


D.S.B.

ENGINEERS & ARCHITECTS, P.C.
2394 Ridgeway Avenue, Suite 201 Rochester, N.Y. 14626
(585) 271-5230

Fax: (585) 271-3488

E-mail: 

June 14, 2022

Henrietta Planning Board
Town of Henrietta
475 Calkins Road
Henrietta, New York 14467

RE: Queens Park Phase 3 Preliminary & Final Approval

Dear Board Members,

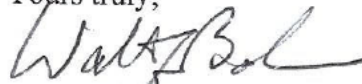
On behalf of our client, Forest Creek Equity Corp., we respectfully request to be placed on the July 19, 2022, Planning Board agenda. We are requesting Preliminary & Final Approval for Queens Park Phase 3 Approval for 4 Residential Lots.

Enclosed please find the following items for your review and approval with respect to the above referenced project:

- Eight (8) Letters of Intent
- Eight (8) Application Form
- Eight (8) Final Plans
- \$150.00 Application Fee
- \$500.00 Review Fee
- Electronic copy of application and plans will be emailed

We appreciate your consideration on this matter, and if you have any questions prior to the Board meeting, please contact me at 271-5230.

Yours truly,



Walter F. Baker
Engineering Manager
Cc: Forest Creek Equity Corp.



TOWN OF HENRIETTA
Subdivision Application To Planning Board

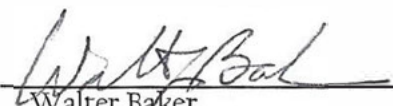
APPLICATION NO. _____

DATE: _____

APPLICATION IS HEREBY MADE TO THE PLANNING BOARD OF THE TOWN OF
HENRIETTA FOR THE APPROVAL OF Queens Park Subdivision, Phase 3
(Subdivision)
as shown on a map prepared by DSB Engineers
(Engineers)
Dated 6/2022, consisting of 4 Lots, pursuant to
Section (276 []), or (278 [x]) Town Law, and for permission to file said map, in sections as
shown on said map, for property located at:

Martin Road, Henrietta NY

Tax Account No. 188.03-01-52.006

Agent/Applicant: DSB Engineers
Address: 2394 Ridgeway Avenue
Rochester, NY 14626
Phone #: (585) 271-5230
Signature: 
Walter Baker

*Town Law – check one above

276 – Standard subdivision, standard zoning

277 – Standard subdivision, standard zoning with land provided for a park or a sum of money for playground or recreational purposes as determined by the Town Board.

278 – Cluster Development Subdivision, smaller lot sizes permitted, with common open areas, same density as standard subdivision.

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:


- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: DSB Engineers

By: Walter Baker

Title: Project Manager

Dated: June 14, 2022


Signed: 

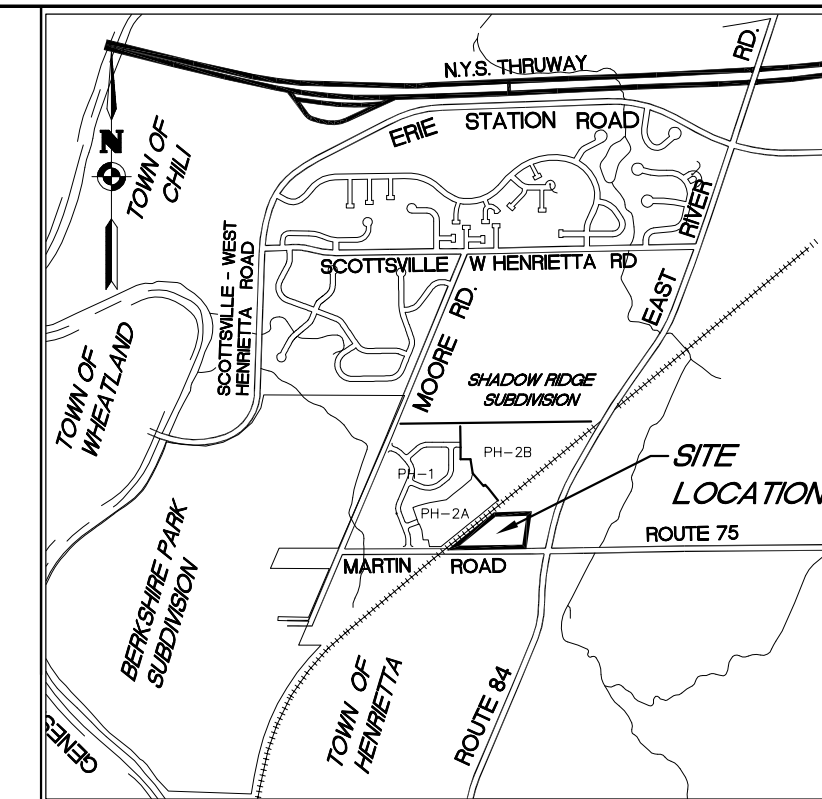
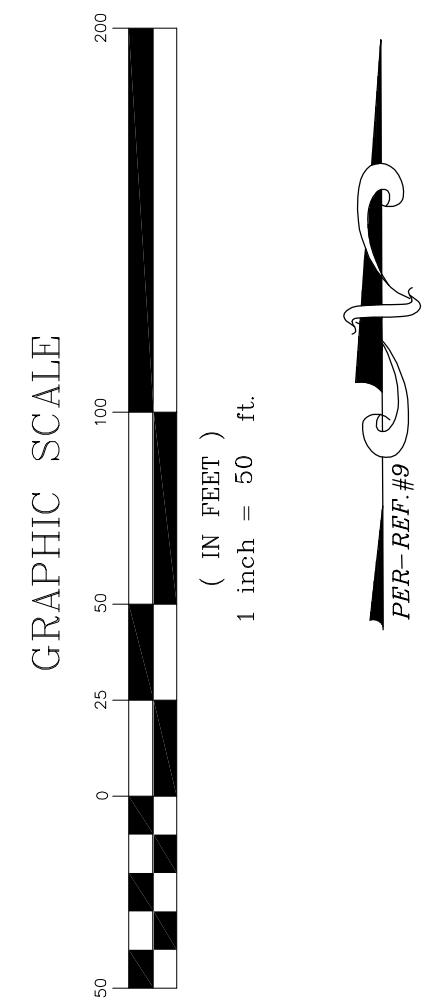
Owner: Forest Creek Equity Corp.

By: Bernard Iacovangelo

Title: Pres.

Dated: June 14, 2022

Signed: 



LOCATION SKETCH
N.T.S.

LEGEND:

---	BOUNDARY LINE
---	CENTERLINE OF ROAD
---	EXIST. R.O.W. LINE
---	EXIST. PROPERTY LINE
---	EXIST. PAVEMENT
---	PROP. R.O.W.
---	PROP. LOT LINE
---	SETBACK LINE
---	EXIST. BUILDING LINE
---	EXIST. EASEMENT LINE
---	PROP. EASEMENT LINE
---	LOT NUMBER

SITE DATA:

- TAX ACCT. NO'S. 188.03-01-052.006
- PARCEL AREA: 9.004 AC.
- ZONING: EXISTING: RR-2 (RURAL RESIDENTIAL WITH WATER AND SEWER); PROPOSED: RR WITH WATER AND SEWER
- PROPOSED USE: 4 SINGLE FAMILY HOMES
- ZONING REQUIREMENTS:

LOT TYPE	RESIDENTIAL
LOT WIDTH (MIN.)	80'
LOT SIZE (MIN.)	87,120 S.F., 2 AC.
SET BACK:	
FRONT	30' MIN.
SIDE	10' AND 15' MIN.
REAR	30' MIN.

INDEX OF DRAWINGS:

DRAWING NO.	DRAWING NAME
1	PLAT PLAN
2	UTILITY & PROFILE PLAN
3	GRADING & EROSION CONTROL PLAN
4	DETAILS & NOTES
5	DETAILS & NOTES
6	DETAILS & NOTES
7	DETAILS & NOTES

CONDITIONS OF APPROVAL MONROE COUNTY DEPT. OF HEALTH

- THAT THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE INSTALLED IN CONFORMITY WITH SAID PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF HEALTH.
- THAT NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.
- THAT AN ORIGINAL SUBDIVISION MAP AS APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
- THAT THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN, OR IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS BUILT" PLAN DEPICTING ALL INSTALLED SANITARY FACILITIES, INCLUDING SEWAGE, STORM WATER, AND WATER SUPPLY.
- THAT ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION, IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDOC SPDES GENERAL PERMIT 0-10-001 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES WILL BE OBTAINED.

GENERAL NOTES:

- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA SANITARY SEWER DISTRICT #94.
- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA CONSOLIDATED DRAINAGE DISTRICT.
- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA WATER DISTRICT #72.
- OVERALL SUBDIVISION PARCEL IS LOCATED WITHIN HENRIETTA LIGHTING DISTRICT #12.
- ONE STREET TREE SHALL BE PROVIDED PER LOT.
- THE OVERALL SUBDIVISION PARCEL IS WITHIN AN AGRICULTURAL DISTRICT AND SHALL CONFORM TO SECTION 283-A OF NEW YORK STATE LAW AND ARTICLE 25-A OF NEW YORK STATE AGRICULTURAL AND MARKETS LAW.
- FUTURE RESIDENTS OF THIS SITE MAY BE SUBJECT TO NOISE, DUST, GOODS AND OTHER CONDITIONS WHICH ROUTINELY RESULT FROM AGRICULTURAL ACTIVITIES. THE FARMER HAS THE RIGHT TO CONDUCT THESE ACTIVITIES AS LONG AS THE CONDITIONS DO NOT AFFECT PUBLIC HEALTH AND SAFETY.
- THE DEVELOPMENT OF THIS PROPERTY WILL NOT ALTER EXISTING DRAINAGE FACILITIES USED BY ADJACENT FARMING OPERATIONS.
- ROOF DOWNSPOUTS SHALL NOT BE CONNECTED TO THE STORM SEWER SYSTEM.
- THESE LANDS ARE IN FLOOD ZONE X AS PER PANEL NO. 339, MAP 3605003390, EFFECTIVE DATE 8/26/08.

SEWER USE LAW NOTE:

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

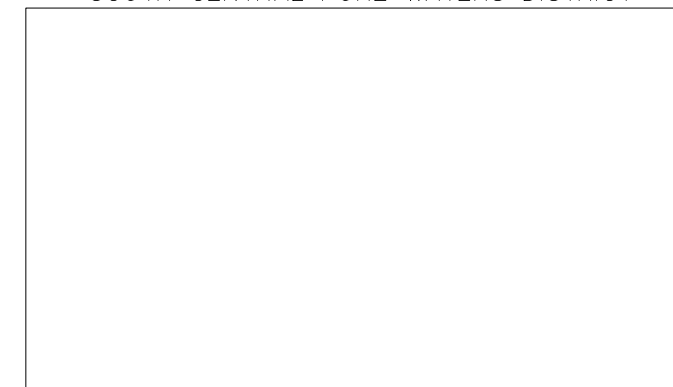
SOUTH CENTRAL PURE WATERS DISTRICT EASEMENT NOTE:

ALL EXISTING AND/OR PROPOSED SOUTH CENTRAL PURE WATERS DISTRICT EASEMENTS ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF PROJECT TO ENSURE THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN DISTRICT EASEMENTS. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE IBSP/WD.

MONROE COUNTY SURVEYORS OFFICE



IRONDEQUOT BAY SOUTH CENTRAL PURE WATERS DISTRICT



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I, DOUGLAS MAGDE LAND SURVEYOR, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON JULY 1, 2008 AND FROM THE REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049957

Monroe County Department of Public Health

These plans for Public Water System Facility / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval
Director of Public Health

By Public Health Engineer Date



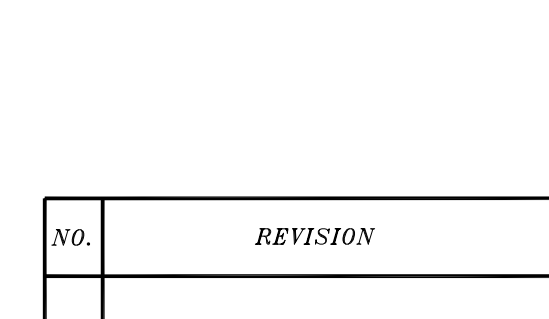
Monroe County Department of Public Health
Realty Subdivision Approval
This is to certify that approved plans for Water Supply and Sewage Disposal for this project are on file in the office of the Monroe County Department of Public Health. Consent is hereby given for the filing of this map in the Monroe County Clerk's Office in accordance with Article III of the Monroe County Sanitary Code
Director of Public Health

By Public Health Engineer Date

Monroe County Department of Public Health

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval
Director of Public Health

By Public Health Engineer Date



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By Public Health Engineer Date

APPROVED BY: _____ DATE: _____
DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY: _____ DATE: _____
DRAINAGE AND SEWERS DEPARTMENT

APPROVED BY: _____ DATE: _____
DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

APPROVED BY: _____ DATE: _____
FIRE MARSHAL

APPROVED BY: _____ DATE: _____
MONROE COUNTY WTER AUTHORITY

NO.	REVISION	DATE



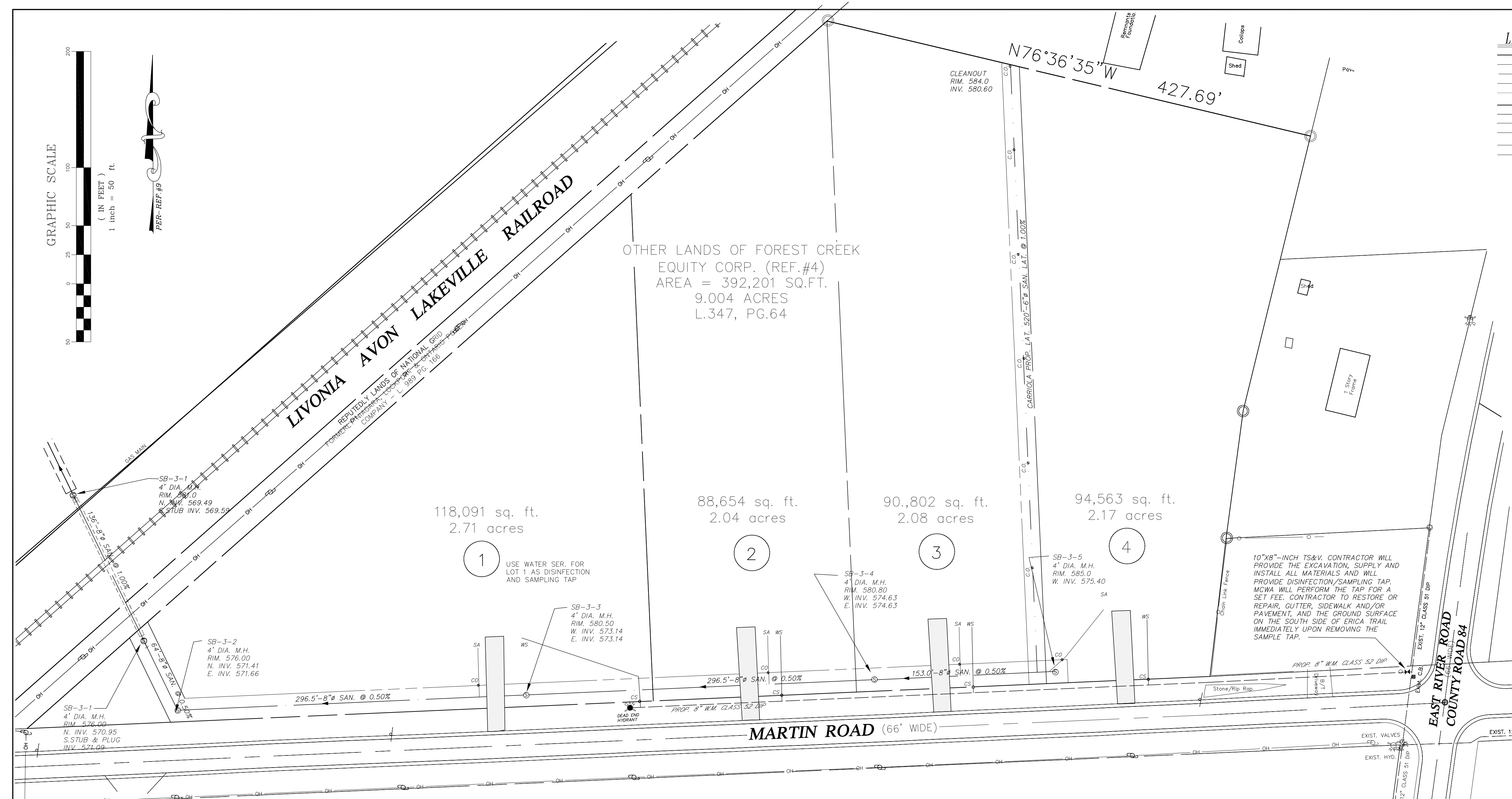
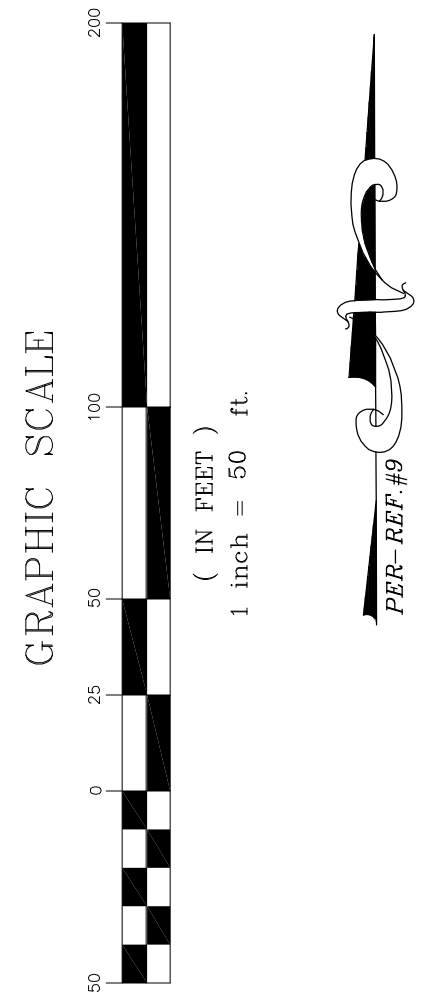
DSB Engineers and Architects, P.C.
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
ph. 585-271-5230 fax 585-271-3488

PROJECT: QUEENS PARK SUBDIVISION
BEING PART OF TOWN LOTS 13 14 6TH RANGE SCOTT TRACT, TOWNSHIP 12, RANGE 7 PHILIPS & GORHAM PURCHASE, TOWNSHIP OF HENRIETTA, MONROE COUNTY, NEW YORK

DRAWING TITLE: SUBDIVISION PLAT PLAN PHASE 3

CLIENT: FOREST CREEK EQUITY CORP.
3240 CHILI AVENUE
ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-0622	N.E.S.	W.F.B.	D.E.S.	6/10/22	1" = 50'	1 OF 7



Monroe County Department of Public Health
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 Public Health Engineer

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Director of Public Health

By _____ Date _____
 Public Health Engineer

IRONDEQUOT BAY
 SOUTH CENTRAL PURE WATERS DISTRICT

APPROVED BY: _____ DATE: _____
 DIRECTOR OF ENGINEERING AND PLANNING

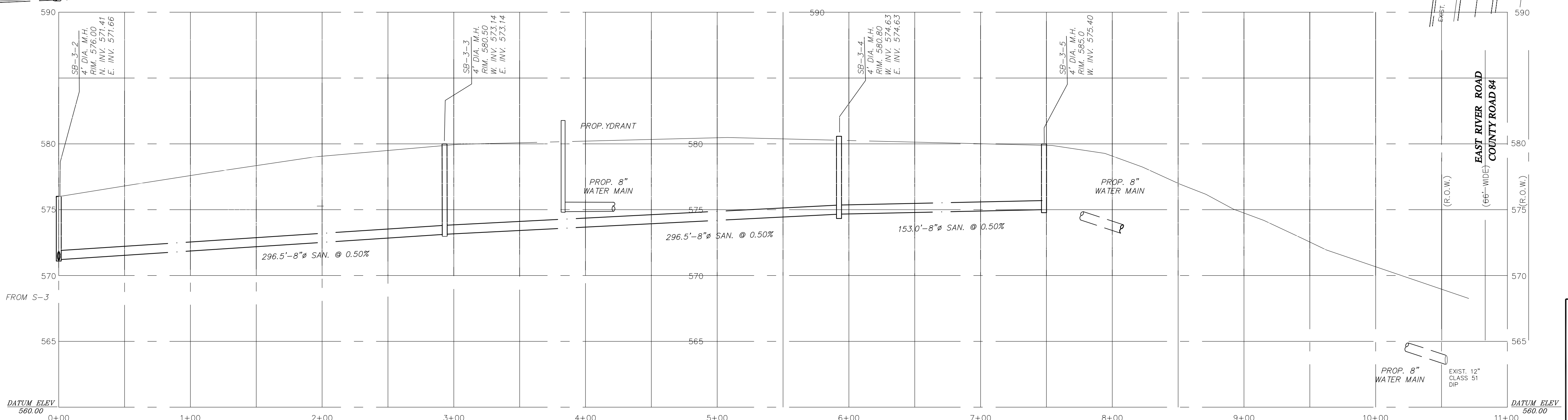
APPROVED BY: _____ DATE: _____
 DRAINAGE AND SEWERS DEPARTMENT

APPROVED BY: _____ DATE: _____
 DIRECTOR OF BUILDING AND FIRE PREVENTION


APPROVED BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS

APPROVED BY: _____ DATE: _____
 FIRE MARSHAL

APPROVED BY: _____ DATE: _____
 MONROE COUNTY WTR AUTHORITY



NO.	REVISION	DATE



DSB Engineers and Architects, P.C.
 2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
 ph. 585-271-5230 fax 585-271-3488

PROJECT QUEENS PARK SUBDIVISION
 BEING PART OF TOWN LOTS 13, 14, 6TH RANGE SCOTT TRACT; TOWNSHIP 12, RANGE 7
 PHELPS & CORHAM PURCHASE; TOWN OF HENRIETTA; MONROE COUNTY, NEW YORK

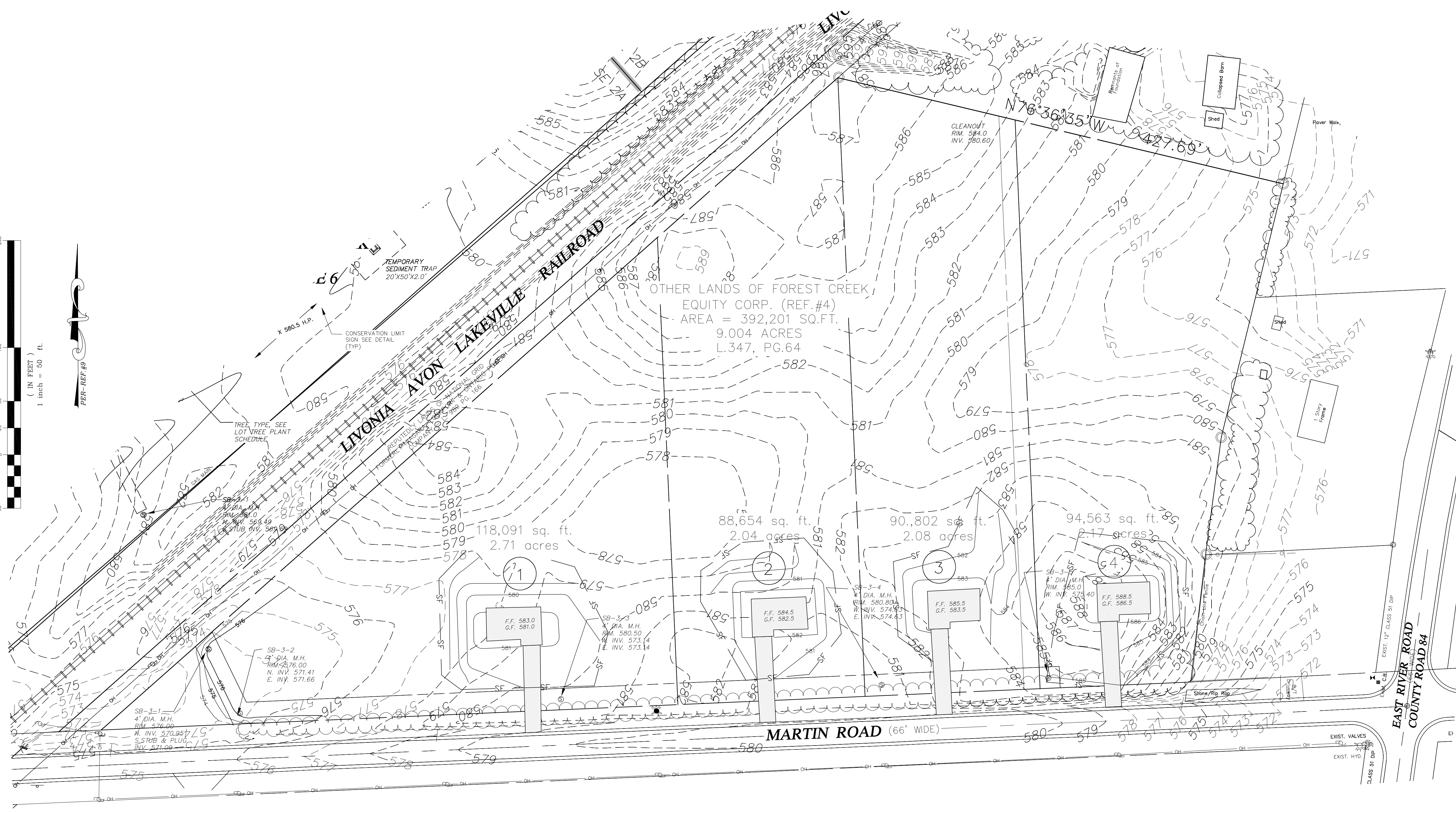
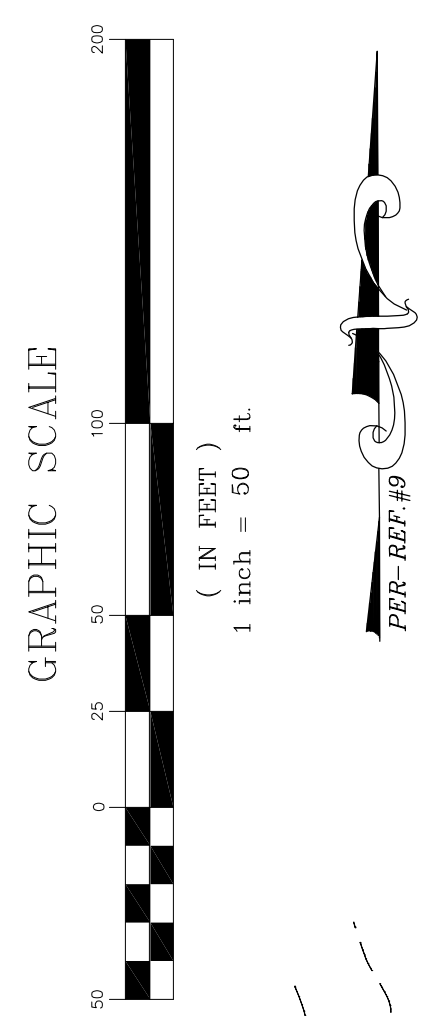
DRAWING TITLE UTILITY & PROFILE PLAN
 PHASE 3

CLIENT FOREST CREEK EQUITY CORP.
 3240 CHILLI AVENUE
 ROCHESTER, N.Y. 14624

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22-0622	N.E.S.	W.F.B.	D.E.S.	6/10/22	1" = 50'	2 OF 7

LEGEND:

---	BOUNDARY LINE
---	CENTERLINE OF ROAD
---	EXIST. R.O.W. LINE
---	EXIST. PROPERTY LINE
---	EXIST. PAVEMENT
---	PROP. R.O.W.
---	PROP. LOT LINE
---	SETBACK LINE
---	EXIST. BUILDING LINE
---	EXIST. EASEMENT LINE
---	PROP. EASEMENT LINE
---	EXIST. CONTOUR LINE
---	PROP. CONTOUR LINE
641	PROP. SPOT ELEVATION
+ 641.5	PROP. SPOT ELEVATION
SF	PROP. SILT FENCE
(O)	LOT TREE



PROJECT BENCHMARK:
 SANITARY M.H. RIM
 ELEV. 573.24 NAVD 88
 CANDLEFORD HEIGHTS
 STA. 2+65; 31'RT.

- GRADING NOTES**
- SHOULD FARM TILES BE ENCOUNTERED DURING EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE TOWN INSPECTOR AND PROJECT ENGINEER FOR DETERMINATION OF TILES DISPOSITION (REMOVAL, PLUG, OR CONNECT TO THE STORM SEWER SYSTEM).
 - CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL DEVICES AS DIRECTED BY THE TOWN AND PROJECT ENGINEER.
 - SEE STORM WATER POLLUTION PREVENTION PLAN FOR OVERALL SUBDIVISION GRADING.
 - SEE DETAILS AND NOTES FOR GRADING AND EROSION CONTROL NOTES.
 - ALL TEMPORARY SEDIMENT TRAPS/SINKS DEEPER THAN 1.5' SHALL BE PROTECTED BY ORANGE CONSTRUCTION FENCE AROUND THE ENTIRE PERIMETER OF THE SEDIMENT SINK, INCLUDING PONDS.

CERTIFICATION OF COMPLIANCE WITH SPDES GENERAL PERMIT # GP-0-20-001

THE STORMWATER POLLUTION PREVENTION PLANS REFLECT COLLEGE REQUIREMENTS FOR STORMWATER MANAGEMENT AND SEDIMENT CONTROL. TO ENSURE COMPLIANCE, THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. OTHER APPLICABLE REQUIREMENTS FOR SEDIMENT AND EROSION SITE PLANS (OR PERMITS), OR STORMWATER MANAGEMENT SITE PLANS (OR PERMITS) WILL BE ADHERED TO. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

I HERBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I UNDERSTAND THAT CERTIFYING FALSE, INACCURATE OR INCOMPLETE INFORMATION IS A VIOLATION OF THE REFERENCED PERMIT AND THE LAWS OF THE STATE OF NEW YORK AND COULD SUBJECT ME TO CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PROCEEDINGS.

OWNER/OPERATOR(S): _____ DATE: _____
 CONTRACTOR(S): _____ DATE: _____

LOT TREE PLANT SCHEDULE

QUANT.	KEY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT
DECIDUOUS SHADE TREE				
4	CM	Acer x. 'Freemanii'	Celebration Maple	2"-2.5" cal BB
4	RO	Quercus Rubra	Red Oak	2"-2.5" cal BB
ALTERNATE	PC	Pyrus Cteryana	Cleveland Pear	2"-2.5" cal BB
ALTERNATE	GT	Riedtsia Trianthos	Sunburst Locust	2"-2.5" cal BB
ALTERNATE	CO	Celtis Occidentalis	Common Hackberry	2"-2.5" cal BB

NOTE: LOT TREES (FRONT YARD AREA) SHALL BE AS SHOWN ON THE PLAN, OUTSIDE UTILITY EASEMENT GENERALLY EVERY LOT, WILL RECEIVE TWO 2" - 2.5" CAL. DECIDUOUS TREES, ALTERNATING SPECIES

NO.	REVISION	DATE



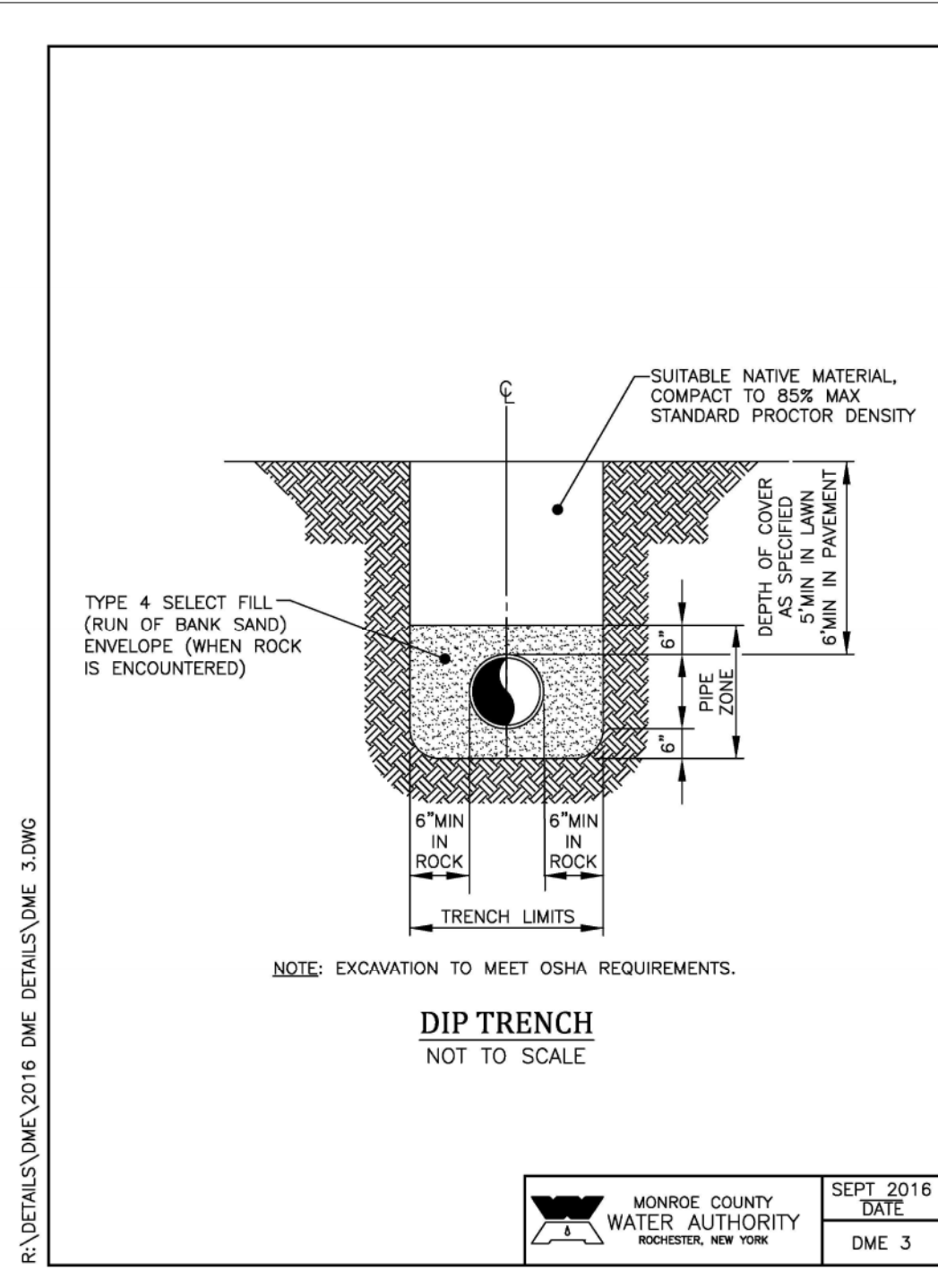
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 PHELPS & GORHAM PURCHASE; TOWN OF HENRIETTA; MONROE COUNTY; NEW YORK

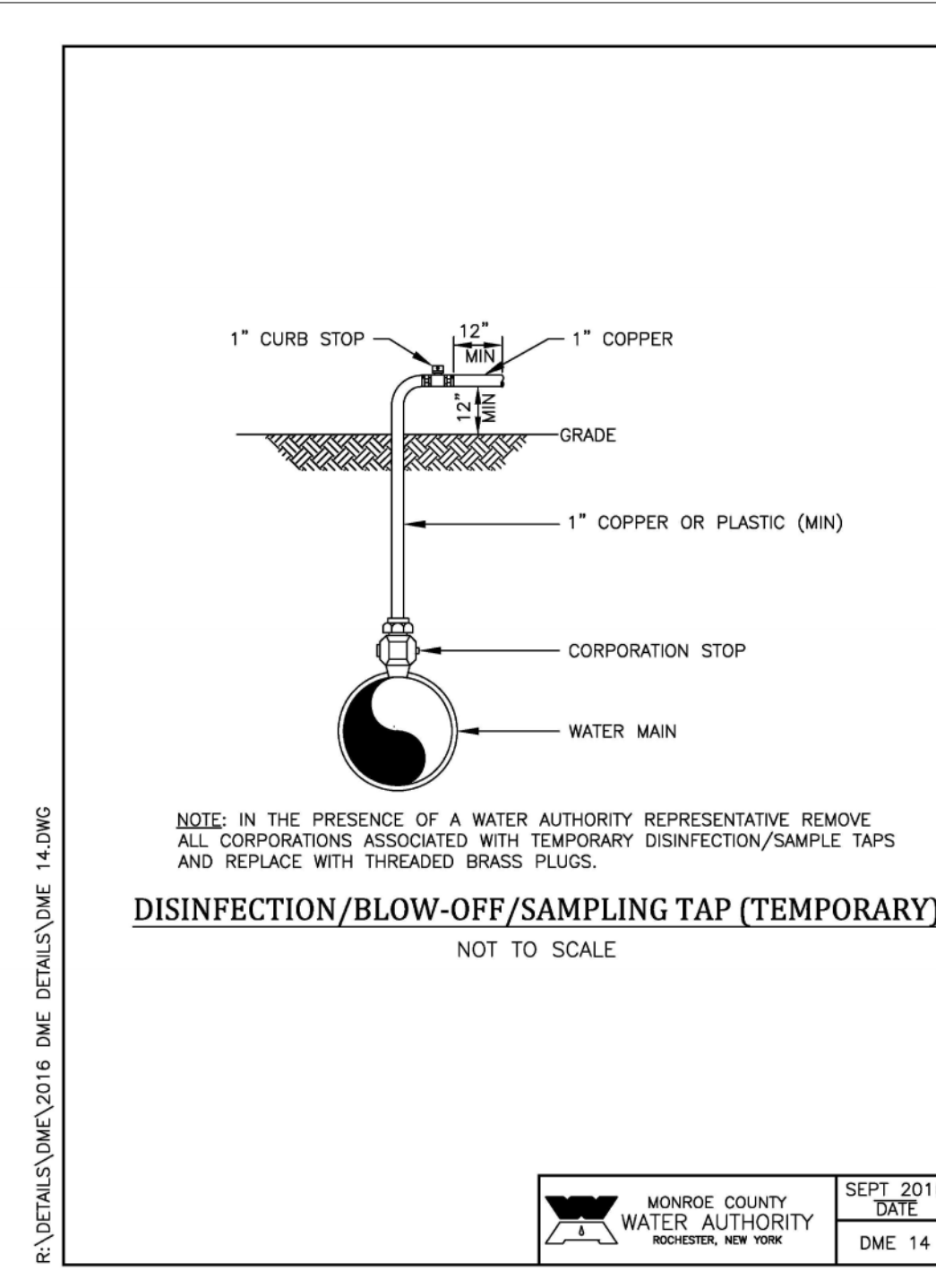
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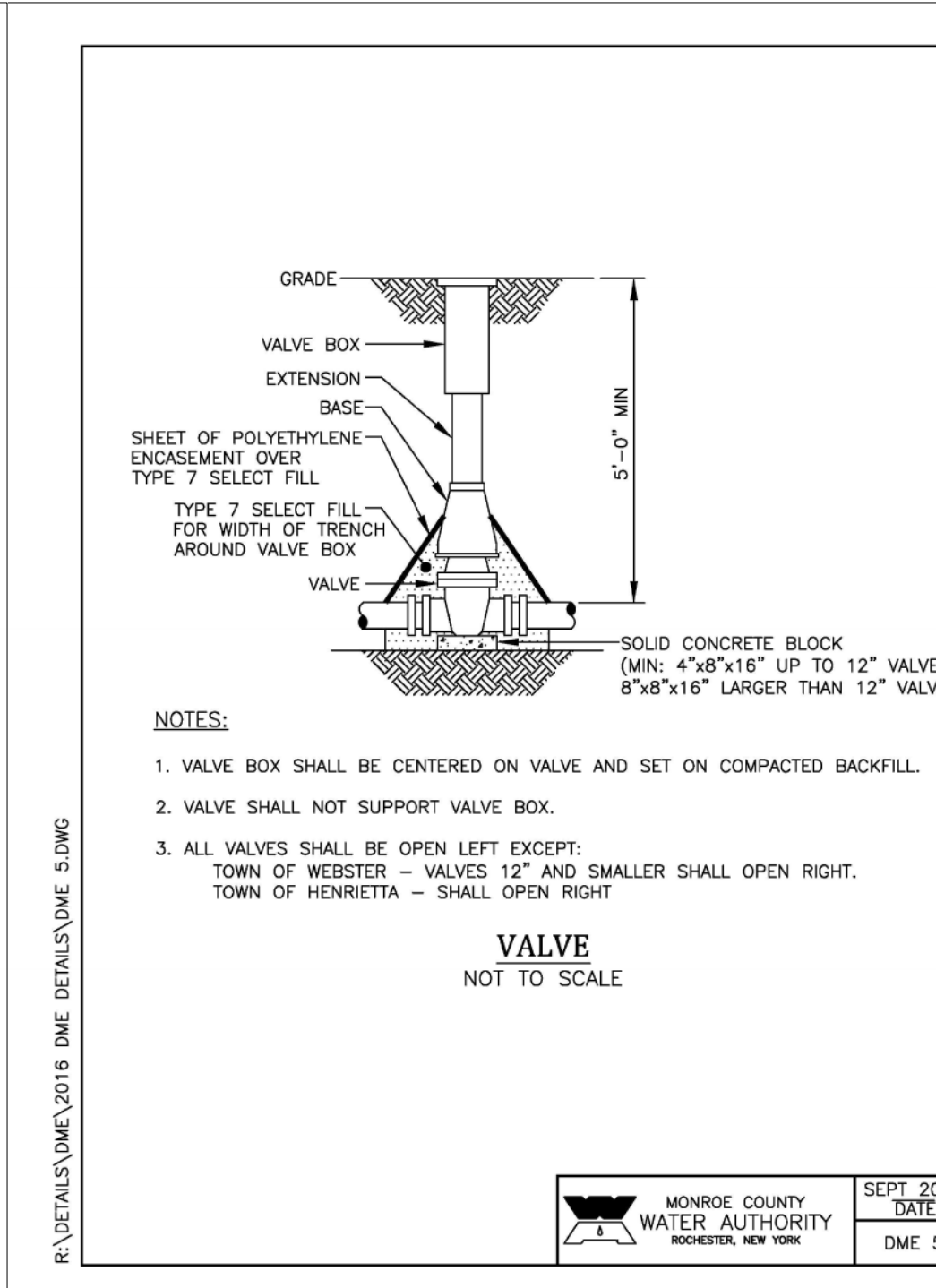
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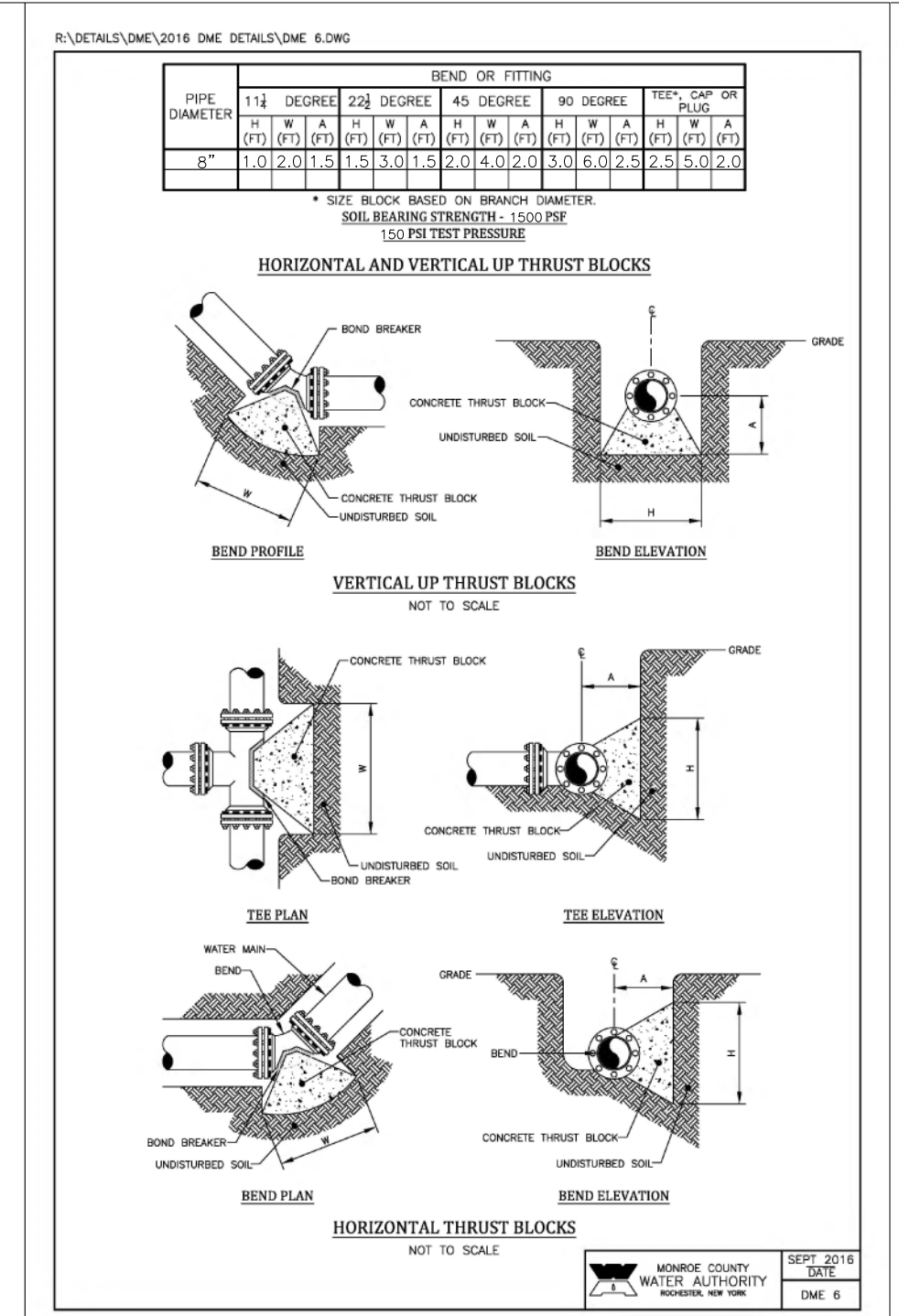
MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 3
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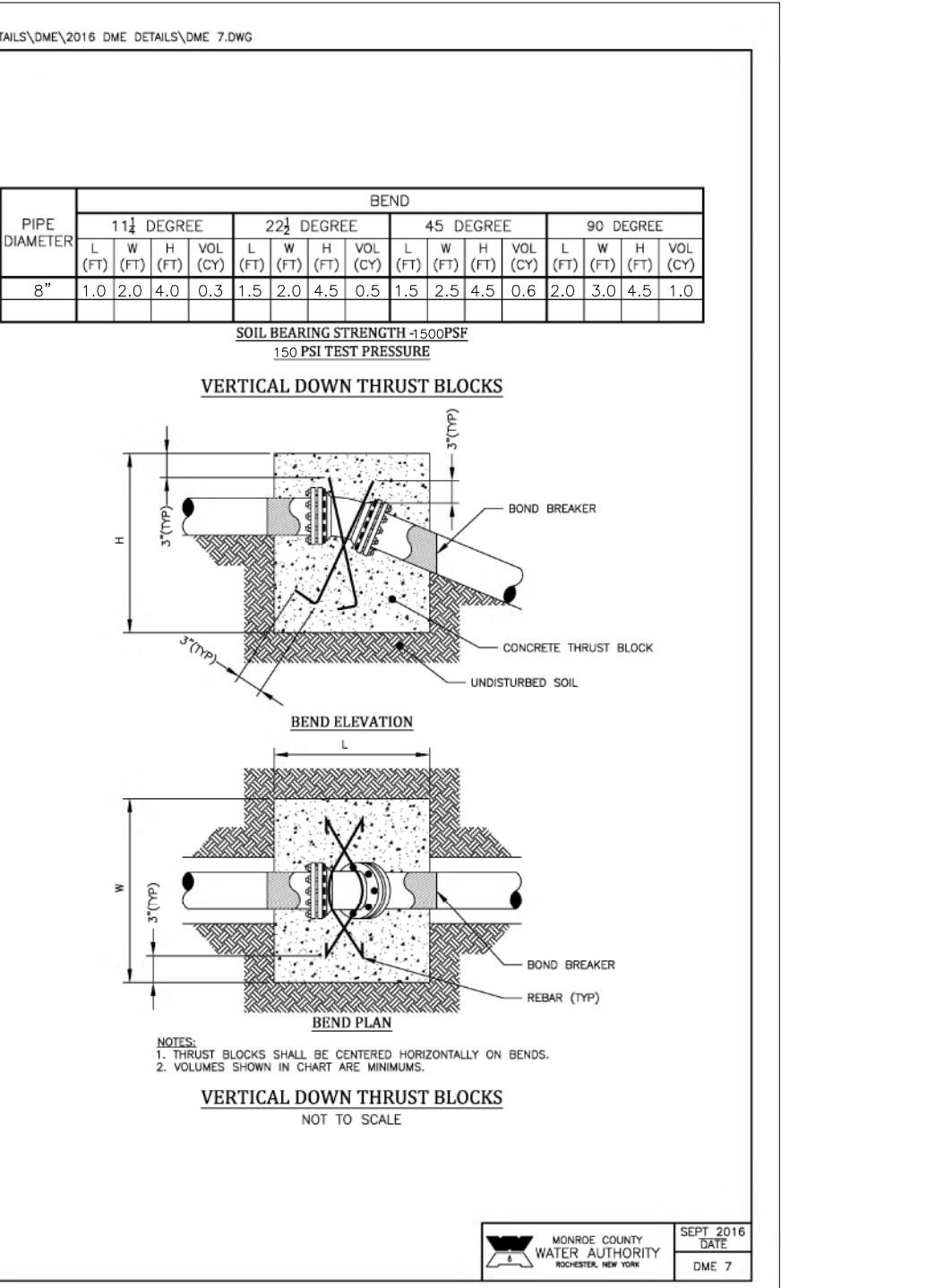
MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 14
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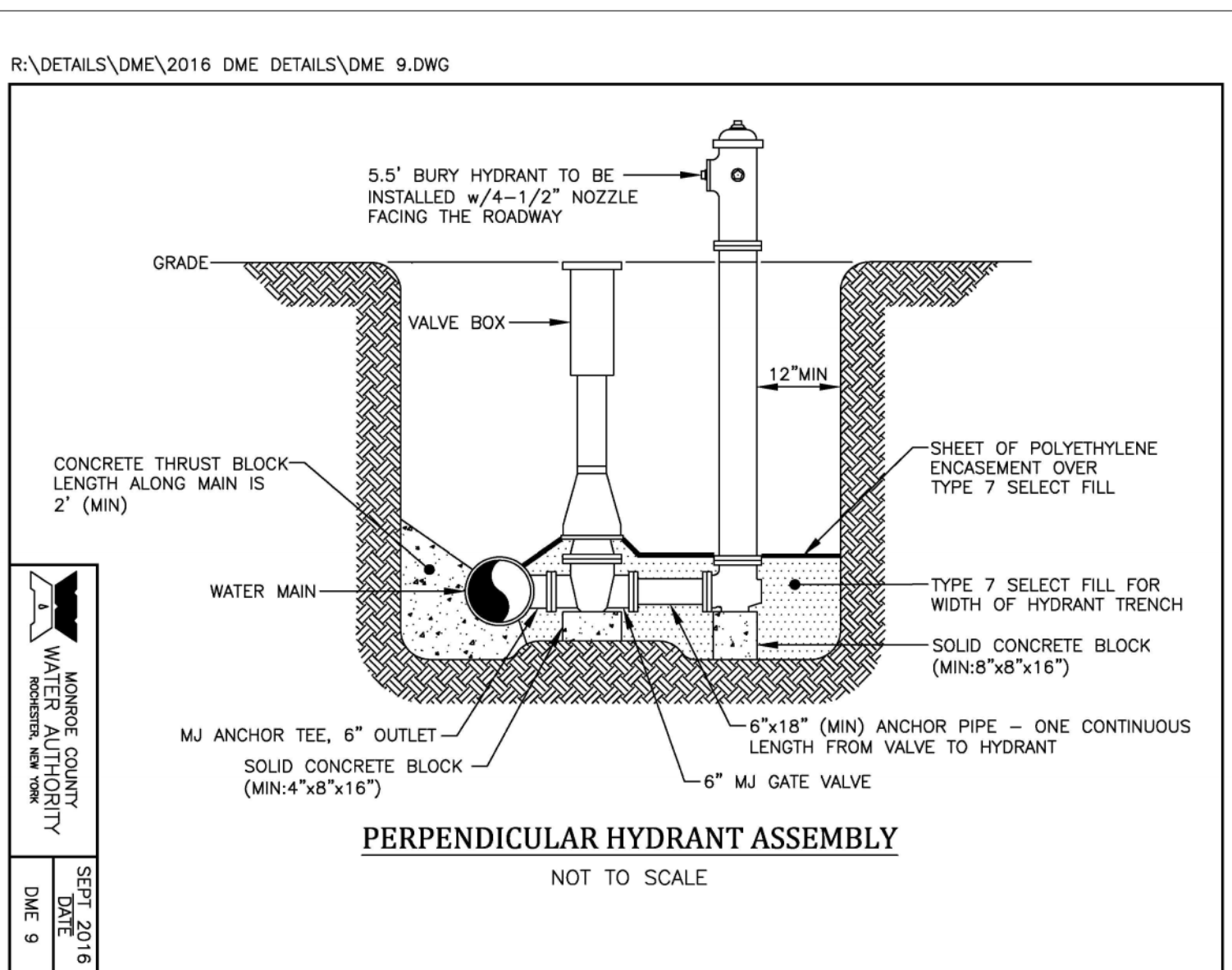
MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 5
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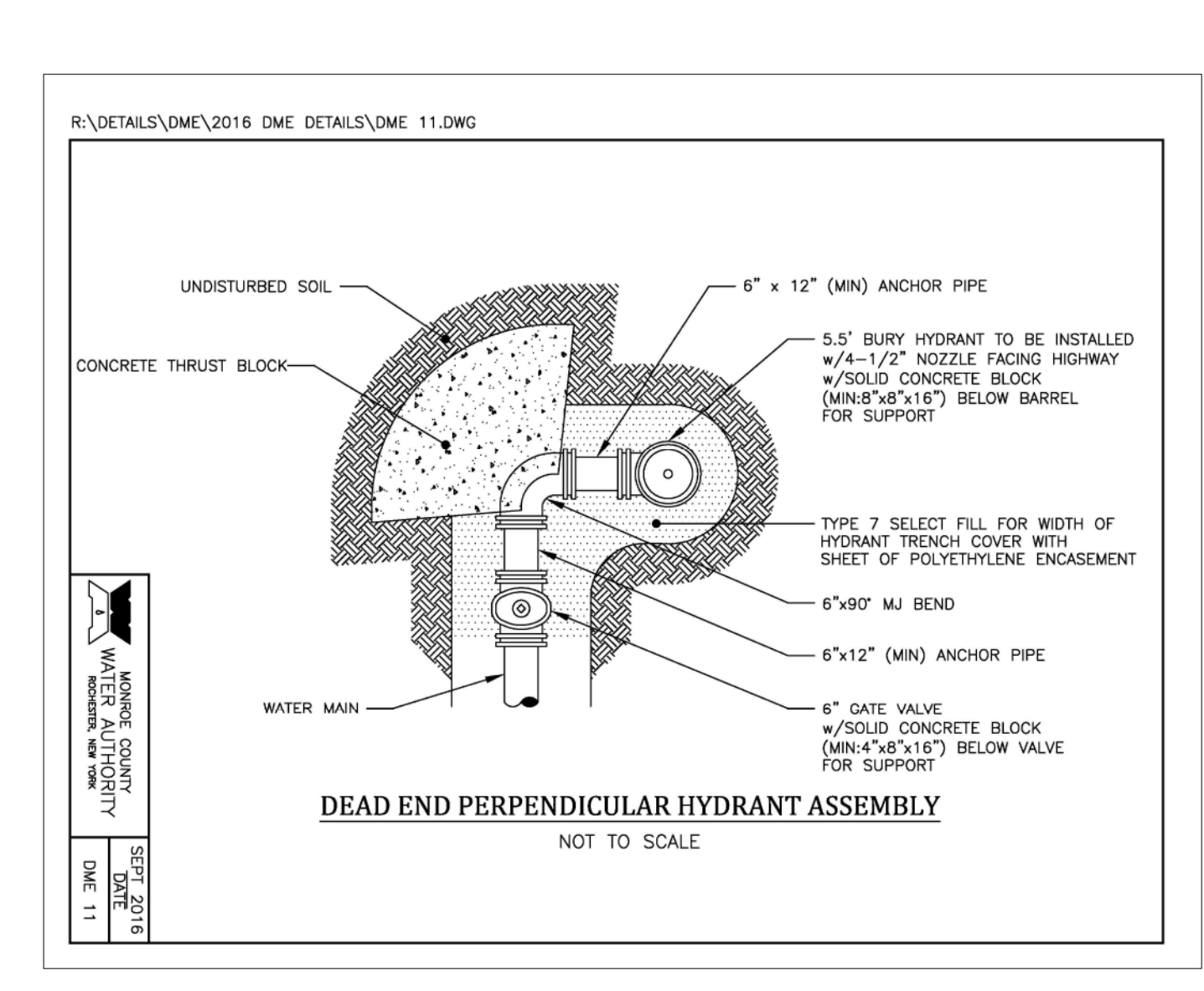
MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 6
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 7
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 9
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE DME 11
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PUBLIC WATER SYSTEM NOTES

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority.

Material:

- Water main(s) shall be 8-inch ductile iron cement-lined Class 52.
- Water service(s) shall be 1-inch Type K Copper from the water main to the curb box and 1-inch Type K soft Copper to the curb box to the meter.
- Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.

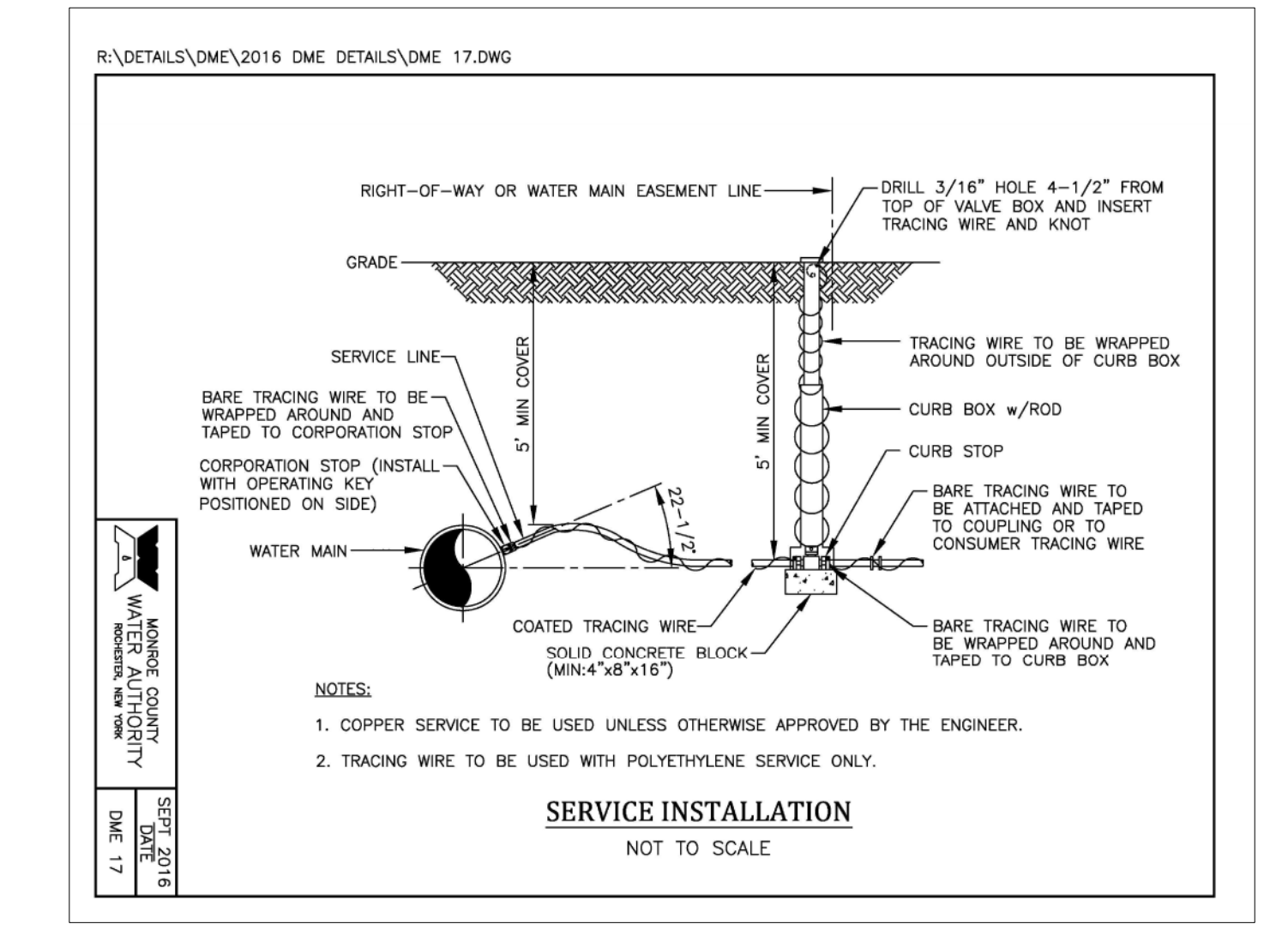
Tests:

- Soil Test.** The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWS C105/AZI 5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test.** Water mains to be pressure tested in accordance with the latest Water Authority specifications. A Water Authority representative must witness this test.
- Health Sample.** The water main shall be disinfected equal to AWWA Standard Specifications, designation C-651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Monroe County Health Department. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.

Installation:

- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
- Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipes at the point of crossing. Minimum horizontal separation between water mains and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All mechanical joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.

MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2017 DATE DME 28
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MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2017 DATE DME 17
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NO.	REVISION	APP.	DATE

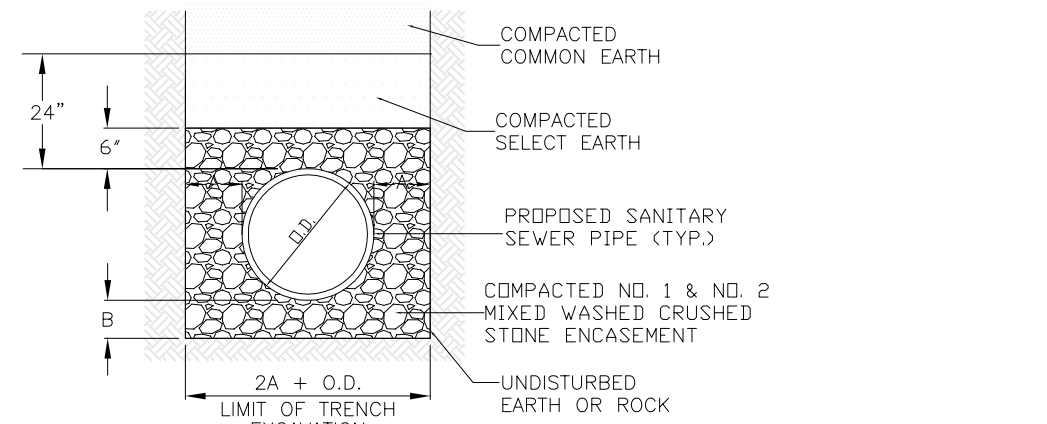
DSB Engineers and Architects, P.C.
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
ph. 585-471-5230 fax 585-471-3488

PROJECT
QUEENS PARK PHASE 3 SUBDIVISION

DRAWING TITLE
DETAILS AND NOTES

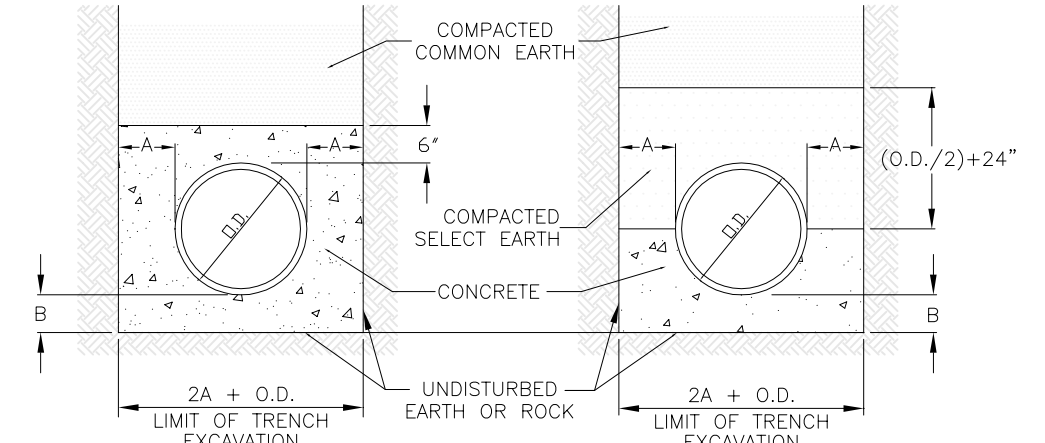
CLIENT
FOREST CREEK EQUITY CORP.
3240 CHILI AVENUE
ROCHESTER, N.Y. 14624

PROJ. No. 22-0622 **DESIGN BY** N.E.S. **DATE** 6/15/22 **SCALE** NTS **DWG. No.** 9 OF 7

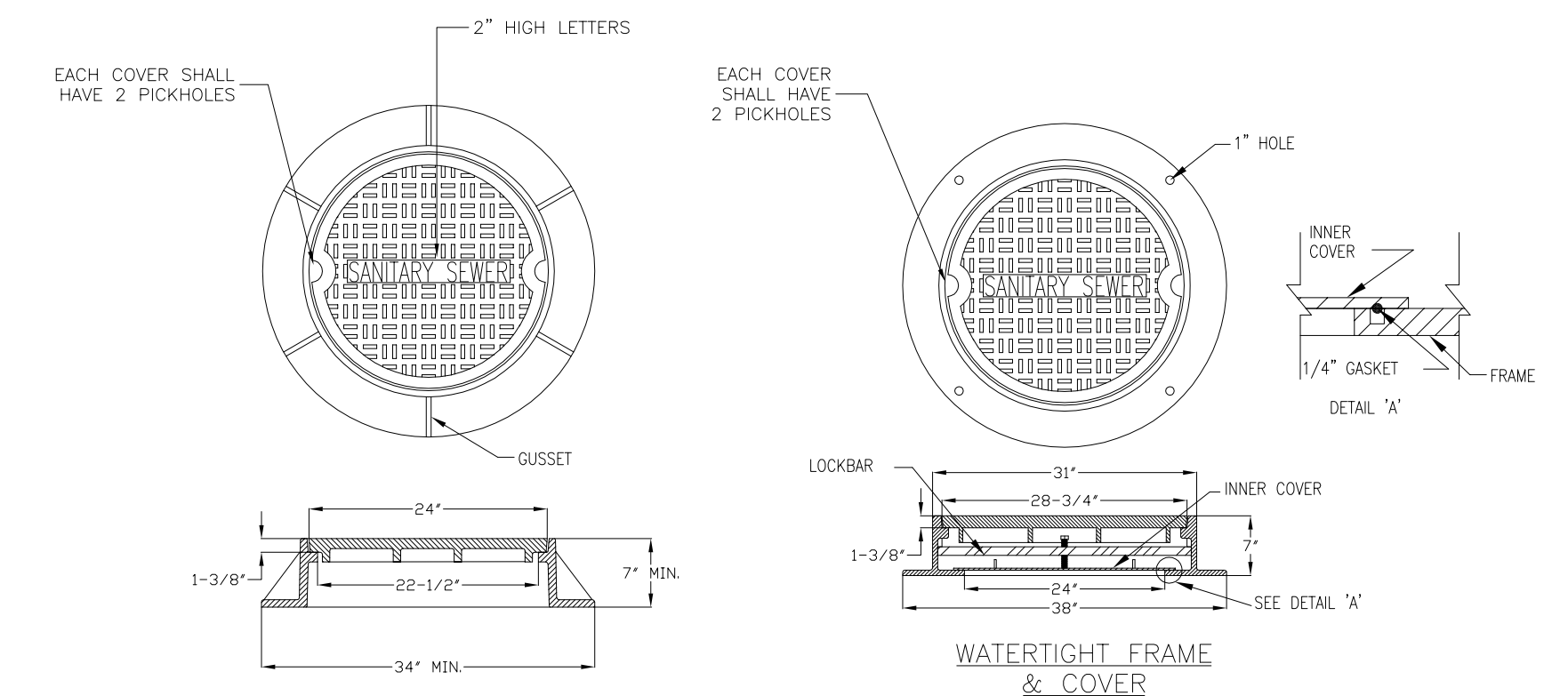


PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

TYPICAL SANITARY BEDDING DETAIL



CONCRETE ENCASEMENT CONCRETE CRADLE



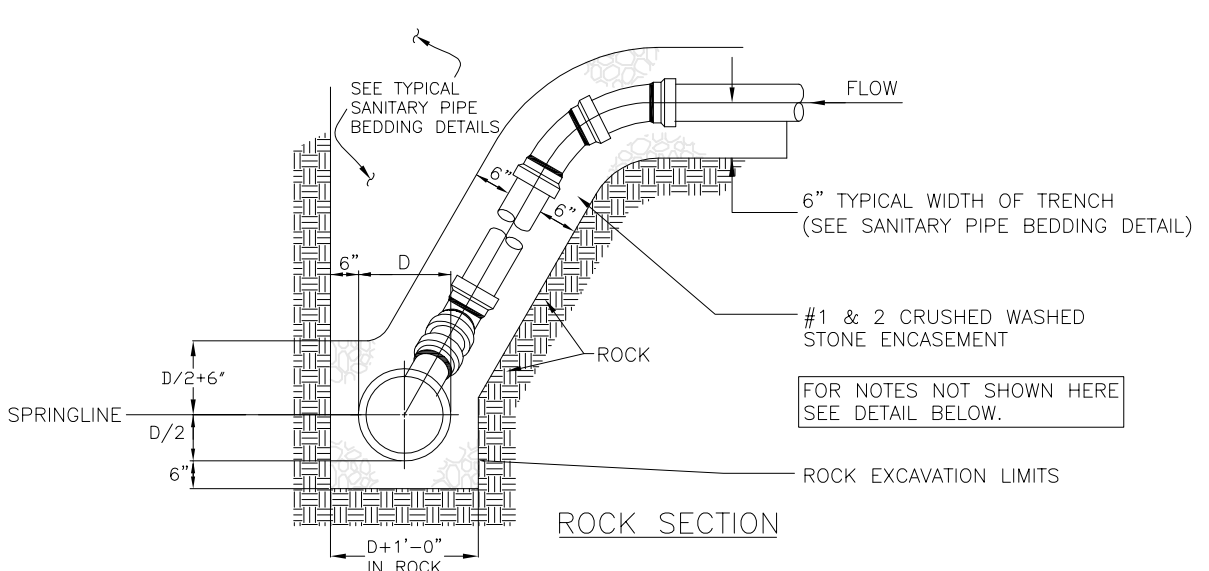
SANITARY MANHOLE FRAME AND COVER

- NOTES:
- ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
 - ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
 - SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
 - STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYSDDOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-9201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 - CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYSDDOT SECTION 501 SPECIFICATIONS.

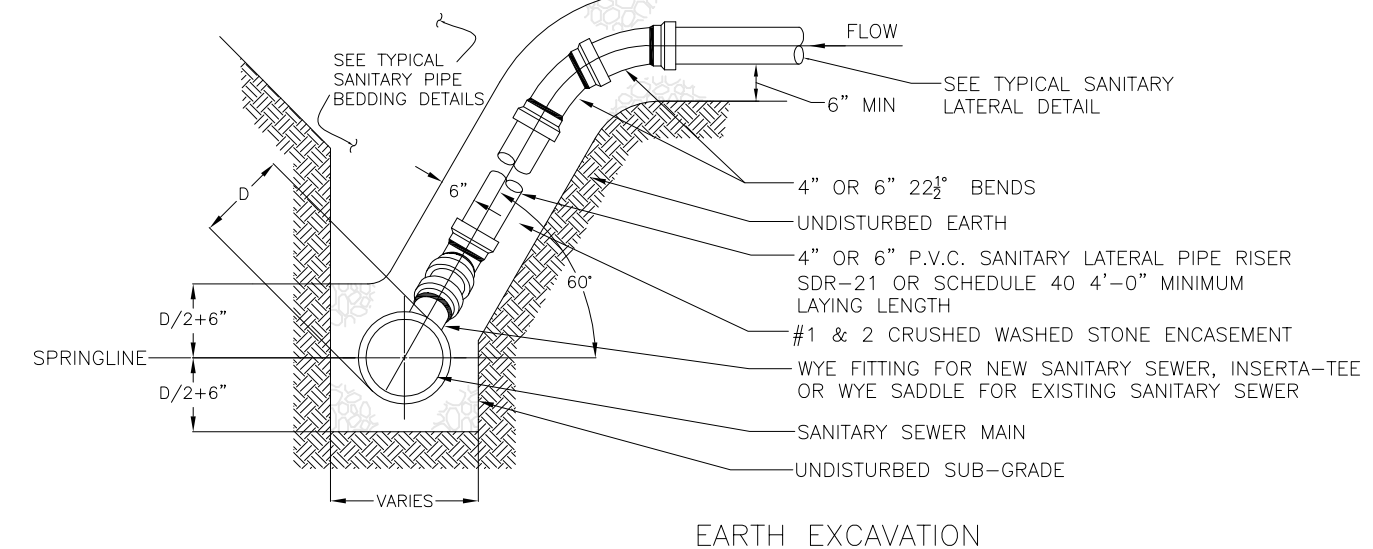
- NOTES:
- MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 30B.
 - HEAVY DUTY CASTING SHALL BE DESIGNED FOR A.A.S.H.T.O. H20-16 WHEEL LOADS.
 - THE STANDARD CASTING SHALL BE MODEL NO. 1032 & WATERTIGHT CASTING MODEL NO. 6545 AS MANUFACTURED BY SYRACUSE CASTING SALES CORP. OR APPROVED EQUAL.

SANITARY SEWER EXTENSION NOTES

- ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF HENRIETTA SANITARY SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
- SANITARY SEWER PIPE TO BE PVC SDR-35 SANITARY LATERAL PIPE TO BE PVC SDR-21.
- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- ALL NEW SANITARY SEWER WILL BE VIDEO TAPED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.



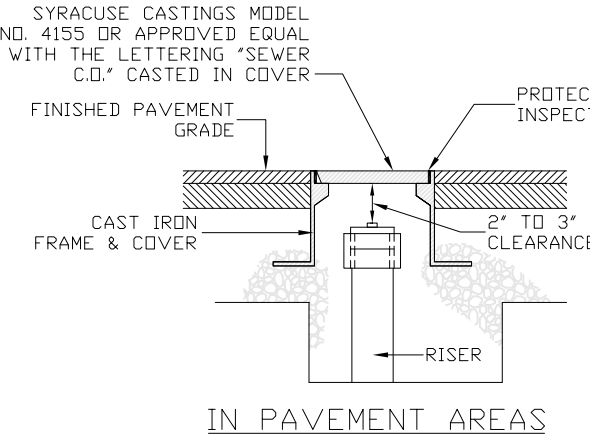
ROCK SECTION



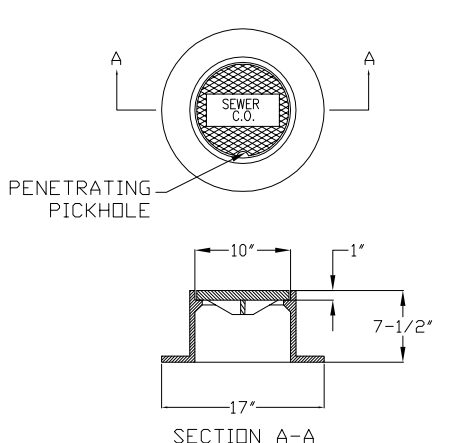
EARTH EXCAVATION

SANITARY LATERAL RISER DETAIL

NTS



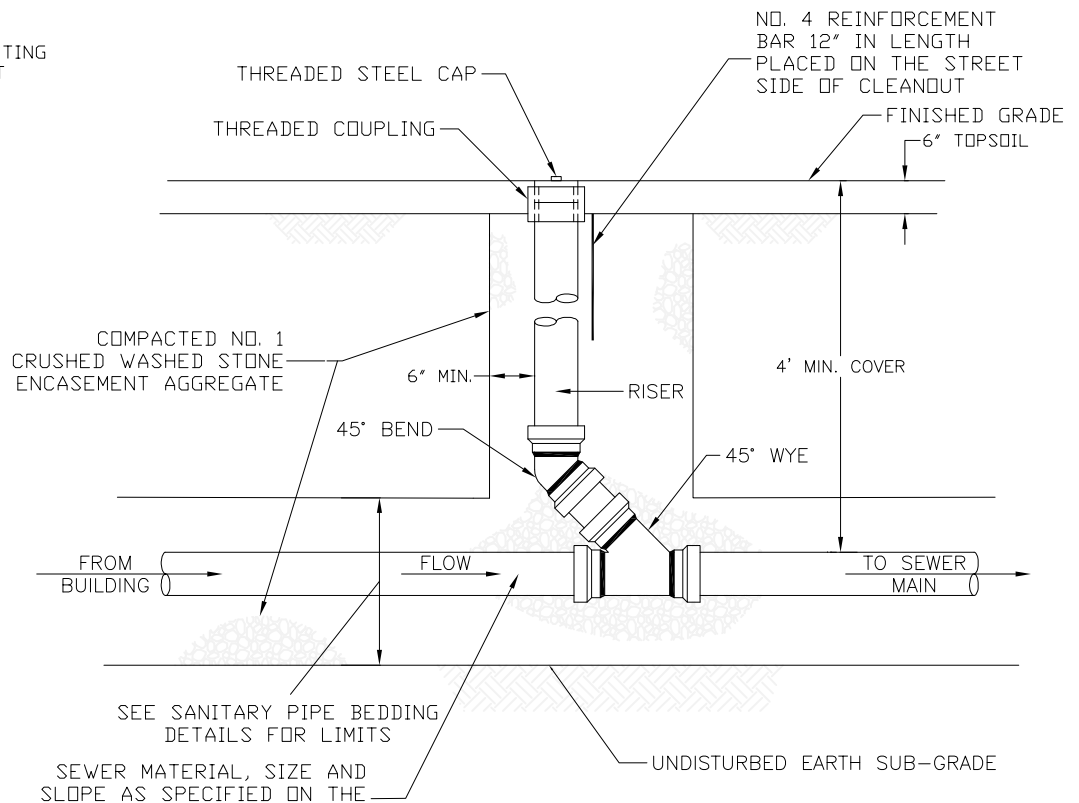
IN PAVEMENT AREAS



SECTION A-A

PROTECTIVE CASTING INSPECTION PORT

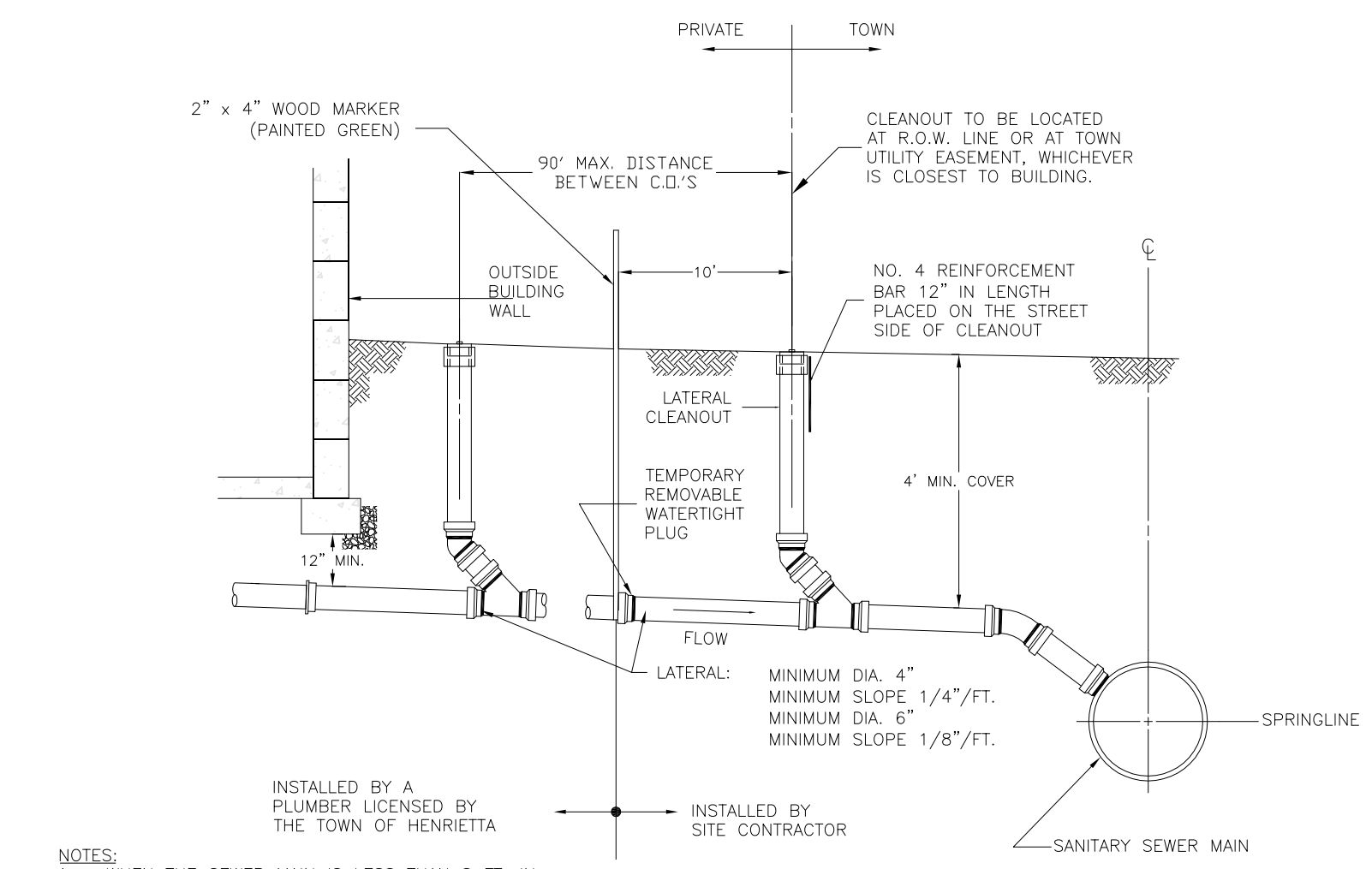
- NOTES:
- MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 30B.
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IN GRASS AREAS

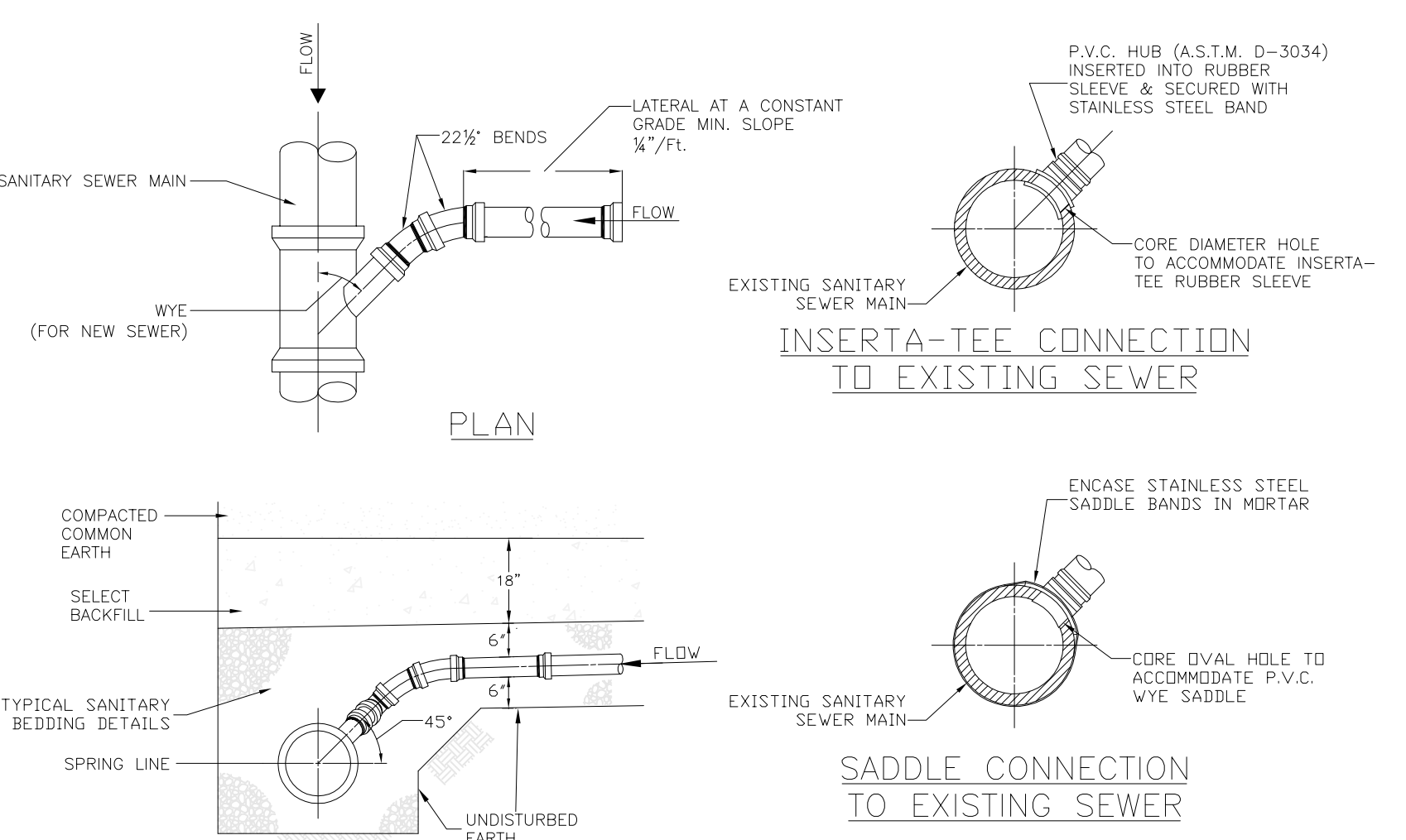
SANITARY LATERAL CLEANOUT

NTS



TYPICAL HOUSE SANITARY LATERAL PROFILE

NTS



SANITARY LATERAL CONNECTION DETAIL

NTS

SITE GENERAL NOTES:

- ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF HENRIETTA.
- ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND REGULATIONS SET FORTH BY THE TOWN OF HENRIETTA, N.Y.S.D.O.T. AND M.C.D.P.W.
- ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF HENRIETTA.
- THE PRESERVATION OF ALL THE MATURE TREES ON THE SITE WHERE POSSIBLE AND THE MARKING OF SAID TREES BY THE DEVELOPER'S ENGINEER OF TREES TO BE REMOVED PRIOR TO THE COMMENCING OF ANY SITE WORK.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
- ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
- A RECORD UTILITY PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. THIS PLAN SHALL INDICATE ALL UTILITY IMPROVEMENTS INCLUDING WATER VALVES, HYDRANTS, MANHOLES, PIPE RUNS AND SURFACE FEATURES SUCH AS GUTTERS, CURBS, ETC. IN ACCORDANCE WITH THE TOWN'S RECORD DRAWING REQUIREMENTS FOR UTILITIES. INDIVIDUAL LOT UTILITY SERVICE MAPS SHALL BE PROVIDED TO THE TOWN'S ENGINEERING DEPARTMENT. EACH MAP SHALL INDICATE SWING TIE DIAGRAMS FOR WATER CURB BOXES AND ALL LATERAL CLEANOUTS.
- HYDRANTS MUST BE INSTALLED AND FLOW-TESTED BEFORE ABOVEGROUND CONSTRUCTION IS RECOMMENDED. FLOW TESTS SHALL COMPLY WITH THE SPECIFICATIONS OF THE INSURANCE SERVICES OFFICE TO PRODUCE AN A-RATING.
- NO ABOVEGROUND CONSTRUCTION IS TO COMMENCE UNTIL AN APPROVED ROADWAY BASE CAPABLE OF CARRYING THE WEIGHT OF FIRE APPARATUS IS INSTALLED.

GENERAL UTILITY NOTES

- LOCATION OF EXISTING STRUCTURES INCLUDING UTILITIES SHOWN ON THE DRAWINGS ARE INTENDED FOR GENERAL INFORMATION ONLY.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. EXPLORATORY EXCAVATION SHALL BE MADE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THESE PLANS AND ANY OTHER LINES NOT SHOWN NOR OF RECORD. ANY EXPENSE DUE TO THE LOSS OF TIME SHALL BE AT THE CONTRACTORS EXPENSE.
- ALL THICKNESS SHOWN ON THE DETAILS ARE COMPACTED.
- EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE OF IMPLEMENTATION SHALL FOLLOW THE LATEST NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION. CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTION ORGANIZATION UTILITY COORDINATION COMMITTEE 1-800-962-7962.

- NOTES:
- WHEN THE SEWER MAIN IS LESS THAN 8 FT. IN DEPTH, THE LATERAL SHALL HAVE A CONSTANT GRADE TO THE SEWER MAIN CONNECTION.
 - WHEN THE SEWER MAIN IS GREATER THAN 8 FT. IN DEPTH, A RISER SECTION MAY BE USED TO CONNECT THE CONSTANT GRADE LATERAL WITH THE SEWER MAIN.
 - FOR "HUNG" PLUMBING, PROVIDE 4" MIN. COVER OVER LATERAL AT THE BASEMENT WALL AND ALONG THE ROUTE OF THE LATERAL.
 - THE MATERIAL FOR THE SANITARY LATERAL SHALL BE PVC SDR-21.

NO.	REVISION	APP.	DATE

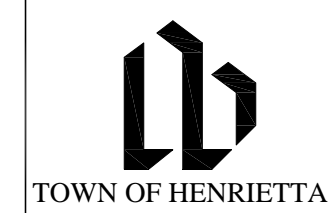
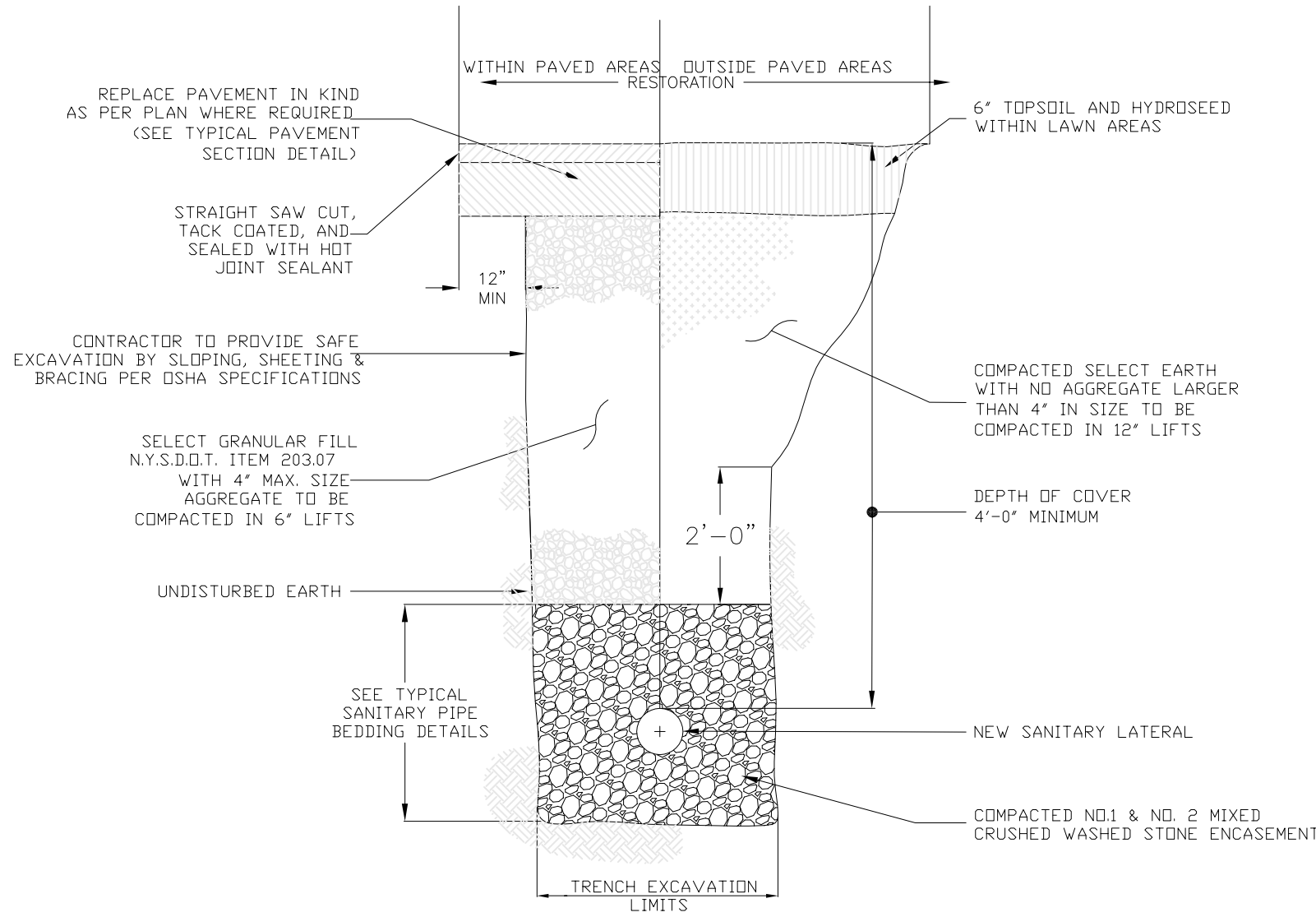
DSB Engineers and Architects, P.C.
 2304 Ridgeway Avenue, Suite 201, Rochester, New York 14626
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PROJECT
 QUEENS PARK PHASE 3 SUBDIVISION

DRAWING TITLE
 DETAILS AND NOTES

CLIENT
 FOREST CREEK EQUITY CORP.
 3240 CHILI AVENUE
 ROCHESTER, N.Y. 14624

PROJ. NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
22-0622	N.E.S.	W.F.B.	D.E.S.	6/15/22	NTS	6 OF 7

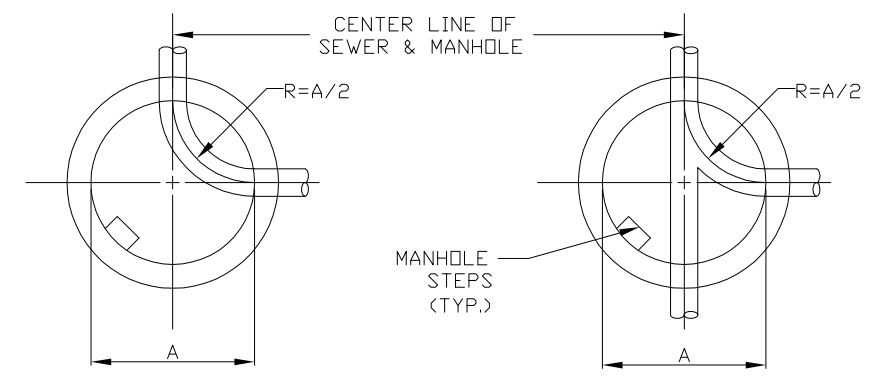


TYPICAL SANITARY LATERAL TRENCH DETAIL

SCALE: N.T.S.

DATE: 11/15/2011

SA-03

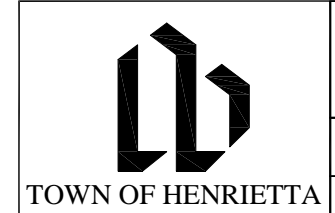
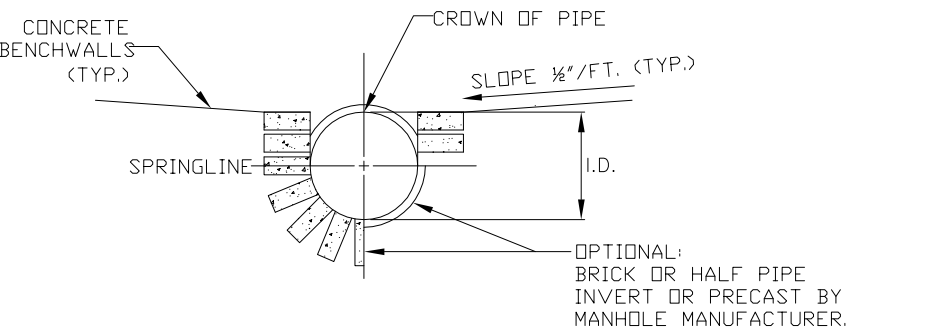


DIMENSION	MIN. PIPE DIA.	8"	10"	12"	15"	18"
		A	4'-0"	4'-0"	4'-0"	5'-0"
	B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"

SEE NOTE 2 FOR INVERT SLOPES

NOTES:

- DIMENSIONS A & B ARE GOVERNED BY OUTLET DIAMETER.
- INVERT SLOPES:
 - STRAIGHT THROUGH PIPE-SLOPES SHALL BE A MINIMUM 0.10' DROP ACROSS MANHOLE.
 - 90° BENDS - PROVIDE MINIMUM 0.25' DROP ACROSS MANHOLE.
 - WHERE TWO OR MORE PIPES ENTER A MANHOLE THE STEEPER OF SLOPES ABOVE WILL DETERMINE THE OUTLET ELEVATION.
 - WHERE PIPES ARE OF DIFFERENT SIZE, SLOPE SHALL BE AS DETERMINED BY CONTRACT PLANS.

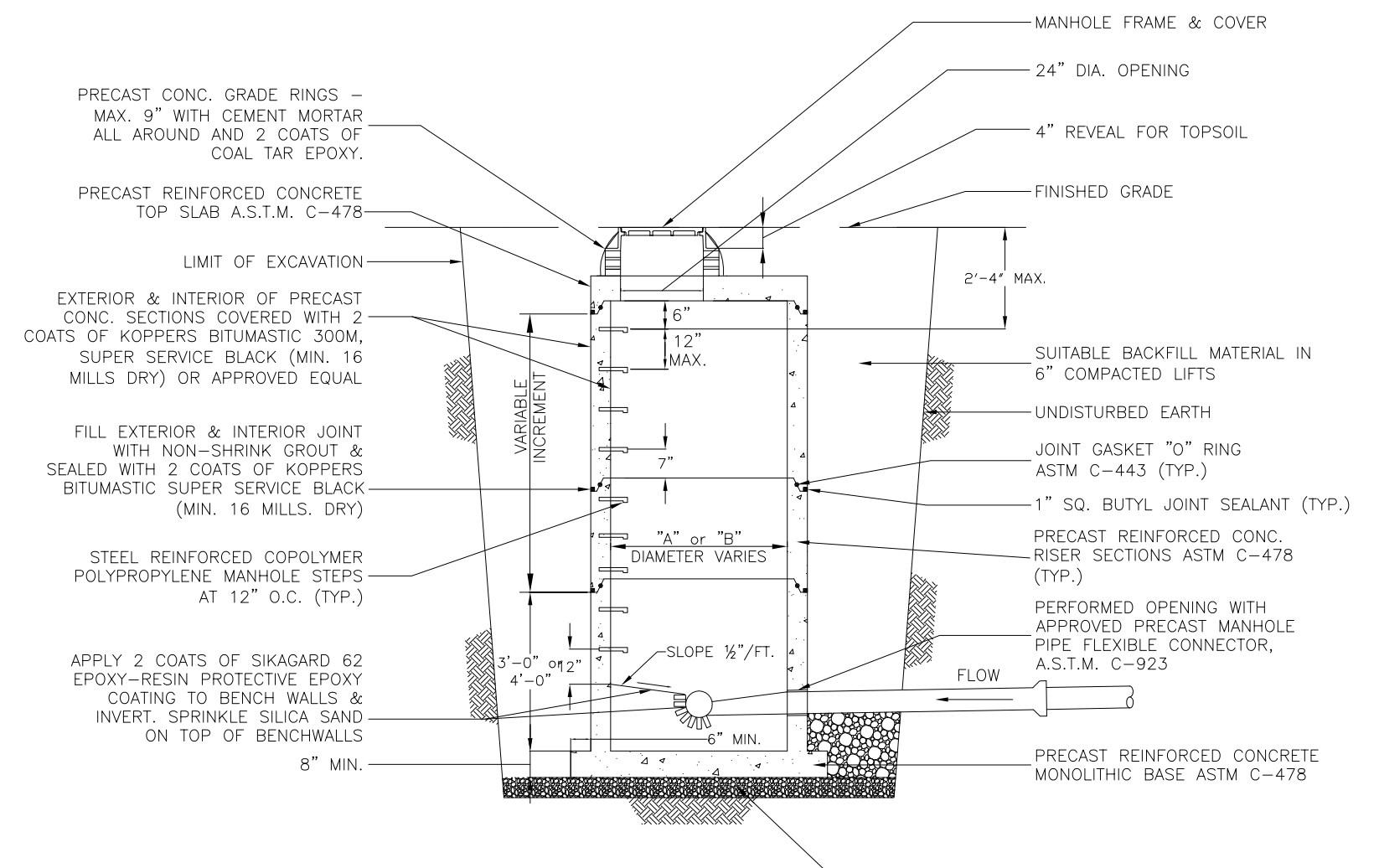


SANITARY MANHOLE INVERT CONFIGURATIONS & DIMENSIONS

SCALE: N.T.S.

DATE: 11/15/2011

SA-09

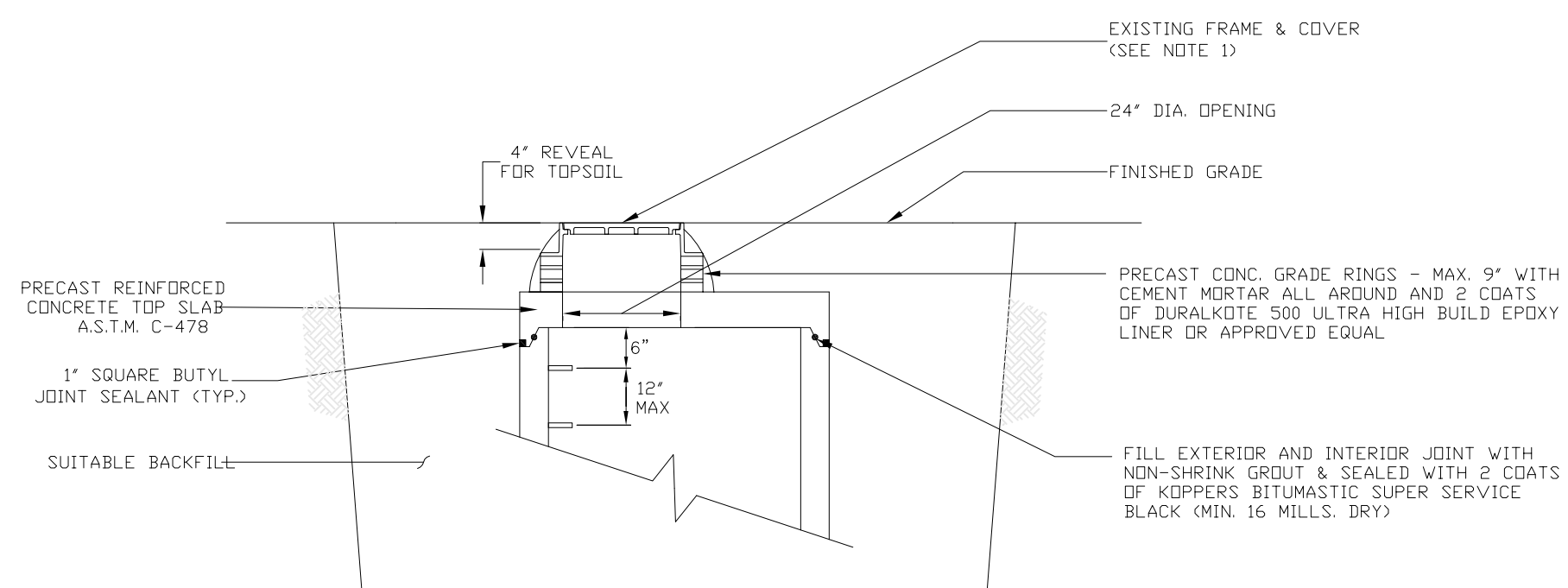


NOTES:

- REFER TO MANHOLE INVERT CONFIGURATION & DIMENSIONS DETAIL FOR MANHOLE DIAMETER "A" OR "B".
- ALL DETAILS LISTED APPLY TO BOTH TYPES OF MANHOLES.
- PRECAST CONC. MANHOLE WALL & SLAB MINIMUM THICKNESS:

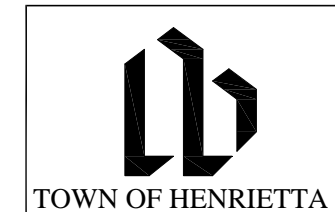
MANHOLE DIAMETER	4 FT.	5 FT.	6 FT.
A. TOP SLAB	8"	8"	8"
B. RISER WALL	5"	6"	7"
C. BOTTOM SLAB	8"	8"	8"
- MAXIMUM DISTANCE BETWEEN MANHOLES SHALL BE 400 FEET.

SANITARY MANHOLE DETAIL
NTS



NOTES:

- DEPENDING ON EXISTING CONDITION, THE EXISTING FRAME & COVER MAY NEED TO BE REPLACED. IF SO, THE EXISTING FRAME & COVER SHALL BE RETURNED TO THE TOWN.
- MAXIMUM NUMBER OF ALLOWABLE PRECAST CONCRETE GRADE RINGS IS 3.
- DEPENDING ON THE DEPTH OR AN ECCENTRIC CONE SECTION ENCOUNTERED, THE CONTRACTOR MAY BE REQUIRED TO ADJUST THE MANHOLE UTILIZING PRECAST REINFORCED CONCRETE BARREL RISER SECTIONS.

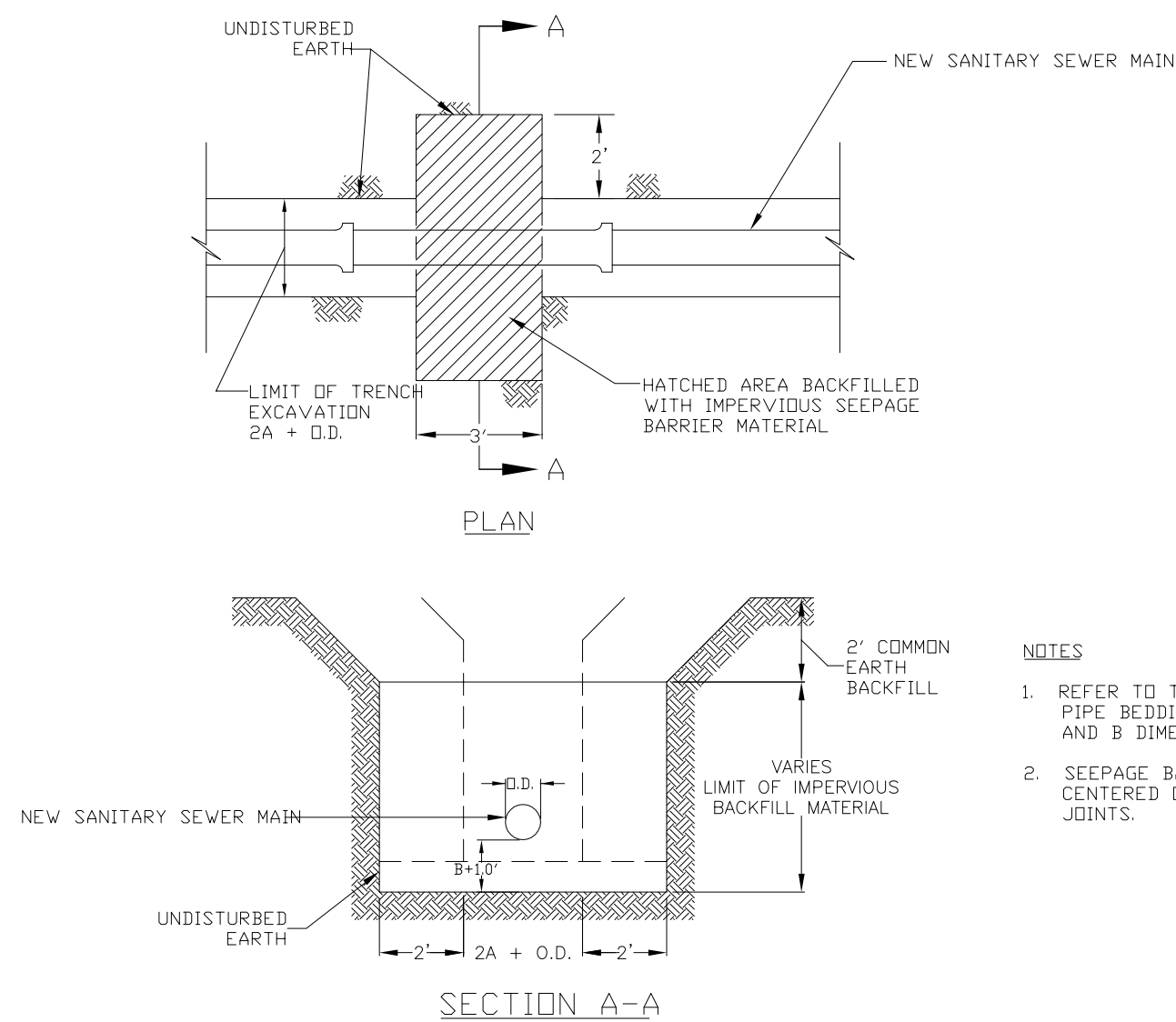


MANHOLE GRADE ADJUSTMENT DETAIL

SCALE: N.T.S.

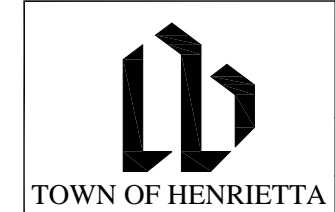
DATE: 9/29/2015

SA-15



NOTES:

- REFER TO TYPICAL SANITARY PIPE BEDDING DETAILS FOR A AND B DIMENSIONS.
- SEEPAGE BARRIER IS TO BE CENTERED ON PIPE BETWEEN JOINTS.

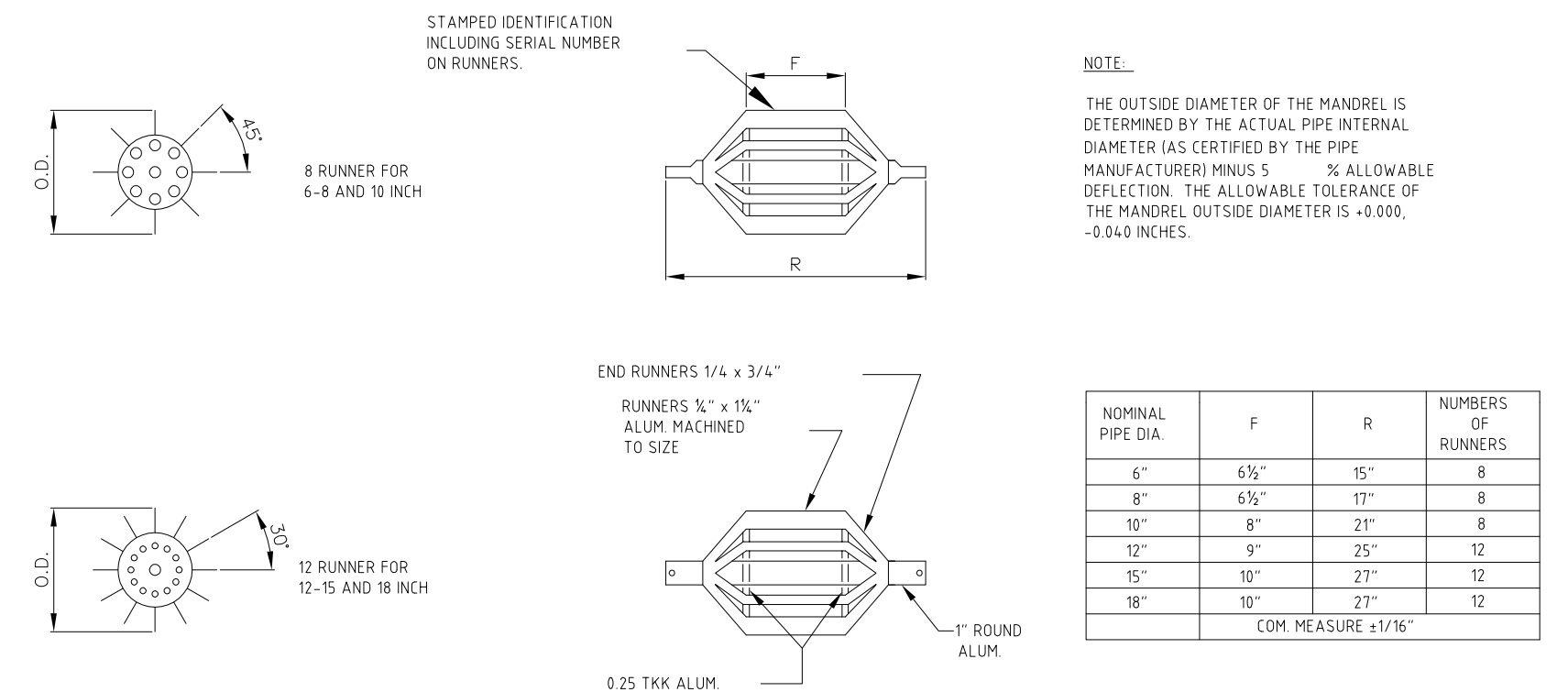


IMPERVIOUS SEEPAGE BARRIER

SCALE: N.T.S.

DATE: 11/15/2011

SA-16



DEFLECTION TESTING MANDREL

SCALE: N.T.S.

DATE: 11/15/2011

SA-17

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