

August 17, 2022

Planning Board
Town of Henrietta
475 Calkins Road
Henrietta, NY 14467

Re: **TownePlace Suites by Marriott**
Kenneth Drive – T.A. No. 175-11-1-13.2
Site Plan Application to Planning Board

2849

Dear Board Members:

On behalf of the applicant, Indus Development Company LLC (Indus), we submit the enclosed applications for Final Site Plan review and approval for the proposed 4-story ($\pm 13,500$ sf footprint) extended stay TownePlace Suites by Marriott hotel with ± 89 rooms. We request to appear at the Planning Board's September 20, 2022 meeting, and we enclose the following application materials:

- Fourteen (14) copies of the Letter of Intent
- Fourteen (14) copies of the Site Plan Application to PB Form
- Fourteen (14) copies of the Letter of Authorization from Property Owner
- Fourteen (14) copies of Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees
- Fourteen (14) copies of the Site Plan Checklist
- Fourteen (14) copies of the Building Elevations
- Fourteen (14) copies of the Site Plans (BME dwgs 2849-02 – 2849-15)
- Two (2) copies of the Engineer's Report
- Two (2) copies of the SWPPP with Drainage Report
- \$150 Application Fee
- \$700 Engineering Plan Review Fee
- Electronic PDF Copy of Application materials (e-mailed)

Indus is proposing to develop a new 4-story TownePlace Suites by Marriott hotel totaling ± 89 rooms on a new ± 2.7 -acre lot to be subdivided from the current ± 4.5 -acre parcel (TA No. 175-11-1-13.2), owned by Fairlane Drive LLC. The hotel will be owned and operated by Indus.

The property is zoned Industrial, and the proposed hotel use is an allowed use within the district by Special Permit from the Town Board per Article VII, §295-25 (A) (16) and §295-27. The Town Board granted two Special Use Permits to allow for the hotel use in the Industrial District and a building height greater than 40' at their July 13, 2022, Town Board Meeting (TB Resolution #16-228/2022). The Site Plan has been designed in accordance with the applicable development standards for the Industrial zoning district and thus no area variances are being sought.

The property is located within the Calkins Road Professional Business Park on the eastern side of Kenneth Drive and just north of the newly built Taco Bell along Kenneth Drive and Lehigh Station Road. I-390 is adjacent to the project site to the east and 280 Kenneth Drive office building to the north. The site currently consists of vacant overgrown brush.

The proposed subdivision will result in one lot to be remaining lands of Fairlane Drive LLC (Lot AR304C-2), of approximately 1.8 acres, and the other lot (Lot AR304C-1) would be owned by Indus for the purpose of developing the proposed hotel and totals ± 2.7 acres. An Administrative Resubdivision Plat

application has been submitted to the Town and the proposed Subdivision Plat is included within the Site Plan set of drawings.

The Henrietta Town Board was established as Lead Agency for this project and conducted a coordinated environmental review in accordance with SEQR. The Town Board issued a Negative Declaration (TB Resolution #16-227/2022) at their July 13, 2022 meeting. The project will be served by two proposed curb cuts to Kenneth Drive. The southernmost entrance off Kenneth Drive provides guest access to the lobby and drop off area of the hotel and have a direct route to the parking areas. The designated fire lane for the hotel is along the northern side of the hotel and the northernmost entrance off Kenneth Drive allows for direct access or emergency and service vehicles to the fire lane, dumpster area, maintenance room and access to the stormwater management facility without interfering with the hotel lobby/guest traffic. Per the Purchase Contract Indus has in place with the seller, Indus is to provide ingress and egress between the hotel parcel and parcel to the south which is shown as a 24' access drive on the Site Plan. A proposed access easement has been shown on the Site Plan to the hotel lot.

The Town Board, upon completion of a coordinated review determined through the SEQRA process that the project would not have a potential significant impact on traffic. This included review and comment from the Town's traffic consultant and NYSDOT.

Site improvements include 98 parking spaces which includes guest, employee, ADA accessible spaces and provisions for electric vehicle charging stations, a covered drop off area to the lobby and a patio/grille area for guests. The provided parking meets Town Code requirements for site parking. Sidewalks are available for pedestrians around the site as well as to the existing Kenneth Drive sidewalk system. A designated outdoor area has been shown in the northeast corner of the site as an amenity for guests and will be designed by others.

Utility services for the Hotel will be extended from Kenneth Drive with public sanitary sewer, water, gas, electric and telecommunication services available. A stormwater management facility, including green infrastructure practices, have been proposed on site to address stormwater quantity and quality requirements of the NYSDEC and Town of Henrietta. The stormwater management plan has been prepared in conformance with the NYSDEC Stormwater Design Manual and Town of Henrietta Design Criteria. A SWPPP which includes the Drainage Report for the site has been included with this application.

Also included with this application are typical prototype architectural elevations and renderings illustrating the proposed hotel, along with the proposed landscape and site lighting plan for the property.

We look forward to presenting this application at the September 20, 2022 Planning Board meeting. Please contact our office if you require any additional information concerning this application prior to the meeting.

Sincerely,
BME ASSOCIATES



Rebecca R. Spurr, P.E.

Encl.

c: Jett Mehta & John Ott; Indus Development Company LLC



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 8-17-22

I (we) Indus Development Company LLC of 950 Panorama Trail South
Name of Applicant / Business Business Address (Number & Street)

Rochester, NY 14625 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: n/a

on property located at Kenneth Drive Industrial District 175.11-1-13.2
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: n/a Number: n/a

DESCRIPTION OF PROPOSAL: _____

Development of a 4-story (+/-13,500 sf footprint), +/-89 room TownePlace Suites by Marriott extended stay hotel on +/-2.7 acres in the Town. Access to the hotel will be from two entrances off Kenneth Drive. The site improvements will include associated parking areas, along with utility services and proposed stormwater management area. A Special Use Permit for maximum building height (>40' allowed) and the hotel use within the Industrial district has been approved by the Town of Henrietta Town Board on 7/13/22. A subdivision is also required to resubdivide a +/-4.5 acre parcel into 2 lots has also been submitted to the Town.

Applicant: Indus Development Company LLC
Address: 950 Panorama Trail South
Rochester, NY 14625

Phone #: [REDACTED]
Email: [REDACTED]

Property Owner: Fairlane Drive, LLC (Martin Lobdell)
Address: 745 South Garfield Road, Suite A
Traverse City, Michigan 49686

Phone #: [REDACTED]
Email: [REDACTED]

Applicant Signature: [Signature]

Engineer/Architect: BME Associates
Address: 10 Lift Bridge Lane East
Fairport, NY 14450

Phone #: [REDACTED]
Email: [REDACTED]

Business Owner: Indus Hospitality Group (Jett Mehta)
Address: same as applicant

Phone #: _____
Email: _____

Print Name: Jett Mehta

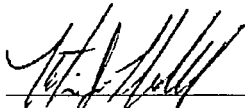
SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION

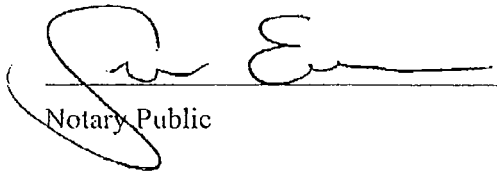
STATE OF MICHIGAN)
COUNTY OF Washtenaw) ss:

The undersigned certifies that it is the sole owner of the property on Kenneth Drive, Tax Account No. 175.11-1-13.2, in the Town of Henrietta, Monroe County, New York, being the subject of the Purchase Contract ("Contract") dated March 10, 2022 between Fairlane Drive LLC ("Seller"), and Indus Hospitality Group Inc. ("Buyer"). We hereby authorize the Buyer, its successors and assigns, and their agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning, subject to the terms of said Contract.

Fairlane Drive LLC

By: 
Name: Martin J. Lobdell
Title: Manager

Sworn and subscribed before me this
7 day of March, 2022.


Notary Public

SUSAN EVANS
Notary Public, State of Michigan
County of Washtenaw
My Commission Expires 08-26-2026
Acting In the County of Washtenaw

PSA Fairlane Drive LLC

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

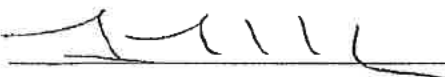
- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Indus Development Company LLC

By: Jett Mehta

Title: President

Dated: 5-27-22

Signed: 

Owner: Fairlane Drive LLC

By: Martin J. Lobdell

Title: Manager

Dated: 6/7/22

Signed: 



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
- 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
- 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- 30 Show wetland and buffer zone limits (when applicable).
- 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
- 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: _____
Name of Developer

_____ Date

Company Name

Street Address

City, State, Zip





SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

Telephone Number

Prepared by: _____
Name of Consultant

_____ Date

_____ Company Name

_____ Street Address

_____ City, State, Zip



_____ Telephone Number

Application Number: _____

**Site Plan and Subdivision Application
Engineering Review Charges**


All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual _____

Responsible Firm _____

Street Address _____

City, State, Zip Code _____

Telephone Number  _____

Engineering Site Inspection Charges


All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual _____

Responsible Firm _____

Street Address _____

City, State, Zip Code _____


Telephone Number  _____

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By _____

Address _____

City, State Zip _____

Telephone Number  _____



2 REAR PERSPECTIVE GREY
NO SCALE



1 FRONT PERSPECTIVE GREY
NO SCALE

These design guidelines and all materials, procedures, systems and content herein contained or depicted (the "Design Guidelines") have been prepared for and/or developed by Marriott International, Inc. or its affiliate ("Marriott"), and are the sole and exclusive property of Marriott, which owns all right, title and interest therein, including all copyright, and which reserves all rights herein. All contents should be used only as authorized by Marriott and should not be copied either in whole or in part without its written consent.

TOWNEPLACE SUITES by MARRIOTT
Marriott International Inc.
10400 Fernwood Road
Bethesda, MD 20817
(301) 380-3000

TOWNEPLACE SUITES[®]
BY MARRIOTT

DESIGN GUIDELINE DRAWINGS

ISSUE DATE: 11/13/19
REVISION DATE:
GENERATION: 5 - 89 UNITS
DECOR: Real Living

EXTERIOR PERSPECTIVE

B210

NOT FOR CONSTRUCTION

FILE NAME: 05-T-05-B210-Ext Perspective-89

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS 'SITE & BUILDING EXTERIOR' CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B. REFER TO BUILDING SITE - EXTERIOR BUILDING PRODUCT MANUAL FOR MATERIALS AND COLORS; AND ALSO FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL LOUVER COLOR, DOOR FRAMES, PORTE COCHERE AND CANOPY STRUCTURE FINISHES, ETC.
- C. REFER TO THE EXTERIOR SIGNAGE SPECIFICATIONS - EXTERIOR GRAPHICS PACKAGE FOR REQUIREMENTS RELATED TO SIGNAGE SHOWN ON THIS SHEET.

These design guidelines and all materials, procedures, systems and content herein contained or depicted (the "Design Guidelines") have been prepared for and/or developed by Marriott International, Inc. or its affiliate ("Marriott"), and are the sole and exclusive property of Marriott, which owns all right, title and interest therein, including all copyright, and which reserves all rights herein. All contents should be used only as authorized by Marriott and should not be copied either in whole or in part without its written consent.

TOWNEPLACE SUITES by MARRIOTT
 Marriott International Inc.
 10400 Fernwood Road
 Bethesda, MD 20817
 (301) 380-3000

GENERAL NOTES

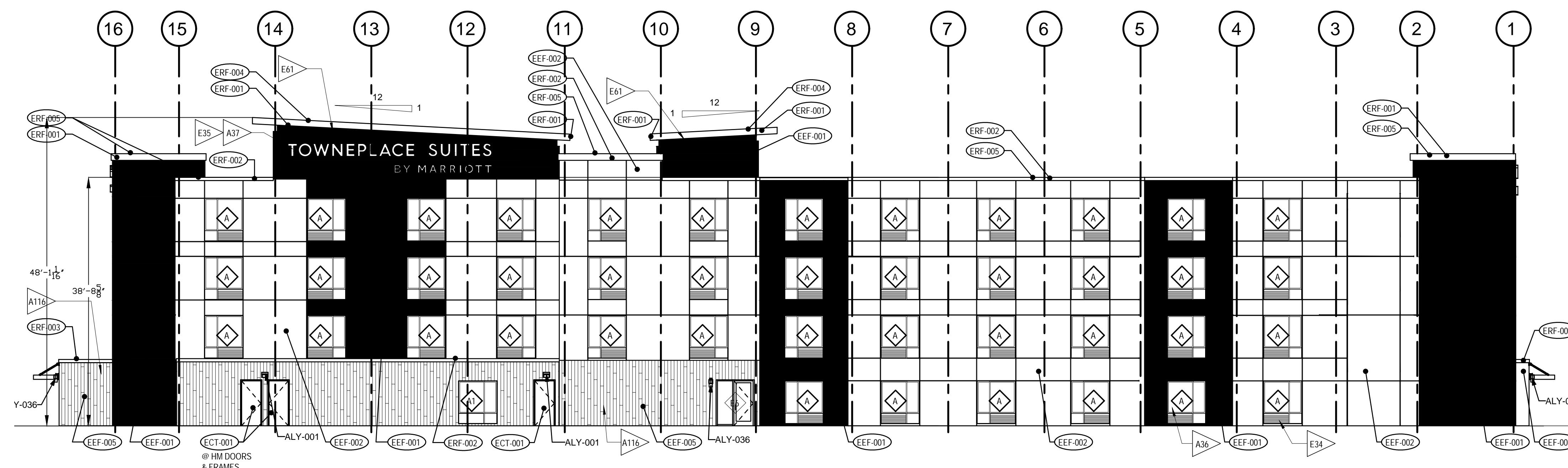
1. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.
2. PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.
3. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.
4. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
5. PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.


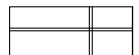
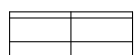

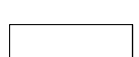
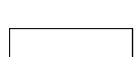


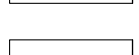
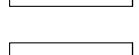
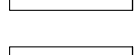
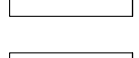

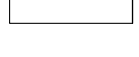
- A36 TYPICAL GUESTROOM WINDOW
- A37 CHANNEL LETTER SIGNAGE AT FACE OF BUILDING. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS. PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE
- A116 EIFS REVEALS AT EFS PREFERRED WIDTH IS 8", WIDTH SHALL NOT BE GREATER THAN 12"

- E34 PTAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME
- E35 AT EXTERIOR SIGNAGE PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL
- E61 FOR STANDARD LINEAR LIGHT FIXTURE. SEE DWGS FOR MARK NUMBER. PROVIDE CONTINUOUS BAND OF LIGHT TO ILLUMINATE BOTTOM OF SOFFIT



1 REAR ELEVATION
 SCALE: 3/32" = 1'-0"

EXTERIOR FINISH INDEX

	EEF-001	EFIS
	EEF-002	EFIS
	EEF-004	EIFS (EEF-004 OPTION: EWP-001)
	EEF-005	EIFS (EEF-005 OPTION: EWP-002)
	ERF-001	ALUMINUM COPING
	ERF-002	ALUMINUM COPING - COLOR TO MATCH ADJACENT SURFACE
	ERF-003	ALUMINUM COPING
	ERF-004	MEMBRANE ROOFING - SLOPED
	ERF-005	MEMBRANE ROOFING
	ECT-001	PAINTED SURFACE @ EXTERIOR HM DOORS & FRAMES
	ECT-002	PAINTED SURFACE @ PORTE COCHERE COLUMNS
	EWP-003	METAL SOFFIT PANEL @ PORTE COCHERE
	EFM-003	METAL FENCE @ FIRE PIT
	EFM-004	PERGOLA

TOWNEPLACE SUITESSM
 BY MARRIOTT

DESIGN GUIDELINE DRAWINGS
 ISSUE DATE: 11/13/19
 REVISION DATE: 08/30/2021
 GENERATION: 5 - 89 UNITS
 DECOR: Real Living

BUILDING EXTERIOR ELEVATIONS

B212

NOT FOR CONSTRUCTION

REFERENCE NOTES

- A) REFER TO DESIGN STANDARDS 'SITE' OR 'INDUSTRY' OR 'TERMINOLOGY' OR MAIN REQUIREMENTS RELATED TO THIS SPECIFICATION IS RESPONSIBLE OR DESIGN PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B) REFER TO 'INDUSTRY' 'SITE' 'TERMINOLOGY' 'PRODUCTION' 'MANUAL' OR MATERIALS AND COLORS AND ALSO OR 'TYPICAL' 'FINISHES' OR 'TERMINOLOGY' 'SPECIFICATIONS' OR 'COLORS' OR 'DOOR' 'FRAMES' 'PORTALS' 'COLORED' AND 'CANOPY' 'STRUCTURE' 'FINISHES' ETC.
- C) REFER TO THE 'TERMINOLOGY' 'SPECIFICATIONS' 'TERMINOLOGY' 'SPECIFICATIONS' 'TERMINOLOGY' 'SPECIFICATIONS' RELATED TO THE 'FINISHES' 'COLORS' 'MATERIALS' 'OR' 'CONSTRUCTION'.

GENERAL NOTES

- 1) ALL FINISHES ARE APPROXIMATE AND SHALL BE BASED ON STRUCTURAL SYSTEM.
- 2) PROVIDE CONTRACTOR WITH COLOR PRINTS OR ELEVATIONS OR ADDITIONAL CLARITY.
- 3) CONTINUE FINISHES TO INSIDE CORNER; FINISHES TRANSITIONS AT OUTSIDE CORNER.
- 4) ALL DOORS POSITIVE TO INTERIOR AND CLEANING.
- 5) PROVIDE INTERNAL DOORS POSITIVE TO INTERIOR; ROOF DRAINS AND OVERFLOW SANS PROVIDED FOR LOCAL RAIN; ALL PROVIDE SECONDARY OVERFLOW TO DRAINAGE IN AREAS THAT WILL NOT DRAIN ACROSS ALL INTERIORS.

CRITERIA NOTES

- CRITERIA NOTES ARE ORGANIZED BY DISCIPLINE AND COLOR. REFER TO THE 'CRITERIA' FOR MORE INFORMATION. UNDER ONE PREDOMINANT DISCIPLINE; CONSULTANTS SHALL BE AMPLIFIED; OTHERWISE, ALL CRITERIA NOTES:
- A) REFER TO 'ESTROOM PLANS' OR 'OLD' TO DIMENSIONS; EXCEPT FOR INTERIOR AND INTERIOR ALL NOTED.
 - A) TYPICAL 'ESTROOM' 'INDOOR'.
 - A) CORNER LETTER SHALL BE PROVIDED 'INDUSTRY' SEE 'TERMINOLOGY' 'SPECIFICATIONS' OR 'REQUIREMENTS' PROVIDED 'ATE' 'LOCATION' 'INDOOR' OR 'OUTDOOR'.
 - A) SEE 'RELEVANCE' AT 'PRELIMINARY' 'IDENTIFICATION' 'IDENTIFICATION' SHALL NOT BE REITERATED.

- E) PORTAL 'INTERIOR' 'INDOOR' 'FRAME' 'FINISHES' TO MATCH 'INDOOR' 'FRAME'.
- E) 'ATE' 'TERMINOLOGY' 'SPECIFICATIONS' OR 'REQUIREMENTS' 'ELECTRICAL COMPONENTS AND MATERIALS' 'ELECTRICAL CONNECTIONS' PROVIDED 'ATE' 'LOCATION' 'ROOM ELECTRICAL PANEL'.
- E) 'OR STANDARD LINEAR LIGHTING' 'RELEVANCE' 'OR MARKING' 'PROVIDE CONTINUOUS AND OUTLINE ILLUMINATION' 'OUTLINE' 'SOFFIT'.

- C) DECORATIVE METAL SLAT FINISHES AT FIRE PIT OPTIONAL; REFER TO 'INDUSTRY' 'TERMINOLOGY' 'SPECIFICATIONS' 'OR' 'FINISHES'.

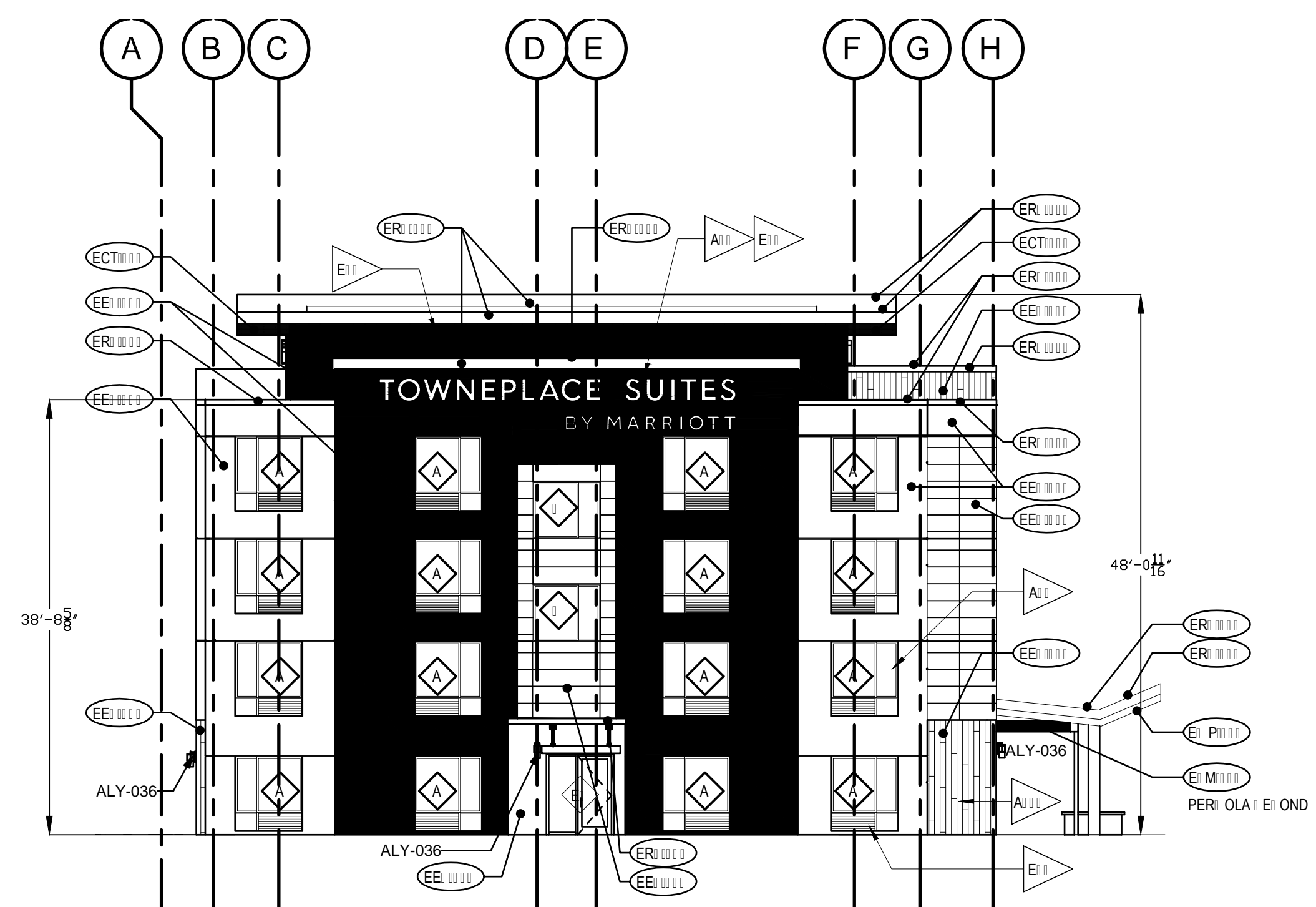
EXTERIOR FINISH INDEX

- EFIS
- EFIS
- EIFS (EEF-004 OPTION: EWP-001)
- EIFS (EEF-005 OPTION: EWP-002)
- ALUMINUM COPING
- ALUMINUM COPING - COLOR TO MATCH ADJACENT SURFACE
- ALUMINUM COPING
- MEMBRANE ROOFING - SLOPED
- MEMBRANE ROOFING
- PAINTED SURFACE @ EXTERIOR HMM DOORS & FRAMES
- PAINTED SURFACE @ PORTE COCHERE COLUMNS
- METAL SOFFIT PANEL @ PORTE COCHERE
- METAL FENCE @ FIREPIT
- PERGOLA

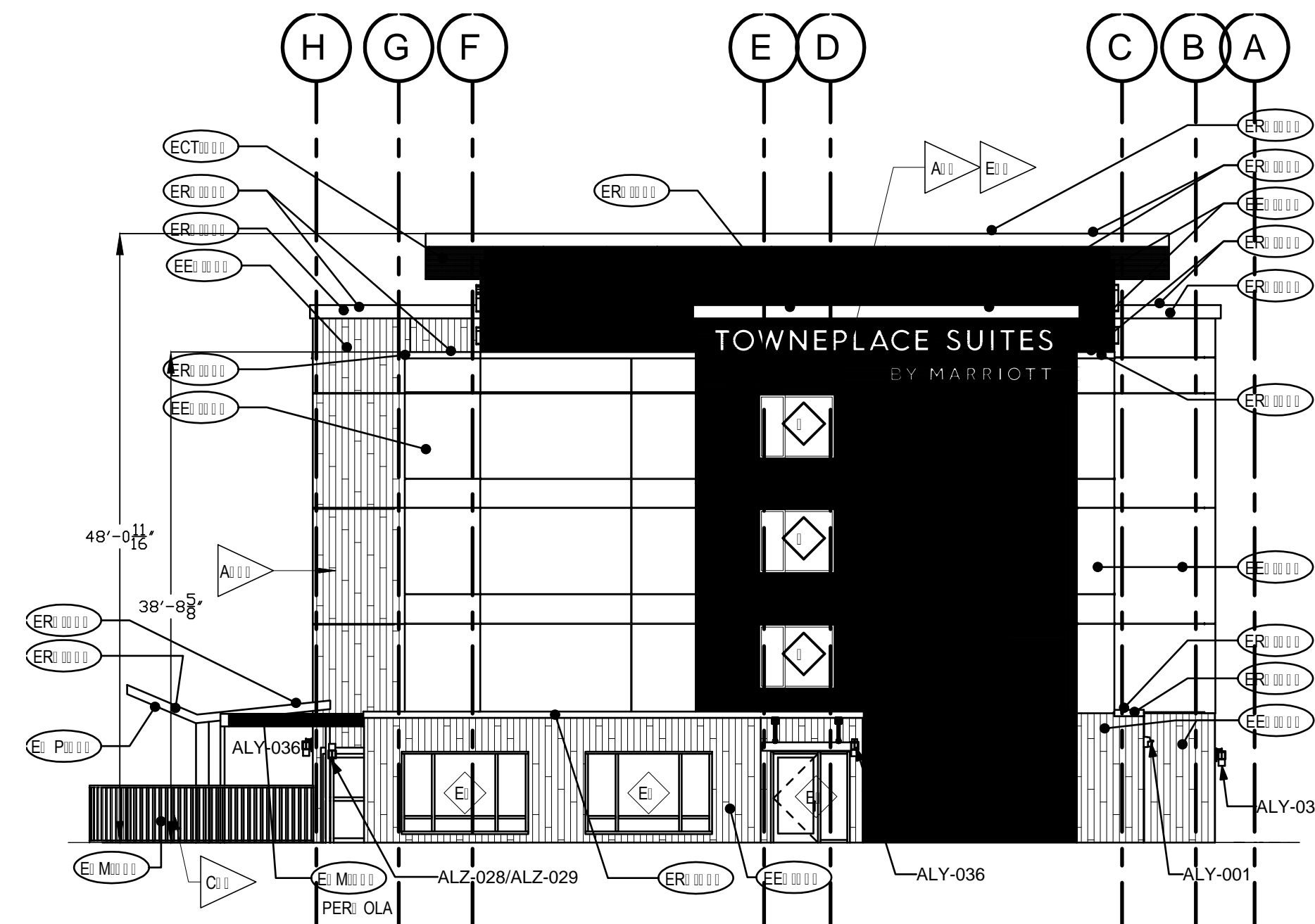
TOWNEPLACE SUITESSM
BY MARRIOTT

DESIGN IDLINE DRAWING
ISSUE DATE: 000000
REVISION DATE: 000000
GENERATION: 000000
DECOR: R000000

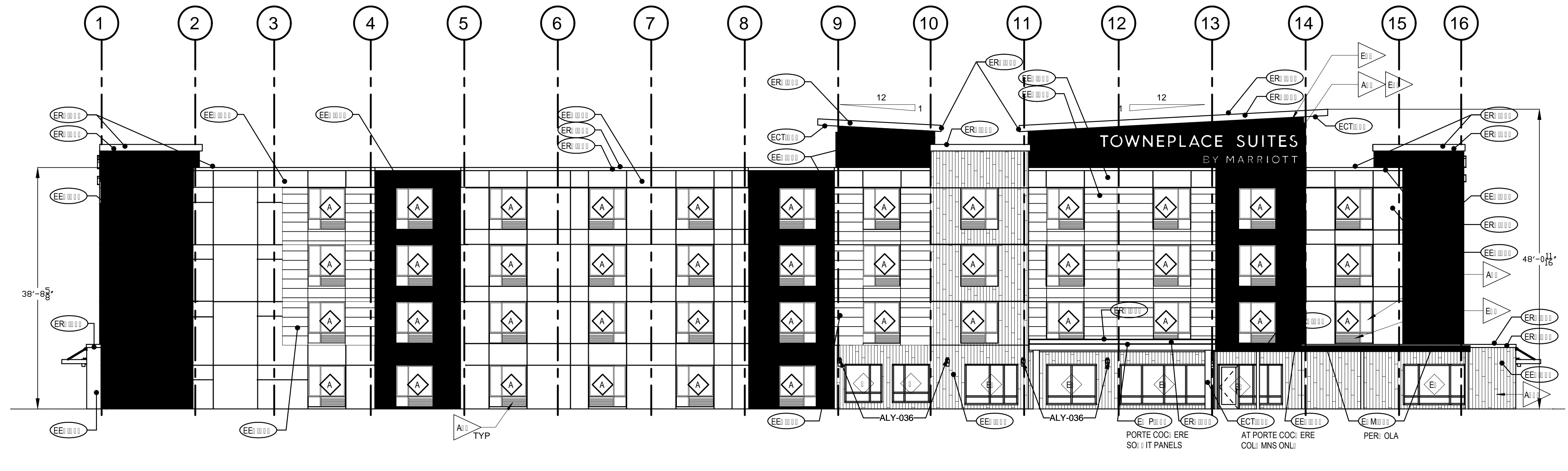
INDUSTRY TERMINOLOGY ELEVATIONS
B211
NOT FOR CONSTRUCTION



3 LEFT SIDE ELEVATION
SCALE: 3/32" = 1'-0" REFERENCED FROM: B200

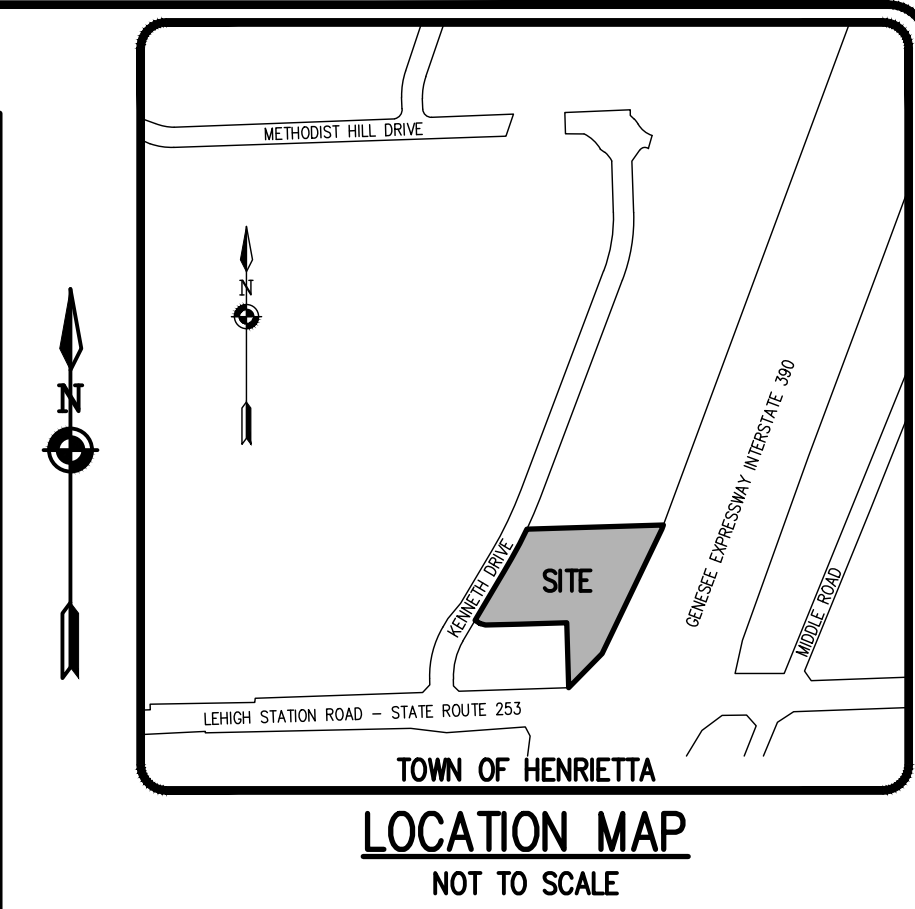
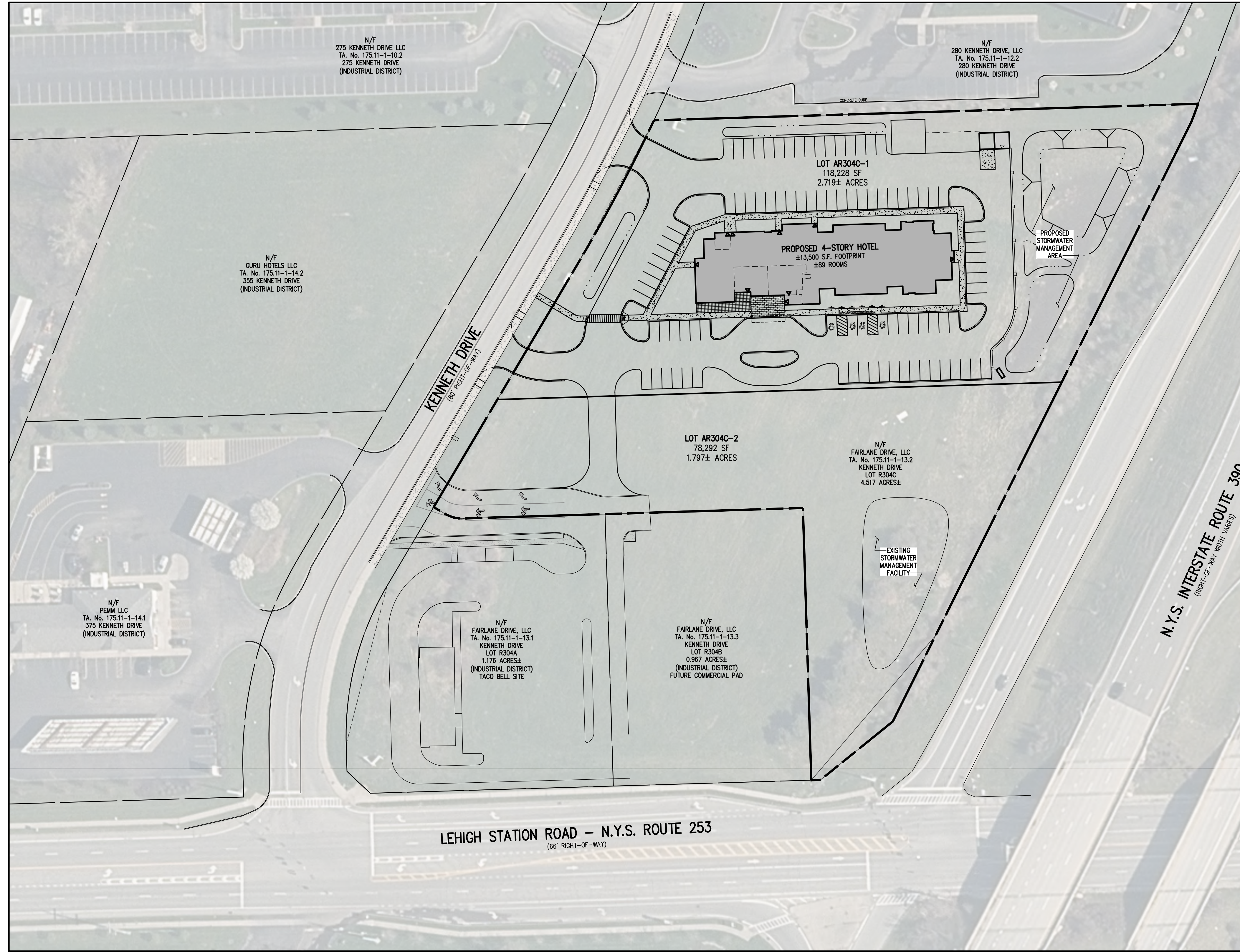


2 RIGHT SIDE ELEVATION
SCALE: 3/32" = 1'-0" REFERENCED FROM: B200



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0" REFERENCED FROM: B200

P:\2849 Drawings\Final\2849 Cover Sheet.dwg



PRELIMINARY/FINAL SITE & SUBDIVISION PLANS
TOWNEPLACE SUITES BY MARRIOTT

DWG. #	TITLE
2849-02	COVER SHEET
2849-03	SUBDIVISION PLAT
2849-04	SITE PLAN
2849-05	UTILITY PLAN
2849-06	GRADING PLAN
2849-07	CONSTRUCTION EROSION CONTROL PLAN
2849-08	LANDSCAPE PLAN
2849-09	SITE LIGHTING PLAN
2849-10	PROFILE / DETAIL SHEET
2849-11	DETAIL SHEET 01
2849-12	DETAIL SHEET 02
2849-13	DETAIL SHEET 03
2849-14	DETAIL SHEET 04
2849-15	DETAIL SHEET 05

TOWNEPLACE SUITES BY MARRIOTT

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 PREPARED FOR:
INDUS DEVELOPMENT COMPANY LLC
 950 PANORAMA TRAIL S.
 ROCHESTER, NY 14625

SCALE: 1"=50'
 DRAWING NUMBER: 2849_02
 DATED: AUGUST 17, 2022
 TOWN PLANNING BOARD
 APPLICATION No. 22-XXX

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST FAIRPORT, NEW YORK 14450
 WWW.BMEPC.COM PHONE 585-377-7360 FAX 585-377-7309

P:\2849 Drawings\Plan\2849 Layout Base.dwg

REFERENCES:

- 1. A PLAN ENTITLED "TACO BELL-HENRIETTA, NY, RE-SUBDIVISION OF CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3, BEING PART OF LOT 15 OF THE FOURTH RANGE, TOWNSHIP 12, RANGE 7 OF THE PHELPS AND GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, STATE OF NEW YORK," PREPARED BY DAVID LARUE L.S. AND APD ENGINEERING & ARCHITECTURE, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 360 OF MAPS, PAGE 43.
2. A PLAN ENTITLED "CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3" AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 324 OF MAPS, PAGES 15 AND 16.
3. AN ABSTRACT OF TITLE PREPARED BY STEWART TITLE INSURANCE COMPANY, ORDER No. 81209124, DATED MAY 12, 2022.

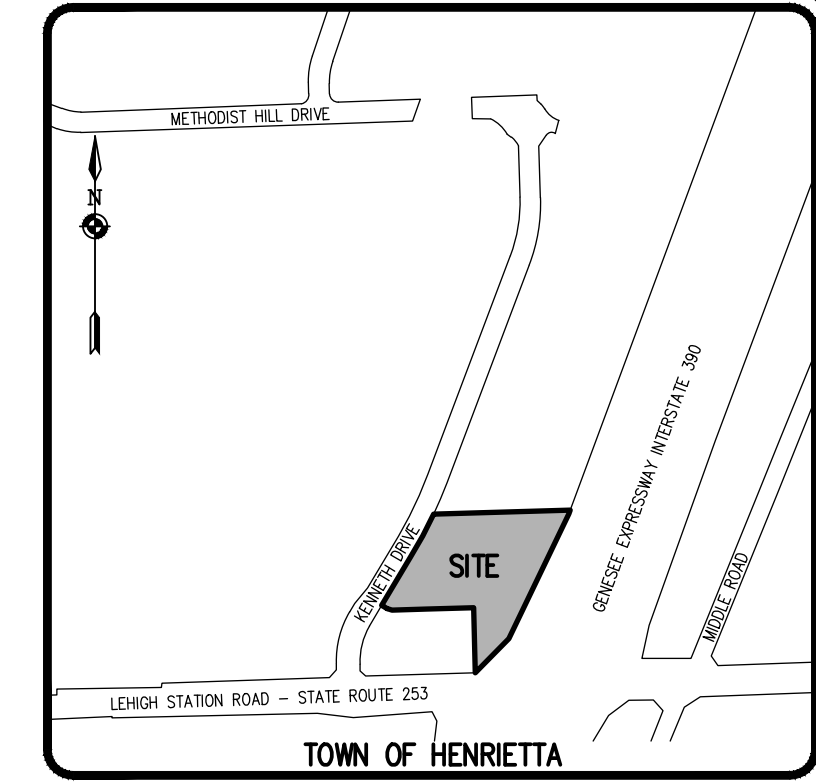
SURVEY NOTES:

- 1. THIS PROJECT IS MORE THAN 2,500 FEET (5,000 FEET IF MORE THAN 5 LOTS) FROM THE NEAREST GEODETIC SURVEY MONUMENT AND THEREFORE IS NOT TIED INTO THE MONROE COUNTY GEODETIC MONUMENTATION NETWORK.
2. EXISTING TOWN MONUMENT ALONG THE EAST RIGHT-OF-WAY OF KENNETH DRIVE TO BE MARKED AND PROTECTED BEFORE CONSTRUCTION.
3. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, NAD 83 (2011)(EPOCH 2010) UTILIZING GPS OBSERVATIONS FROM THE NYSOT REFERENCE NETWORK STATION (NYFP 0032).
4. THE PROJECT BOUNDARY SURVEY AND TIES TO MONROE COUNTY GEODETIC MONUMENTS WERE MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER PROPORTIONAL ACCURACY AND A NETWORK POSITIONAL ACCURACY AT 95% CONFIDENCE LEVEL NOT EXCEEDING 0.05 FEET.

BEARINGS SHOWN HEREON ARE GRID
DISTANCES SHOWN HEREON ARE GRID
COMBINED FACTOR = 0.99998389

LEGEND

- BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE



LOCATION MAP
NOT TO SCALE

SUBDIVISION NOTES:

- 1. EXISTING ZONING: INDUSTRIAL
2. TOTAL PROJECT AREA (LOT R304C): ±4.517 ACRES (±196,761 SF)
PROPOSED HOTEL (LOT AR304C-1): ±2.719 ACRES (±118,440 SF)
REMAINING LANDS (LOT AR304C-2): ±1.797 ACRES (±78,277 SF)
3. EXISTING USE: VACANT PARCEL
4. PROPOSED USE (LOT AR304C-1): 4-STORY HOTEL WITH ±89 ROOMS (±13,500 SF FOOTPRINT) *
5. APPLICABLE DEVELOPMENT STANDARDS: INDUSTRIAL DISTRICT

Table with 3 columns: SETBACKS, REQUIRED, PROVIDED. Rows include FRONT, SIDE, REAR, BUFFER TO RESIDENTIAL DISTRICT, MAX. BUILDING HEIGHT, GREENSPACE.

* A SPECIAL USE PERMIT FROM THE TOWN OF HENRIETTA TOWN BOARD PER SECTION 295-25.A.(16) WAS GRANTED ON JULY 13, 2022 (SUP #2022-028) TO ALLOW A HOTEL USE WITHIN THE INDUSTRIAL ZONING DISTRICT.

** A 70' FRONT SETBACK TO KENNETH DRIVE AND A 30' SIDE SETBACK TO THE NORTH PROPERTY LINE WERE ESTABLISHED PER APPROVAL OF CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3, LIBER 324, PAGE 16, FILED JUNE 6, 2005.

*** A SPECIAL USE PERMIT FROM THE TOWN OF HENRIETTA TOWN BOARD PER SECTION 295-27 WAS GRANTED ON JULY 13, 2022 (SUP #2022-029), TO ALLOW A 4-STORY HOTEL TALLER THAN 40' WITHIN THE INDUSTRIAL ZONING DISTRICT.

- 6. PARKING REQUIREMENTS:
REQUIRED: 1 SPACE PER ROOM + 1 SPACE PER 2 EMPLOYEES = 94 SPACES
PROVIDED: 98 SPACES (INCLUDING 4 ADA SPACES) (5 POTENTIAL FUTURE EV CHARGING STATIONS)
PARKING STALL MIN SIZE: 9'x18' (162 S.F.)

7. THE SETBACK LINES AND NOTES RELATING TO SETBACKS SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF HENRIETTA FOR THE TOWN'S INDUSTRIAL DISTRICT REQUIREMENTS AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.

- 8. UTILITIES:
SANITARY SEWER: TOWN OF HENRIETTA SEWER
WATERMAIN: MONROE COUNTY WATER AUTHORITY
STORM SEWER: TOWN OF HENRIETTA DEDICATED SEWERS
GAS: RG&E
ELECTRIC: RG&E

9. A REVIEW OF THE FEMA MAPS INDICATES THAT NO PORTION OF THIS PROPERTY WAS RECOGNIZED TO BE IN A 100-YEAR FLOODPLAIN.

- 10. THESE LANDS ARE WITHIN THE FOLLOWING UTILITY EXTENSIONS:
1. HENRIETTA ORIGINAL DRAINAGE DISTRICT
2. SANITARY SEWER DISTRICT 163
3. WATER DISTRICT EXTENSION 129

11. THERE WERE NO FEDERAL WETLANDS DELINEATED WITHIN THE SUBJECT PROPERTY LIMITS.

12. AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

13. A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

14. PROJECT SIGNAGE BOTH BUILDING MOUNTED AND FREE STANDING WILL BE PER SEPARATE APPLICATION TO THE TOWN. SIGN VARIANCES MAY BE REQUIRED AND SIGNS SHOWN ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES. A SEPARATE BUILDING PERMIT WILL BE REQUIRED FROM THE BUILDING DEPARTMENT.

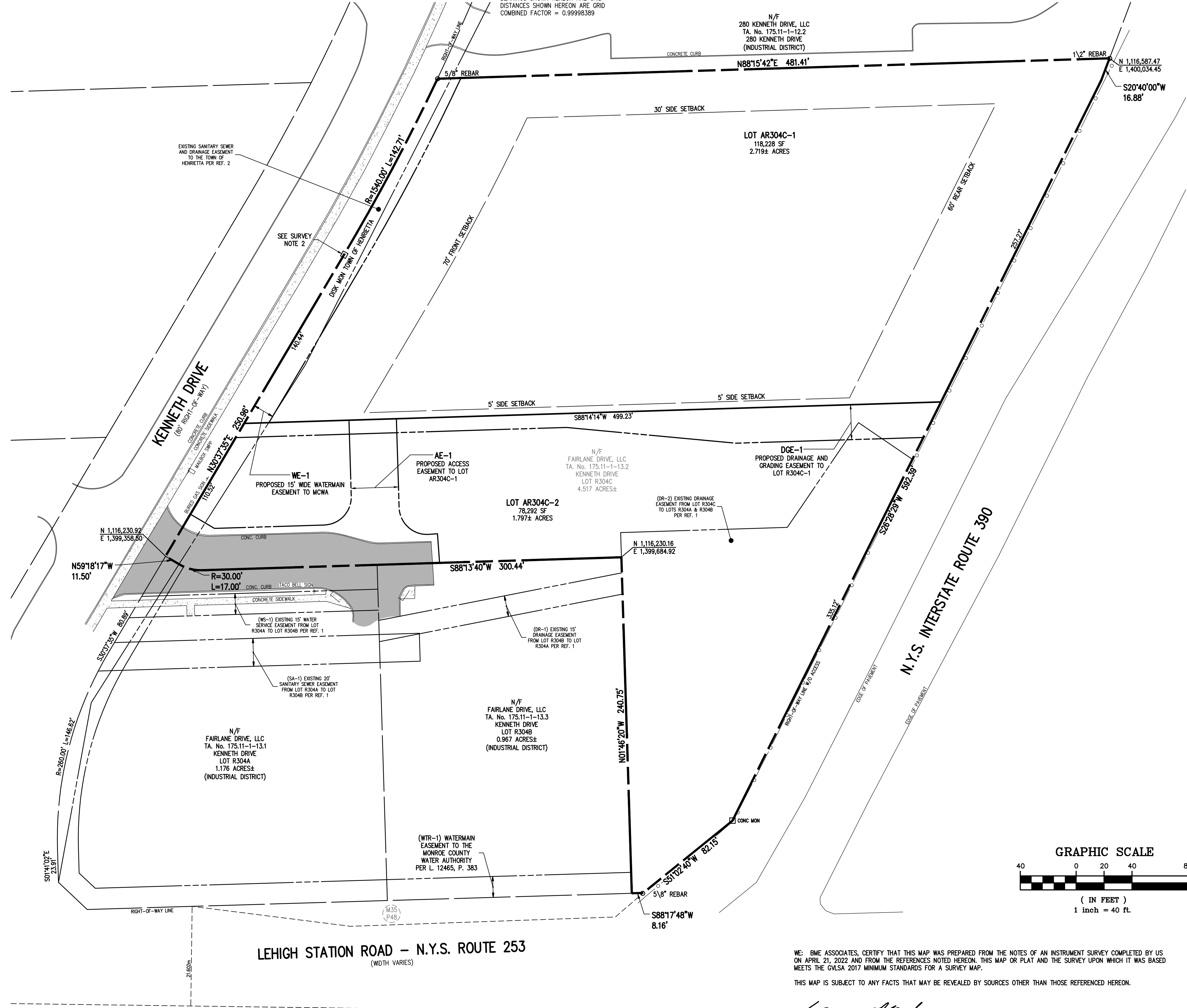
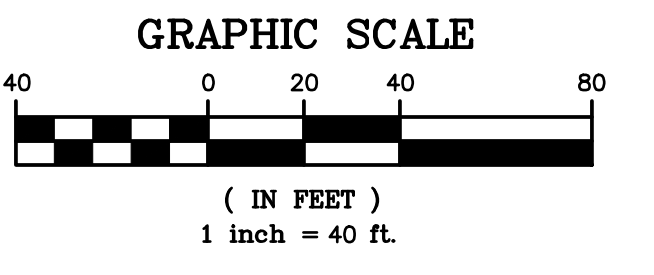
MONROE COUNTY SURVEYORS OFFICE/DEPT. OF TRANSPORTATION

This plat is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

Approval form with fields for County Highway Superintendent, Date, Monroe County Surveyors Office, Date.

APPROVALS

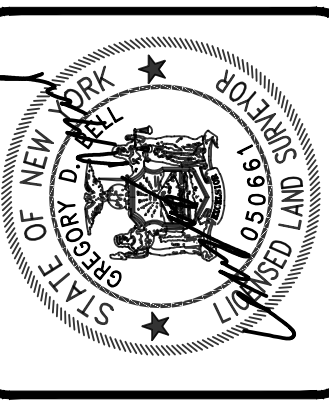
BY: PLANNING BOARD CHAIRMAN DATE:
BY: DIRECTOR OF ENGINEERING AND PLANNING DATE:



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. 10 DUFF BRIDGE LANE EAST, TOWN OF HENRIETTA, NY 14450.



PROJECT INFORMATION: RESUBDIVISION OF CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3. CLIENT: INDUS DEVELOPMENT COMPANY, LLC. DRAWING TITLE: TOWNEPLACE SUITES BY MARRIOTT.

PROJECT MANAGER: P. VARS. PROJECT SURVEYOR: M. PALMER. DRAWN BY: M. PALMER. SCALE: 1" = 40'. DATE ISSUED: AUGUST 17, 2022. PROJECT NO.: 2849. DRAWING NO.: 03.

WE: BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON APRIL 21, 2022 AND THAT THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.
THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.
BY: Gregory D. Bell, NYSPLS No. 050661

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 15, FOURTH RANGE OF LOTS, TAX MAP NUMBER 175.11-1-13.2

LEGEND

Table with 2 columns: Symbol and Description. Includes Boundary Line, Proposed Lot Line, Centerline, Setback Line, Existing Easement Line, Proposed Easement Line, Proposed Stormwater Management Area, Proposed Timber Guide Rail, Property Marker Found, Concrete Highway Monument Found, Wood Fence Post Found.

REFERENCES:

- 1. A PLAN ENTITLED "TACO BELL-HENRIETTA, NY, RE-SUBDIVISION OF CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3, BEING PART OF LOT 15 OF THE FOURTH RANGE, TOWNSHIP 12, RANGE 7 OF THE PHELPS AND GORHAM PURCHASE, TOWN OF HENRIETTA, MONROE COUNTY, STATE OF NEW YORK, PREPARED BY DAVID LARUE, L.S. AND APD ENGINEERING & ARCHITECTURE, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 360 OF MAPS, PAGE 43.
2. A PLAN ENTITLED "CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3" AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 324 OF MAPS, PAGES 15 AND 16.
3. AN ABSTRACT OF TITLE PREPARED BY STEWART TITLE INSURANCE COMPANY, ORDER NO. 81209124, DATED MAY 12, 2022.

SIGHT DISTANCE TABLE

POSTED SPEED LIMIT KENNETH DRIVE: 30 MPH

REQUIRED DISTANCES (DESIGN SPEED 35 MPH):

Table with 2 columns: Required Intersection Sight Distance (390'), Required Stopping Sight Distance (250')

PROVIDED DISTANCES (NORTH ACCESS):

Table with 3 columns: Intersection Sight Distance, North, South. Values: > 500', > 500'

PROVIDED DISTANCES (SOUTH ACCESS):

Table with 3 columns: Intersection Sight Distance, North, South. Values: > 500', 400'

N/F GURU HOTELS LLC, TA. No. 175.11-1-14.2, 355 KENNETH DRIVE (INDUSTRIAL DISTRICT)

N/F PEMM LLC, TA. No. 175.11-1-14.1, 375 KENNETH DRIVE (INDUSTRIAL DISTRICT)

N/F 275 KENNETH DRIVE LLC, TA. No. 175.11-1-10.2, 275 KENNETH DRIVE (INDUSTRIAL DISTRICT)

NOTE: SEE BME DWG. 2849-10 FOR HENRIETTA FIRE TRUCK TURNING EXHIBIT.

N/F 280 KENNETH DRIVE, LLC, TA. No. 175.11-1-12.2, 280 KENNETH DRIVE (INDUSTRIAL DISTRICT)

N/F FAIRLANE DRIVE, LLC, TA. No. 175.11-1-13.2, KENNETH DRIVE, LOT R304C, 4.517 ACRES±

N/F FAIRLANE DRIVE, LLC, TA. No. 175.11-1-13.3, KENNETH DRIVE, LOT R304B, 0.967 ACRES± (INDUSTRIAL DISTRICT) (VACANT PARCEL) INDUSTRIAL ZONED

N/F FAIRLANE DRIVE, LLC, TA. No. 175.11-1-13.1, KENNETH DRIVE, LOT R304A, 1.176 ACRES± (INDUSTRIAL DISTRICT) (TACO BELL PARCEL) INDUSTRIAL ZONED

(WTR-1) WATERMAIN EASEMENT TO THE MONROE COUNTY WATER AUTHORITY PER L. 12465, P. 383

CONTRACTOR TO COORDINATE WITH TOWN OF HENRIETTA IF EXISTING POST (WITH NO SIGN) IS TO REMAIN. SEE TOWN OF HENRIETTA PAVEMENT SECTION DETAIL (WITHIN R.O.W.)

CONTRACTOR TO REPLACE EXISTING ±76' OF CONCRETE SIDEWALK WITH AT-GRADE SIDEWALK AND RAMPS PER ADA AND TOWN OF HENRIETTA STANDARDS (SEE DETAILS)

BEGIN 1" CURB. 6' LONG CURB TRANSITION ALONG SIDEWALK RAMP

LIMIT OF SIDEWALK RECONSTRUCTION WORK. CURB AND SIDEWALK TO MEET FLUSH WITH EXISTING

EXISTING FULL DEPTH CURB PER TOWN DETAIL (TYP)

APPROXIMATE LOCATION OF PROPOSED HOTEL BRAND DIRECTIONAL SIGNS (SEE SITE NOTE #14)

PROPOSED 15' WIDE WATERMAIN EASEMENT TO MONA

PROPOSED 6" CONCRETE CURB WITH 3" CURB TRANSITIONS (TYP)(SEE DETAIL)

(W-1) EXISTING 15" WATER SERVICE EASEMENT FROM LOT R304A TO LOT R304B PER REF. 1

(DR-1) EXISTING 15" DRAINAGE EASEMENT FROM LOT R304B TO LOT R304A PER REF. 1

(SA-1) EXISTING 20" SANITARY SEWER EASEMENT FROM LOT R304A TO LOT R304B PER REF. 1

(WTR-1) WATERMAIN EASEMENT TO THE MONROE COUNTY WATER AUTHORITY PER L. 12465, P. 383

CONTRACTOR TO REPLACE EXISTING ±90' OF CONCRETE SIDEWALK WITH AT-GRADE SIDEWALK AND RAMP ON SOUTH SIDE PER ADA AND TOWN OF HENRIETTA STANDARDS (SEE DETAILS)

1" CONCRETE CURB. SEE TOWN OF HENRIETTA PAVEMENT SECTION DETAIL. BEGIN 1" CURB. 6' LONG CURB TRANSITION ALONG SIDEWALK RAMP

LIMIT OF SIDEWALK RECONSTRUCTION WORK. CURB AND SIDEWALK TO MEET FLUSH WITH EXISTING

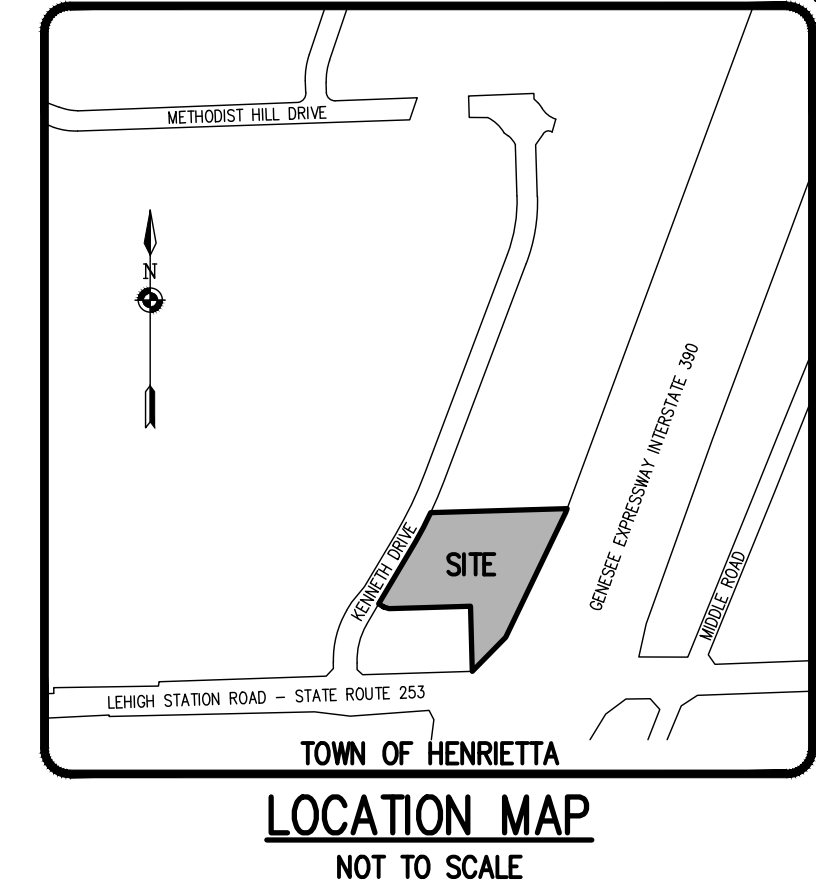
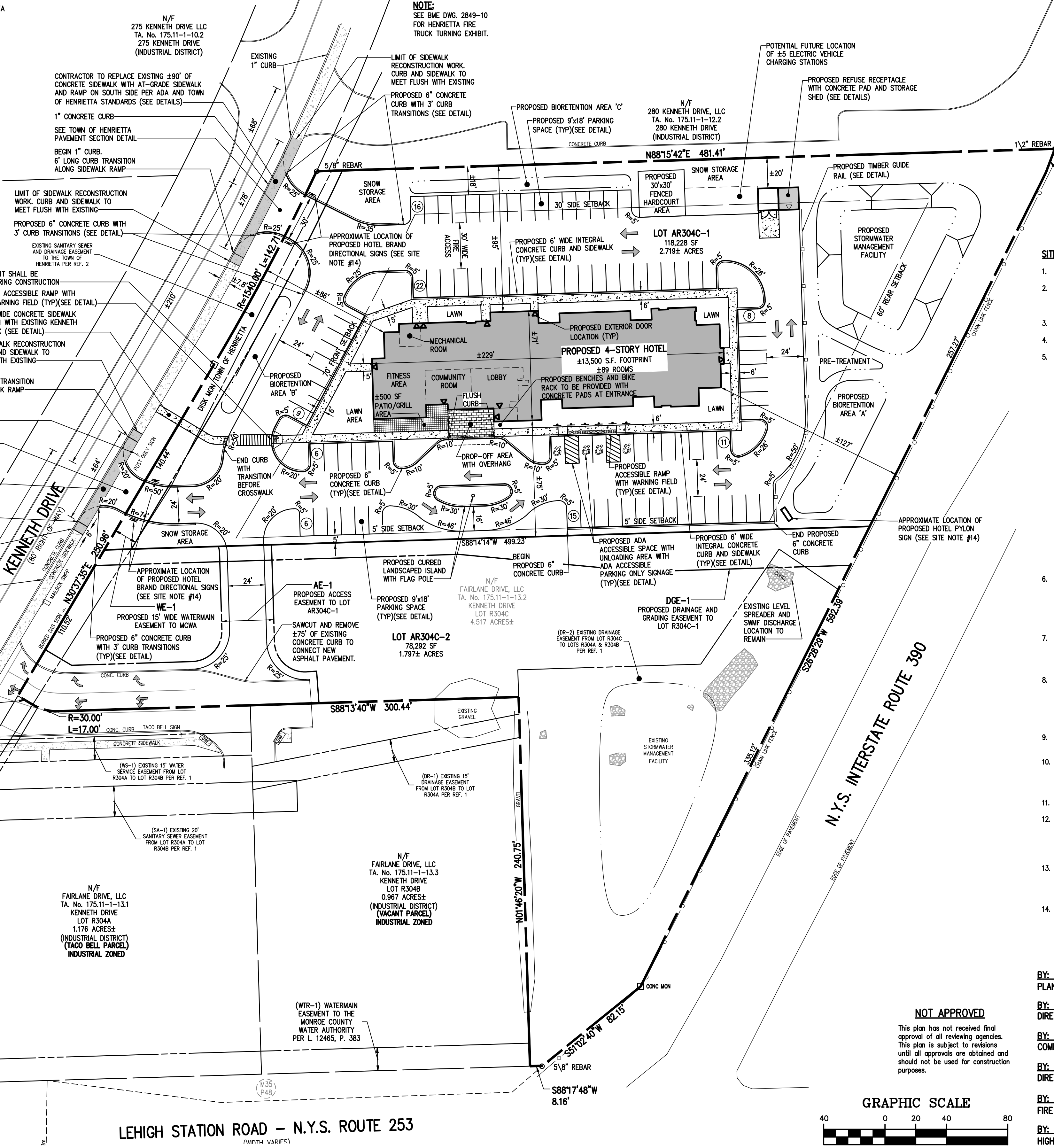
EXISTING SANITARY SEWER AND DRAINAGE EASEMENT TO THE TOWN OF HENRIETTA PER REF. 2

TOWN MONUMENT SHALL BE PROTECTED DURING CONSTRUCTION

PROPOSED ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING FIELD (TYP)(SEE DETAIL)

PROPOSED 5' WIDE CONCRETE SIDEWALK TO MEET FLUSH WITH EXISTING KENNETH DRIVE SIDEWALK (SEE DETAIL)

LIMIT OF SIDEWALK RECONSTRUCTION WORK. CURB AND SIDEWALK TO MEET FLUSH WITH EXISTING



SITE NOTES:

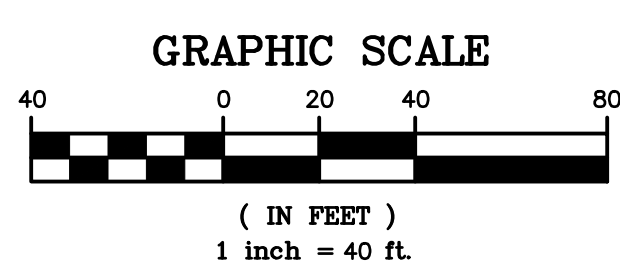
- 1. EXISTING ZONING: INDUSTRIAL
2. TOTAL PROJECT AREA (LOT R304C): ±4.517 ACRES (±196,761 SF)
PROPOSED HOTEL (LOT AR304C-1): ±2.719 ACRES (±118,440 SF)
REMAINING LANDS (LOT AR304C-2): ±1.797 ACRES (±78,243 SF)
3. EXISTING USE: VACANT PARCEL
4. PROPOSED USE (LOT AR304C-1): 4-STORY HOTEL WITH ±89 ROOMS (±13,500 SF FOOTPRINT)**
5. APPLICABLE DEVELOPMENT STANDARDS: INDUSTRIAL DISTRICT
6. SETBACKS: FRONT 70', SIDE 5'/30', REAR 60'
7. BUFFER TO RESIDENTIAL DISTRICT 50'
8. MAX. BUILDING HEIGHT 40'
9. GREENSPACE N/A
10. PARKING REQUIREMENTS: REQUIRED: 1 SPACE PER ROOM + 1 SPACE PER 2 EMPLOYEES = 94 SPACES
11. THE SETBACK LINES AND NOTES RELATING TO SETBACKS SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF HENRIETTA FOR THE TOWN'S INDUSTRIAL DISTRICT REQUIREMENTS AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
12. THESE LANDS ARE WITHIN THE FOLLOWING UTILITY EXTENSIONS:
1. HENRIETTA ORIGINAL DRAINAGE DISTRICT
2. SANITARY SEWER DISTRICT 163
3. WATER DISTRICT EXTENSION 129
13. A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.
14. PROJECT SIGNAGE BOTH BUILDING MOUNTED AND FREE STANDING WILL BE PER SEPARATE APPLICATION TO THE TOWN. SIGN VARIANCES MAY BE REQUIRED AND SIGNS SHOWN ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES. A SEPARATE BUILDING PERMIT WILL BE REQUIRED FROM THE BUILDING DEPARTMENT.

APPROVALS

Table for Approvals with columns for BY, LOCATION, CLIENT, DATE. Includes Planning Board Chairman, Director of Engineering and Planning, Commissioner of Public Works, Director of Building & Fire Prevention, Fire Marshal, Highway Superintendent, and Monroe County Water Authority.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



Drawing Alteration... It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. 10 DUFF BRIDGE LANE EAST, MONROE, NY 14650. WWW.BMEGROUP.COM

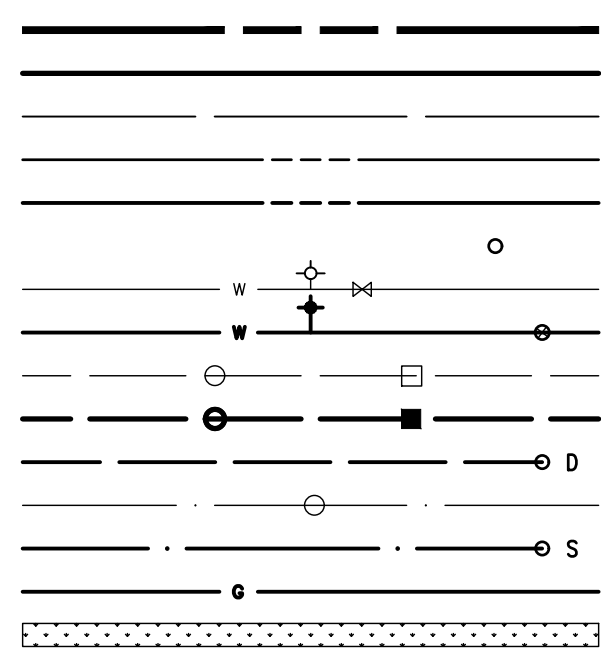


TOWNEPLACE SUITES BY MARRIOTT logo and contact information: INDIUS DEVELOPMENT COMPANY LLC, 540 GANERMAN TRAIL S, ROCHESTER, NY 14625. PRELIMINARY/FINAL SITE PLAN

PROJECT INFORMATION: PROJECT LOCATION CLIENT, PROJECT MANAGER P. VARS, PROJECT ENGINEER R. SPURR, DRAWN BY R. SPURR/A. BEYLER, SCALE 1"=40', DATE ISSUED AUGUST 17, 2022, PROJECT NO. 2849, DRAWING NO. 04.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 15, TAX MAP NUMBER 175.11-1-13.2

LEGEND

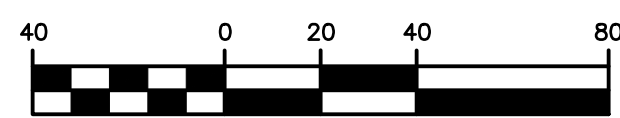


BOUNDARY LINE
PROPOSED LOT LINE
SETBACK LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
EXISTING WATERMAIN, HYDRANT, AND VALVE
PROPOSED WATER SERVICE, HYDRANT AND CURBSTOP
EXISTING STORM SEWER, MANHOLE, AND INLET
PROPOSED STORM SEWER, MANHOLE, AND INLET
PROPOSED STORM LATERAL WITH CLEANOUT
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY LATERAL AND CLEANOUT
PROPOSED GAS SERVICE
PROPOSED BIORETENTION AREA

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

N/F
GURU HOTELS LLC
TA. No. 175.11-1-14.2
355 KENNETH DRIVE
(INDUSTRIAL DISTRICT)

N/F
PEM LLC
TA. No. 175.11-1-14.1
375 KENNETH DRIVE
(INDUSTRIAL DISTRICT)

N/F
275 KENNETH DRIVE LLC
TA. No. 175.11-1-10.2
275 KENNETH DRIVE
(INDUSTRIAL DISTRICT)

N/F
280 KENNETH DRIVE, LLC
TA. No. 175.11-1-12.2
280 KENNETH DRIVE
(INDUSTRIAL DISTRICT)

PROPOSED BIORETENTION AREA 'C'
(±1,100 S.F. MIN) WITH 2' WIDE x 2.6'
DEEP STONE DIAPHRAGM, TOP OF
MEDIA ELEV=564.0 (SEE DETAIL)

CONNECT PROPOSED 6" DIP CL-52 WATER SERVICE TO EXISTING
12" DIP WATERMAIN WITH 12"x12" TAPPING SLEEVE AND
VALVE BOX COMPLETE. PROVIDE DISINFECTION/SAMPLING TAP.

PROBABLE LOCATION OF PROPOSED GAS SERVICE CONNECTION TO
EXISTING MAIN. FINAL LOCATION AND DESIGN BY OTHERS.
MEP CONTRACTOR TO COORDINATE WITH ROAD AS NECESSARY.

CONTRACTOR TO SANICUT EXISTING ASPHALT
PAVEMENT AND CONCRETE CURB FOR UTILITY
INSTALLATIONS. KENNETH DRIVE TO BE RESTORED PER
TOWN OF HENRIETTA STANDARDS. (SEE DETAILS)

PROPOSED BIORETENTION AREA 'B'
(±800 S.F. MIN) WITH 4' WIDE x 1.5'
DEEP STONE DIAPHRAGM, TOP OF
MEDIA ELEV=564.4 (SEE DETAIL)

75'-6" PERF PVC
0.00% SLOPE

CONTRACTOR TO ADJUST
EXISTING STORM
MANHOLE RIM TO GRADE.
TR=569.50

CONTRACTOR TO
PROTECT EXISTING
CATCH BASIN DURING
CONSTRUCTION

CONTRACTOR TO CORE/BORE
EXISTING SANITARY MANHOLE
FOR NEW 6" PVC LATERAL
CONNECTION AT INV=561.67.
RECONSTRUCT BENCH AS
NECESSARY. CONTRACTOR TO
ADJUST EXISTING SANITARY
MANHOLE RIM TO GRADE.
TR=569.50

NOTE:
PROPOSED HDPE STORM SEWER
PIPE FROM STRUCTURE 'D-4'
TO END SECTION 'D' SHALL BE
FULLY ENCASED IN STONE.

APPROVALS

BY:
PLANNING BOARD CHAIRMAN

BY:
DIRECTOR OF ENGINEERING AND PLANNING

BY:
COMMISSIONER OF PUBLIC WORKS

BY:
DIRECTOR OF BUILDING & FIRE PREVENTION

BY:
FIRE MARSHAL

BY:
HIGHWAY SUPERINTENDENT

BY:
MONROE COUNTY WATER AUTHORITY

PROPOSED STORMWATER
MANAGEMENT FACILITY
TOP OF BENCH=562.40
10' WIDE EMERGENCY SPILLWAY=562.40
2'x2' GRADE=561.50
3" ORIFICE=559.00
15" OUTLET=559.00
NORMAL PONDING ELEVATION=559.00
1-YR PONDING ELEVATION=560.08
2-YR PONDING ELEVATION=560.37
5-YR PONDING ELEVATION=560.86
10-YR PONDING ELEVATION=561.27
25-YR PONDING ELEVATION=561.62
50-YR PONDING ELEVATION=561.77
100-YR PONDING ELEVATION=561.93

DA-2
TG=564.5
5' DIA INLET STM MH
CONCRETE CURB

DB-1 OUTLET STRUCTURE
TG=561.5
2'x2' INLET
(SEE DETAIL)

DA-1
TG=564.8
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(SEE DETAIL)

DA-3
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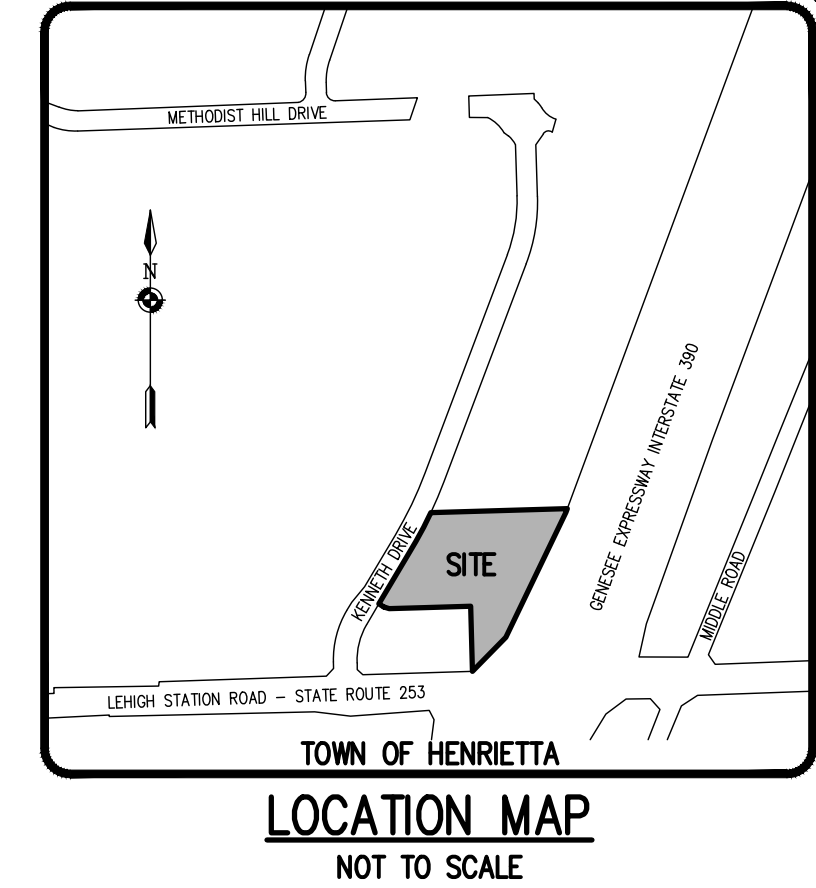
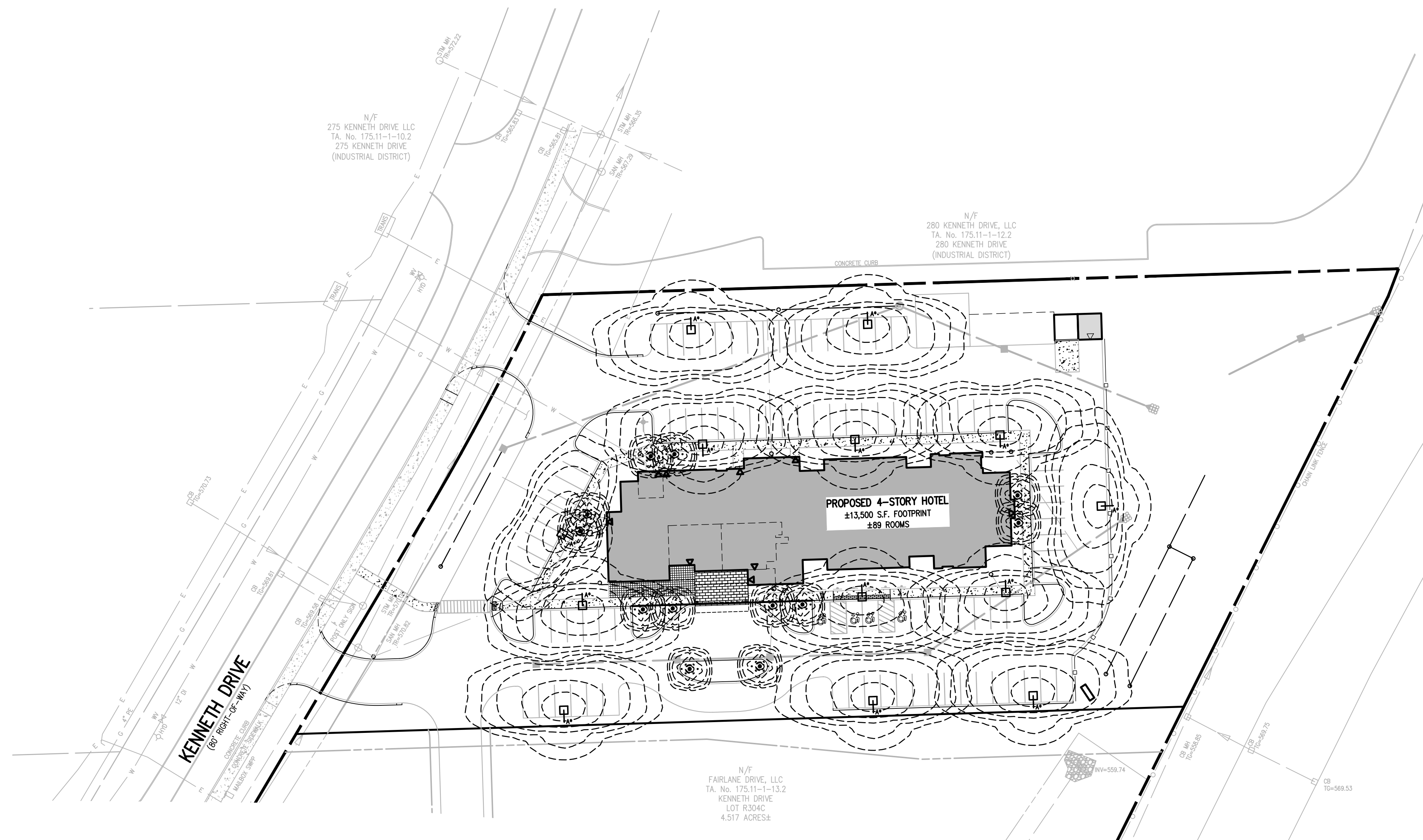
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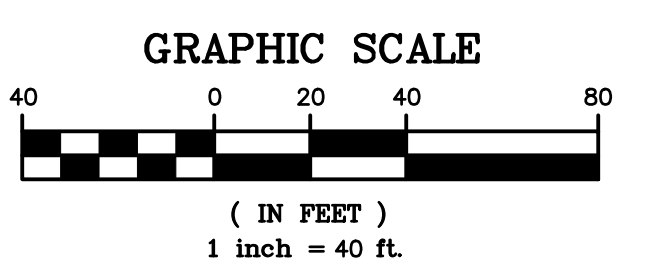
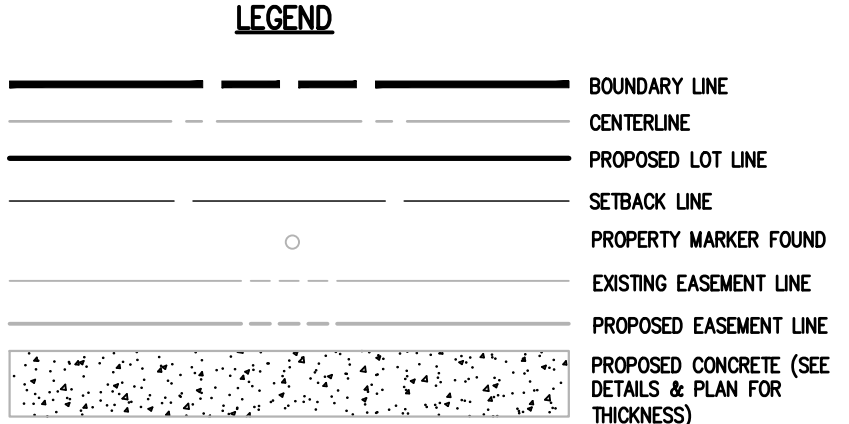
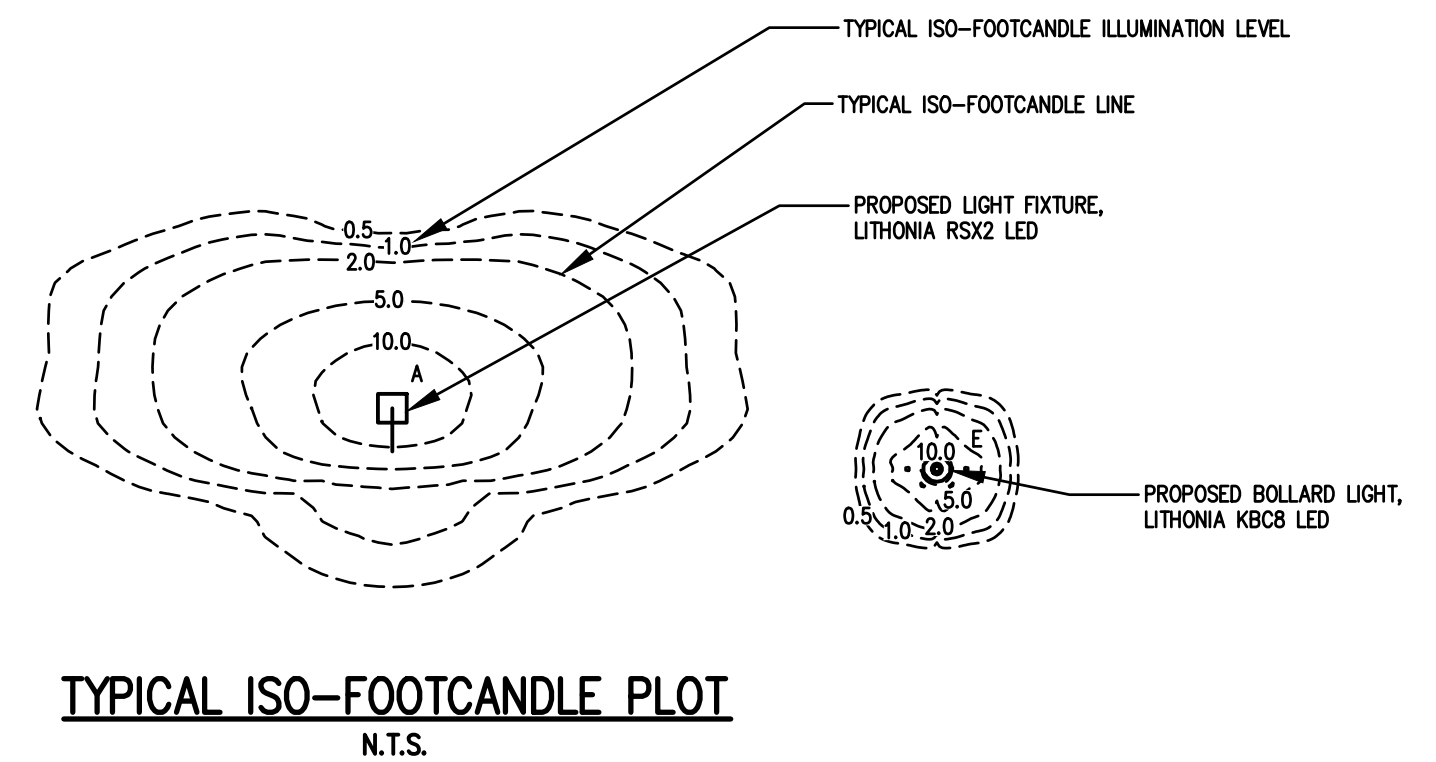
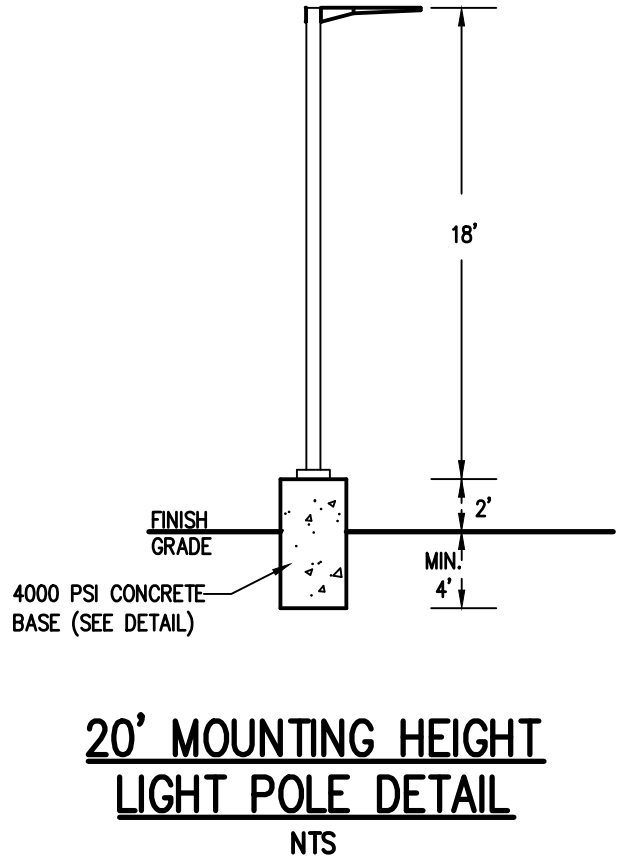
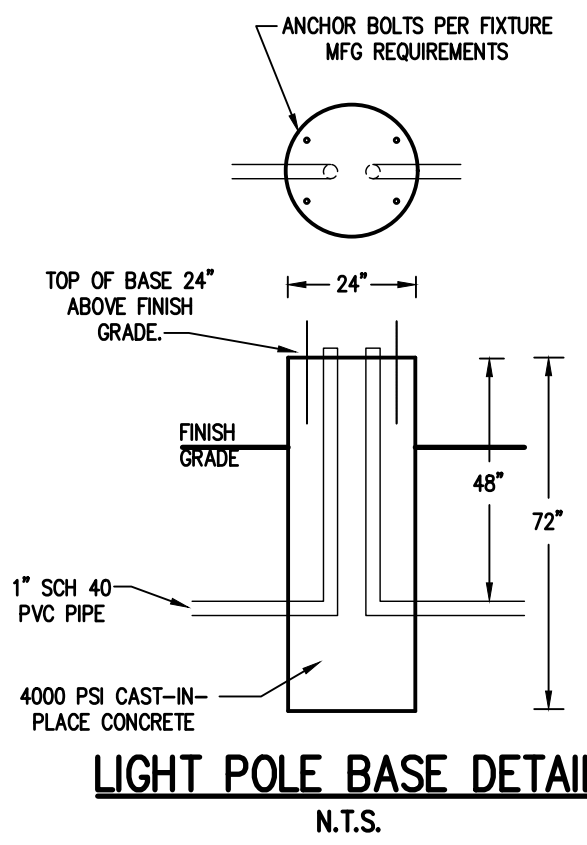
D-2
TG=565.6
2'x2' INLET

D-1
TG=565.3
2'x2' INLET



PARKING LOT LIGHTING NOTES

1. SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
2. SITE LIGHTING LUMINAIRES TO BE LED FIXTURES AS LISTED IN THE LUMINAIRE SCHEDULE OR AN APPROVED EQUIVALENT.
3. ALL FIXTURES TO HAVE BLACK FINISH OR AS APPROVED BY OWNER.
4. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
5. ALL LIGHT POLES TO BE SQUARE, LITHONIA STRAIGHT STEEL-QUICK SHIP SSS-QS, 20' POLE LENGTH OR APPROVED EQUIVALENT.
6. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
7. CONTRACTOR TO SUPPLY POLE INFORMATION FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7. OWNER / CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL SERVICE DISTRIBUTION AND LIGHTING CIRCUITRY DESIGN.
8. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ILLUMINATION LIGHTING FIXTURES, SPECIFICATIONS AND LOCATIONS.
9. IF AN EQUIVALENT FIXTURE IS PROPOSED THE LIGHTING CONTRACTOR SHALL SUPPLY SPEC. SHEETS FOR ALL LIGHT FIXTURES AND LIGHT POLES FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
10. LIGHTING CONTRACTOR TO COORDINATE FINAL LOCATION AND HEIGHT OF FIXTURES WITH BUILDING ARCHITECT/OWNER.



TYPE	QTY	MANUFACTURER CATALOGUE NUMBER	ARRANGEMENT	WATTAGE	LUMENS/LAMP	LLF	MH	POLE	DESCRIPTION
A*	13	RSX2-LED -P2-40K-R2HS	Single	111	17,263	1.0	22'	20'	LITHONIA, RSX2 LED LUMINAIRE WITH TYPE II DISTRIBUTION WITH HOUSE-SIDE SHIELD
E	12	KBC8-LED -16C-530-40K-MVOLT	Single	111	17,661	1.0	3.5'	BOLLARD	LITHONIA, KBC8 LED

APPROVALS

BY: PLANNING BOARD CHAIRMAN

DATE:

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of each alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
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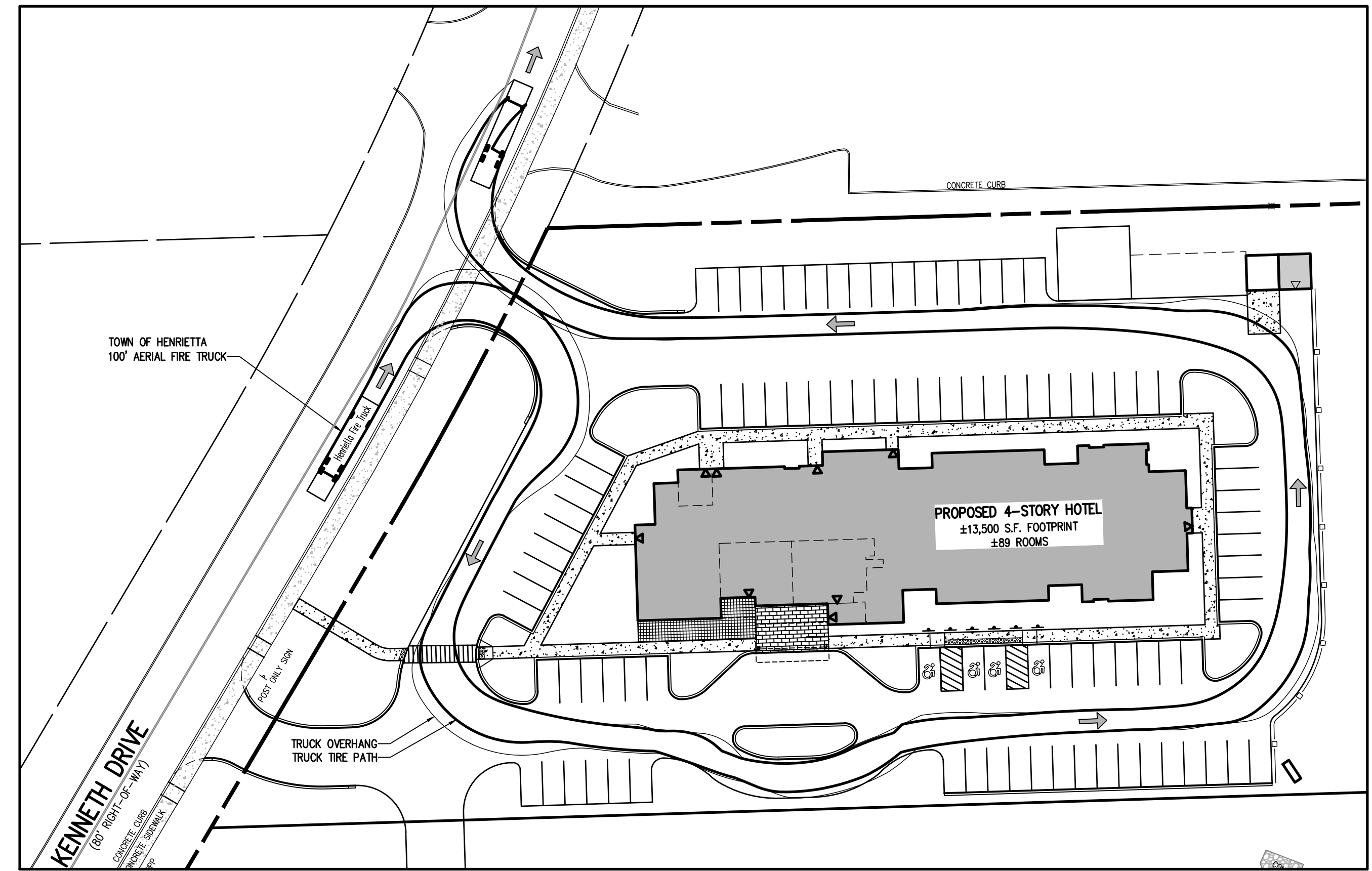
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14650
PHONE: 585-577-7360
FAX: 585-577-7309
WWW.BMEPC.COM



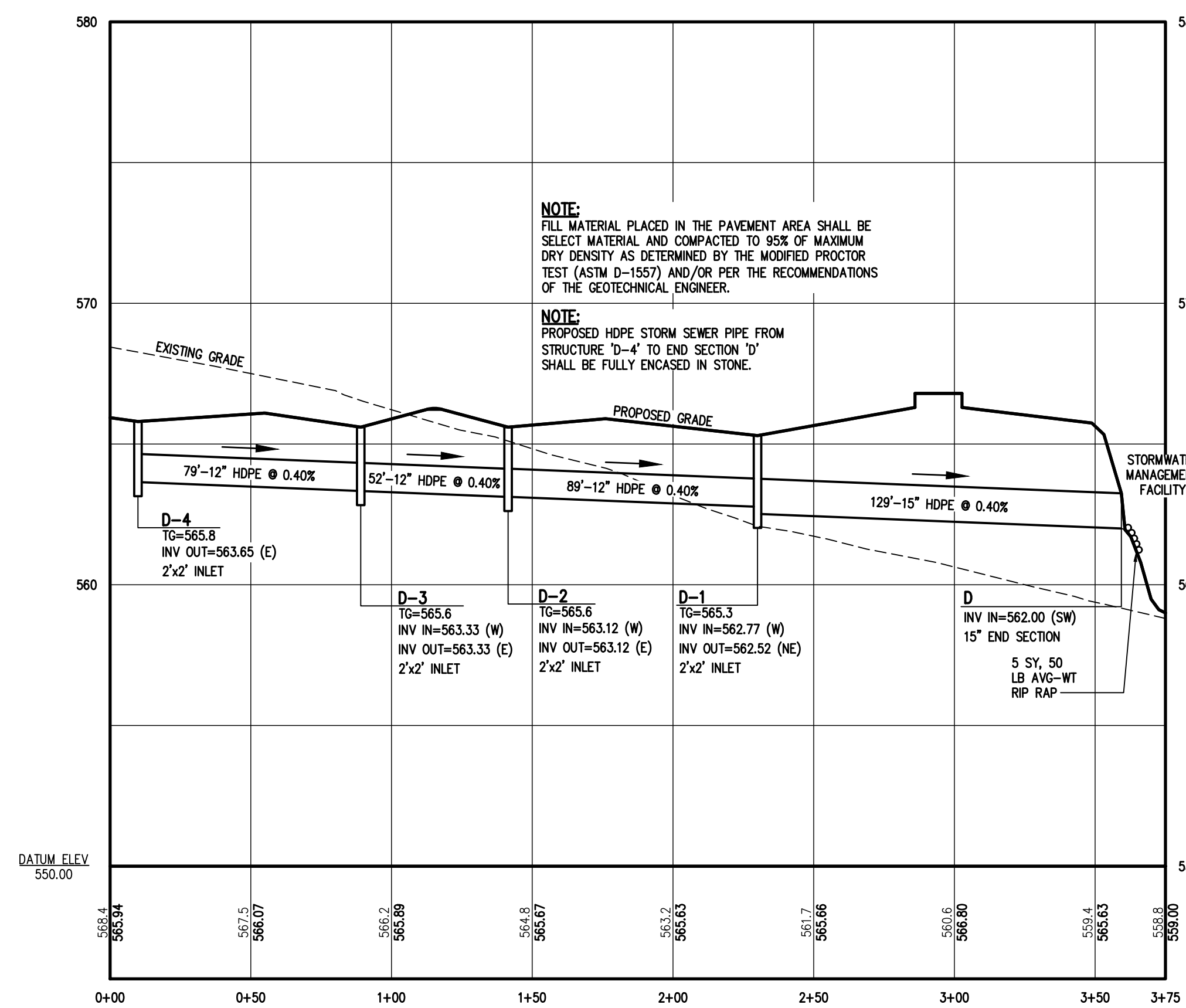
TOWNEPLACE SUITES BY MARRIOTT
PROJECT LOCATION CLIENT
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
INDUS DEVELOPMENT COMPANY, LLC
540 GANERMAN TRAIL S
ROCHESTER, NY 14625
PRELIMINARY/FINAL
SITE LIGHTING PLAN
DRAWING TITLE

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: R. SPURR
DRAWN BY: A. SPENCER
SCALE: 1"=40'
DATE ISSUED: AUGUST 17, 2022
PROJECT NO.: 2849
DRAWING NO.: 09

PHEPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 15, TAX MAP NUMBER 175.11-1-13.2

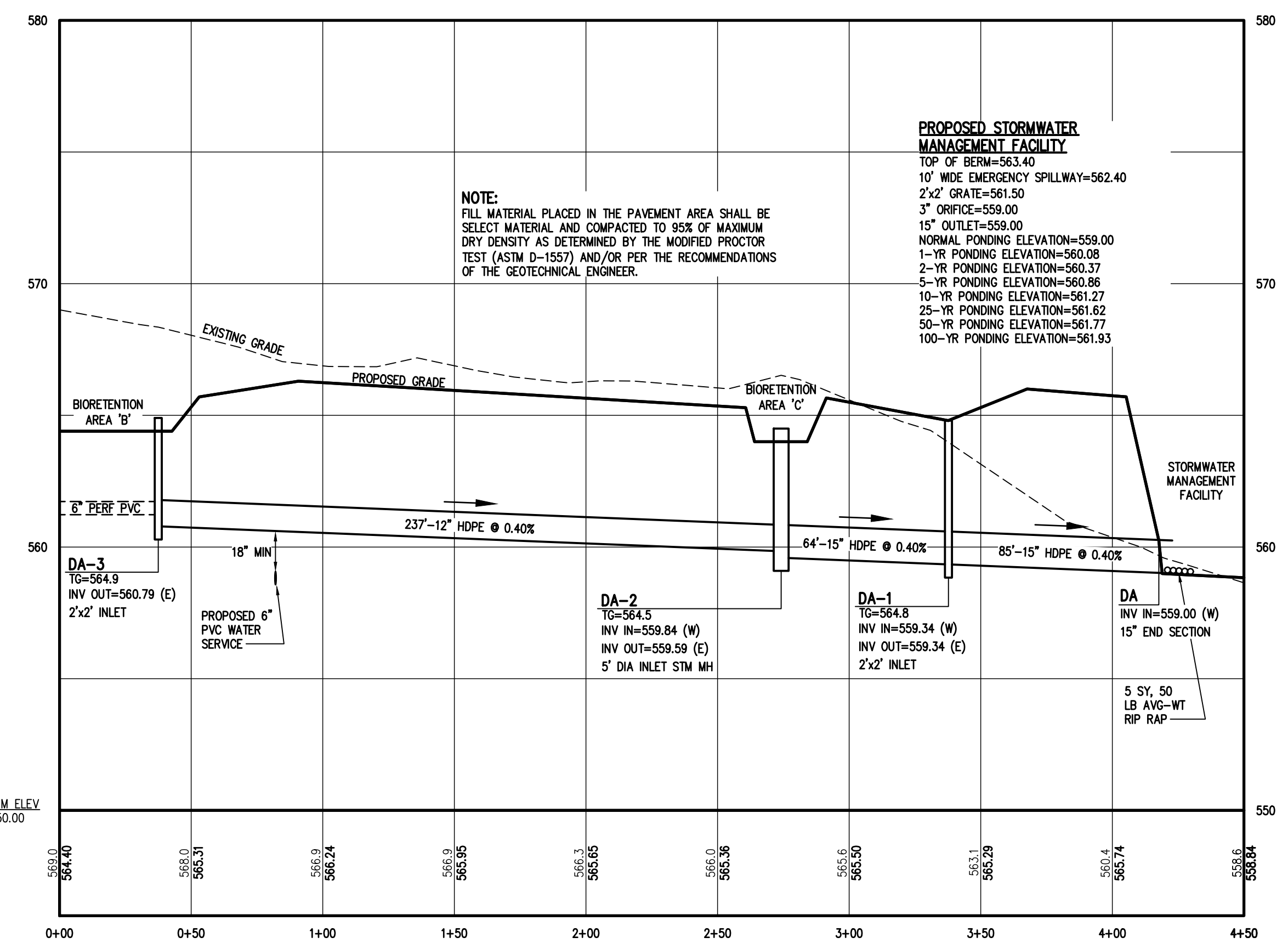


HENRIETTA FIRE TRUCK TURNING EXHIBIT
1" = 40'



STORM SEWER D-4 TO D PROFILE

SCALE: HOR 1"=40'
VER 1"=4'



STORM SEWER DA-3 TO DA PROFILE

SCALE: HOR 1"=40'
VER 1"=4'

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

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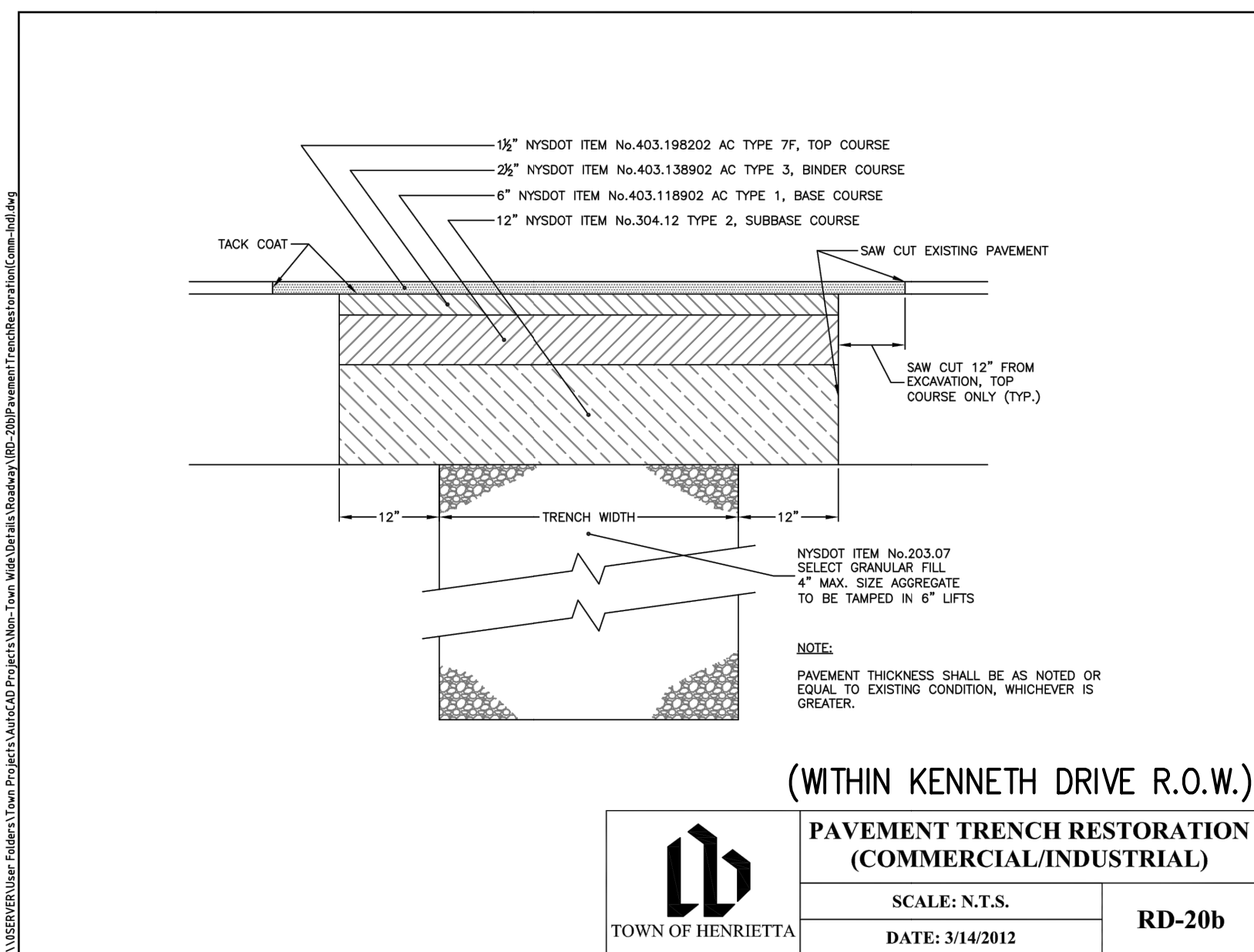
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST • SUITE 1450
WWW.BMEPCOM
PHONE: 585-377-7360
FAX: 585-377-7309



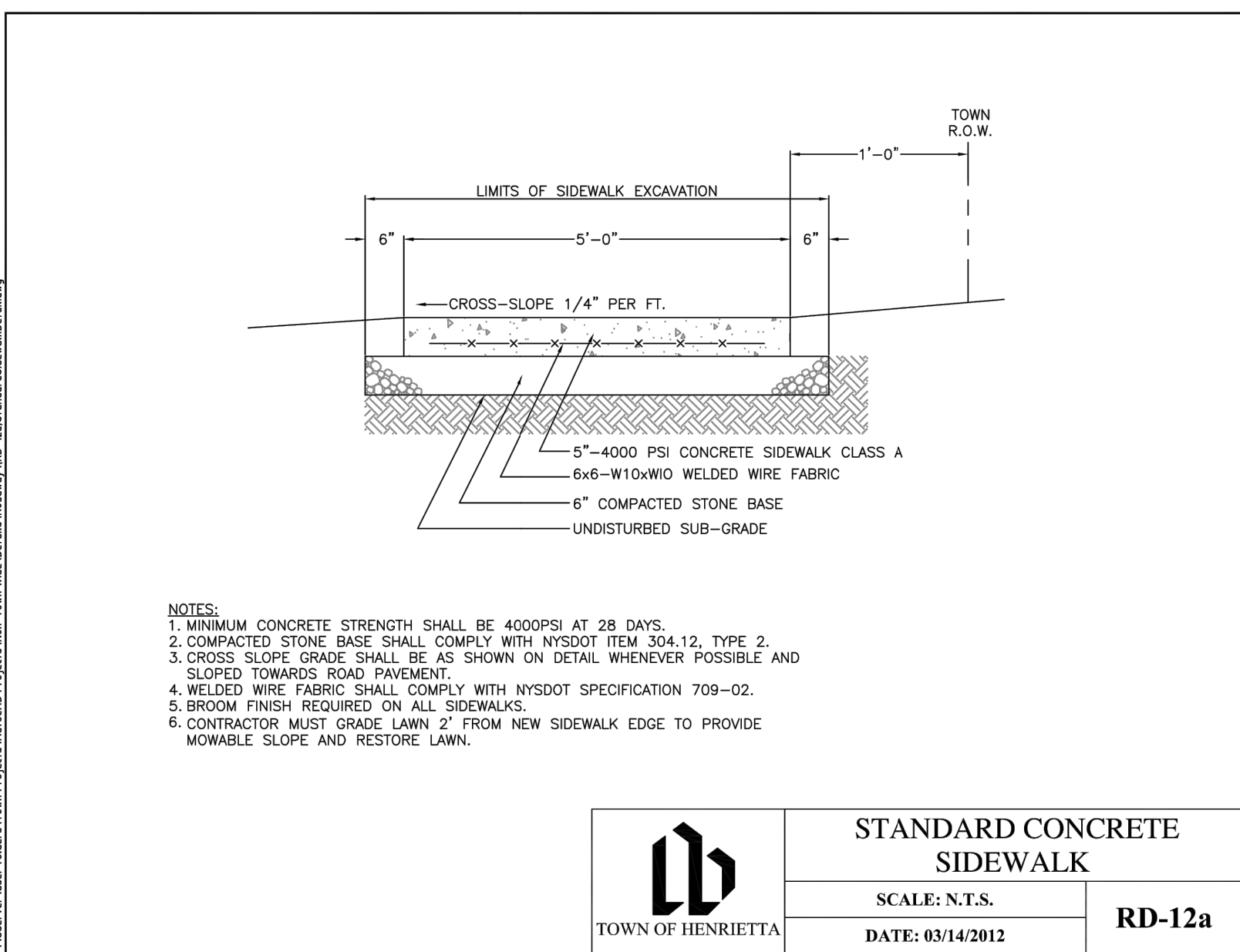
TOWNEPLACE SUITES BY MARRIOTT
PROJECT: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
LOCATION: INDIUS DEVELOPMENT COMPANY LLC, 540 HANBAMA TRAIL S, ROCHESTER, NY 14625
CLIENT: INDIUS DEVELOPMENT COMPANY LLC
DRAWING TITLE: PRELIMINARY/FINAL PROFILE/DETAIL SHEET

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: R. SPURR
DRAWN BY: A. BEYLER
SCALE: AS SHOWN
DATE ISSUED: AUGUST 17, 2022
PROJECT NO.: 2849

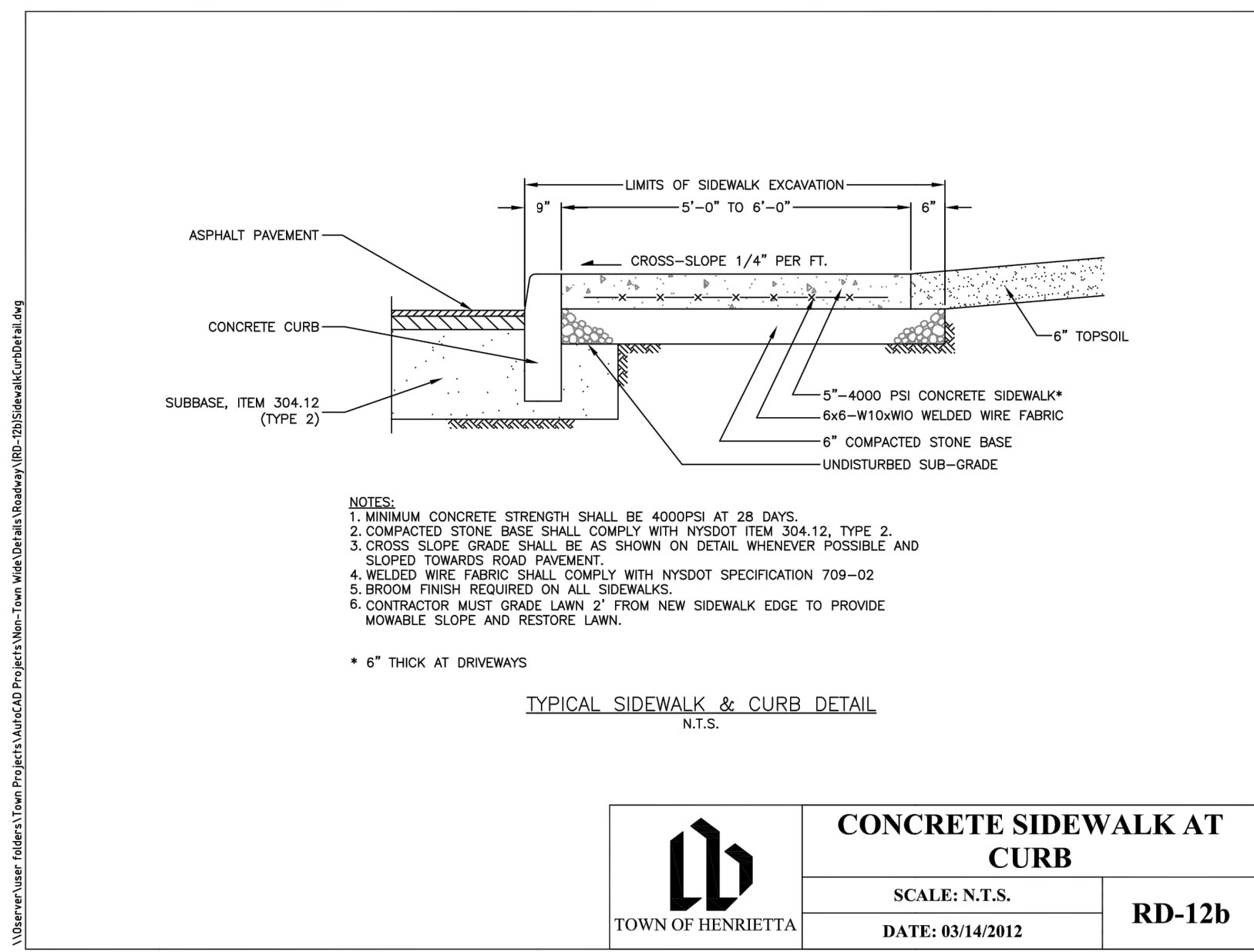
DRAWING NO.: 10



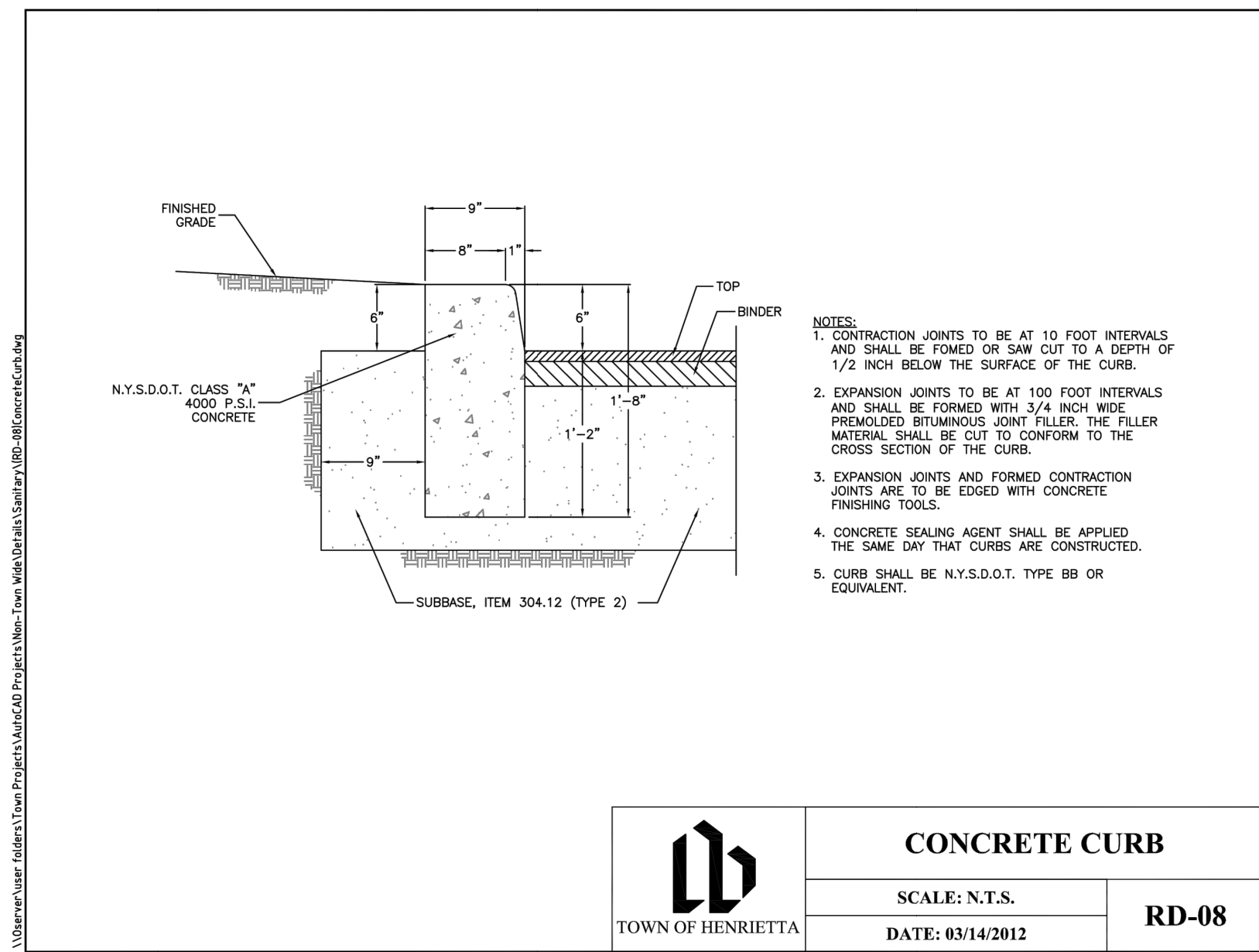
PAVEMENT TRENCH RESTORATION (COMMERCIAL/INDUSTRIAL)
 SCALE: N.T.S.
 DATE: 3/14/2012
RD-20b



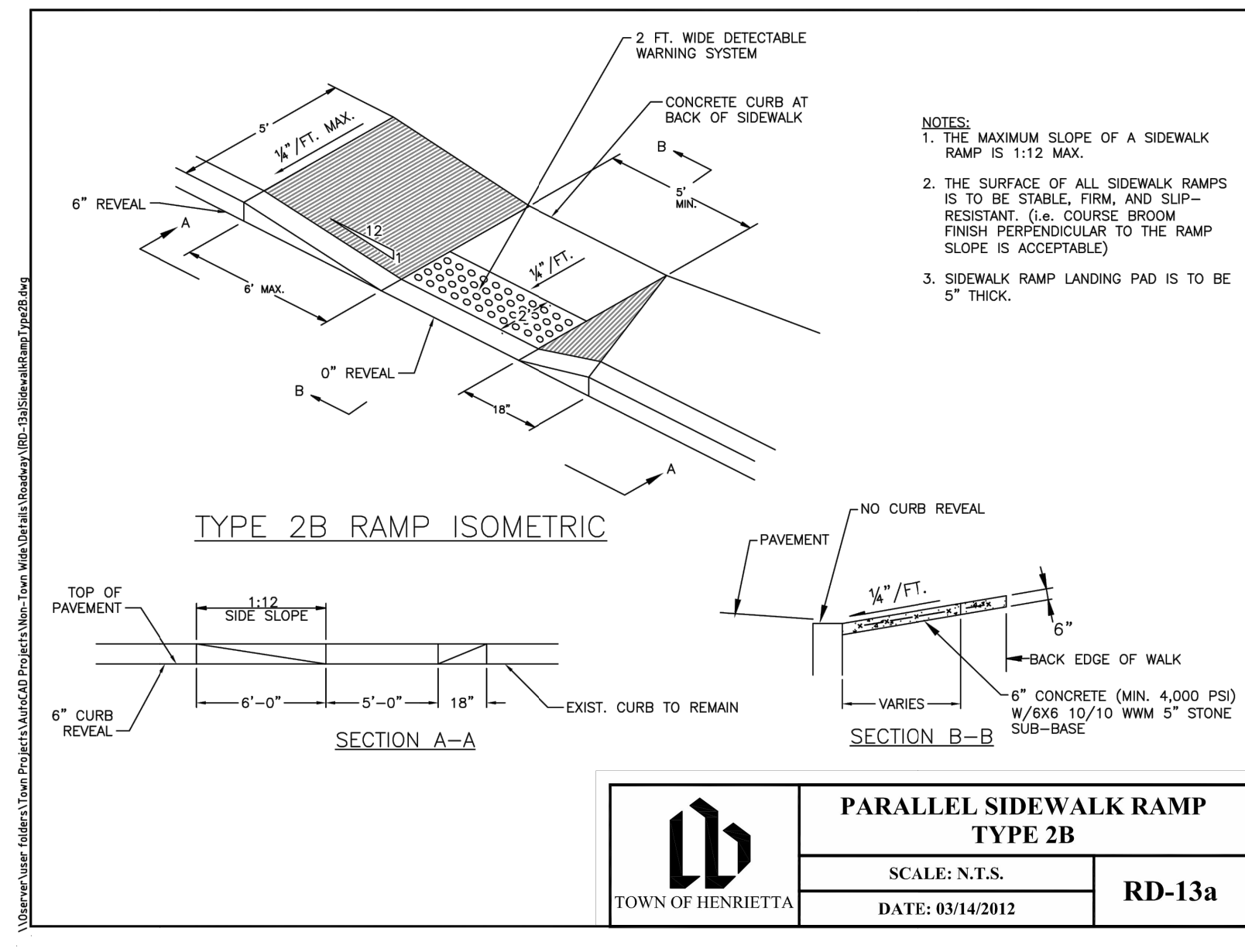
STANDARD CONCRETE SIDEWALK
 SCALE: N.T.S.
 DATE: 03/14/2012
RD-12a



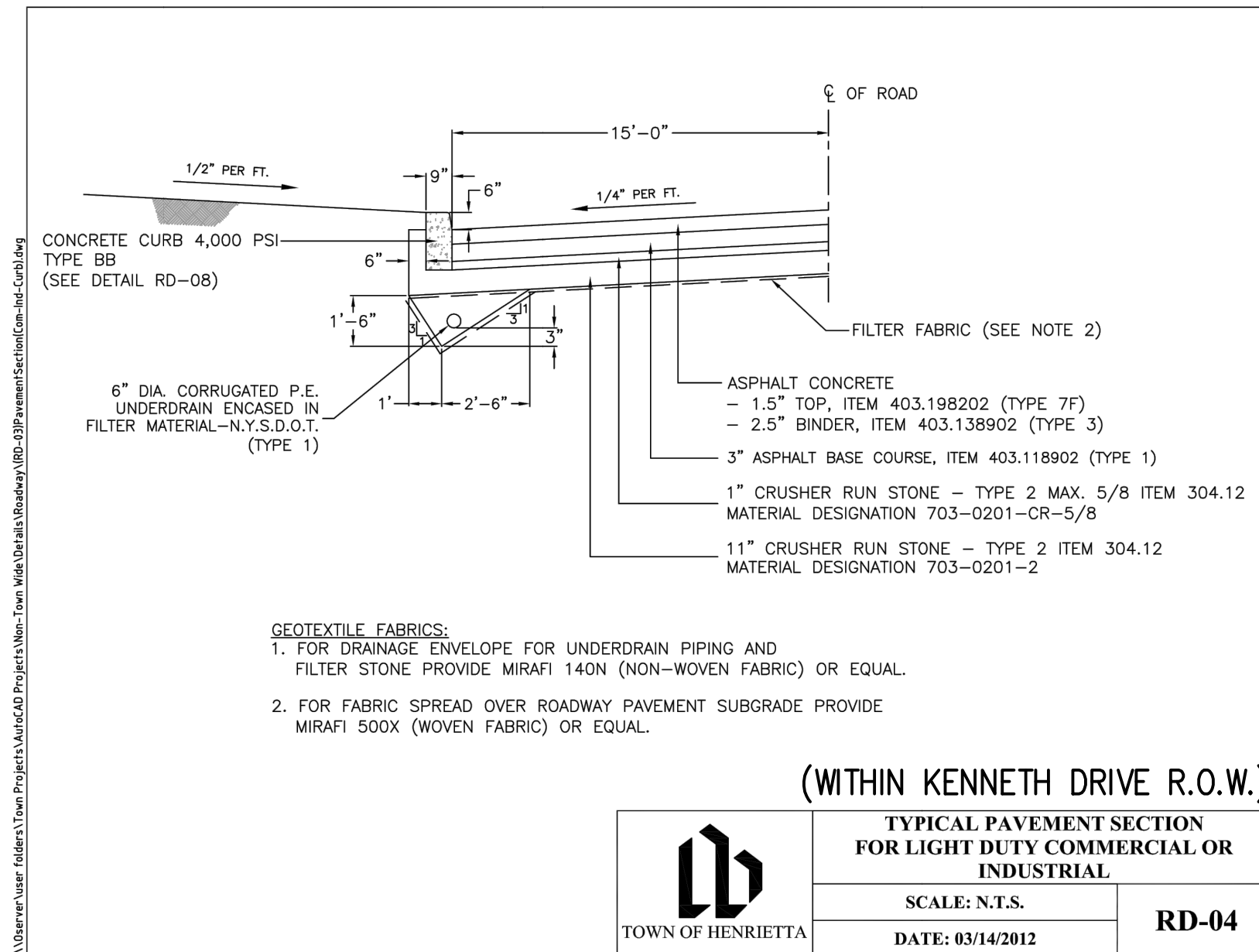
CONCRETE SIDEWALK AT CURB
 SCALE: N.T.S.
 DATE: 03/14/2012
RD-12b



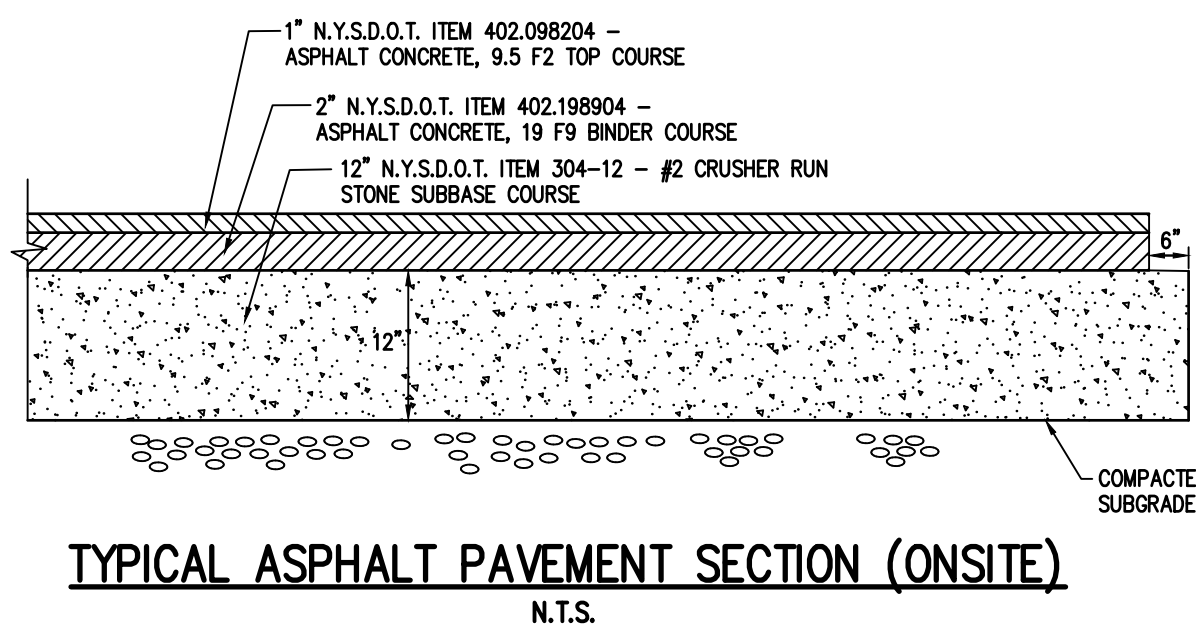
CONCRETE CURB
 SCALE: N.T.S.
 DATE: 03/14/2012
RD-08



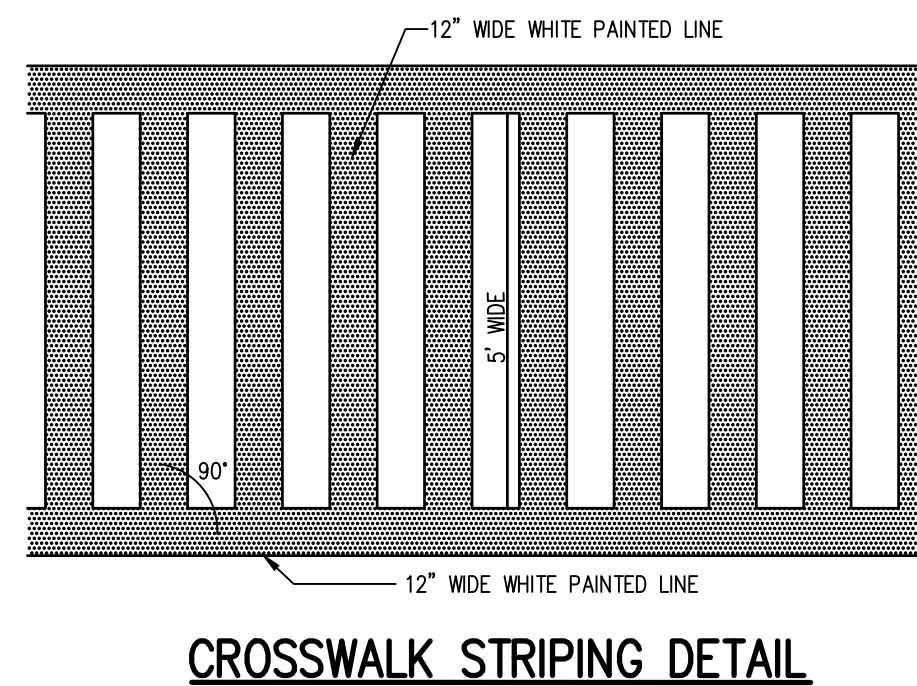
PARALLEL SIDEWALK RAMP TYPE 2B
 SCALE: N.T.S.
 DATE: 03/14/2012
RD-13a



TYPICAL PAVEMENT SECTION FOR LIGHT DUTY COMMERCIAL OR INDUSTRIAL
 SCALE: N.T.S.
 DATE: 03/14/2012
RD-04



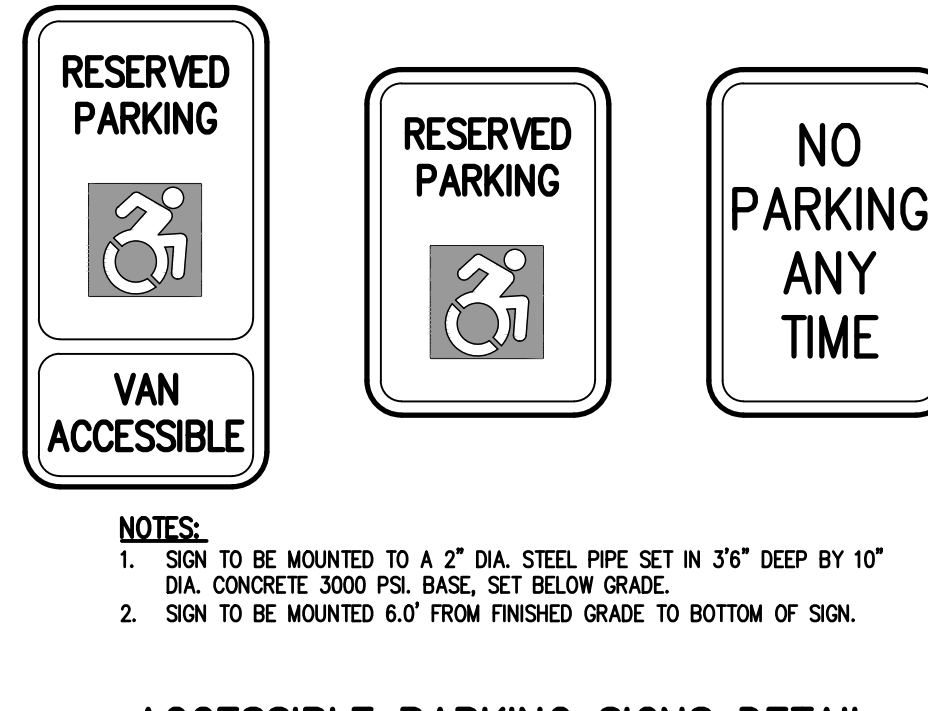
TYPICAL ASPHALT PAVEMENT SECTION (ONSITE)
 N.T.S.



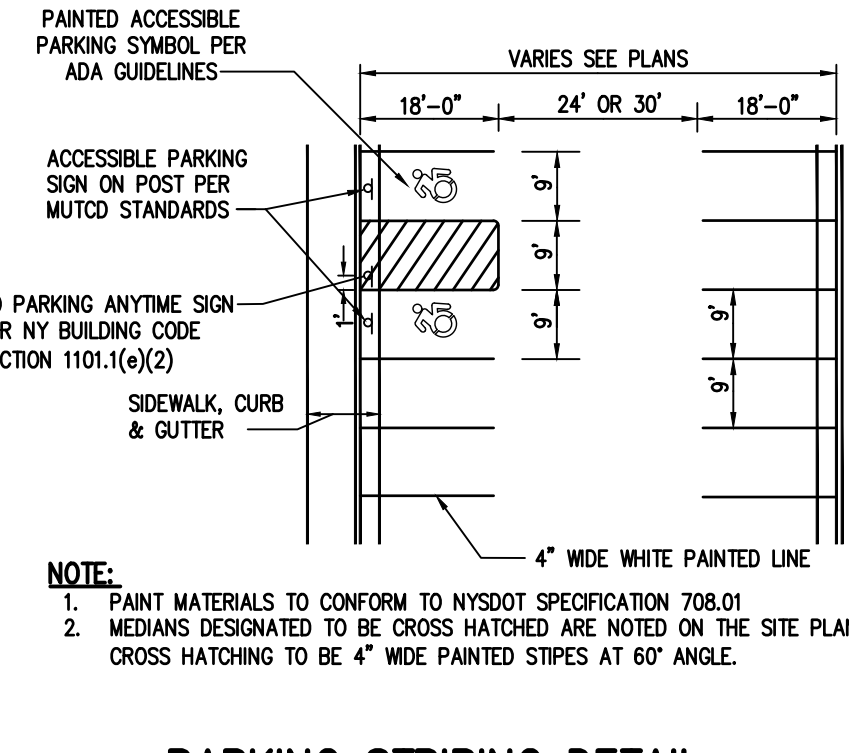
CROSSWALK STRIPING DETAIL
 N.T.S.



ACCESSIBLE PARKING SYMBOL DETAIL
 N.T.S.



ACCESSIBLE PARKING SIGNS DETAIL
 N.T.S.



PARKING STRIPING DETAIL
 N.T.S.

Drawing Alteration
 The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of each alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
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 10 LIFT BRIDGE LANE EAST
 ROCKY HILL, CT 06067
 WWW.BMEPCOM
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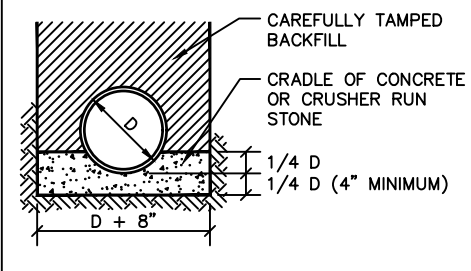


TOWNEPLACE SUITES BY MARRIOTT
 TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 INDUS DEVELOPMENT COMPANY LLC
 940 HANBROOK TRAIL S
 ROCHESTER, NY 14625
 PRELIMINARY/FINAL
 DETAIL SHEET

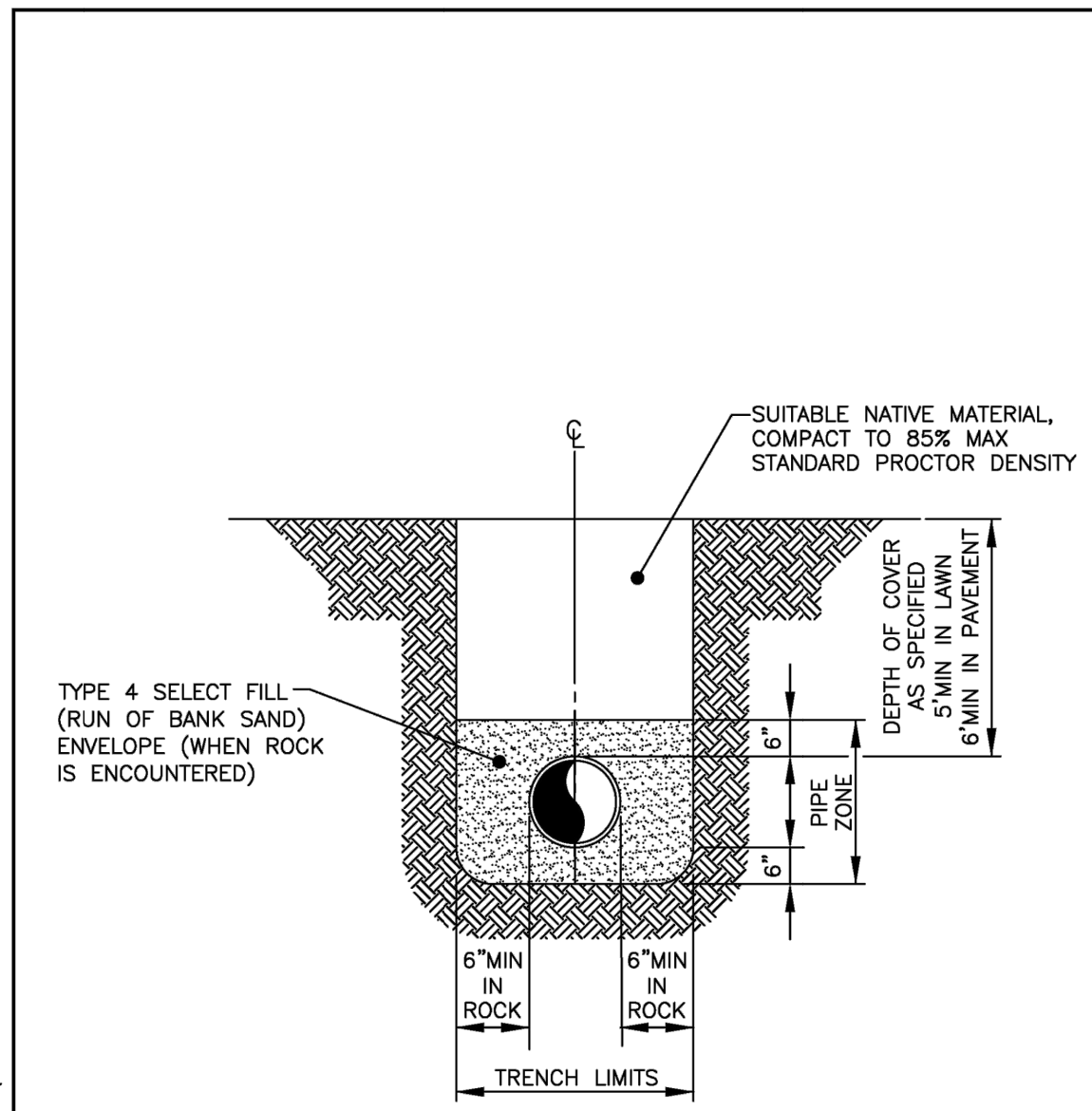
PROJECT: TOWNEPLACE SUITES BY MARRIOTT
 LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 CLIENT: INDUS DEVELOPMENT COMPANY LLC
 PROJECT MANAGER: P. VARS
 PROJECT ENGINEER: R. SPURR
 DRAWN BY: A. BEYLER
 SCALE: N.T.S.
 DATE ISSUED: AUGUST 17, 2022
 PROJECT NO.: 2849
 DRAWING NO.: 11
 (SHEET 1 OF 5)

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.

WATERMAIN/SEWER CROSSING DETAIL
(N.T.S.)

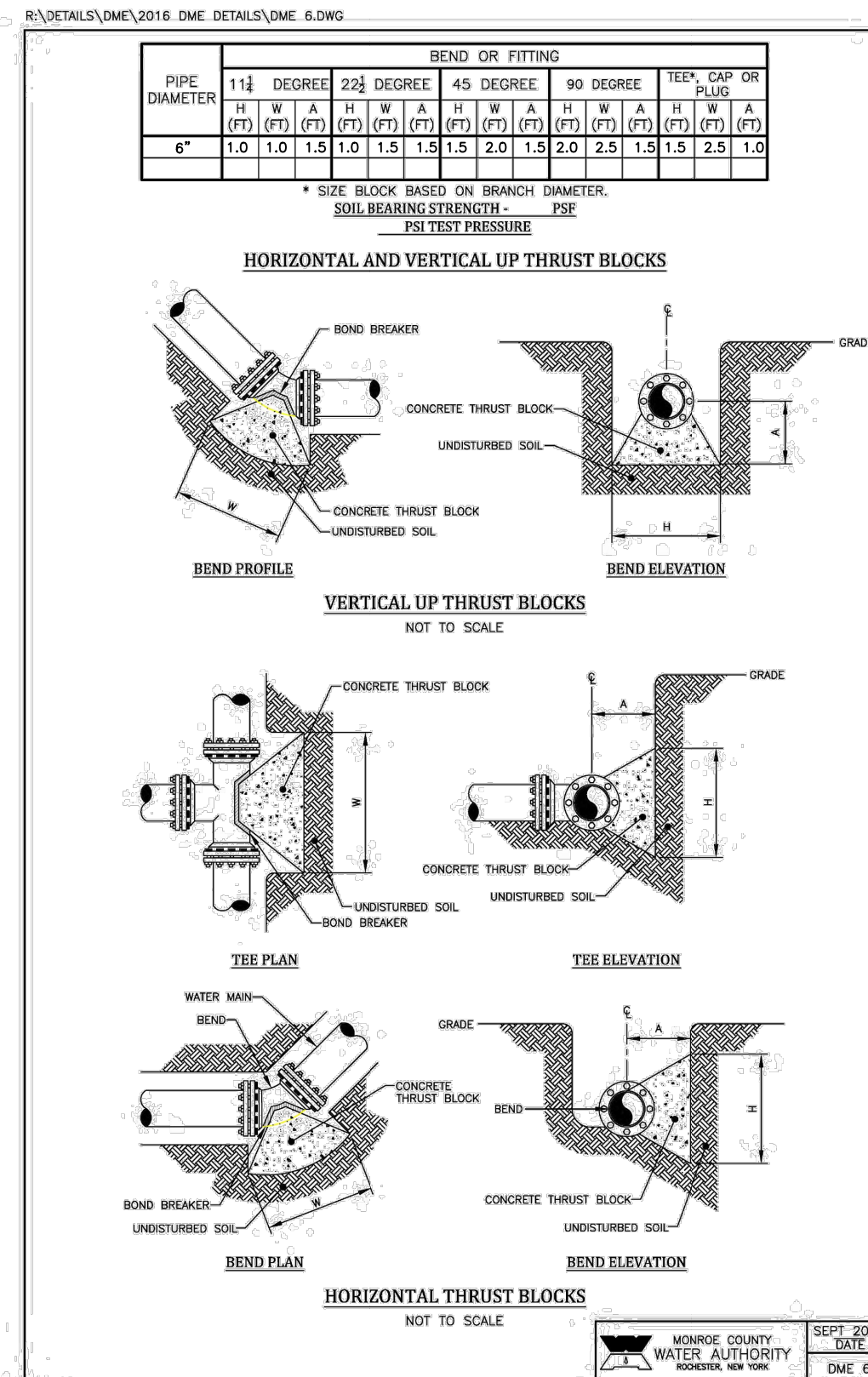


NOTES:
WL (WATER LINE)
SL (SEWER LINE)
D (OUTSIDE DIAMETER OF PIPE)
IN NO CASE SHALL PIPES BE CLOSER THAN 18" APART. DISTANCES ARE MEASURED BETWEEN OUTSIDES OF PIPE.



DIP TRENCH
NOT TO SCALE

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 3

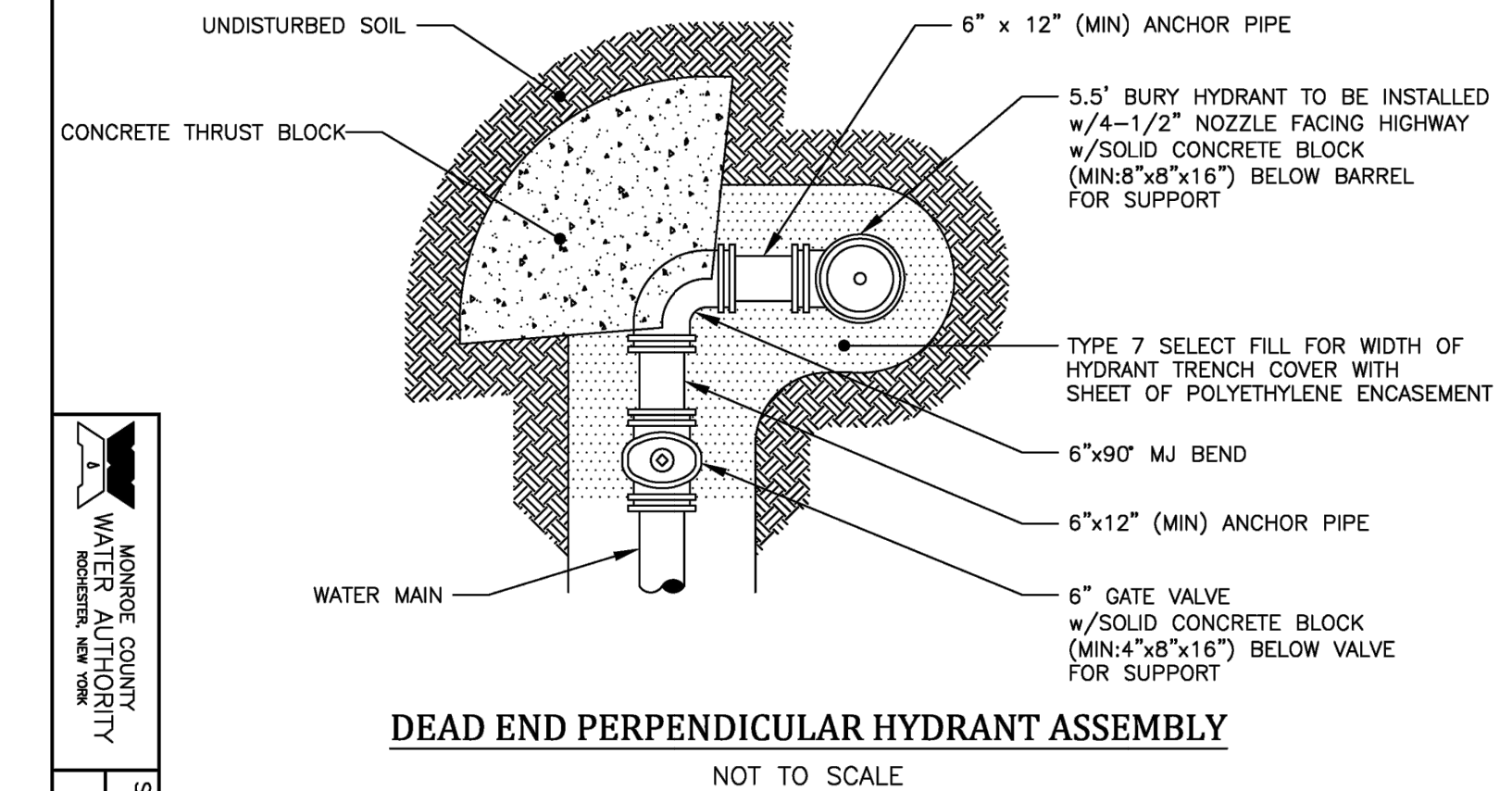


HORIZONTAL AND VERTICAL UP THRUST BLOCKS
NOT TO SCALE



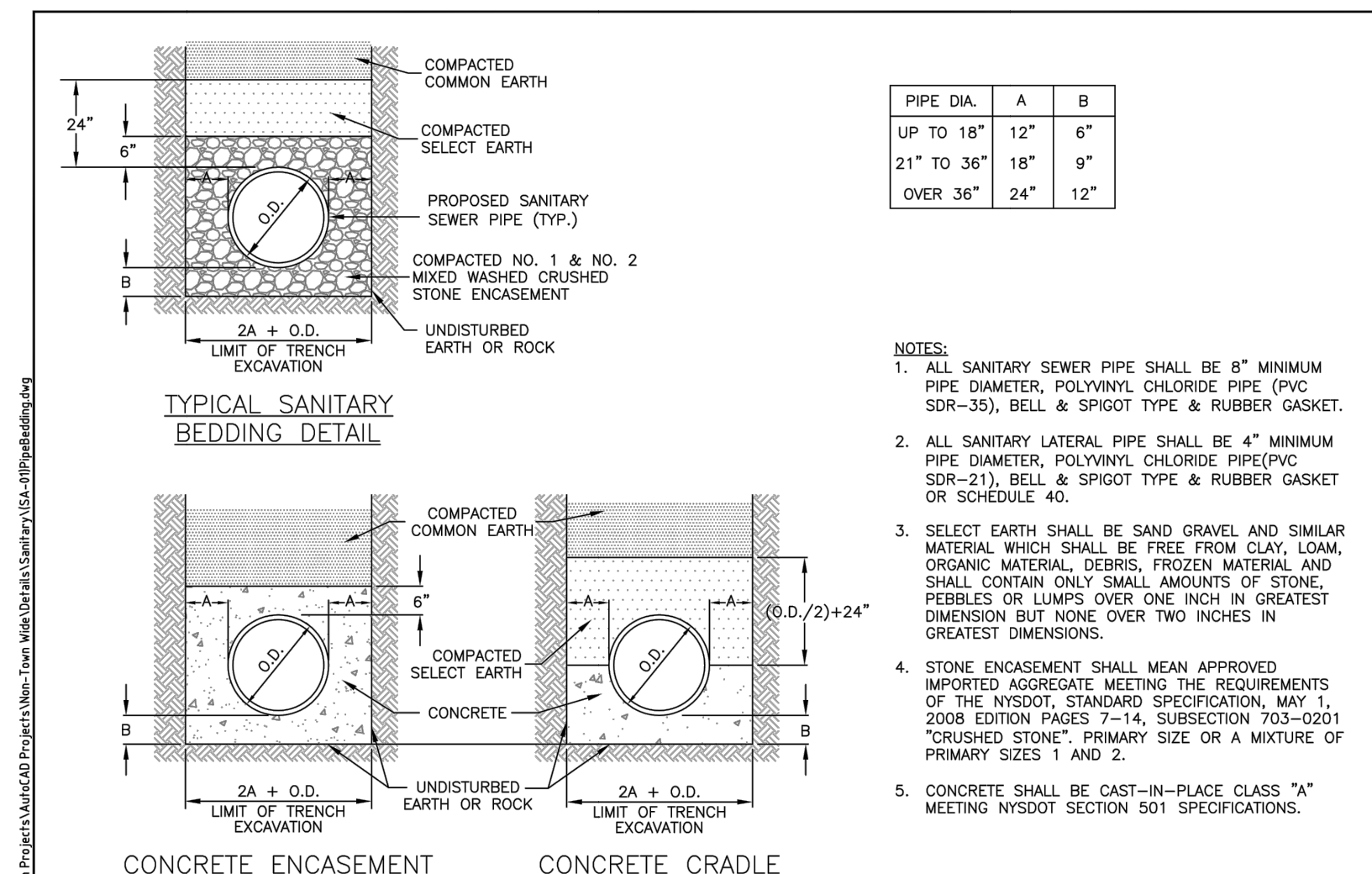
HORIZONTAL THRUST BLOCKS
NOT TO SCALE

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 6



DEAD END PERPENDICULAR HYDRANT ASSEMBLY
NOT TO SCALE

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 11



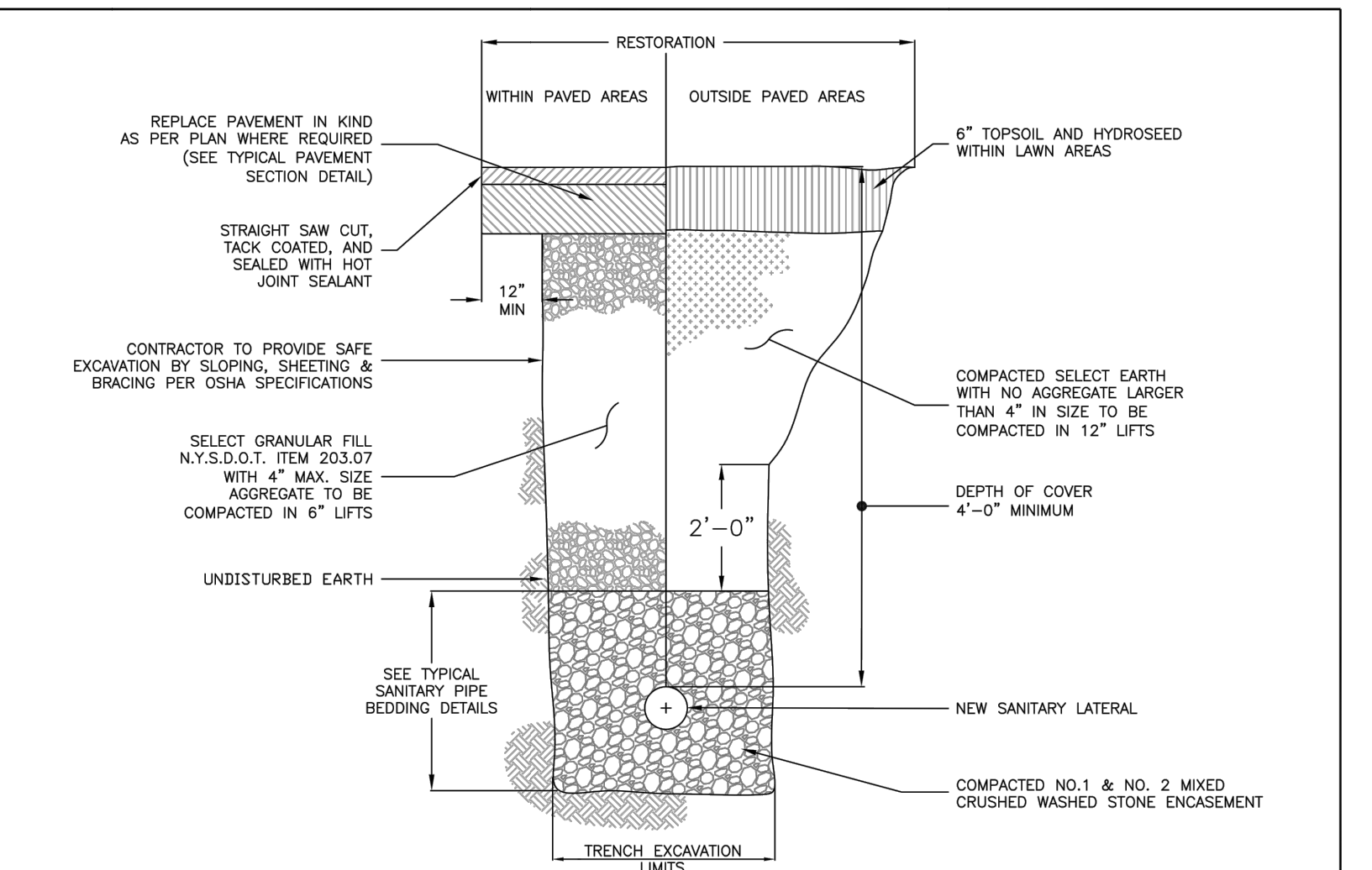
TYPICAL SANITARY BEDDING DETAIL

CONCRETE ENCASEMENT

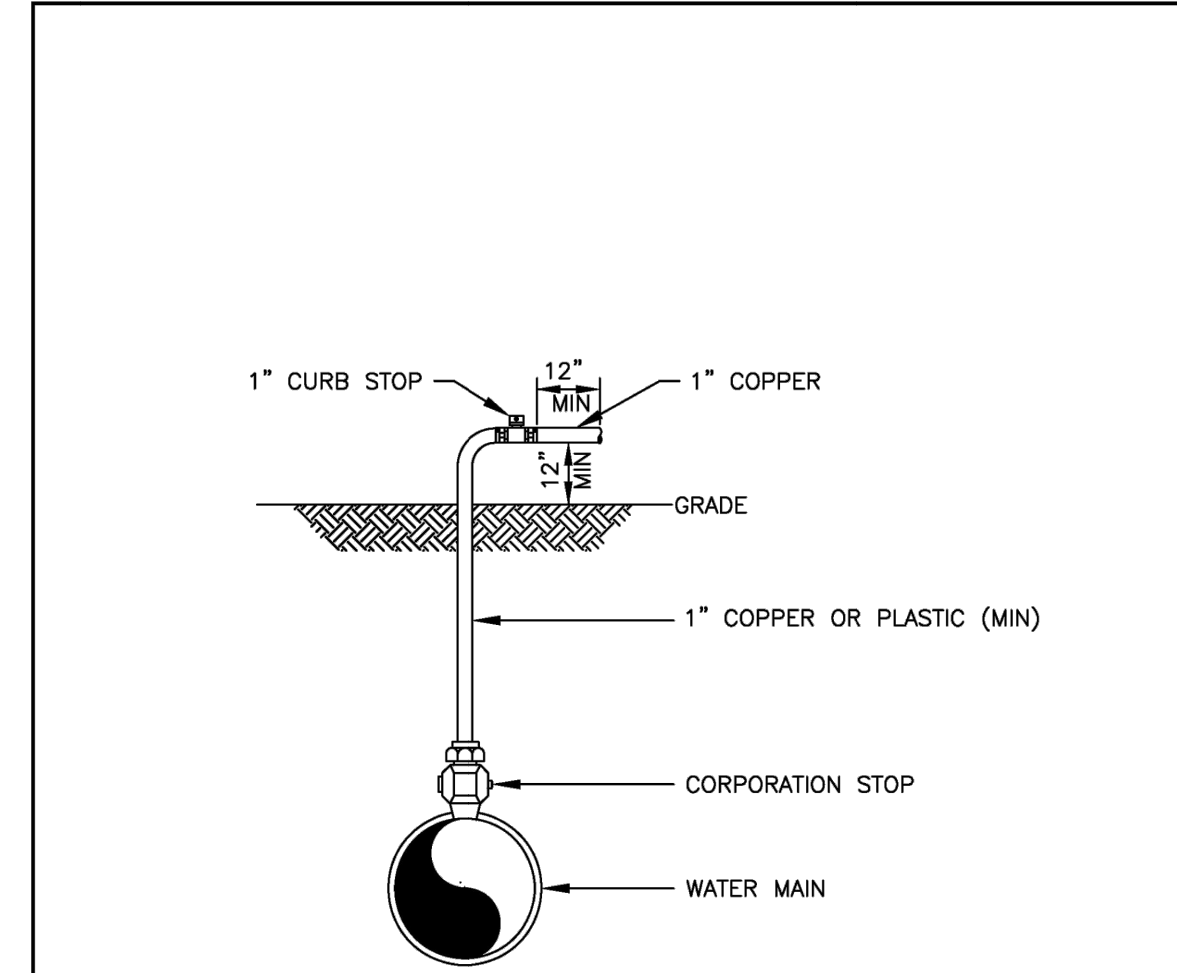
CONCRETE CRADLE

- NOTES:
- ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
 - ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
 - SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
 - STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYS DOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 - STONE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYS DOT SECTION 501 SPECIFICATIONS.

TOWN OF HENRIETTA
TYPICAL SANITARY PIPE BEDDING DETAILS
SCALE: N.T.S.
DATE: 11/15/2011
SA-01



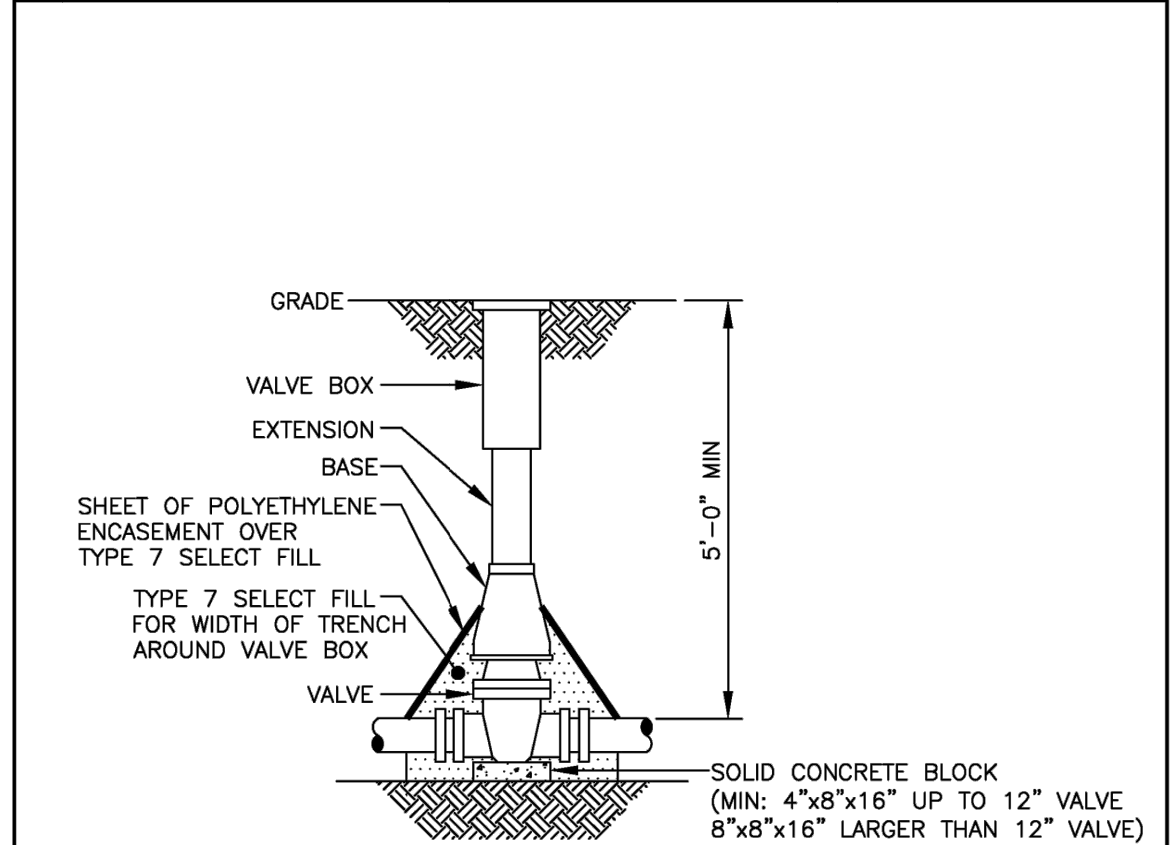
TOWN OF HENRIETTA
TYPICAL SANITARY LATERAL TRENCH DETAIL
SCALE: N.T.S.
DATE: 11/15/2011
SA-03



DISINFECTION/BLOW-OFF/SAMPLING TAP (TEMPORARY)
NOT TO SCALE

NOTE: IN THE PRESENCE OF A WATER AUTHORITY REPRESENTATIVE REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY DISINFECTION/SAMPLE TAPS AND REPLACE WITH THREADED BRASS PLUGS.

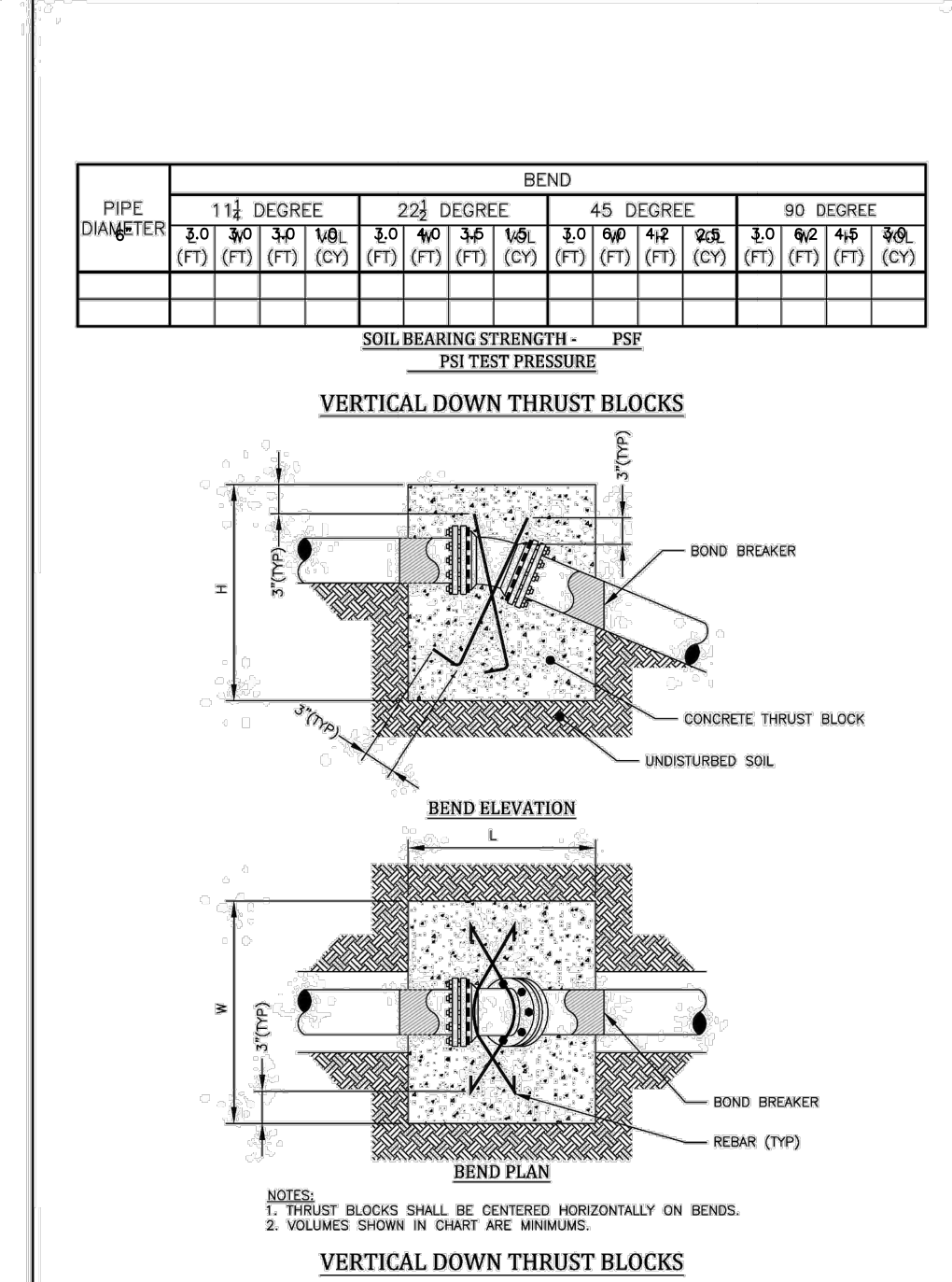
MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 14



- NOTES:
- VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
 - VALVE SHALL NOT SUPPORT VALVE BOX.
 - ALL VALVES SHALL BE OPEN LEFT EXCEPT:
TOWN OF WEBSTER - VALVES 12" AND SMALLER SHALL OPEN RIGHT.
TOWN OF HENRIETTA - SHALL OPEN RIGHT.

VALVE
NOT TO SCALE

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 5



VERTICAL DOWN THRUST BLOCKS
NOT TO SCALE

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 7

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NO.	REVISIONS	DATE	BY
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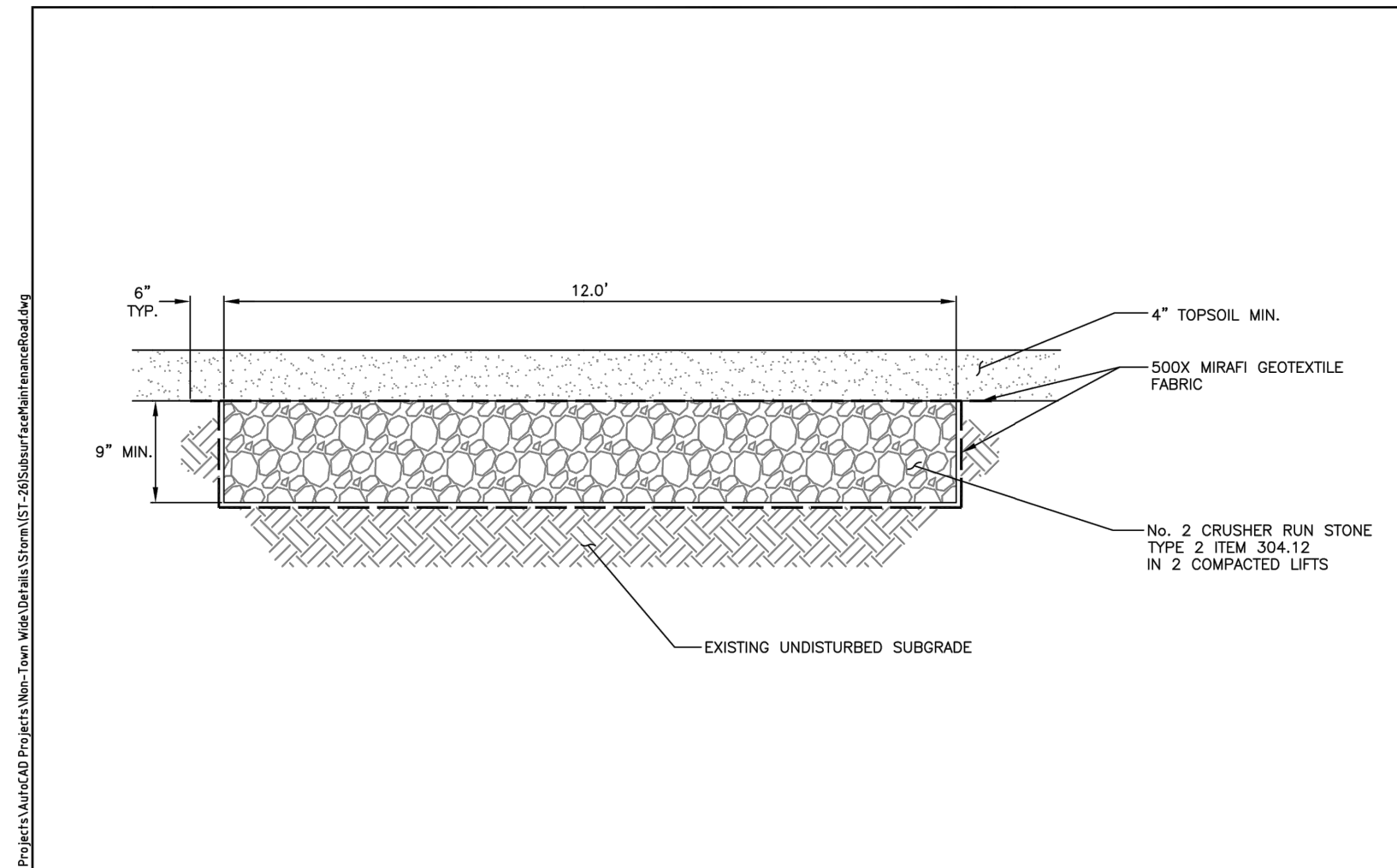
BME ASSOCIATES
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PHONE: 585-377-7360
FAC: 585-377-7309
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14650
WWW.BME.COM



TOWNPLACE SUITES BY MARRIOTT
PROJECT LOCATION CLIENT DRAWING TITLE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
INDUS DEVELOPMENT COMPANY LLC
540 HANBROUGH TRAIL S
ROCHESTER, NY 14625
PRELIMINARY/FINAL
DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
INDUS DEVELOPMENT COMPANY LLC
540 HANBROUGH TRAIL S
ROCHESTER, NY 14625
PRELIMINARY/FINAL
DETAIL SHEET
PROJECT NO. 2849
DRAWING NO. 12
(SHEET 2 OF 5)

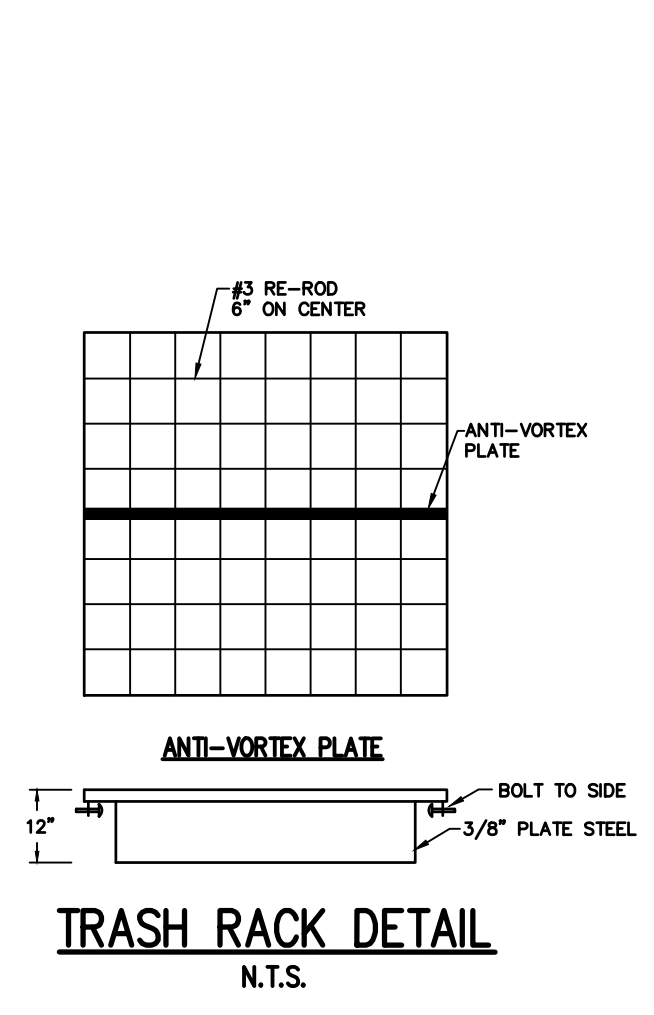
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TOWN OF HENRIETTA

SUBSURFACE MAINTENANCE ACCESS ROAD SECTION

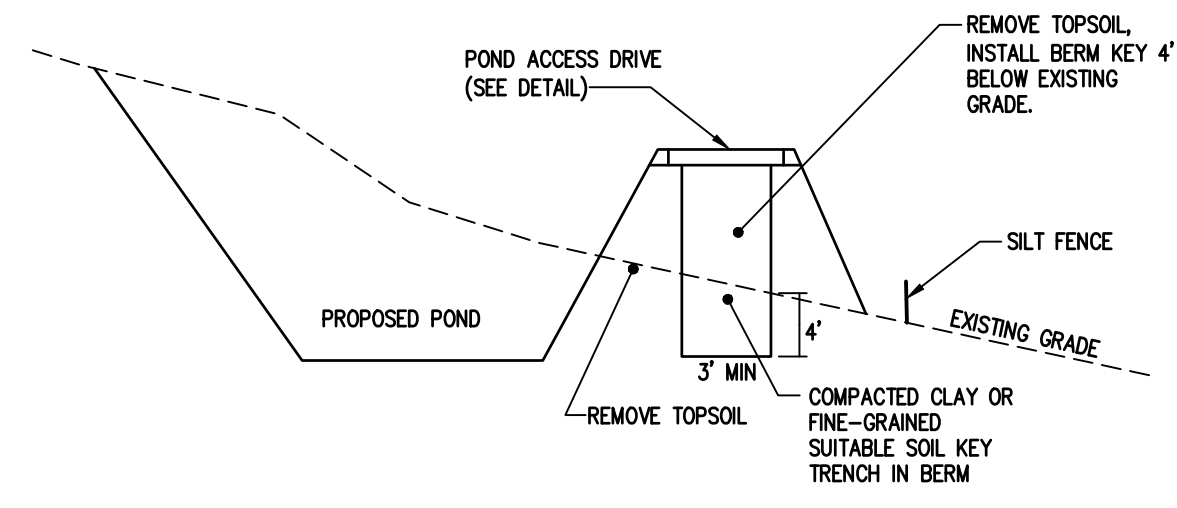
SCALE: N.T.S. DATE: 11/15/2011 **ST-26**



TRASH RACK DETAIL

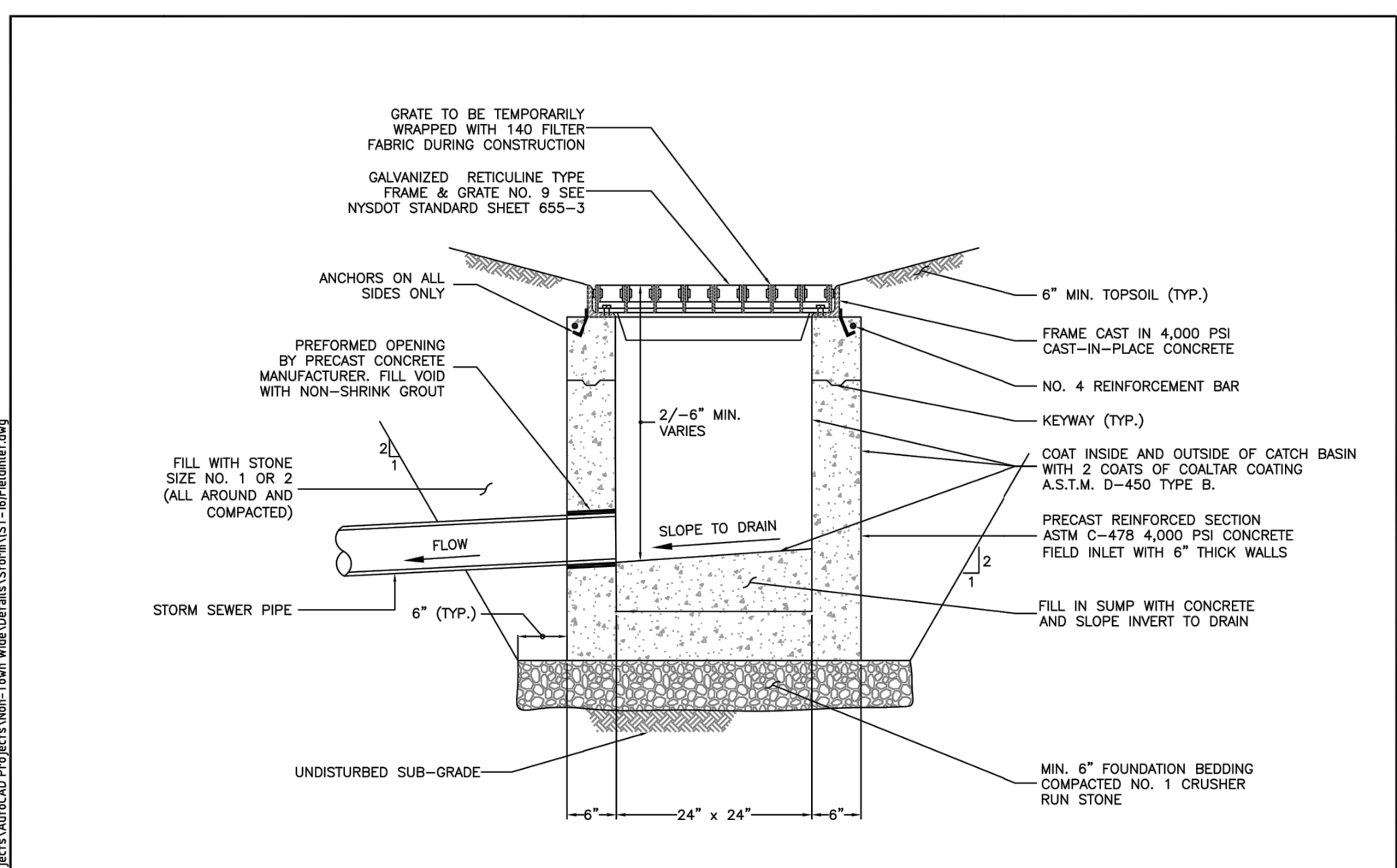
N.T.S.

- NOTES:**
- CLAY OR FINE-GRAINED SUITABLE SOIL KEY IN BERM TO UTILIZE ONSITE SOURCES, IF AVAILABLE.
 - CONTRACTOR TO INSTALL BERM 6" LIFTS.
 - BERM SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS MEASURED BY THE MODIFIED PROCTOR TEST (ASTM D1557) AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL PROVIDE BERM COMPACTION TEST RESULTS TO THE TOWN OF HENRIETTA AND OWNER.



STORMWATER MANAGEMENT FACILITY COMPACTED BERM WITH KEY DETAIL

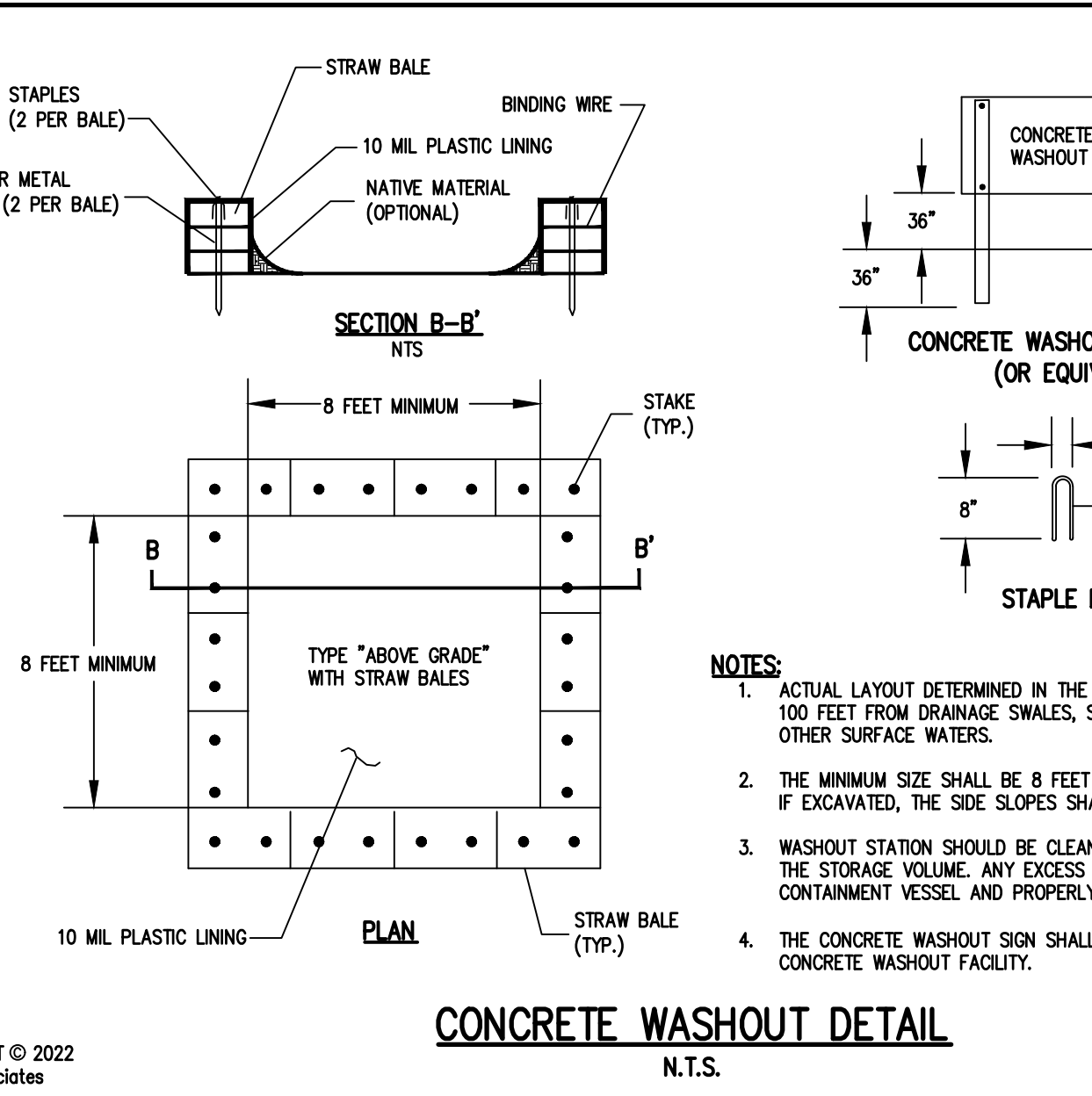
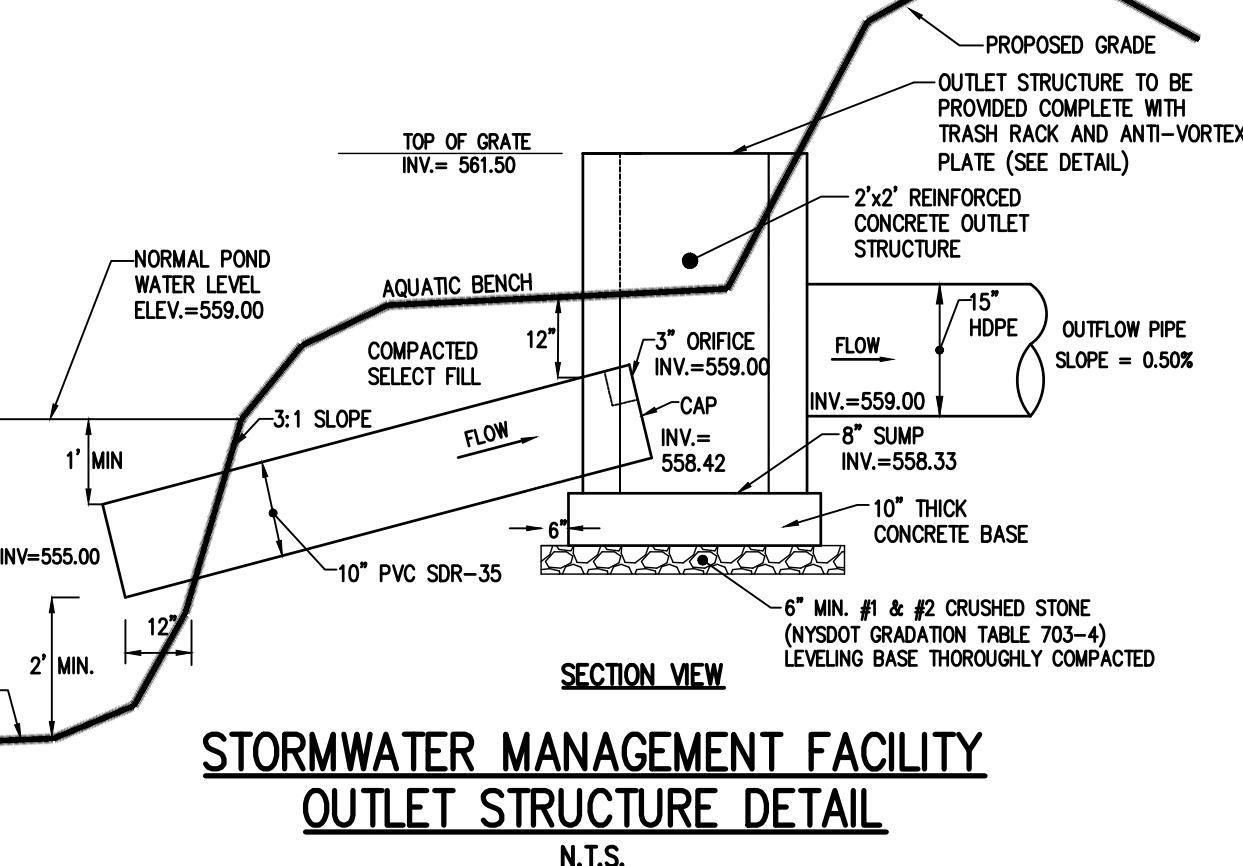
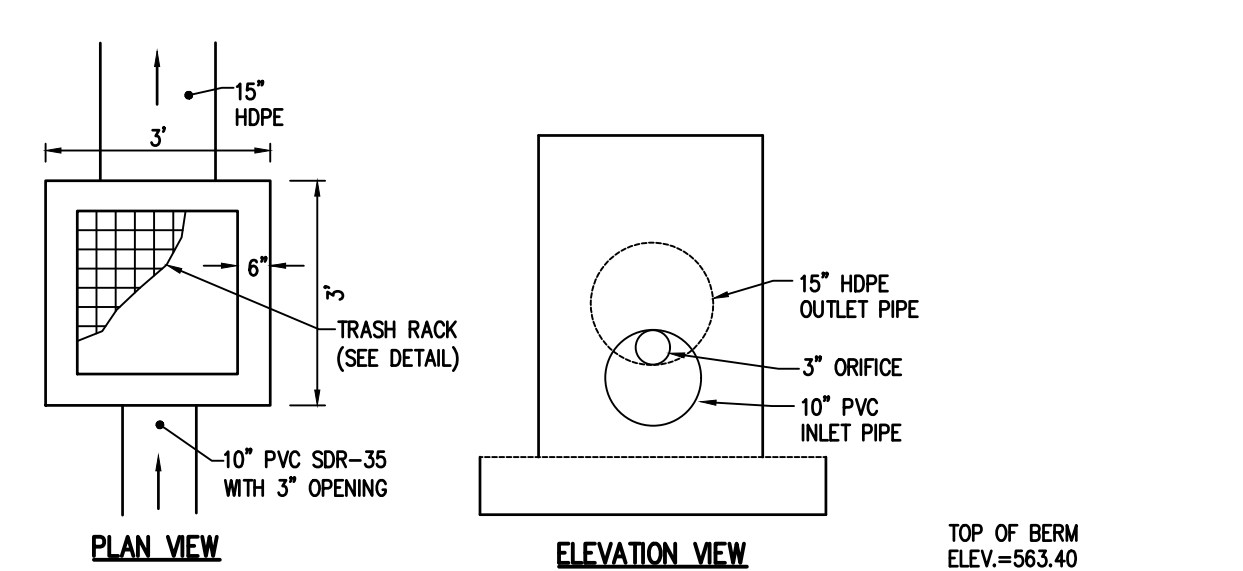
N.T.S.



TOWN OF HENRIETTA

FIELD INLET DETAIL

SCALE: N.T.S. DATE: 11/15/2011 **ST-16**

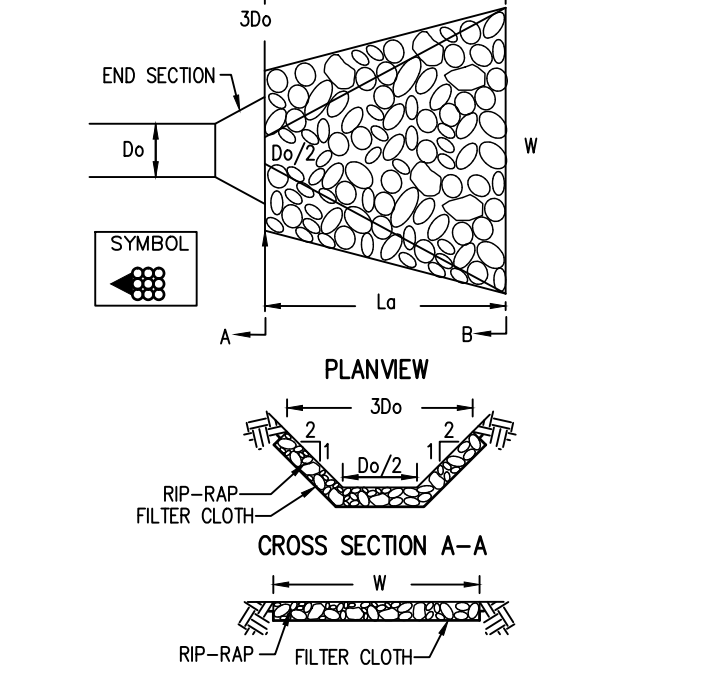


CONCRETE WASHOUT DETAIL

N.T.S.

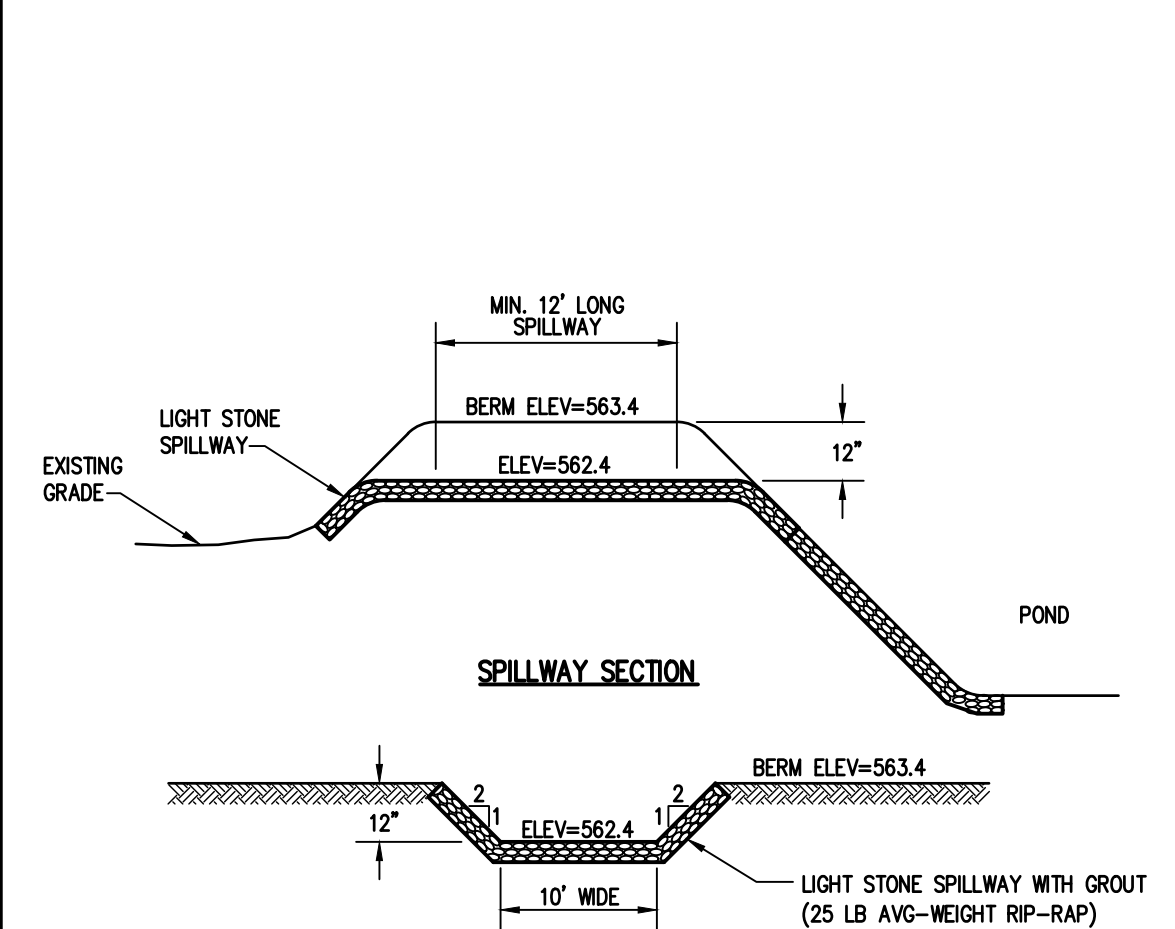
RIP-RAP OUTLET DIMENSIONS

DESIGNATION	DIA. OF PIPE Do	3do	Lo	W	RIP RAP
D	15"	3.75'	5'	6.3'	5 SY
DA	15"	3.75'	5'	6.3'	5 SY
DB	15"	3.75'	10'	11.3'	8 SY



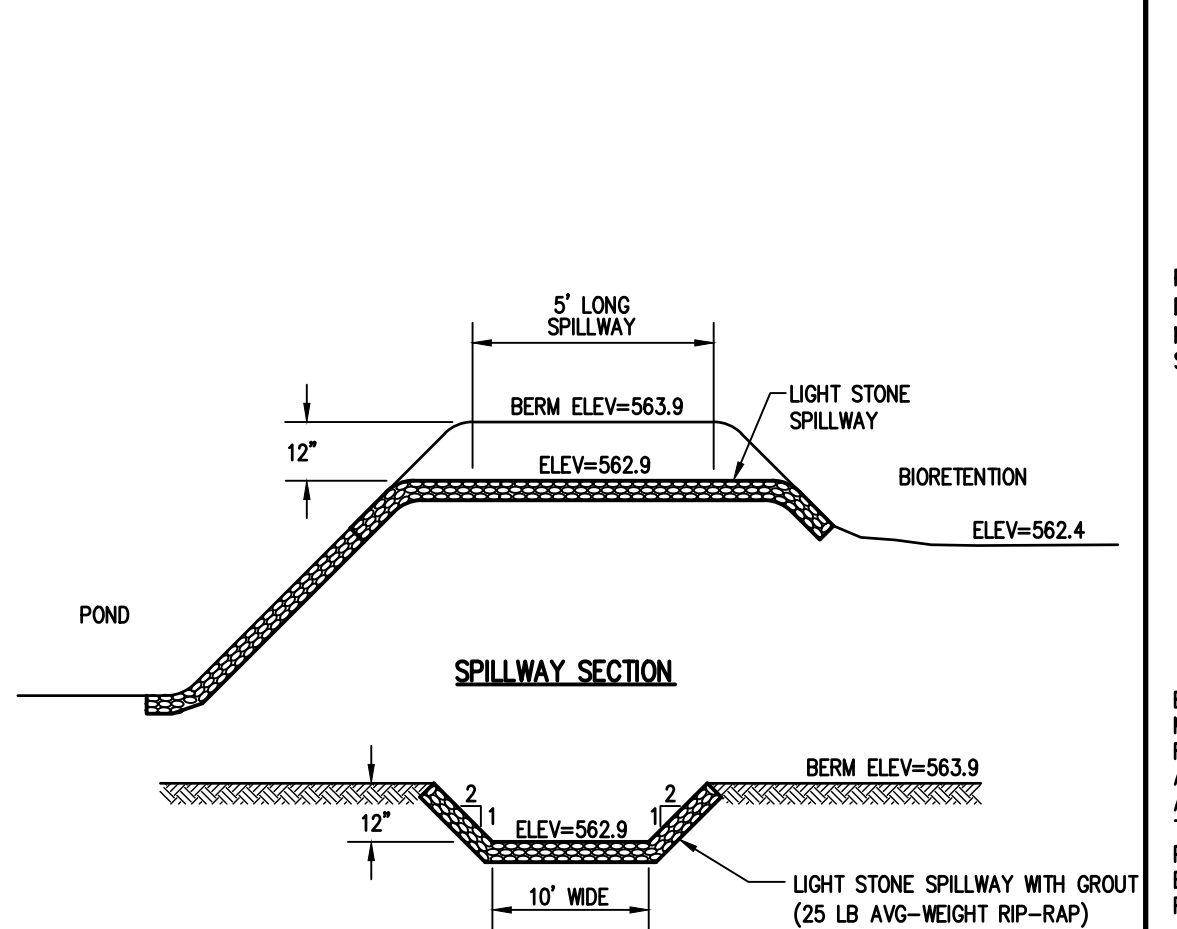
RIP-RAP OUTLET PROTECTION DETAIL

N.T.S.



EMERGENCY STONE SPILLWAY DETAIL

N.T.S.

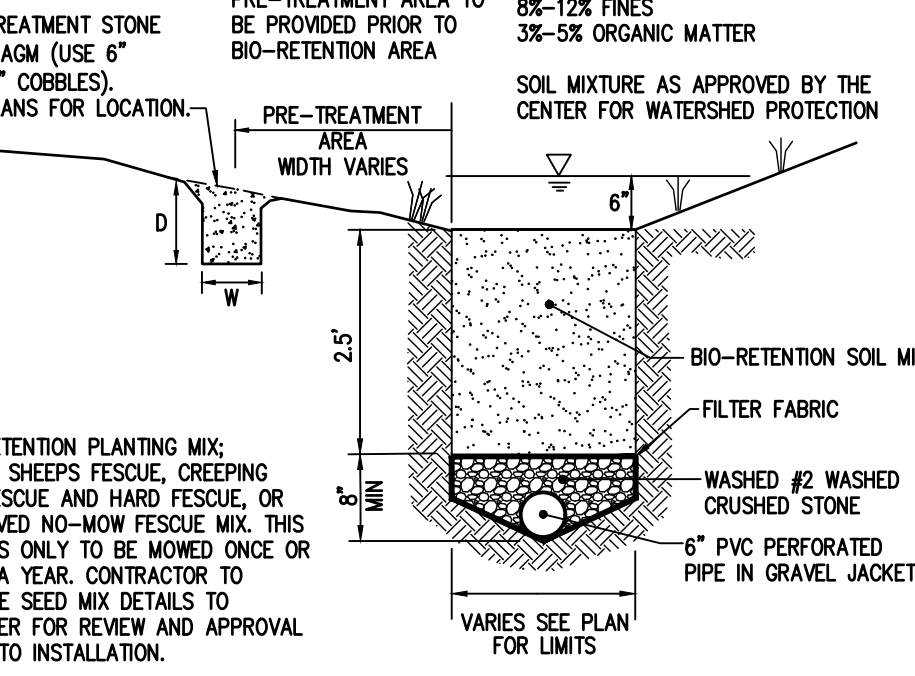


BIORETENTION AREA 'A' STONE SPILLWAY DETAIL

N.T.S.

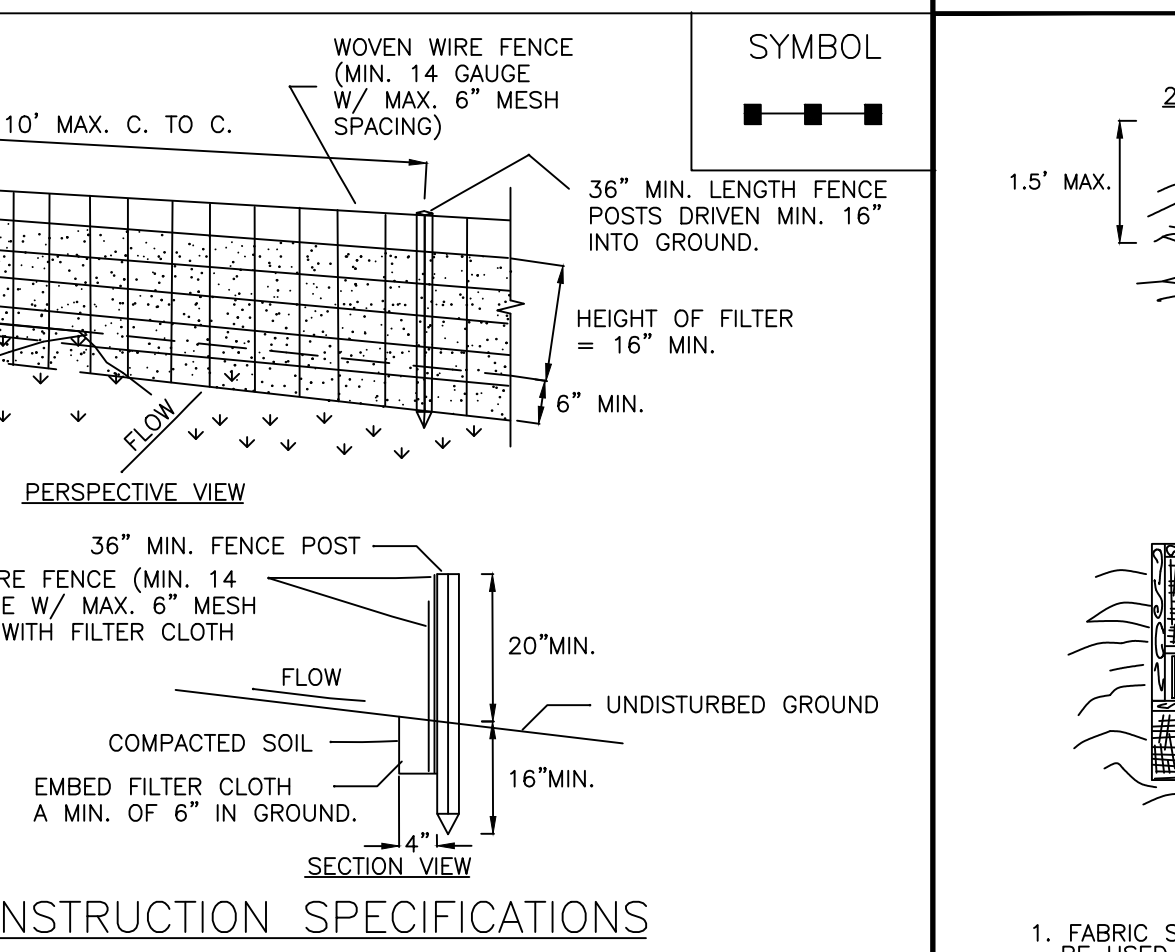
STONE DIAPHRAGM DIMENSIONS

BIORETENTION AREA	WIDTH (W)	DEPTH (D)	LENGTH
A	3'	3'	210'
B	4'	1.5'	100'
C	2'	2.6'	145'



GREEN INFRASTRUCTURE BIORETENTION AREA DETAIL

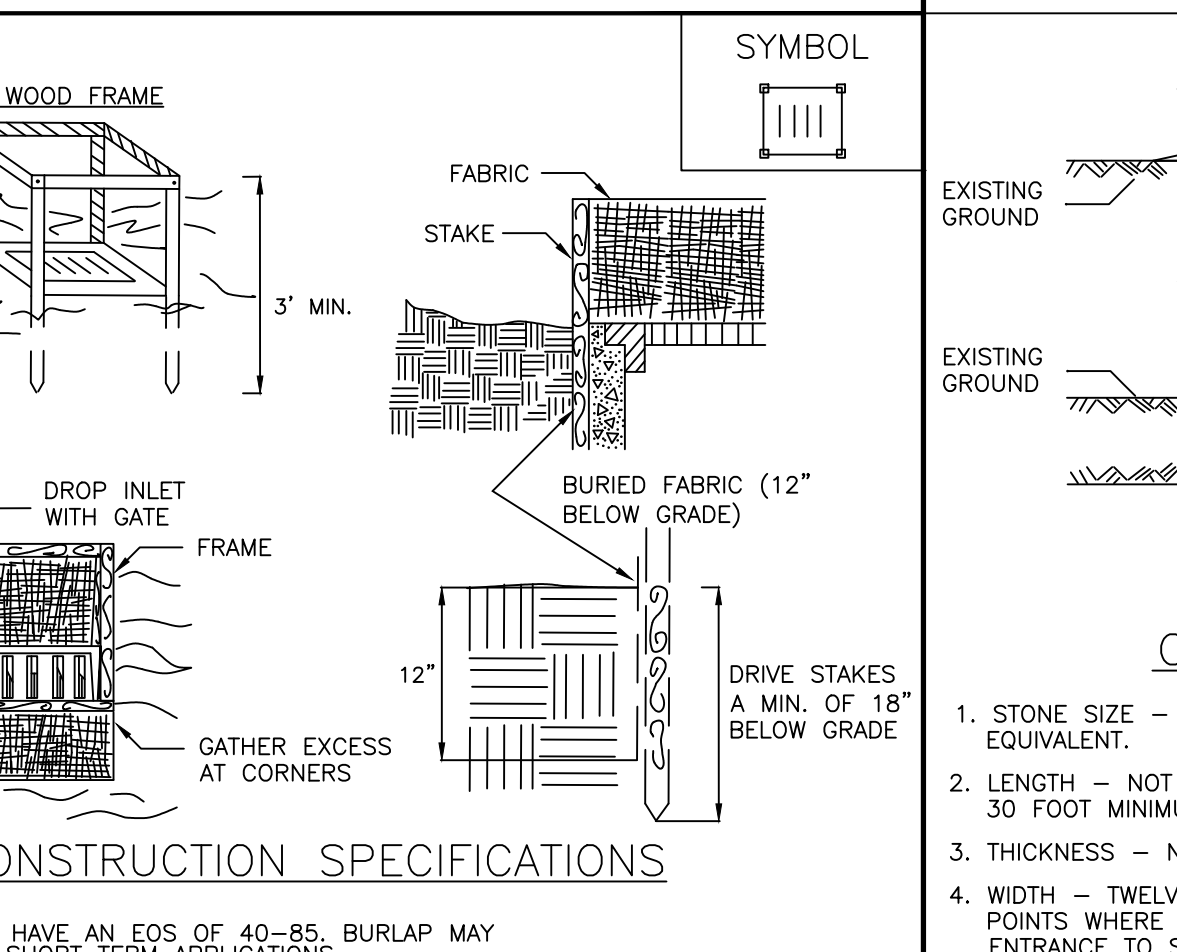
N.T.S.



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

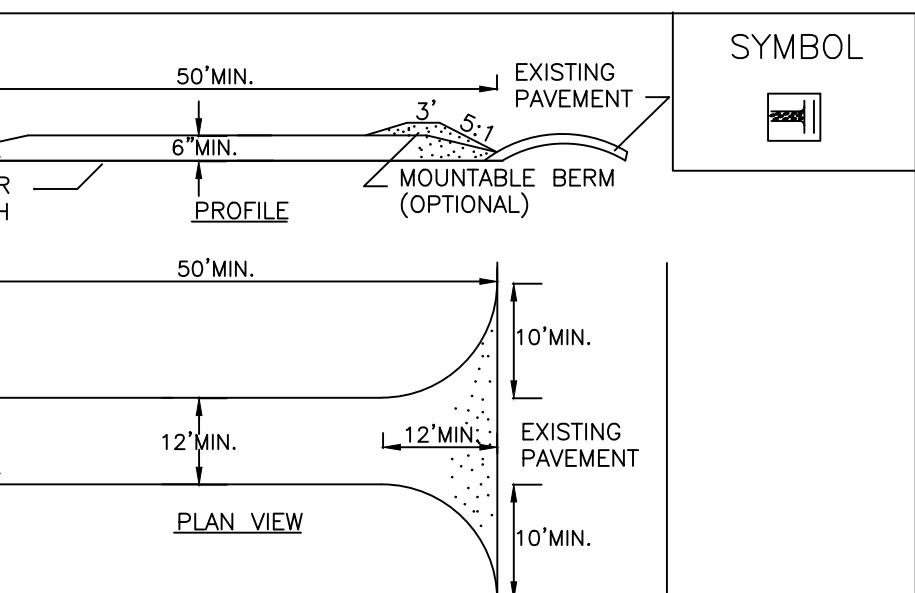


CONSTRUCTION SPECIFICATIONS

- FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

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NO.	DATE	BY	REVISIONS
7			
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BME ASSOCIATES

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ROCHESTER, NY 14620
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FAX: 585-577-7309



TOWNEPLACE SUITES BY MARRIOTT

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE

INDUS DEVELOPMENT COMPANY LLC
540 GANERBAH TRAIL S
ROCHESTER, NY 14625

PROJECT LOCATION CLIENT DRAWING TITLE

PRELIMINARY/FINAL DETAIL SHEET

PROJECT MANAGER
P. VARS

PROJECT ENGINEER
R. SPURR

DRAWN BY
A. BEYLER

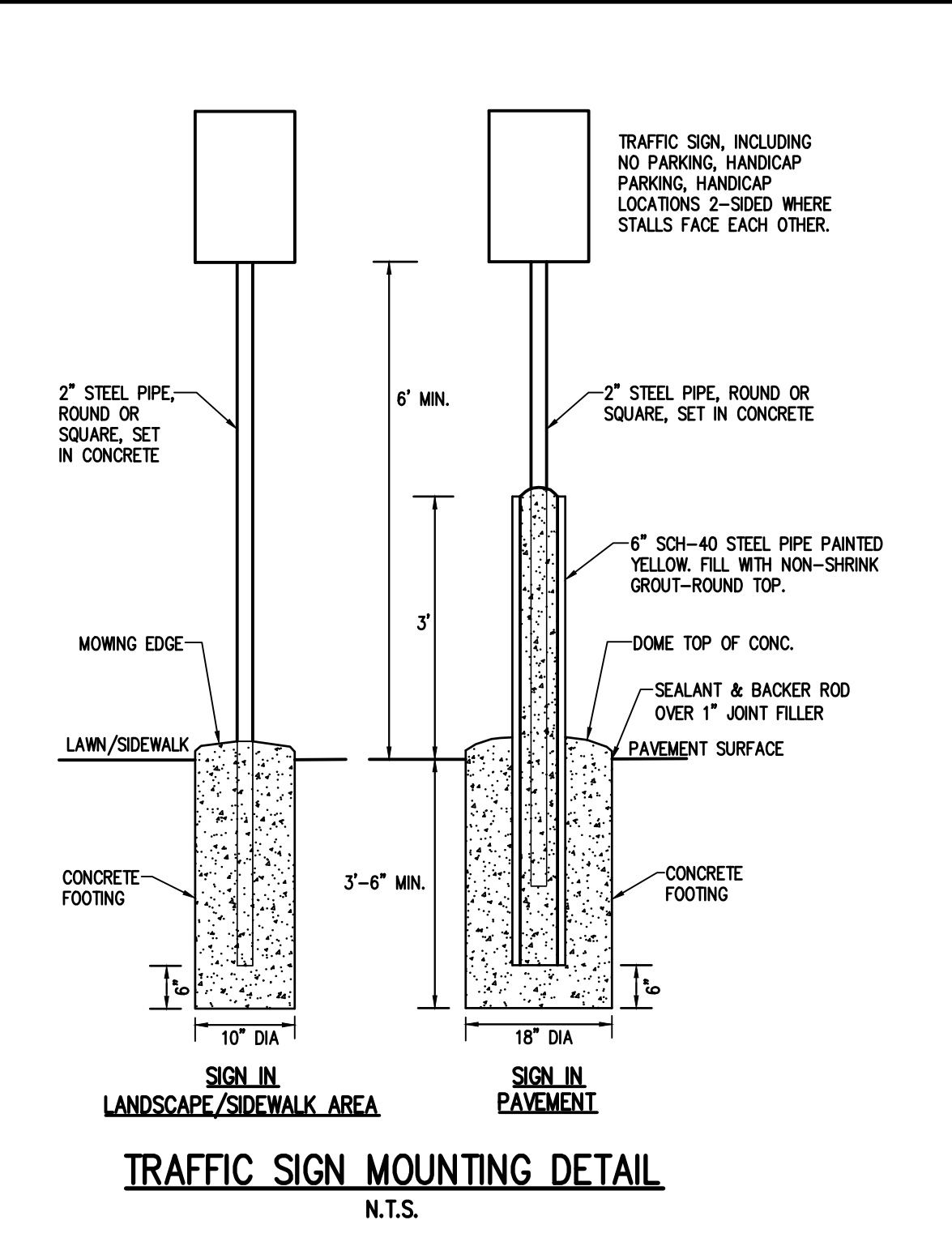
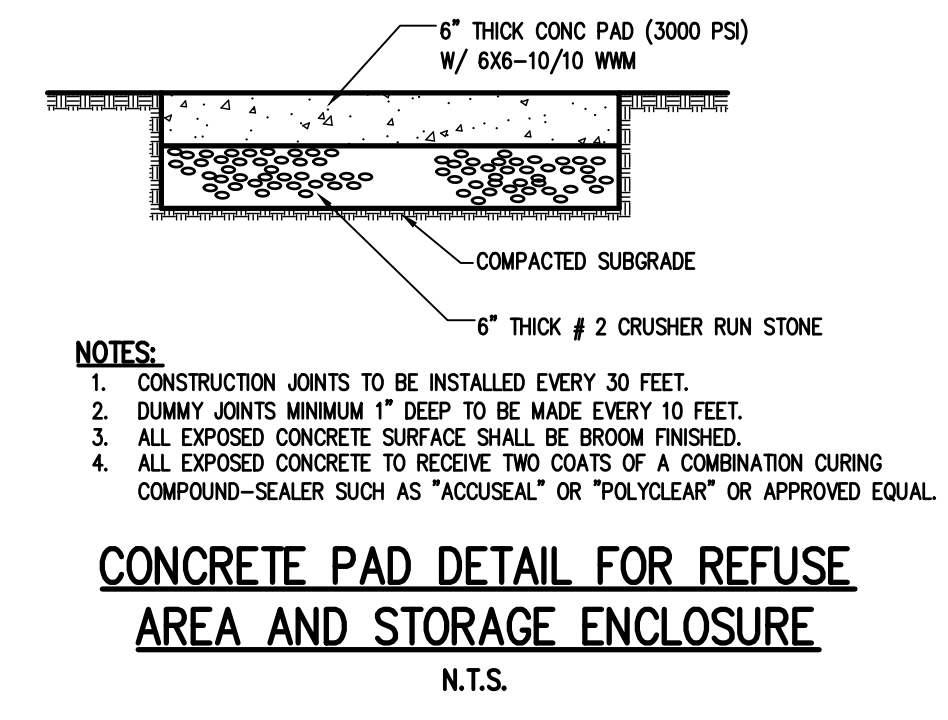
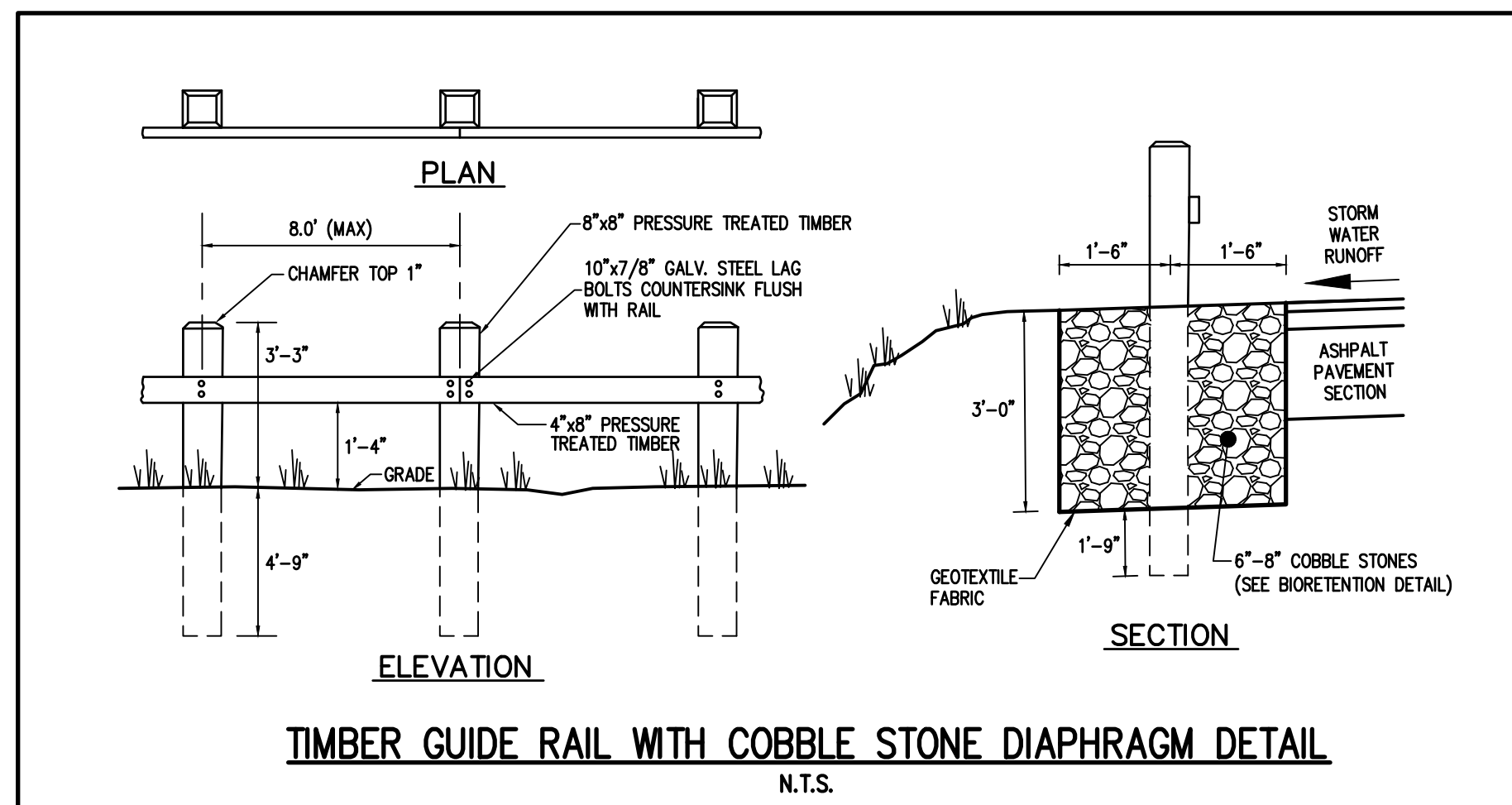
SCALE DATE ISSUED
N.T.S. AUGUST 17, 2022

PROJECT NO.
2849

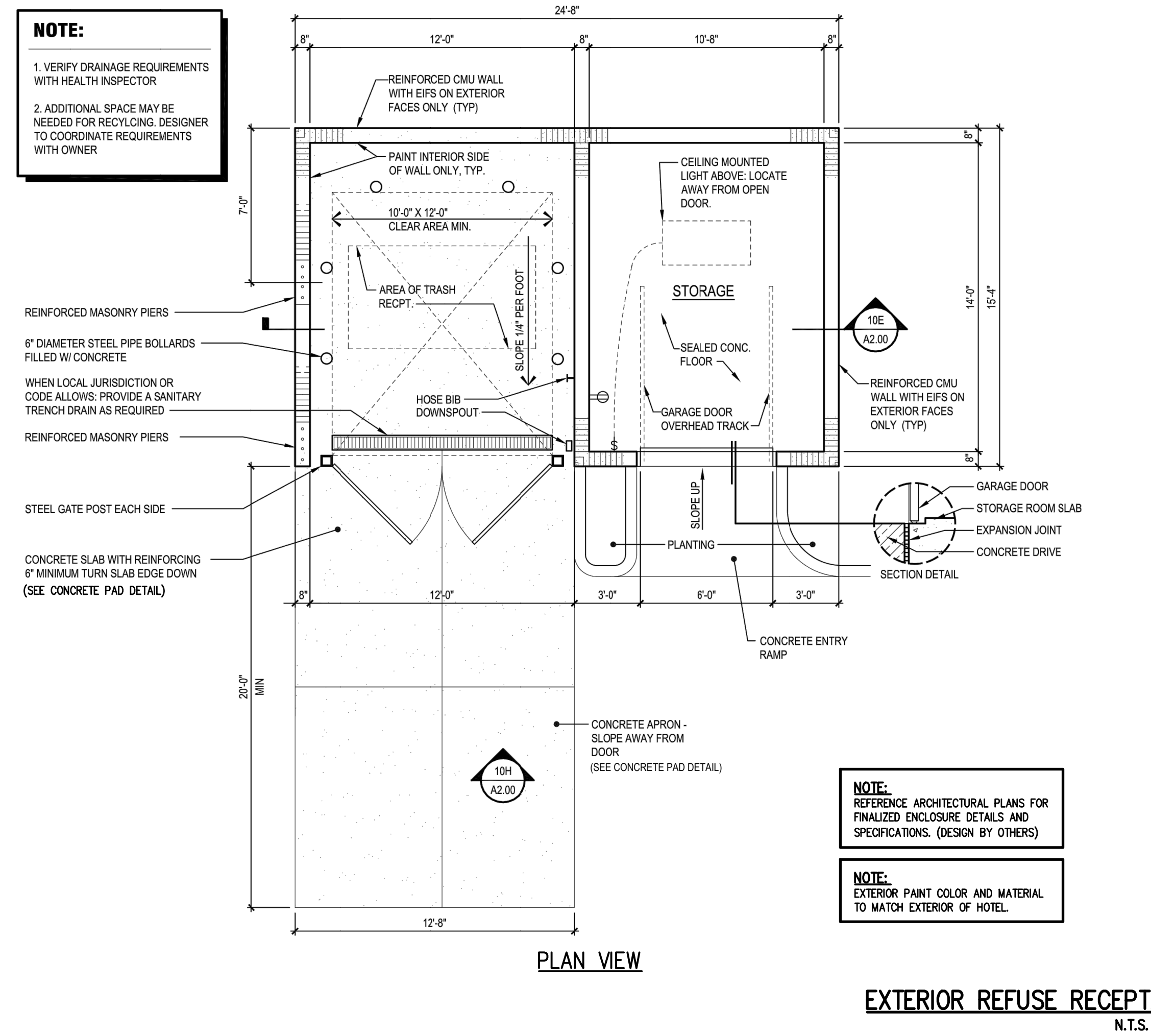
DRAWING NO.
14

(SHEET 4 OF 5)

Drawing Alteration
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NOTE:
1. VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR
2. ADDITIONAL SPACE MAY BE NEEDED FOR RECYCLING. DESIGNER TO COORDINATE REQUIREMENTS WITH OWNER



NO.	REVISIONS	DATE	BY
7			
6			
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ROCHESTER, NY 14650
PHONE: 585-577-7360
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TOWNEPLACE SUITES BY MARRIOTT
PROJECT: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
LOCATION: INDUS DEVELOPMENT COMPANY LLC, 540 HANBROOK TRAIL S, ROCHESTER, NY 14625
CLIENT: INDUS DEVELOPMENT COMPANY LLC
DRAWING TITLE: PRELIMINARY/FINAL DETAIL SHEET
DRAWING NO.: PROJECT NO.

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: R. SPURR
DRAWN BY: A. BEYLER
SCALE: N.T.S.
DATE ISSUED: AUGUST 17, 2022
PROJECT NO.: 2849
DRAWING NO.: 15
(SHEET 5 OF 5)