



Stantec Consulting Services Inc.
61 Commercial Street, Suite 100
Rochester NY 14614-1009

June 14, 2022

Project/File: 192800238

Planning Board Members

Town of Henrietta
425 Calkins Road
Henrietta, NY 14467

Dear Planning Board Members,

Reference: Mary Cariola East River Road Residence Addition

On behalf of our client, Mary Cariola Children's Center (MCCC), please find this Site Plan Application package for a ±812 sf addition and renovations to the existing residence building at 5861 East River Road in the Town of Henrietta. The existing residence was constructed in 2014 as a facility to accommodate six adult individuals with physical and emotional challenges. It includes a community-based, 24-hour onsite (awake) supervised program with trained, competent direct support professionals who provide habilitation services and supervision of the individuals.

Water service is provided to the building via an existing 4" lateral that connects to the East River Road watermain. Sanitary sewage is treated by an onsite raised bed septic system. Stormwater runoff is treated by a dry swale on the south side of the driveway which outlets to the East River Road drainage ditch. It is our understanding that the existing utilities are operating properly.

The proposed project includes construction of an approximately 812 sf addition to the southwest end of the existing residence building, some interior renovations, and 4 new parallel parking spaces. The addition colors and finishes will match the existing building. The proposed addition will provide a larger office space and conference room for the existing staff. The existing space is not adequate for the current staff, but there is not a plan to increase the number of staff. The additional parking spaces will provide more dedicated parking for vehicles that currently park along the side of the driveway. Since there will not be an increase in staff, this will not have an impact on existing building utility usage.

The proposed work will require grading adjacent to the improvements, and some rerouting of the building storm laterals. Erosion control practices will be implemented to protect downstream features from sediments. Due to the minimal increase in impervious area, no new stormwater management features should be required.

We respectfully request to be placed on the July 19th Planning Board Meeting Agenda for consideration of Site Plan Approval. We will have a team member in attendance to address any questions or concerns you may have.

Reference: Mary Cariola East River Road Residence Addition

We appreciate your assistance with this project. Feel free to reach out with any questions.

Respectfully,

STANTEC CONSULTING SERVICES INC.



Mike Mantell PE
Civil Engineer



Attachment: \$150 Application Fee
\$700 Engineering Plan Review Charge
Site Plan Application Form
14 sets of Site Plans
Site Plan Checklist
Short Environmental Assessment Form (EAF)
Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees
14 copies of Building Overall Plan
14 copies of Building Addition Elevation Drawing
14 copies of Site/Building Photos
Electronic Copies of the Submission Documents (Provided via email)



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: _____

I (we) Mary Cariola Children's Center of 1000 Elmwood Avenue, Suite 100
Name of Applicant / Business Business Address (Number & Street)

Rochester, NY 14620

Town, State, Zip

hereby apply to the Planning Board for

Site Plan Review OR Other: _____

on property located at 5861 East River Road RR2 188.03-1-52.001
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

±812 sf addition to the existing adult residence building for office space and a conference room, as well as interior renovations and additional parking spaces.

Applicant: Mary Cariola Children's Center - Anna-Lynn Brink

Address: 1000 Elmwood Avenue, Suite 100
Rochester, NY 14620

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: Same

Address: _____

Phone #: _____

Email: _____

Applicant Signature: [Signature]

Engineer/Architect: Stantec Consulting Services, Inc. - Mike Mantell

Address: 61 Commercial Street, Suite 100
Rochester, NY 14614

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: N/A

Address: _____

Phone #: _____

Email: _____

Print Name: Anna-Lynn Brink

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

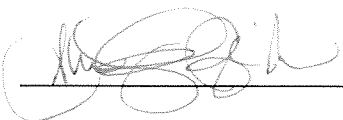
- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Mary Cariola Children's Center

By: Anna-Lynn Brink

Title: Director of Community Services

Dated: _____

Signed:  _____

Owner: Same as above

By: _____

Title: _____

Dated: _____

Signed: _____

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

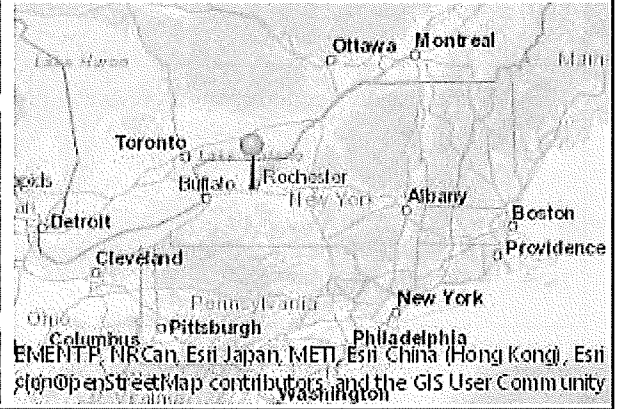
Part 1 – Project and Sponsor Information			
Name of Action or Project: Mary Cariola East River Road Residence Addition/Renovations			
Project Location (describe, and attach a location map): 5861 East River Road, West Henrietta, NY			
Brief Description of Proposed Action: The project includes a ±812 sf addition to the existing adult residence building for office space and a conference room, as well as interior renovations and additional parking spaces.			
Name of Applicant or Sponsor: Mary Cariola Children's Center - Anna-Lynn Brink		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: 1000 Elmwood Avenue, Suite 100			
City/PO: Rochester		State: NY	Zip Code: 14620
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Site Plan Approval/SEQR - Henrietta Planning Board DASNY - "SAM" Grant, NYSOPRHP - Letter of No Impact			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		+/-3.08 acres	
b. Total acreage to be physically disturbed?		+/-0.15 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		+/-3.08 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Project meets the energy code requirements. _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Existing on-site septic system.	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Stormwater will discharge from on-site dry swales to the East River Road Right-of-Way ditch.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:		
Stormwater will be treated by existing on-site dry swales (+/-0.045 ac-ft)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Anna-Lynn Brink / Mary Corinda Enter</u> Date: <u>4/14/22</u> Signature: <u></u> Title: <u>Director of Community Services</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

SITE NOTES:

- TAX ACCT. NUMBER: PART OF 188.03-01-052.001
TOTAL SITE ACRES: 3.08 ACRES (5 ACRES REQUIRED)
(VARIANCE OBTAINED, DECEMBER 19, 2013, APPLICATION NO. 2013-120)
- TOTAL IMPERVIOUS AREA: 0.49 ACRES (21,278 +/- SF)
GREEN SPACE %: 84%
BUILDING LOT COVERAGE: 4.2%
DISTURBANCE ACREAGE: 0.15 ± ACRES
- EXISTING ZONING: RR-2
- PROPOSED USE: ADULT RESIDENTIAL CARE FACILITY
(SPECIAL USE PERMIT OBTAINED, DECEMBER 18, 2013 APPLICATION NO. 2013-078)
- MINIMUM LOT WIDTH: 100' REQUIRED AT SETBACK, 60' PROPOSED
(VARIANCE OBTAINED, DECEMBER 19, 2013, APPLICATION NO. 2013-119)
- BUILDING SQUARE FOOTAGE: FIRST FLOOR = 4,598 GFA, BASEMENT = 3,171 GFA, CRAWL SPACE 1,437 GFA
- BASEMENT CEILING HEIGHT: 7'-9½" (NO SLEEPING ROOMS ARE LOCATED IN BASEMENT. EMERGENCY EGRESS WINDOW PROVIDED CONFORMING TO SECTION 1026 OF THE CODE)
- REQUIRED PARKING: 2.5 (2.5 SPACES PER DWELLING)
- PROPOSED PARKING: 10 SPACES
- UTILITIES:
SANITARY PROVIDED BY: PRIVATE SEPTIC
WATER PROVIDED BY: MCWA
STORM DRAINAGE: PRIVATE
GAS AND ELECTRIC: RG&E
- APPLICABLE SETBACKS ARE AS FOLLOWS:

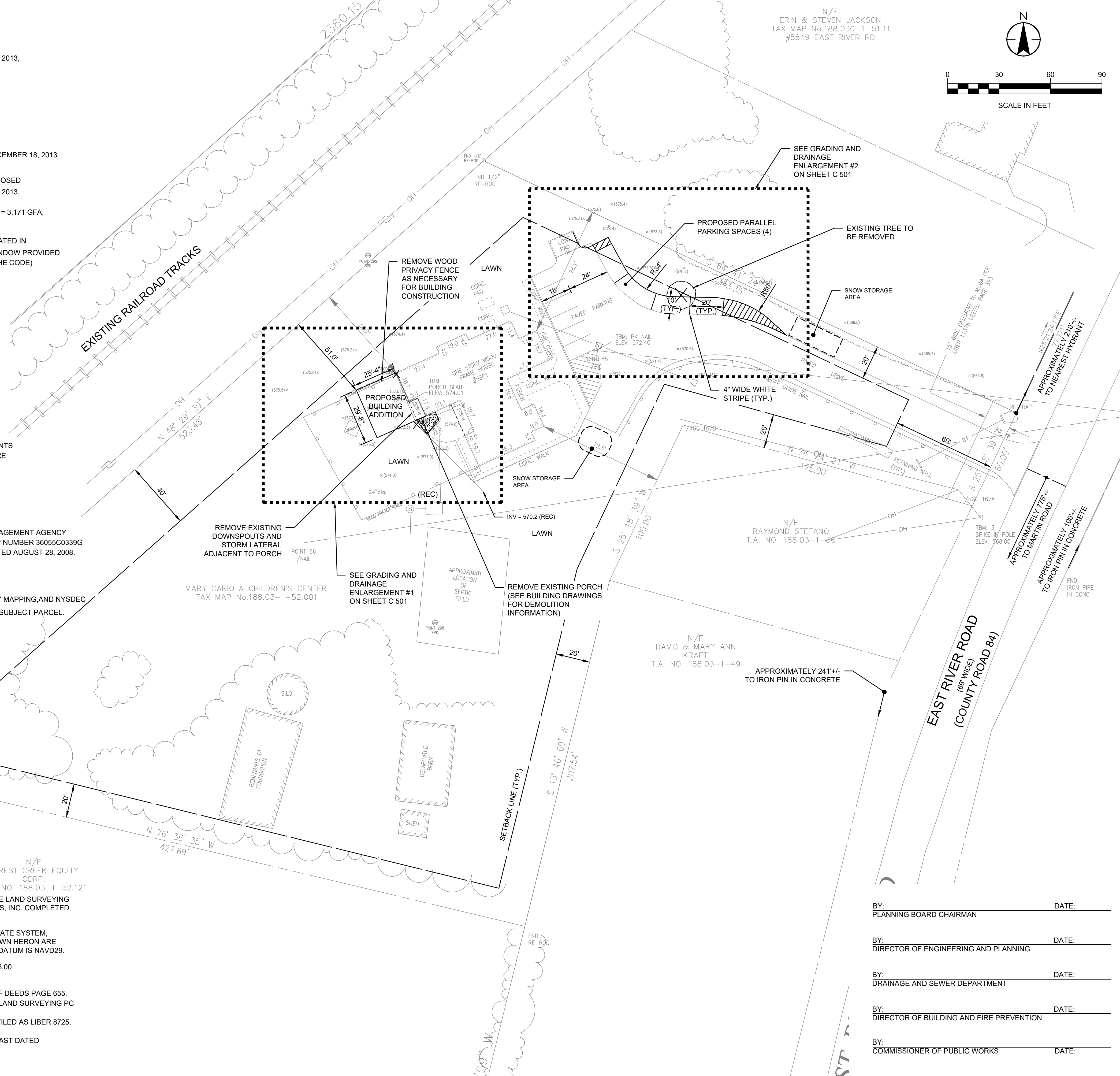
	REQUIRED	PROVIDED
FRONT YARD:	60'	246' +/-
SIDE YARD:	20'	74' +/- MIN.
REAR YARD:	40'	51' +/-
- THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF HENRIETTA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- SIGHT DISTANCES:
TO NORTH: 1150' ± (REQUIRED = 385')
TO SOUTH: 880' ± (REQUIRED = 470')
TO MARTIN ROAD: 782' ±
- ALL OF THIS PARCEL IS CLASSIFIED IN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD ZONE "X". AS SHOWN ON THE FLOOD INSURANCE RATE MAP NUMBER 36055C0339G FOR THE TOWN OF HENRIETTA, COMMUNITY PANEL NO. 360419 DATED AUGUST 28, 2008.
- HENRIETTA WATER DISTRICT #7
SANITARY SEWER DISTRICT #94
CONSOLIDATED DRAINAGE DISTRICT
- PER US FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY MAPPING AND NYS DEC MAPPING, NEITHER FEDERAL NOR STATE WETLANDS EXIST ON THE SUBJECT PARCEL.

SURVEY NOTES:

- BASEMAPPING TAKEN FROM A FIELD SURVEY COMPLETED BY MAGDE LAND SURVEYING P.C., JULY 1, 2008 AND UPDATES BY STANTEC CONSULTING SERVICES, INC. COMPLETED ON MAY 31, 2022.
- THE HORIZONTAL DATUM (NAD 1927) TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM. BEARINGS SHOWN HERON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. VERTICAL DATUM IS NAVD29.
- PROJECT BENCH MARK = R.R. SPIKE SET IN UTILITY POLE ELEV. = 568.00
- REFERENCES:
 - DEED TO FOREST CREEK EQUITY CORP FILED AS LIBER 10381 OF DEEDS PAGE 655.
 - BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY MAGDE LAND SURVEYING PC LAST DATED AUGUST 2008.
 - LIVONIA/AVON/LAKEVILLE RAILROAD MAPS V26NY/0 & V26NY/10 FILED AS LIBER 8725, PAGE 277.
 - MONROE TITLE INSURANCE CORPORATION ABSTRACT 85969-1 LAST DATED SEPTEMBER 8, 2006.

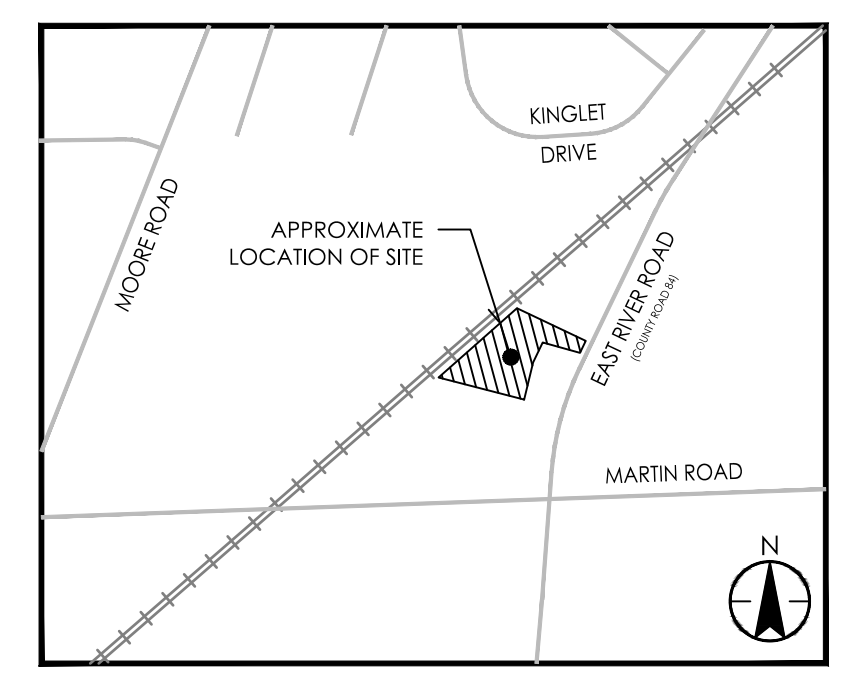
\\s1\p0000000\shc\cs100\dwg\cs100.dwg
2022/05/14 8:10 AM By: DWORK, LUBBERS

ORIGINAL SHEET - ANG D



61 Commercial Street, Suite 100
Rochester, New York USA 14614
585.475.1440
www.stantec.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



NO.	DESCRIPTION	TJC	MDM	DATE
1	TOWN SUBMISSION			22.06.XX
	Issued	By	Appd.	YY.MM.DD
	File Name: CS 100.dwg	TJC	MDM	MDM
		Dwn.	Chkd.	Dsgn.
				22.06.XX
				YY.MM.DD

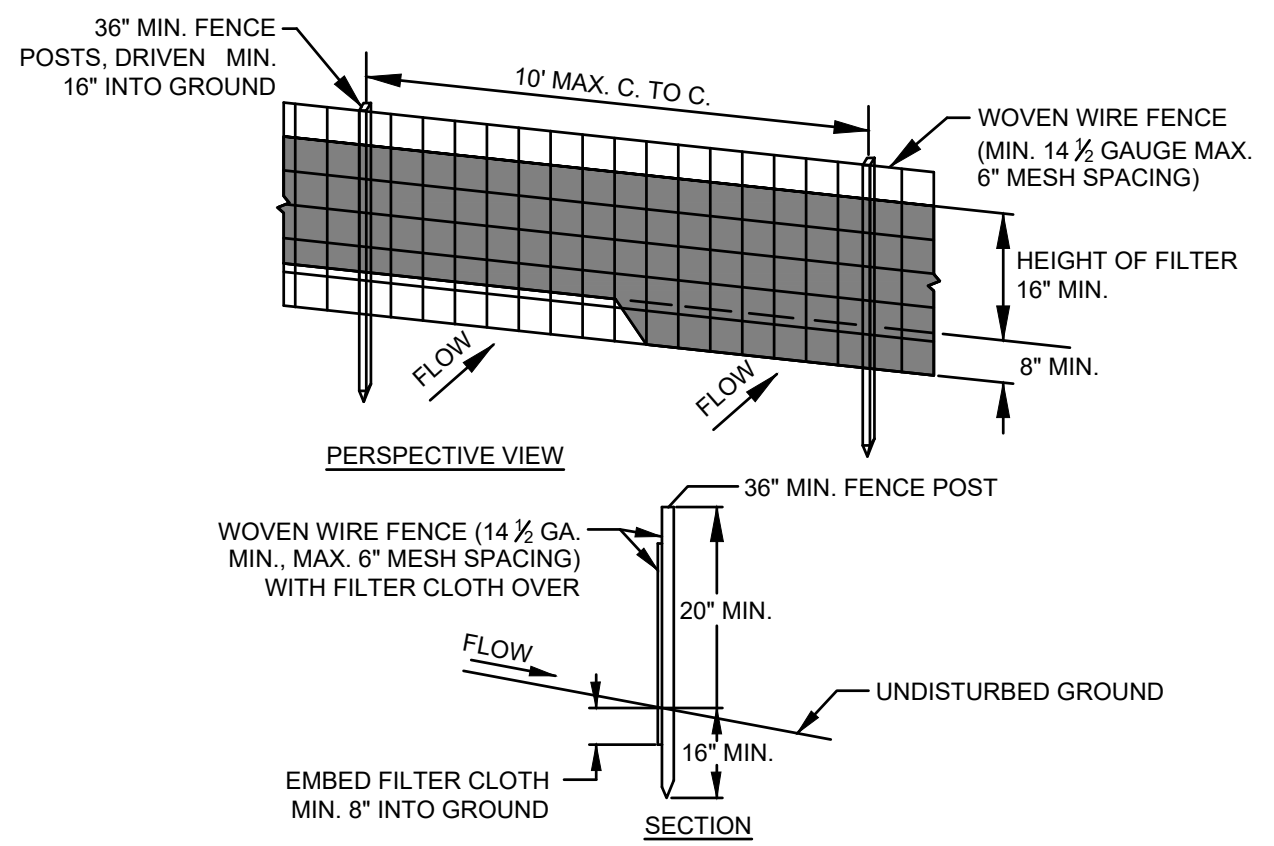


Client/Project
EAST RIVER ROAD RESIDENCE ADDITION
5861 East River Road, Henrietta, NY 14586

Mary Cariola Children's Center Inc.
1000 Elmwood Avenue
Rochester, New York 14604

Title SITE PLAN	
Project No. 192800238	Scale 1" = 30'
Drawing No. CS 100	Sheet 1 of 3
	Revision 0

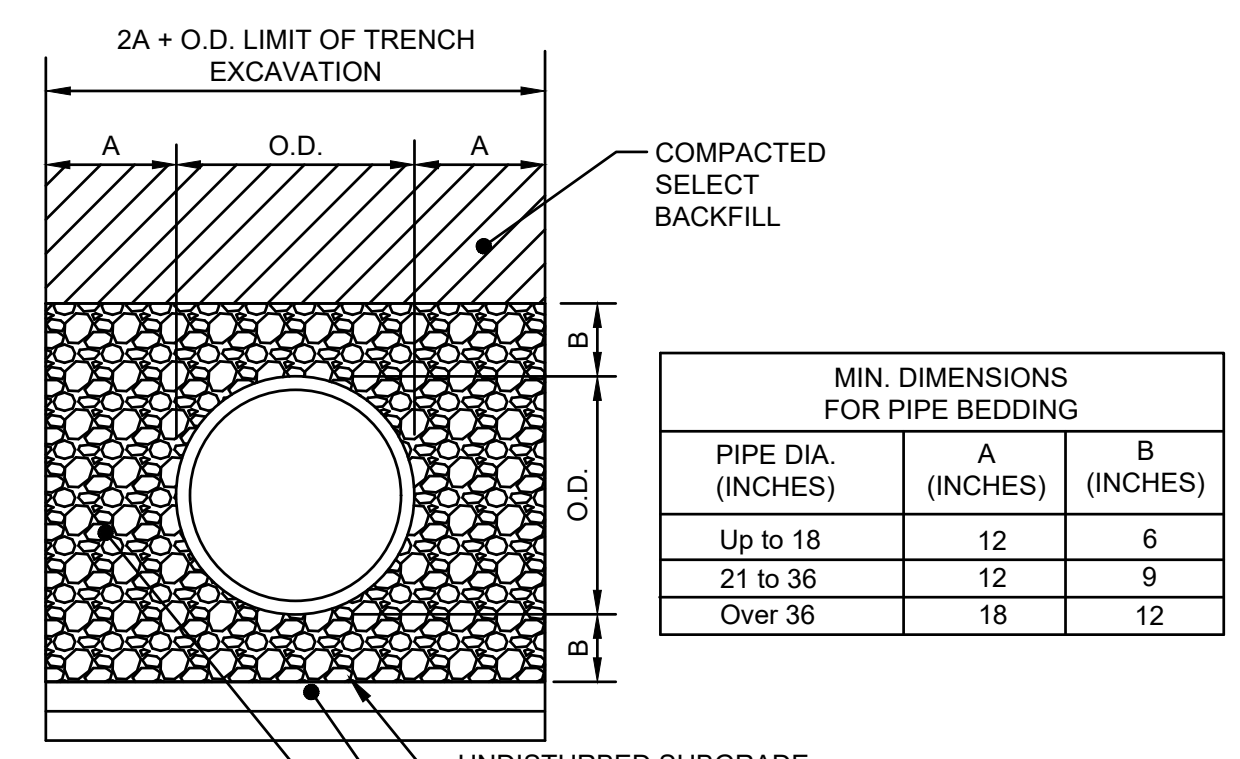
- | | |
|--|-----------------|
| BY: _____ | DATE: _____ |
| PLANNING BOARD CHAIRMAN | |
|
BY: _____ |
DATE: _____ |
| DIRECTOR OF ENGINEERING AND PLANNING | |
|
BY: _____ |
DATE: _____ |
| DRAINAGE AND SEWER DEPARTMENT | |
|
BY: _____ |
DATE: _____ |
| DIRECTOR OF BUILDING AND FIRE PREVENTION | |
|
BY: _____ |
DATE: _____ |
| COMMISSIONER OF PUBLIC WORKS | |



CONSTRUCTION NOTES FOR FABRICATED FENCE:
 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE 2" HARDWOOD
FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING FILTER CLOTH, FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

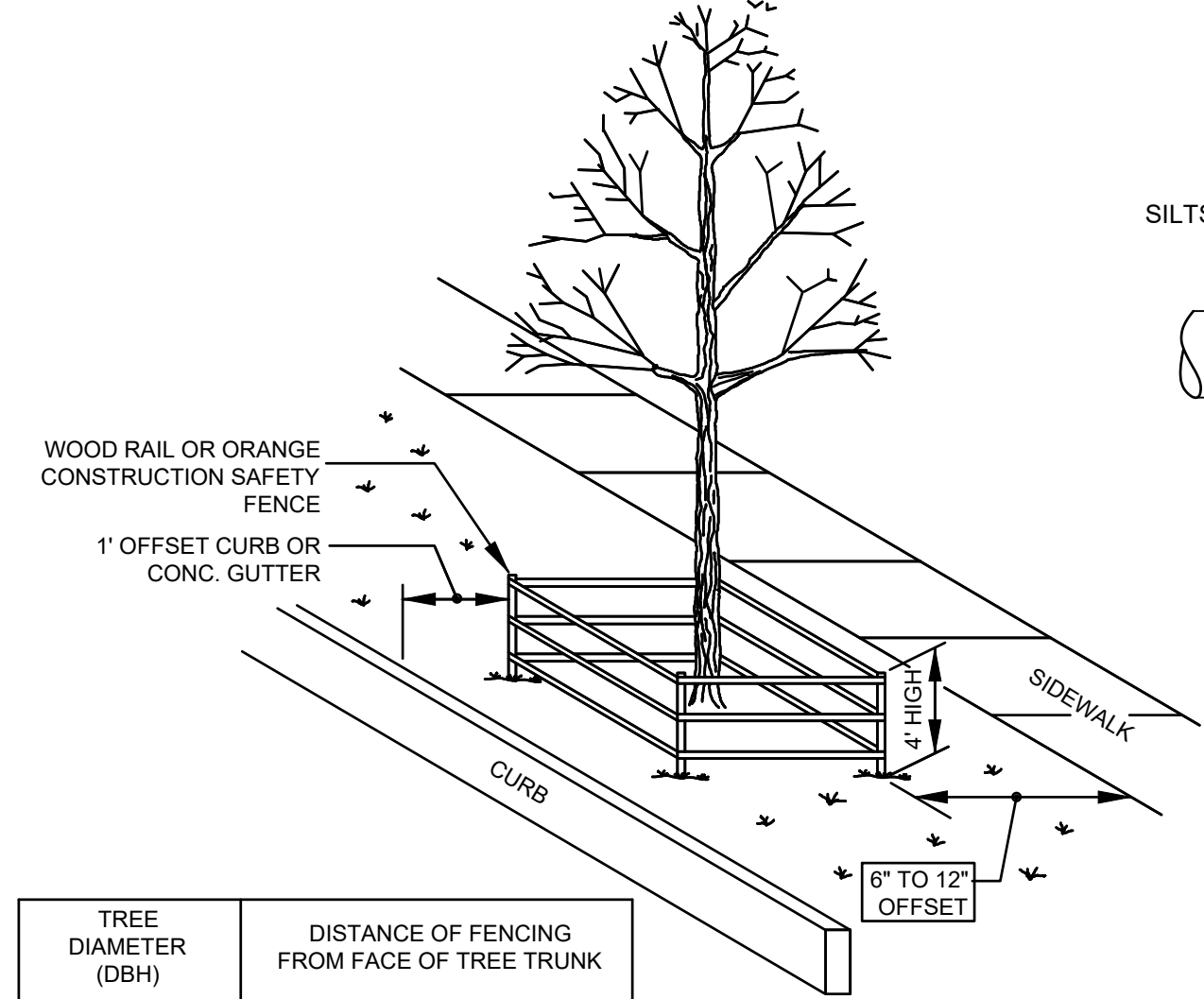
SILT FENCE
 N.T.S.



MIN. DIMENSIONS FOR PIPE BEDDING		
PIPE DIA. (INCHES)	A (INCHES)	B (INCHES)
Up to 18	12	6
21 to 36	12	9
Over 36	18	12

STONE ENCASUREMENT
 (PVC, CPP, PE)

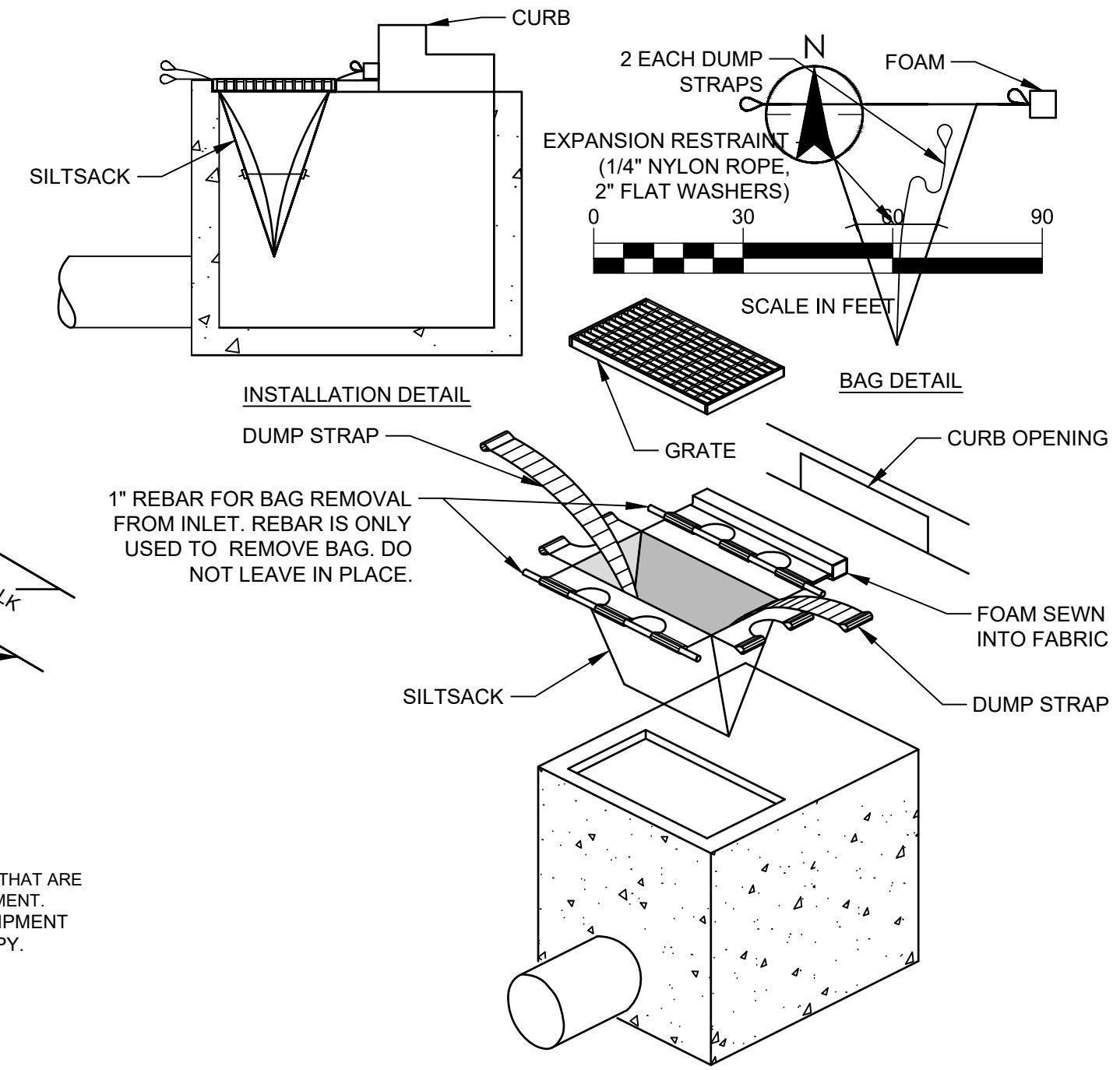
STORM SEWER PIPE BEDDING DETAIL
 N.T.S.



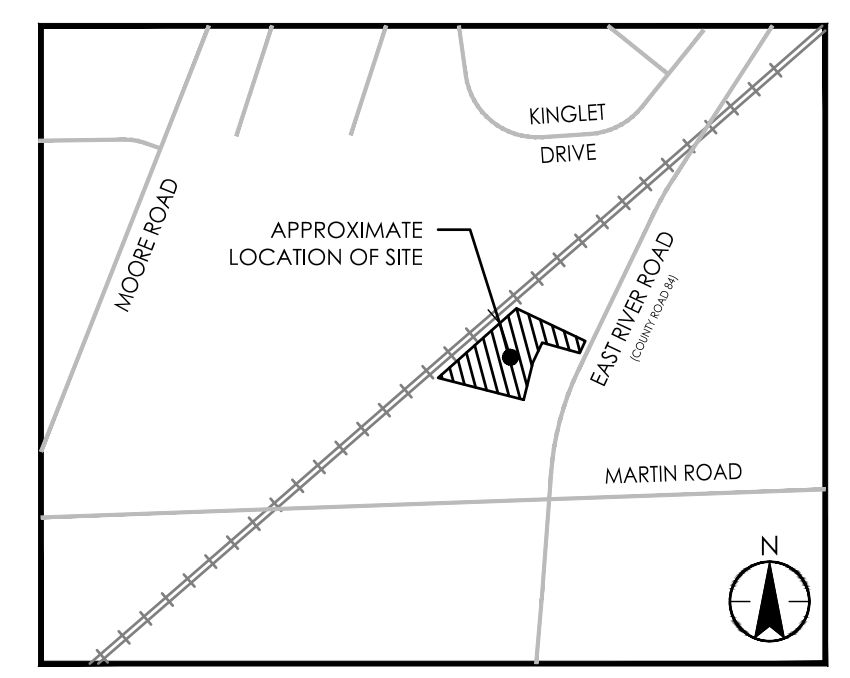
TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	6'
10" - 14"	10'
15" - 19"	12'
20" OR MORE	15'

NOTES:
 1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN, ARE TO RECEIVE THIS TREATMENT.
 2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLING) UNDER TREE CANOPY.

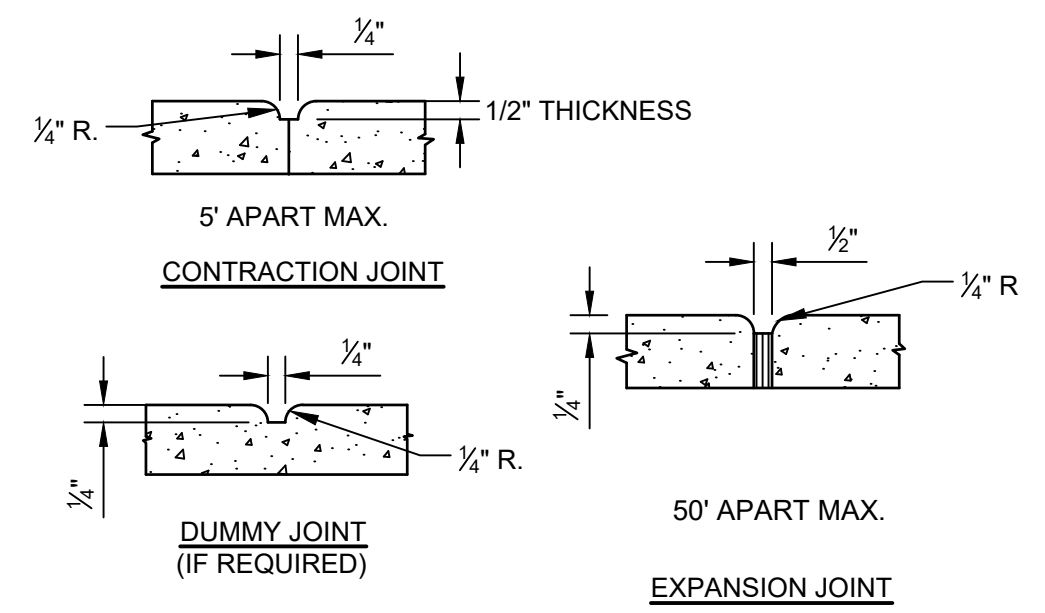
TREE PROTECTION DETAIL
 N.T.S.



INLET SEDIMENT CONTROL DEVICE
 N.T.S.

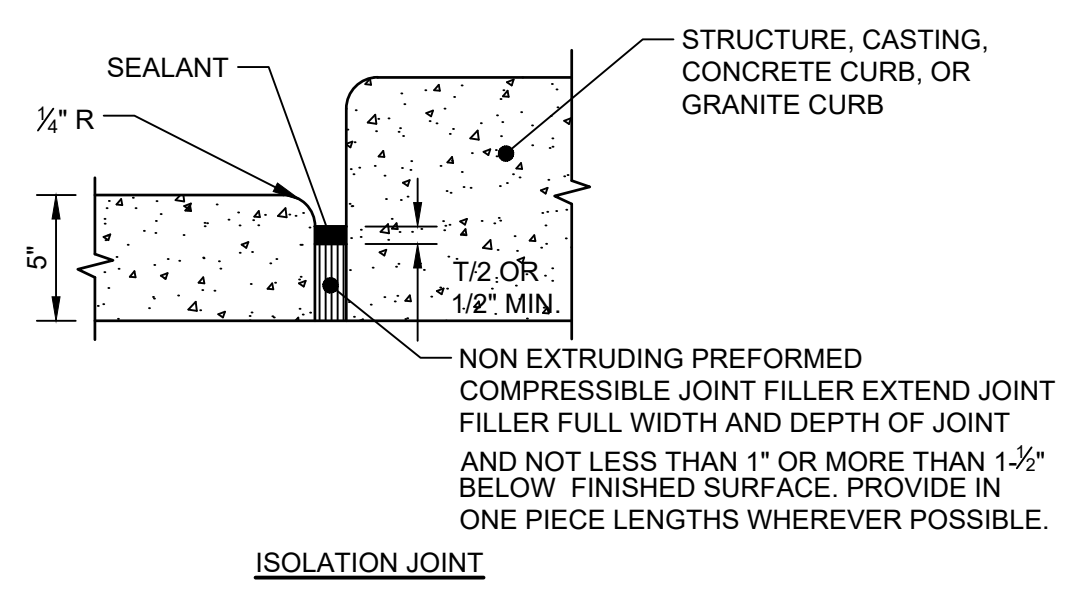


LOCATION SKETCH

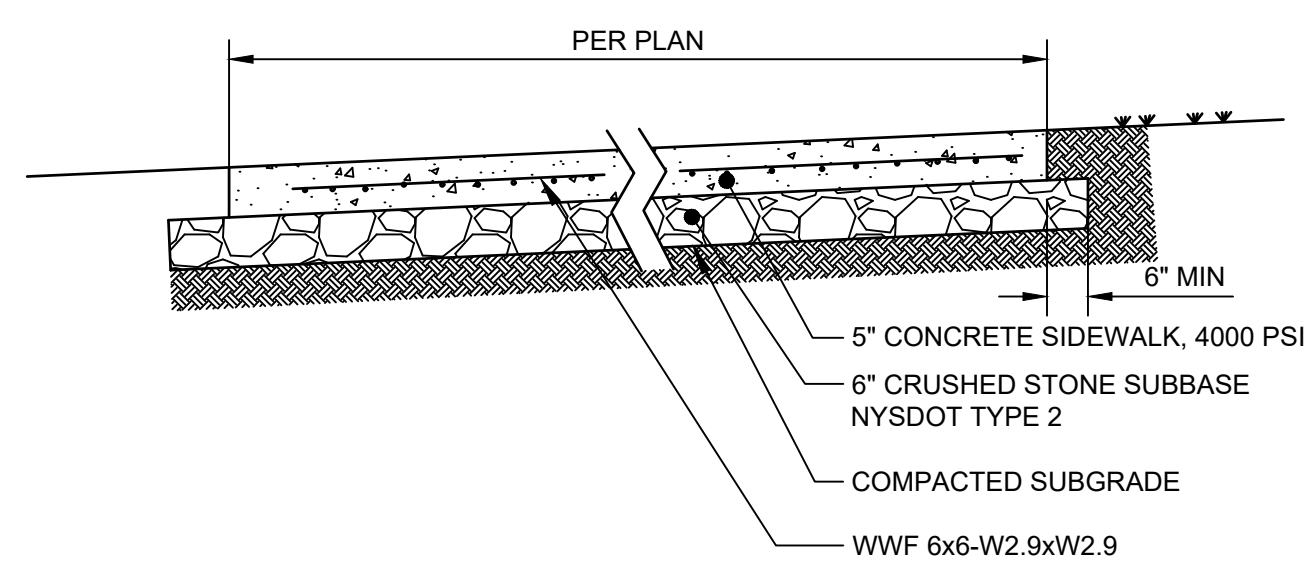


NOTES:
 1. CONCRETE SHOULD BE SAW CUT IN CONSISTENTLY SIZED SQUARES OR RECTANGLES
 2. JOINT PATTERN SHOULD HAVE NO ANGLE LESS THAN 60 DEGREES.
 3. ISOLATION JOINTS SHALL BE USED ONCE EVERY 50 FEET FOR CONCRETE LENGTHS EXCEEDING 50' IN LENGTH.

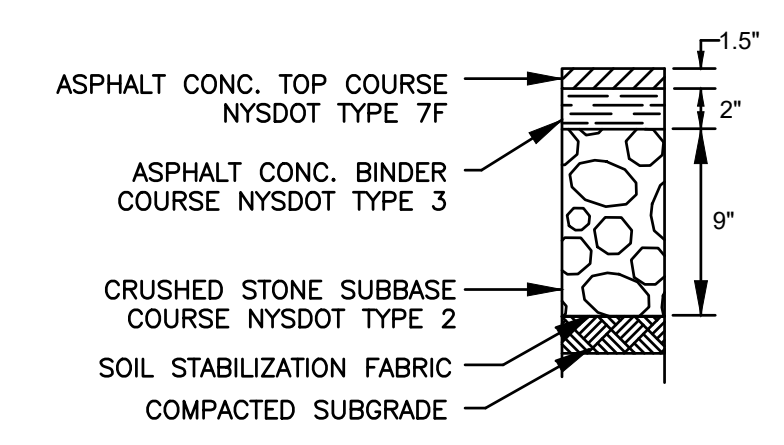
CONCRETE PATIO JOINT DETAIL
 N.T.S.



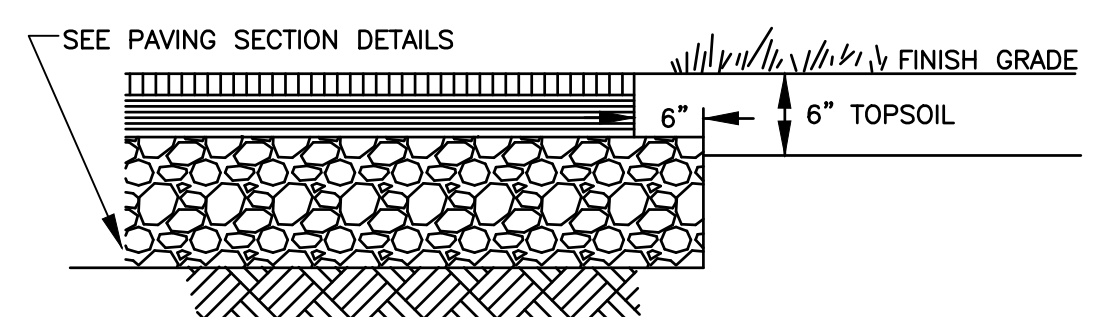
ISOLATION JOINT



CONCRETE PATIO DETAIL
 N.T.S.



PAVING SECTIONS DETAIL
 N.T.S.



EDGE OF PAVEMENT DETAILS
 N.T.S.

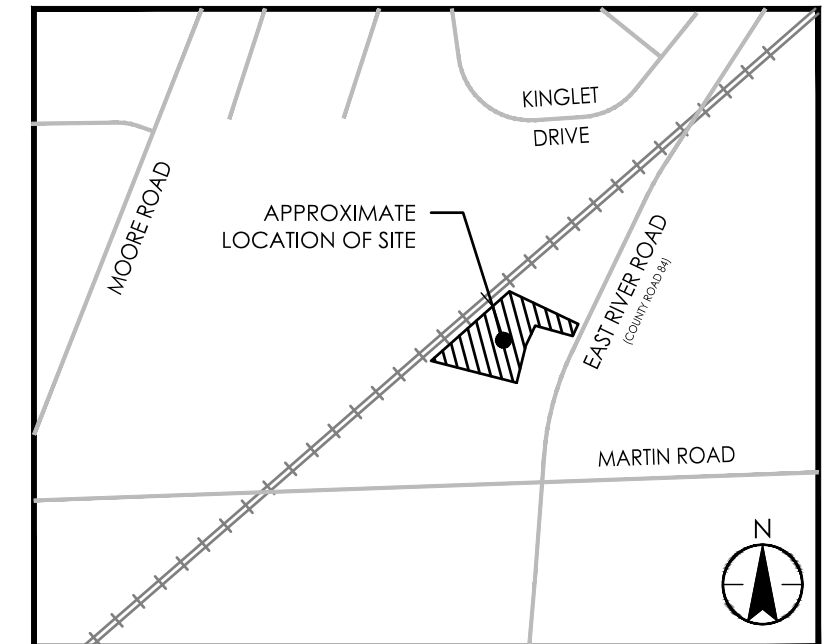
Issued	By	Appd.	YY.MM.DD
File Name:	Dwn.	Chkd.	Dsgn.



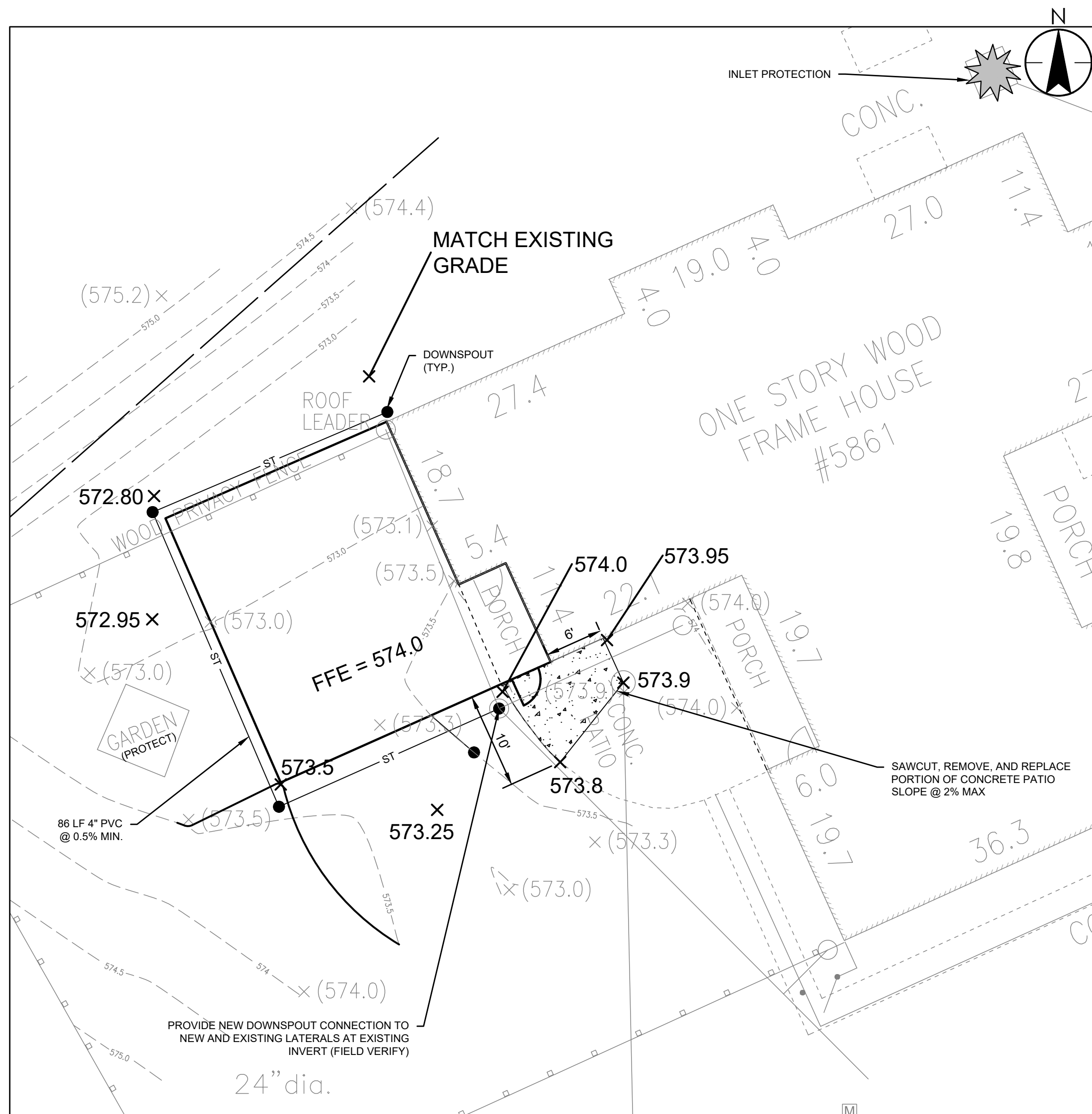
Client/Project
 EAST RIVER ROAD RESIDENCE ADDITION
 5861 East River Road, Henrietta, NY 14586
 Mary Cariola Children's Center Inc.
 1000 Elmwood Avenue
 Rochester, New York 14604

Title
 DETAIL SHEET

Project No. 192800238	Scale AS SHOWN
Drawing No. C 500	Sheet 2 of 3
	Revision 0

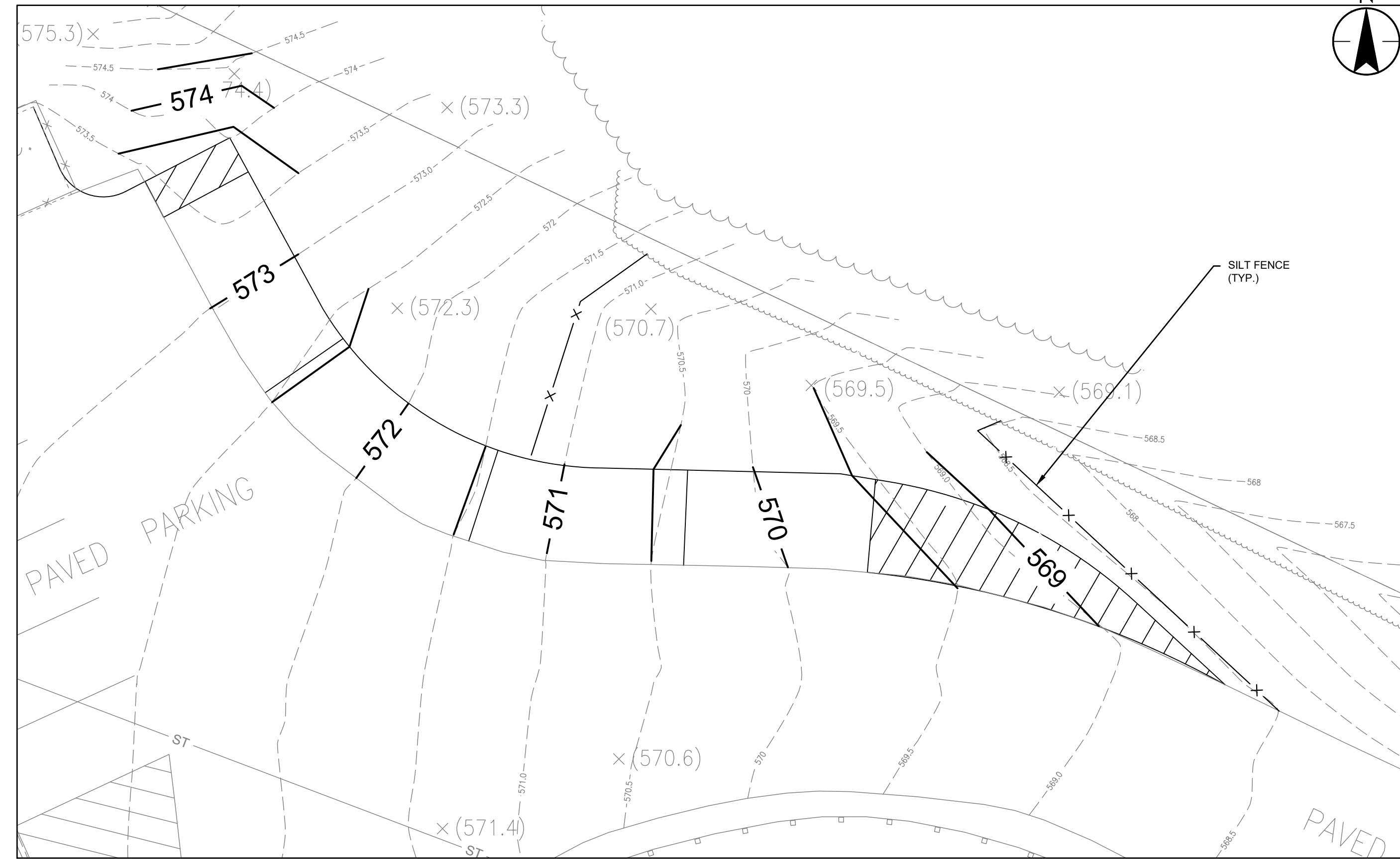


LOCATION SKETCH



GRADING ENLARGEMENT #1

SCALE: 1"=10'



GRADING ENLARGEMENT #2

SCALE: 1"=10'

GRADING NOTES:

- ALL PROPOSED ELEVATIONS SHOWN HEREON ARE FINISHED GRADE ELEVATIONS.
- ANY TREES REMOVED FROM BEYOND THE DESIGNATED CLEARING LIMITS SHALL BE REPLACED AT A 2 TO 1 RATIO.
- THE STOCKPILED TOPSOIL SHALL BE SPREAD TO A 6" MINIMUM THICKNESS, BEGINNING ON THE NORTH SIDE OF SITE AND CONTINUING TO THE SOUTH, TO BRING THE SITE TO FINISHED GRADE ELEVATIONS IN ALL AREAS TO BE SEEDED UNTIL PILE HAS BEEN COMPLETELY DEPLETED.
- MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE WORK AREA.

EROSION CONTROL NOTES:

- ALL SITE WORK SHALL CONFORM TO THE CLEARING, STRIPPING AND EROSION CONTROL REQUIREMENTS OF THE NYSDEC AND THE TOWN OF HENRIETTA.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF HIS TIME SCHEDULE IN REGARD TO CLEARING, STRIPPING AND EROSION CONTROL TO PROVIDE FOR PROPER TOWN INSPECTION.
- CONTRACTOR TO PROVIDE, INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.

UTILITY NOTES:

- THE STORM LATERALS SHALL BE 6", SDR-26 P.V.C. ASTM D2241 CONSTRUCTED AT 0.50% MINIMUM UNLESS OTHERWISE NOTED ON PLANS.
- HENRIETTA WATER DISTRICT #7
SANITARY SEWER DISTRICT #94
CONSOLIDATED DRAINAGE DISTRICT

GENERAL NOTES:

- UNLESS SPECIFICALLY STATED HEREIN, THESE PLANS ARE NOT SUITABLE FOR MACHINE GUIDANCE USE OR PURPOSES DURING CONSTRUCTION. NO GUARANTEE IS MADE THAT THE ELECTRONIC DATA SYSTEMS OR FILE STRUCTURE USED BY STANTEC WILL BE COMPATIBLE WITH THE ELECTRONIC SYSTEMS USED BY THE CONTRACTOR. INFORMATION SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE ELECTRONIC FILES DATA.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AND PROVIDE ALL BONDS REQUIRED FOR THIS WORK INCLUDING, BUT NOT LIMITED TO, UTILITY CONNECTIONS AND BUILDING AND SITE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- MAINTENANCE AND PROTECTION OF TRAFFIC ALONG WITH SECURING THE WORK AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONES, DRUMS, CONCRETE BARRIERS AND MARKERS ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' CLEARANCE TO THE TRAVELED WAY UNLESS OTHERWISE SHOWN ON THE PLANS AND/OR DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAKE CERTAIN PLACEMENT OF CONES, DRUMS AND MARKERS OR BARRICADES SHALL NOT INTERFERE WITH SIGHT DISTANCE.
- ALL DEBRIS AND SOILS DERIVED FROM THE CONTRACTOR'S OPERATIONS FOUND IN THE PUBLIC RIGHT-OF-WAY OR CAUSING NUISANCE TO OPERATIONS SHALL BE CLEANED AND REMOVED ON A DAILY BASIS OR WHEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- CAUTION - NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND BUILDING UTILITY LOCATIONS.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT THE BUILDING FINISH FLOOR ELEVATION SHOWN ON GRADING PLANS EQUATES TO ELEVATION 0.0' ON THE BUILDING PLANS.
- THE DRAWINGS ARE INTENDED TO REQUIRE AND TO INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT PROPER FOR THE WORK.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PROCEDURES. THE OWNER AND/OR ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS, EMPLOYEES OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- COORDINATE WORK WITH ALL DISCIPLINES (ARCH., STRUCT., ELECT., ETC.) WITH EXISTING CONDITIONS, SPECIAL REQUIREMENTS, CONSTRUCTION SCHEDULE AND OTHER CONTRACTORS PERFORMING WORK AT THE SAME TIME.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE DONE TO EXISTING FEATURES AS A RESULT OF THIS WORK, DAMAGED ITEMS SHALL BE REPLACED IN KIND AND AT NO ADDITIONAL COST TO THE OWNER.
- SHOP DRAWINGS: REPRODUCTION OF DESIGN DRAWINGS SHALL NOT BE

PERMITTED. CONTRACTOR SHALL REVIEW AND PROVIDE REVIEW STAMP ON SHOP DRAWING SUBMISSION PRIOR TO SUBMITTAL TO ARCHITECT/ENGINEER INDICATING UNDERSTANDING AND ACCEPTANCE OF SUBMITTAL AND CONFIRMING CONFORMANCE TO PROJECT PLANS/SPECIFICATIONS.

17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

18. OBSERVE ALL OSHA AND OTHER APPLICABLE SAFETY REQUIREMENTS INCLUDING THE USE OF SAFETY GLASSES, HARD HATS AND PROTECTION OF AREA WHEN WORKING OVERHEAD. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CONSTRUCTION SAFETY AT ALL TIMES.

19. AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

Issued _____ By _____ Appd. _____ YY.MM.DD

File Name: _____ Dwn. _____ Chkd. _____ Dsgn. _____ YY.MM.DD

Permit-Seal _____



Client/Project
EAST RIVER ROAD RESIDENCE ADDITION
5861 East River Road, Henrietta, NY 14586

Mary Cariola Children's Center Inc.
1000 Elmwood Avenue
Rochester, New York 14604

Title
GRADING ENLARGEMENTS AND NOTES

Project No. 192800238 Scale AS SHOWN

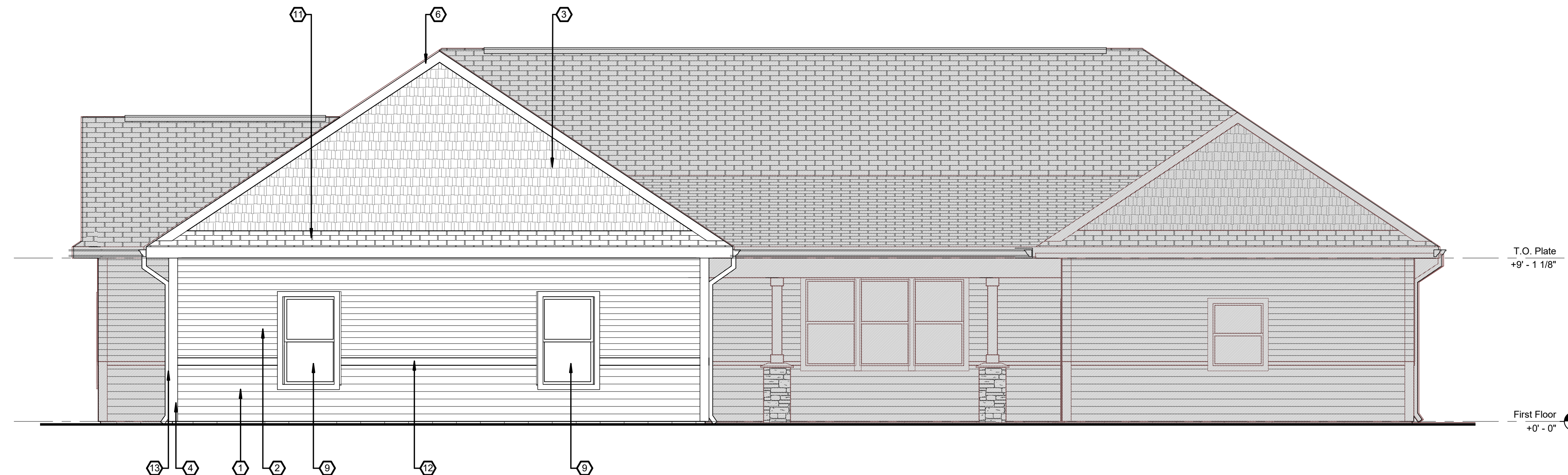
Drawing No. C 501 Sheet 3 of 3 Revision 0

GENERAL NOTES:

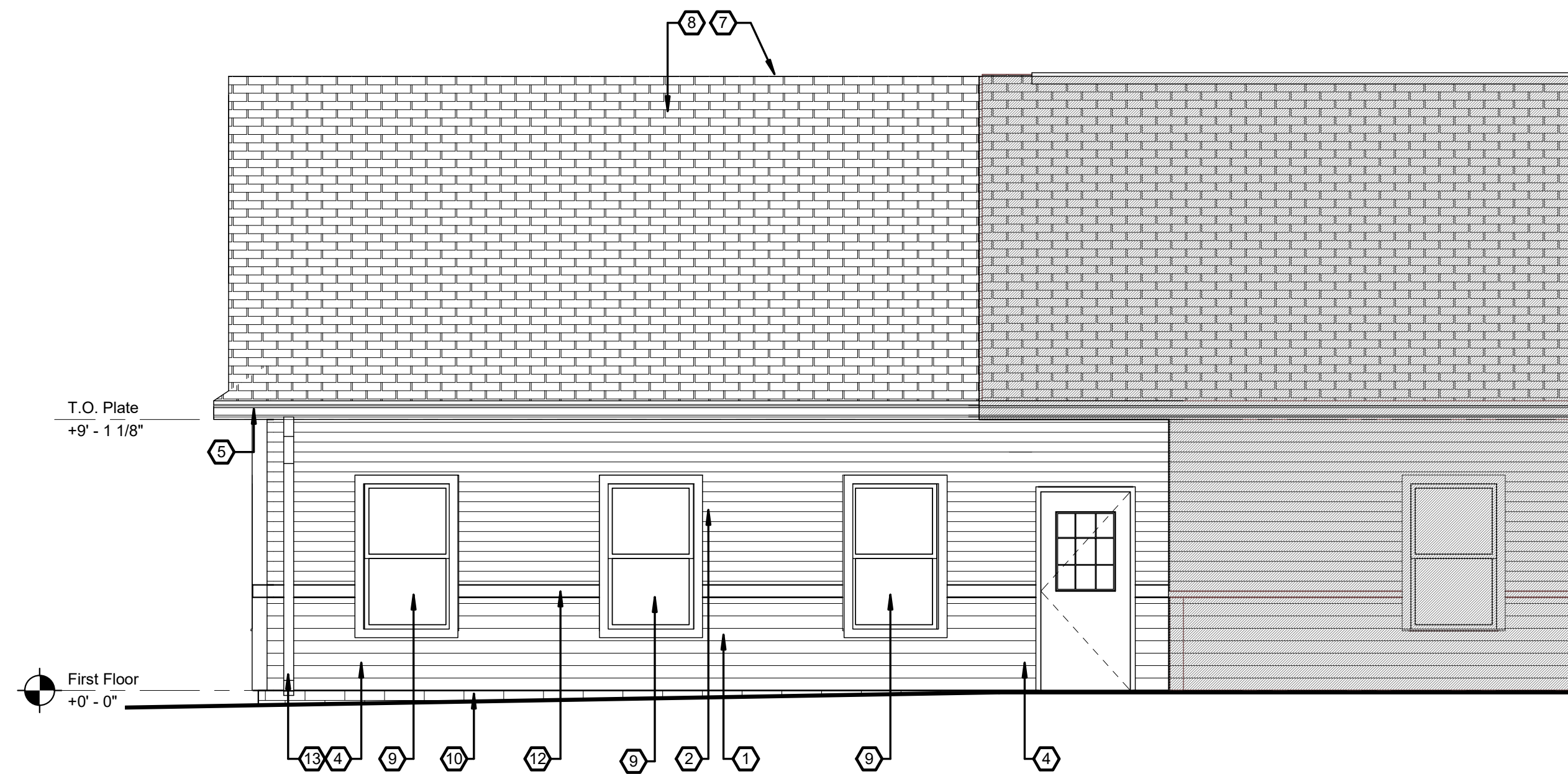
1. ALL EXHAUST VENT COLORS TO BE SELECTED BY OWNER
2. PAINT ALL PVC PIPE ROOF PENETRATIONS TO MATCH ROOF SHINGLE COLOR

ELEVATION KEY NOTES

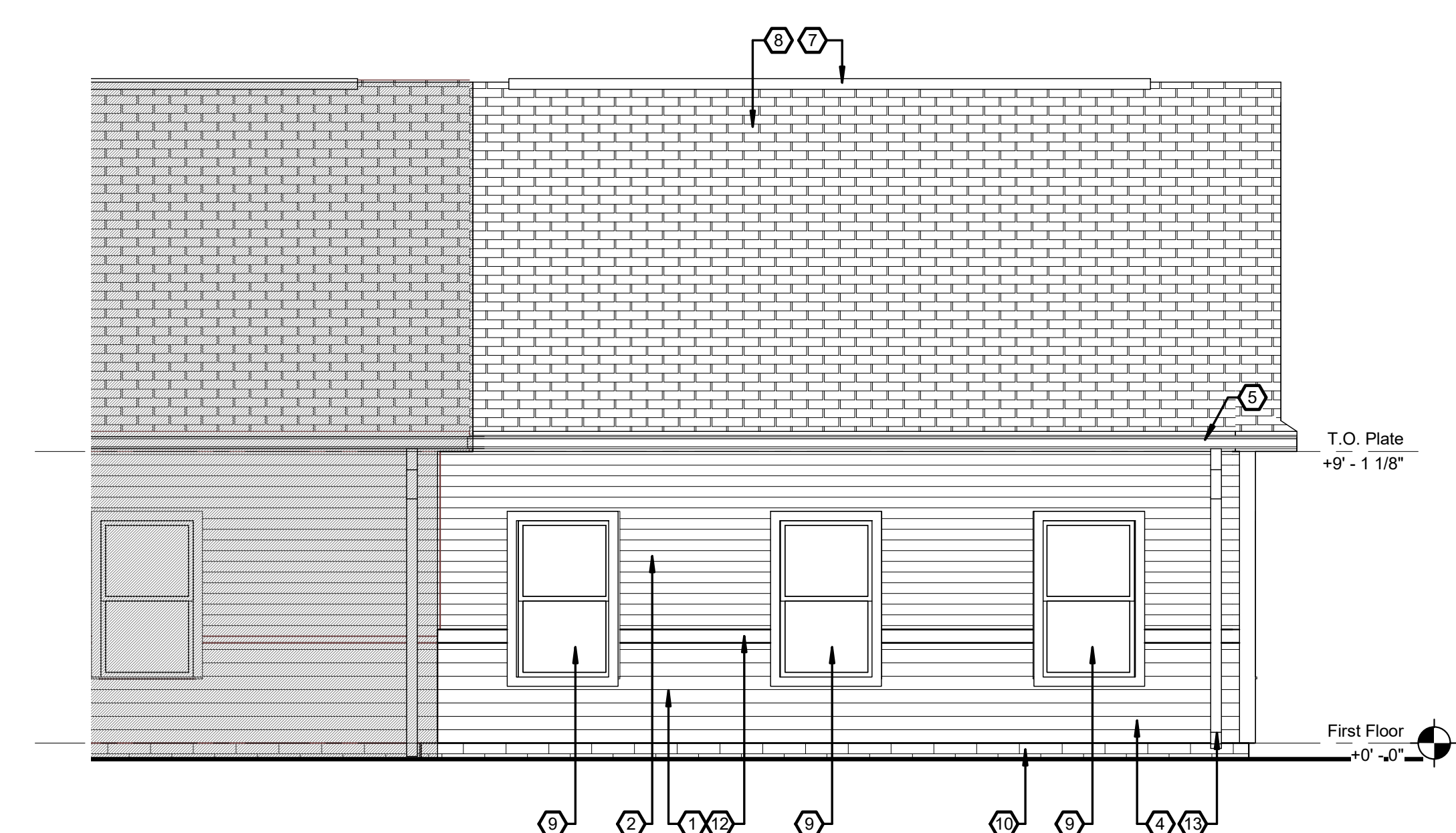
wt	DESCRIPTION
1	VINYL SIDING - EXPOSURE TO MATCH EXISTING +/- 5"
2	VINYL SIDING - EXPOSURE TO MATCH EXISTING +/- 4"
3	SIMULATED CEDAR SHAKE SIDING TO MATCH EXISTING
4	VINYL CORNER TRIM TO MATCH EXISTING
5	5" ALUMINUM "K" GUTTER TO MATCH EXISTING OVER METAL WRAPPED 2X8 FASCIA (TYPICAL) - SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS
6	METAL CLAD 1X2 OVER 1X8 RAKE BOARD
7	SHINGLE OVER TYPE RIDGE VENT (TYPICAL) - SEE ROOF PLAN
8	ASPHALT SHINGLE ROOF
9	DOUBLE HUNG WINDOW W/ SCREEN
10	CMU FOUNDATION
11	GREEK RETURN, ASPHALT SHINGLE ROOF W/ CONCEALED FLASHING
12	1X6 PVC TRIM BOARD
13	ALUMINUM DOWNSPOUT TO ABOVE GRADE PVC CLEANOUT. CONNECT TO UNDERGROUND STORM (TYP.) - SEE CIVIL DRAWINGS



3 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

Drawn By: JM
Checked By: TNZ
Project Manager: JM

These documents and all the ideas, arrangements, designs and plans indicated thereon or presented thereby are owned by and remain the property of SWBR and no part thereof shall be utilized by any person, firm, or corporation for any purpose whatsoever except with the specific written permission of SWBR. All rights reserved. ©

Revisions

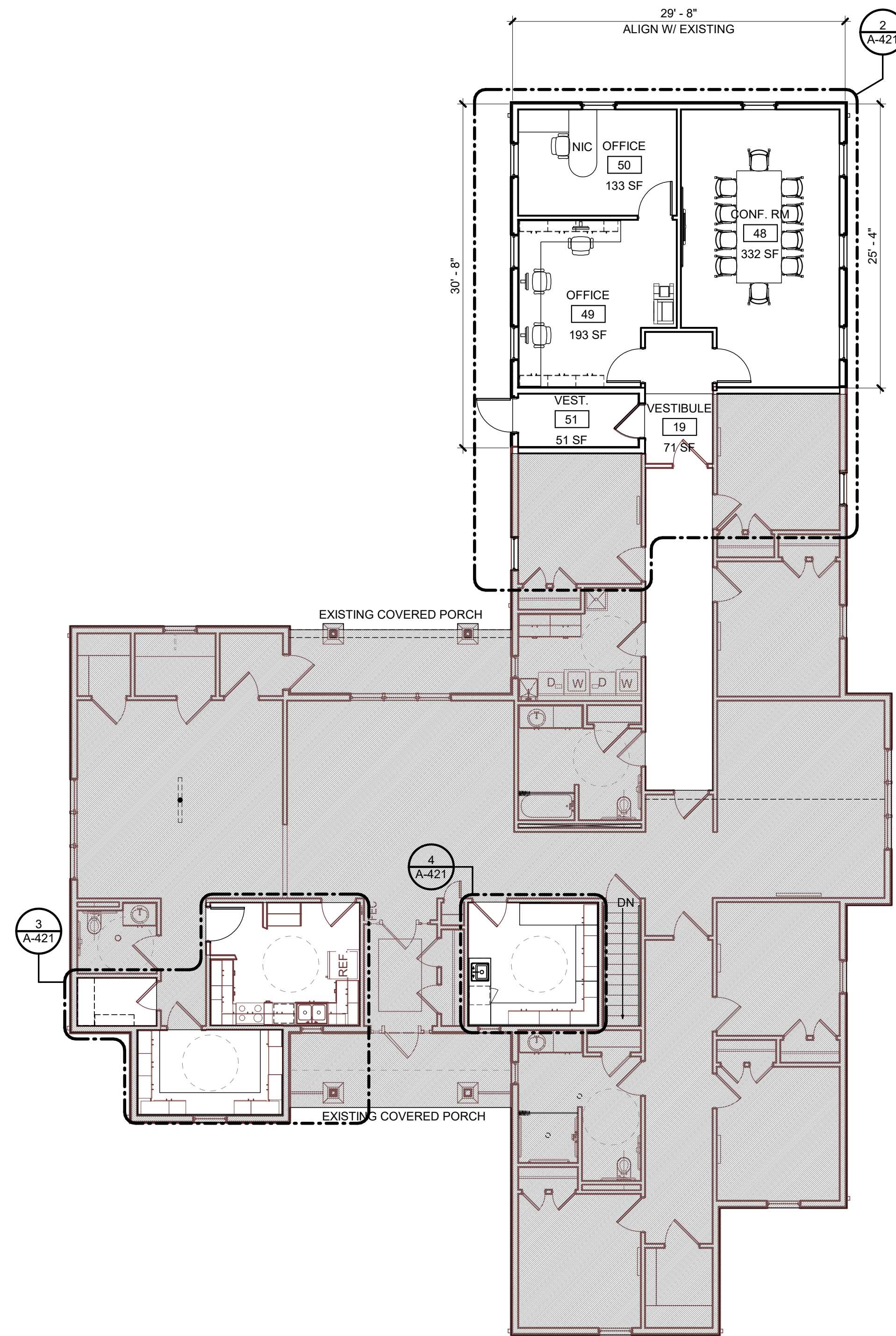
EAST RIVER IRA - ADDITION
SWBR Project Number 22089.00

MARY CARIOLA CHILDREN'S CENTER
1000 ELMWOOD AVENUE
SUITE 100 ROCHESTER, NY
14620

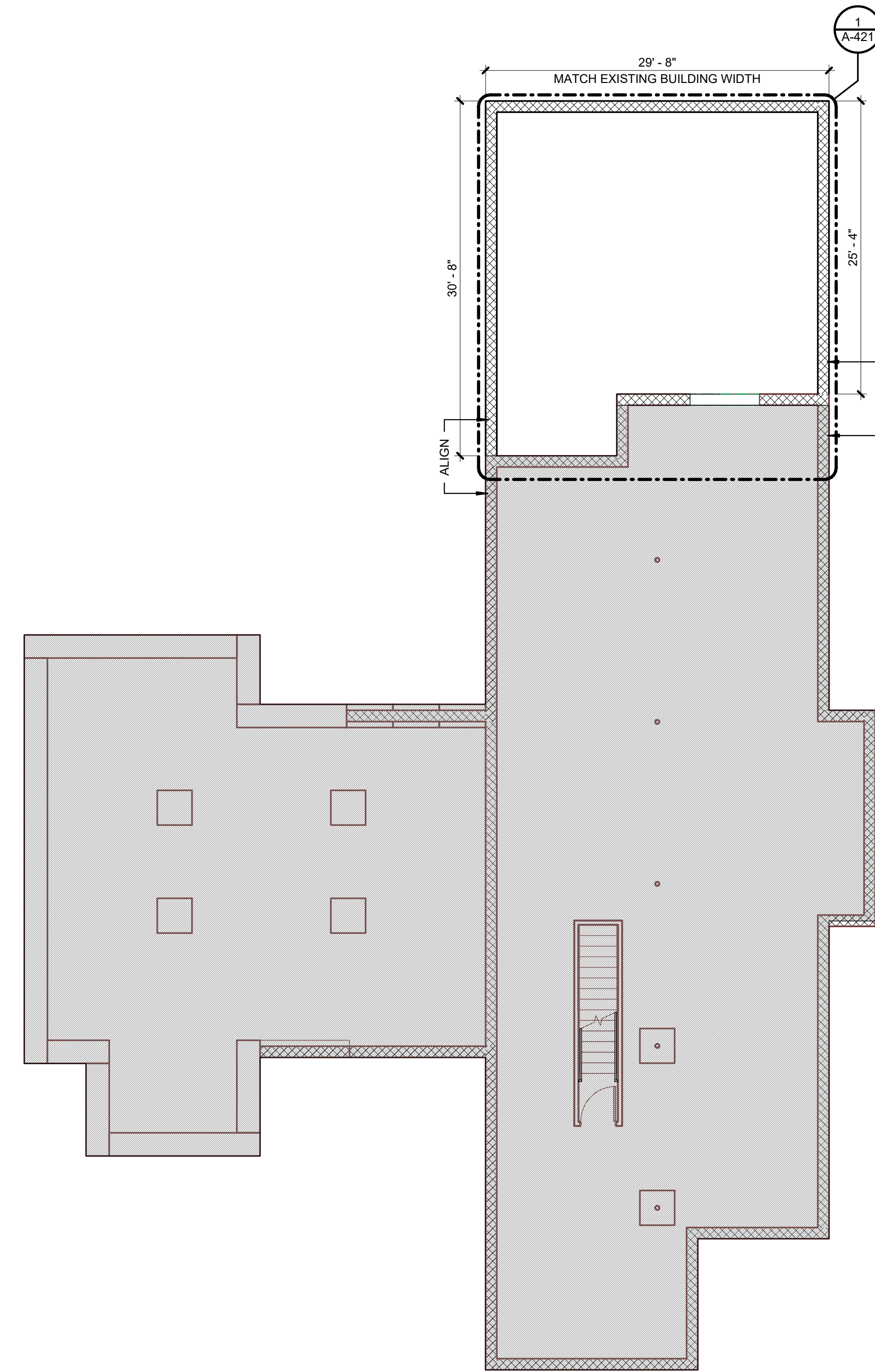
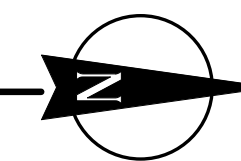
A-201

EXTERIOR ELEVATIONS AND DETAILS

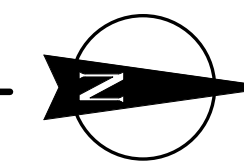
05/06/2022
CONSTRUCTION DOCUMENT SET



2 OVERALL FIRST FLOOR PLAN
 1/8" = 1'-0"



1 BASEMENT ADDITION PLAN
 1/8" = 1'-0"



Drawn By: NPD
 Checked By: JM
 Project Manager: JM

These documents and all the ideas, arrangements, designs and plans indicated thereon or presented thereby are owned by and remain the property of SWBR and no part thereof shall be utilized by any person, firm, or corporation for any purpose whatsoever except with the specific written permission of SWBR. All rights reserved. ©

Revisions

No.	Description

EAST RIVER IRA - ADDITION
 SWBR Project Number 22089.00

MARY CARIOLA CHILDREN'S CENTER
 1000 ELMWOOD AVENUE
 SUITE 100 ROCHESTER, NY
 14620

A-101

OVERALL PROPOSED PLANS & GENERAL NOTES

05/06/2022
 CONSTRUCTION DOCUMENT SET