

October 11, 2022

VIA FEDEX PRIORITY OVERNIGHT

Christopher E. Martin, P.E.
Director of Engineering & Planning
Town of Henrietta
475 Calkins Road
Rochester, New York 14623

**Re: Application for Site Plan Approval
Marketplace Mall
20 Miracle Mile Drive
Section 161.12, Block 1, Lot 1.1/B**

Dear Mr. Martin:

We represent Floor and Decor Outlets of America, Inc. (“Floor & Decor”) with respect to the subject property, located in Marketplace Mall and formerly occupied by Macy’s, designated as S-B-L 161.12-1-1.1/B (the “Property”). Floor & Decor seeks to demolish the existing Macy’s store and construct in its place a freestanding Floor & Decor retail store consisting of approximately 65,136 square feet, together with associated parking, landscaping, sidewalk, loading areas, signage, and other site improvements. No outdoor sales, displays or storage are proposed. The Property is in the B-1 Commercial District in which stores for the conducting of any retail business (not otherwise prohibited) are a permitted use.

Floor & Decor is a leading specialty retailer of hard surface flooring, offering a broad selection of tile, wood, stone, related tools and flooring accessories. The company operates approximately 180 stores in 33 major markets, but does not currently operate any stores in the Rochester area or elsewhere in Western New York.

The proposed development requires a special permit from § 295-18 of the Zoning Code, to permit building height of 36 feet, whereas building height above 30 feet requires a special permit. The existing building height is approximately 48 feet. An application for special permit was submitted on or about September 21, 2022, and a public hearing by the Town Board is anticipated to occur on October 26, 2022.

A pre-application conference was conducted via virtual meeting held on August 25, 2022.

The enclosed application consists of the following items:

1. Application to Planning Board for Site Plan Approval;

GIBBONS P.C.

Christopher E. Martin, P.E.
Director of Engineering & Planning
October 11, 2022
Page 2

2. Application Fee in the amount of \$150.00 by check #5161 issued by CenterPoint Integrated Solutions (Floor & Decor's permitting consultant) and payable to the "Town of Henrietta";
3. Engineering Plan Review Charge in the amount of \$700.00 by check #5160 issued by CenterPoint Integrated Solutions and payable to the "Town of Henrietta";
4. IRS Form W-9 dated October 5, 2022;
5. Affidavit of Ownership & Consent from the Owner;
6. Letter of Intent;
7. Signed Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees;
8. Site Plan Checklist;
9. Engineering Site Inspection Charge Form;
10. Short Environmental Assessment Form, dated September 21, 2022;
11. Fourteen (14) copies of Exterior Elevations prepared by SBLM Architects, dated October 6, 2022 (accompanied by lighting catalog cuts for wall lights);
12. Fourteen (14) sets of site plans prepared by Stonefield Engineering & Design, LLC, dated October 10, 2022, consisting of the following sheets:
 - a. Cover Sheet (Sheet C-1);
 - b. Existing Conditions Plan (Sheet C-2);
 - c. Demolition Plan (Sheet C-3);
 - d. Site Plan (Sheet C-4);
 - e. Grading and Drainage Plan (Sheet C-5);
 - f. Utility Plan (Sheet C-6);
 - g. Lighting Plan (Sheet C-7);
 - h. Soil Erosion and Sediment Control Plan (Sheet C-8);

GIBBONS P.C.

Christopher E. Martin, P.E.
Director of Engineering & Planning
October 11, 2022
Page 3

- i. Landscaping Plan (Sheet C-9);
 - j. Landscaping Details (Sheet C-10);
 - k. Construction Details (Sheet C-11);
 - l. Construction Details (Sheet C-12);
 - m. Construction Details (Sheet C-13);
 - n. Construction Details (Sheet C-14);
13. Fourteen (14) copies of a Boundary & Partial Topographic Survey prepared by Stonefield Engineering & Design, LLC, dated April 22, 2022;

Electronic copies of each of the items referenced above will be transmitted in pdf format to drawings@henrietta.org for download.

Since this project constitutes redevelopment, Floor & Decor anticipates submitting a SWPP rather than a Drainage Report. In accordance with a discussion with the Town Engineer, the SWPP will be submitted by October 27, 2022.

Additionally, as requested at the pre-application conference, Floor & Decor also anticipates submitting a Traffic Memorandum which quantifies trip generation and parking demand compared to existing conditions. This also will be submitted by October 27, 2022.

Floor & Decor respectfully requests that this application be scheduled for the Conservation Board at its meeting on November 1, 2022, and for consideration by the Planning Board at its meeting on November 15, 2022.

Please contact me if any additional items are necessary for the review and processing of this application.

Very truly yours,



Howard D. Geneslaw
Director

HDG
Enclosures

GIBBONS P.C.

Christopher E. Martin, P.E.
Director of Engineering & Planning
October 11, 2022
Page 4

cc: (via e-mail)
Floor & Decor
CenterPoint Integrated Solutions
Stonefield Engineering & Design
SBLM Architects



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: October 4, 2022

I (we) Floor and Decor Outlets of America, Inc. of 2500 Windy Ridge Parkway SE
Name of Applicant / Business Business Address (Number & Street)

Atlanta, Georgia 30339 (Attn. Alexander Shporer) hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 20 Miracle Mile Drive B-1 S-B-L 161.12-1-1.1/B
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: N/A Number: _____

DESCRIPTION OF PROPOSAL: _____

Floor & Decor seeks to demolish the existing Macy's store and construct in its place a freestanding Floor & Decor retail store consisting of approximately 65,136 square feet, together with associated parking, landscaping, sidewalk, loading areas, signage, and other site improvements. No outdoor sales, displays or storage are proposed. The Property is in the B-1 Commercial District in which stores for the conducting of any retail business (not otherwise prohibited) are a permitted use.

Applicant: Floor and Decor Outlets of America, Inc.

Address: Attn. Alexander Shporer
2500 Windy Ridge Parkway SE, Atlanta, GA 30339

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: The Marketplace

Address: 1265 Scottsville Road
Rochester, NY 14624

Phone #: [REDACTED]

Email: [REDACTED]

Engineer/Architect: Zachary E. Chaplin, PE

Address: Stonefield Engineering and Design, LLC
584 Broadway, Suite 310, New York, NY 10012

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: Floor and Decor Outlets of America, Inc.

Address: Attn. Alexander Shporer
2500 Windy Ridge Parkway SE, Atlanta, GA 30339

Phone #: [REDACTED]

Email: [REDACTED]

Applicant Signature:

Print Name: Alexander Shporer

TOWN OF HENRIETTA, NEW YORK
AFFIDAVIT OF OWNERSHIP & CONSENT
SECTION 161.12, BLOCK 1, LOT 1.1/B

COUNTY OF MONROE)
) ss.
STATE OF NEW YORK)

I, Thomas C. Wilmot, being duly sworn, depose and say:

1. I am the Authorized Signatory of THE MARKETPLACE, f/k/a Miracle Mile Associates ("Marketplace"), having its principal place of business at 1265 Scottsville Road, Rochester, New York, 14264.

2. Marketplace is the ground tenant pursuant to (i) a certain lease between Hylan Flying Service, Inc., and Miracle Mile Associates, dated May 7, 1968, as evidenced by a Memorandum of Lease recorded June 29, 1971 in Liber 4130, Page 225, as supplemented by a Lease Supplement, Addendum and Modification to Lease Agreement dated October 2, 1974 and recorded October 4, 1974 in Liber 4733, Page 181, and (ii) a certain lease between Emil Muller and Hylan, and Miracle Mile Associates, as evidenced by a Memorandum of Lease recorded October 4, 1974 in Liber 4733, Page 174 (collectively, the "Ground Lease").

3. The Ground Lease pertains to certain property commonly known as Marketplace Mall and designated as Section 161.12, Block 1, Lots 1.1/B, 1.112, 1.1/A & 1.111 in the tax records of the Town of Henrietta, County of Monroe, State of New York (the "Property")

4. The Ground Lease vests in Marketplace the ability to develop and otherwise improve the Property.

5. Floor and Decor Outlet Centers of America, Inc. ("Floor & Decor") anticipates entering into a lease for a portion of the Property, formerly occupied by a Macy's department store, designated as Section 161.12, Block 1, Lot 1.1/B, for the purpose of developing an approximately 65,136 square foot freestanding retail store engaged principally in the sale of hard surface flooring, related tools and flooring accessories (the "Project").

6. Marketplace authorizes Floor & Decor and its project team, consisting of its development consultant (CenterPoint Integrated Solutions), its attorneys (Gibbons P.C.), its engineers (Kimley-Horn), and its architects (SBLM Architects), to submit, speak on and act with respect to applications for special permit, site plan approval, area variances, exceptions, waivers, and any other zoning, building or other permits, approvals, and authorizations (the "Town Project Entitlements") as may be required from the Town of Henrietta and any of its boards, commissions, or agencies to construct the Project. This shall include, but not be limited to, authorization to appear in support of the Project before the Henrietta Town Board, Planning Board, Conservation Board and Zoning Board of Appeals.


7. Marketplace authorizes representatives of the boards, commissions and agencies from which Floor & Decor applies for Town Project Entitlements to enter the Property for purposes of inspection in connection with such applications.

Sworn and Subscribed to before me **THE MARKETPLACE**

this 6th day of October, 2022.



Notary Public [affix seal below]

By: 

Name: Thomas C. Wilmot
Title: Authorized Signatory

TERESA M. RUBERT
Notary Public, State of New York
Qualified in Monroe County
My Commission Expires 6/16/26

Floor and Decor Outlets of America, Inc.

**20 Miracle Mile Drive
Section 161.12, Block 1, Lot 1.1/B
Town of Henrietta, New York**

Letter of Intent

October 10, 2022

Floor and Decor Outlets of America, Inc. (“Floor & Decor”) is the prospective tenant of a portion of Marketplace Mall. Floor & Decor proposes to demolish the existing Macy’s and construct in its place an approximately 65,136 square foot freestanding Floor & Decor retail store.

Company Background

Floor & Decor is a leading specialty retailer of hard surface flooring, offering a broad selection of tile, wood, stone, related tools and flooring accessories. The company operates 181 stores in 33 major markets throughout the country. However, it does not yet have any stores in the Rochester area or elsewhere in Western New York, but a new store was recently approved in the Buffalo area (Town of Cheektowaga).

Zoning

The Property is in the B-1 Commercial District in which stores for the conducting of any retail business (not otherwise prohibited) are a permitted use. See Zoning Code § 295-14.A.(1).

Proposal

The proposed new building will be located generally within the same footprint as the existing Macy’s. An entrance to the mall and retail stores will be created from the outside, where Macy’s now adjoins the mall. Additionally, there will be a sixty (60) foot separation between the existing mall building and the proposed Floor & Decor building. It is shown on Floor & Decor’s plans as grassy area, which it is expected would be an interim arrangement. The Marketplace intends to independently propose improvements to this area which are currently being designed, but likely will consist of open space, pedestrian areas and/or improvements such as benches, pavers and trash receptacles.

The proposed building will include a customer pickup (“CPU”) area near the front entrance, including both an area where customers can pull their vehicle up to the building for larger orders, as well as designated “I’m Here” parking spaces from which customers announce their arrival and associates bring their small orders out to the designated spaces. These new parking spaces and the

CPU area will be located in a parking area created within the existing building footprint and will not affect the existing circulation drive around the mall.

The project also proposes additional site improvements, including a loading area with two loading spaces and a trash compactor screened by a retaining wall; landscaping; sidewalks; and parking along the east side of the building. The existing mall parking in the vicinity will remain and will be available for use by Floor & Decor customers. Applicant also proposes signs which are depicted on the building elevations.

Hours of Operation

Typical hours of operation are:

Monday – Friday:	7:00am – 7:00pm
Saturday:	8:00am – 7:00pm
Sunday:	10:00am – 6:00pm

Applicant reserves the right to adjust operating hours as business demands dictate.

Number of Employees on-Site

Weekdays

- Opening to 5:00pm: 25 full time/15 part time.
- 5:00pm to Closing: 20 full time/10 part time.

Weekends

- Opening to 5:00pm: 30 full time/20 part time.
- 5:00pm to Closing: 25 full time/15 part time.

Applicant reserves the right to adjust the number and schedule of employees as business demands dictate.

Truck Deliveries

During normal operations, the store is expected to receive approximately 4-8 truck deliveries, 5 days a week, which will occur overnight when the store is closed. Deliveries are scheduled outside of store operating hours when allowed by the local jurisdiction to minimize interaction with customers since entire pallets of flooring materials are brought onto the sales floor.

Special Use Permit

This project requires a special permit with respect to § 295-18 of the Zoning Code, which triggers a special use permit where proposed building height exceeds 30 feet. Floor & Decor proposes building height of 36 feet to top of parapet, and therefore a special use permit is required. For reference, the existing Macy's store has a building height of approximately 48 feet. Thus, although the proposed building height exceeds the threshold for a special permit, it is substantially lower than the existing condition. The special use permit application was submitted to the Town Board on September 21, 2022, and is scheduled for public hearing on October 26, 2022.

Variances

This project does not require any variances other than for wall signage, which will be the subject of an application to the Zoning Board of Appeals independent of the site plan approval process.

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Floor and Decor Outlets of America, Inc.

By: Alexander Shporer

Title: Construction Design Project Manager

Dated: October 4, 2022

Signed:  _____

Owner: The Marketplace

By: Thomas C. Wilmot

Title: Authorized Signatory

Dated: October 4, 2002

Signed: _____

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

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- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Floor and Decor Outlets of America, Inc.

By: Alexander Shporer

Title: Construction Design Project Manager

Dated: October 4, 2022

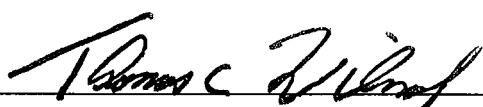
Signed: _____

Owner: The Marketplace

By: Thomas C. Wilmot

Title: Authorized Signatory

Dated: October 4, 2002

Signed: 



SITE PLAN CHECKLIST

PROJECT NAME: Floor and Decor - Henrietta, NY

APPLICATION No. _____

- ✘ 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- ✘ 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - ✘ a. Site Plan
 - ✘ b. Utility Plan
 - ✘ c. Grading Plan
 - ✘ d. Landscape Plan
 - ✘ e. Lighting Plan
 - ✘ f. Profiles and Construction Details
 - ✘ g. Building Elevations
- ✘ 3 The Title Block should contain the following:
 - ✘ a. Proposed Name of Development
 - ✘ b. Location of Development
 - ✘ c. Name, Address, and Telephone Number of Developer or Applicant
 - ✘ d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- ✘ 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- ✘ 5 A scale of not more than fifty feet to the inch is to be used.
- ✘ 6 Show names and tax account numbers of adjacent lands.
- ✘ 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- ✘ 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- ✘ 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- ✘ 10 Show a tie distance from the proposed site to nearest road intersection
- ✘ 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: Floor and Decor - Henrietta, NY

APPLICATION No. _____

- ✘ 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor. **Should a certification be provided, it will be provided in subsequent submissions**
- ✘ 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction. **No monuments are to be proposed as part of the redevelopment.**
- ✘ 14 List the names of existing streets, their legal width, and jurisdiction.
- ✘ 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- ✘ 16 Show planned use for the proposed structure (i.e. office etc).
- ✘ 17 Show proposed and/or existing setbacks.
- ✘ 18 Show parking requirements (indicate the proposed and required).
- ✘ 19 Show the fire lanes.
- ✘ 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - ✘ a. To scale plot of proposed trees and/or shrubs
 - ✘ b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - ✘ c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - ✘ d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - ✘ e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - ✘ f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - ✘ g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Architect, be provided. (Note: a Letter of Credit will be required to insure completion.)
- ✘ 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: Floor and Decor - Henrietta, NY

APPLICATION No. _____

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- ✘ 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
 - ✘ 23 Please plan to bring samples of the proposed architectural materials to the meeting.
 - ✘ 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
 - ✘ 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
 - ✘ 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
 - ✘ 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
 - ✘ 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
 - ✘ 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
 - ✘ 30 Show wetland and buffer zone limits (when applicable). **N/A, no wetlands are present on site**
 - ✘ 31 Show floodplain and floodway limits (when applicable). **N/A, no floodplains or floodways are present on site**
 - ✘ 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development. **should a existing profile be required, one will be prepared in subsequent submissions**
 - ✘ 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: Floor and Decor - Henrietta, NY

APPLICATION No. _____

sizes, and details of any water crossings.

- ✘ 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- ✘ 35 Show location of fire protection systems components.
- ✘ 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- ✘ 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- ✘ 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- ✘ 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan. **no burial area is proposed as part of the redevelopment**
- ✘ 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix. **N/A**
- ✘ 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- ✘ 42 Required supporting data and/or Reports: **to be included with full civil documents**
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies) **to be provided prior to Planning Board meeting**
 - c. Traffic Report if required (twelve copies) **to be provided prior to Planning Board meeting**
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: Floor and Decor - Henrietta, NY

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: Tom Murphy
Name of Developer

October 10, 2022
Date

Centerpoint Integrated Solutions
Company Name

1626 Cole Blvd, Suite 125
Street Address

Lakewood, CO 80401
City, State, Zip





SITE PLAN CHECKLIST

PROJECT NAME: Floor and Decor - Henrietta, NY

APPLICATION No. _____

Telephone Number

Prepared by: Zachary Chaplin, PE

Name of Consultant

Stonefield Engineering and Design

Company Name

584 Broadway Suite 310

Street Address

New York, NY 10012

City, State, Zip

██████████

Telephone Number

October 10, 2022

Date

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual Alexander Shporer, Construction Design Project Manager

Responsible Firm Floor and Decor Outlets of America, Inc.

Street Address 2500 Windy Ridge Parkway SE

City, State, Zip Code Atlanta, GA 30339

Telephone Number ([REDACTED]) [REDACTED] [REDACTED]

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual Alexander Shporer, Construction Design Project Manager

Responsible Firm Floor and Decor Outlets of America, Inc.

Street Address 2500 Windy Ridge Parkway SE

City, State, Zip Code Atlanta, GA 30339

Telephone Number ([REDACTED]) [REDACTED] [REDACTED]

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By _____

Address _____

City, State Zip _____

Telephone Number () _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Floor & Decor Henrietta			
Project Location (describe, and attach a location map): 20 Miracle Mile Drive - Section 161.12, Block 1, Lot 1.1/B			
Brief Description of Proposed Action: Floor and Decor Outlets of America, Inc. ("Floor & Decor") is the prospective tenant of a portion of the Marketplace Mall. Floor & Decor proposes to demolish the existing Macy's and construct, in its place, an approximately 65,136 square foot freestanding Floor & Decor retail store. The proposed new building will be located generally within the same footprint as the existing Macy's, with certain bump-outs for loading and other building features. Access to the facility will be similar to the old Macy's circulation around Miracle Mile Drive and the surrounding access driveways. New utilities are proposed as well as signage, stormwater management systems, site lighting and landscaping.			
Name of Applicant or Sponsor: Zachary Chaplin, PE - Stonefield Engineering and Design		Telephone: [REDACTED] E-Mail: [REDACTED]	
Address: 854 Broadway Suite 310			
City/PO: New York		State: NY	Zip Code: 10012
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: See footnotes below		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		6.74 acres	
b. Total acreage to be physically disturbed?		3.94 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		6.74 acres (property acreage for the development lease area)	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

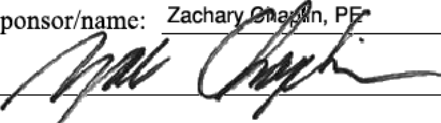
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

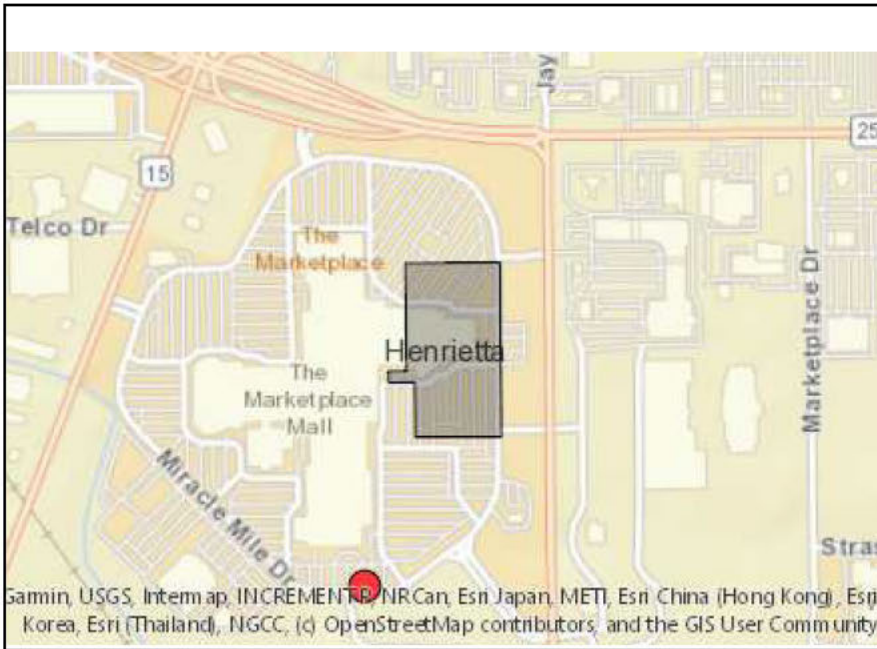
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

Stormwater runoff will be collected and conveyed to the existing stormwater management system on site		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
After reviewing the NYS DEC Info Mapper, the nearest remediation site is located approximately 2,000 feet away from the project area. Therefore, it is believed that this site will not effect the projects redevelopment		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Zachary Onaghin, PE</u> Date: <u>September 21, 2022</u>		
Signature:  Title: <u>Project Manager</u>		



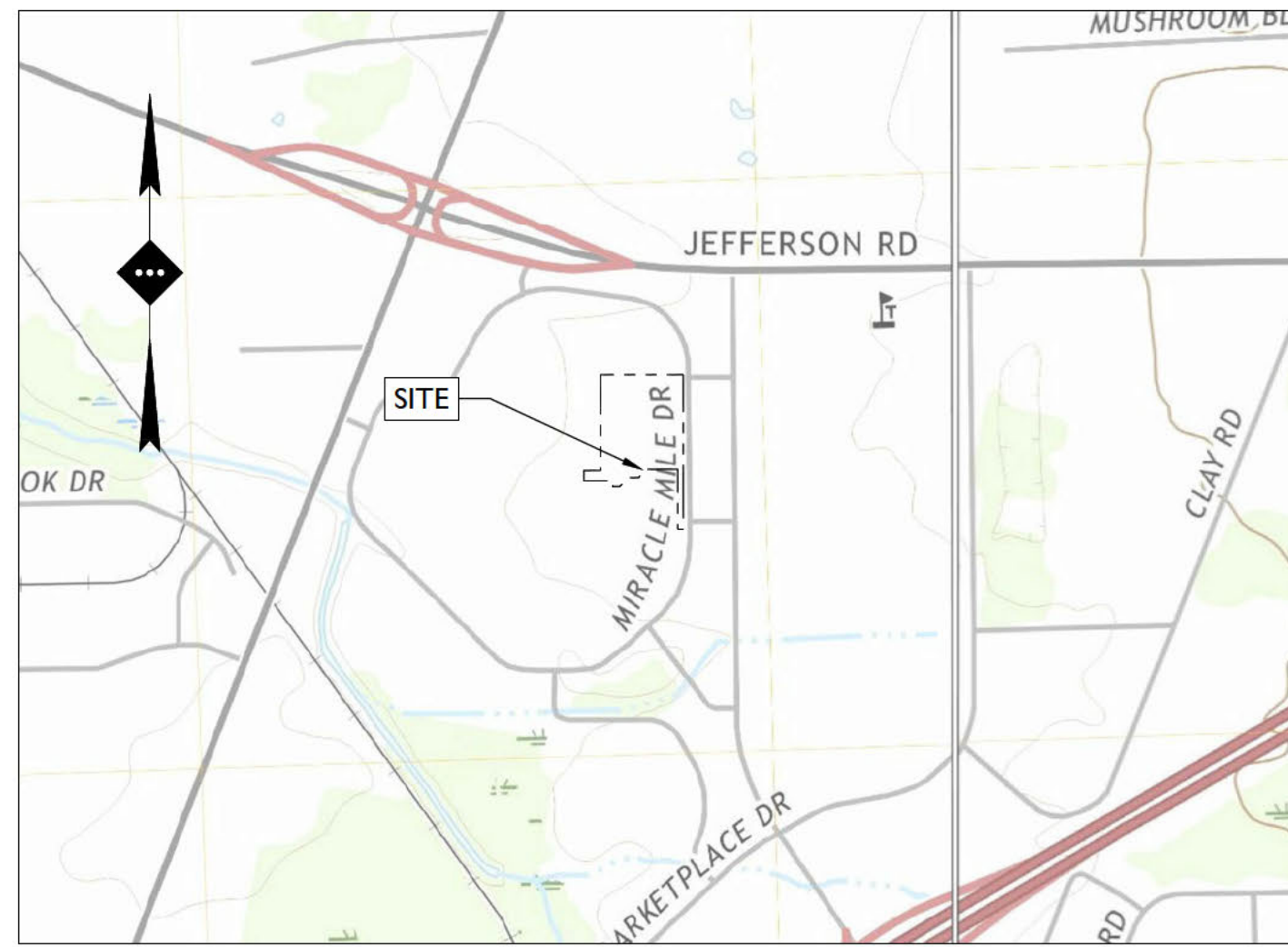
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



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Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	Yes



SOURCE: USGS TOPO MAPS 7.5 MINUTE SERIES HENRIETTA AND PITTSFORD, DATED 2019

LOCATION MAP

SCALE 1" = 1000'

SITE PLANS FOR **FLOOR & DECOR** PROPOSED RETAIL STORE

SECTION 161.12 BLOCK 1 LOT 1.1/B
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA, MONROE COUNTY, NY

APPLICANT

FLOOR DECOR

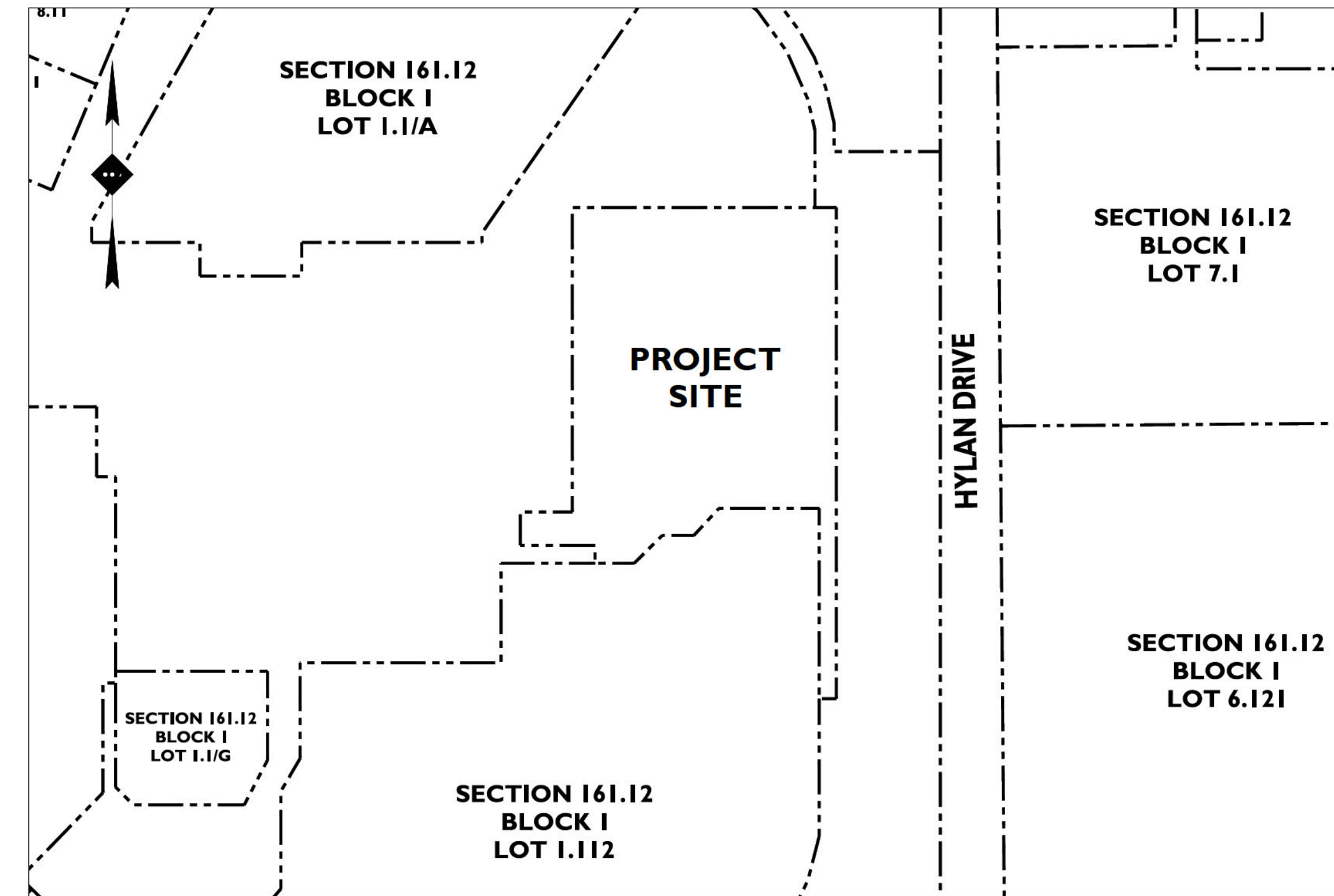
SIGNATURE BLOCK	
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE



SOURCE: GOOGLE EARTH PRO SATELLITE IMAGERY, RETRIEVED 9/1/2022

AERIAL MAP

SCALE 1" = 200'



SOURCE: MONROE COUNTY NY INTERACTIVE MAPPING VIEWER

TAX MAP

SCALE 1" = 200'

PLANS PREPARED BY



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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING AND DESIGN, DATED 2/18/2022
 - ARCHITECTURAL PLAN PREPARED BY SBML, ELECTRONICALLY RECEIVED ON 9/2/2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO SATELLITE IMAGERY, RETRIEVED 7/20/2022
 - LOCATION MAP OBTAINED FROM USGS TOPO MAP 7.5 MINUTE SERIES BUFFALO NE QUADRANGLE, DATED 2019
 - TAX MAP OBTAINED FROM ERIE COUNTY NY INTERACTIVE MAPPING VIEWER, RETRIEVED 7/20/2022
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING AND DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN	C-9
LANDSCAPING DETAILS	C-10
CONSTRUCTION DETAILS	C-11 - C-14

ISSUE	DATE	BY	DESCRIPTION
1	10/10/2022	SI	TOWN SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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SITE PLANS

PROPOSED
FLOOR & DECOR

LOT 1.1/B, BLOCK 1, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK



STONEFIELD
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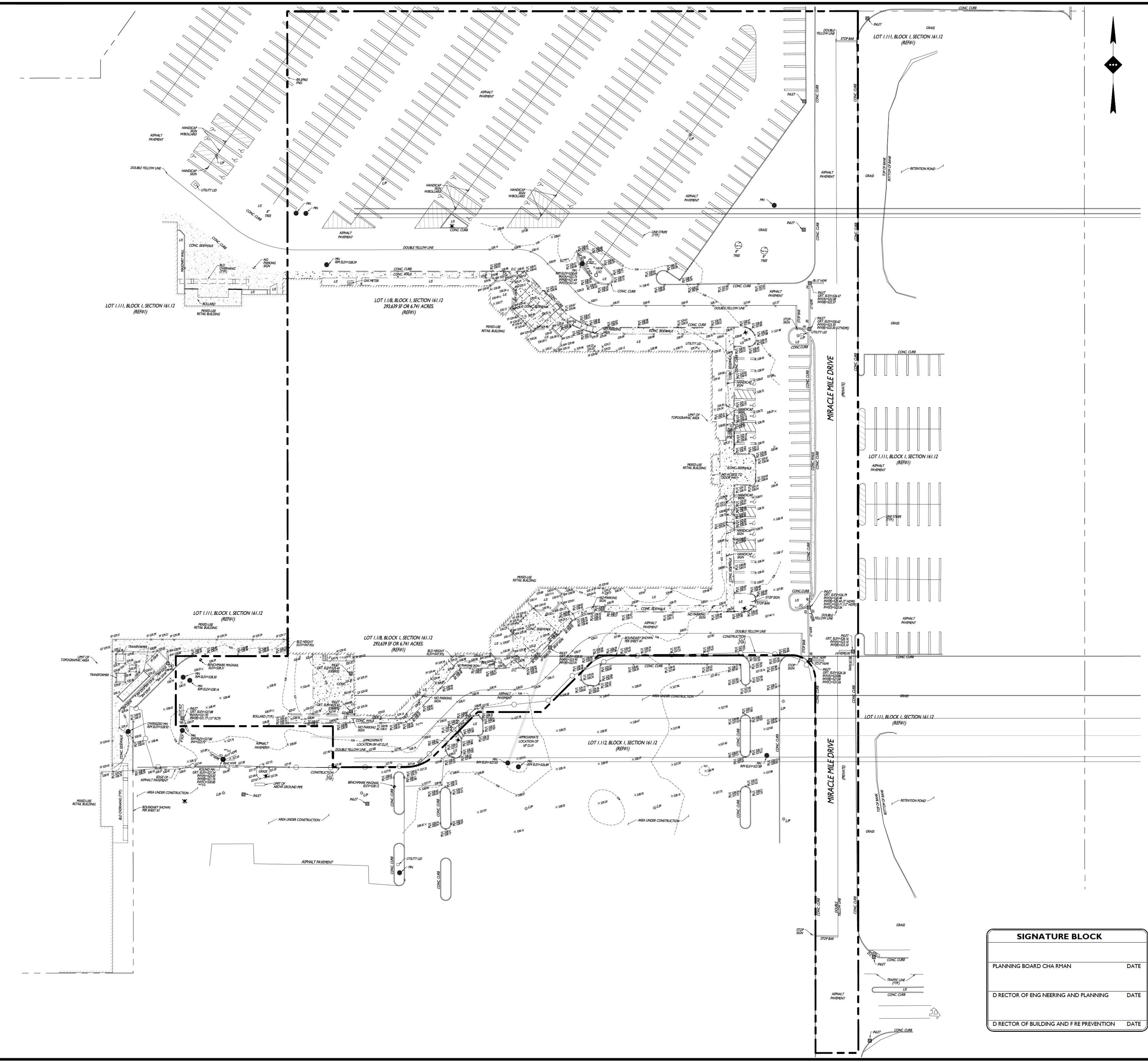
SCALE: AS SHOWN PROJECT ID: NYC-220045

TITLE:
COVER SHEET

DRAWING:
C-1

1. SOURCE: USGS TOPO MAPS 7.5 MINUTE SERIES HENRIETTA AND PITTSFORD, DATED 2019
 2. SOURCE: GOOGLE EARTH PRO SATELLITE IMAGERY, RETRIEVED 9/1/2022
 3. SOURCE: MONROE COUNTY NY INTERACTIVE MAPPING VIEWER

US:STONEFIELD\ENGINEERING\PROJECTS\C220045-CENTERPOINT INTEGRATED SOLUTIONS - 39 MIRACLE MILE DRIVE, HENRIETTA, NY\CAD\DWG\1000\1000.DWG



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	FEATURE TO BE REMOVED/DEMOLISHED	[Symbol]	OVERHEAD WIRE
[Symbol]	BUILDING	[Symbol]	UNDERGROUND GAS LINE
[Symbol]	CONCRETE SIDEWALK / MAT	[Symbol]	UNDERGROUND WATER LINE
[Symbol]	ASPHALT / CONCRETE CURB	[Symbol]	UNDERGROUND ELEC LINE
[Symbol]	D.C.	[Symbol]	100
[Symbol]	DEPRESSED CURB	[Symbol]	MAJOR CONTOUR
[Symbol]	PROPERTY LINE	[Symbol]	101
[Symbol]	ADJACENT PROPERTY LINE	[Symbol]	X 100.00
[Symbol]	CHAIN LINK FENCE	[Symbol]	TC 100.50
[Symbol]	BOARD-ON-BOARD FENCE	[Symbol]	BC 100.00
[Symbol]	GUIDE RAIL	[Symbol]	TW 102.00
[Symbol]	MAST ARM LIGHT POLE	[Symbol]	BW 100.00
[Symbol]	POLE	[Symbol]	TOP OF CURB SHOT
[Symbol]	LIGHT POLE	[Symbol]	BC 100.00
[Symbol]	SIGNS	[Symbol]	BOTTOM OF CURB SHOT
[Symbol]	WATER VALVE	[Symbol]	TOP OF WALL SHOT
[Symbol]	GAS VALVE	[Symbol]	BOTTOM OF WALL SHOT
[Symbol]	FIRE HYDRANT	[Symbol]	LANDSCAPING
[Symbol]	DRAIN	[Symbol]	PAV METER
[Symbol]	INLET	[Symbol]	ELEC METER
[Symbol]	MAN HOLE	[Symbol]	GAS METER
[Symbol]	BOLLARDS	[Symbol]	WATER METER
[Symbol]	MONITORING WELL	[Symbol]	AIR CONDITIONING UNIT
[Symbol]	VENT	[Symbol]	DECIDUOUS TREE - DIAMETER NOTED
[Symbol]	SIAMISE CONNECTION	[Symbol]	CONIFEROUS TREE - DIAMETER NOTED
[Symbol]	FIRE DEPARTMENT CONNECTION	[Symbol]	PINE TREE - DIAMETER NOTED
[Symbol]	BOX (ELEC, GAS, ETC)	[Symbol]	BIKE RACK
[Symbol]	EDGE OF PAVEMENT	[Symbol]	CLEAN OUT
		[Symbol]	SURVEY MONUMENT
		[Symbol]	IRON PIN
		[Symbol]	BENCH MARK
		[Symbol]	DETECTABLE WARNING STRIP

- SURVEY NOTES**
- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2022, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
 - THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR BLUE SEAL IS AFFIXED HERETO.
 - THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
 - ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
 - BEARINGS ARE REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD83) WEST ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
 - BENCHMARK - MAG NAIL - 528.31 (NAVD88).
BENCHMARK - MAG NAIL - 528.12 (NAVD88).
 - BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.
 - EASEMENTS SHOWN ARE PER LIBER AND PAGE REFERENCED. THE FOLLOWING FILED MAPS WERE NOT RECOVERED: (A) PLAN ENTITLED "MARKETPLACE CENTER, SECTION 600, RESUBDIVISION OF LOT 603 & 602" AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 300 OF MAPS, PAGE 53 & A PLAN ENTITLED "C. PENNEY AT THE MARKETPLACE SUBDIVISION MAP" AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 321 OF MAPS, PAGE 82.

- SURVEY REFERENCES**
- SUBDIVISION MAP ENTITLED "UR MEDICINE ORTHOPEDICS & PHYSICAL PERFORMANCE CENTER, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK" PREPARED BY BME ASSOCIATES DATED DECEMBER 2019, LAST REVISED FEBRUARY 24, 2020, HAVING DRAWING NUMBER 2677-01 AND FILED IN THE OFFICE OF THE MONROE COUNTY CLERK ON FEBRUARY 28, 2020, IN LIBER 360 OF MAPS, AT PAGE 21.
 - A DOCUMENT BETWEEN CANANDAIGUA NATIONAL BANK AND TRUST COMPANY, HYLAN ENTERPRISES INC., THE MARKET PLACE, MKP HENRIETTA, LLC, MPPO, LLC, RUECKWALD SANDRA LEE, SPMO, LLC, AND UNIVERSITY OF ROCHESTER, BEING RECORDED IN THE OFFICE OF THE MONROE COUNTY CLERK ON DECEMBER 30, 2020, IN LIBER 1244 AT PAGE 525.
 - A MAP ENTITLED "SURVEY, THE MARKETPLACE, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE" PREPARED BY BEAR BROWN ASSOCIATES, P.C., DATED FEBRUARY 26, 1990.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS PARTIALLY IN ZONE X (UNSHADED, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ZONE X (SHADED, AREAS OF 0.2% ANNUAL CHANCE FLOODPLANS AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE) AND AREAS PROTECTED BY LEVES FROM THE 1% ANNUAL CHANCE FLOOD & ZONE AE (SHADED, BASE FLOOD ELEVATION OF 527' (NAVD 88) DETERMINED OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 366419, MAP NUMBER 36655C0334G WHICH BEARS AN EFFECTIVE DATE OF AUGUST, 28, 2008. (AREAS SHOWN ON SHEET#1))

SIGNATURE BLOCK

PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE

SURVEY NOTES:

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

40' 0' 40' 80'
GRAPHIC SCALE IN FEET
1" = 40'

NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/10/2022	SI		TOWN SUBMISSION

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PROPOSED FLOOR & DECOR

SITE PLANS

LOT 1.1/B, BLOCK I, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

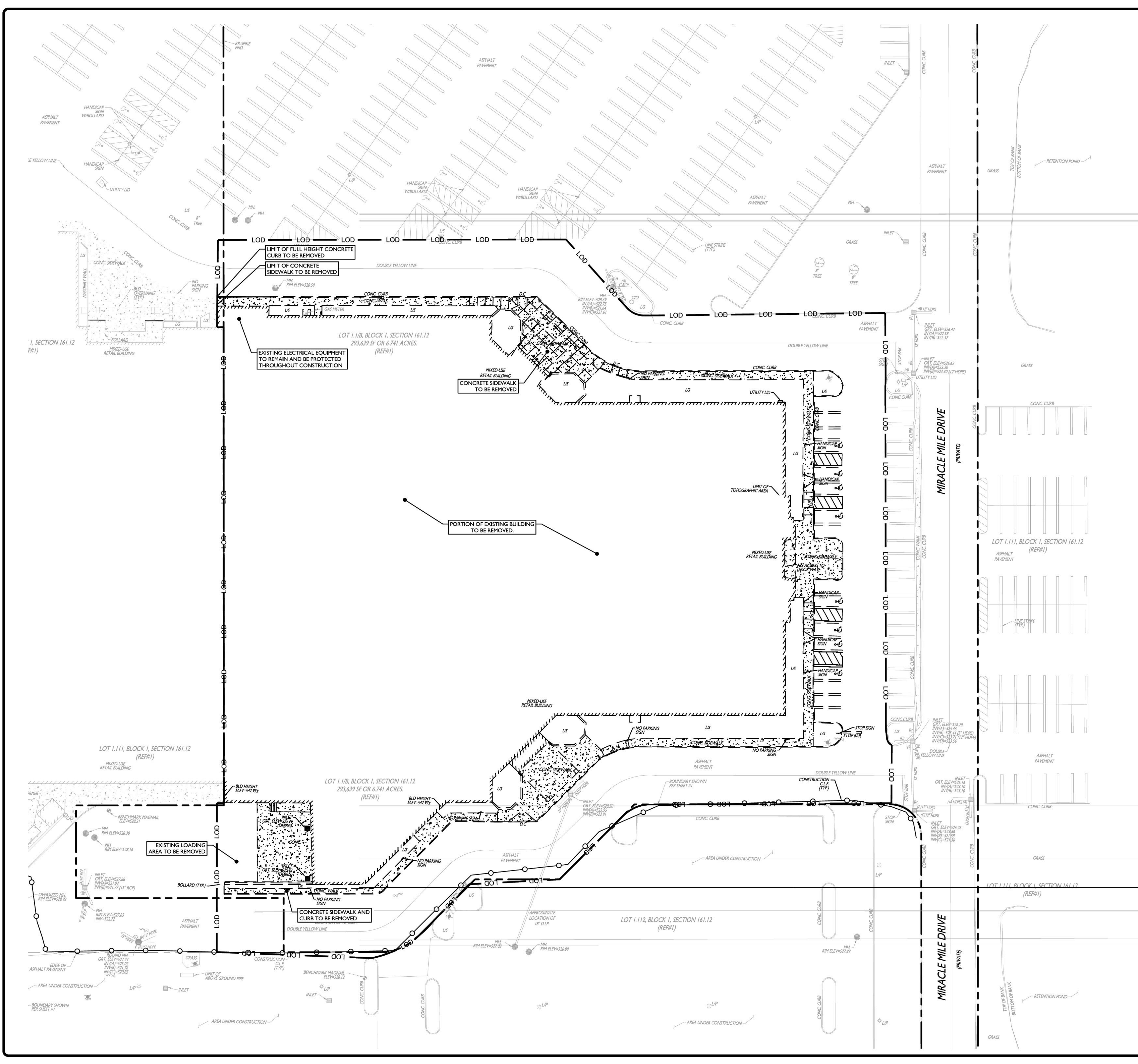


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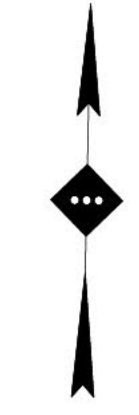
SCALE: 1" = 40' PROJECT ID: NYC-220045

TITLE:
EXISTING CONDITION PLAN

DRAWING:
C-2



SIGNATURE BLOCK	
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
— LOD —	LIMIT OF DISTURBANCE

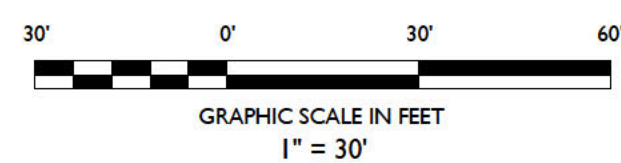
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's **811** before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES' REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



ISSUE	DATE	BY	DESCRIPTION
1	10/10/2022	SI	TOWN SUBMISSION

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SITE PLANS

PROPOSED FLOOR & DECOR

LOT 1.118, BLOCK 1, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF HENRIETTA
HENRIETTA TOWN ENGINEER
HARRY E. CHASE, P.E.
LICENSED PROFESSIONAL ENGINEER #9748

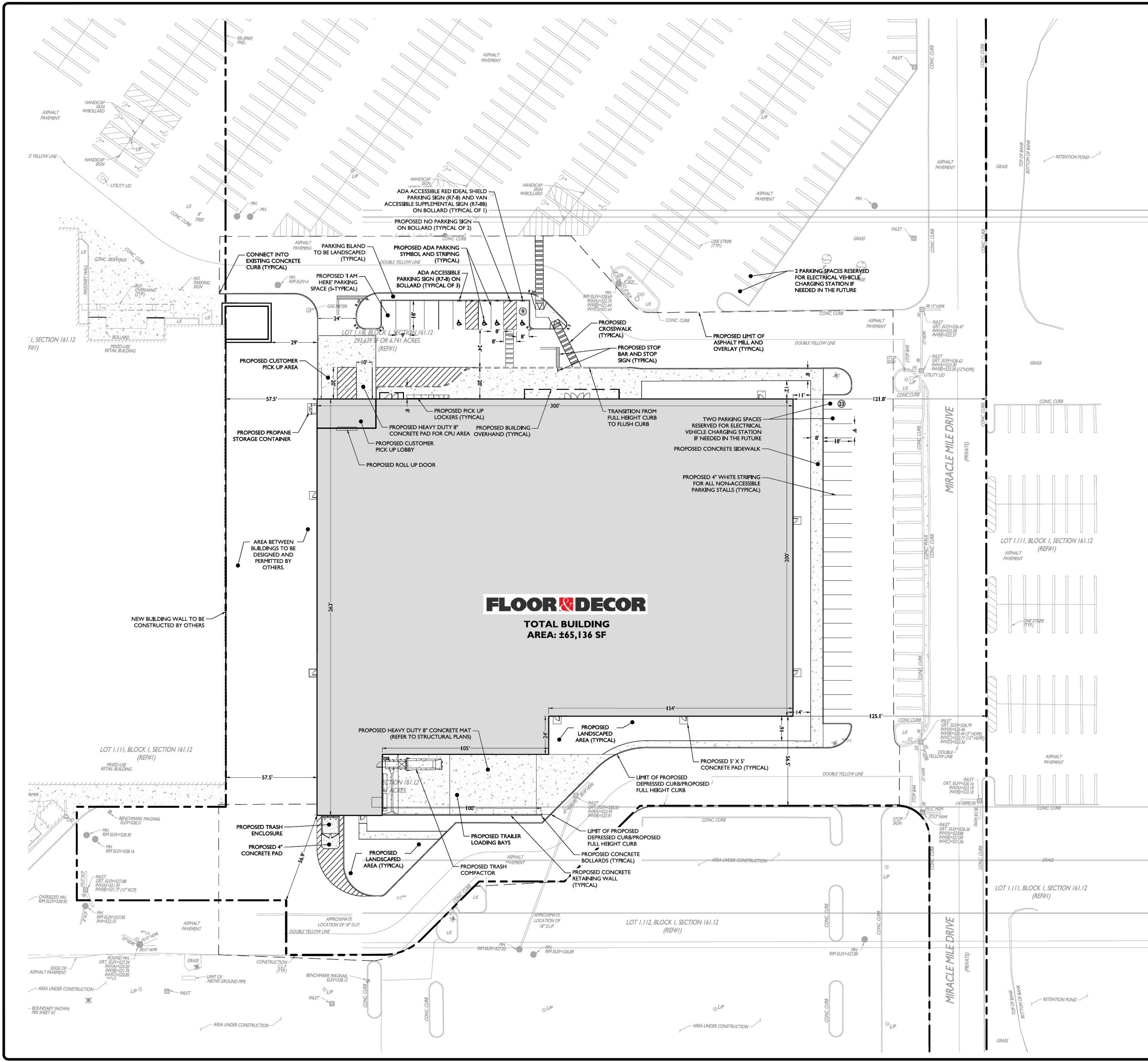
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: NYC-220045

TITLE: **DEMOLITION PLAN**

DRAWING: **C-3**

I:\STONFIELD\CONTRACTS\CONTRACTS\2024\CENTROPOINT INTEGRATED SOLUTIONS - 39 MIRACLE MILE DRIVE, HENRIETTA NY\CDR\DWG\161118.DWG



FLOOR & DECOR
TOTAL BUILDING AREA: 165,136 SF

SIGNATURE BLOCK

CHAIRMAN	DATE
SECRETARY OF THE BOARD	DATE
TOWNSHIP ENGINEER	DATE

SYMBOL DESCRIPTION

---	PROPERTY LINE
- - - -	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED FLUSH CURB
○	PROPOSED SIGNS / BOLLARDS
▭	PROPOSED CONCRETE
▨	PROPOSED ASPHALT REPAIR STRIP

LAND USE AND ZONING
 SECTION 161.12, BLOCK 1, LOT 1.1/B
 (MIXED-USE REDEVELOPMENT AREA OVERLAY DISTRICT) (*)

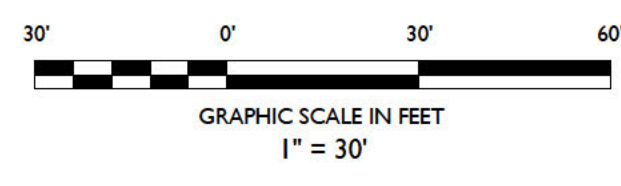
PROPOSED USE	PERMITTED USE	REQUIRED	EXISTING	PROPOSED
RETAIL IN EXISTING SHOPPING CENTER				
ZONING REQUIREMENT				
MINIMUM LOT AREA	N/A	293,639 SF (6.74 AC)	NO CHANGE	
MAXIMUM BUILDING HEIGHT	30 FT	48 FT (EN)	36 FT (†)	
MINIMUM FRONT YARD SETBACK	125 FT	N/A	N/A	
MINIMUM SIDE YARD SETBACK (ONE)	5 FT	N/A	56.5 FT	
MINIMUM REAR YARD SETBACK	60 FT	N/A	N/A	

(*) A PARCEL WITHIN A MIXED-USE OVERLAY DISTRICT MAY BE DEVELOPED EITHER AS A MIXED USE OR IN ACCORDANCE WITH THE UNDERLYING ZONING DISTRICT, BUT NOT BOTH. IN THIS CASE THE PARCEL WILL NOT BE DEVELOPED AS A MIXED USE, AND THUS WILL BE DEVELOPED IN ACCORDANCE WITH THE UNDERLYING ZONING DISTRICT, B-1.
 (EN) EXISTING NON-COMFORMITY SPECIAL PERMIT BY TOWN BOARD
 †

THIS PLAN REDUCE THE OVERALL BUILDING FOOTPRINT BY 17,020 SF WHICH RESULTS IN A DECREASE OF 86 REQUIRED PARKING SPACES BASED ON A 1 PARKING SPACE PER 200 SF FOR A RETAIL USE WITHOUT TAKING INTO THE ACCOUNT OF 1 SPACE FOR EACH 2 EMPLOYEES PER THE CODE REQUIREMENTS. THE PROJECT RESULTS IN AN INCREASE OF 9 PARKING SPACES COMPARED TO EXISTING CONDITIONS.

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS' COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO REFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD



NO.	DATE	ISSUE	DESCRIPTION
1	10/10/2022	SI	TOWN SUBMISSION

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PROPOSED FLOOR & DECOR

SITE PLANS

LOT 1.1/B, BLOCK 1, SECTION 161.12
 20 MIRACLE MILE DRIVE
 TOWN OF HENRIETTA
 MONROE COUNTY, NEW YORK

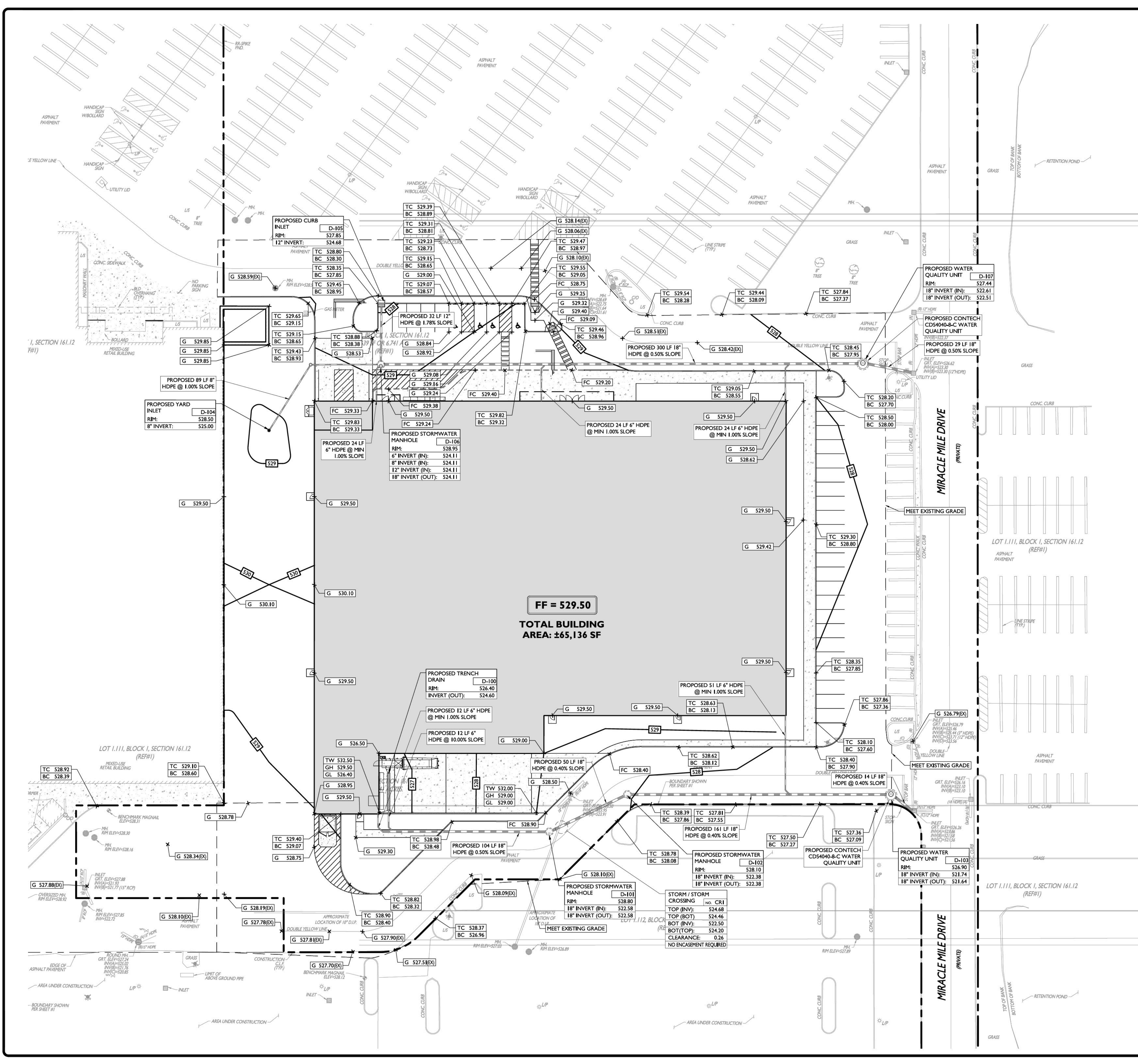


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SCALE: 1" = 30' PROJECT ID: NYC-220045

TITLE: **SITE PLAN**

DRAWING: **C-4**



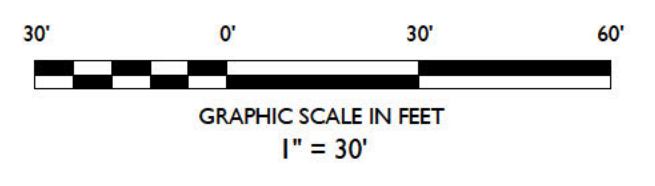
SIGNATURE BLOCK	
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X TW 102.00 BVV 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESSIBLE AREAS.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP; AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP; FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% FOR AREAS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 31 INCHES IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE 1/4 INCH CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

THIS PROJECT REDUCES THE OVERALL IMPERVIOUS AREA BY 1,720 SF. THE WATER QUALITY VOLUME FROM THE DISTURBED, EXISTING IMPERVIOUS AREA WILL BE TREATED VIA THE CONTECH CDS WATER QUALITY UNITS. STORMWATER QUANTITY FOR THE REMAINDER OF THE SITE IS NATURALLY REDUCED DUE TO THE PROPOSED REDUCTION IN IMPERVIOUS SURFACES.



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SITE PLANS

LOT 1.111, BLOCK 1, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

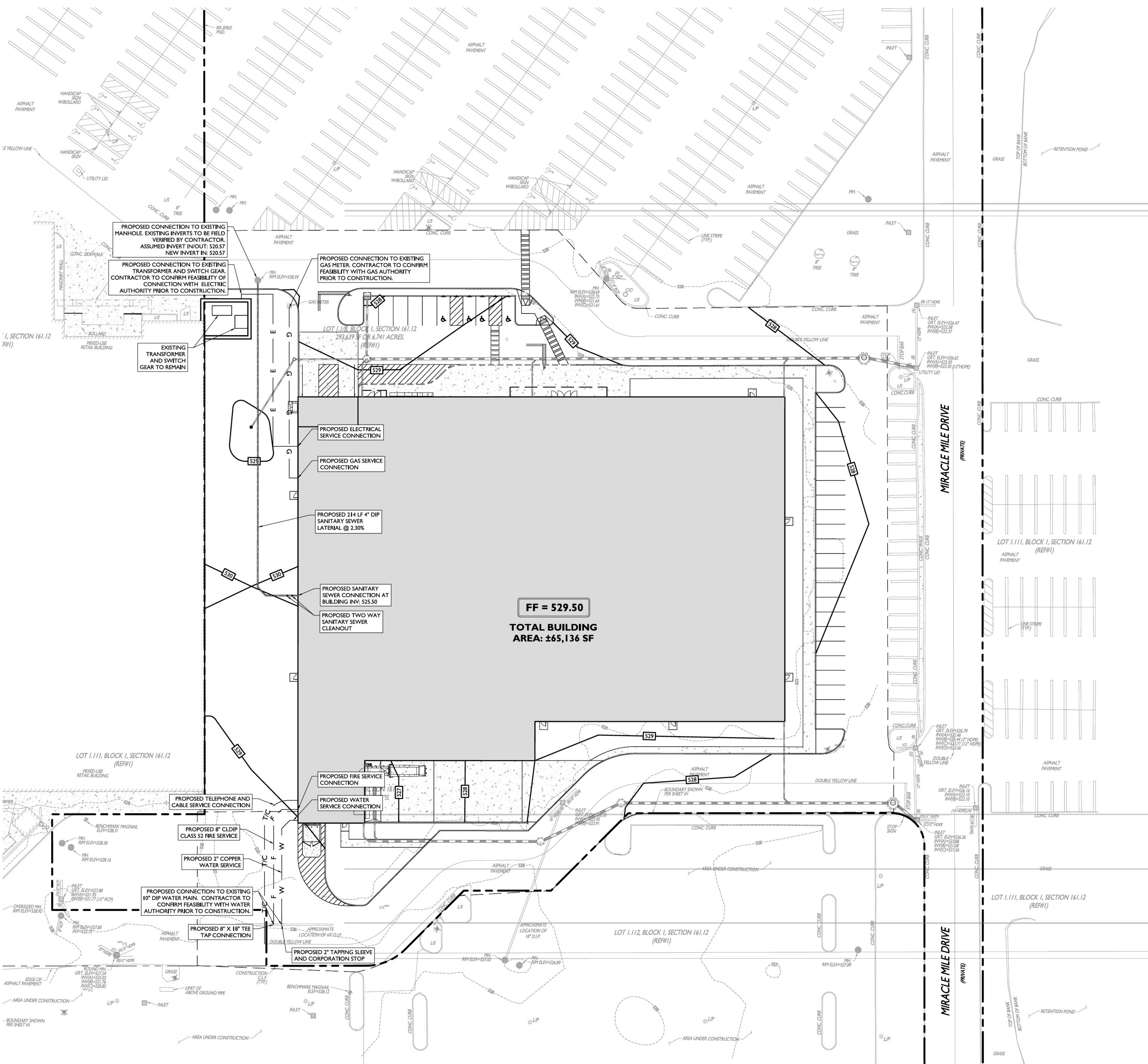
STATE OF NEW YORK
SEAL OF THE COUNTY ENGINEER
HENRIETTA COUNTY ENGINEER
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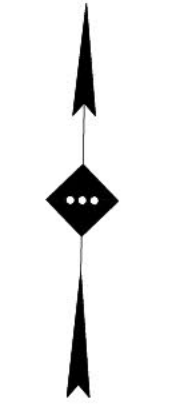
SCALE: 1" = 30' PROJECT ID: NYC-220045

TITLE:
GRADING AND DRAINAGE PLAN

DRAWING:
C-5

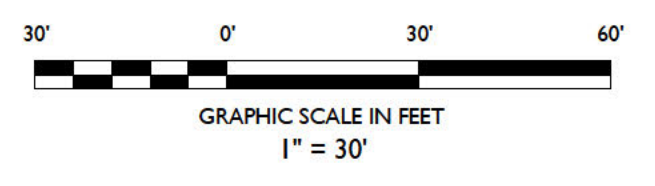


SIGNATURE BLOCK	
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED SANITARY LATERAL
---	PROPOSED DOMESTIC WATER SERVICE
---	PROPOSED DATA CONDUITS
---	PROPOSED ELECTRIC CONDUITS
---	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊥	PROPOSED WATER TEE / BEND
⊥	PROPOSED FRED RECT CONNECTION (FDC)
○	PROPOSED SANITARY MANHOLE / CLEANOUT

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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SITE PLANS

PROPOSED FLOOR & DECOR

LOT 1.118, BLOCK 1, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK



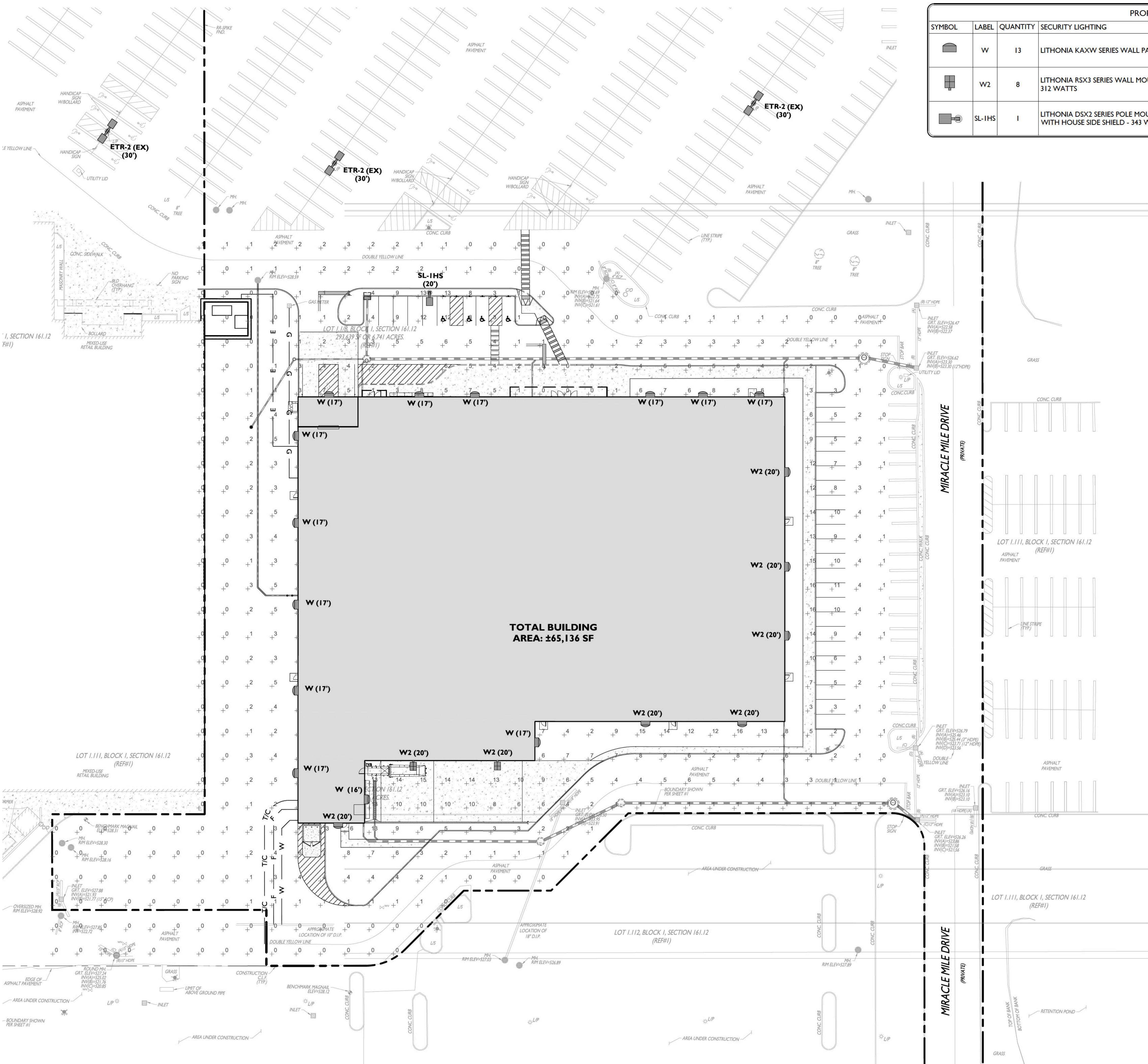
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SCALE: 1" = 30' PROJECT ID: NYC-220045

TITLE: **UTILITY PLAN**

DRAWING: **C-6**

U:\STONFIELD\COMP\PROJECTS\NYC220045\CONTRACT\NYC220045-CENTROPOINT INTEGRATED SOLUTIONS - 39 MIRACLE MILE DRIVE, HENRIETTA, NY\CD\DWG\UTILITY PLAN\DWG



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
W		13	LITHONIA KAXW SERIES WALL PACK - 79 WATTS	TYPE IV	0.95	LITHONIA	KAXW-P3-40K-R4-MVOLT
W2		8	LITHONIA RSX3 SERIES WALL MOUNTED AREA LIGHT- 312 WATTS	TYPE III	0.95	LITHONIA	RSX3-LED-P4-40K-R3
SL-IHS		1	LITHONIA DSX2 SERIES POLE MOUNTED AREA LIGHT WITH HOUSE SIDE SHIELD - 343 WATTS	TYPE II	0.95	LITHONIA	DSX2-LED-P6-40K-T25-MVOLT RPA-PIRH-HS

SIGNATURE BLOCK	
PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE

SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX)	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOT CANDLES)
■	PROPOSED AREA LIGHT
■	PROPOSED BUILDING MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED) 0.90
 - HIGH PRESSURE SODIUM 0.72
 - METAL HALIDE 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING PRIOR TO THE START OF CONSTRUCTION OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

- ATH LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE "X" = MINIMUM X WATTS
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING TREES WITHIN THE 60 FOOT ATH RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATH RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC. OF DAMAGED OR NONOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATH AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

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1	10/10/2022	SI	TOWN SUBMISSION

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SITE PLANS

PROPOSED
FLOOR & DECOR

LOT 1.118, BLOCK 1, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF HENRIETTA
HENRIETTA
HENRIETTA ENGINEER

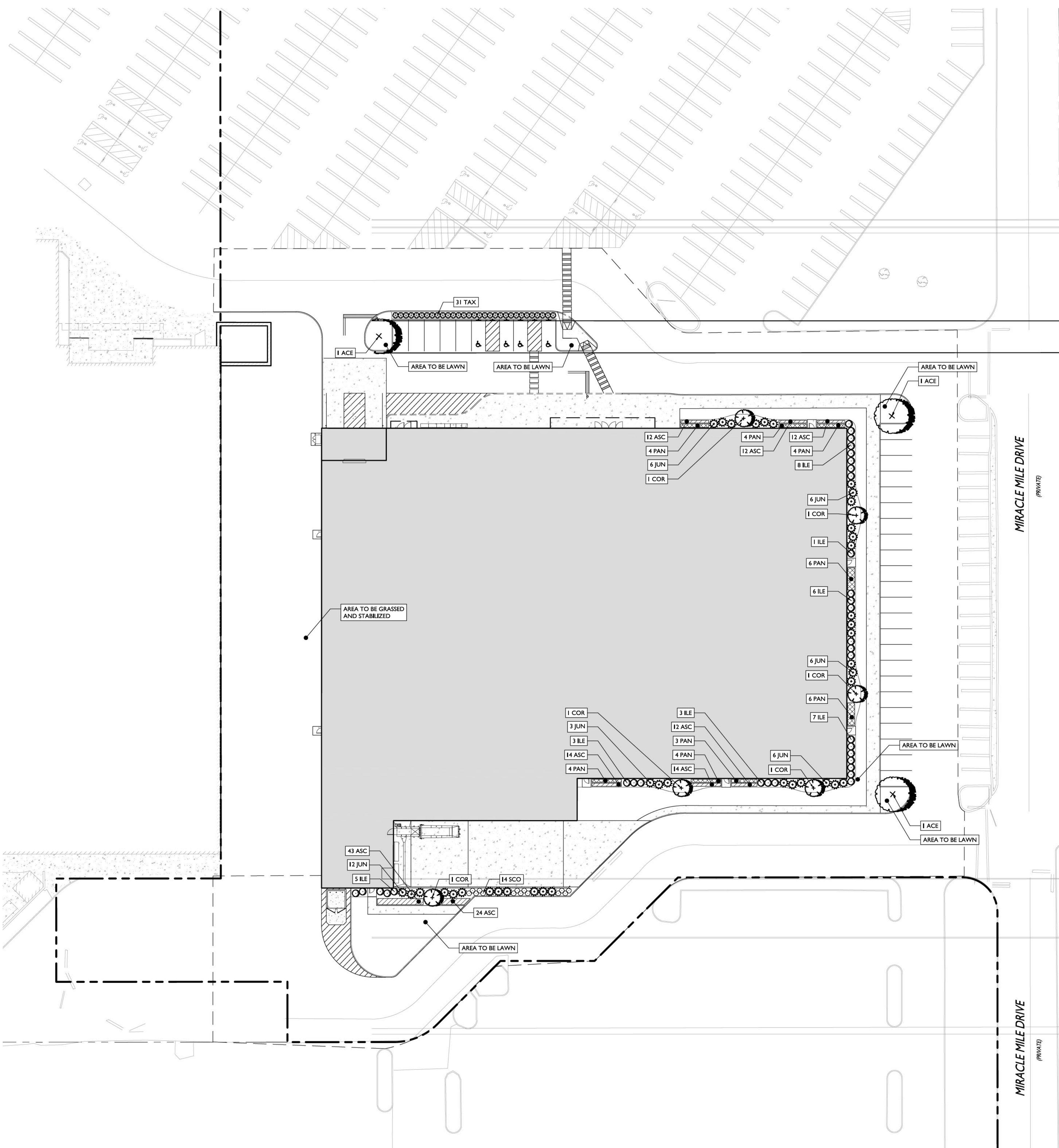
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SCALE: 1" = 30' PROJECT ID: NYC-220045

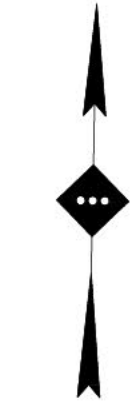
TITLE:
LIGHTING PLAN

DRAWING:
C-7

1. STONEFIELD ENGINEERING & DESIGN, INC. 2. 2006 CENTREPOINT INTEGRATED SOLUTIONS - 3. MIRACLE MILE DRIVE - 4. HENRIETTA NY 48403 PLOT 1000 5. LAND DWS



SIGNATURE BLOCK			
PLANNING BOARD CHAIRMAN	DATE		
DIRECTOR OF ENGINEERING AND PLANNING	DATE		
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE		



PLANT SCHEDULE						
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	ACE	3	ACER RUBRUM (OCTOBER GLORY)	OCTOBER GLORY RED MAPLE	2" - 2.5" CAL.	B&B
	COR	6	CORNUS FLORIDA	FLOWERING DOGWOOD	2" - 2.5" CAL.	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	SCO	14	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	5" x 6" HT.	B&B
	JUN	42	JUNIPERUS VIRGINIANA 'N. SELECT GREEN'	EMERALD FEATHER EASTERN REDCEDAR	5" x 6" HT.	B&B
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	LE	37	LEX GLABRA	INKBERRY HOLLY	18" - 24"	POT
	TAX	31	TAXUS MEDIA 'DENS FORMIS'	DENSE ANGLO-JAPANESE YEW	18" - 24"	B&B
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	CONTAINER
	ASC	119	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	18" o.c.	1 GAL. POT
	PAN	28	PANICUM VIRGATUM (SHENANDOAH)	SHENANDOAH SWITCH GRASS	36" o.c.	1 GAL. POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
205-9.D.	SCREENING REQUIREMENTS DUMPSTERS AND SIMILAR LARGE RECEPTACLES SHALL BE SHIELDED FROM THE PUBLIC VIEW BY ANY MEANS OF APPROPRIATE LANDSCAPING OR ARCHITECTURAL SCREENING	COMPLIES
295-34.5.B.(2)	LANDSCAPE REQUIREMENTS LANDSCAPING SHALL BE INSTALLED AND MAINTAINED ALONG AND ADJACENT TO ALL BUILDINGS, AND LONG PEDESTRIAN WALKWAYS, PARKING AREAS, AND SERVICE AND ACCESS ROADS. LANDSCAPE PLANTINGS SHALL BE A MIX OF NATIVE CANOPY AND ORNAMENTAL TREES AND SHRUBS CONSISTING OF DECIDUOUS SPECIES AND NATIVE EVERGREENS PLANTED TO PROVIDE YEAR-ROUND EFFECT.	COMPLIES

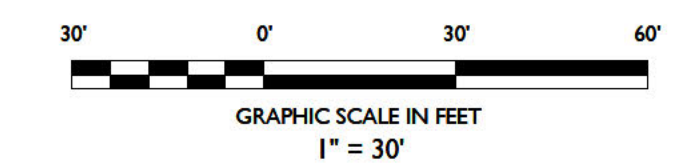


Know what's before you dig.

IRRIGATION NOTE:
 IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON-SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	10/10/2022	SI		TOWN SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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SITE PLANS

PROPOSED
FLOOR & DECOR.

LOT 1.1/B, BLOCK 1, SECTION 161.12
 20 MIRACLE MILE DRIVE
 TOWN OF HENRIETTA
 MONROE COUNTY, NEW YORK



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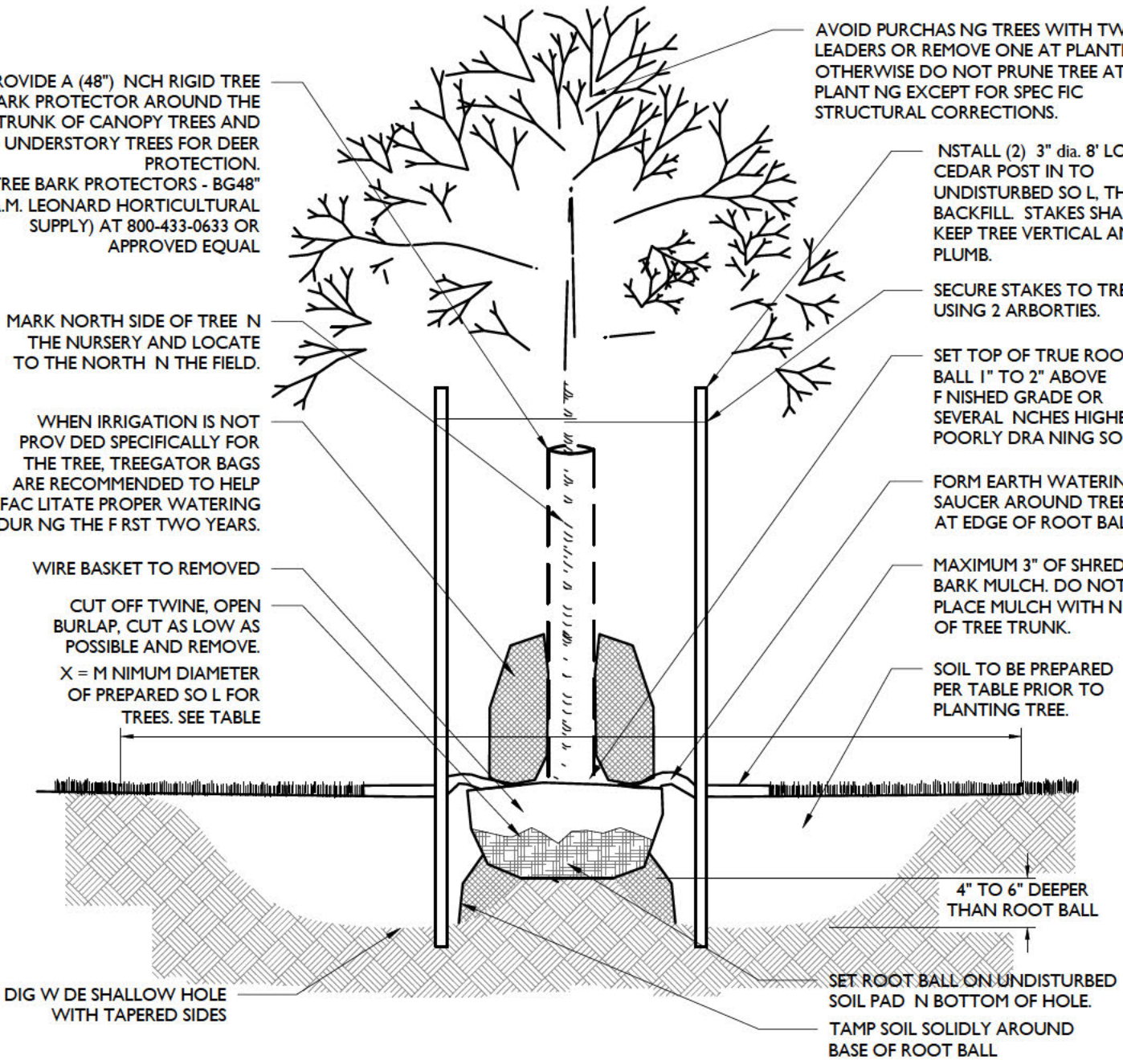
SCALE: 1" = 30' PROJECT ID: NYC-220045

TITLE:
LANDSCAPING PLAN

DRAWING:
C-9

NOTES

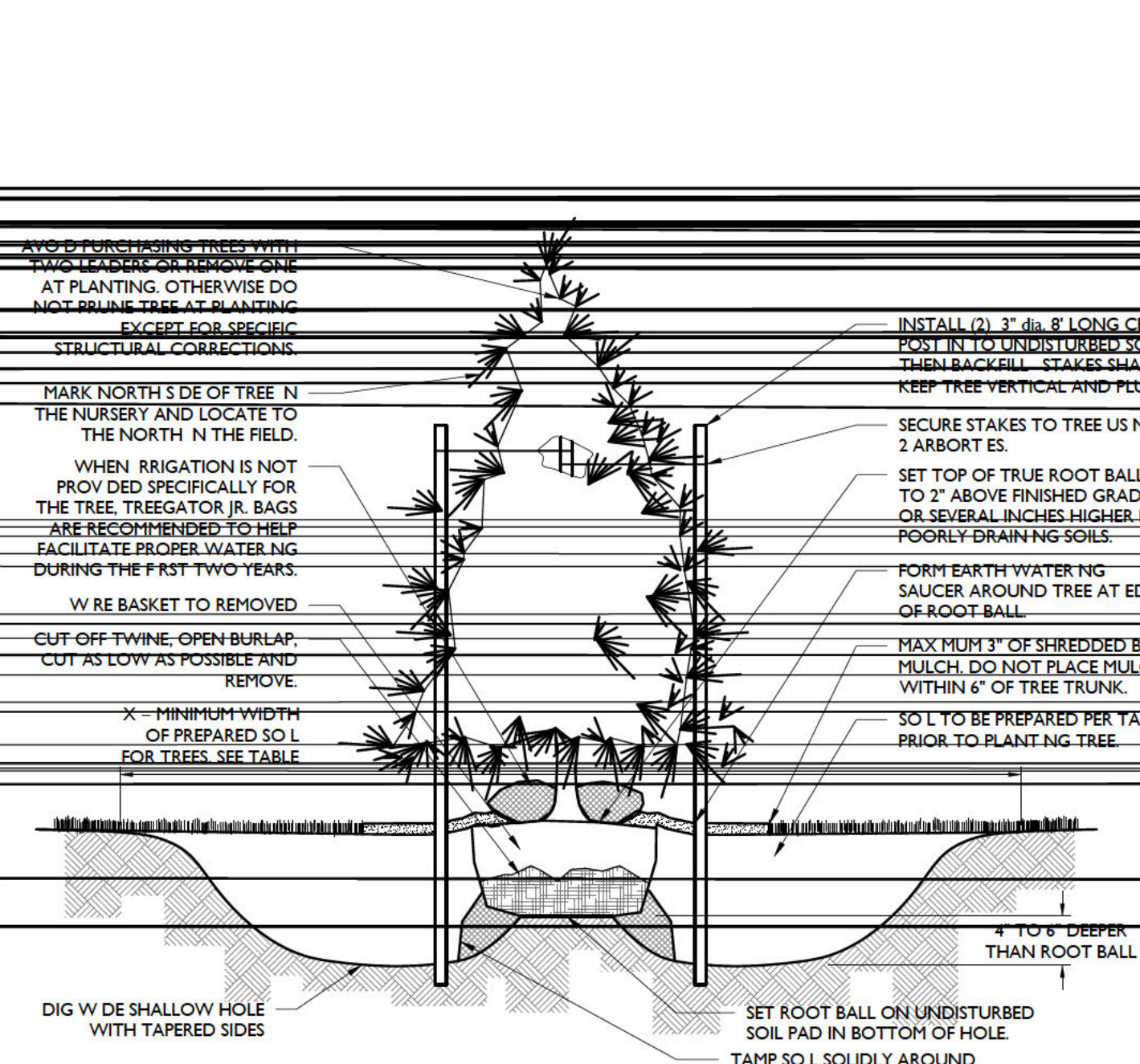
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.



DECIDUOUS TREE PLANTING DETAIL

NOTES

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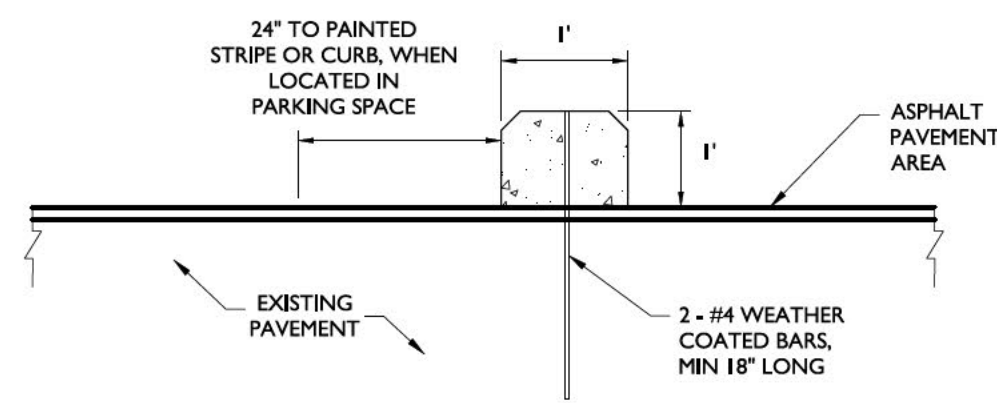
CONIFEROUS TREE PLANTING DETAIL

GENERAL LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
 - WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
 - IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
 - IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS, AND SEED VERNY TYPE AND PURITY.
 - UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE, AT LEAST FORTY-NINE (49) HOURS IN ADVANCE, OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE NOTICE SHOWING THE DELIVERY DATE, THE PROJECT ADDRESS, THE PROJECT NAME, AND THE PROJECT NUMBER SHALL BE PROVIDED TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
 - THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.
- PROTECTION OF EXISTING VEGETATION NOTES:**
- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE AFFECTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIPLINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN. THE TREE PROTECTION ZONE, FENCING, AND STAKES SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE PROTECTION FENCING DETAIL. NO WORK MAY BE BEGUN UNTIL THE REQUIREMENT IS FULLY MET. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
 - IN ORDER TO AVOID DAMAGE TO ROOTS, BARK, OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
 - IN BASE INSTANCES WHERE GRADING, CUT OR GRADING IS REQUIRED WITHIN THE DRIPLINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED. CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18").
 - GRAVEL BEFORE ANY EARTH FILL IS PLACED, NEW EARTH FILL SHALL NOT BE IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDS 6 INCHES (6") IS REQUIRED, A DRY LAY TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE WELL DETAIL.
 - LOADING GRADES EXISTING IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDS 6 INCHES (6") IS REQUIRED, A DRY LAY TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE RETAINING WALL DETAIL.
- SOIL PREPARATION AND MULCH NOTES:**
- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE INSTALLED TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
 - BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIFE AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIFE AND FERTILIZER RATES PROVIDED WITHIN THE SPECIFICATION OR SOD SPECIFICATION IS APPROXIMATE AND FOR BODD PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAM NG CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A VULCANIZED AREA. FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
 - TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
 - TOPSOIL SHALL ONLY BE OBTAINED FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
 - CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREAD NG OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
 - UNLESS OTHERWISE NOTED BY THE CONTRACTOR, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRAD NG WITHIN THE DISTURBED AREA OF THE SITE.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRADING OF THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOLERANCE) IN ACCORDANCE WITH THE APPROVED OR FINAL GRAD NG PLAN.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. PROPER DRAINAGE CONDITIONS EXIST. CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
 - DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
 - WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
 - SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
 - APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
 - ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING NG:
 - MYCRO TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER, MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A R NG-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING NG FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL TO A RADIUS OF 8 INCHES IN THE BACKFILL IN WATER TO SOIL SATURATION.
 - MYCRO TREE SAVER IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICO MYCORRHIZAE.
 - SOIL FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 5 TO 9.
 - FUNGICIDES/USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES/HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

PLANT QUALITY AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THE R DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH AGRASS OF THE BARK, SUNSCALDS, DISCOLORING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THE SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN BLOSSOM.
- ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF BURLAP TIGHTLY WOUND WITH BURLAP. THE DIAMETER AND DEPTH OF THE BASKET OF BURLAP MUST BE SUFFICIENT TO PROTECT THE ROOT SYSTEM FROM DAMAGE. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES. PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES. PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES.
- USE ALL TWINE TO BE CUT FROM AROUND THE TRUNK AND BURLAP TO BE REMOVED.
- ALL PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES. PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES.
- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED COMPOST. PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES. PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS. THE BURLAP MUST BE SECURED WITH STRAPS OR OTHER SUITABLE DEVICES.
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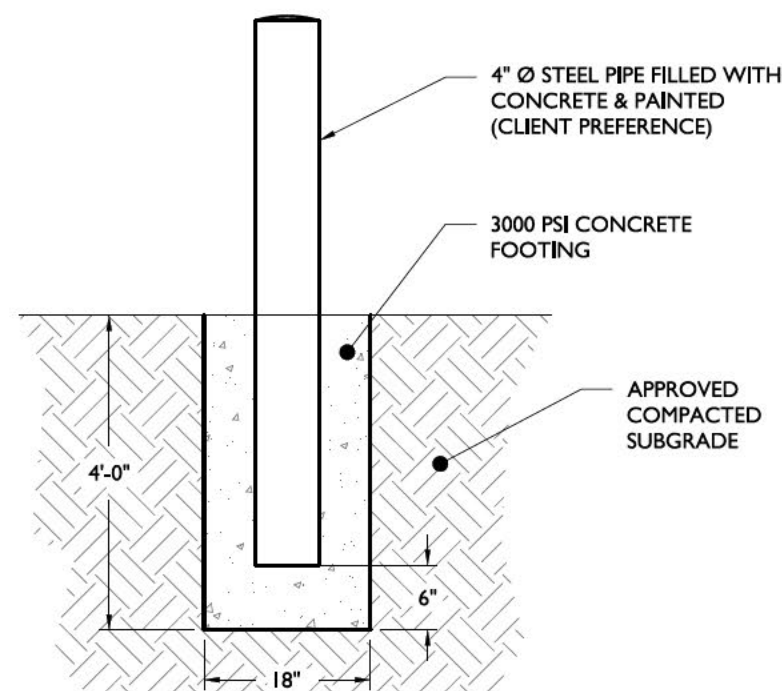


CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

- NOTES:
1. ON CONCRETE PAVEMENT, SECURE WHEEL STOP WITH EPOXY BONDING AGENT.
 2. WHEEL STOP SHALL BE 6" LONG.
 3. WHEEL STOP SHALL BE PREFABRICATED CONCRETE.

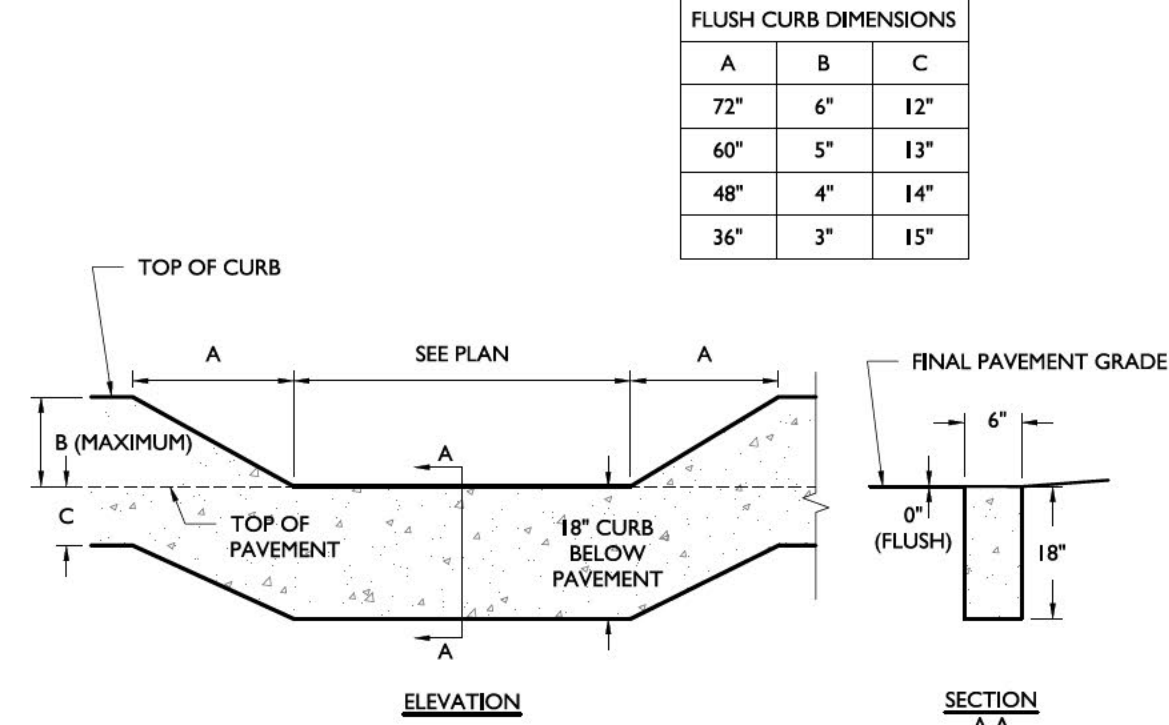
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BOLLARD DETAIL

NOT TO SCALE

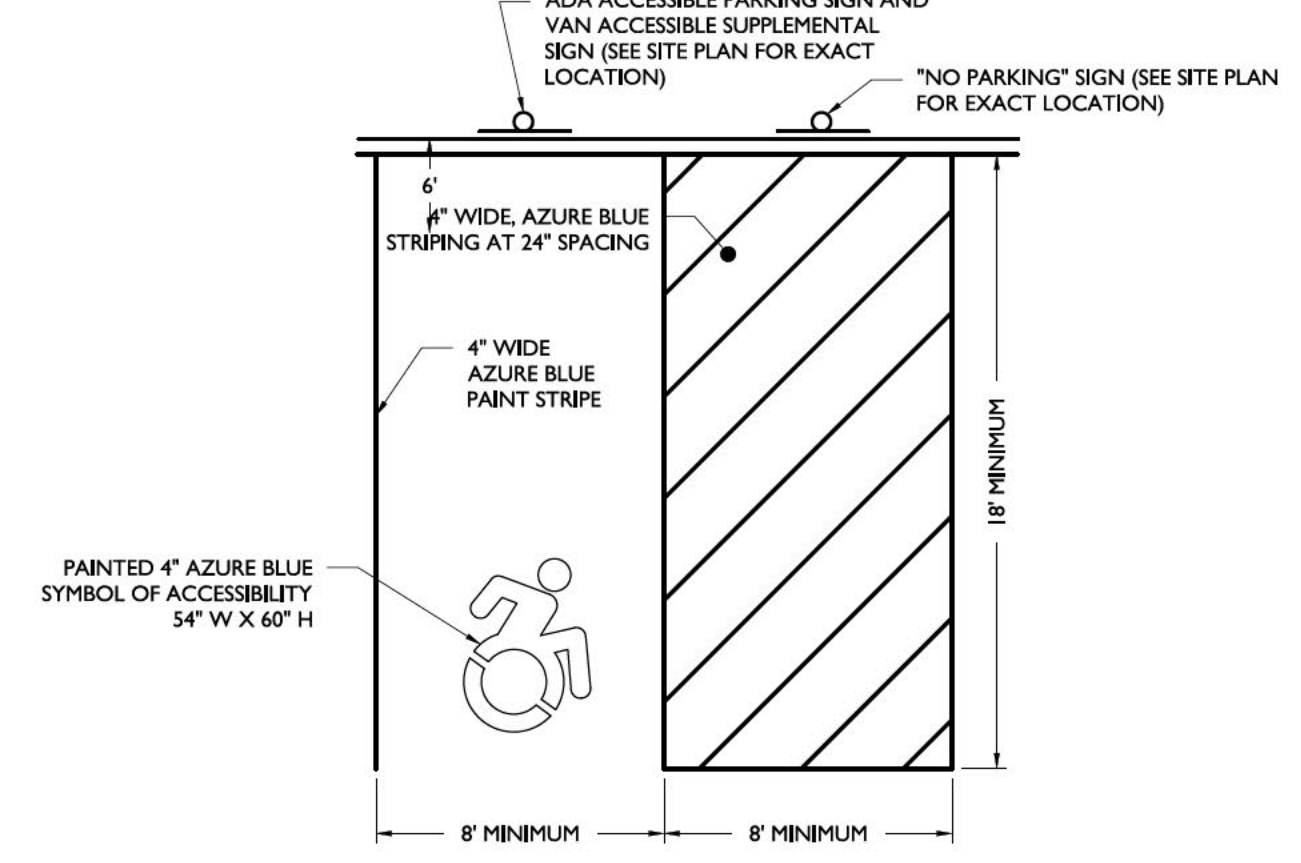
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FLUSH CURB DETAIL

NOT TO SCALE

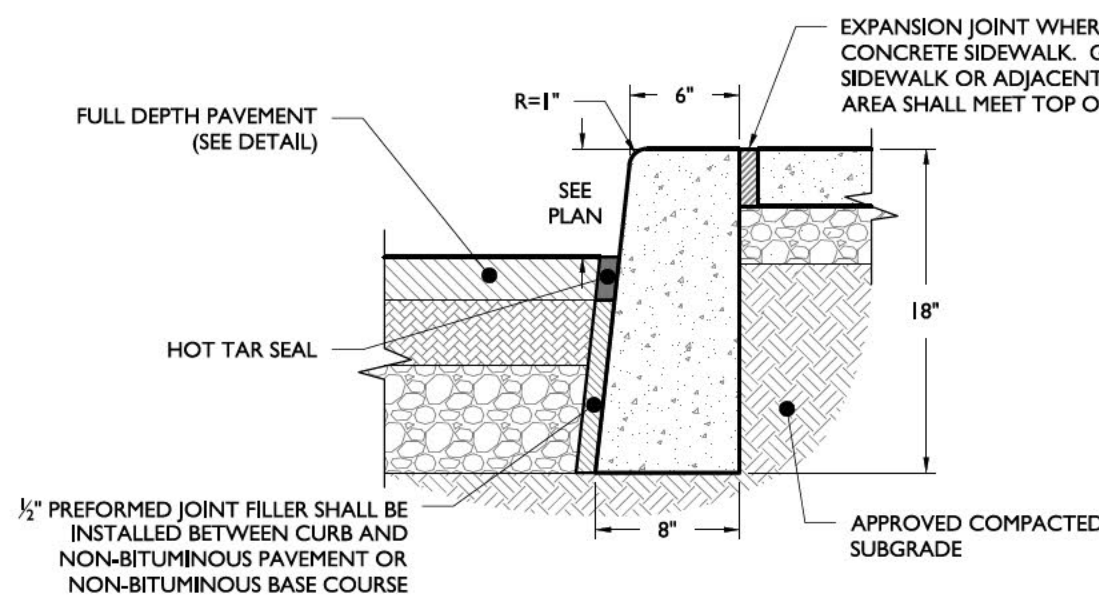
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ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

4

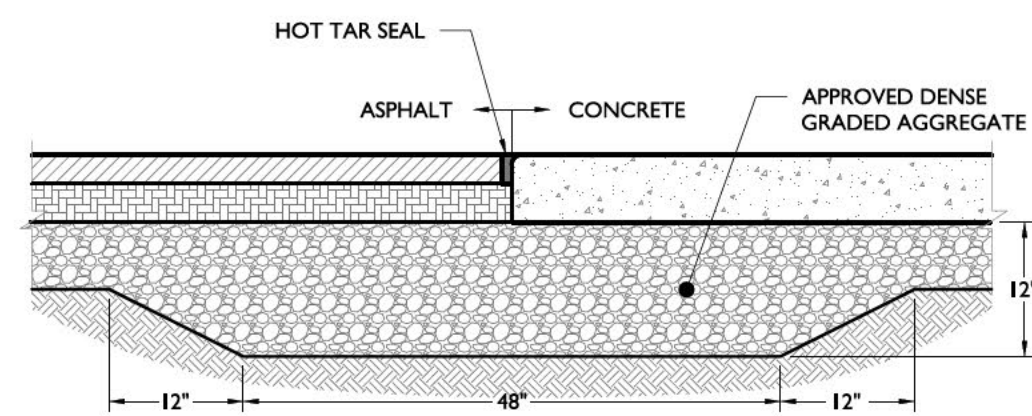


CONCRETE CURB DETAIL

NOT TO SCALE

- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

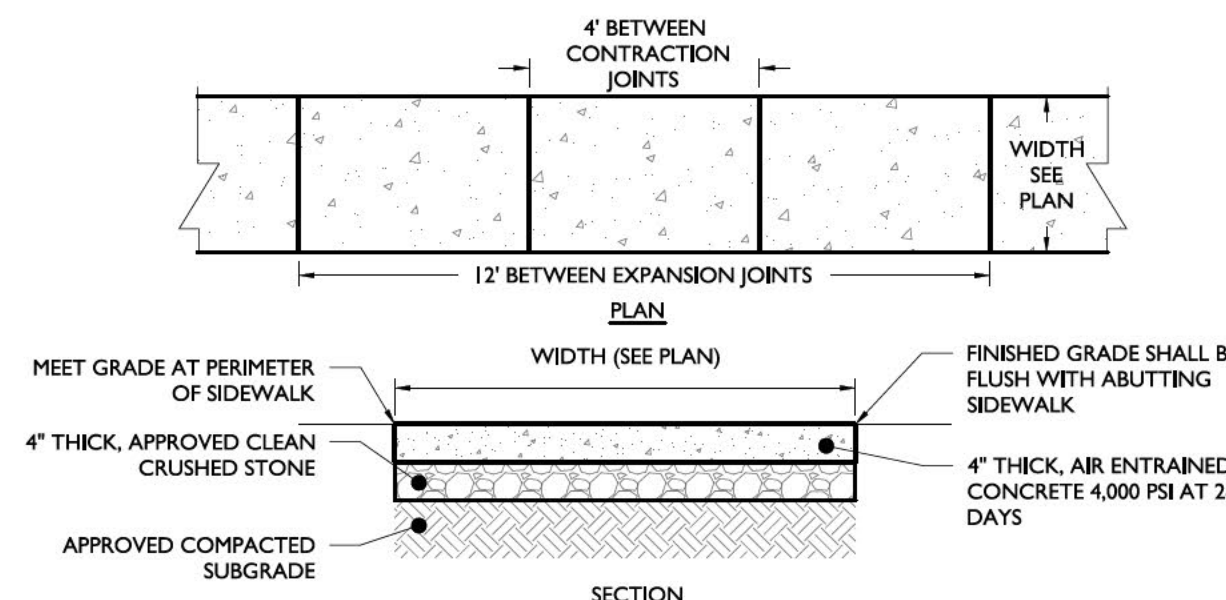
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CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

6

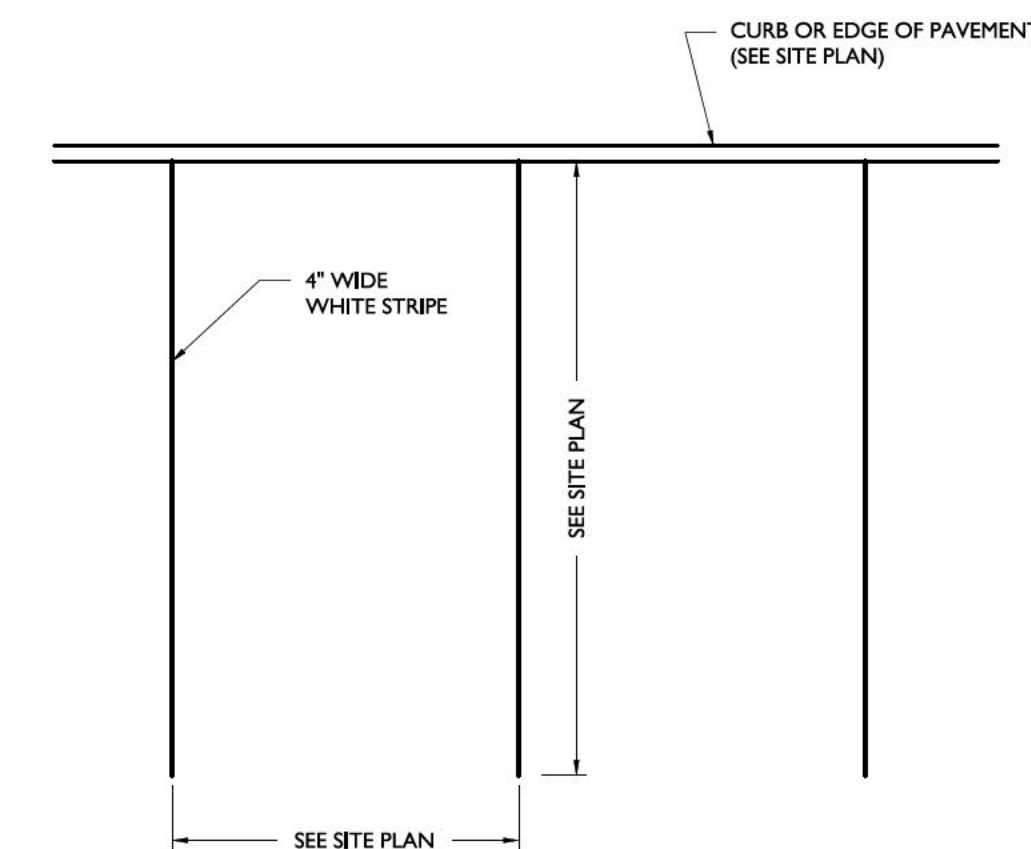


CONCRETE WALKWAY DETAIL

NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

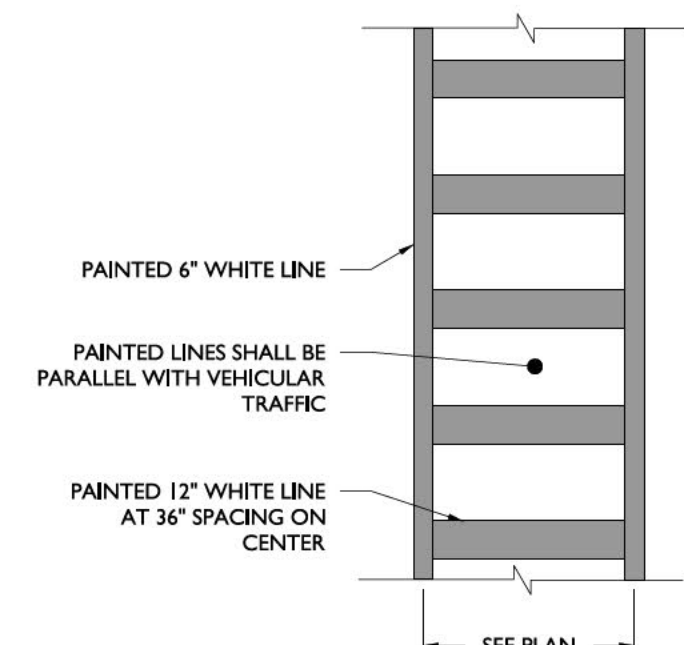
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PARKING STALL MARKINGS

NOT TO SCALE

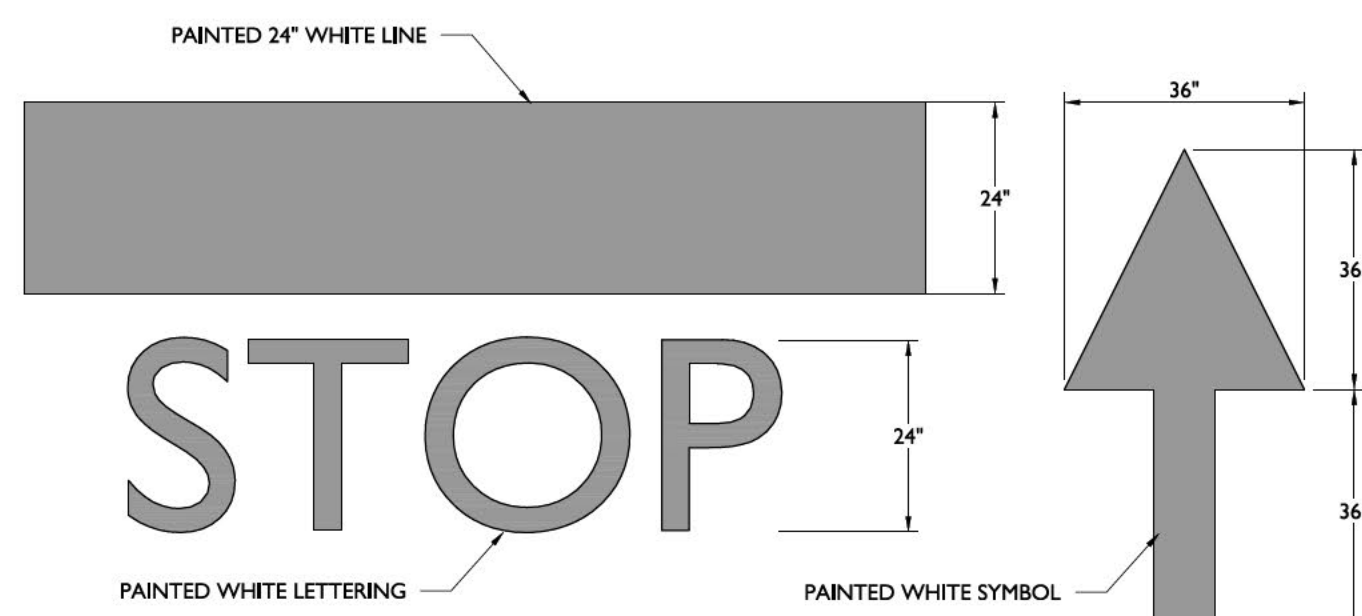
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CROSSWALK DETAIL

NOT TO SCALE

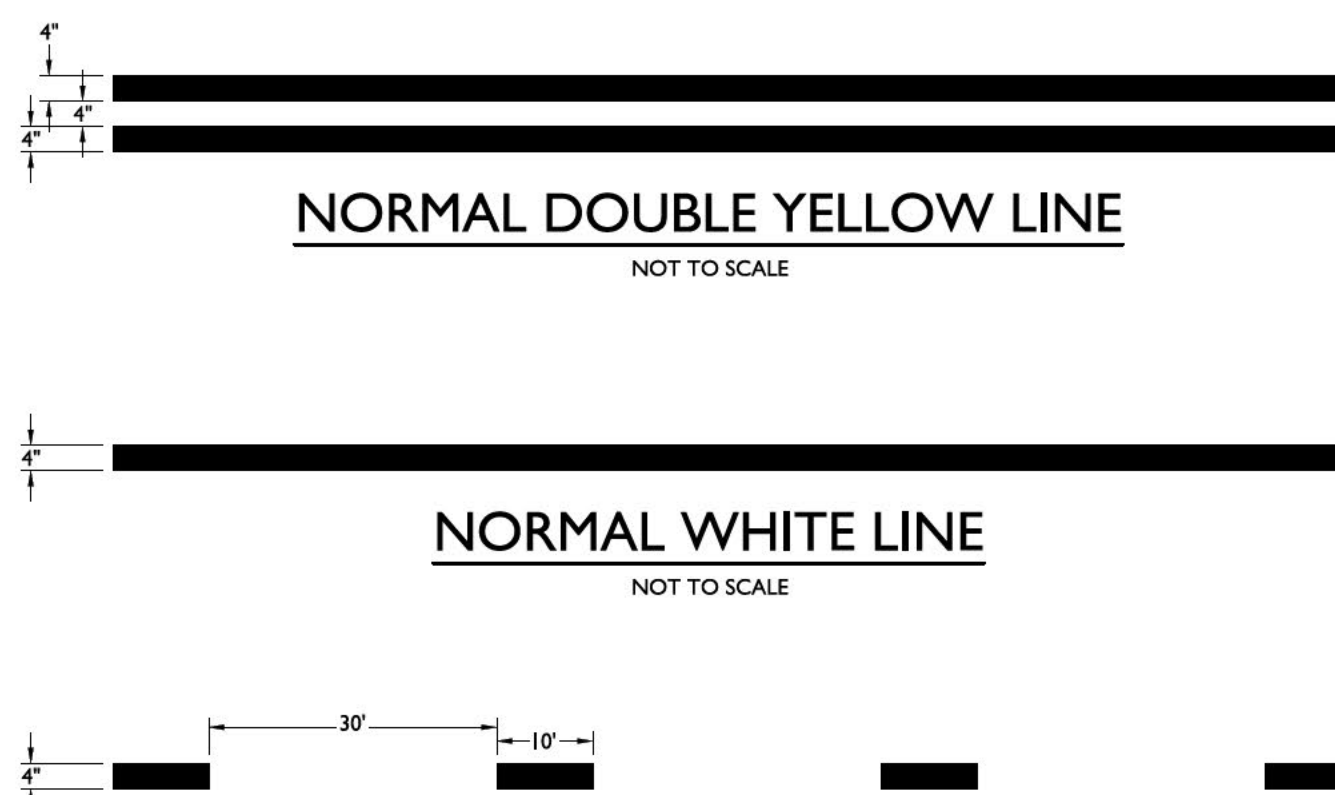
9



STOP BAR & ARROW DETAILS

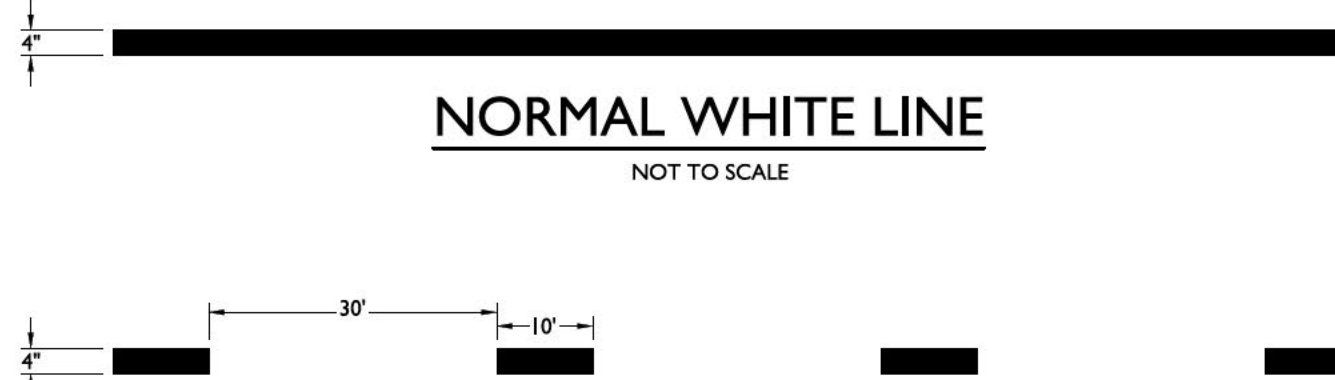
NOT TO SCALE

10



NORMAL DOUBLE YELLOW LINE

NOT TO SCALE



NORMAL WHITE LINE

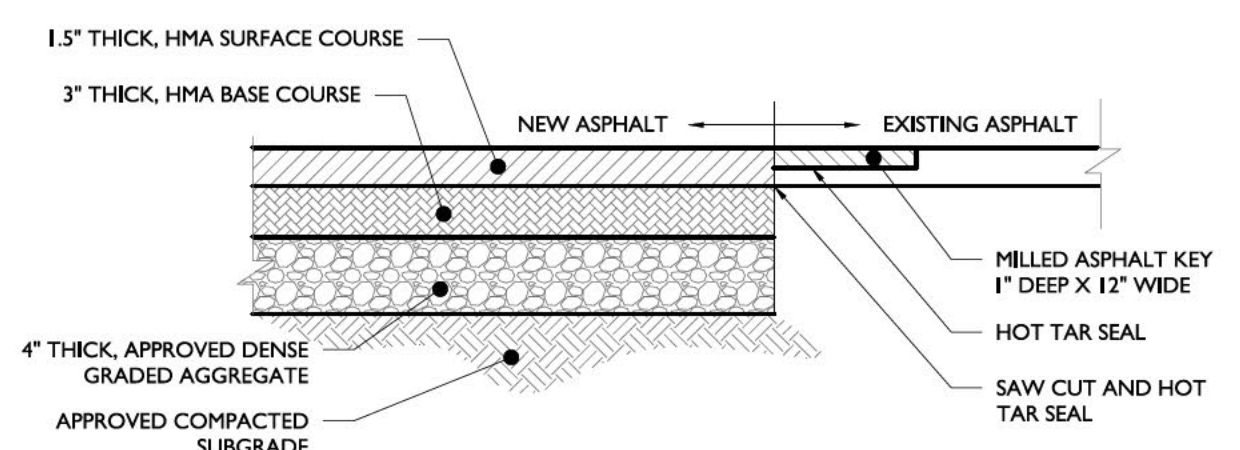
NOT TO SCALE



NORMAL DOTTED WHITE LINE

NOT TO SCALE

11

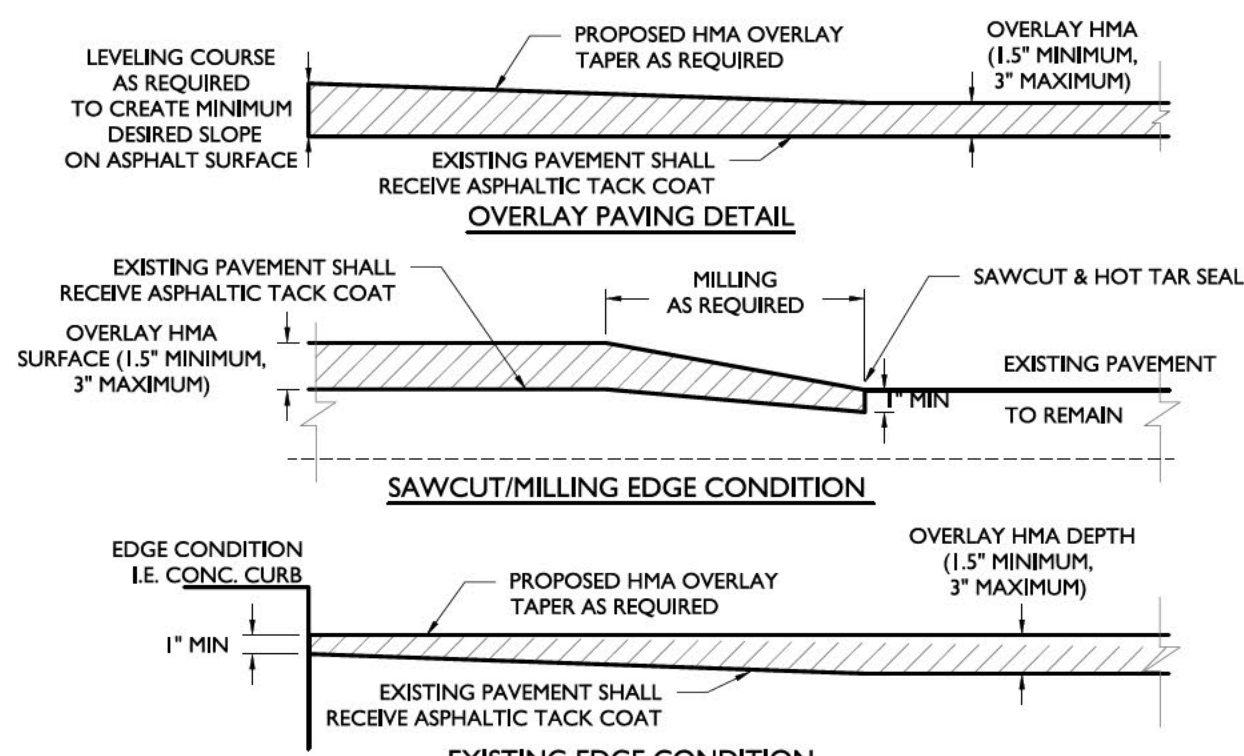


FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

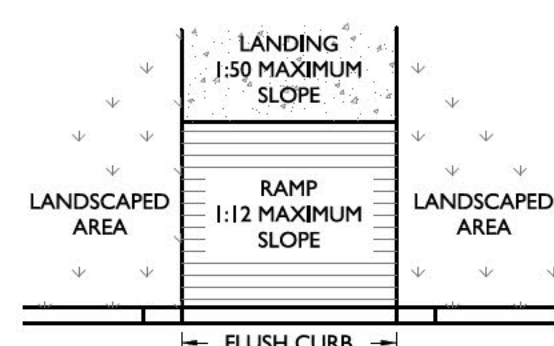
12



PAVEMENT MILLING & OVERLAY DETAIL

NOT TO SCALE

13

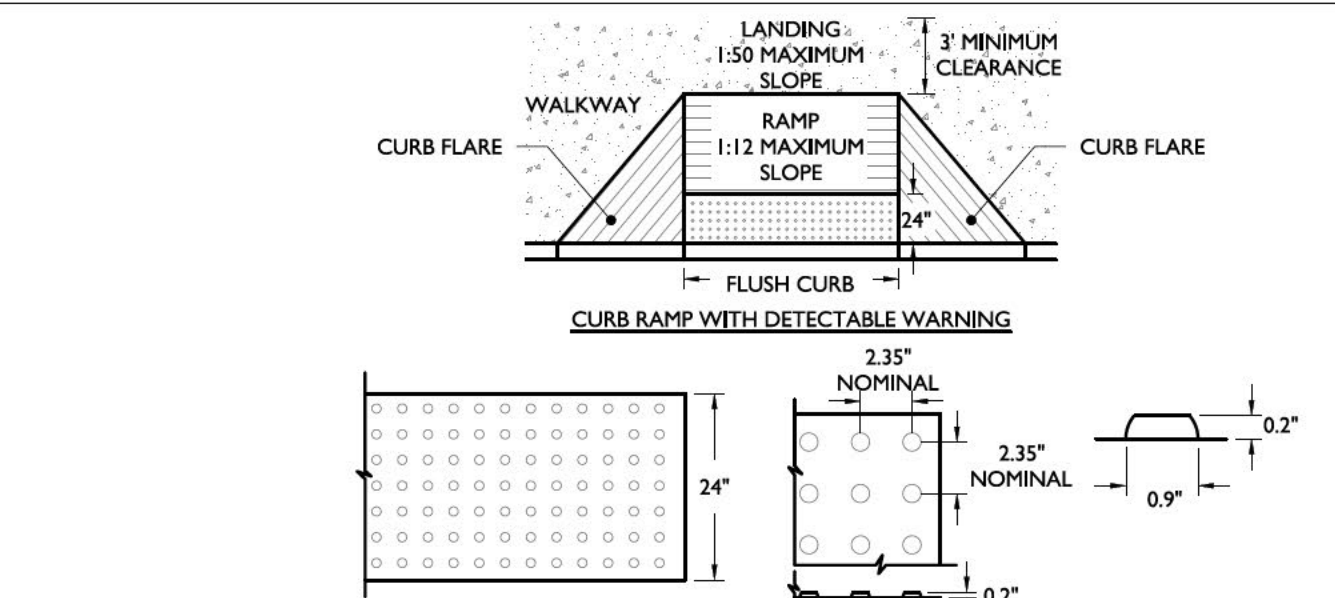


CURB RAMP DETAIL

NOT TO SCALE

- NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
 2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

14



CURB RAMP WITH FLARES DETAIL

NOT TO SCALE

- NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1:50 SLOPE.
 2. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
 3. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
 4. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
 5. WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE. WHERE LANDING IS NOT PROVIDED RAMP FLARE SHALL NOT EXCEED 1:12 SLOPE.
 6. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 7. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

15

ISSUE	DATE	BY	DESCRIPTION
1	10/10/2022	SI	TOWN SUBMISSION

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Phone: 718.606.8305

SITE PLANS

PROPOSED FLOOR & DECOR.

LOT 1, JIB, BLOCK 1, SECTION 161.12
20 MIRACLE MILE DRIVE
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF THE STATE ENGINEER
HARRY E. CHASE, P.E.
LICENSE NUMBER: 19748
LICENSE TYPE: PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: NYC-220045

TITLE: CONSTRUCTION DETAILS

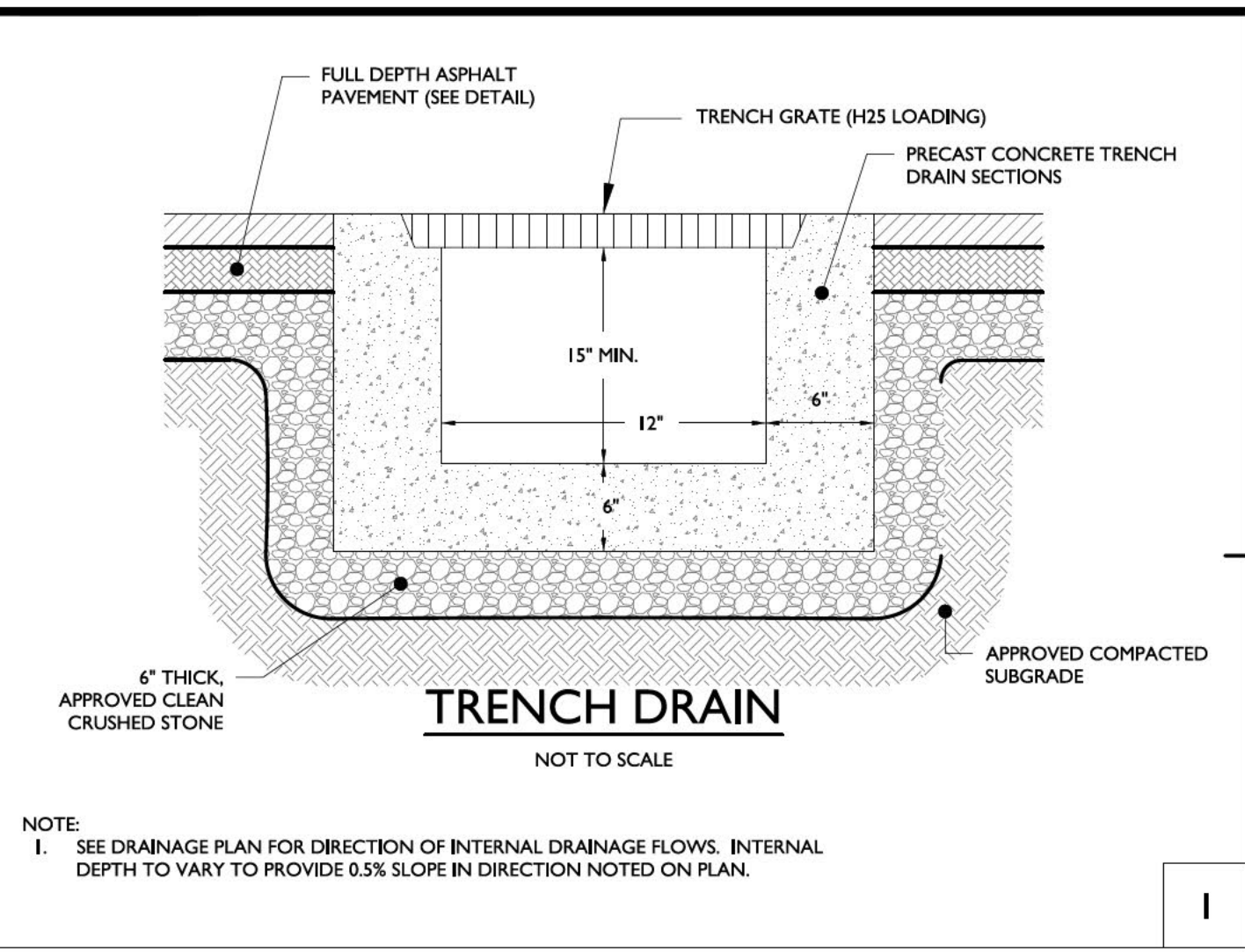
DRAWING: C-11

SIGNATURE BLOCK

PLANNING BOARD CHAIRMAN DATE

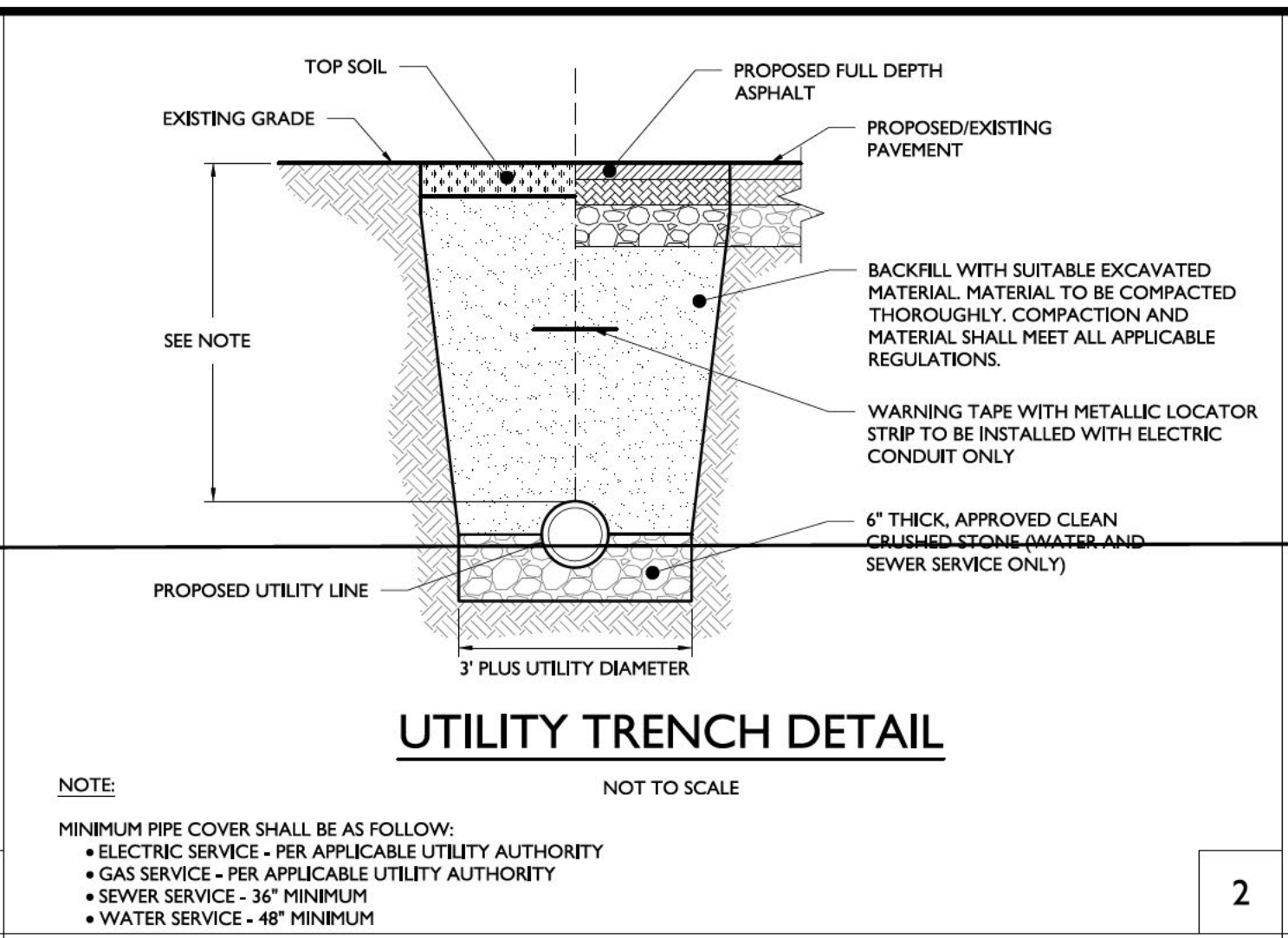
DIRECTOR OF ENGINEERING AND PLANNING DATE

DIRECTOR OF BUILDING AND FIRE PREVENTION DATE



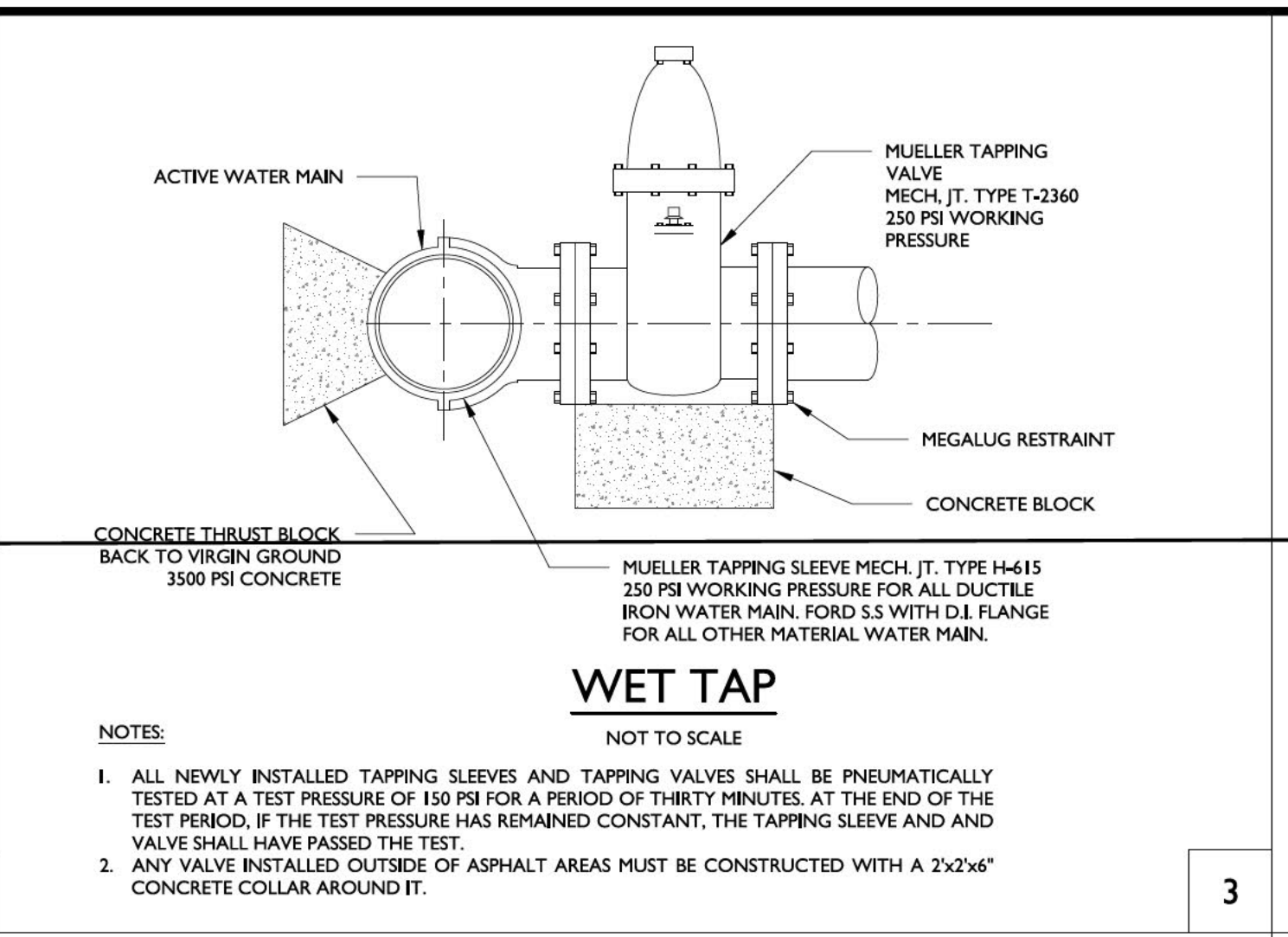
TRENCH DRAIN
NOT TO SCALE

NOTE:
1. SEE DRAINAGE PLAN FOR DIRECTION OF INTERNAL DRAINAGE FLOWS. INTERNAL DEPTH TO VARY TO PROVIDE 0.5% SLOPE IN DIRECTION NOTED ON PLAN.



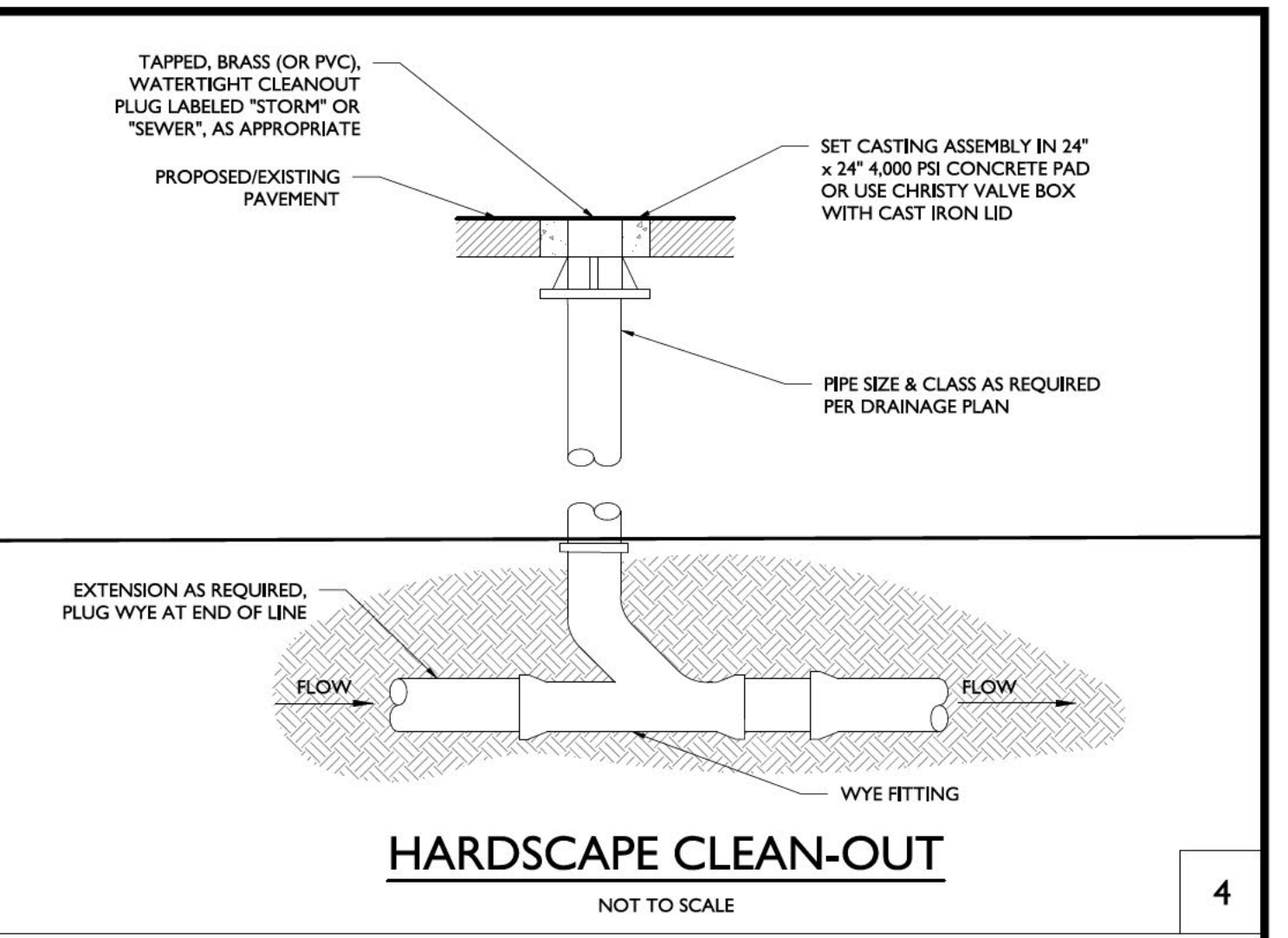
UTILITY TRENCH DETAIL
NOT TO SCALE

NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
• ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
• GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
• SEWER SERVICE - 36" MINIMUM
• WATER SERVICE - 48" MINIMUM

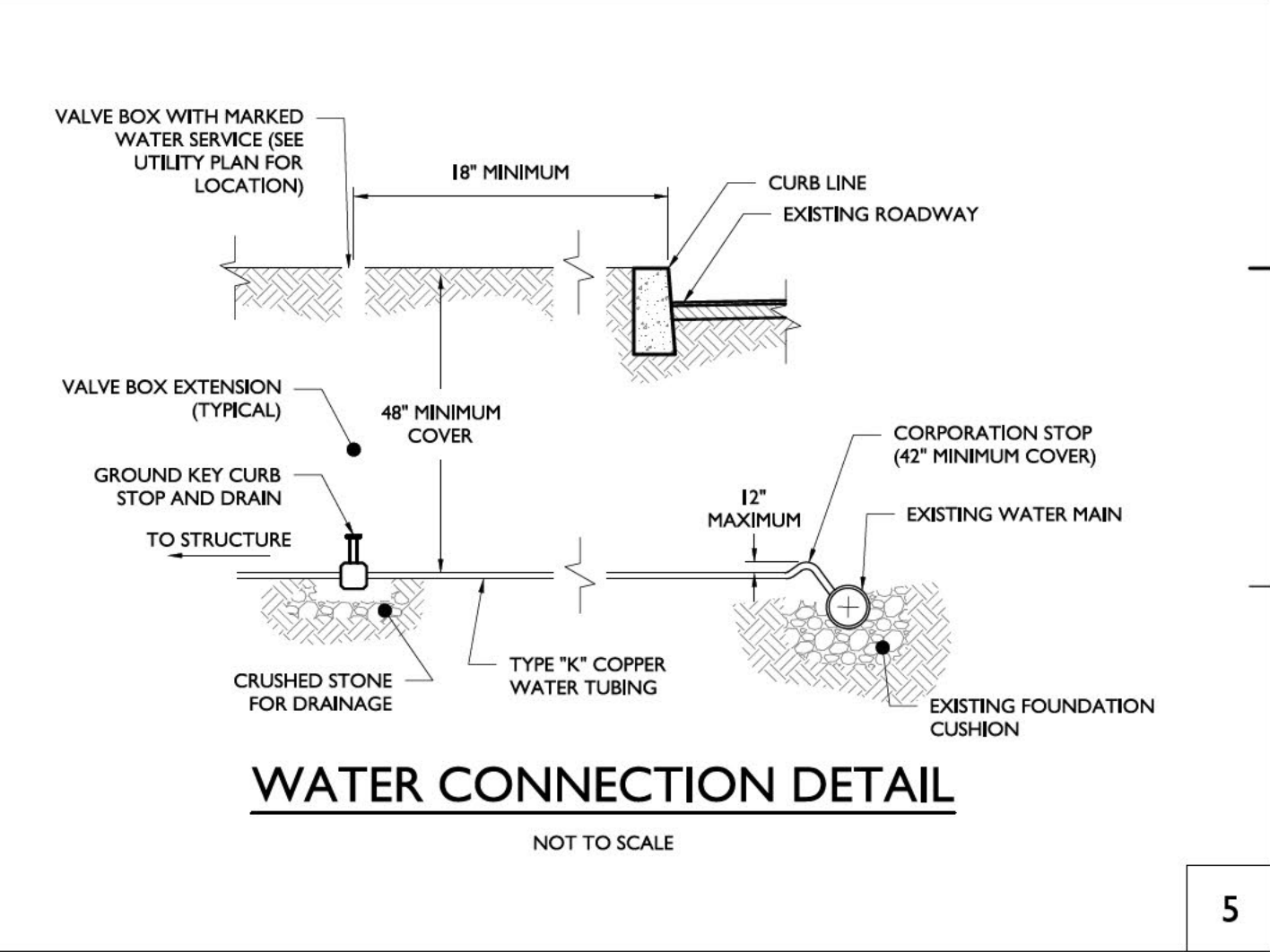


WET TAP
NOT TO SCALE

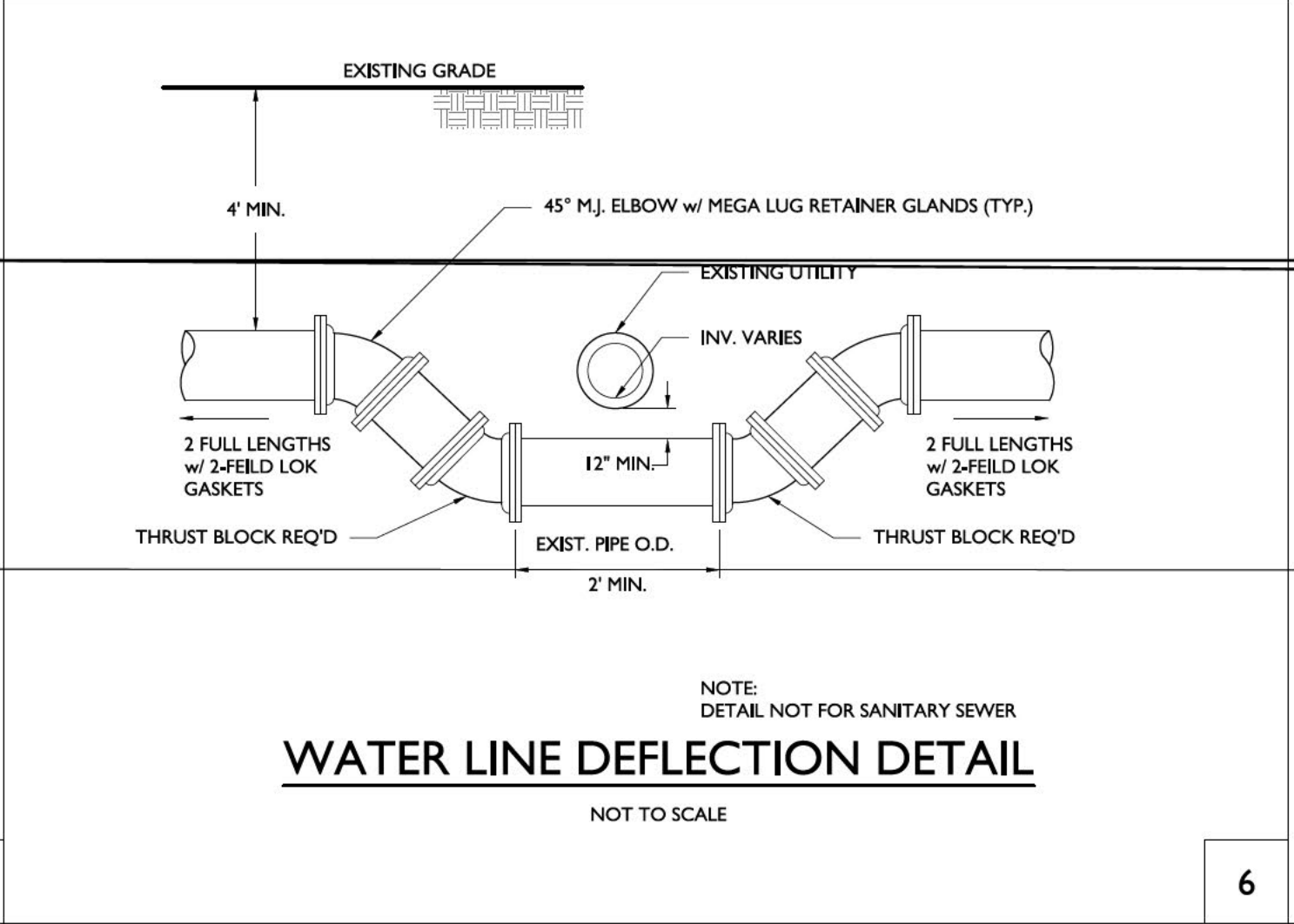
NOTES:
1. ALL NEWLY INSTALLED TAPPING SLEEVES AND TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150 PSI FOR A PERIOD OF THIRTY MINUTES. AT THE END OF THE TEST PERIOD, IF THE TEST PRESSURE HAS REMAINED CONSTANT, THE TAPPING SLEEVE AND VALVE SHALL HAVE PASSED THE TEST.
2. ANY VALVE INSTALLED OUTSIDE OF ASPHALT AREAS MUST BE CONSTRUCTED WITH A 2'x2'x6" CONCRETE COLLAR AROUND IT.



HARDSCAPE CLEAN-OUT
NOT TO SCALE

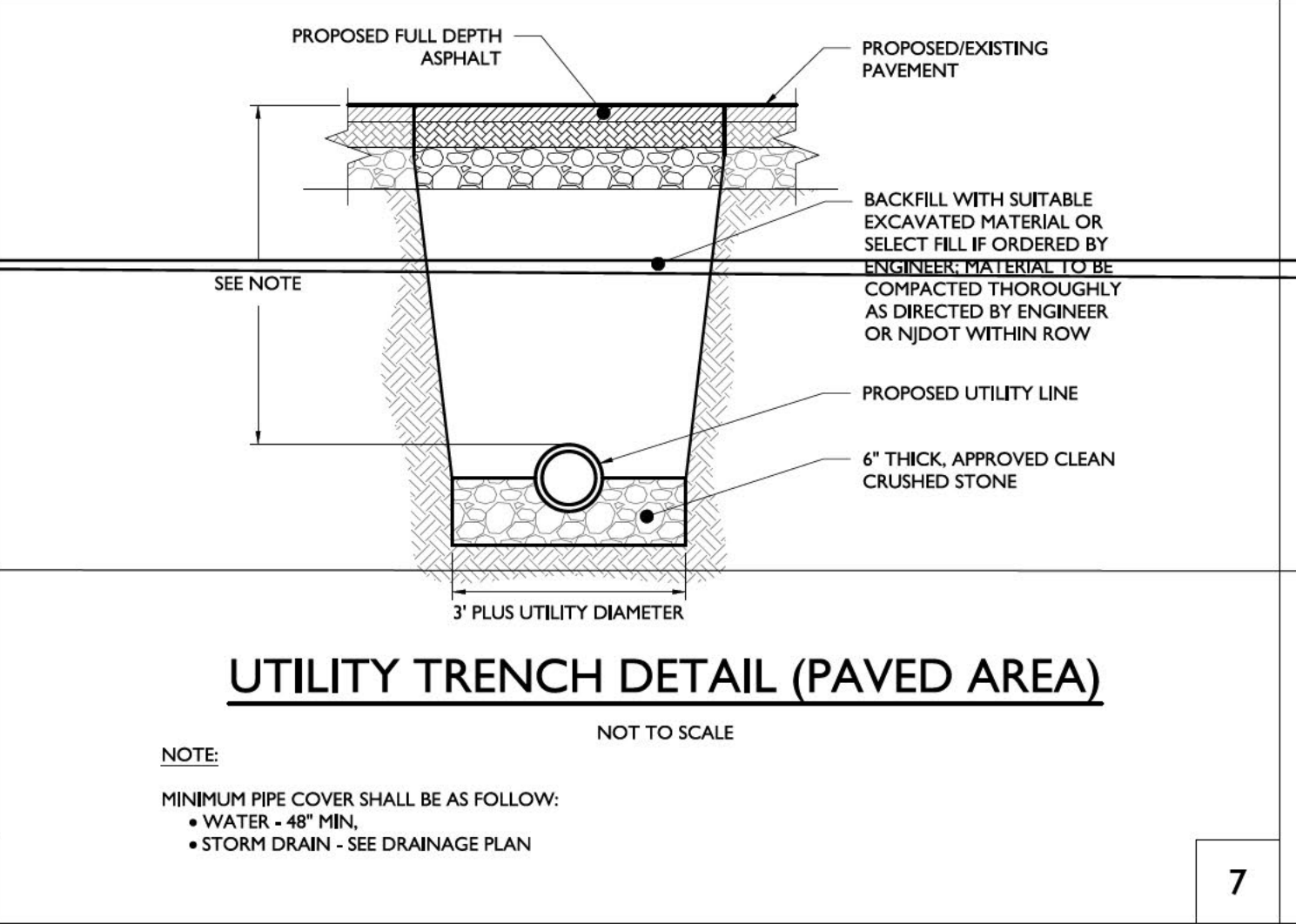


WATER CONNECTION DETAIL
NOT TO SCALE



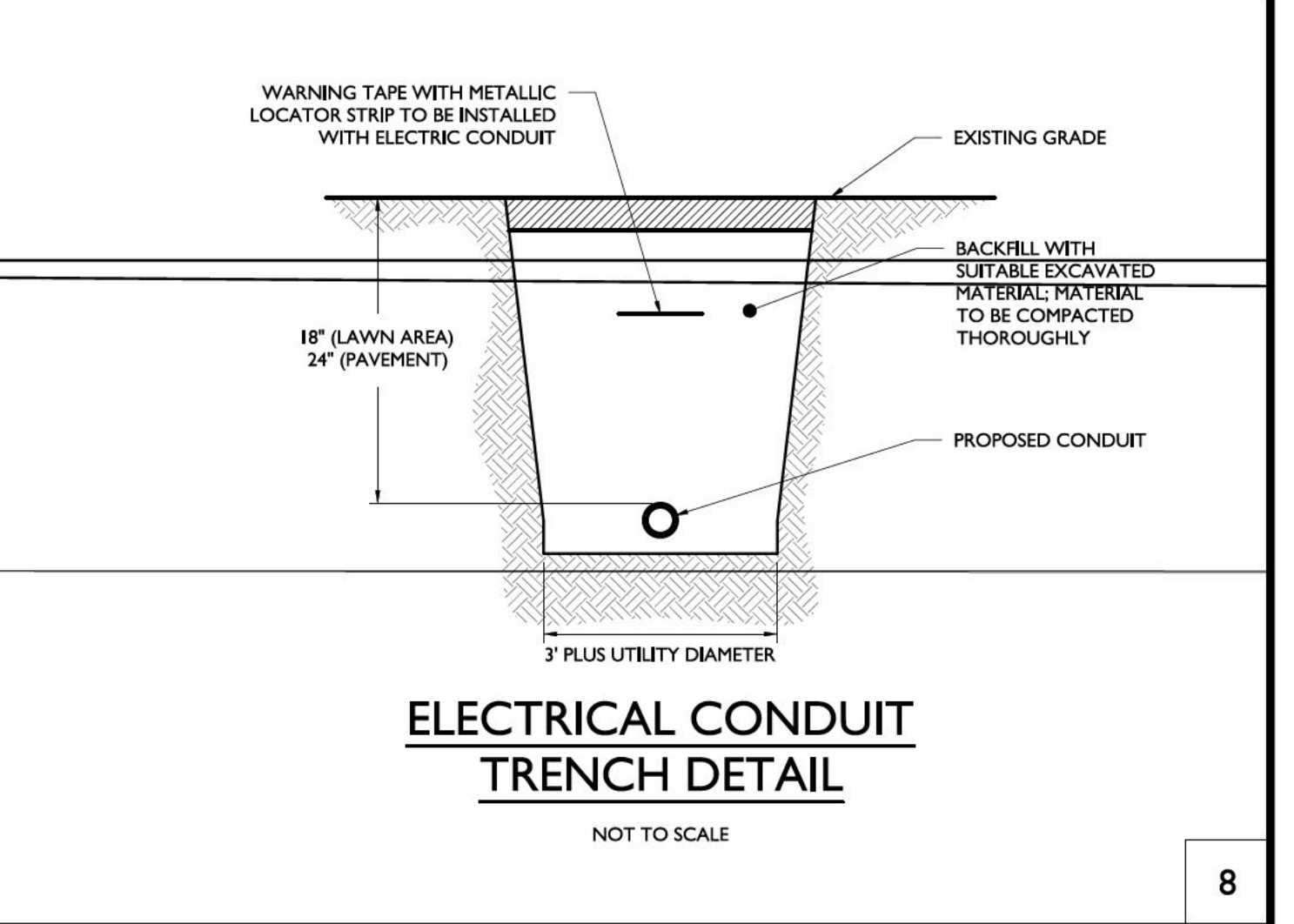
WATER LINE DEFLECTION DETAIL
NOT TO SCALE

NOTE:
DETAIL NOT FOR SANITARY SEWER

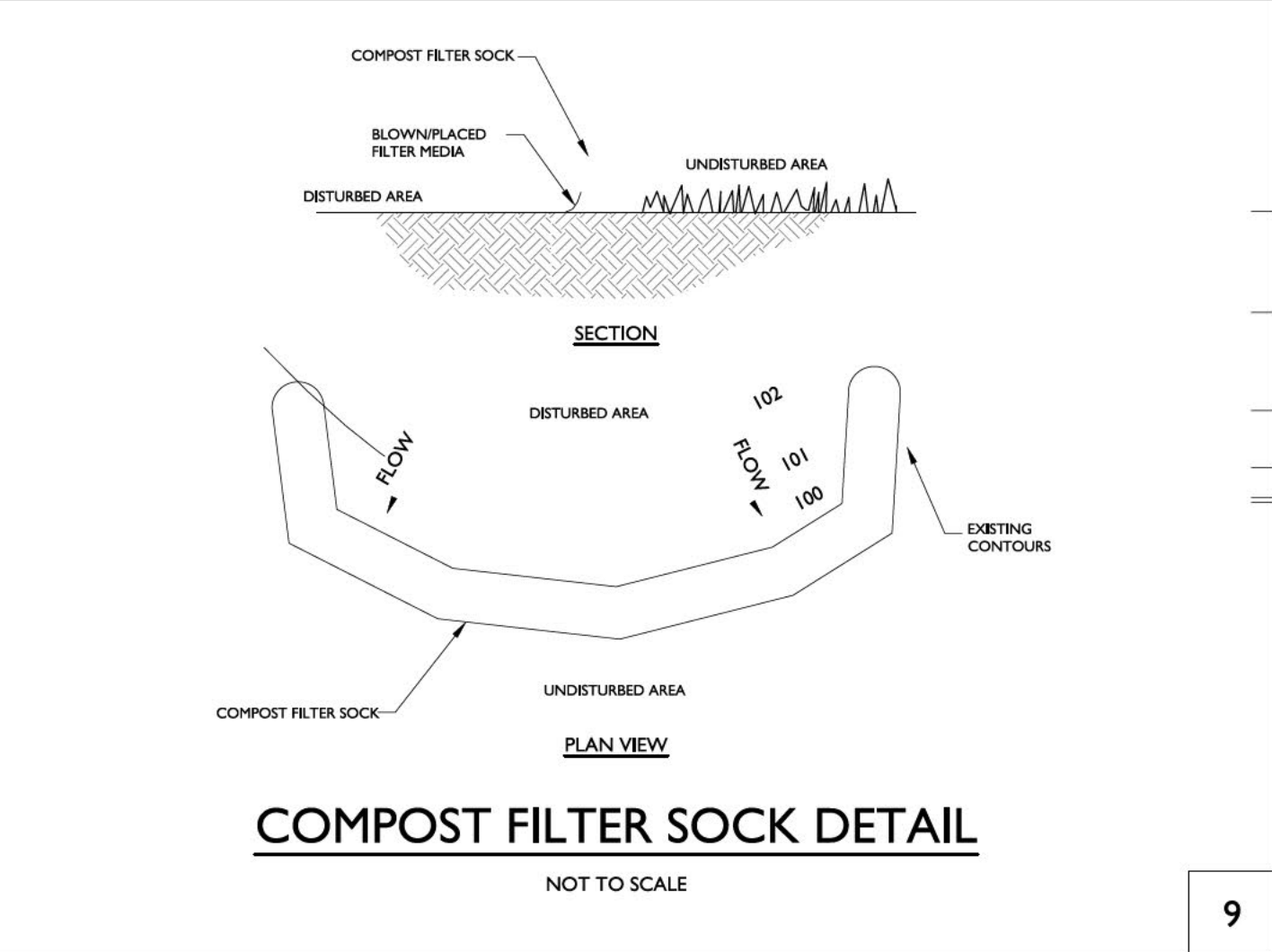


UTILITY TRENCH DETAIL (PAVED AREA)
NOT TO SCALE

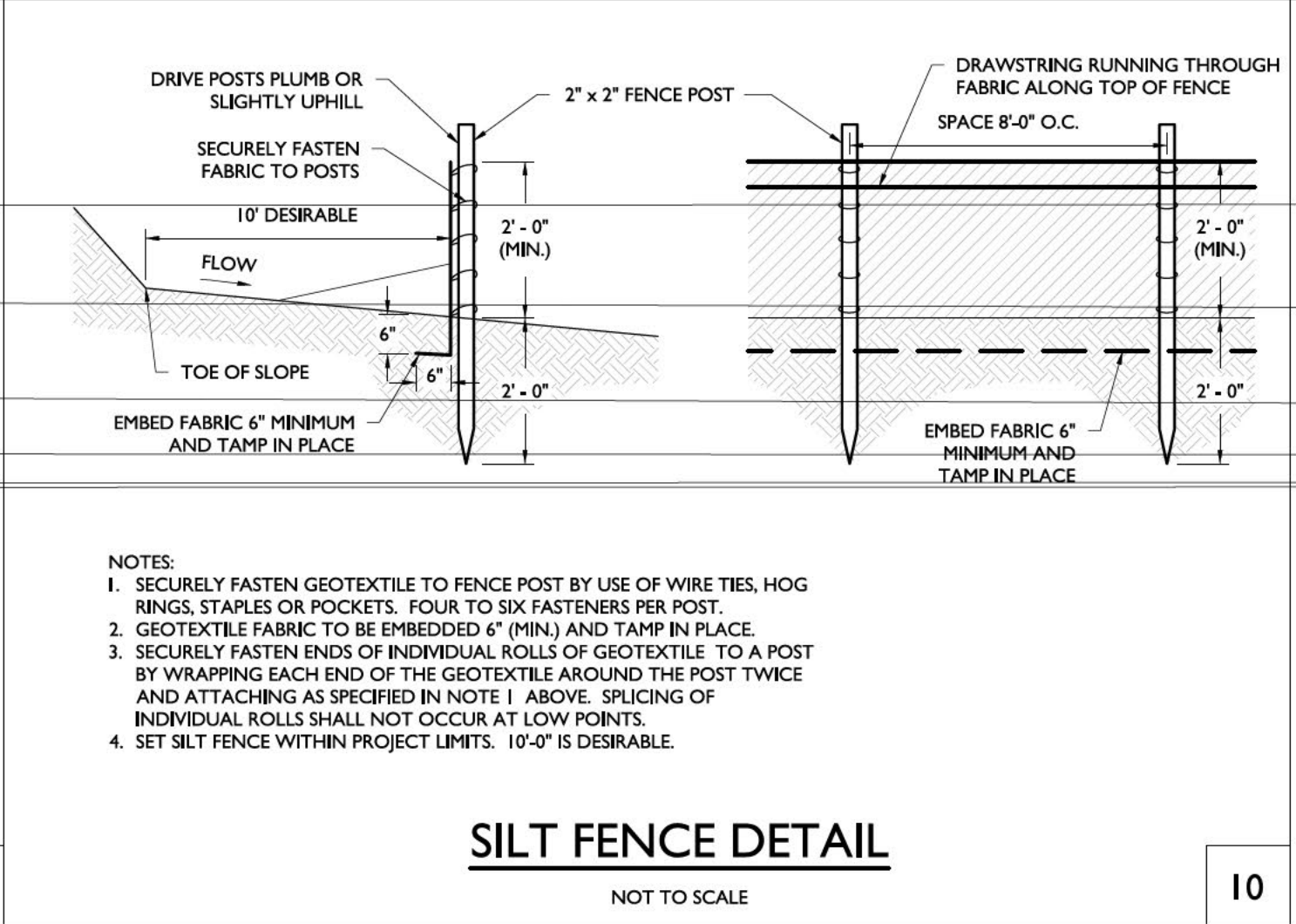
NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
• WATER - 48" MIN.
• STORM DRAIN - SEE DRAINAGE PLAN



ELECTRICAL CONDUIT TRENCH DETAIL
NOT TO SCALE

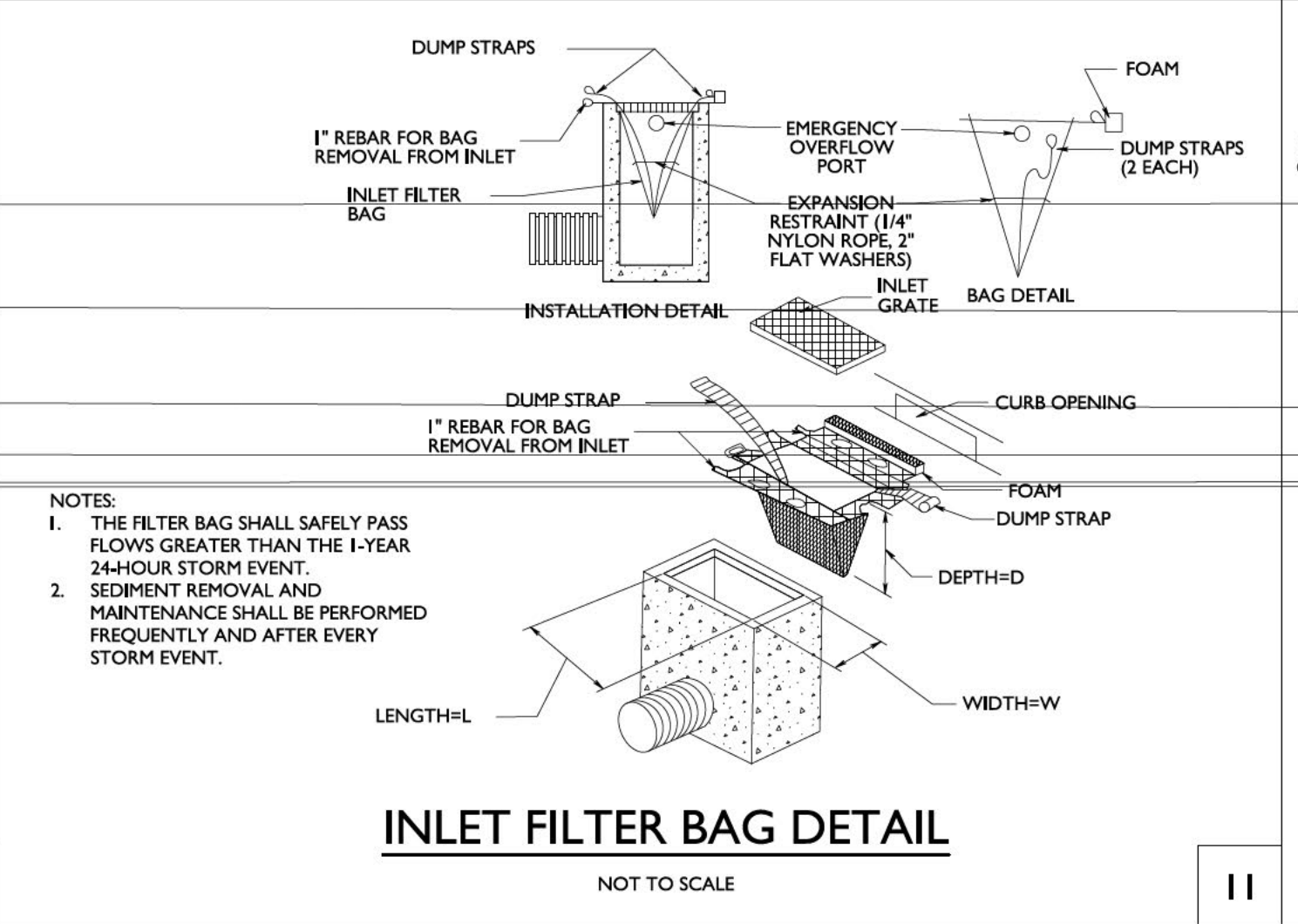


COMPOST FILTER SOCK DETAIL
NOT TO SCALE



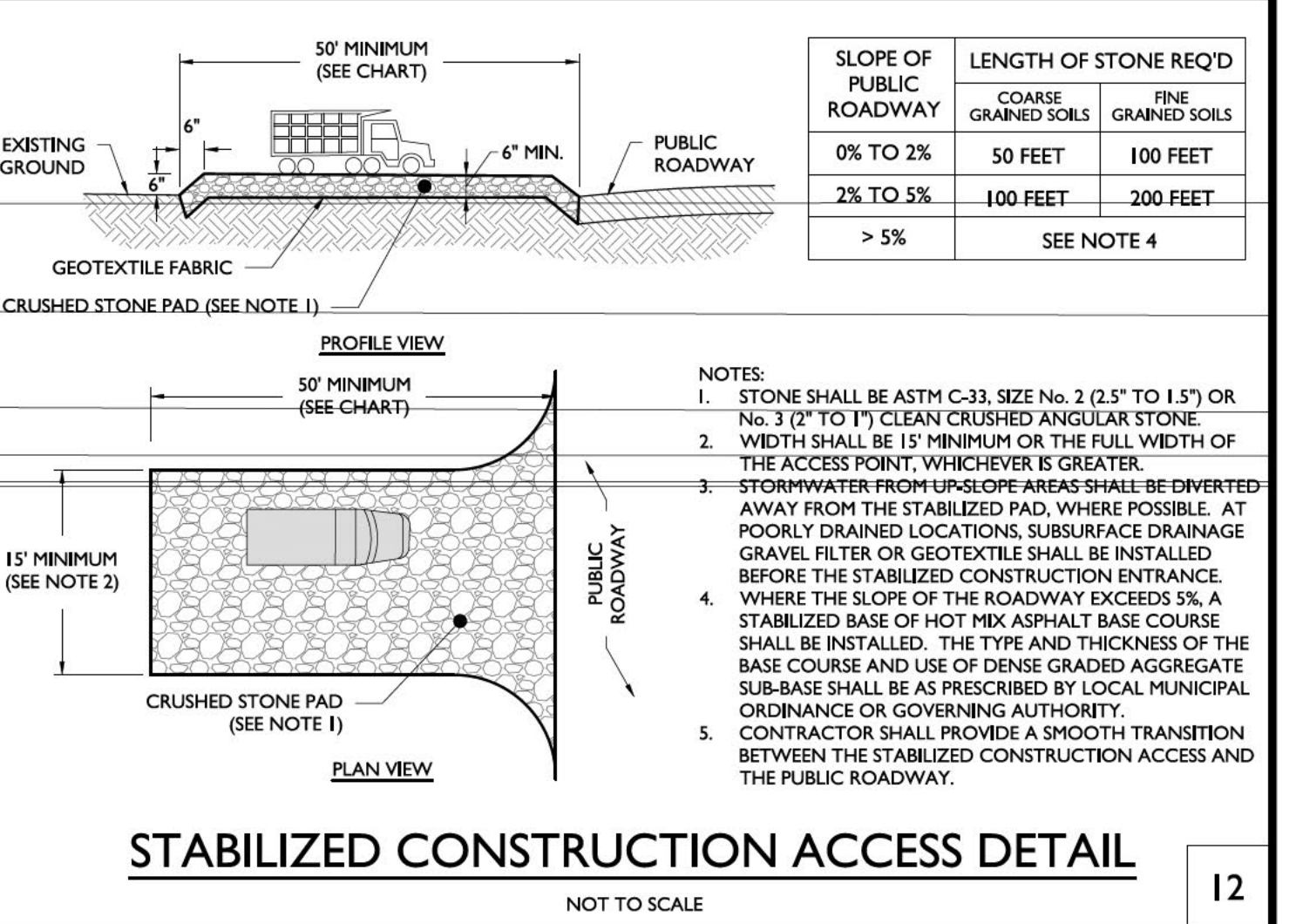
SILT FENCE DETAIL
NOT TO SCALE

NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN) AND TAMP IN PLACE.
3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.



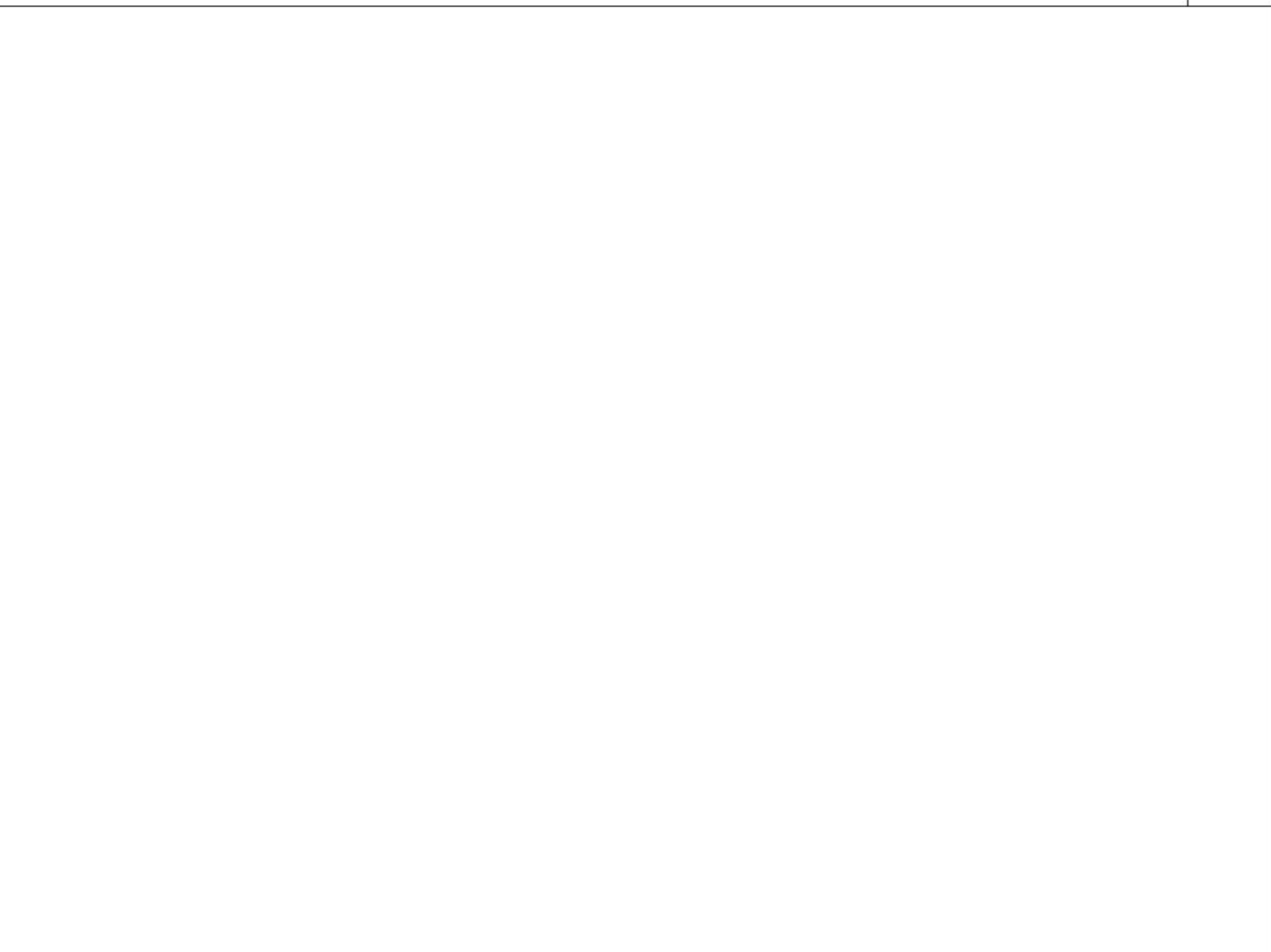
INLET FILTER BAG DETAIL
NOT TO SCALE

NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.



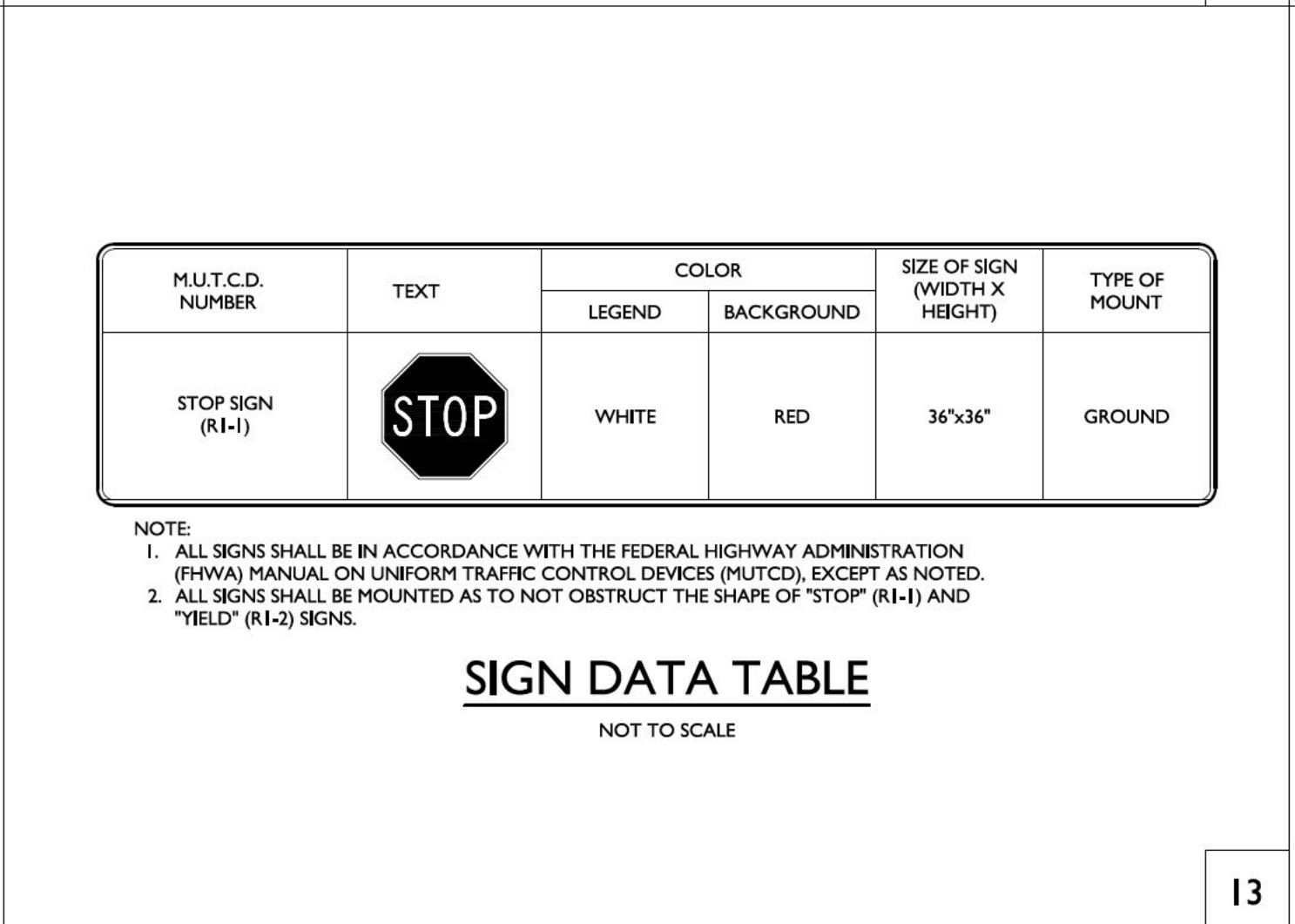
STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE

NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15" MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UPSLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
4. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.



SIGN DATA TABLE
NOT TO SCALE

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



SOIL STOCKPILE DETAIL
NOT TO SCALE

NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

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PROPOSED FLOOR & DECOR.

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TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

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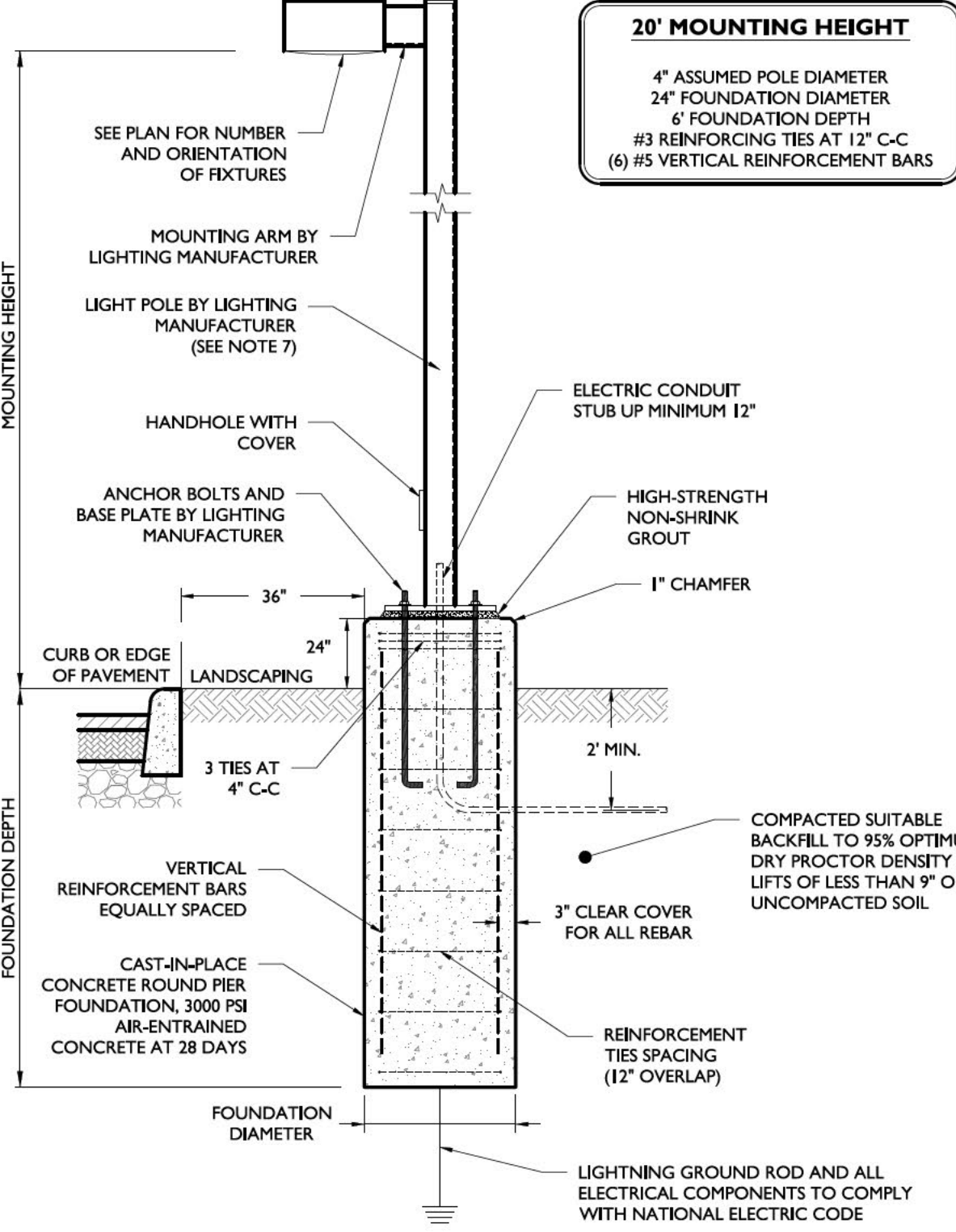
STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: NYC-220045

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-13

1. STONEFIELD ENGINEERING & DESIGN, 584 BROADWAY, SUITE 310, NEW YORK, NY 10012, TEL: 718.606.8305
 2. 3D RENDERING BY: INTEGRATED SOLUTIONS, 39 MIRACLE MILE DRIVE, HENRIETTA, NY 14456, TEL: 716.662.1111
 3. 3D RENDERING BY: INTEGRATED SOLUTIONS, 39 MIRACLE MILE DRIVE, HENRIETTA, NY 14456, TEL: 716.662.1111



LIGHT POLE INSTALLATION DETAIL

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PILES ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 3FT ABOVE GROUND FOR THE AREA BASED ON ANS/ASCE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ALL BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Customer: FLOOR AND DECOR
Project: PROJECT
Part Number: KAXWLEDP340K4M/VOLTDDBXD

Type W

KAXW LED Wall Luminaire

Specifications:
Length: 14" (356mm)
Width: 12" (305mm)
Height: 5" (127mm)
Weight (max): 19.3 lbs (8.8kg)

Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL+ equipped luminaires meet the A+ certification for luminaire to photosensor interoperability.

This luminaire is part of an A+ Certified solution for RQAM or XPort Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit www.acuitybrands.com/a-plus.

Ordering Information EXAMPLE: KAXW LED P3 40K R3 MVOLT DDBXD

Series	Part Number	Color Temperature	Beam Spread	Mounting	Shipped Installed	Shipped Separately	Notes
KAXW LED	P1	30K	300K	R3	120"	120"	
	P2	40K	400K	R3	120"	120"	
	P3	50K	500K	R3	120"	120"	

Accessories

Part Number	Description
SP	Spigot (1/2" x 1/2")
SP	Spigot (1/2" x 3/4")
SP	Spigot (1/2" x 1")
SP	Spigot (1/2" x 1 1/4")
SP	Spigot (1/2" x 1 1/2")
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SP	Spigot (1/2" x 2 1/2")
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SP	Spigot (1/2" x 89 1/2")
SP	Spigot (1/2" x 90")
SP	Spigot (1/2" x 90 1/2")
SP	Spigot (1/2" x 91")
SP	Spigot (1/2" x 91 1/2")
SP	Spigot (1/2" x 92")
SP	Spigot (1/2" x 92 1/2")
SP	Spigot (1/2" x 93")
SP	Spigot (1/2" x 93 1/2")
SP	Spigot (1/2" x 94")
SP	Spigot (1/2" x 94 1/2")
SP	Spigot (1/2" x 95")
SP	Spigot (1/2" x 95 1/2")
SP	Spigot (1/2" x 96")
SP	Spigot (1/2" x 96 1/2")
SP	Spigot (1/2" x 97")
SP	Spigot (1/2" x 97 1/2")
SP	Spigot (1/2" x 98")
SP	Spigot (1/2" x 98 1/2")
SP	Spigot (1/2" x 99")
SP	Spigot (1/2" x 99 1/2")
SP	Spigot (1/2" x 100")

Shawn Campbell shawn.campbell@ced.com 678-215-3065

FIXTURE 'W' DETAIL

NOT TO SCALE

2

Customer: FLOOR AND DECOR
Project: PROJECT
Part Number: RSX3LEDP440K4M/VOLTBADDBXD

Type W2

RSX3 LED Area Luminaire

Specifications:
EPA (ft-cd): 0.70 ft (0.07 m)
Length: 33.8" (85.9 cm) (SPA mounted)
Width: 16.1" (40.9 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm
Weight (max): 48.0 lbs (21.8 kg)

Introduction
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX3 delivers 25,000 to 41,000 lumens allowing to replace 400W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral splitter and other mounting configurations are available.

Ordering Information EXAMPLE: RSX3 LED P4 40K R3 MVOLT SPA DDBXD

Series	Part Number	Color Temperature	Beam Spread	Mounting	Shipped Installed	Shipped Separately	Notes
RSX3 LED	P1	30K	300K	R3	120"	120"	
	P2	40K	400K	R3	120"	120"	
	P3	50K	500K	R3	120"	120"	

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FIXTURE 'W2' DETAIL

NOT TO SCALE

3

D-Series Size 2 LED Area Luminaire

Specifications:
EPA: 1.1 ft (0.11 m)
Length: 40" (101.6 cm)
Width: 15" (38.1 cm)
Height 1: 7.1" (18.0 cm)
Height 2: 3.5" (8.9 cm)
Weight: 30.8 lbs

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 85% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

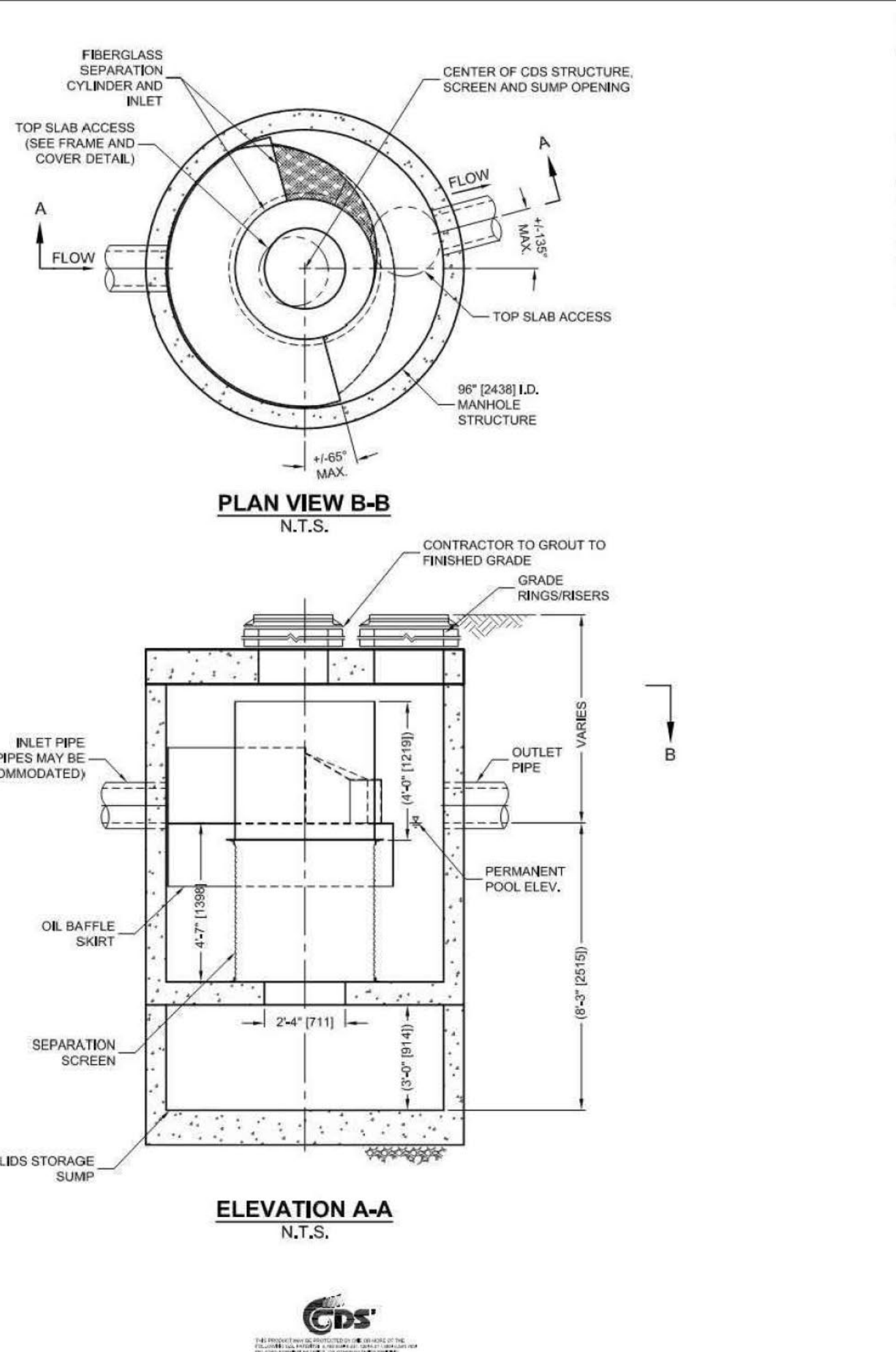
Series	Part Number	Color Temperature	Beam Spread	Mounting	Shipped Installed	Shipped Separately	Notes
DSX2 LED	P1	30K	300K	T3M	120"	120"	
	P2	40K	400K	T3M	120"	120"	
	P3	50K	500K	T3M	120"	120"	

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FIXTURE 'SL-IHS' DETAIL

NOT TO SCALE

4



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CONTECH ENGINEERED SOLUTIONS LLC

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TOWNE OF HENRIETTA
MONROE COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF HENRIETTA
HEN