

April 13,2022

Planning Board
Town of Henrietta
475 Calkins Road
Henrietta, New York 14467

**RE: LETTER OF INTENT –SITE PLAN APPLICATION
O’CONNELL ELECTRIC - NEW BUILDING 390 SYSTEMS ROAD OFFICE BUILDING**

Dear Members of the Board,

O’Connell Electric is proposing to construct a new two-story office building located at 390 Systems Road. The building is intended to be used for traditional office space, training and conference rooms. The proposed building will be located in an area currently used for material storage. The building has an approximate footprint of 82' x 127' and total of approximately 21,000 square feet.

The site improvements include the new two-story building, asphalt parking for employees, underground stormwater storage system, landscaping, and lighting.

Drainage is to follow similar patterns to the existing site. The existing stormwater detention facility will be replaced by an underground storage system. A hydrodynamic separator is proposed to provide additional water quality on site.

Enclosed with this letter are the following items to assist in your administrative review:

- 14 Letters of Intent
- 14 Complete sets of Site Plans
- 14 Architectural elevations
- 1 copy of the site plan checklist
- 14 copies of the Short Environmental Assessment Form
- 1 Check for \$150.00 (Application Fee)
- 1 Check for \$700.00 (Engineering Plan Review)
- 1 CD containing a PDF Copy of the Site Plan

Thank you for your assistance with this project. If you have any questions or need additional information, please contact our office.

Sincerely,

Jacob Calabrese
MRB Group



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 4/13/2022

I (we) O'Connell Electric Company of 390 Systems Road
Name of Applicant / Business Business Address (Number & Street)

Rochester, NY, 14623 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 390 Systems Road Rochester NY 14623 - Industrial 149.180-1-21.1
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

Proposed project consist of a new two-story 21,000 Sf building with a footprint of approximately 82'x127'. The building is intended to be used for traditional office space, training and conference room. The proposed building will be located within the existing parking lot/material storage area of 390 Systems Road, Rochester NY.

Applicant: O'Connell Electric Company
Address: 390 Systems Road
Rochester, NY 14623

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: Same As Above

Address: _____

Phone #: _____

Email: _____

Applicant Signature: _____

Engineer/Architect: MRB Group
Address: 145 Culver Rd, Suite 160
Rochester, NY 14620

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: _____

Address: _____

Phone #: _____

Email: _____

Print Name: _____

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: O'Connell Electric Company

By: Richard Camping

Title: Vice President of Operations

Dated: _____

Signed: _____

Owner: Same as above

By: _____

Title: _____

Dated: 4/22/22

Signed: 

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

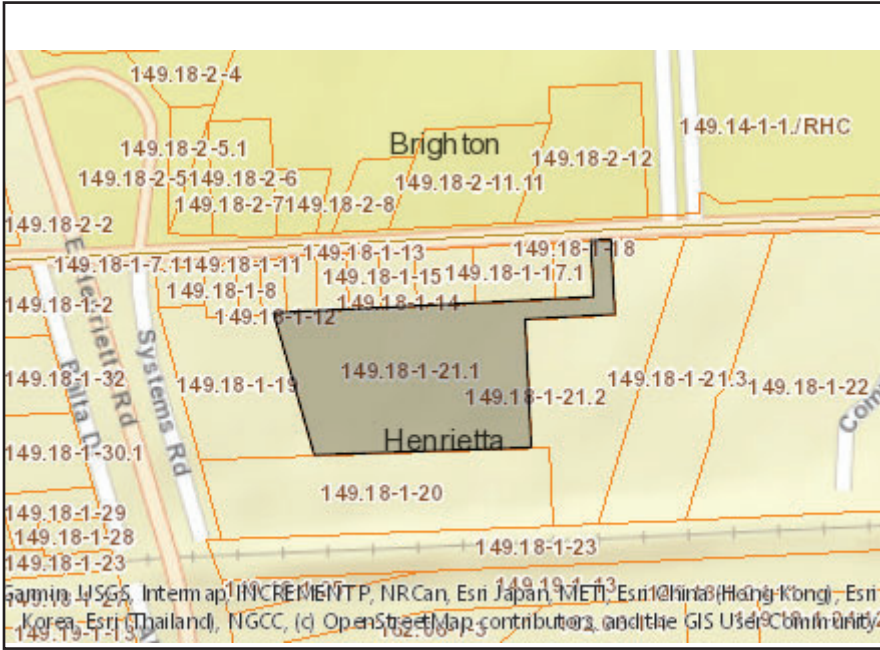
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: O'Connell Electric Company Office Building			
Project Location (describe, and attach a location map): 390 Systems Road, Rochester NY 14623			
Brief Description of Proposed Action: The Proposed project consist of a new two-story 21,000 Sf building with a footprint of approximately 82'x127'. The building is intended to be used for traditional office space, training and conference room. The proposed building will be located within the existing parking lot/material storage area of 390 Systems Road, Rochester NY.			
Name of Applicant or Sponsor: O'Connell Electric Company		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: 390 Systems Road			
City/PO: Rochester		State: NY	Zip Code: 14623
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: MCDOH, Henrietta Planning Board, MCWA, MCPW		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		5.45 acres	
b. Total acreage to be physically disturbed?		0.9 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		9.57 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____		
Existing storm sewer and proposed modification of existing detention facility to an Underground Storage Facility. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
To the best of our knowledge and understanding no known environmental concerns exist on this property. All past issues have been addressed and closed.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>O'Connell Electric</u> Date: <u>4/12/2022</u>		
Signature: _____ Title: <u>Agent</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



SITE PLAN CHECKLIST

PROJECT NAME: O'Connell Electric - New Building

APPLICATION No. _____

-
- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
 - 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
 - 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
 - 4 Show General Location Map (sketch). North should be located at the top of the drawing.
 - 5 A scale of not more than fifty feet to the inch is to be used.
 - 6 Show names and tax account numbers of adjacent lands.
 - 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
 - 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
 - 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
 - 10 Show a tie distance from the proposed site to nearest road intersection
 - 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: O'Connell Electric - New Building

APPLICATION No. _____

-
- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that effect shall be placed on the plan by the surveyor.
 - 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
 - 14 List the names of existing streets, their legal width, and jurisdiction.
 - 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
 - 16 Show planned use for the proposed structure (i.e. office etc).
 - 17 Show proposed and/or existing setbacks.
 - 18 Show parking requirements (indicate the proposed and required).
 - 19 Show the fire lanes.
 - 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Architect, be provided. (Note: a Letter of Credit will be required to insure completion.)
 - 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: O'Connell Electric-New Building

APPLICATION No. _____

-
- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
 - 23 Please plan to bring samples of the proposed architectural materials to the meeting.
 - 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
 - 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
 - 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
 - 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
 - 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
 - 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
 - 30 Show wetland and buffer zone limits (when applicable).
 - 31 Show floodplain and floodway limits (when applicable).
 - 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
 - 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part 1 Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for:

O'Connell Electric

Name of Developer

4/13/22

Date

O'Connell Electric

Company Name

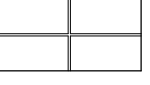
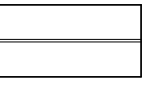
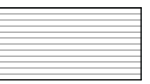
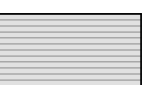
390 Systems Road

Street Address

Henrietta NY 14623

City, State, Zip

EXTERIOR FINISH LEGEND IMP-#

	IMP-1 INSULATED METAL PANEL CENTRIA ARCHITECTURAL INSULATED METAL PANELS SHAPE: FDWS COLOR: TBD THICKNESS: 3"-T
	IMP-2 INSULATED METAL PANEL CENTRIA ARCHITECTURAL INSULATED METAL PANELS SHAPE: FDWS COLOR: TBD THICKNESS: 3"-T
	IMP-3 INSULATED METAL PANEL CENTRIA ARCHITECTURAL INSULATED METAL PANELS SHAPE: DS60 COLOR: TBD THICKNESS: 3"-T
	IMP-4 INSULATED METAL PANEL CENTRIA ARCHITECTURAL INSULATED METAL PANELS SHAPE: DS60 COLOR: TBD THICKNESS: 3"-T



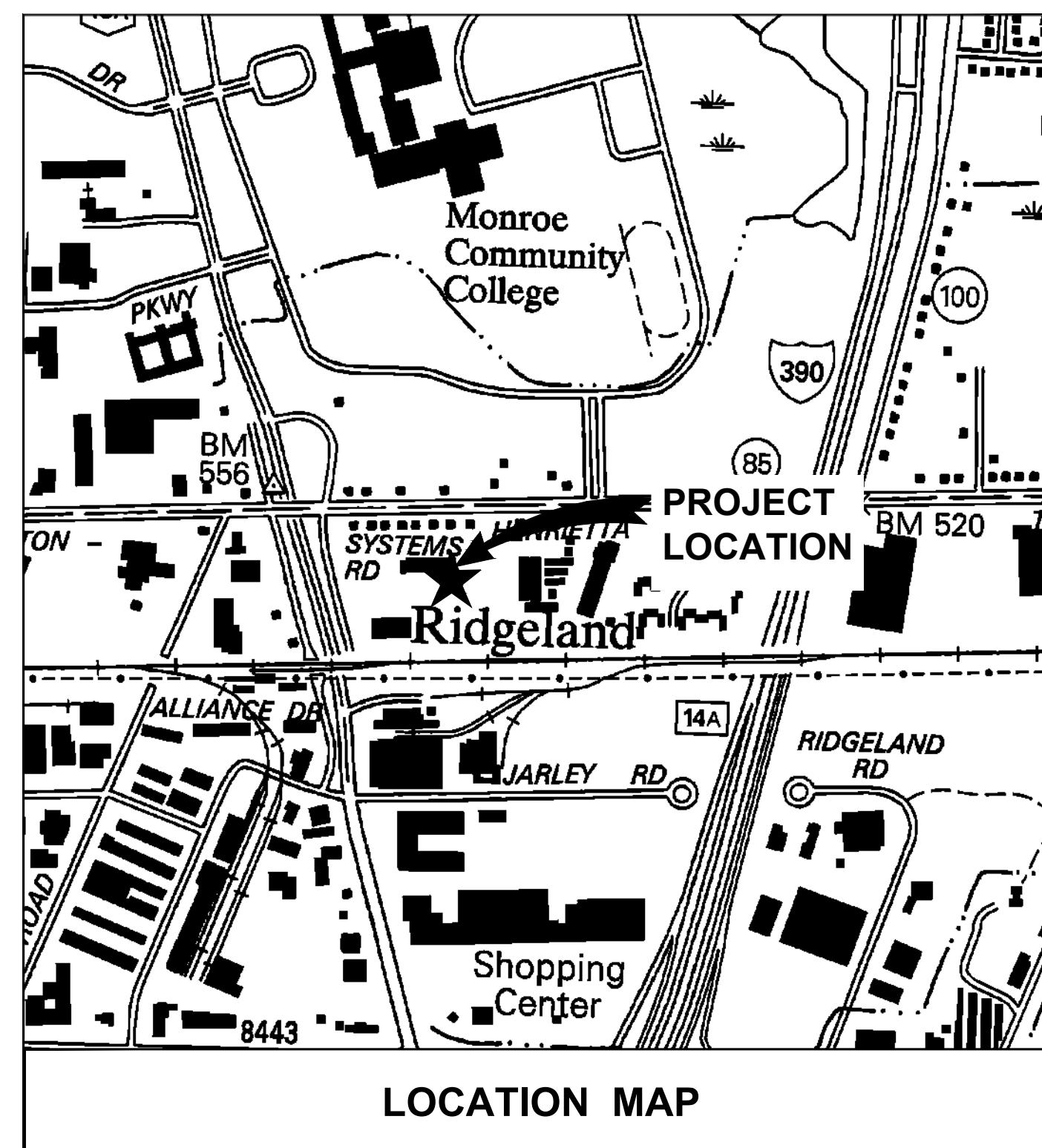
CONTRACT DRAWINGS FOR THE O'CONNELL ELECTRIC NEW BUILDING 390 SYSTEMS ROAD

TOWN OF HENRIETTA
MONROE COUNTY
NEW YORK

DRAWING INDEX:

SHEET NO.	DRAWING TITLE
G-1	DEMOLITION PLAN
G-2	SITE PLAN
G-3	UTILITY PLAN
G-4	GRADING PLAN
G-5	LANDSCAPE PLAN
G-6	LIGHTING PLAN
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS

(APRIL 2022)



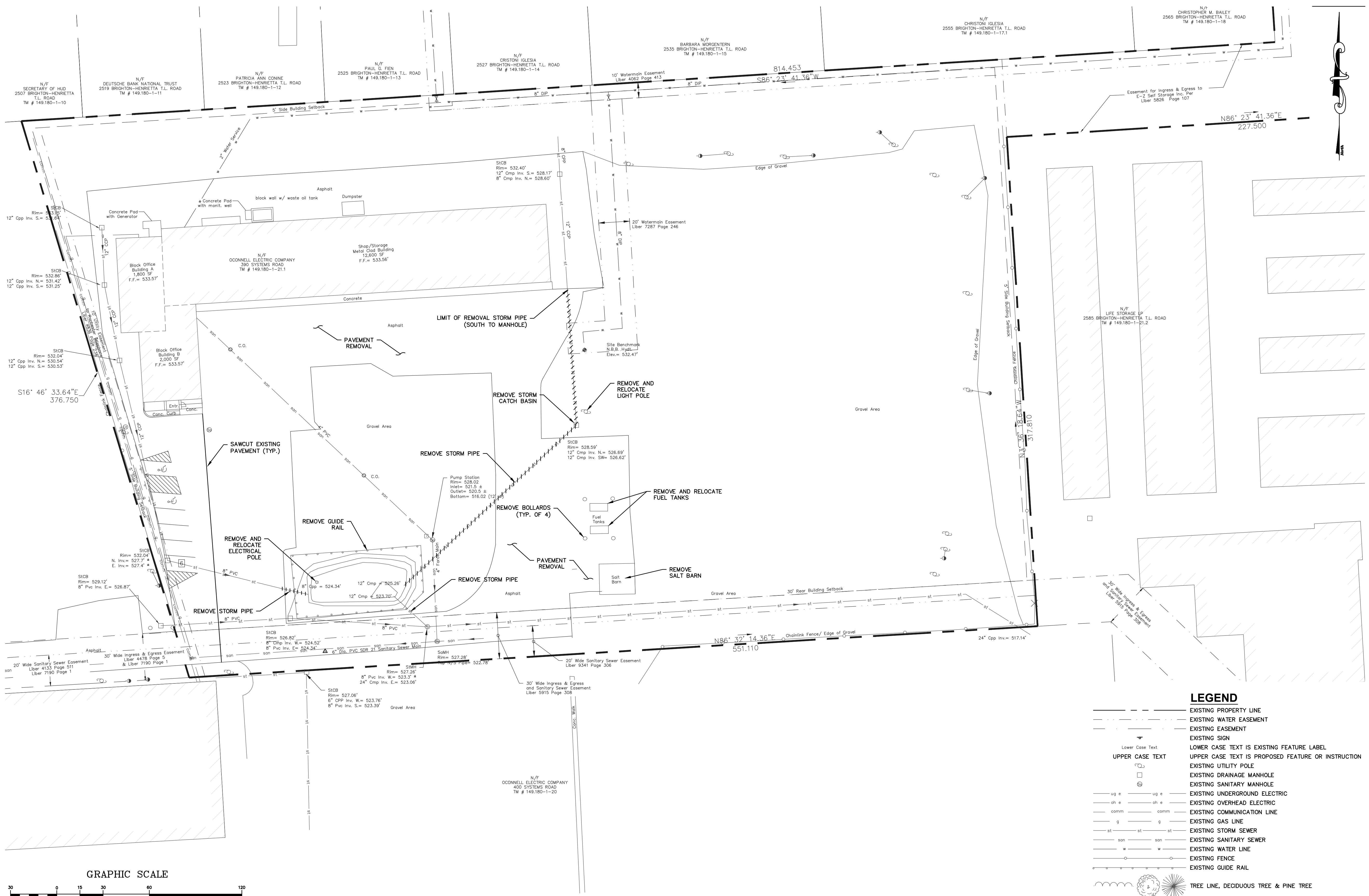
MRB | *group*

Engineering, Architecture & Surveying, D.P.C.

The Culver Road Armory, 145 Culver Road, Suite 160, Rochester, New York 14620
Phone: 585-381-9250

www.mrbgroup.com

PROJECT # 1501.22001

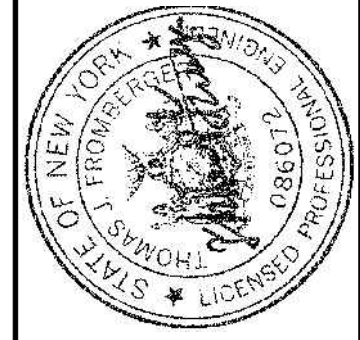


No.	Revisions and Descriptions	By	Date

Project Title:
O'CONNELL ELECTRIC - NEW BUILDING
390 SYSTEMS ROAD
TOWN OF HENRIETTA, MONROE COUNTY

Drawing Title:
DEMOLITION PLAN

Drawn By: JPC
 Checked By: Tuf
 Scale: 1"=30'
 Date: 4/13/2022

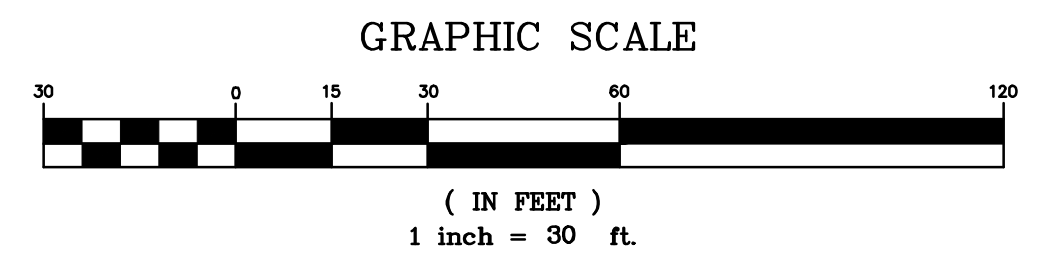


MRB group
 Engineering, Architecture & Surveying, D.P.C.
 The Calver Road Armory, 145 Calver Road, State 160, Rochester, New York 14620
 Phone: 585-381-9250
 www.mrbgroup.com

Sheet No. **G-1**
 of _____
 Project No. **1501.22001**

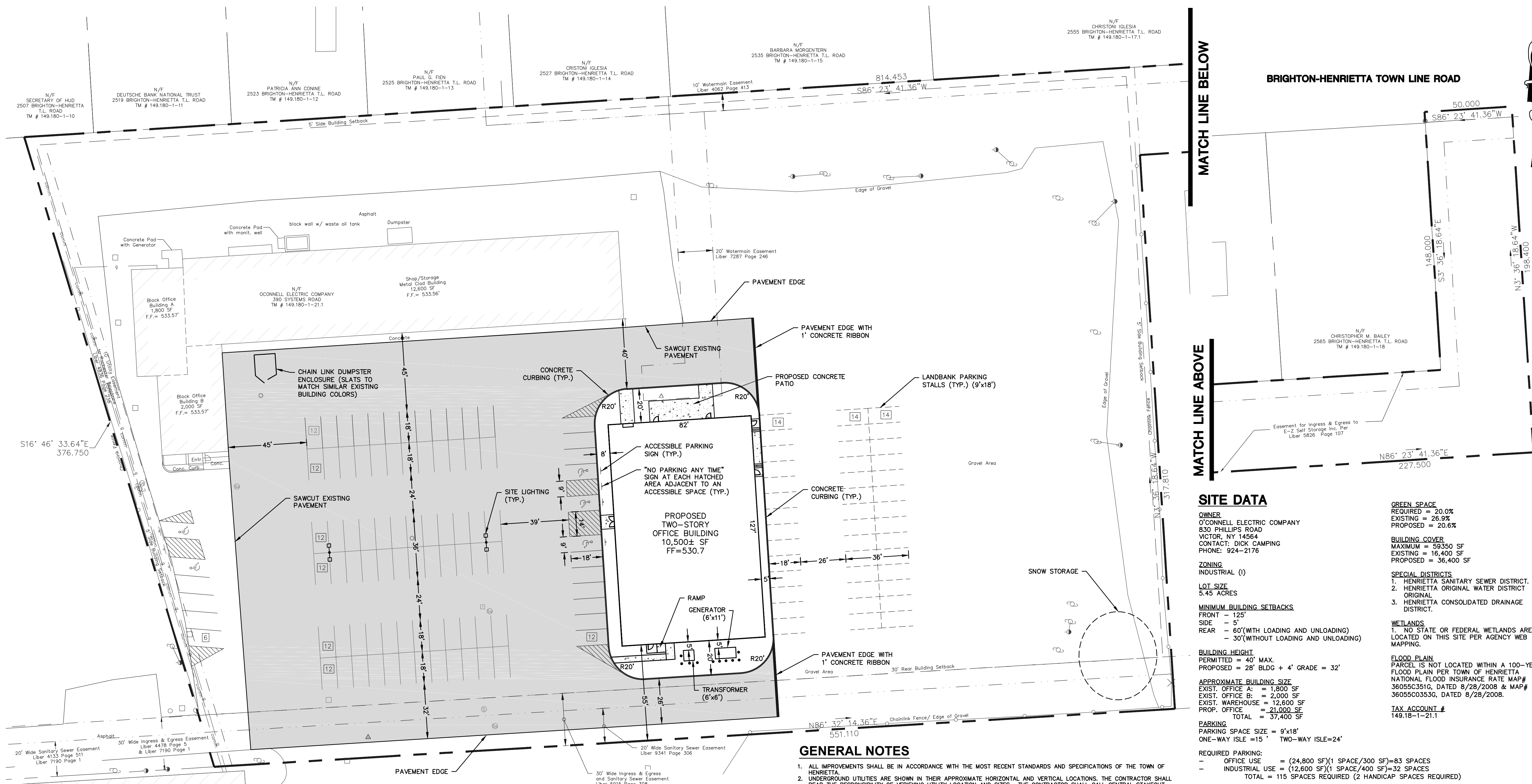
LEGEND

	EXISTING PROPERTY LINE
	EXISTING WATER EASEMENT
	EXISTING EASEMENT
	EXISTING SIGN
	LOWER CASE TEXT IS EXISTING FEATURE LABEL
	UPPER CASE TEXT IS PROPOSED FEATURE OR INSTRUCTION
	EXISTING UTILITY POLE
	EXISTING DRAINAGE MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING COMMUNICATION LINE
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING FENCE
	EXISTING GUIDE RAIL
	TREE LINE, DECIDUOUS TREE & PINE TREE
	EXISTING TREE STUMP
	EXIST. CONTOUR



DRAWING ALTERATION
 THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7200 AND APPLIES TO THIS DRAWING:
 "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

N:\1501.22001\000.dwg\O'Connell Office Layout.dwg, 4/12/2022 5:04:18 PM, DWG To PDF.pc3



MATCH LINE BELOW

MATCH LINE ABOVE

BRIGHTON-HENRIETTA TOWN LINE ROAD

SITE DATA

OWNER
 O'CONNELL ELECTRIC COMPANY
 830 PHILLIPS ROAD
 VICTOR, NY 14564
 CONTACT: DICK CAMPING
 PHONE: 924-2176

ZONING
 INDUSTRIAL (I)

LOT SIZE
 5.45 ACRES

MINIMUM BUILDING SETBACKS
 FRONT = 125'
 SIDE = 5'
 REAR = 60' (WITH LOADING AND UNLOADING)
 = 30' (WITHOUT LOADING AND UNLOADING)

BUILDING HEIGHT
 PERMITTED = 40' MAX.
 PROPOSED = 28' BLDG + 4' GRADE = 32'

APPROXIMATE BUILDING SIZE
 EXIST. OFFICE A: = 1,800 SF
 EXIST. OFFICE B: = 2,000 SF
 EXIST. WAREHOUSE = 12,600 SF
 PROP. OFFICE = 21,000 SF
 TOTAL = 37,400 SF

PARKING
 PARKING SPACE SIZE = 9'x18'
 ONE-WAY ISLE = 15' TWO-WAY ISLE = 24'

REQUIRED PARKING:
 - OFFICE USE = (24,800 SF) (1 SPACE/300 SF) = 83 SPACES
 - INDUSTRIAL USE = (12,600 SF) (1 SPACE/400 SF) = 32 SPACES
 TOTAL = 115 SPACES REQUIRED (2 HANDICAP SPACES REQUIRED)

PROPOSED PARKING:
 - MARKED PARKING = 90 SPACES (5 HANDICAP SPACES)
 - LAND BANKED PARKING = 42 SPACES
 TOTAL = 132 SPACES PROVIDED

GREEN SPACE
 REQUIRED = 20.0%
 EXISTING = 26.9%
 PROPOSED = 20.6%

BUILDING COVER
 MAXIMUM = 59350 SF
 EXISTING = 16,400 SF
 PROPOSED = 36,400 SF

SPECIAL DISTRICTS
 1. HENRIETTA SANITARY SEWER DISTRICT.
 2. HENRIETTA ORIGINAL WATER DISTRICT ORIGINAL.
 3. HENRIETTA CONSOLIDATED DRAINAGE DISTRICT.

WETLANDS
 1. NO STATE OR FEDERAL WETLANDS ARE LOCATED ON THIS SITE PER AGENCY WEB MAPPING.

FLOOD PLAIN
 PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN PER TOWN OF HENRIETTA NATIONAL FLOOD INSURANCE RATE MAP# 36055C3516, DATED 8/28/2008 & MAP# 36055C03536, DATED 8/28/2008.

TAX ACCOUNT #
 149.18-1-21.1

GENERAL NOTES

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA.
- UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS. THE CONTRACTOR SHALL BEAR THE RESPONSIBILITY OF VERIFYING UTILITY LOCATION AND SIZES. THE CONTRACTOR SHALL CALL CENTRAL STAKEOUT (1-800-962-7982) PRIOR TO COMMENCING WORK TO HAVE UTILITIES STAKED IN THE FIELD.
- THE CONTRACTOR IS TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES, MAINS, SERVICES, ETC. PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION. IF DURING CONSTRUCTION EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR BEARS THE RESPONSIBILITY AND EXPENSE TO REPAIR THE DAMAGED UTILITIES BOTH PUBLIC AND PRIVATE TO THE SATISFACTION OF THE UTILITY OWNERS.
- THE CONTRACTOR WILL PROTECT AND PRESERVE ALL PROPERTY CORNERS, MONUMENTS, MARKERS, ETC., AT ALL TIMES. THE CONTRACTOR WILL REPLACE AS NECESSARY AT HIS EXPENSE.
- PAVEMENT MARKINGS, TRAFFIC SIGNALS AND/OR SIGNS THAT HAVE BEEN DISTURBED BY THE CONSTRUCTION OPERATIONS SHALL BE RESTORED IN A MANNER CONFORMING TO THE TOWN OF HENRIETTA SPECIFICATIONS/REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE WATER ON SITE AS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL DEVICES UNTIL A PERMANENT COVER OF VEGETATION HAS BEEN ESTABLISHED.
- IT IS THE INTENTION DURING THE PROJECT TO PROTECT AND PRESERVE, WHEREVER POSSIBLE, TREES, BUSHES, ETC. PRESERVATION MAY INCLUDE COMPLETE AVOIDANCE, PROTECTIVE FENCING AND/OR CONSULTATION WITH A TREE SURGEON. IF IT IS NECESSARY THAT A TREE OR BUSH, OTHER THAN THOSE MARKED ON THE PLANS, BE REMOVED, THE CONTRACTOR WILL COORDINATE THE REMOVAL WITH THE TOWN OF HENRIETTA, THE ENGINEER AND THE PROPERTY OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SAFETY MEASURES TO PROTECT THE PUBLIC WITHIN THE WORK ZONE AREA AT ALL TIMES THROUGH THE USE OF ORANGE CONSTRUCTION FENCING, CONES, CONSTRUCTION SIGNS, SIDEWALK CLOSED SIGNS, COVERING OR BACKFILLING EXCAVATIONS, OR USING OTHER DEVICES DEEMED NECESSARY AND APPROPRIATE.
- ALL SIGNS AND LOCATIONS SHALL CONFORM TO TOWN OF HENRIETTA STANDARDS.
- THE BUILDING SHALL HAVE AN INTERNAL FIRE PROTECTION SPRINKLER SYSTEM.
- THE CONTRACTOR SHALL PROVIDE WATER ON SITE AS NEEDED.
- A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER, CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, GUESSES, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.
- AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DERIVED ON THE SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.
- ALL ROOF TOP UTILITIES SHALL BE SCREENED.

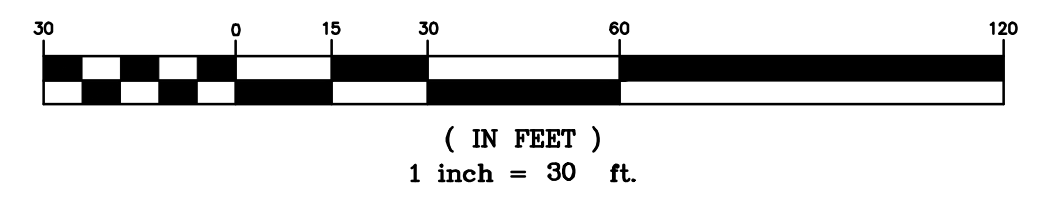
REFERENCE

- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM AN INSTRUMENT SURVEY MAP PREPARED BY KOCHER SURVEYING DATED MARCH 8, 2022.
- MRB GROUP JOB NUMBERS 3807.12002.000, 1501.17001.000

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING WATER EASEMENT
---	EXISTING EASEMENT
---	EXISTING SIGN
Lower Case Text	LOWER CASE TEXT IS EXISTING FEATURE LABEL
UPPER CASE TEXT	UPPER CASE TEXT IS PROPOSED FEATURE OR INSTRUCTION
⊙	EXISTING UTILITY POLE
□	EXISTING DRAINAGE MANHOLE
⊙	EXISTING SANITARY MANHOLE
ug e	EXISTING UNDERGROUND ELECTRIC
oh e	EXISTING OVERHEAD ELECTRIC
comm	EXISTING COMMUNICATION LINE
g	EXISTING GAS LINE
st	EXISTING STORM SEWER
san	EXISTING SANITARY SEWER
w	EXISTING WATER LINE
---	EXISTING FENCE
---	EXISTING GUIDE RAIL
⊙	TREE LINE, DECIDUOUS TREE & PINE TREE
⊙	EXISTING TREE STUMP

GRAPHIC SCALE



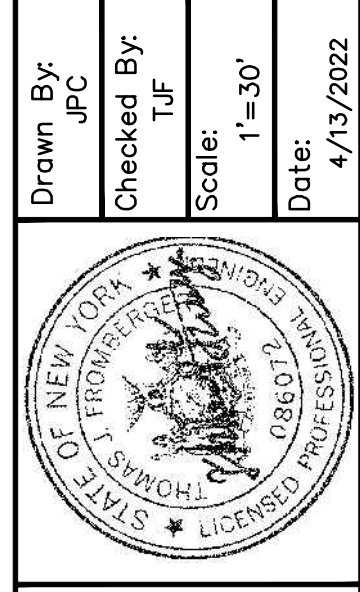
No.	Revisions and Descriptions	By	Date

Project Title:
O'CONNELL ELECTRIC - NEW BUILDING
390 SYSTEMS ROAD
TOWN OF HENRIETTA, MONROE COUNTY

Drawing Title:
SITE PLAN

Drawn By: JPC
 Checked By: TJP
 Scale: 1"=30'
 Date: 4/13/2022

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MRB group
 Engineering, Architecture & Surveying, D.P.C.
 The Calver Road Armory, 145 Calver Road, Suite 160, Rochester, New York 14620
 Phone: 585-381-9250
 www.mrbgroup.com

TOWN OF HENRIETTA APPROVALS

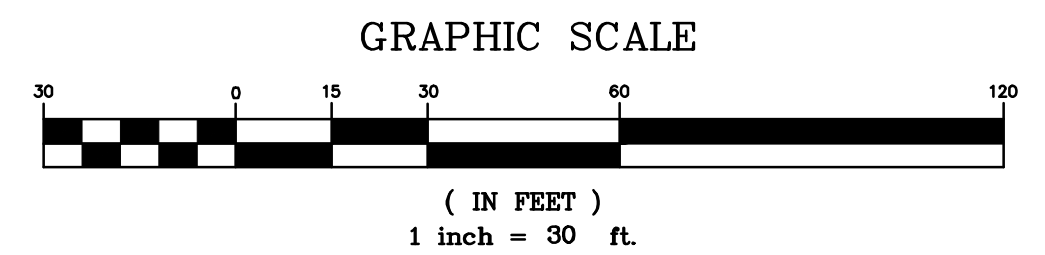
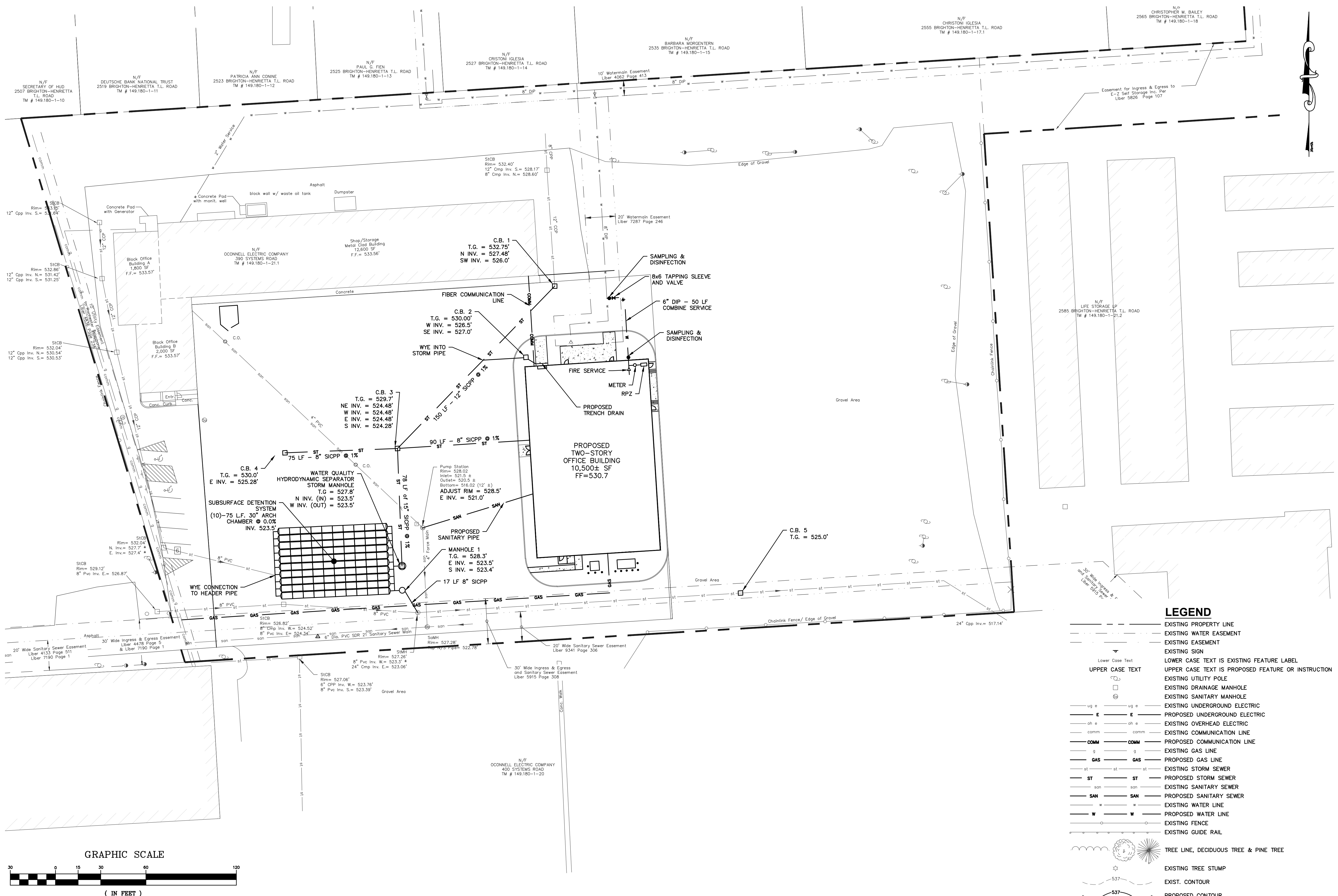
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DRAINAGE/SEWER/SIDEWALKS DEPARTMENT	DATE
DIRECTOR OF BUILDING & FIRE PREVENTION	DATE
COMMISSIONER OF PUBLIC WORKS	DATE
FIRE MARSHAL	DATE

Town Appl. No. XX-XXX

Sheet No. **G-2**
 of

Project No. **1501.22001**

DRAWING ALTERATION
 THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7209 AND APPLIES TO THIS DRAWING.
 "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY MANNER IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."



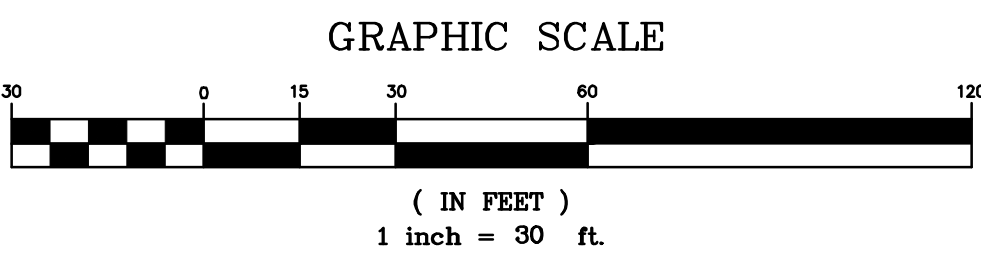
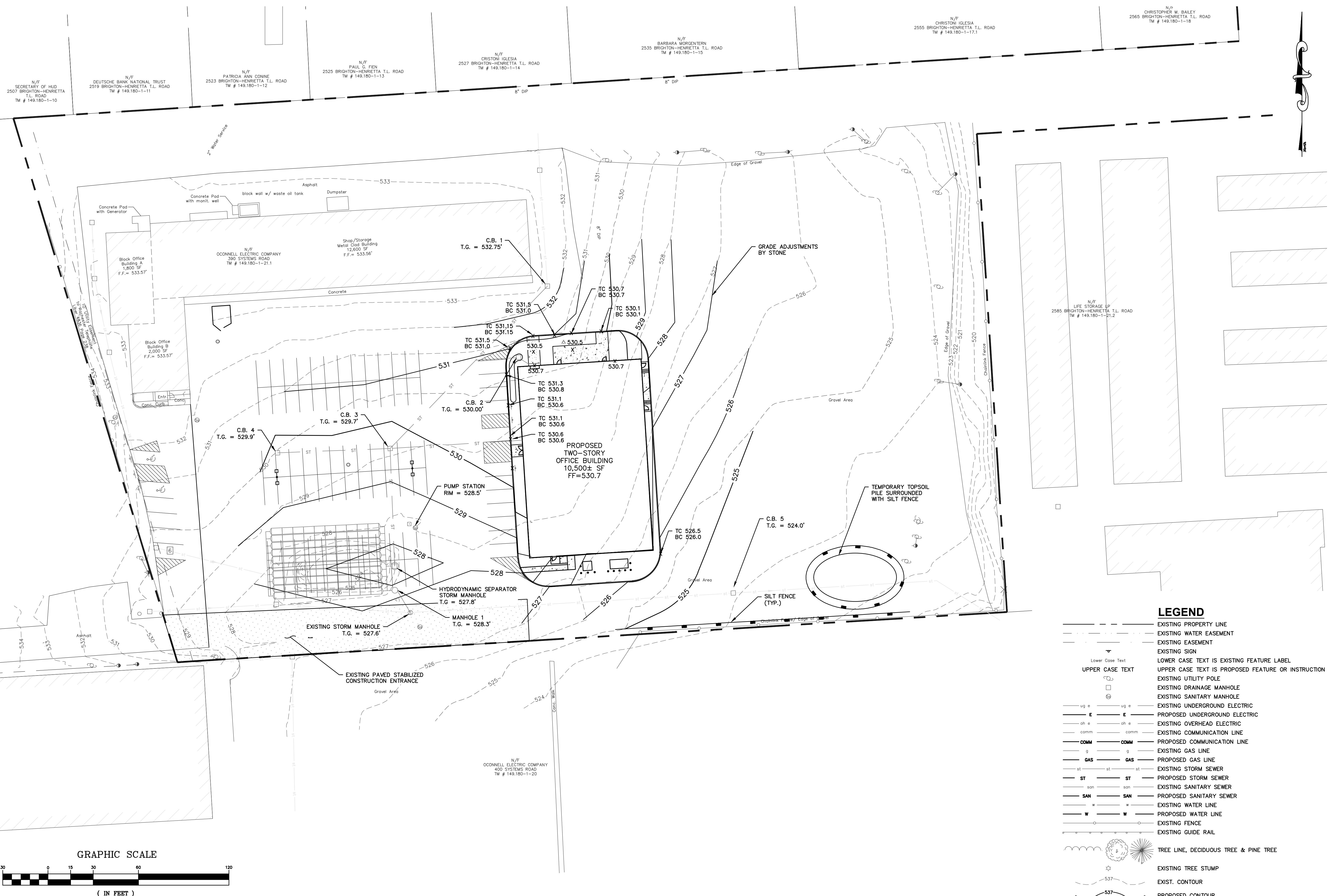
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	EXISTING SIGN
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	PROPOSED COMMUNICATION LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING FENCE
	EXISTING GUIDE RAIL
	TREE LINE, DECIDUOUS TREE & PINE TREE
	EXISTING TREE STUMP
	EXIST. CONTOUR
	PROPOSED CONTOUR

MRB group Engineering, Architecture & Surveying, D.P.C. The Calver Road Armory, 145 Calver Road, State 160, Rochester, New York 14620 Phone: 585-381-9250 www.mrbgroup.com	
Project Title: O'CONNELL ELECTRIC - NEW BUILDING 390 SYSTEMS ROAD TOWN OF HENRIETTA, MONROE COUNTY	Drawing Title: UTILITY PLAN
Drawn By: JPC Checked By: Tuf Scale: 1"=30' Date: 4/13/2022	Revisions and Descriptions No. _____ By _____ Date _____ Copyright © 2022 MRB Group All Rights Reserved
Sheet No. G-3 of _____	Project No. 1501.22001

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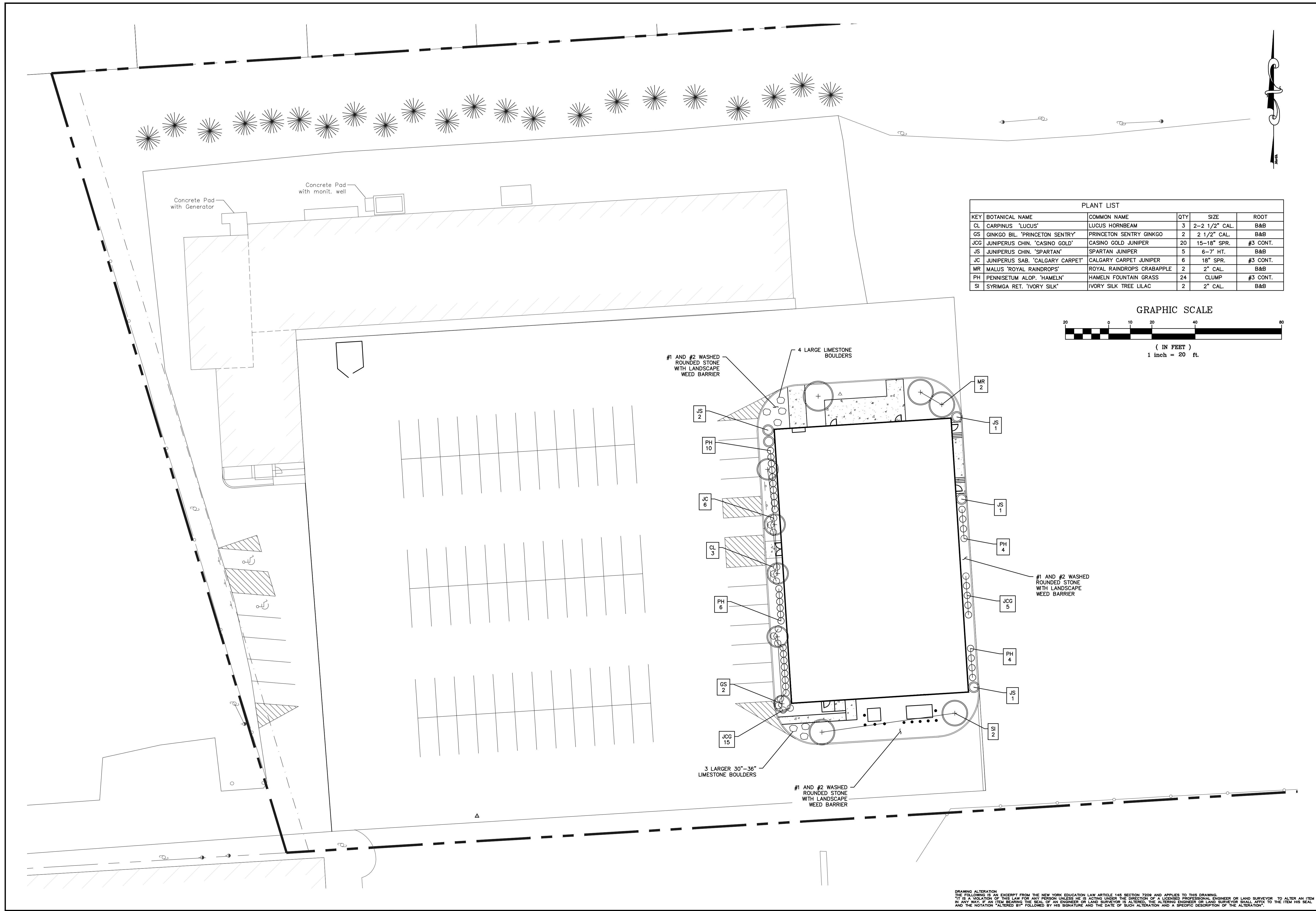
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	TREE LINE, DECIDUOUS TREE & PINE TREE
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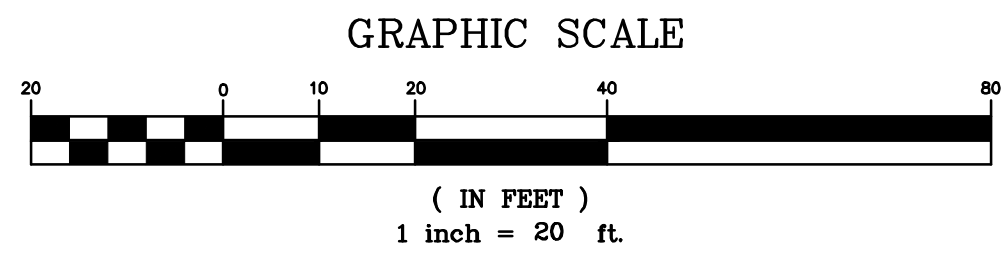
MRB group		Engineering, Architecture & Surveying, D.P.C. The Calver Road Armory, 145 Calver Road, Suite 160, Rochester, New York 14620 Phone: 585-381-9250 www.mrbgroup.com
MRB group		
Project Title:		GRADING PLAN
O'CONNELL ELECTRIC - NEW BUILDING		Project No. 1501.22001 Sheet No. G-4 of
390 SYSTEMS ROAD		
TOWN OF HENRIETTA, MONROE COUNTY		Drawing Title: Drawing No.: Date: 4/13/2022 Scale: 1"=30' Checked By: Tjf Drawn By: JPC
GRADING PLAN		
Revisions and Descriptions		No. Revisions and Descriptions By Date _____ _____ _____ _____ _____ _____ _____ _____
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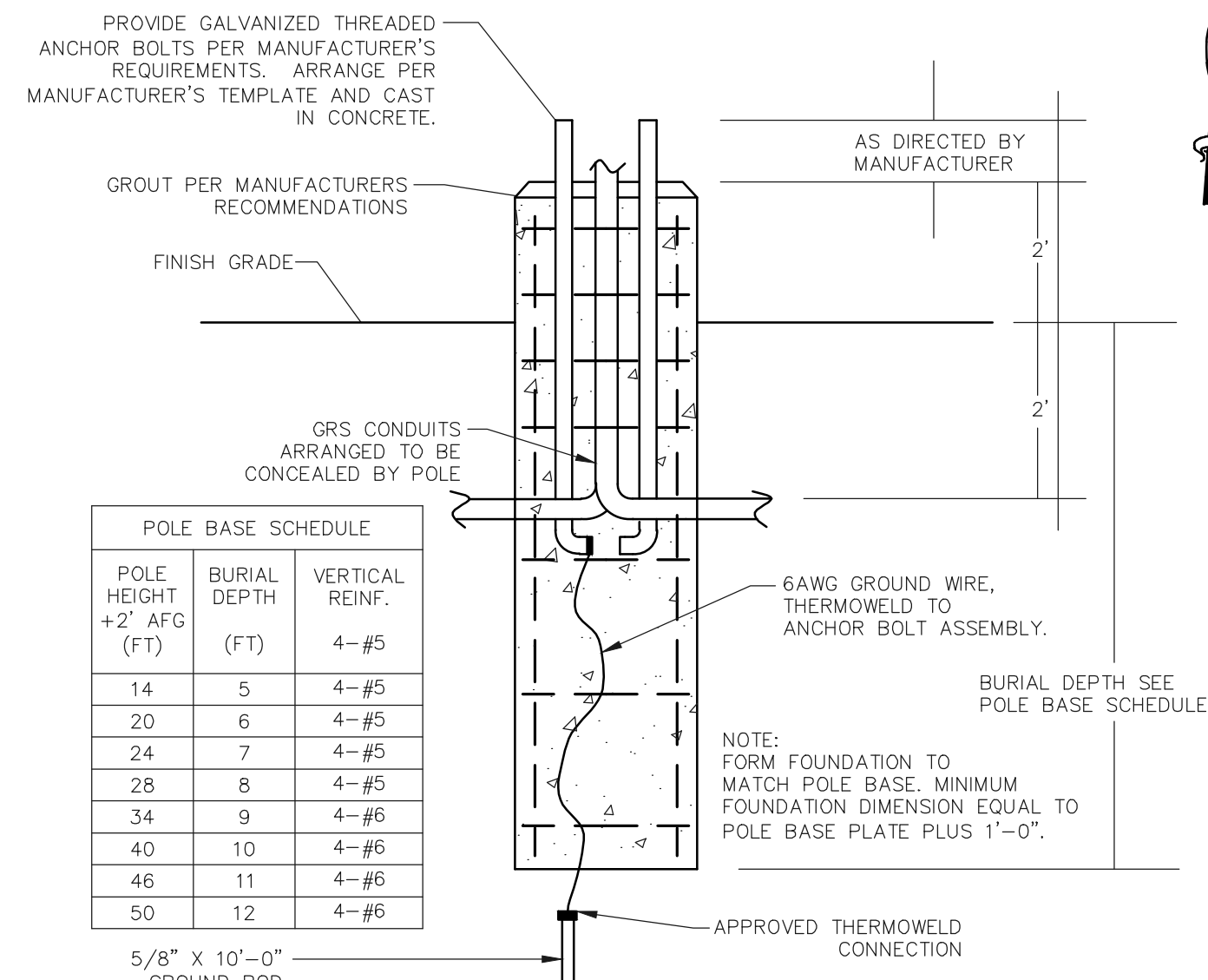
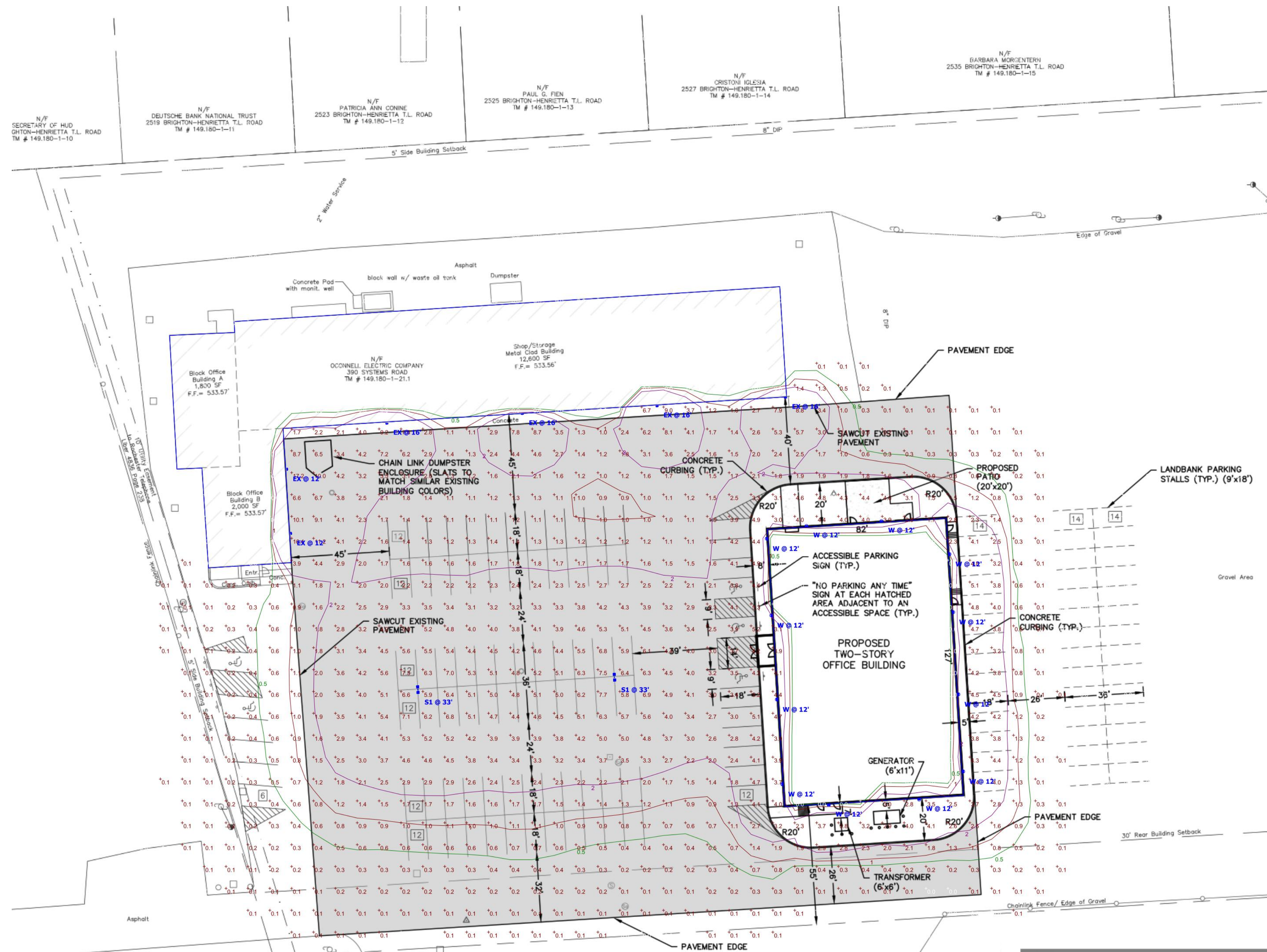
PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	ROOT
CL	CARPINUS 'LUCUS'	LUCUS HORNBEAM	3	2-2 1/2" CAL.	B&B
GS	GINKGO BIL. 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2	2 1/2" CAL.	B&B
JCG	JUNIPERUS CHIN. 'CASINO GOLD'	CASINO GOLD JUNIPER	20	15-18" SPR.	#3 CONT.
JS	JUNIPERUS CHIN. 'SPARTAN'	SPARTAN JUNIPER	5	6-7" HT.	B&B
JC	JUNIPERUS SAB. 'CALGARY CARPET'	CALGARY CARPET JUNIPER	6	18" SPR.	#3 CONT.
MR	MALUS 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2	2" CAL.	B&B
PH	PENNISETUM ALOP. 'HAMELN'	HAMELN FOUNTAIN GRASS	24	CLUMP	#3 CONT.
SI	SYRIMGA RET. 'IVORY SILK'	IVORY SILK TREE LILAC	2	2" CAL.	B&B



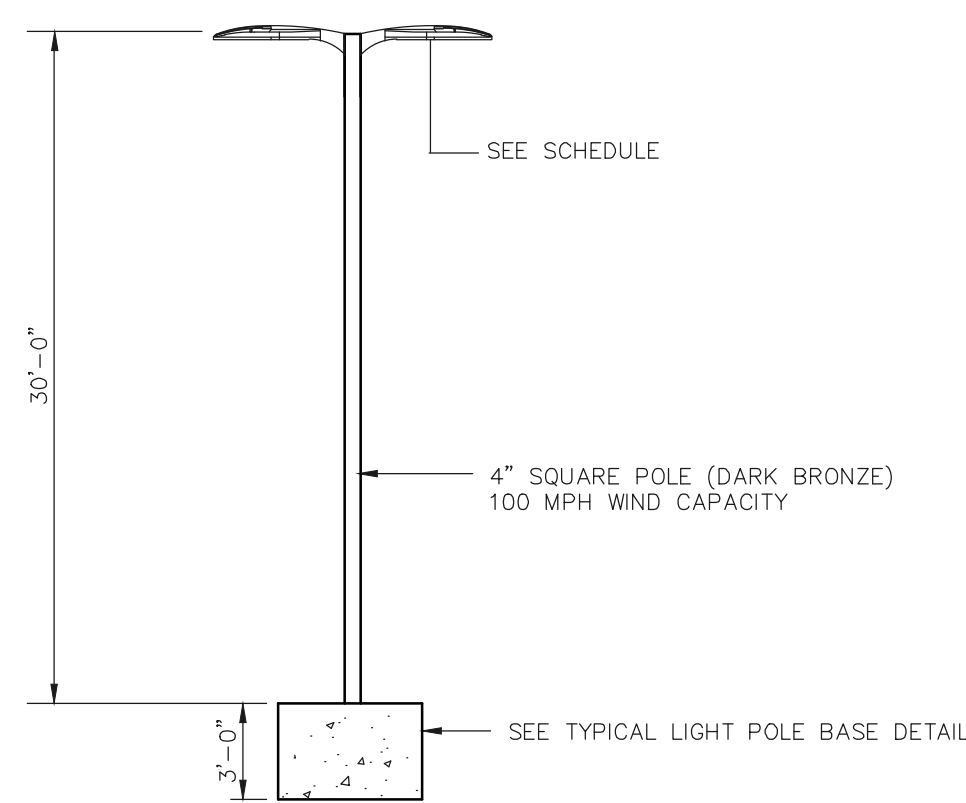
Project Title: O'CONNELL ELECTRIC - NEW BUILDING 390 SYSTEMS ROAD TOWN OF HENRIETTA, MONROE COUNTY		Revisions and Descriptions		By	Date
Drawing Title: LANDSCAPING PLAN		No.			
Drawn By: JPC	Checked By: TJF	Scale: 1"=20'	Date: 4/13/2022	Copyright © 2022 MRB Group All Rights Reserved	
<p>HEINRICH W. FISCHER Registered Landscape Architect Certified Lighting Designer</p> <p>722 Ayrault Road Fairport, NY 14450-3006 CELL: (585) 738-8687 hwfischer50@gmail.com</p>					
Sheet No. G-5		Project No. 1501.22001			

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TYPICAL LIGHT POLE BASE DETAIL



DOUBLE FIXTURE LIGHT POLE

REFERENCE

- LAYOUT DESIGNED BY LIGHTSPEC DATED MARCH 12, 2022

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
S1		2	GE LIGHTING SOLUTIONS	EALS03_J3AW740	EALS03 EVOLVE LED AREA - 30ft. POLE + 3ft. BASE	LED 4000K	EALS03_J3AW740_0_IES	0.9	50400	372	Max: 13354cd
EX		6	HUBBELL OUTDOOR	WGH3-80W-4K	EXISTING 80W WALL PACK - FLOOD	LED 4000K	WGH3-80W-4k.ies	0.9	11661	79.2	Max: 4179cd
W		12	HUBBELL OUTDOOR	LN4-36L-4K-035-3-U	Large LN4-36L Litemap - TYPE 3 PATTERN	LED 4000K	LN4-36L-4K-035-3-U.ies	0.9	4632	40.3	Max: 3089cd

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Project Title:		O'CONNELL ELECTRIC - NEW BUILDING	
Project Address:		390 SYSTEMS ROAD	
Project Location:		TOWN OF HENRIETTA, MONROE COUNTY	
Drawing Title:		LIGHTING PLAN	
Drawn By:	JPC	Checked By:	TJF
Scale:	1"=30'	Date:	4/13/2022
Project No.:		1501.22001	
Sheet No.:		G-6	
Project Name:		O'CONNELL ELECTRIC - NEW BUILDING	
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Project No.:		1501.22001	
Sheet No.:		G-6	
Project Name:		O'CONNELL ELECTRIC - NEW BUILDING	
Project Address:		390 SYSTEMS ROAD	
Project Location:		TOWN OF HENRIETTA, MONROE COUNTY	
Drawing Title:		LIGHTING PLAN	
Drawn By:	JPC	Checked By:	TJF
Scale:	1"=30'	Date:	4/13/2022
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MCWA PUBLIC WATER SERVICE LINE NOTES:

1. WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC PIPES.
4. WATER SERVICE LINES SHALL BE IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL(a)	TYPE(b)
MCWA PORTION=FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	6"	D.I.P.*	CMB
PRIVATE PORTION=FROM THE CONTROL VALVE TO THE METER	6"	D.I.P.*	CMB

(a)ACCEPTABLE MATERIAL IS *CLASS 52 CEMENT MORTAR LINED DUCTILE IRON PIPE.
(b)SERVICE TYPES INCLUDE: DOMESTIC=DS, FIRE=FS, OR COMBINED=CMB

5. WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S).
6. WATER SERVICE LINES SIZED 4-INCHES OR GREATER SHALL BE:
 - PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
 - DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED BY THE MONROE COUNTY DEPARTMENT OF HEALTH. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE LATERAL IS PLACED IN SERVICE.

MONROE COUNTY HEALTH DEPARTMENT WATER MAIN EXTENSION NOTES:

1. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
 - ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
 - THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
 - FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

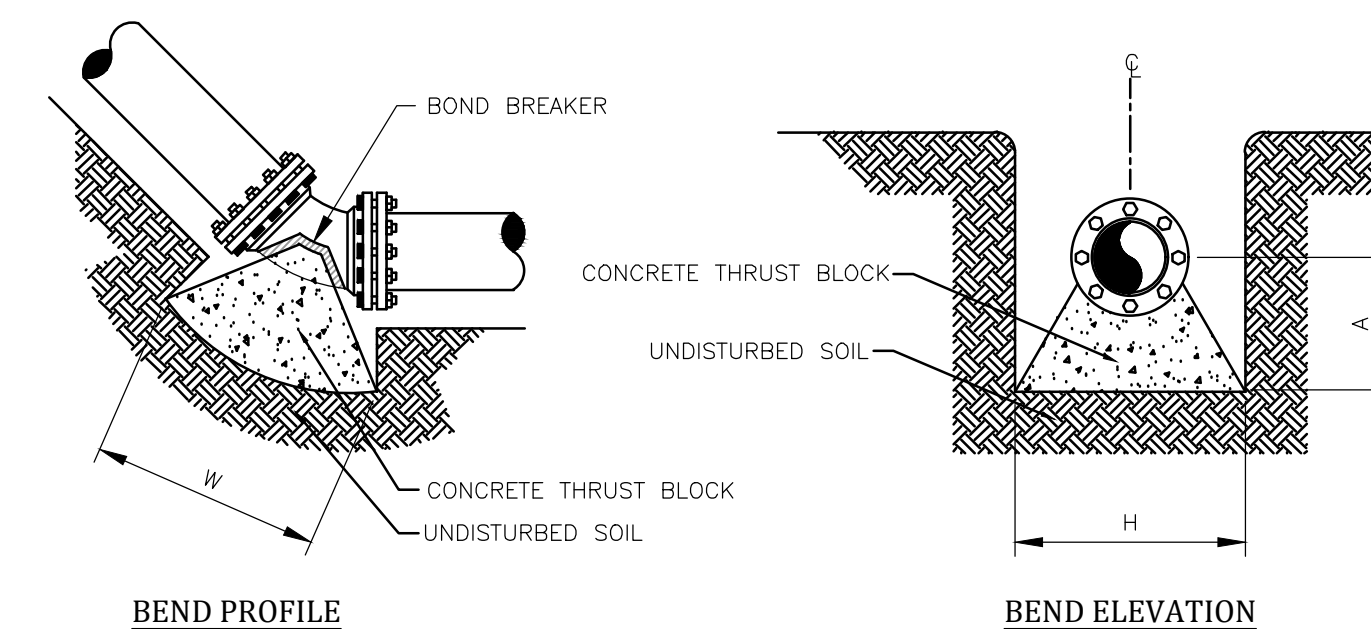
THE MONROE COUNTY DEPARTMENT OF HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(a) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600 (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

PIPE DIAMETER	BEND OR FITTING														
	11 1/4 DEGREE			22 1/2 DEGREE			45 DEGREE			90 DEGREE			TEE*, CAP OR PLUG		
	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)
6"	0.7	1.5	1.5	1.0	2.1	1.5	1.5	2.9	1.5	2.0	4.0	1.7	1.7	3.3	1.4

* SIZE BLOCK BASED ON BRANCH DIAMETER.
SOIL BEARING STRENGTH - 2000 PSF
200 PSI TEST PRESSURE

HORIZONTAL AND VERTICAL UP THRUST BLOCKS

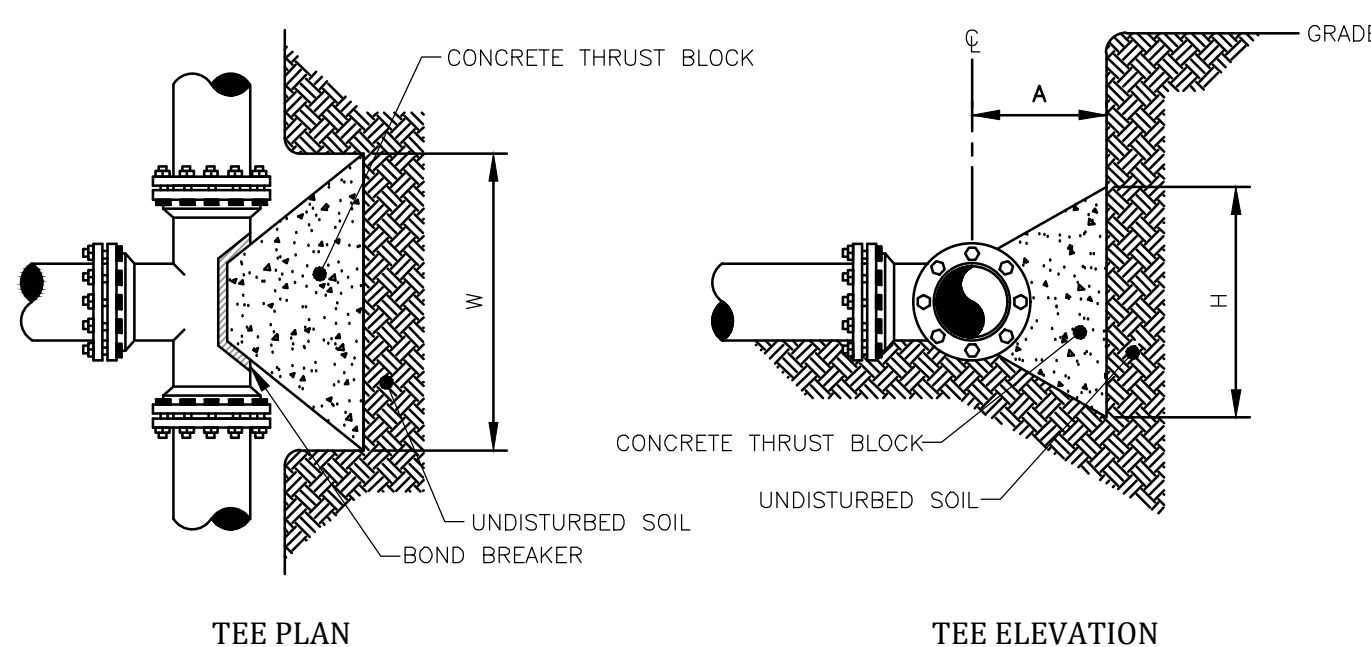


BEND PROFILE

BEND ELEVATION

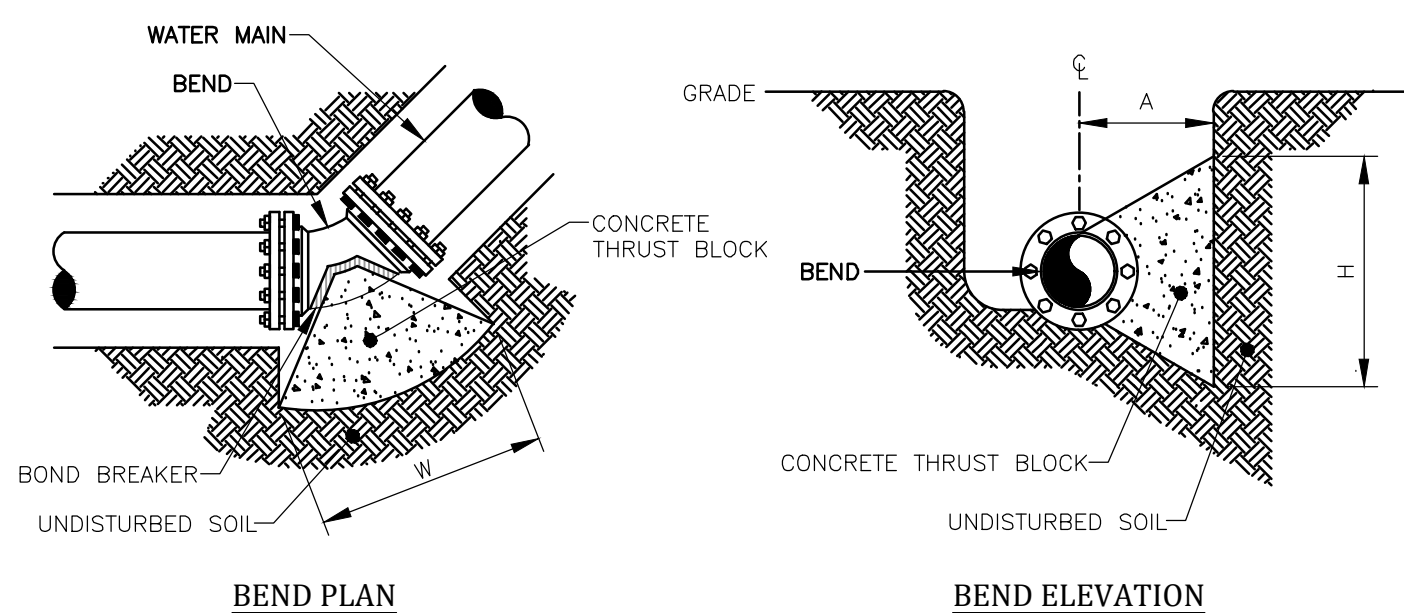
VERTICAL UP THRUST BLOCKS

NOT TO SCALE



TEE PLAN

TEE ELEVATION

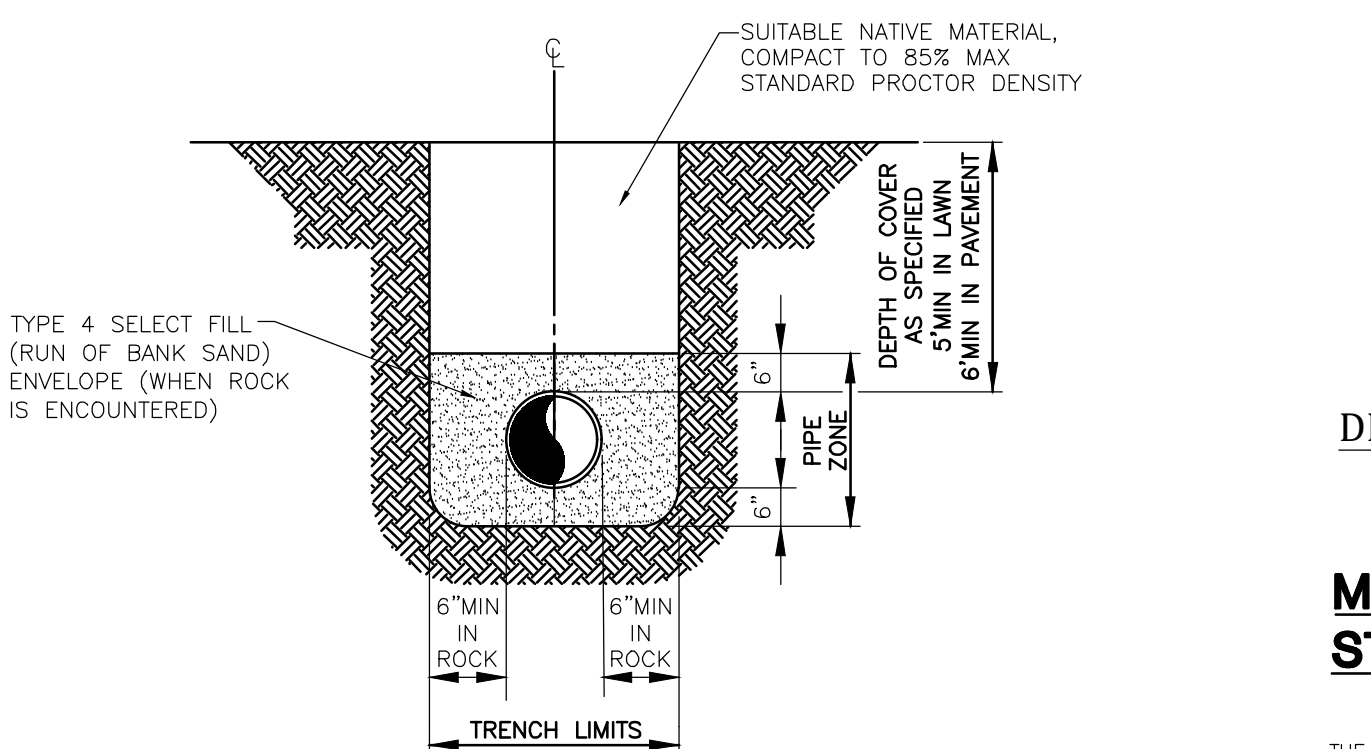


BEND PLAN

BEND ELEVATION

HORIZONTAL THRUST BLOCKS

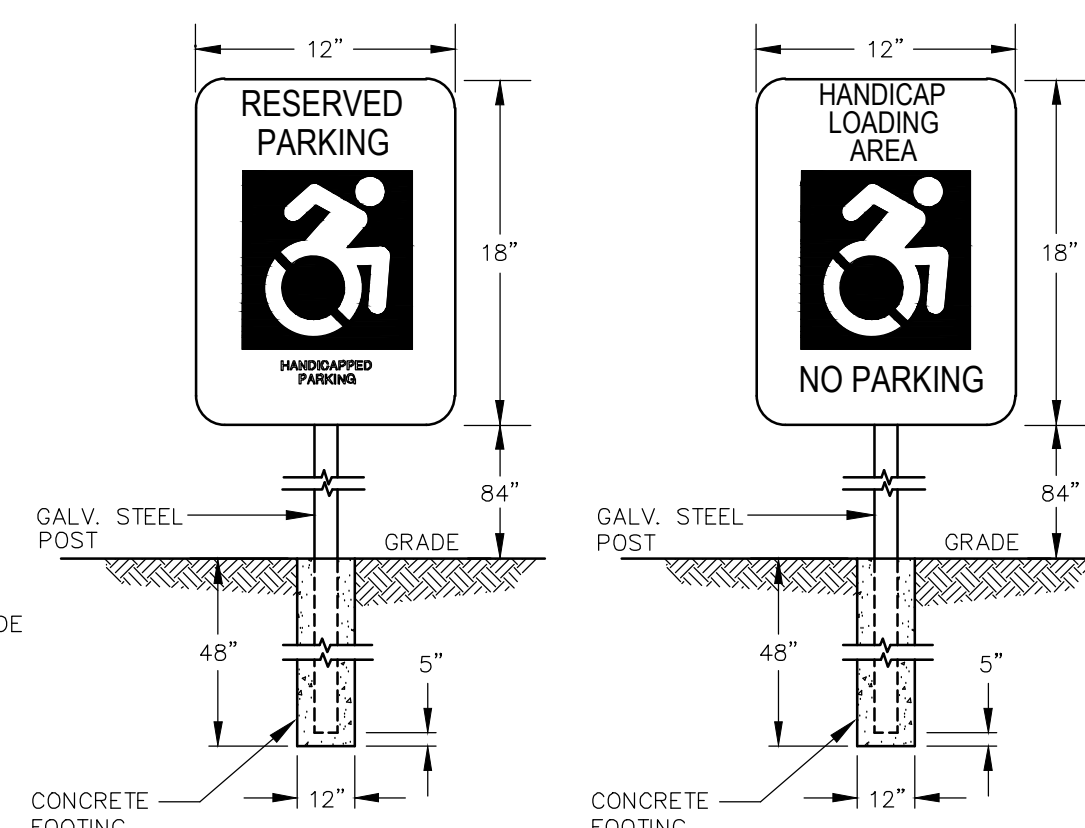
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NOTE: EXCAVATION TO MEET OSHA REQUIREMENTS.

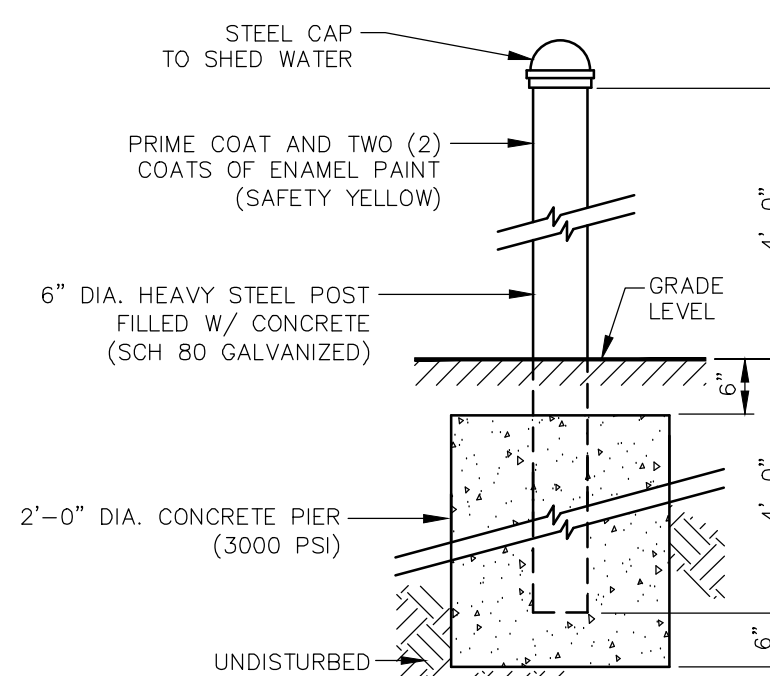
DIP TRENCH

NOT TO SCALE



ACCESSIBLE PARKING SIGN DETAILS

N.T.S.



BOLLARD DETAIL

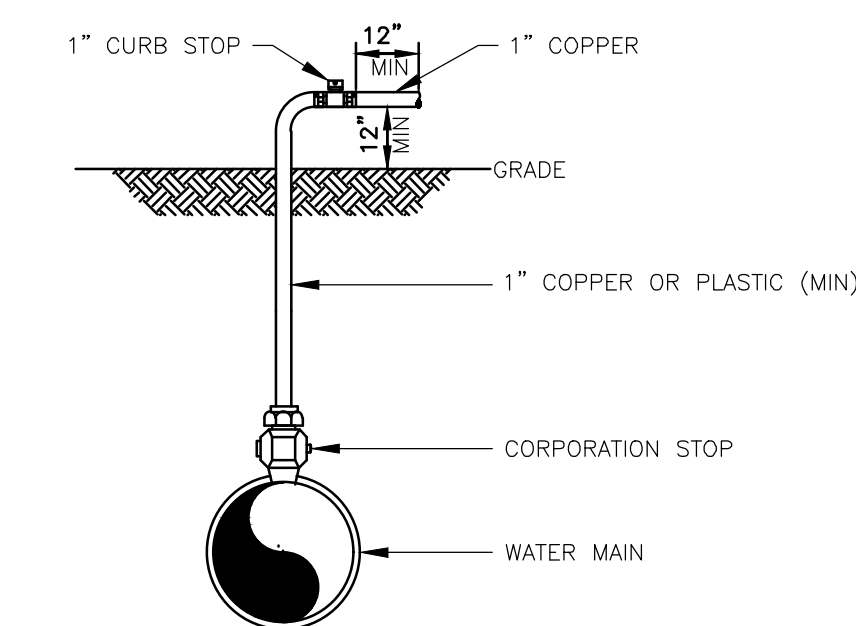
N.T.S.

NOTES:

1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL VALVES SHALL BE OPEN LEFT EXCEPT: TOWN OF HENRIETTA - SHALL OPEN RIGHT.

VALVE

NOT TO SCALE



DISINFECTION/BLOW-OFF/SAMPLING TAP (TEMPORARY)

NOT TO SCALE

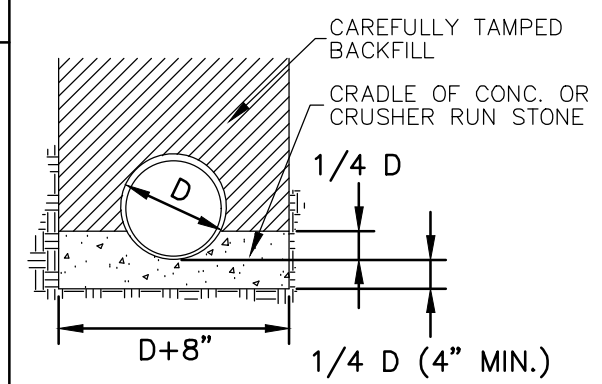
MONROE COUNTY DEPARTMENT OF HEALTH STANDARD WATER MAIN DISINFECTION NOTES

- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THE GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- THE MONROE COUNTY DEPARTMENT OF HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL AND FECAL COLIFORM AND 24-HOUR BACTERIAL PLATE COUNT.
- ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
- THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.

WATERMAIN/SEWER CROSSING DETAIL

N.T.S.



DRAWING ALTERATION
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7209 AND APPLIES TO THIS DRAWING.
"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

Project Title: **O'CONNELL ELECTRIC - NEW BUILDING**
390 SYSTEMS ROAD
TOWN OF HENRIETTA, MONROE COUNTY

Drawn By: JPC
Checked By: TJP
Scale: AS SHOWN
Date: 4/13/2022

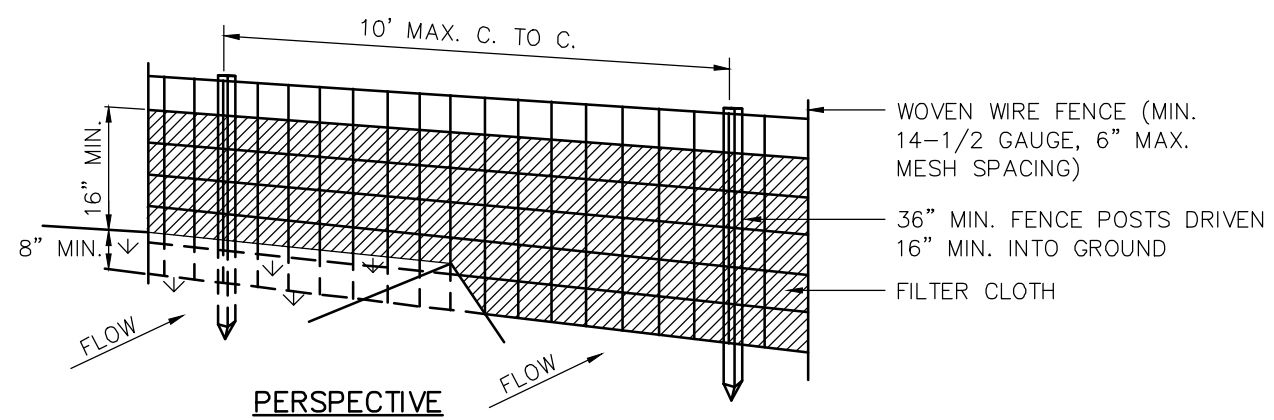
Project No. **1501.22001**

Sheet No. **D-1**

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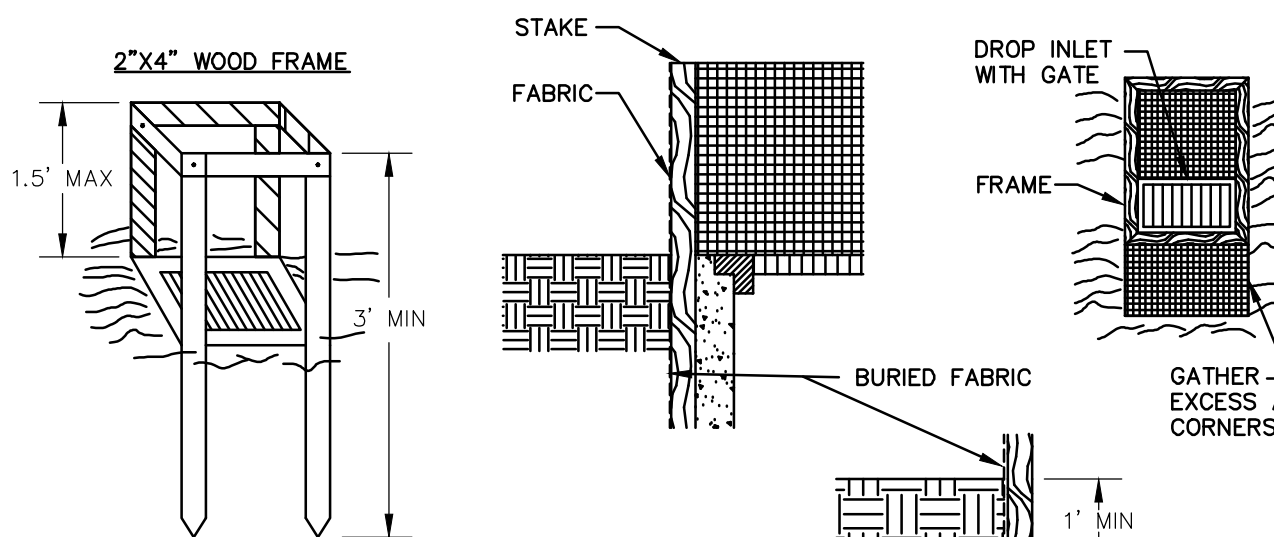


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

N.T.S.

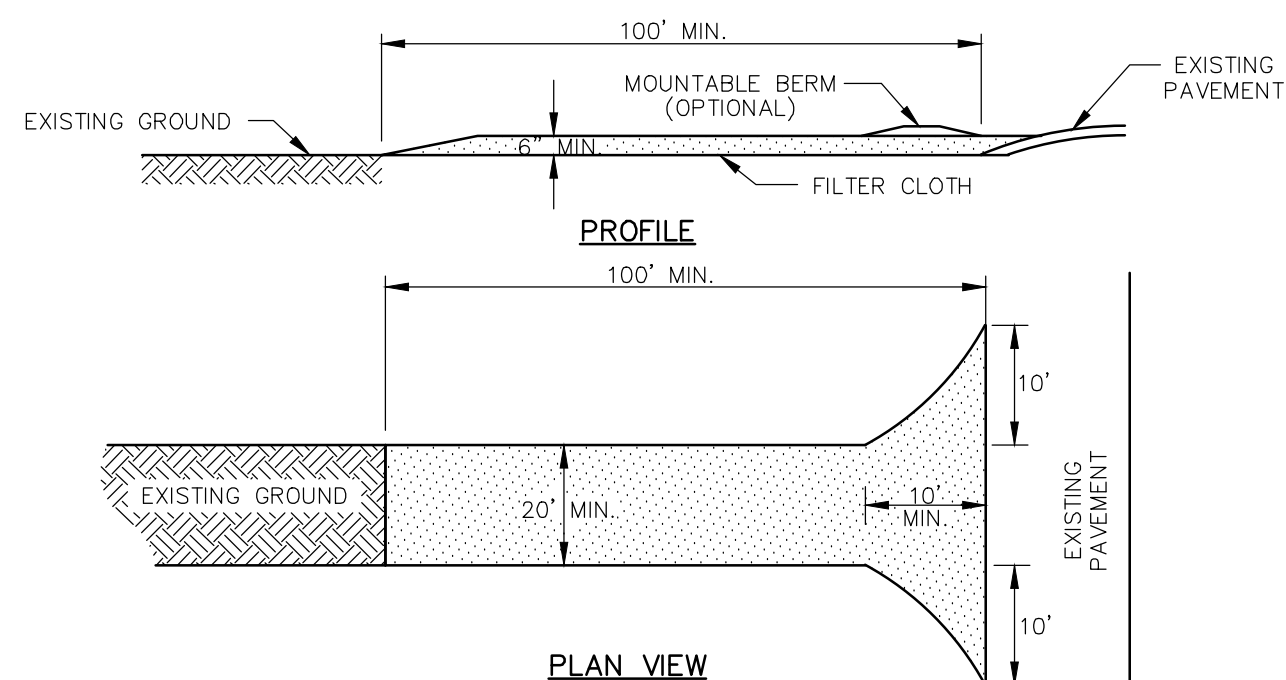


CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THEN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

FILTER FABRIC DROP INLET PROTECTION

N.T.S.

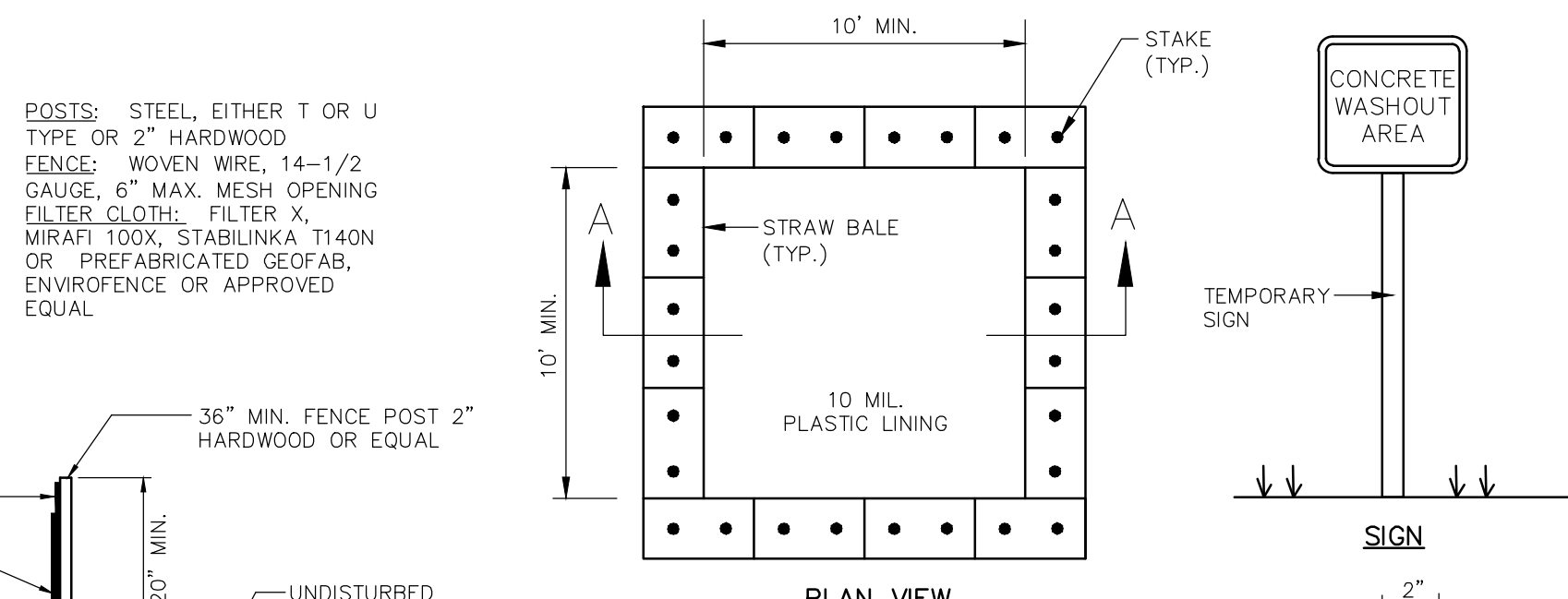


CONSTRUCTION SPECIFICATIONS:

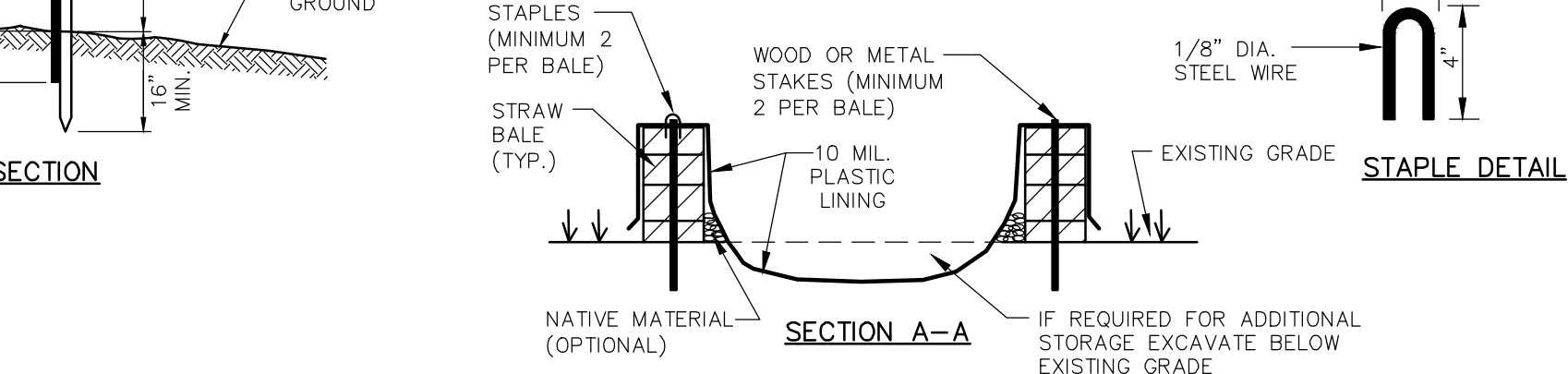
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 100 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWENTY (20) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



PLAN VIEW



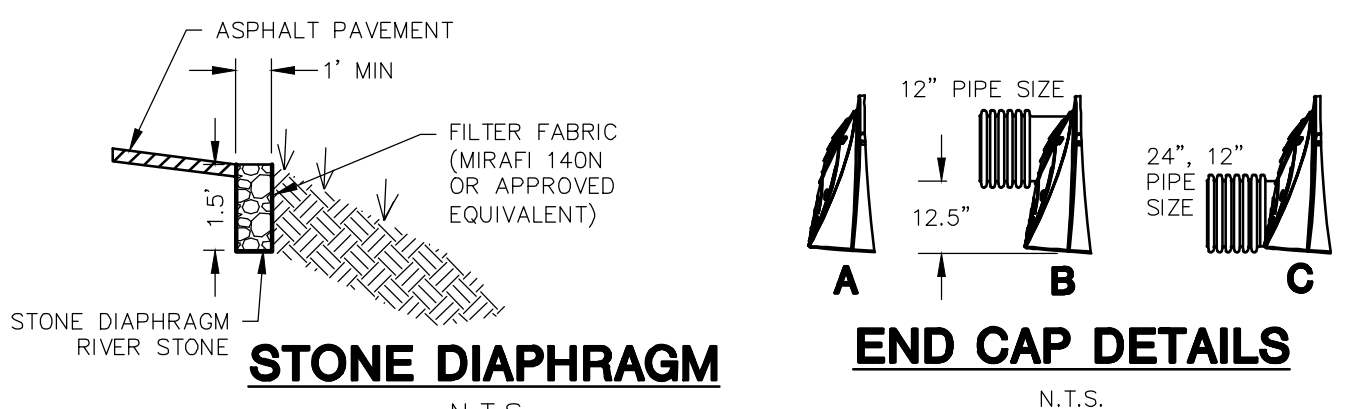
SECTION A-A

NOTES:

1. LOCATION OF CONCRETE WASHOUT AREA TO BE COORDINATED WITH OWNER.
2. WASHOUT VOLUME TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND BASED ON ESTIMATED CONCRETE POURS. (60 GALLONS PER TRUCK±).
3. WHEN HALF FULL AND AFTER TWO DAYS OF SETTLING TIME, CONTRACTOR TO PUMP OUR CLEAR WATER.
4. ONCE CONCRETE WASTE HAS BEEN ALLOWED TO HARDEN, CONTRACTOR TO COORDINATE WITH OWNER ON REMOVAL AND DISPOSAL OF MATERIAL.

TEMPORARY CONCRETE WASHOUT AREA

N.T.S.

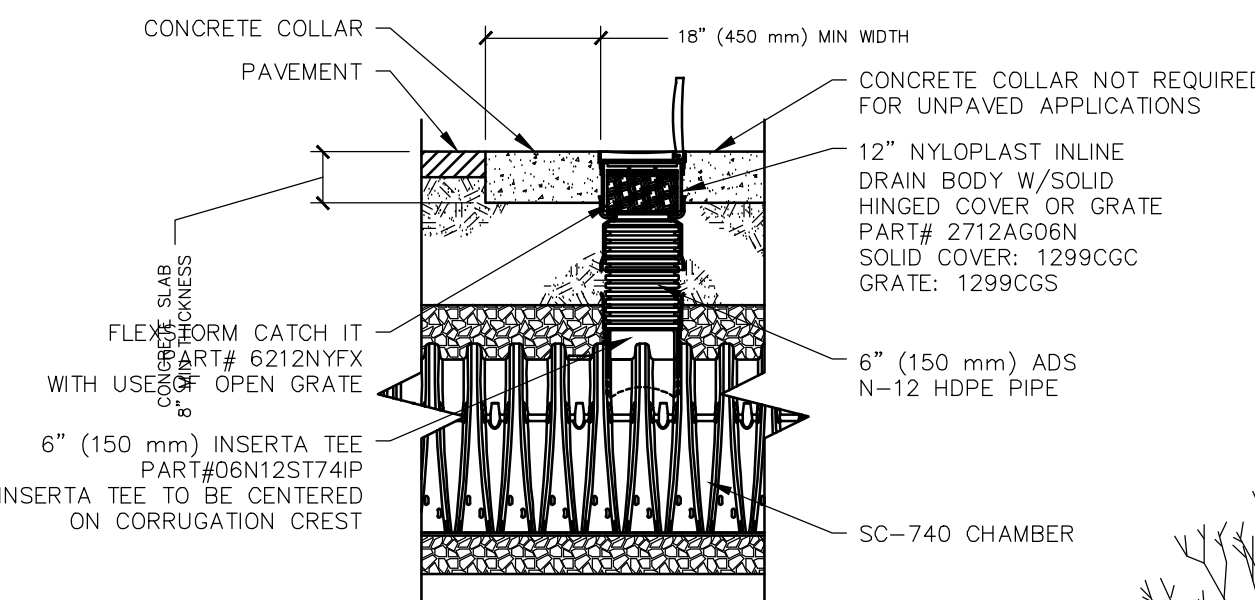


STONE DIAPHRAGM

N.T.S.

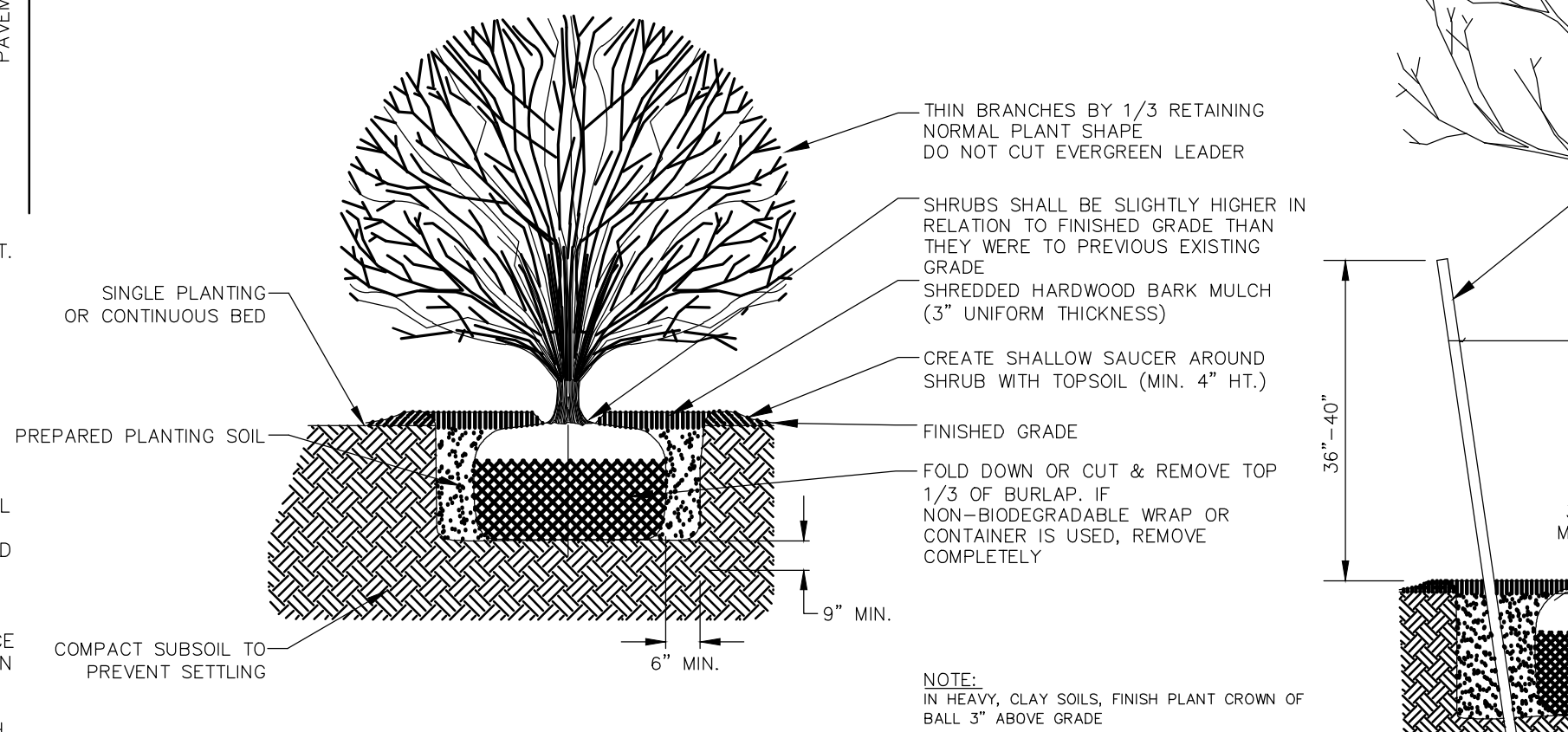
END CAP DETAILS

N.T.S.



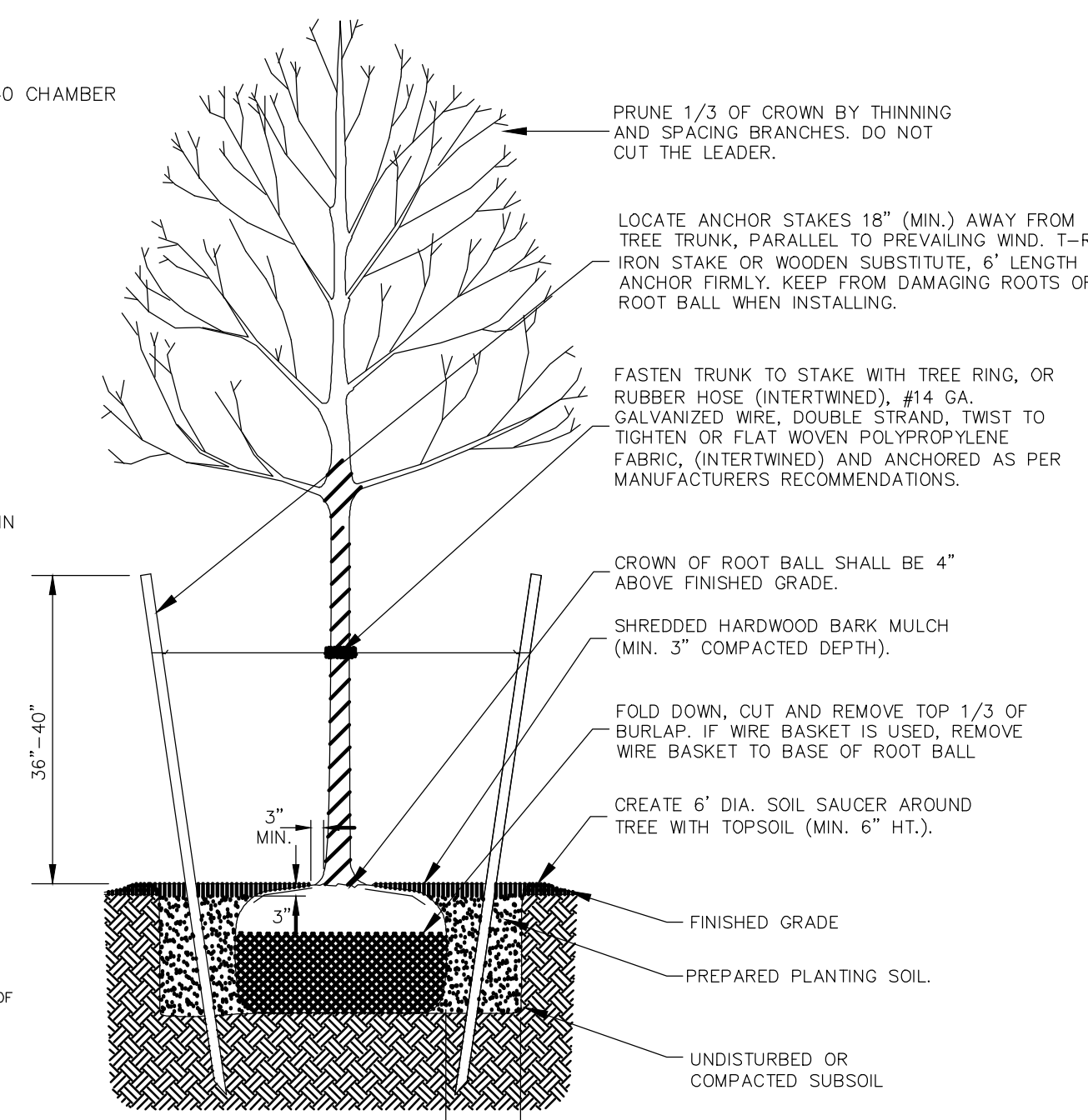
INSPECTION PORT DETAIL

N.T.S.



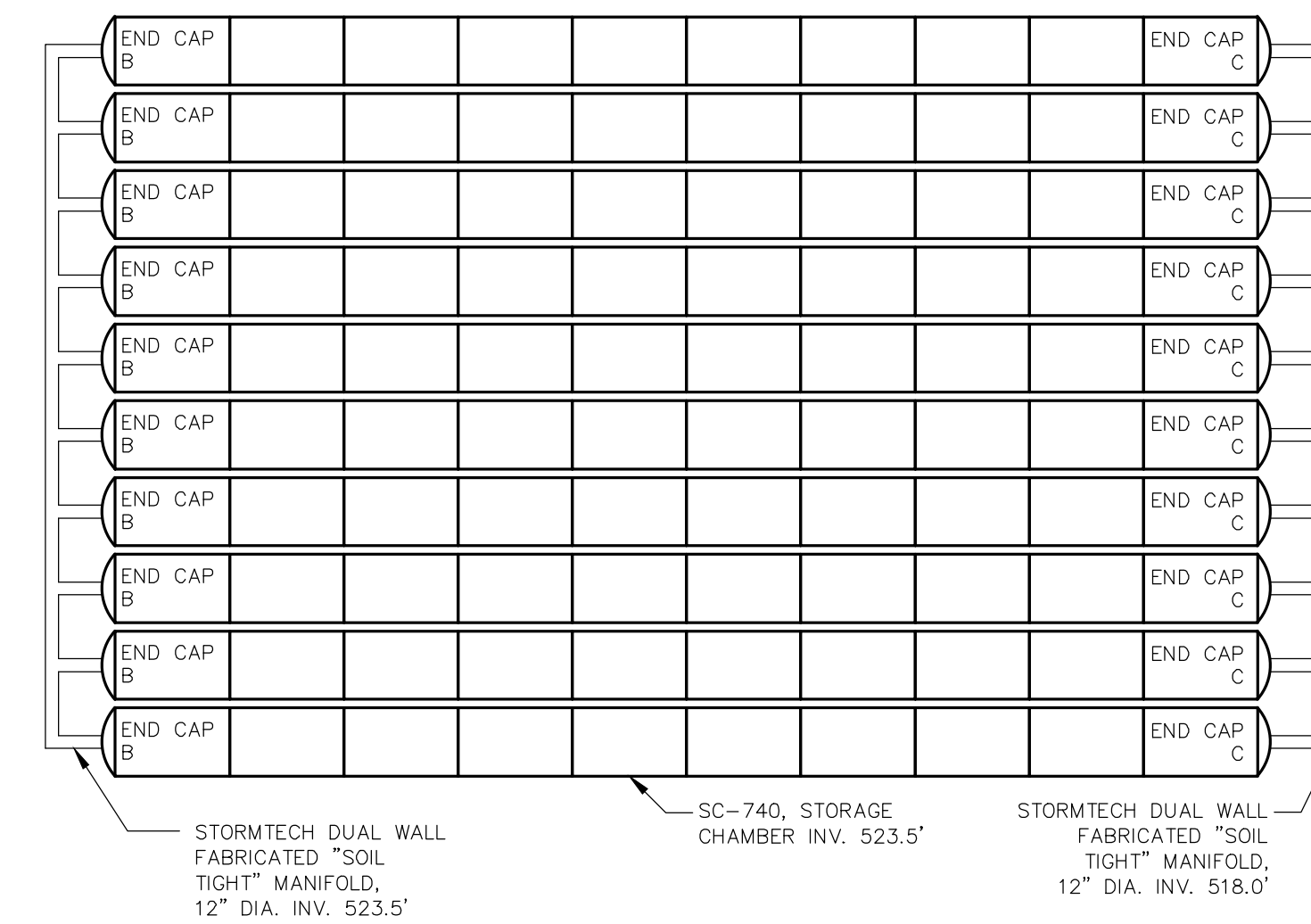
SHRUB PLANTING DETAIL

N.T.S.



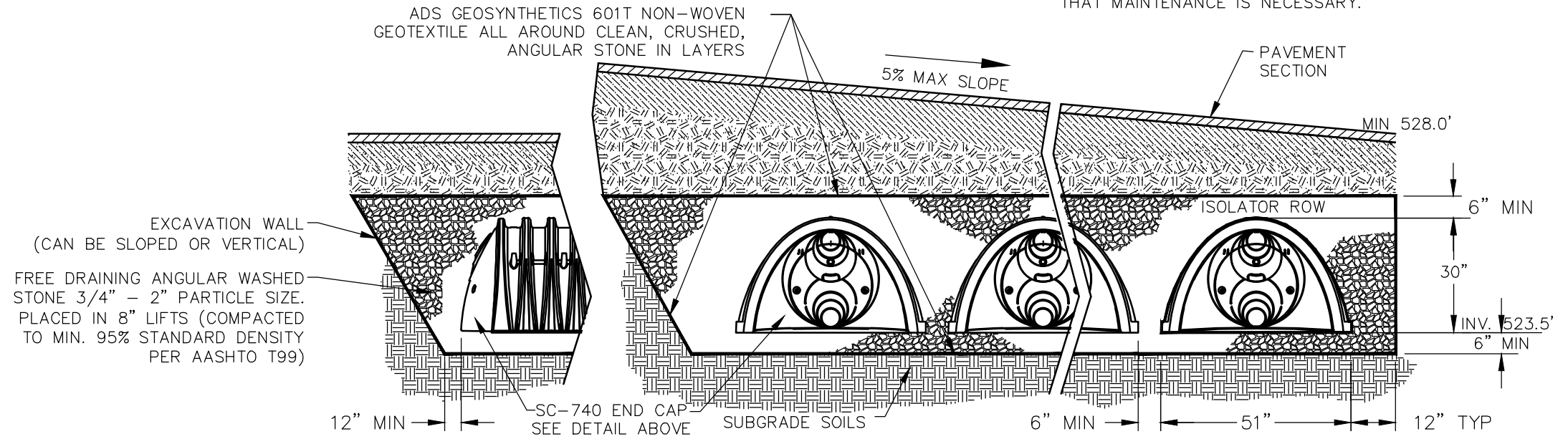
DECIDUOUS TREE PLANTING DETAIL

N.T.S.



UNDERGROUND STORAGE TRENCH DETAIL

N.T.S.



UNDERGROUND STORAGE TRENCH DETAIL

N.T.S.

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE (IF) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY (J) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS. (J) CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

RESTORATION AND LANDSCAPING

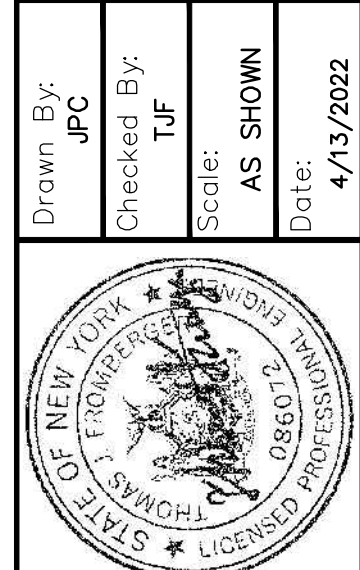
1. GUARANTEE - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER. ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE.
 2. TOPSOIL - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
 3. SEED - ON-SITE
 - A) LAWN SEED MIX ("TYPE A"; MOWED) APPLY AT A RATE OF 170 LBS/ACRE USING THE FOLLOWING PROPORTIONS BY WEIGHT:
 - 30% CITATION PERENNIAL RYE
 - 15% GLADE CERTIFIED KENTUCKY BLUE
 - 35% ADELPHI CERTIFIED KENTUCKY BLUE
 - 20% PENNLAWN RED FESCUE
 - 10% WALDORF CHEWINGS FESCUE
 - B) ALL SEEDED AREAS SHALL RECEIVE:
 - FERTILIZER SHALL BE 10:10:10 COMMERCIAL FERTILIZER APPLIED AT A RATE OF 20 LBS/1000 S.F.
 - MULCH WITH STRAW AT A RATE OF 2000 LBS/ACRE.
 - C) ALL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND HYDROSEEDING WITH BIRDSFOOT TREFLOL.
- *NOTE: SEE DRAWING NO. 00.1, STORM WATER POLLUTION PREVENTION PLAN NOTES FOR RESTORATION IN PUBLIC + RIGHT OF WAY.
4. PLANT STOCK - PLANT MATERIALS SHALL MEET OR EXCEED REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN. THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
 5. PLANT LOCATIONS - THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST AND HE SHOULD OBTAIN CURRENT UTILITY RECORD MAPS AND NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK. THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE. TREES TO BE LOCATED A MINIMUM OF 5' FROM BALL TO UNDERGROUND UTILITIES. SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO MINIMUM OF 20' TO WIRES.
 6. CONTRACTOR STAKEOUT - THE CONTRACTOR SHALL PERFORM A ROUGH STAKE OUT OF ALL PLANT MATERIAL AND SHRUB BEDS. CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLAN CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
 7. PLANTING - ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN. PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. REMOVED BY THE CONTRACTOR AT THE END OF THE GUARANTEE PERIOD. MULCH ALL BEDS AND TREE PITS WITH 2 INCHES MINIMUM SHREDED HARDWOOD MULCH, USE FIBER WEED BARRIER ONLY IN PLANTING BED.

DRAWING ALTERNATION: THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7209 AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

Project Title:
O'CONNELL ELECTRIC - NEW BUILDING
390 SYSTEMS ROAD
TOWN OF HENRIETTA, MONROE COUNTY

Drawn By: JPC
Checked By: TJP
Scale: AS SHOWN
Date: 4/13/2022

Drawing Title:
DETAILS



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Sheet No. **D-3**
of
Project No. **1501.22001**

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