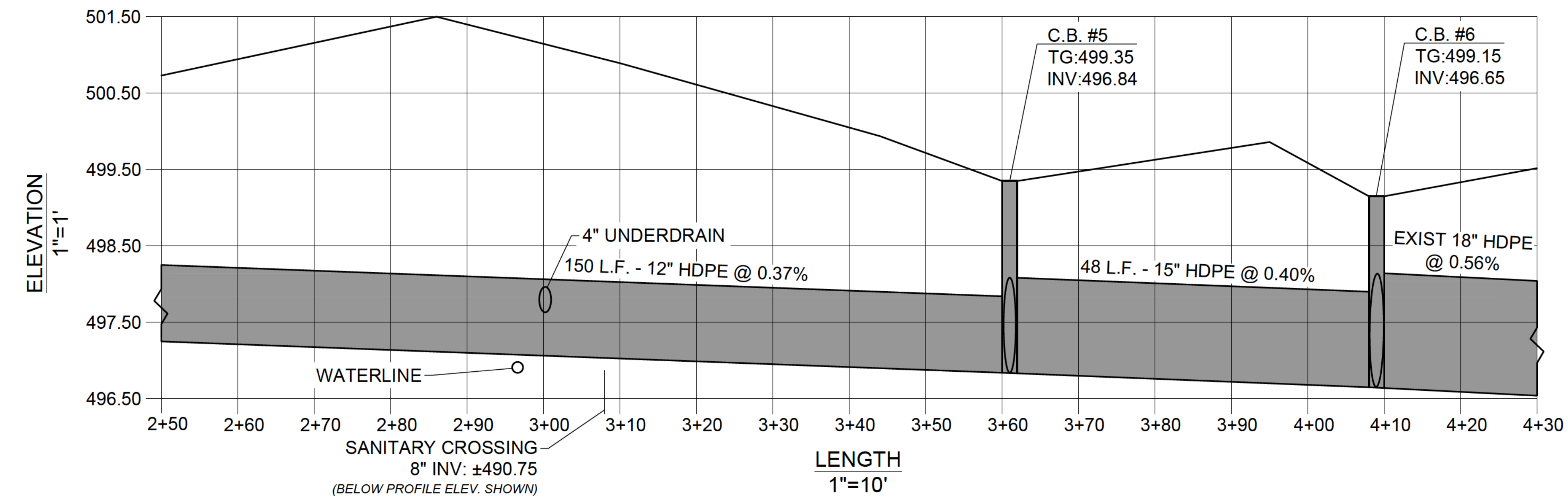
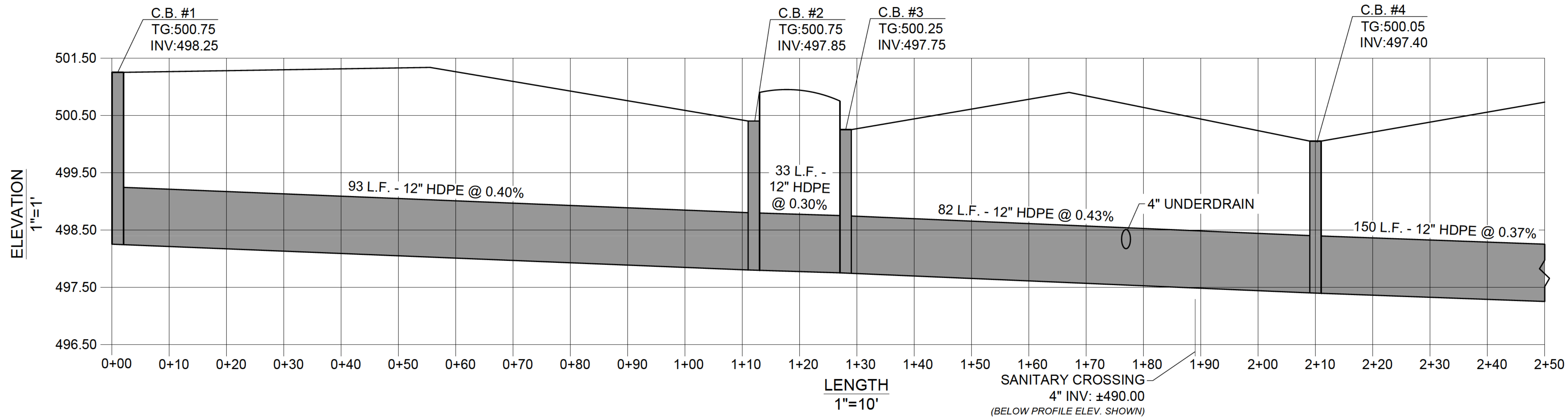
DRAINAGE & UTILITY DETAILS - 2

Sheet: 12 OF 16

Date: 12/15/2021

Scale: AS NOTED

Drawing Number: C-6.2



No.	Revision/Issue	Date
5.	REVISIONS PER BENDERSON	6/21/23
4.	REVISIONS PER TOWN REVIEW	6/22/22
3.	REVISIONS PER BENDERSON	5/11/22
2.	REVISIONS PER BENDERSON	4/14/22
1.	REVISIONS PER BENDERSON	2/6/22

Notes & References

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Engineer's Seal

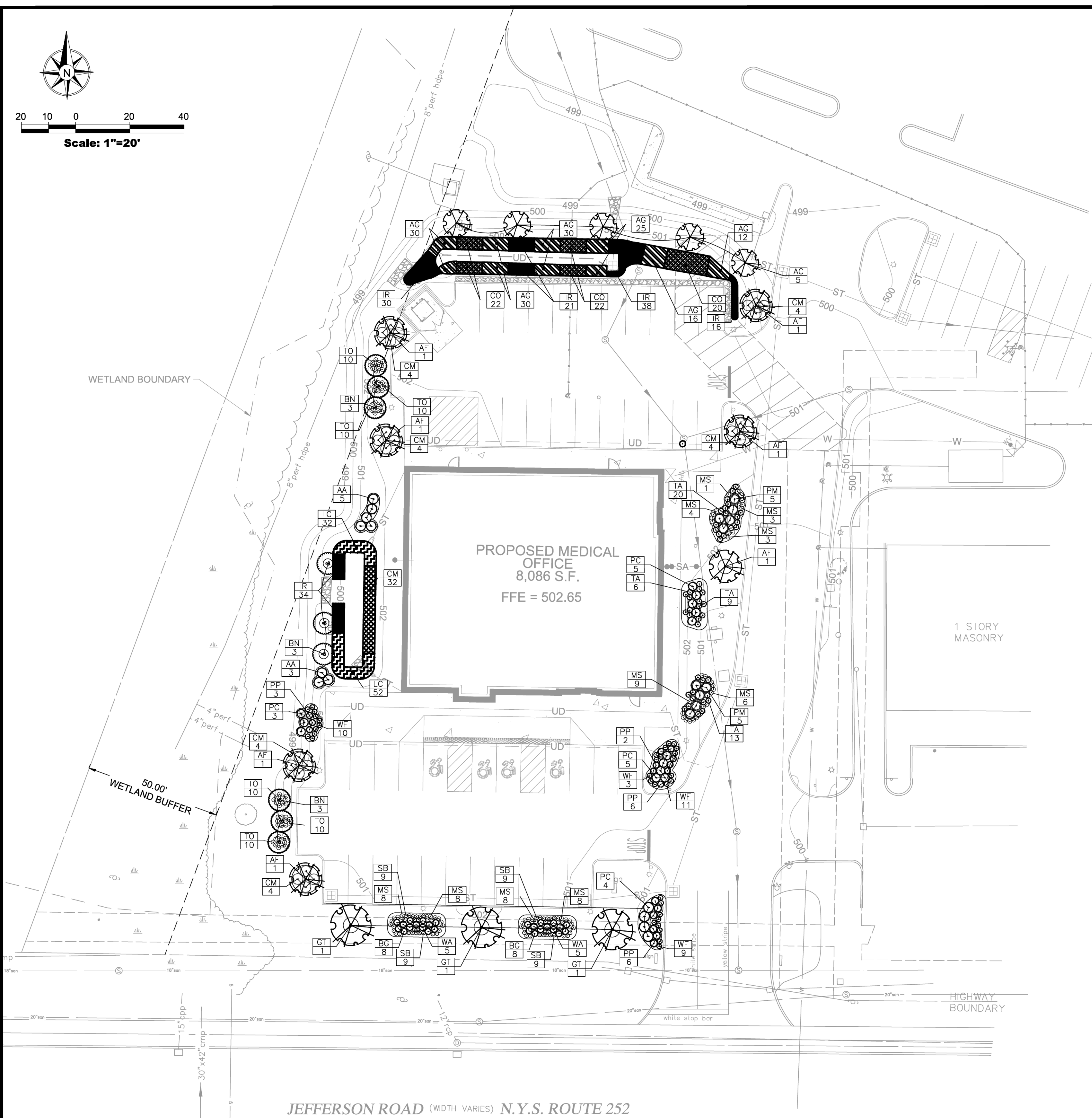
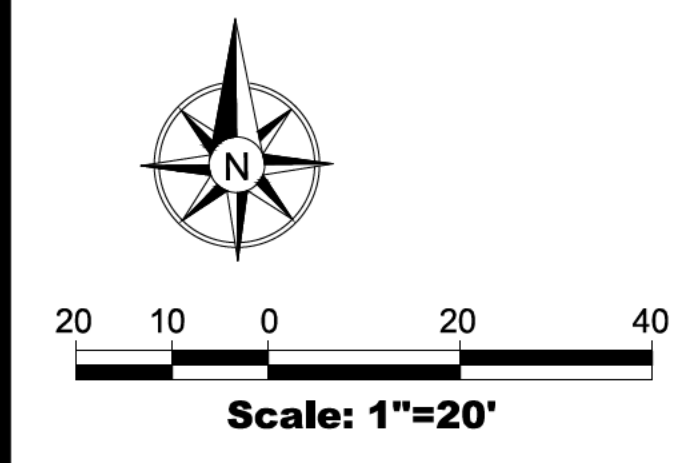
Engineer

PINEWOODS ENGINEERING, P.C.
www.pinewoodsengineering.com
42 Aston Villa, North Chili, New York 14514
Phone: (585) 261-7852

Project Name and Address

PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

Drawing Name	
STORM SEWER PROFILES	
Sheet	Drawing Number
13 OF 16	C-6.3
Date	Scale
12/15/2021	1" = 10'



KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	REMARKS
TREES							
AC	5	Amelanchier canadensis 'Trazam'	Trazam Serviceberry		2.5'-3"	B&B	
AF	7	Acer x freemanii	Armstrong Maple		3.5"	B&B	
BN	9	Betula nigra 'Little King'	Dwarf River Birch		6'	B&B	Clump Form
GT	3	Gleditsia triacanthos 'Impcole'	Imperial Honeylocust		3.5"	B&B	
SHRUBS							
AA	8	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry		30"	#5 Cont.	
BG	16	Buxus sempervirens 'Green Velvet'	Green Velvet Boxwood		24"	#3 Cont.	
CM	24	Cornus racemosa 'Muszam'	Muszam Gray Dogwood		18"	#5 Cont.	
PC	13	Prunus x cistena 'Uconnpc001'	The Darkstar Purpleleaf Sand Cherry		36"	#5 Cont.	
PM	10	Pinus mugo pumilio 'Compact Select'	Compact Mugo Pine		30"	#5 Cont.	
PP	11	Picea pungens 'Globosa'	Dwarf Globe Blue Spruce		24"	#5 Cont.	
SB	36	Spiraea bumalda 'Gold Mound'	Gold Mound Spiraea		12"	#5 Cont.	
TA	48	Thuja occidentalis 'Aurea'	Golden Globe Arborvitae		18"	B&B	
TO	60	Thuja occidentalis 'Bobazam'	Babazam Globe Arborvitae		18"	#5 Cont.	
WA	10	Weigela florida 'Alexandra'	Wine & Roses Weigela		30"	#5 Cont.	
WF	24	Weigela florida 'Minuet'	Minuet Weigela		18"	#5 Cont.	
ORNAMENTAL GRASSES							
MS	68	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass		12"	#5 Cont.	
HERBACEOUS PLANTS							
AG	127	Acorus gramineus	Sweet Flag			#2 Cont.	
CI	32	Carex muskingumensis 'Ice Fountains'	Variegated Palm sedge			#2 Cont.	
CO	64	Carex oshimensis 'Evergold'	Evergold sedge			#2 Cont.	
IR	139	Iris versicolor	Blue Flag Iris			#2 Cont.	
LC	84	Lobelia cardinalis	Cardinal Flower			#2 Cont.	

Revisions	8/15/23	8/4/23	6/21/23	6/22/22	5/11/22	4/14/22	2/6/22	Date
7.	UPDATED BLDG. FOOTPRINT							
6.	REVISIONS PER BENDERSON							
5.	REVISIONS PER BENDERSON							
4.	REVISIONS PER TOWN REVIEW							
3.	REVISIONS PER BENDERSON							
2.	REVISIONS PER BENDERSON							
1.	REVISIONS PER BENDERSON							
No.								Revision/Issue

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PROJECT NO. 1810

Landscape Architect

Landscape Architect

ROBERT J. TRYBULSKI
LANDSCAPE ARCHITECT

Project Name and Address

PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

Drawing Name	
LANDSCAPE PLAN	
Sheet	Drawing Number
14 OF 16	C-7.0
Date	
12/15/2021	
Scale	
1"=20'	

TOWN APPROVALS

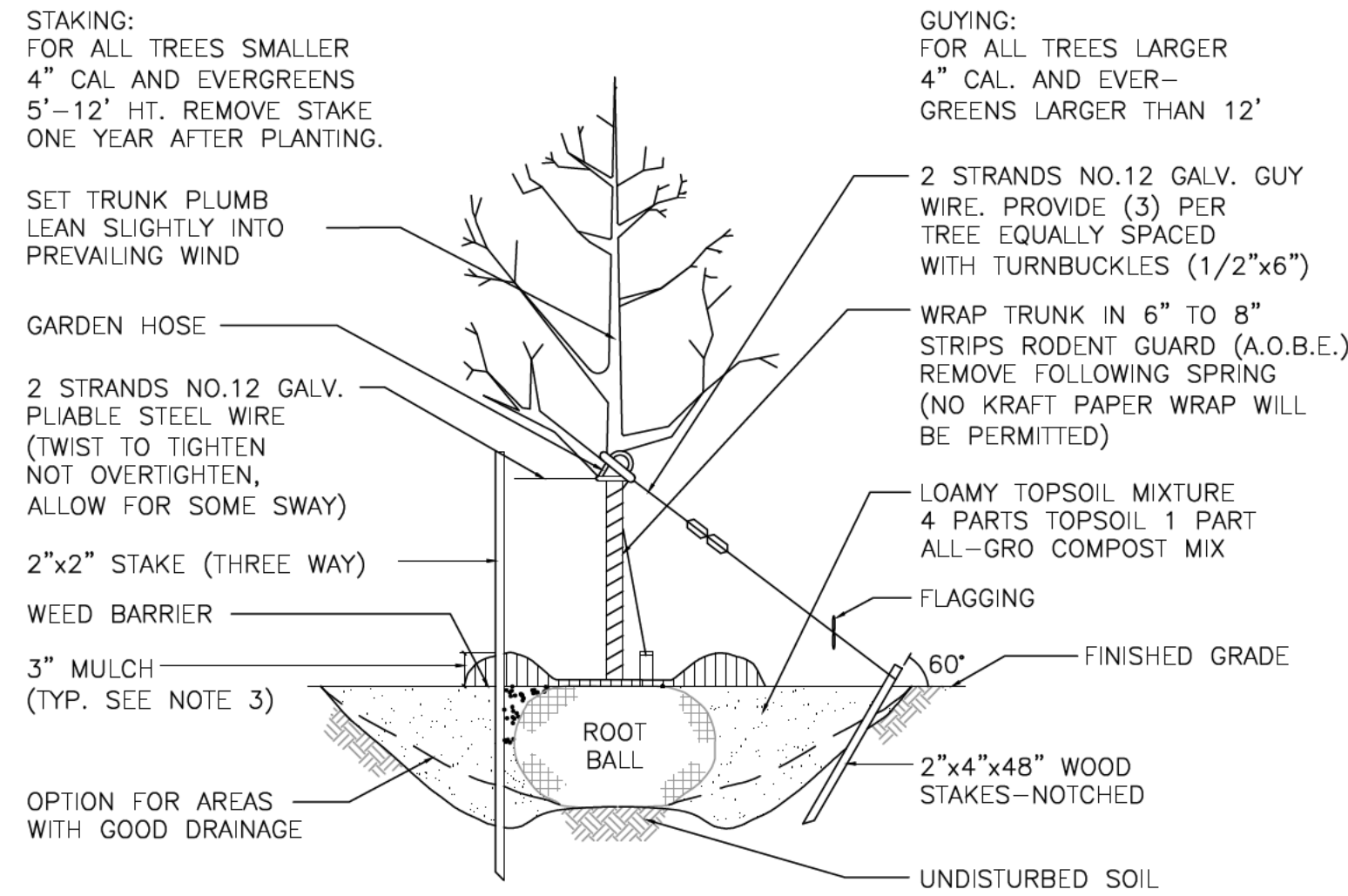
PLANNING BOARD CHAIRMAN _____ DATE _____

LANDSCAPE PLAN


JEFFERSON ROAD (WIDTH VARIES) N.Y.S. ROUTE 252

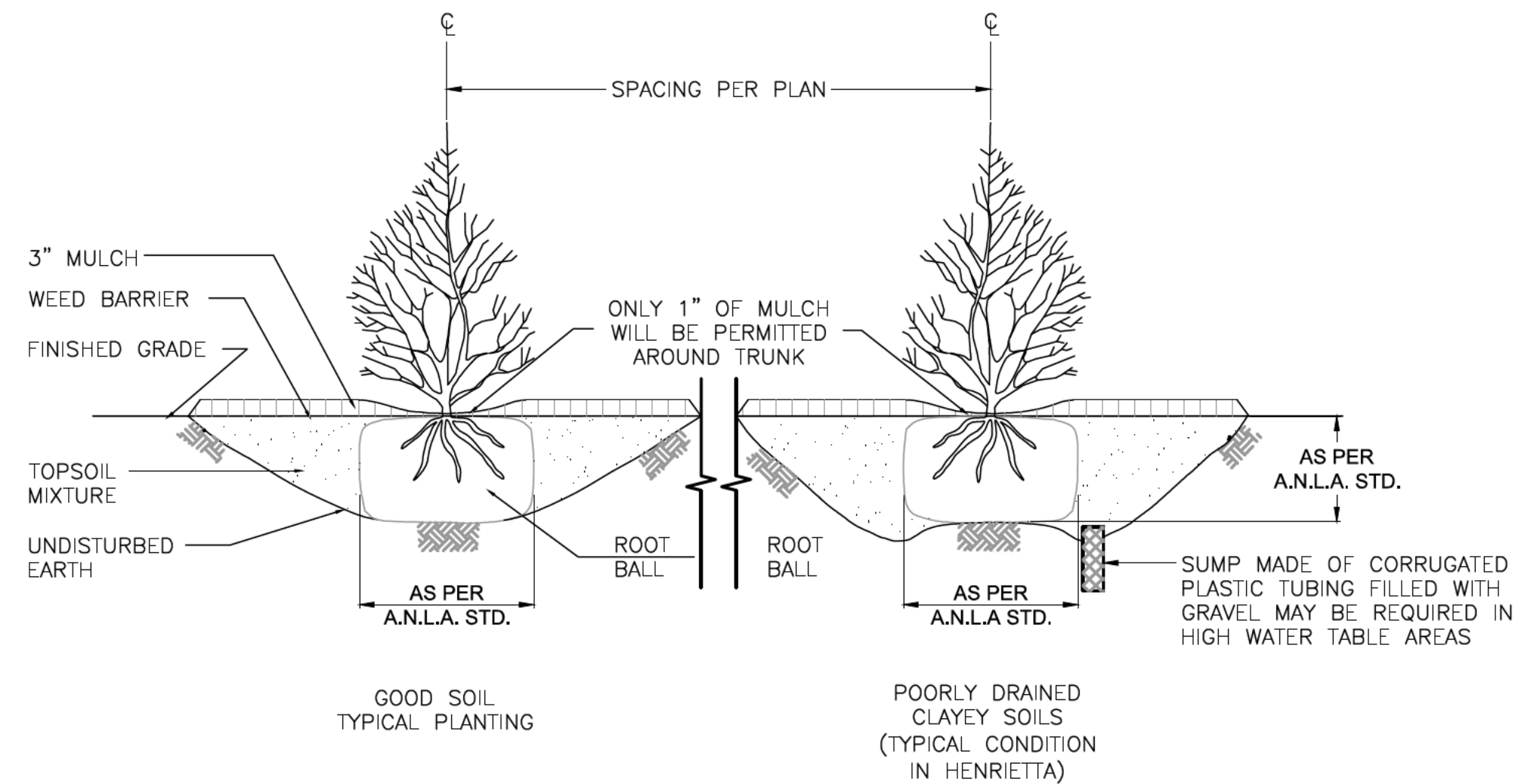
LANDSCAPE NOTES:

- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, ANSI Z60.1
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUALLY INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY, ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY, CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
- ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/3 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
- STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER 10 MIL. WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS OR SOD (INCLUDING RIGHT-OF-WAYS) SHALL BE SEEDED.
- THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 6" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
- ALL SEEDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING, SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.
- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
- SEED SCHEDULE (LAWN AREAS)
4-5 LBS/1,000 S.F.
15% KENTUCKY BLUEGRASS BLEND (USE AT LEAST CULTIVARS)
65% FINE FESCUE (RELIANT OR BILJART)
20% PERENNIAL RYEGRASS (ALL-STAR DSAHER II)
- MULCH LAYER IN BIORETENTION AREAS TO BE STANDARD STYLE, SINGLE OR DOUBLE, SHREDDED WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS) HARDWOOD MULCH FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. MULCH TO BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES.
- THERE WILL BE NO CHANGE OR PLANT SUBSTITUTIONS TO THE LANDSCAPING PLAN WITHOUT PRIOR APPROVAL FROM BOTH THE DIRECTOR OF ENGINEERING & PLANNING AND THE PLANNING BOARD CHAIRMAN.




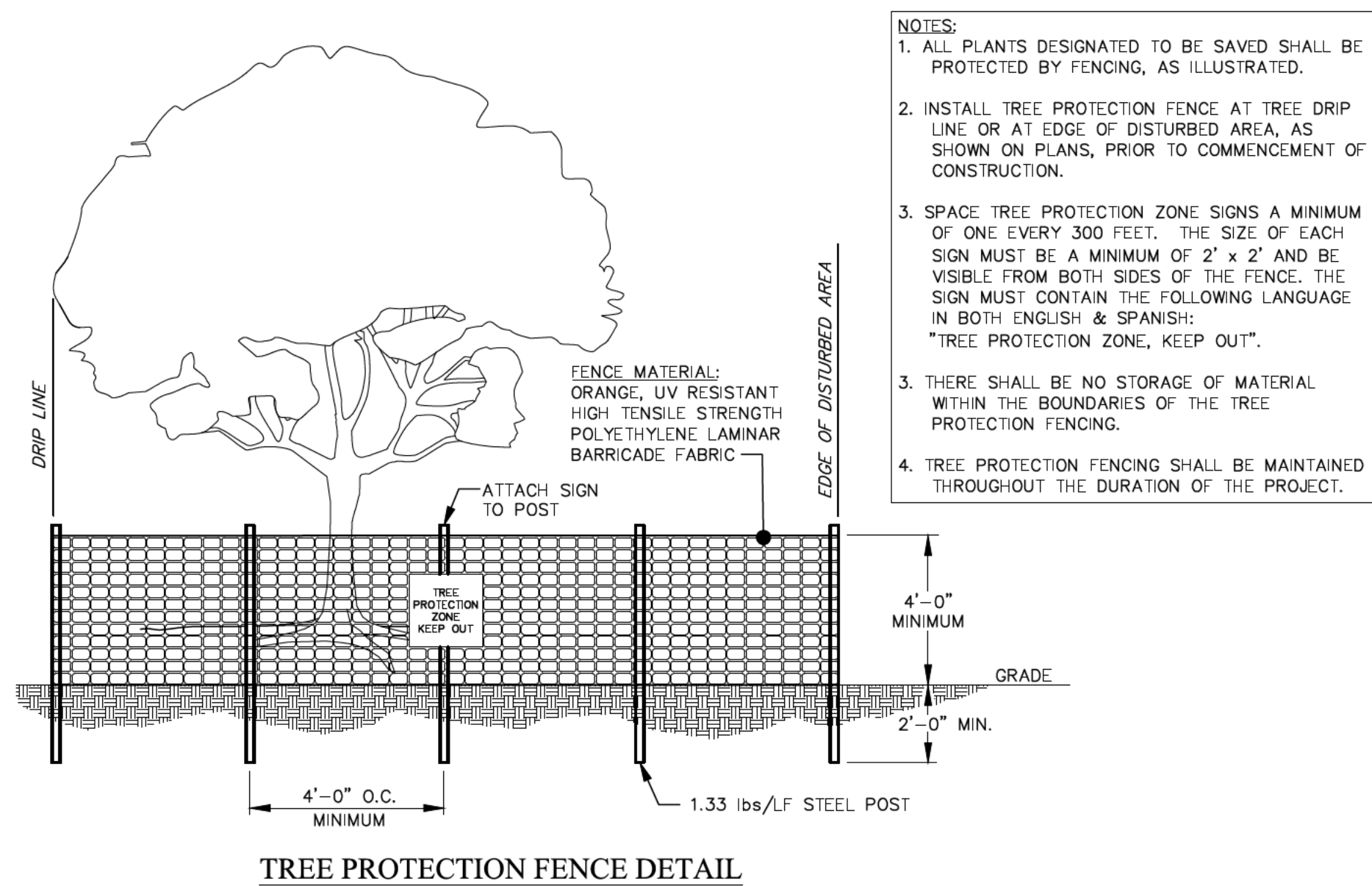
- NOTES:**
- USE 8' STAKES—DRIVE 48" BELOW GROUND.
 - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
 - MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
 - MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.

TREE PLANTING DETAIL		 TOWN OF HENRIETTA
SCALE: N.T.S.		
DATE: 12/6/21		



- NOTES:**
- SPRAY ALL PLANTS WITH ANTI-DESSICANT.
 - SHRUB SHALL HAVE SAME RELATIONSHIP TO FINISHED GRADE AS EXISTED AT NURSERY IN LOAMY SOIL BUT HIGHER POORLY DRAINED, CLAYEY SOIL.
 - IF BALL IS BURLAPPED, REMOVE TOP 1/3 OF BURLAP.
 - PRUNE BROKEN BRANCHES TO RETAIN LEADERS AND NATURAL FORM OF SHRUB.

SHRUB PLANTING DETAIL		 TOWN OF HENRIETTA
SCALE: N.T.S.		
DATE: 12/6/21		



- NOTES:**
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 - INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

Revisions	No.	Revision/Issue	Date
	4.	REVISIONS PER TOWN REVIEW	6/22/22
	3.	REVISIONS PER BENDERSON	5/11/22
	2.	REVISIONS PER BENDERSON	4/14/22
	1.	REVISIONS PER BENDERSON	2/6/22

Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Project

BENDERSON DEVELOPMENT

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PHONE: (716) 866-0111 FAX: (716) 866-0171
WWW.BENDERSON.COM

PROJECT NO. 1810

Landscape Architect



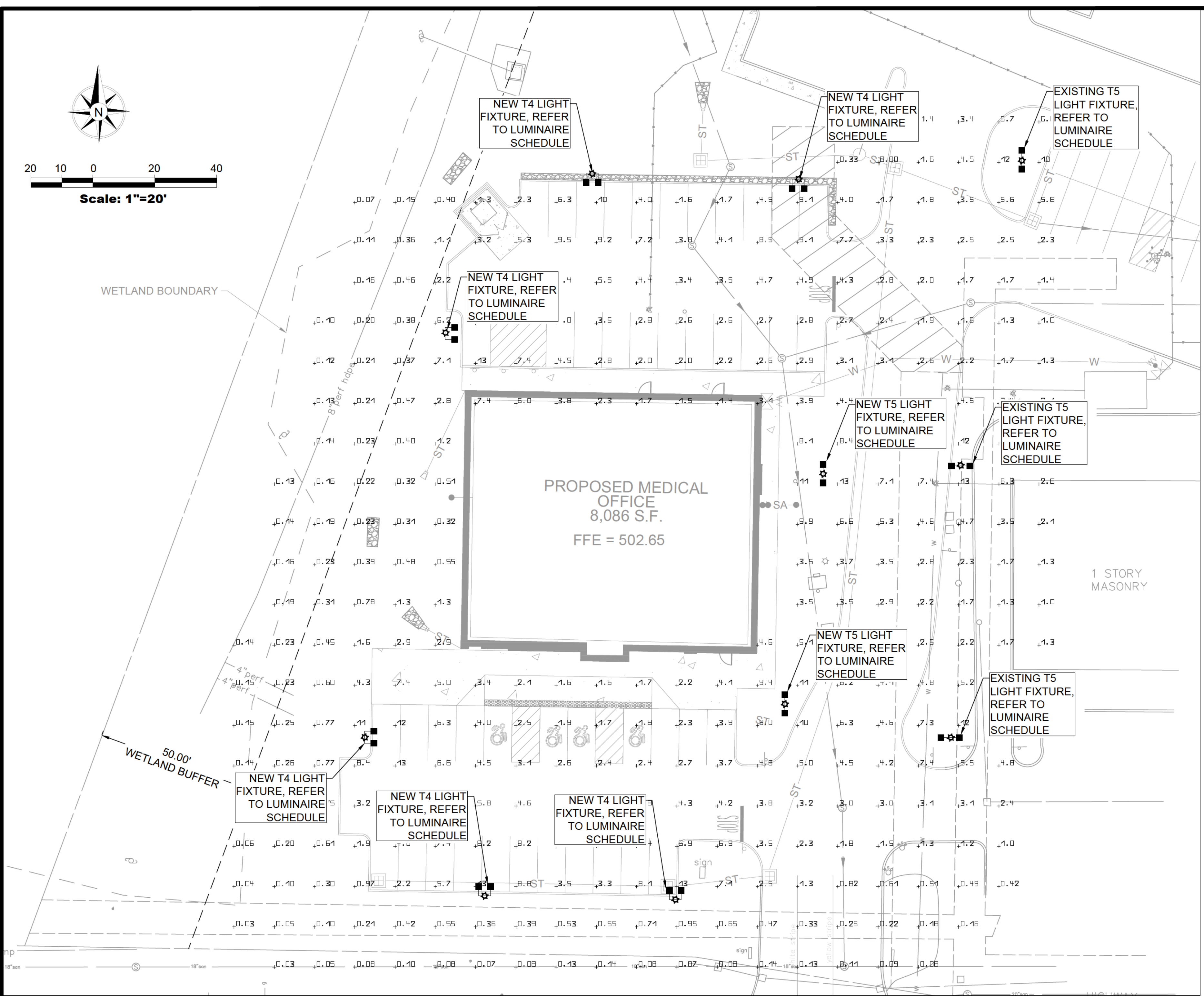
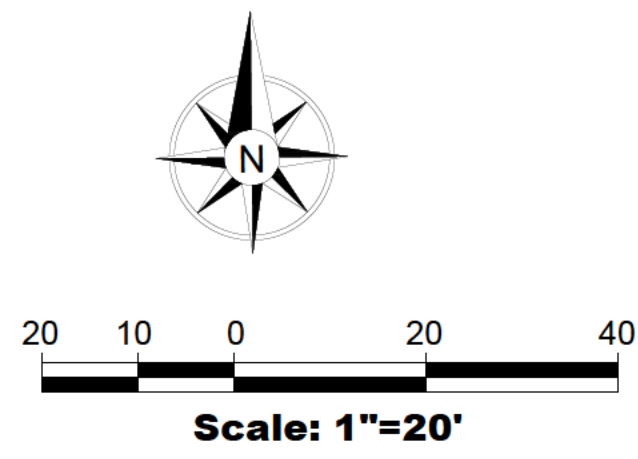
Landscape Architect

ROBERT J. TRYBULSKI
LANDSCAPE ARCHITECT

Project Name and Address

PROPOSED MEDICAL
1300 Jefferson Road
Henrietta, New York 14623

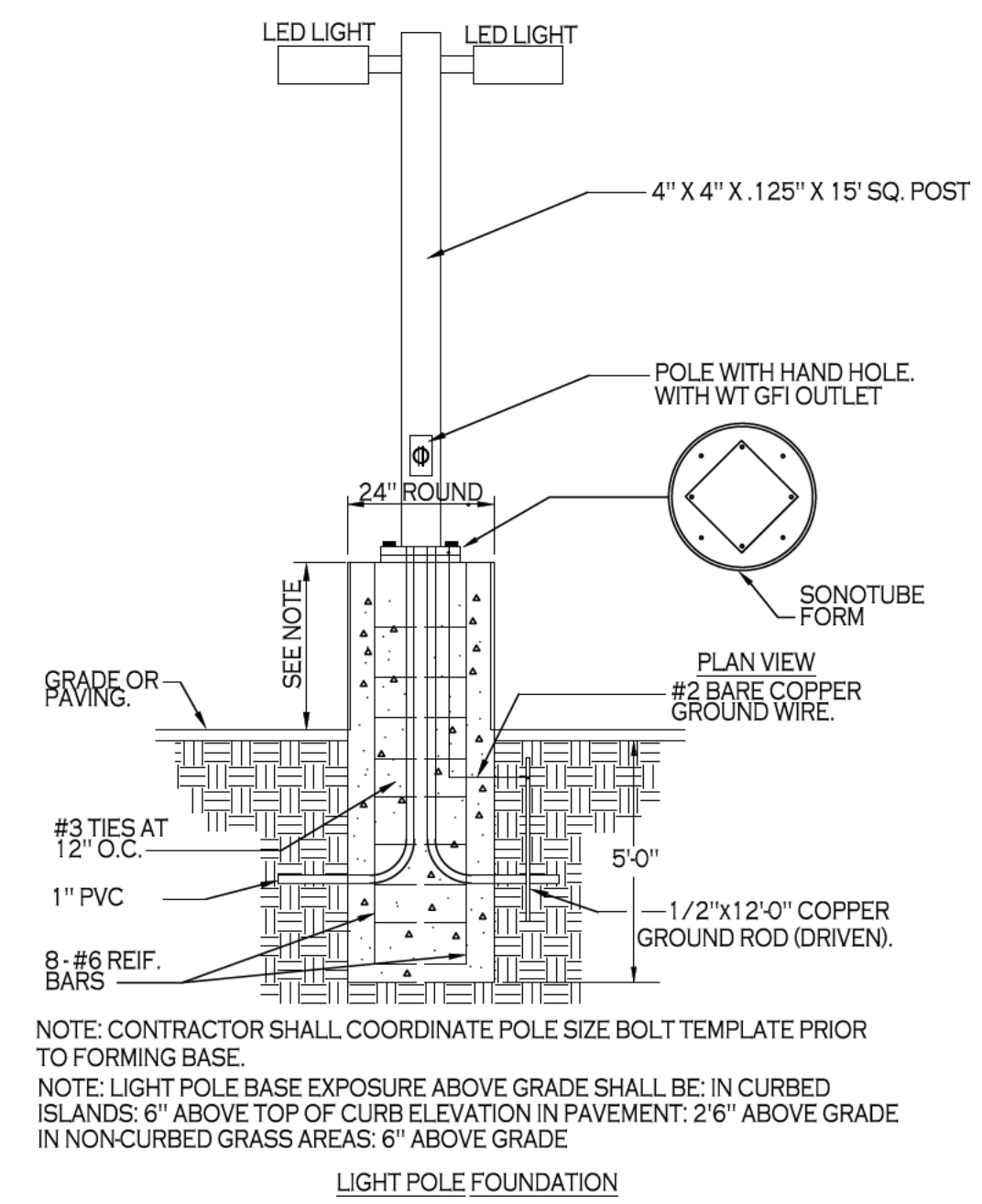
Drawing Name	
LANDSCAPE NOTES & DETAIL	
Sheet	Drawing Number
15 OF 16	C-7.1
Date	Scale
12/15/2021	N.T.S.



LIGHTING PLAN

LIGHTING NOTES

1. LIGHTING DESIGN AND FOOTCANDLE CALCULATIONS PREPARED BY OTHERS.
2. LIGHTING DESIGN AND FOOTCANDLE CALCULATIONS SHOWN HERE MAY BE APPROXIMATE.
3. PER LIGHTING DESIGNER: FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES.
4. POLE MOUNTED FIXTURES ARE MOUNTED ON A 20-FT POLE ATOP CONCRETE BASE.
5. BUILDING MOUNTED LIGHTS WILL SERVE DECORATIVE PURPOSES ONLY AND NOT CONTRIBUTE TO SITE LIGHTING.



NOTE: CONTRACTOR SHALL COORDINATE POLE SIZE BOLT TEMPLATE PRIOR TO FORMING BASE.
 NOTE: LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE: IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION IN PAVEMENT; 2'6" ABOVE GRADE IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

FLD-RS
spec-grade performance

AREA, ROADWAY, & STREET LIGHTING

Made in the USA

The FLD-RS is our second generation spec-grade luminaire in the FLD series. Redesigned with increased efficacy and distribution for projects requiring a sleek architectural profile and the high-performance of a SimplyLEDs luminaire. FLD-RS boasts an IP66-rated cast aluminum body with over 1,800 sq. in. of surface area & 40kV driver-attuned surge protection standard on every unit we manufacture. Each FLD-RS is equipped with a top-mounted NEMA 7-pin connector & shorting cap.

AVAILABLE IN 60W THRU 340W

Available Color Temps (K): 4000, & 5000

CRI: 72+

Lifetime (L70): >150,000

LED Source: Seoul Semi 5050

Power Supply: Inventronics 0-10V, 120-277VAC (480V optional), 50/60Hz dimming driver

Compliance: ETL, UL 1598, 1598B, 1598C Suitable for wet locations

Warranty: 10 years

DIMENSIONS	60W - 110W	17" L x 12.5" W x 3.5" H
	160W - 340W	23" L x 14.75" W x 3.5" H

FPA	060W - 110W: .23sq. ft.	060W - 110W: 14 lbs
	160W - 340W: .33sq. ft.	160W - 340W: 22.5 lbs

Install SensaBLE™, the highly capable Bluetooth™ enabled occ sensor with:

- Profile Management
- Part Night Lighting
- Photocontrol
- Daylight Harvesting
- Min/Max Output Levels

Light from your phone via the SensaBLE mobile app for Android and iOS.

111 West 34th Street, Boise, ID 83714 | sales@simplyleds.com

Luminaire Schedule							
Index	Manufacturer	Luminaire type	Item number	Lumens per Fixture	Mounting Height	Fixture Watts	Pole Quantity
1	SimplyLEDs	SimplyLEDs FLD-RS Series Area Luminaire, Type 5, 110W Input Power Designator, 4000K Double Head Fixture	FLD-RS2-110W-LV-40K-T5	12,765 lm	20 Ft	110 W	5
2	SimplyLEDs	SimplyLEDs FLD-RS Series Area Luminaire, Type 4, 110W Input Power Designator, 4000K Double Head Fixture with Glare Shield	FLD-RS2-110W-LV-40K-T4-B	12,765 lm	20 Ft	110 W	6

TOWN APPROVALS

PLANNING BOARD CHAIRMAN _____ DATE _____

Revisions	Revisions Per	Date
6.	REVISIONS PER BENDERSON	8/4/23
5.	REVISIONS PER BENDERSON	6/21/23
4.	REVISIONS PER TOWN REVIEW	6/22/22
3.	REVISIONS PER BENDERSON	5/11/22
2.	REVISIONS PER BENDERSON	4/14/22
1.	REVISIONS PER BENDERSON	2/6/22
No.	Revision/Issue	

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PROJECT NO. 1810

Engineer's Seal

Engineer

www.pinwoodsengineering.com

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 Phone: (585) 261-7852

Project Name and Address

PROPOSED MEDICAL
 1300 Jefferson Road
 Henrietta, New York 14623

Drawing Name	
LIGHTING PLAN	
Sheet	Drawing Number
16 OF 16	C-8.0
Date	
12/15/2021	
Scale	
1"=20'	