



# TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. \_\_\_\_\_

PLANNING BOARD

OR ADMINISTRATIVE

DATE: \_\_\_\_\_

I (we) Real McKeever LLC by Evan Gefell as agent of 217 Lake Ave.  
Name of Applicant / Business Business Address (Number & Street)

Rochester, NY 14608 hereby apply to the Planning Board for  
Town, State, Zip

Site Plan Review OR Other: \_\_\_\_\_

on property located at 1000 Hylan Drive Planned Commercial Development ( 161.120-0001-009.100)  
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: \_\_\_\_\_ Number: \_\_\_\_\_

DESCRIPTION OF PROPOSAL: \_\_\_\_\_

To re-purpose the former Pizzeria Uno building outparcel to new restaurant uses: Starbucks in the northerly portion with drive-through and potential restaurant use without drive through in the southern portion.

**Applicant:** Real McKeever, LLC

Address: 217 Lake Ave

Rochester, NY 14608

Phone #: [REDACTED]

Email: [REDACTED]

**Property Owner:** Real McKeever LLC

Address: 1000 Hylan Drive

Rochester, NY 14623

Phone #: [REDACTED]

Email: \_\_\_\_\_

**Engineer/Architect:** Costich Engineering

Address: 217 Lake Ave

Rochester, NY 14608

Phone #: [REDACTED]

Email: [REDACTED]

**Business Owner:** Scutti Enterprises

Address: 1000 Hylan Drive

Rochester, NY 14623

Phone #: [REDACTED]

Email: \_\_\_\_\_

Applicant Signature: 

Print Name: Evan R Gefell, as agent

**Statement of Applicant and Owner with Respect to Reimbursement  
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Real McKeever, LLC

By: Evan R Gefell

Title: Principal & Agent

Dated: 12/14/2022


Signed: 

Owner: Real McKeever, LLC

By: Evan R Gefell

Title: Principal & Agent

Dated: 12/14/2022

Signed: 



Project No. 188.96

December 14, 2022

Planning Board  
Town of Henrietta  
475 Calkins Road  
Henrietta, New York 14623

Re: LETTER OF INTENT - Starbucks at Jay Scutti Plaza - South

Dear Planning Board Members:

On behalf of our client, Real McKeever, LLC, and affiliate of Scutti Enterprises with offices at 1000 Hylan Drive, Rochester, NY 14623, we are submitting the necessary materials for a Site Plan Application to the Town of Henrietta Planning Board. The intent of this project is to re-purpose the former Pizzeria Uno building outparcel into new restaurant uses: Starbucks in the northerly portion with drive-through, and a potential restaurant use without a drive-through in the southern portion.

Attached you will find the following application materials for review:

- Site Plan Checklist (1 copy)
- Site Plan Application (1 copy)
- Short EAF (1 copy)
- Signed Statement of Applicant and Owner with Respect to Reimbursement of Professional Consulting Fees (1 copy)
- Instrument Survey (4 copies)
- Civil Site Development Plans (30 sets)
- Architectural Plans (30 sets)
- Engineer's Report (2 copies)
- \$150.00 Application Fee
- \$700.00 Engineering Review Fee
- Flash Drive with electronic copies of application materials

***CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE***  
Costich Engineering, DPC • 217 Lake Avenue • Rochester, New York 14608  
Office (585) 458-3020 • Fax (585) 458-2731 • [www.costich.com](http://www.costich.com)



It is respectfully requested that this application be placed on the January 17<sup>th</sup>, 2023 Planning Board's agenda for final approval. Should you have any questions or comments, or require any additional data, please feel free to contact this office.

Best regards,

COSTICH, D.P.C.

A handwritten signature in blue ink, appearing to read 'Evan R. Gefell'.

Evan R. Gefell, RLA, ASLA

Enclosures

xc: Scutti Enterprises

***CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE***

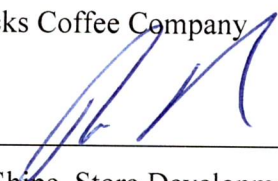
Costich Engineering, DPC • 217 Lake Avenue • Rochester, New York 14608

Office (585) 458-3020 • Fax (585) 458-2731 • [www.costich.com](http://www.costich.com)

Authorization

We hereby authorize The Real McKeever, LLC, Scutti Enterprises, LLC, and their attorneys Woods Oviatt Gilman, LLP and engineers Costich Engineering to file applications for governmental approvals for a Starbucks store at Jay Scutti Plaza South per the attached concept plan.

Starbucks Coffee Company

By:   
David Shipe, Store Development Manager

Date: 10/18/22





## SITE PLAN CHECKLIST

PROJECT NAME: Starbucks at Jay Scotti Plaza

APPLICATION No. \_\_\_\_\_

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- 
- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
  - 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
    - a. Site Plan
    - b. Utility Plan
    - c. Grading Plan
    - d. Landscape Plan
    - e. Lighting Plan
    - f. Profiles and Construction Details
    - g. Building Elevations
  - 3 The Title Block should contain the following:
    - a. Proposed Name of Development
    - b. Location of Development
    - c. Name, Address, and Telephone Number of Developer or Applicant
    - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
  - 4 Show General Location Map (sketch). North should be located at the top of the drawing.
  - 5 A scale of not more than fifty feet to the inch is to be used.
  - 6 Show names and tax account numbers of adjacent lands.
  - 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
  - 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
  - 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
  - 10 Show a tie distance from the proposed site to nearest road intersection
  - 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



## SITE PLAN CHECKLIST

PROJECT NAME: \_\_\_\_\_

APPLICATION No. \_\_\_\_\_

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- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that effect shall be placed on the plan by the surveyor.
  - 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction. - Will Develop with the Town
  - 14 List the names of existing streets, their legal width, and jurisdiction.
  - 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
  - 16 Show planned use for the proposed structure (i.e. office etc).
  - 17 Show proposed and/or existing setbacks.
  - 18 Show parking requirements (indicate the proposed and required).
  - 19 Show the fire lanes.
  - 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
    - a. To scale plot of proposed trees and/or shrubs
    - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
    - c. Enlargement details for areas of proposal that are not legible at the plan scale.
    - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
    - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
    - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
    - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Architect, be provided. (Note: a Letter of Credit will be required to insure completion.)
  - 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.





## SITE PLAN CHECKLIST

PROJECT NAME: \_\_\_\_\_

APPLICATION No. \_\_\_\_\_

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- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
  - 23 Please plan to bring samples of the proposed architectural materials to the meeting.
  - 24 The following statement should appear on all Site Plans:  
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
  - 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
  - 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
  - 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
  - 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
  - 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
  - 30 Show wetland and buffer zone limits (when applicable).
  - 31 Show floodplain and floodway limits (when applicable).
  - 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.  
- Will add
  - 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



## SITE PLAN CHECKLIST

PROJECT NAME: \_\_\_\_\_

APPLICATION No. \_\_\_\_\_

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sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan. *N/A*
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix. *N/A*
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
  - a. Environmental Assessment Form (one copy)  
(Short Form or Part I Long Form)
  - b. Drainage Report (two copies)
  - c. Traffic Report if required (twelve copies)
  - d. Lighting catalog cuts (copy with each set of plans)
  - e. Architectural Renderings
  - f. Letter of Credit Estimate (one copy).
  - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



# SITE PLAN CHECKLIST

PROJECT NAME: \_\_\_\_\_

APPLICATION No. \_\_\_\_\_

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See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

N/A

Prepared for: Scotti Enterprises  
Name of Developer

12/14/22  
Date

Real McKeever, LLC  
Company Name

1000 Hylan Drive  
Street Address

Rochester, NY 14623  
City, State, Zip

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# SITE PLAN CHECKLIST

PROJECT NAME: \_\_\_\_\_

APPLICATION No. \_\_\_\_\_

Telephone Number

Prepared by: Evan Gefell  
Name of Consultant

12/14/22  
Date

Costich  
Company Name

217 LAKE AVE.  
Street Address

Rochester, NY 14608  
City, State, Zip

  
Telephone Number

## SITE PLAN CHECKLIST APPENDIX

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- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

## LANDSCAPE TABLE

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- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

Application Number: \_\_\_\_\_

**Site Plan and Subdivision Application  
Engineering Review Charges**

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All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual Gregory Kimber  
Responsible Firm Scotti Enterprises  
Street Address 1000 Hylan Drive  
City, State, Zip Code Rochester, NY 14623  
Telephone Number [REDACTED]

**Engineering Site Inspection Charges**

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All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual \_\_\_\_\_  
Responsible Firm \_\_\_\_\_  
Street Address \_\_\_\_\_  
City, State, Zip Code \_\_\_\_\_  
Telephone Number ( ) \_\_\_\_\_

*Note:* When this information has been provided by another party, the following information needs to be provided:

Provided By \_\_\_\_\_  
Address \_\_\_\_\_  
City, State Zip \_\_\_\_\_  
Telephone Number ( ) \_\_\_\_\_

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

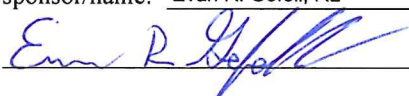
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

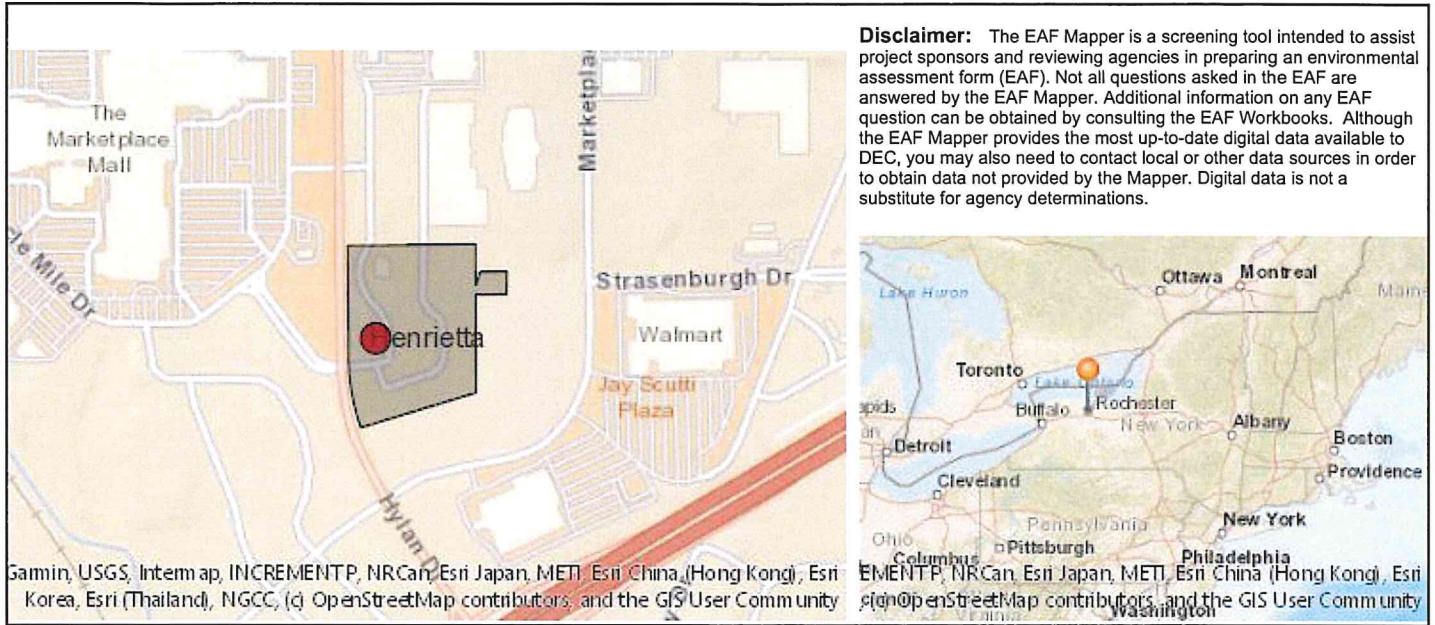
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Starbucks - Jay Scutti Plaza - South			
Project Location (describe, and attach a location map): 1000 Hylan Drive, Rochester, NY 14623, Town of Henrietta, Monroe County			
Brief Description of Proposed Action: To re-purpose the former Pizzeria Uno building outparcel to new restaurant uses: Starbucks in the northerly portion with drive-through and potential restaurant use without drive through in the southern portion.			
Name of Applicant or Sponsor: Real McKeever LLC with Evan Gefell (Costich Engineering, DPC) as agent for applicant		Telephone: [REDACTED]	
Address: 217 Lake Avenue		E-Mail: [REDACTED]	
City/PO: Rochester		State: NY	Zip Code: 14608
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Henrietta Planning Board - Special Use Permit		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		14.061 acres	
b. Total acreage to be physically disturbed?		0.35 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		14.061 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ See attached site civil plans. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
755 Jefferson Rd; Site Code V00126; Class C (Completed) Voluntary Cleanup Program/Roehlen Engraving; Site Code 828077; Class C (Completed) State Superfund Program/Former A B Dick Facility; Site Code 828148; Class C (Completed) Brownfield Cleanup Program		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Evan R. Gefell, RL</u> Date: <u>12/13/2022</u>		
Signature: <u></u> Title: <u>Principal-Costich Engineering, DPC</u>		

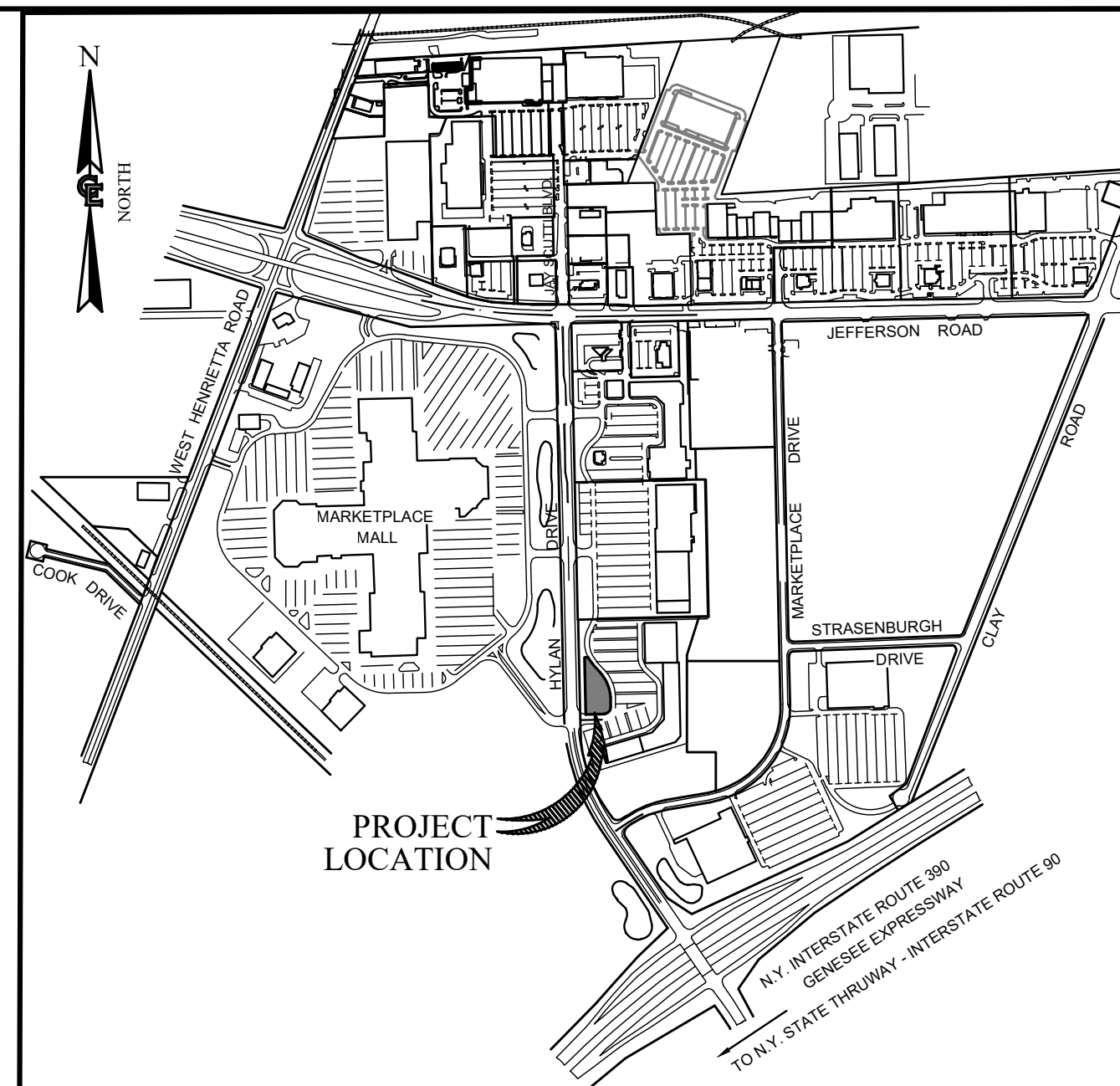


Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

# JAY SCUTTI PLAZA SOUTH STARBUCKS

## SITE DEVELOPMENT PLANS 1000 HYLAN DRIVE

TOWN OF HENRIETTA  
COUNTY OF MONROE  
STATE OF NEW YORK



LOCATION SKETCH  
NOT TO SCALE

### PROJECT NAME AND LOCATION

STARBUCKS  
1000 HYLAN DRIVE  
ROCHESTER, NEW YORK 14623

### OPERATOR'S NAME AND ADDRESS

SCUTTI ENTERPRISES  
1000 HYLAN DRIVE  
ROCHESTER, NEW YORK 14623

### EROSION AND SEDIMENT CONTROLS

#### STABILIZATION PRACTICES (PERMANENT)

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

#### STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
- B. MULCHING EXPOSED AREAS.
- C. SOIL ROUGHENING.
- D. FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

#### STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. PAVEMENT

#### STRUCTURAL PRACTICES (TEMPORARY)

STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. INLET PROTECTION
- B. PERIMETER PROTECTION USING SILTATION FENCING
- C. STABILIZED CONSTRUCTION EXIT POINTS

### OTHER CONTROLS

#### OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEEP AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

#### DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A. COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHOULD BE ABOUT SIX (6) INCHES IN HEIGHT.
- C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

### MATERIALS MANAGEMENT PLAN

#### MATERIALS COVERED

THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

CONCRETE/ADDITIONS/WASTES	CLEANING SOLVENTS
DETERGENTS	PETROLEUM BASED PRODUCTS
PAINTS/SOLVENTS	PESTICIDES
ACIDS	FERTILIZERS
SOLID AND CONSTRUCTION WASTES	SANITARY WASTES
SOIL STABILIZATION ADDITIVES	

#### MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIAL AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED.

- A. GOOD HOUSEKEEPING  
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
  - 1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
  - 2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
  - 3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
  - 4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - 5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - 6. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
  - 7. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- B. HAZARDOUS PRODUCTS  
THESE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.
  - 1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
  - 2. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED AND USED FOR EACH MATERIAL.
  - 3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- C. HAZARDOUS WASTE  
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.
- D. PRODUCT SPECIFIC PRACTICES  
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE.
  - 1. PETROLEUM PRODUCTS:  
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ONSITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONTAINMENT STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
  - 2. FERTILIZERS:  
FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
  - 3. PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS:  
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.
  - 4. CONCRETE WASTES:  
CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, BUT ONLY IN EITHER (1) SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE OR (2) IN LOCATIONS WHERE WASTE CONCRETE CAN BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE CONCRETE WASH OUT DIKED AREAS WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT MAY REQUIRE THE USE OF MULTIPLE CONCRETE WASH OUT AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF CONCRETE WASH OUT AREA(S) MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

### MATERIALS MANAGEMENT PLAN (CONT.)

- E. SOLID AND CONSTRUCTION WASTES:  
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE (LOCAL ENTITY). THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE CONTAINERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- F. SANITARY WASTES:  
ALL SANITARY WASTES WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- G. CONTAMINATED SOILS:  
ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.

#### SPILL PREVENTION AND RESPONSE PROCEDURES

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- A. IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED.
  - 1. ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.
  - 2. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE.
  - 3. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.
  - 4. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED.
  - 1. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
  - 2. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES.
  - 3. THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY. SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-429-6281 (1-888-HAZMAT 1) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110, 40 CFR 117, AND 40 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802.
  - 4. IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE RECURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT.
- C. THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

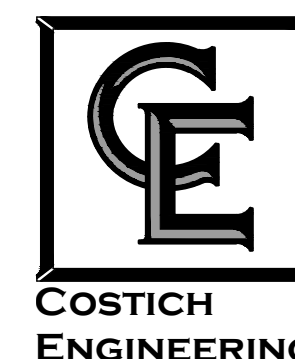
### GENERAL NOTES

- 1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE. CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE VICTOR COUNTY GEODETIC SURVEY OFFICE.
- 2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY (THE COST FOR SUPPORTING UTILITIES SHALL BE INCLUDED IN THE PRICE BID FOR EXCAVATION).
- 3. EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
- 4. ALL CONSTRUCTION WORK SHALL CONFORM TO TOWN OF HENRIETTA DESIGN AND CONSTRUCTION STANDARDS.
- 5. SPECIAL USE PERMIT WAS GRANTED AT THE NOVEMBER 16, 2022 (APPLICATION NO. 2022-042)

### INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 1 OF 11)
VA100	EXISTING FEATURES / DEMOLITION PLAN (SHEET 2 OF 11)
CA100	SITE PLAN (SHEET 3 OF 11)
CA110	UTILITY, GRADING AND EROSION CONTROL PLAN (SHEET 4 OF 11)
LA100	LANDSCAPE PLAN (SHEET 5 OF 11)
LA110	LIGHTING PLAN (SHEET 6 OF 11)
CA500	DETAIL SHEET (SHEET 7 OF 11)
CA501	DETAIL SHEET (SHEET 8 OF 11)
CA502	DETAIL SHEET (SHEET 9 OF 11)
CA503	DETAIL SHEET (SHEET 10 OF 11)
CA504	DETAIL SHEET (SHEET 11 OF 11)

PREPARED FOR:  
SCUTTI ENTERPRISES  
1000 HYLAN DRIVE  
ROCHESTER, NEW YORK 14623

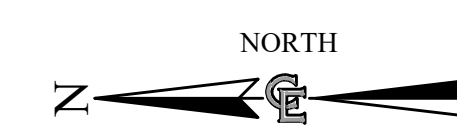
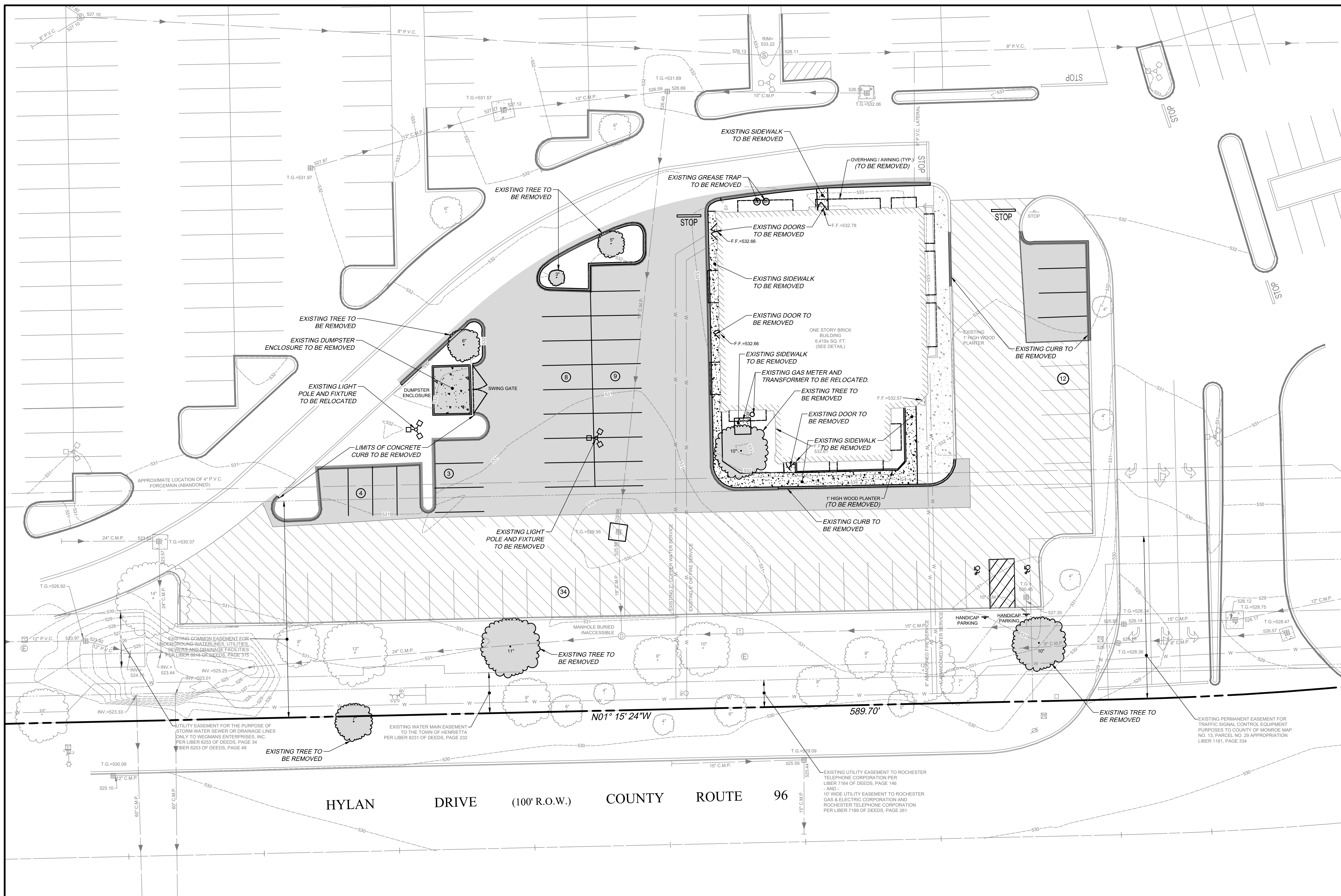


- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020



JAY SCUTTI PLAZA SOUTH  
STARBUCKS  
SITE DEVELOPMENT PLANS  
300 HYLAN DRIVE  
TOWN OF HENRIETTA  
COUNTY OF MONROE  
STATE OF NEW YORK



**LINE & SYMBOL LEGEND**

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL

**DEMOLITION LEGEND**

- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING ASPHALT TO BE MILLED DOWN TO BINDER DEPTH
- EXISTING DECIDUOUS & CONIFEROUS TREE TO BE REMOVED
- INLET PROTECTION
- SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CONCRETE CURB

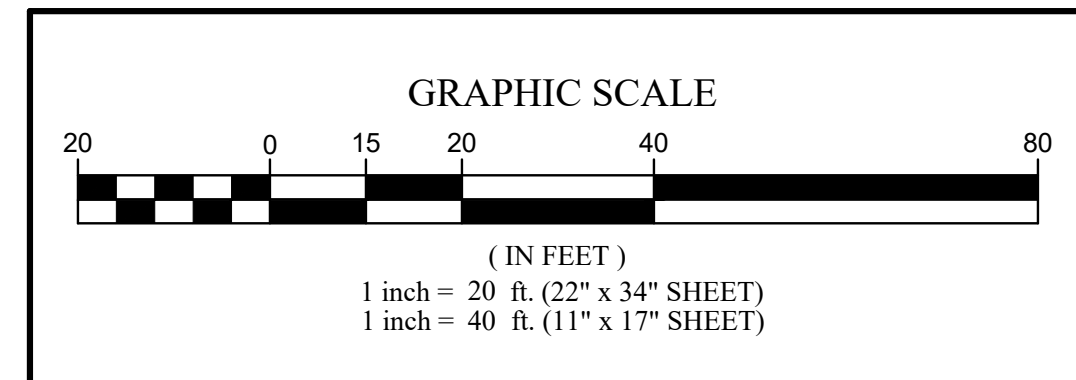
**REFERENCES**

1. MAP ENTITLED "JAY SCUTTI PLAZA NORTH & SOUTH ALTA/ACSM LAND TITLE SURVEY" PREPARED BY COSTICH ENGINEERING, HAVING A DRAWING NUMBER 188-ALTA.1, DATED 07/02/2002, LAST REVISED 12/31/2015.

**FLOOD NOTE:**  
 By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map No. 3605C0334G Community Panel No. 360419, Town of Henrietta, which bears an effective date of 8/28/2008. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

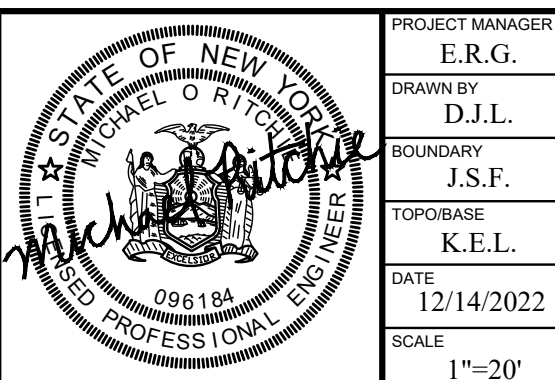


EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLI TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	APVLS.

COPYRIGHT © 2022 COSTICH ENGINEERING, D.P.C.  
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.

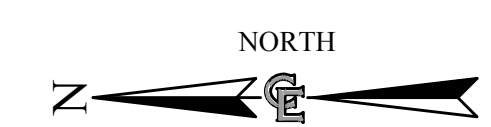


PROJECT MANAGER: E.R.G.  
 DRAWN BY: D.J.L.  
 BOUNDARY: J.S.F.  
 TOPOBASE: K.E.L.  
 DATE: 12/14/2022  
 SCALE: 1"=20'



TITLE OF PROJECT: STARBUCKS JAY SCUTTI PLAZA - SOUTH  
 TITLE OF DRAWING: EXISTING FEATURES/ DEMOLITION PLAN  
 LOCATION OF PROJECT: TAX PARCEL NO. 161.120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK  
 CLIENT: SCOTTI ENTERPRISES 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623  
 DWG. # 188.96 VA100 SHEET 02 OF 11

NF  
THE REAL MCKEEVER LLC  
T.A.# 161.120-01-009.1  
1000 HYLAN DRIVE  
14.061 ACRES  
LIBER 10236 PAGE 478



**SITE LINE LEGEND**

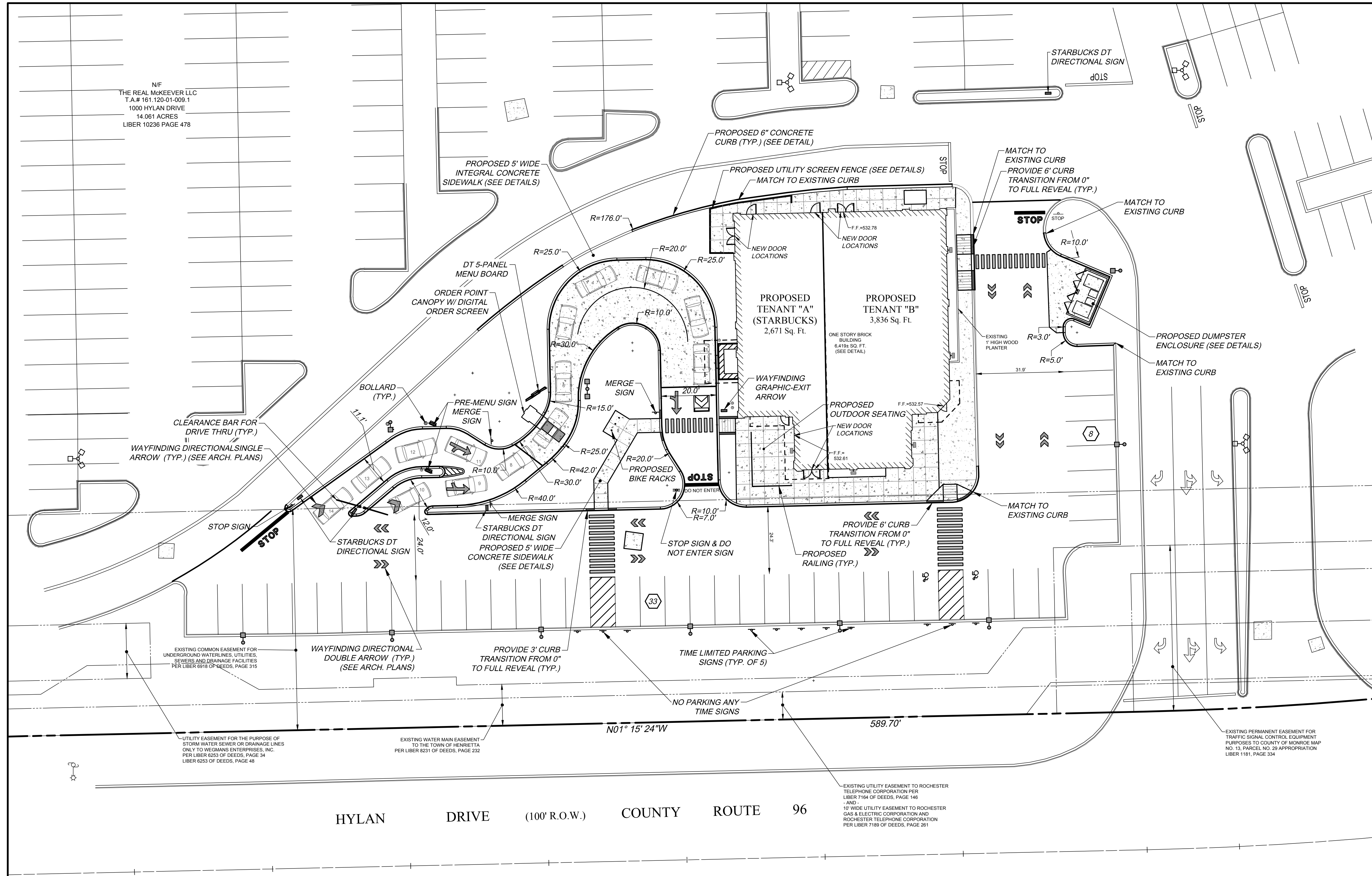
- PARCEL BOUNDARY
- - - EXISTING RIGHT-OF-WAY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- - - EXISTING EASEMENT LINE
- EXISTING BUILDING
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONC. PAD/ CONC. SIDEWALK
- EXISTING GUARD RAIL
- EXISTING TREES, HEDGE, EDGE OF WOODS
- EXISTING STOCKADE & CHAIN LINK FENCE
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED BUILDING
- PROPOSED SIDEWALK

**SITE DATA**

1. ADDRESS: 1000 HYLAN DRIVE
2. TAX ACCOUNT NO. 161.120-01-009.1 (14.06 ACRES)
3. EXISTING ZONING DISTRICT-PCD (PLANNED COMMERCIAL DEVELOPMENT).
4. EXISTING BUILDING AREA = 6,465 SF  
PROPOSED TENANT "A" (STARBUCKS) = 2,671 SF  
PROPOSED TENANT "B" = 3,794 SF
5. PARKING REQUIRED:  
RESTAURANT WITH DRIVE-THROUGH: 1 SPACE PER 120 SQ. FT. GFA = 2,671 / 120 = 23 SPACES.  
RESTAURANT: 1 SPACE PER 3 SEATS PLUS 1 FOR 2 EMPLOYEES = 3,836/ NA  
TOTAL NUMBER OF PARKING SPOTS PROVIDED = 45 SPACES
6. AS AN INTEGRAL PART OF THE APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDINGS AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

**SIGN LEGEND**

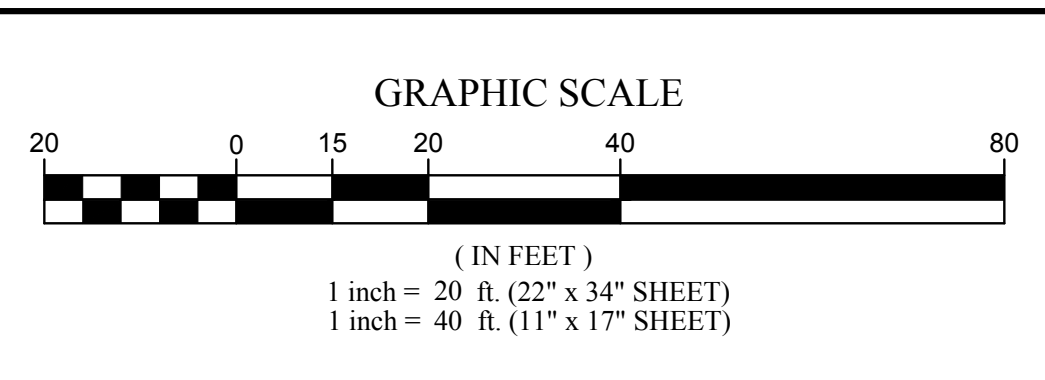
SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT	QNT.
1	RESERVED PARKING	NY R7-8	12"x18" BLUE AND GREEN ON WHITE	"C"	7'-0"	2
2	NO PARKING ANY TIME	R7-1	12"x18" RED ON WHITE	"C"	7'-0"	1
3	VAN ACCESSIBLE	R7-8B	12"x6" WHITE ON BLUE	"C"	7'-0"	2
4	STOP	RI-C	30"x30" OCTAGONAL WHITE ON RED	"A"	7'-0"	2
5	DO NOT ENTER	R5-1	30"x30" RED ON WHITE	"C"	7'-0"	3



HYLAN DRIVE (100' R.O.W.) COUNTY ROUTE 96



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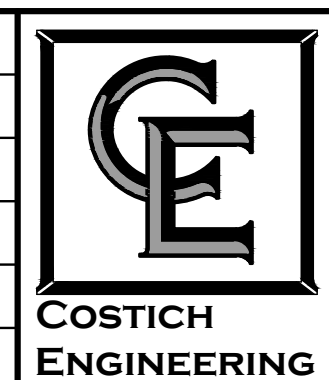


NO.	DATE	REVISION	BY	CHKD.	APVLS.

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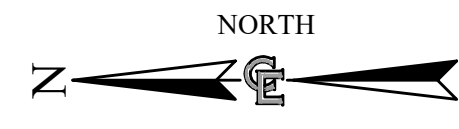
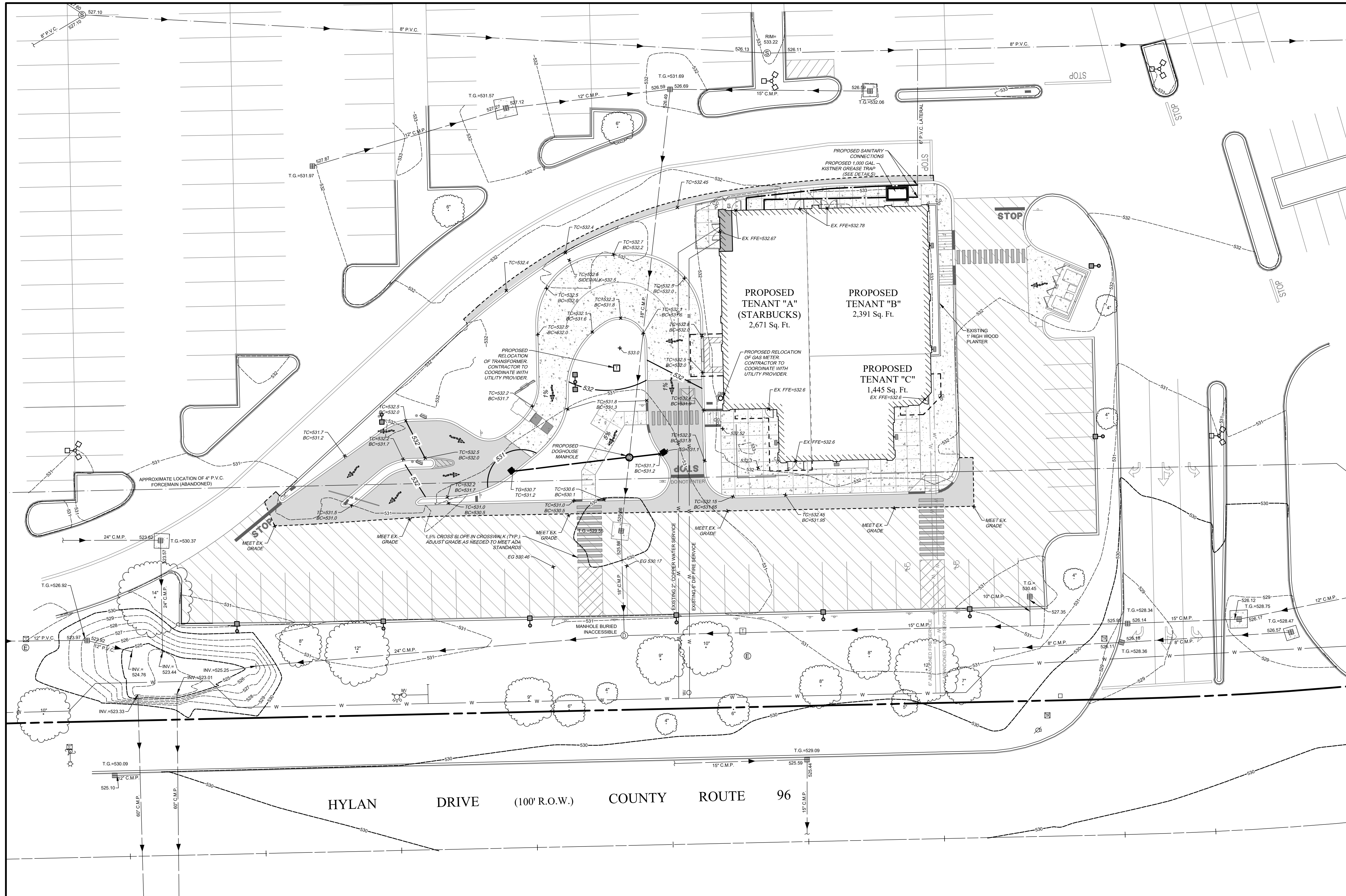


PROJECT MANAGER: E.R.G.  
DRAWN BY: D.J.L./E.L.O.  
BOUNDARY: J.S.F.  
TOPOBASE: K.E.L.  
DATE: 12/14/2022  
SCALE: 1"=20'



- CIVIL ENGINEERING
  - LAND SURVEYING
  - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

TITLE OF PROJECT: STARBUCKS JAY SCUTTI PLAZA - SOUTH  
TITLE OF DRAWING: SITE PLAN  
LOCATION OF PROJECT: TAX PARCEL NO. 161.120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK  
CLIENT: THE REAL MCKEEVER LLC 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623  
DWG # 188.96  
CA100 SHEET 03 OF 11



**LINE & SYMBOL LEGEND**

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONC. PAD/ CONC. SIDEWALK
- EXISTING GUARD RAIL
- EXISTING TREES, HEDGE, EDGE OF WOODS
- EXISTING STOCKADE & CHAIN LINK FENCE
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED SIDEWALK

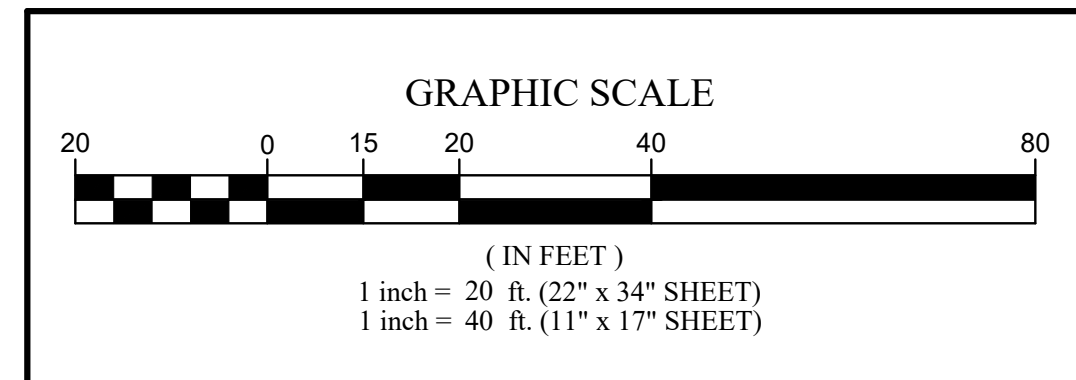
**PAVEMENT LEGEND**

- NEW STANDARD DUTY PAVEMENT AREA
- MILL AND OVERLAY AREA (MILL DOWN TO BINDER, 1.5" MIN. DEPTH; MATCH EXISTING GRADE EXCEPT WHERE NOTED)

**FLOOD NOTE:**  
 By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map No. 3605C034G Community Panel No. 360419, Town of Henrietta, which bears an effective date of 8/28/2008. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.



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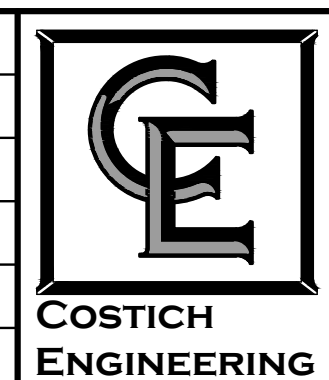


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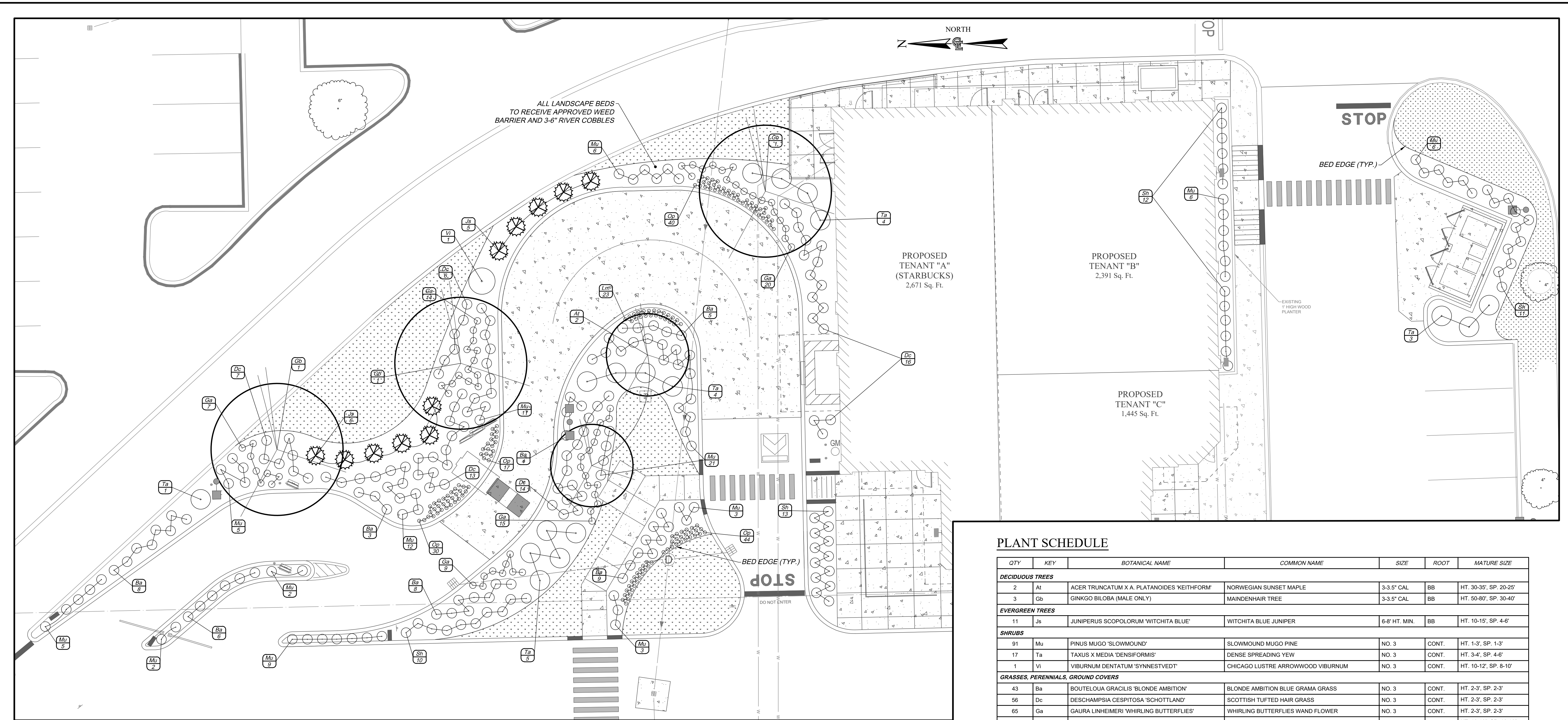


PROJECT MANAGER: E.R.G.  
 DRAWN BY: D.J.L./E.L.O.  
 BOUNDARY: J.S.F.  
 TOPOBASE: K.E.L.  
 DATE: 12/14/2022  
 SCALE: 1"=20'



- CIVIL ENGINEERING
  - LAND SURVEYING
  - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

TITLE OF PROJECT: STARBUCKS JAY SCUTTI PLAZA - SOUTH  
 TITLE OF DRAWING: UTILITY, GRADING & EROSION CONTROL PLAN  
 LOCATION OF PROJECT: TAX PARCEL NO. 161.120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK  
 CLIENT: SCUTTI ENTERPRISES 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623  
 DWG # 188.96  
**CA110**  
 SHEET 04 OF 11



**LANDSCAPE NOTES**

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
2. THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
4. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
5. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
6. SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
7. A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF PROVISIONAL ACCEPTANCE.
8. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
9. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
10. ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" LAYER OF 3-6" RIVER STONE MULCH.
11. STAKE TREES IMMEDIATELY AFTER PLANTING.
12. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 4" OF TOPSOIL AND BE SEEDED WITH SPECIFIED LAWN MIX.

**PLANT SCHEDULE**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
<b>DECIDUOUS TREES</b>						
2	At	ACER TRUNCATUM X A. PLATANOIDES 'KEITHFORM'	NORWEGIAN SUNSET MAPLE	3-3.5" CAL	BB	HT. 30-35', SP. 20-25'
3	Gb	GINKGO BILOBA (MALE ONLY)	MAIDENHAIR TREE	3-3.5" CAL	BB	HT. 50-80', SP. 30-40'
<b>EVERGREEN TREES</b>						
11	Js	JUNIPERUS SCOPOLORUM 'WITCHITA BLUE'	WITCHITA BLUE JUNIPER	6-8" HT. MIN.	BB	HT. 10-15', SP. 4-6'
<b>SHRUBS</b>						
91	Mu	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	NO. 3	CONT.	HT. 1-3', SP. 1-3'
17	Ta	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	NO. 3	CONT.	HT. 3-4', SP. 4-6'
1	Vi	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	NO. 3	CONT.	HT. 10-12', SP. 8-10'
<b>GRASSES, PERENNIALS, GROUND COVERS</b>						
43	Ba	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	NO. 3	CONT.	HT. 2-3', SP. 2-3'
56	Dc	DESCHAMPSIA CESPITOSA 'SCHOTTLAND'	SCOTTISH TUFTED HAIR GRASS	NO. 3	CONT.	HT. 2-3', SP. 2-3'
65	Ga	GAURA LINHEIMERI 'WHIRLING BUTTERFLIES'	WHIRLING BUTTERFLIES WAND FLOWER	NO. 3	CONT.	HT. 2-3', SP. 2-3'
23	Lm	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	NO. 2	CONT.	HT. 12-18", SP. 12-18"
131	Op	OPHIPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	NO. 2	CONT.	HT. 12-18", SP. 12-18"
46	Sh	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSSEED GRASS	NO. 3	CONT.	HT. 2-3', SP. 2-3'

**ABBREVIATIONS:**  
 BB=BALLED & BURLAPPED  
 BR=BARE ROOT  
 CAL=CALIPER IN INCHES  
 CONT.=CONTAINER  
 HT.=HEIGHT  
 NO.#=GALLON SIZE  
 SP.=SPREAD

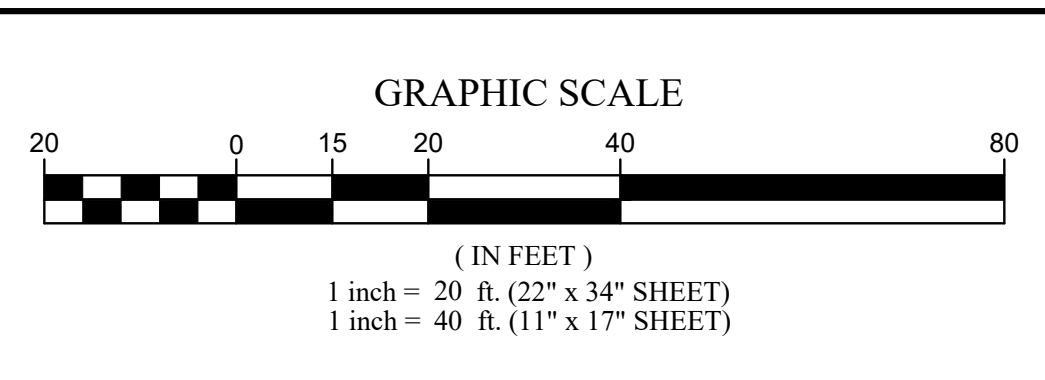
**NOTES:**  
 - CALIPER TO BE MEASURED 6" ABOVE GRADE  
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

**LEGEND**

AREAS TO RECEIVE 4" OF TOPSOIL AND TO BE SEEDED WITH SPECIFIED LAWN MIX



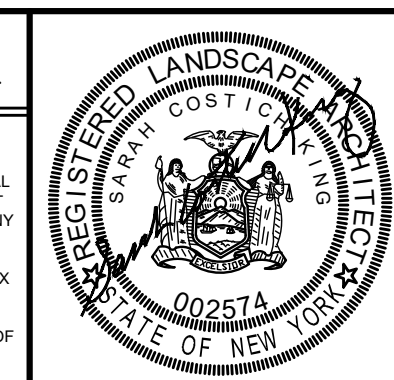
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PROJECT MANAGER  
**E.R.G.**  
 DRAWN BY  
**D.J.L./E.L.O.**  
 BOUNDARY  
**J.S.F.**  
 TOPOBASE  
**K.E.L.**  
 DATE  
 12/14/2022  
 SCALE  
 1"=20'

**COSTICH ENGINEERING**  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

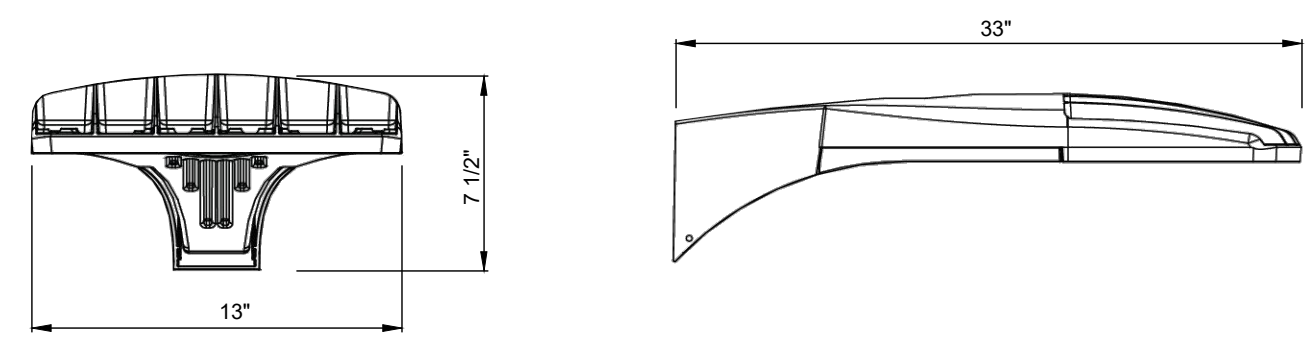
TITLE OF PROJECT  
**STARBUCKS**  
**JAY SCUTTI PLAZA - SOUTH**

TITLE OF DRAWING  
**LANDSCAPE PLAN**

LOCATION OF PROJECT TAX PARCEL NO. 161.120-01-009.1  
 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA  
 COUNTY OF MONROE, STATE OF NEW YORK

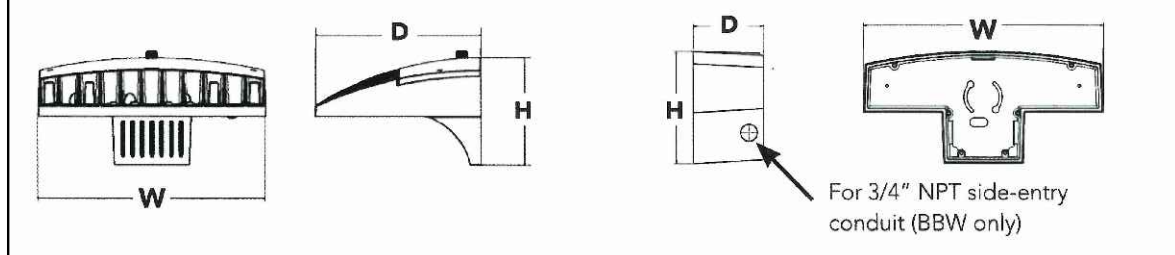
CLIENT  
 SCUTTI ENTERPRISES  
 1000 HYLAN DRIVE  
 ROCHESTER, NEW YORK 14623

DWG # 188.96  
**LA100**  
 SHEET 05 OF 11

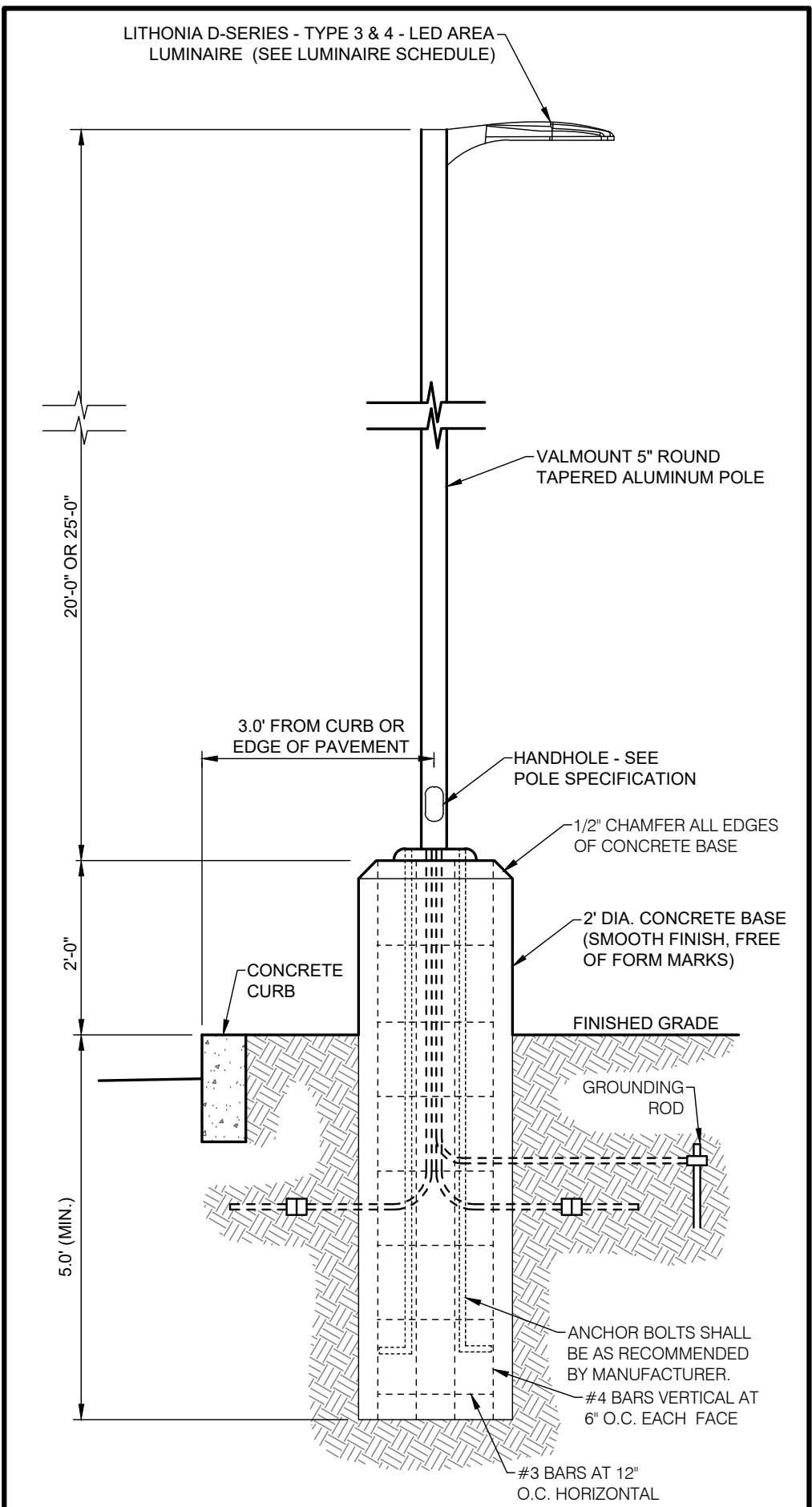


LITHONIA D-SERIES - TYPE 3 & 4 - LED AREA LUMINAIRE (SEE LUMINAIRE SCHEDULE)  
**LITHONIA LIGHT FIXTURE DETAIL**  
 NOT TO SCALE

<b>Width:</b> 13-3/4" (34.9 cm)	<b>Weight:</b> 12 lbs (5.4 kg)	<b>Width:</b> 13-3/4" (34.9 cm)	<b>BBW Weight:</b> 5 lbs (2.3 kg)
<b>Depth:</b> 10" (25.4 cm)	<b>Depth:</b> 4" (10.2 cm)	<b>ELCW Weight:</b> 10 lbs (4.5 kg)	
<b>Height:</b> 6-3/8" (16.2 cm)	<b>Height:</b> 6-3/8" (16.2 cm)		



**LITHONIA WALL FIXTURE DETAIL**  
 NOT TO SCALE

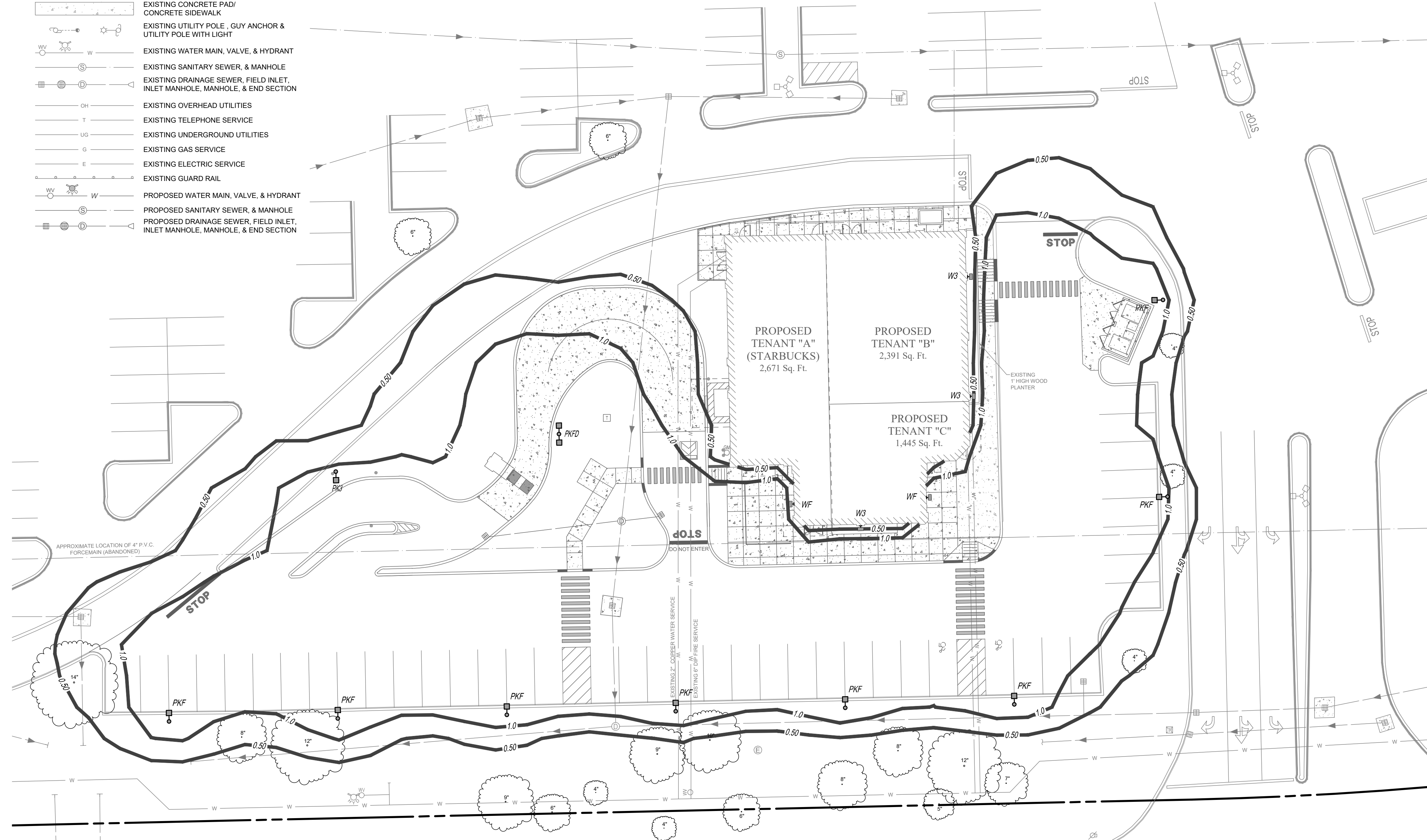


NOTES:  
 -REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS.  
 -ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC AS NECESSARY.

**LITHONIA LIGHT POLE AND FIXTURE DETAIL**  
 NOT TO SCALE

**LINE & SYMBOL LEGEND**

- PARCEL BOUNDARY
- - - EXISTING RIGHT-OF-WAY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- - - EXISTING CENTER LINE
- ==== EXISTING CONCRETE CURB
- ==== EXISTING EDGE OF PAVEMENT
- ==== EXISTING EDGE OF GRAVEL
- ==== EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- W- W EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- S- S EXISTING WATER MAIN, VALVE, & HYDRANT
- S- S EXISTING SANITARY SEWER, & MANHOLE
- D- D EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- OH EXISTING OVERHEAD UTILITIES
- T EXISTING TELEPHONE SERVICE
- UG EXISTING UNDERGROUND UTILITIES
- G EXISTING GAS SERVICE
- E EXISTING ELECTRIC SERVICE
- GR EXISTING GUARD RAIL
- W- W PROPOSED WATER MAIN, VALVE, & HYDRANT
- S- S PROPOSED SANITARY SEWER, & MANHOLE
- D- D PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION

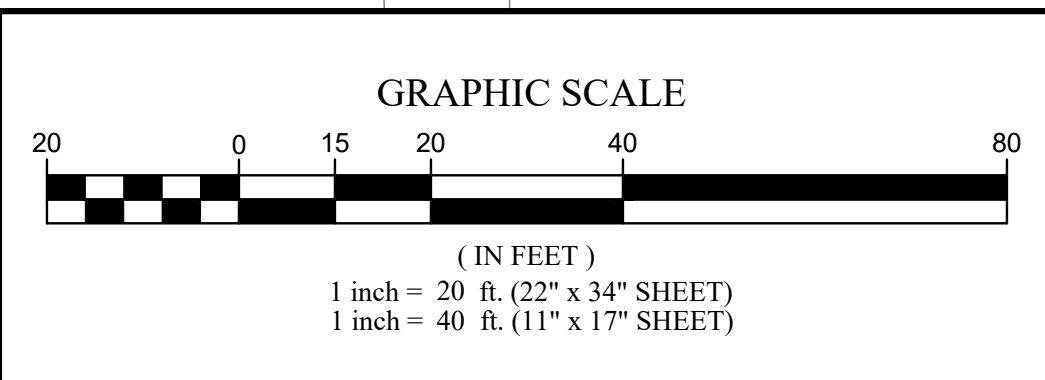


HYLAN DRIVE (100' R.O.W.) COUNTY ROUTE 96

LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	POLE/BASE/MTG. HGT.	LLF QTY
PK3	☐	LITHONIA LIGHTING TYPE 3 LED (1) "D1-3" DSX1 LED 30C 530 30K T3M MVOLT	(1) LED	23114	20 feet / 2 feet / 22 feet	0.85 1
PKF	☐	LITHONIA LIGHTING TYPE 4 LED (1) "D1FS" DSX1 LED 30C 530 30K TFTM MVOLT HS	(1) LED	25266	20 feet / 2 feet / 22 feet	0.85 8
PKFD	☐	LITHONIA LIGHTING TYPE 4 LED DBL (2) "D1FH" DSX1 LED 30C 700 30K TFTM MVOLT	(2) LED	23076	25 feet / 2 feet / 27 feet	0.85 1
W3	★	LITHONIA LIGHTING TYPE 3 LED WALL (1) "D1W3" DSXW1 LED 20C 350 30K T3M MVOLT	(1)	5836	N.A. / N.A. / 14 feet	0.85 3
WF	★	LITHONIA LIGHTING TYPE 2 LED WALL (1) "D1WF" DSXW1 LED 20C 350 30K TFTM MVOLT	(1)	5943	N.A. / N.A. / 14 feet	0.85 2

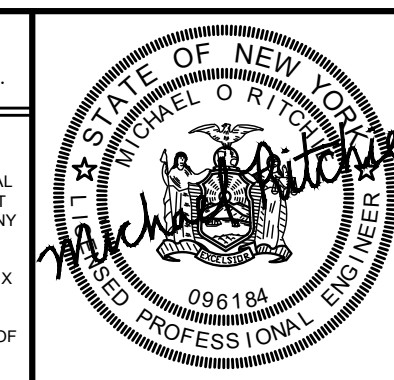


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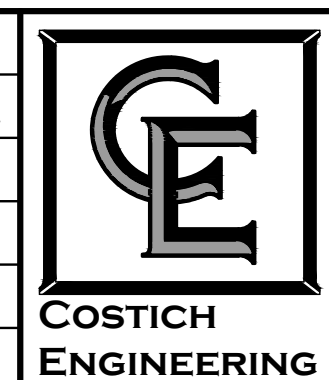


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 DRAWN BY: D.J.L./E.L.O.  
 BOUNDARY: J.S.F.  
 TOPBASE: K.E.L.  
 DATE: 12/14/2022  
 SCALE: 1"=20'

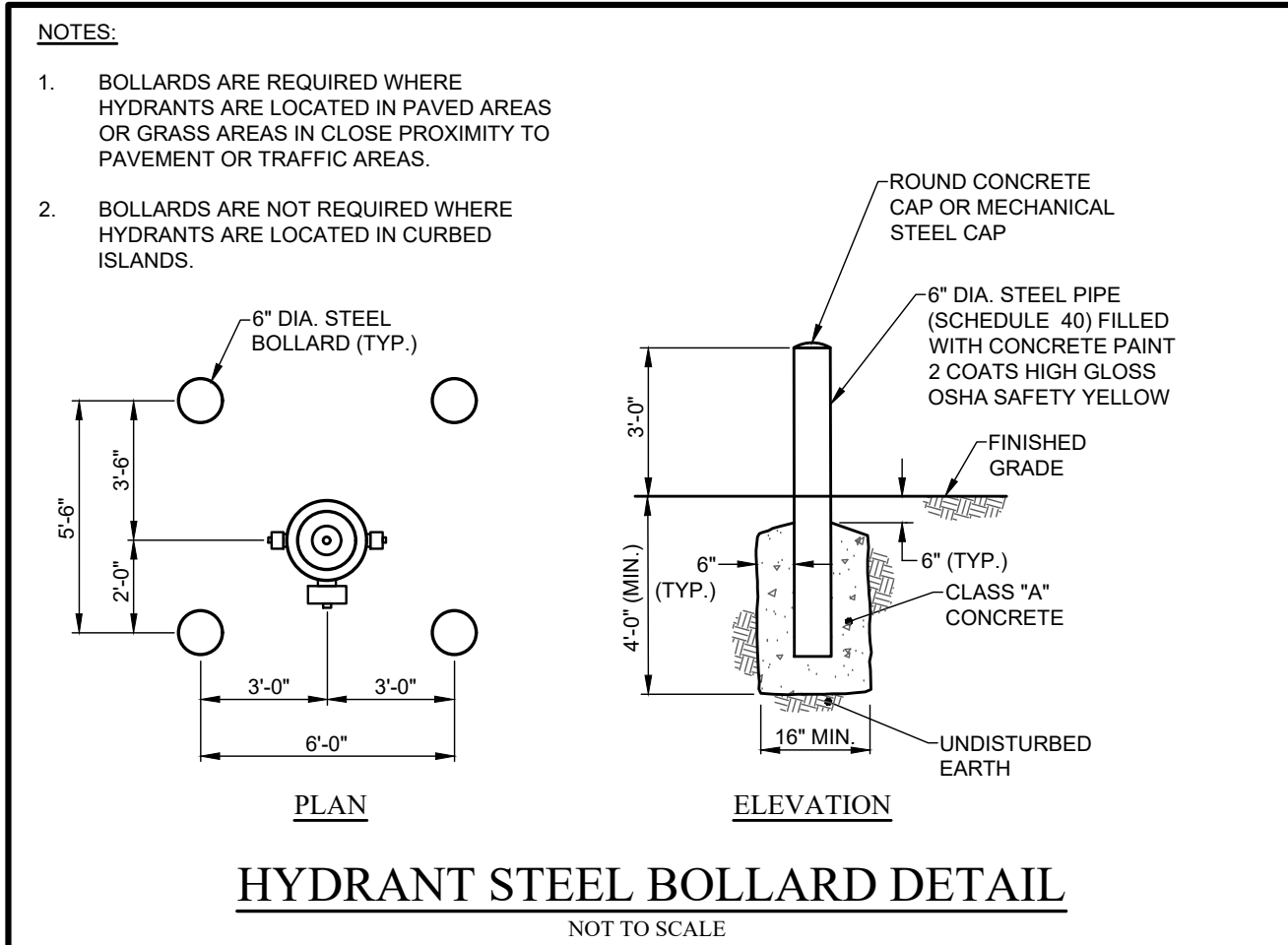
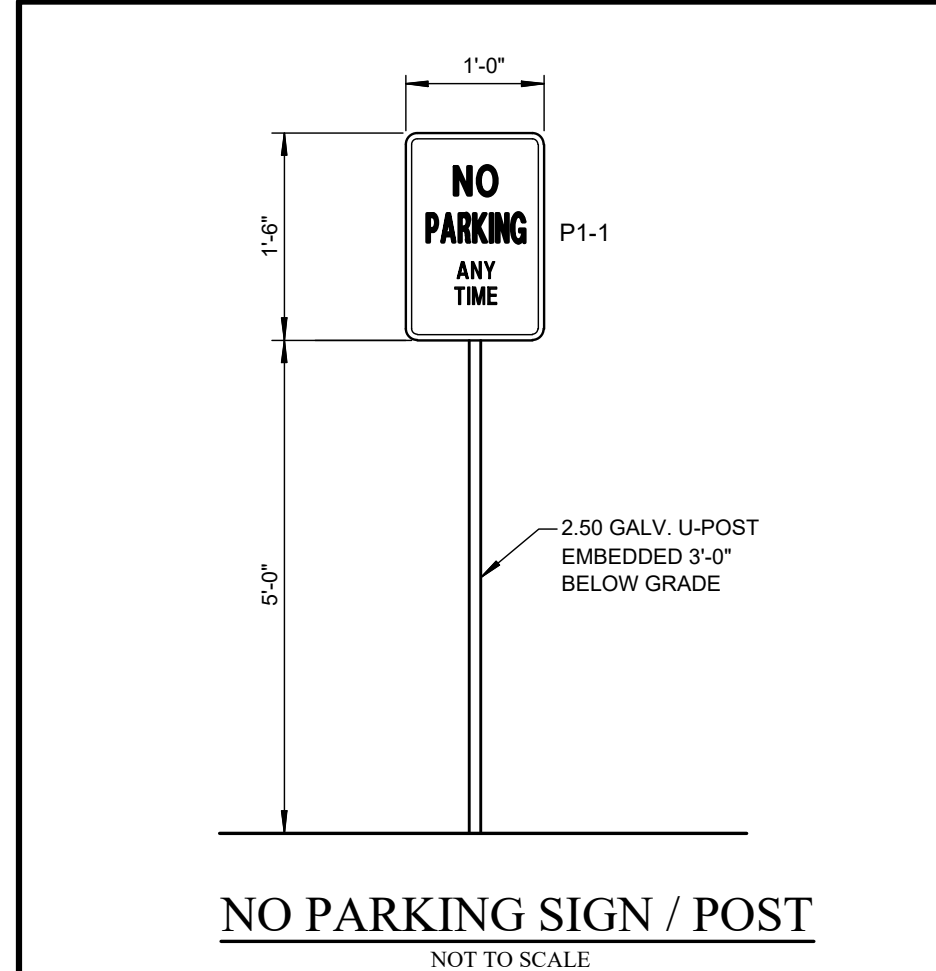
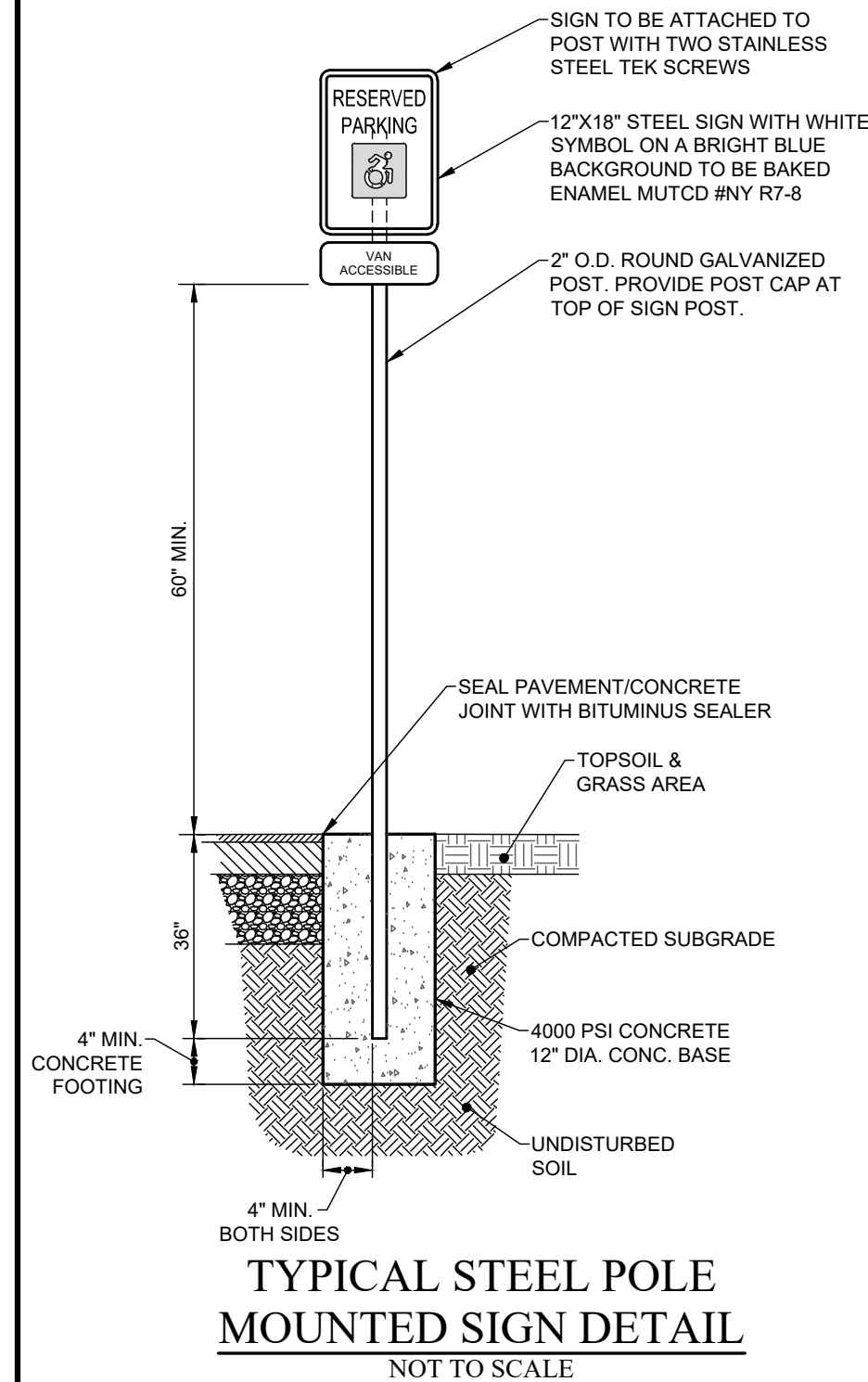


- CIVIL ENGINEERING
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- 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

TITLE OF PROJECT: STARBUCKS JAY SCUTTI PLAZA - SOUTH  
 TITLE OF DRAWING: LIGHTING PLAN  
 LOCATION OF PROJECT: TAX PARCEL NO. 161.120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK  
 CLIENT: SCUTTI ENTERPRISES 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623  
 DWG # 188.96  
**LA110**  
 SHEET 06 OF 11

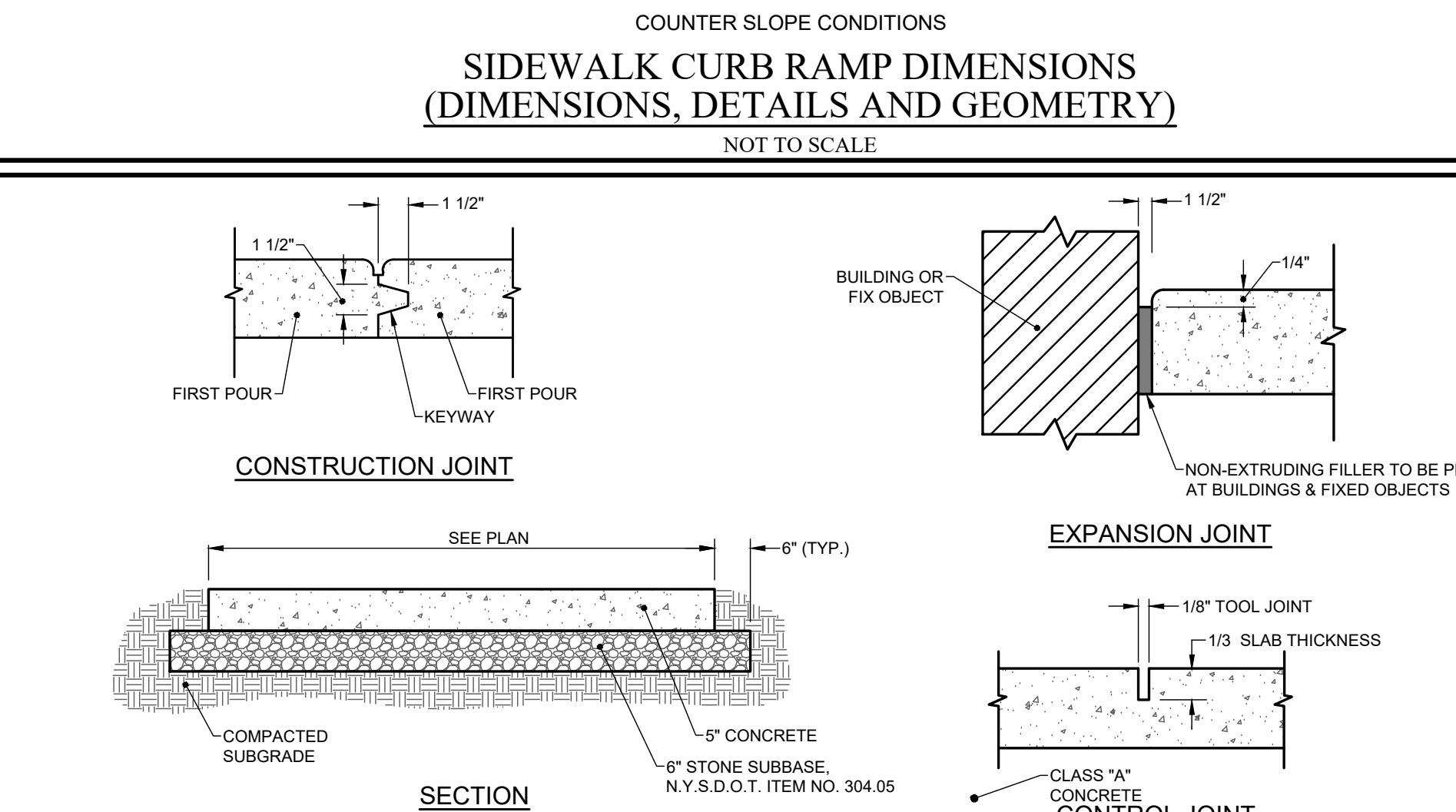
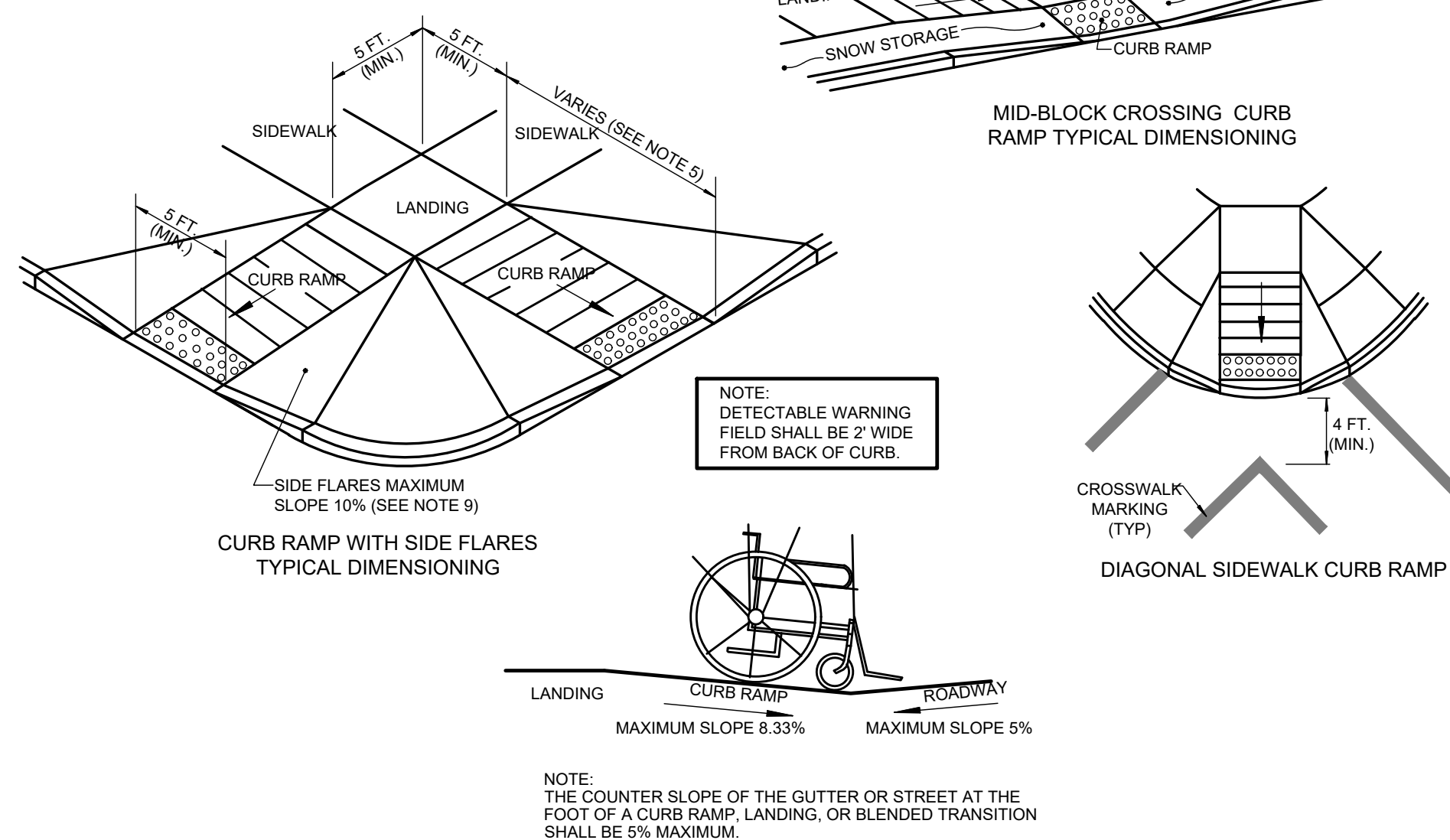


- NOTES:
- ONE "VAN ACCESSIBLE" SIGN PER SIX HANDICAP SPACES PROVIDED ON SITE. MUST MOUNTED BELOW THE "RESERVED PARKING" SIGN.
  - ADA GUIDELINES STATE THAT THE BOTTOM OF THE "VAN ACCESSIBLE" SIGN MUST MOUNTED A MINIMUM OF 60" ABOVE GRADE. SOME MUNICIPALITIES LIMIT THE MAXIMUM HEIGHTS AND MAY ALSO REQUIRE ADDITIONAL SIGNAGE. REFER TO LOCAL CODE.
  - ALL RESERVED PARKING SIGNS ON SITE SHALL BE MOUNTED AT THE SAME HEIGHT, REGARDLESS IF A "VAN ACCESSIBLE" SIGN IS PRESENT.

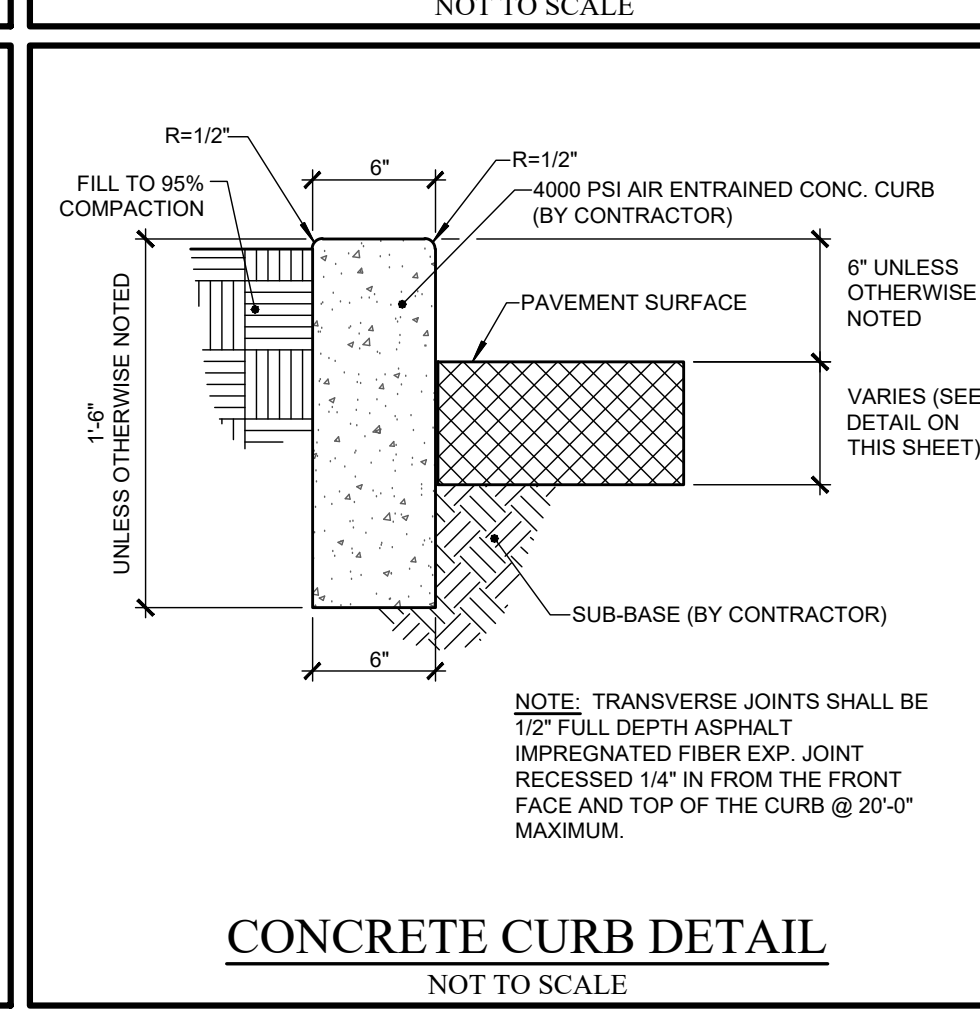
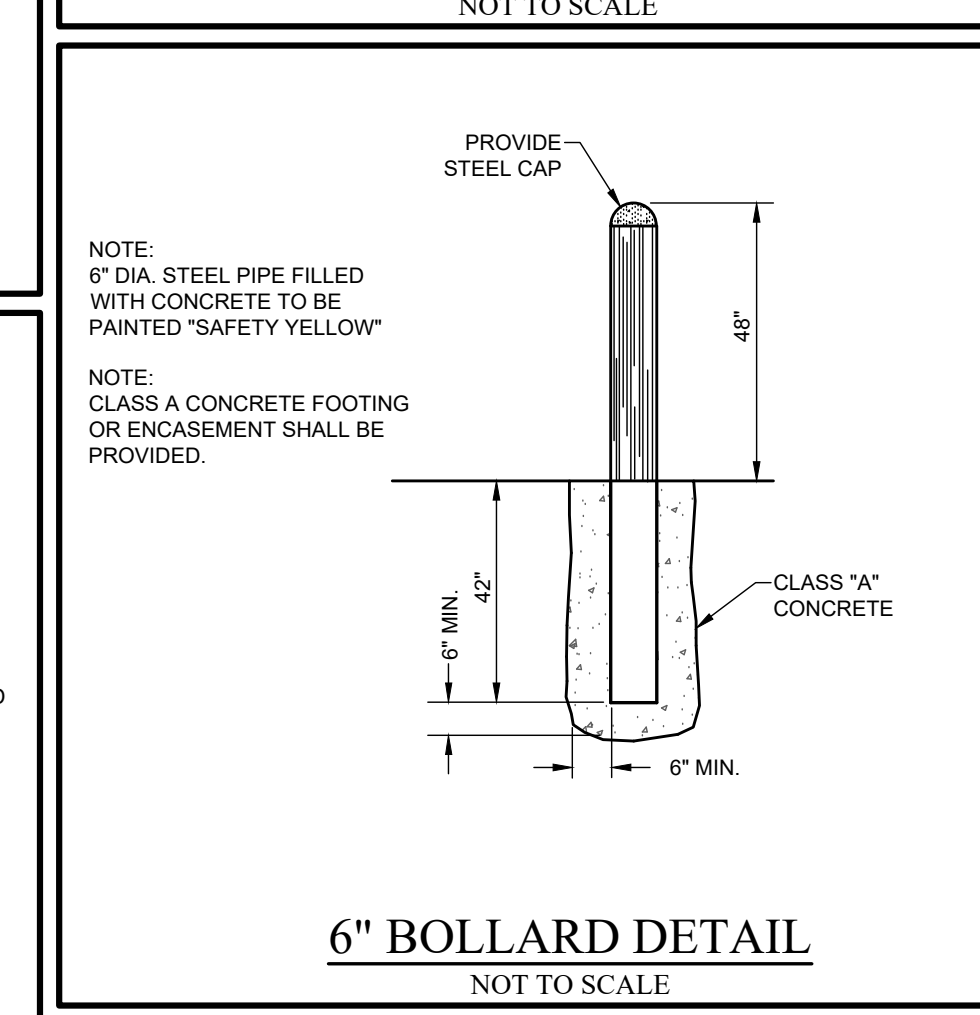
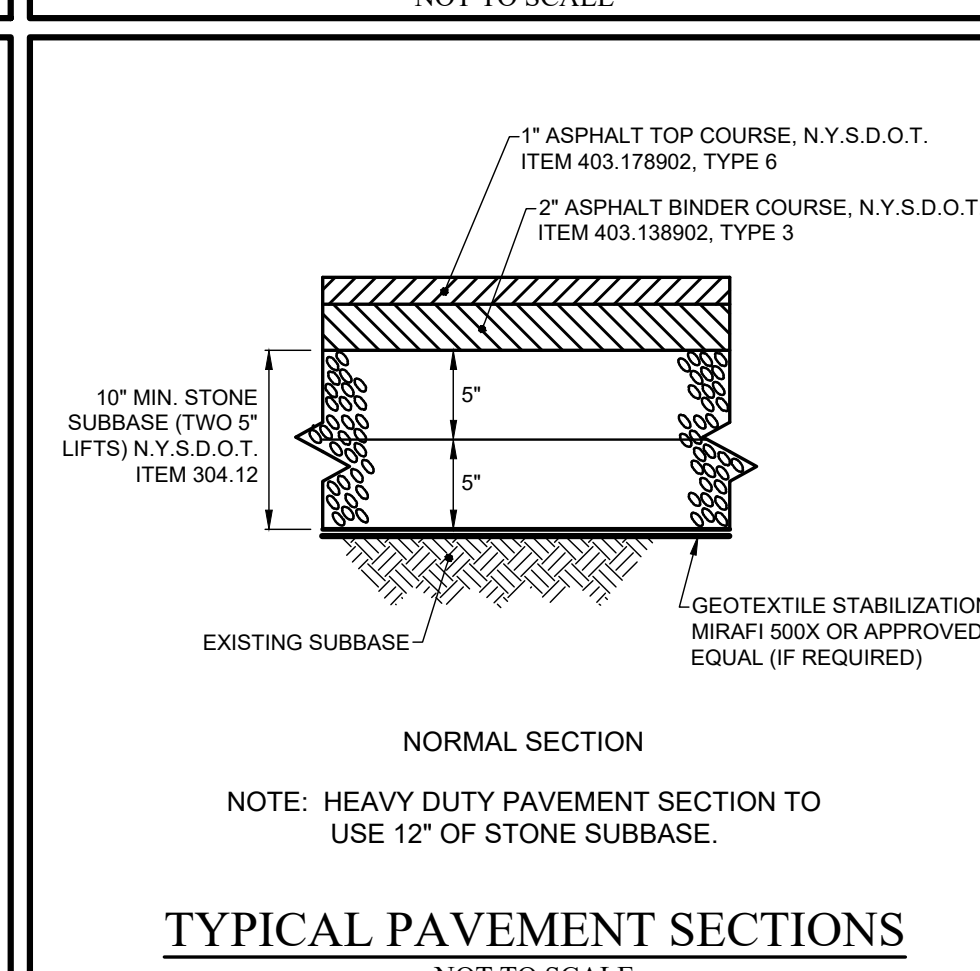
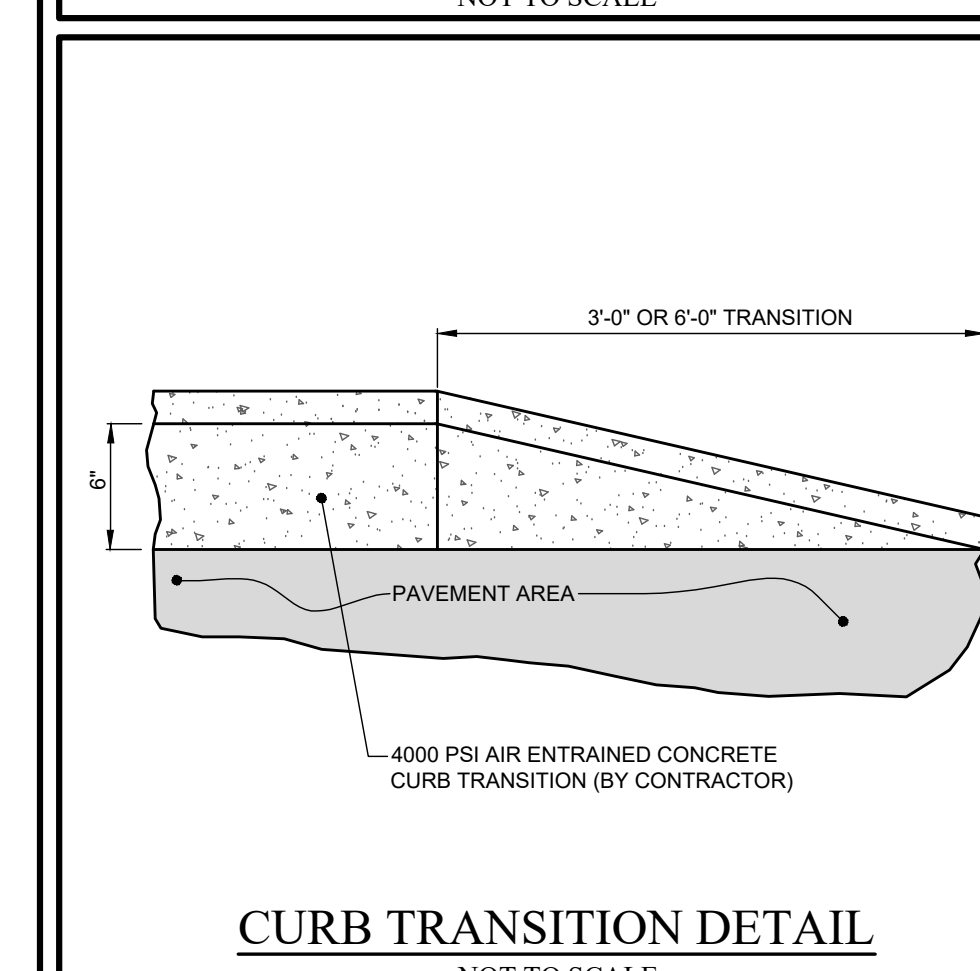
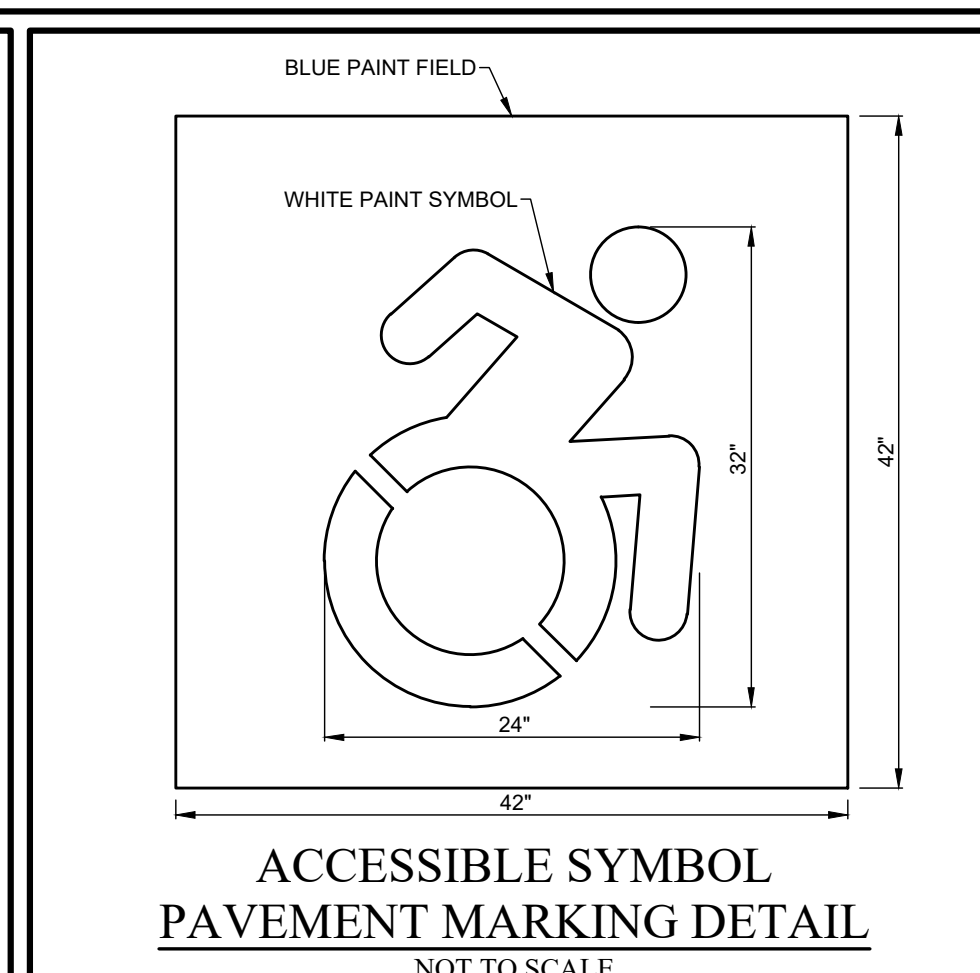
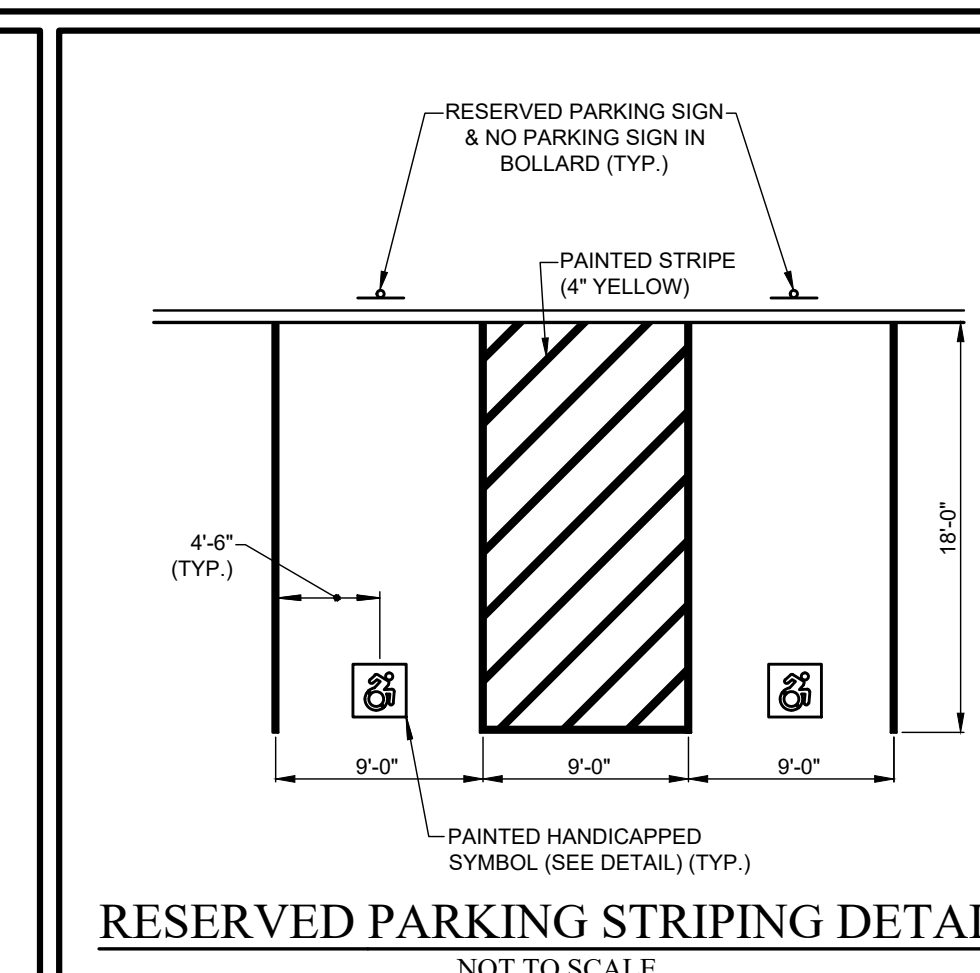
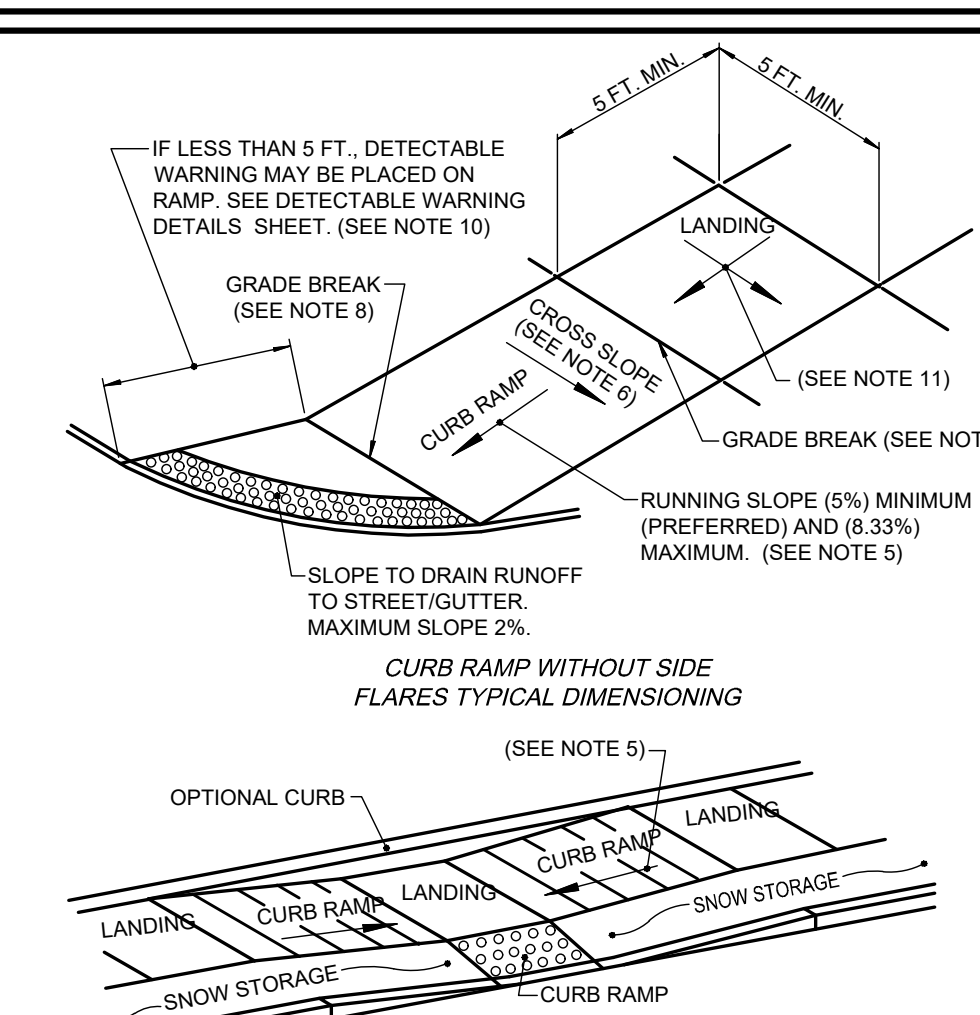


**CURB RAMP DIMENSION NOTES:**

- GENERAL**
- THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAS.
  - CURB RAMP, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. SEE THE DETECTABLE WARNING STANDARD SHEET M808-13 FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. SEE CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- CURB RAMP**
- THE MINIMUM WIDTH FOR SIDEWALK CURB RAMP IS 5 FT.
  - THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
  - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK, EXCEPT THAT IT NEED NOT BE MORE THAN 4.5 m IN LENGTH.
  - THE CROSS SLOPE OF CURB RAMP SHOULD BE AS FLAT AS POSSIBLE. NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
  - THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
  - RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAX).
  - WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.
- LANDINGS**
- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5 FT. BY 5 FT. EXCEPT AT THE BOTTOM OF RAMPS TYPE 1 & 2 ON SHEET M808-11.
  - THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.



NO.	DATE	REVISION	BY	CHKD.	APPLS.

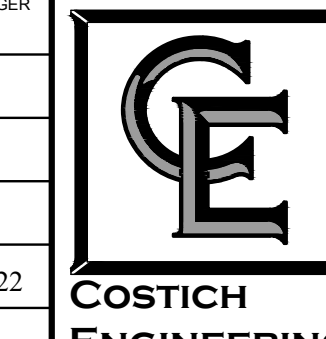


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PROJECT MANAGER: E.R.G.  
DRAWN BY: D.J.L.  
BOUNDARY: --  
TOPBASE: --  
DATE: 12/14/2022  
SCALE: N.T.S.



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

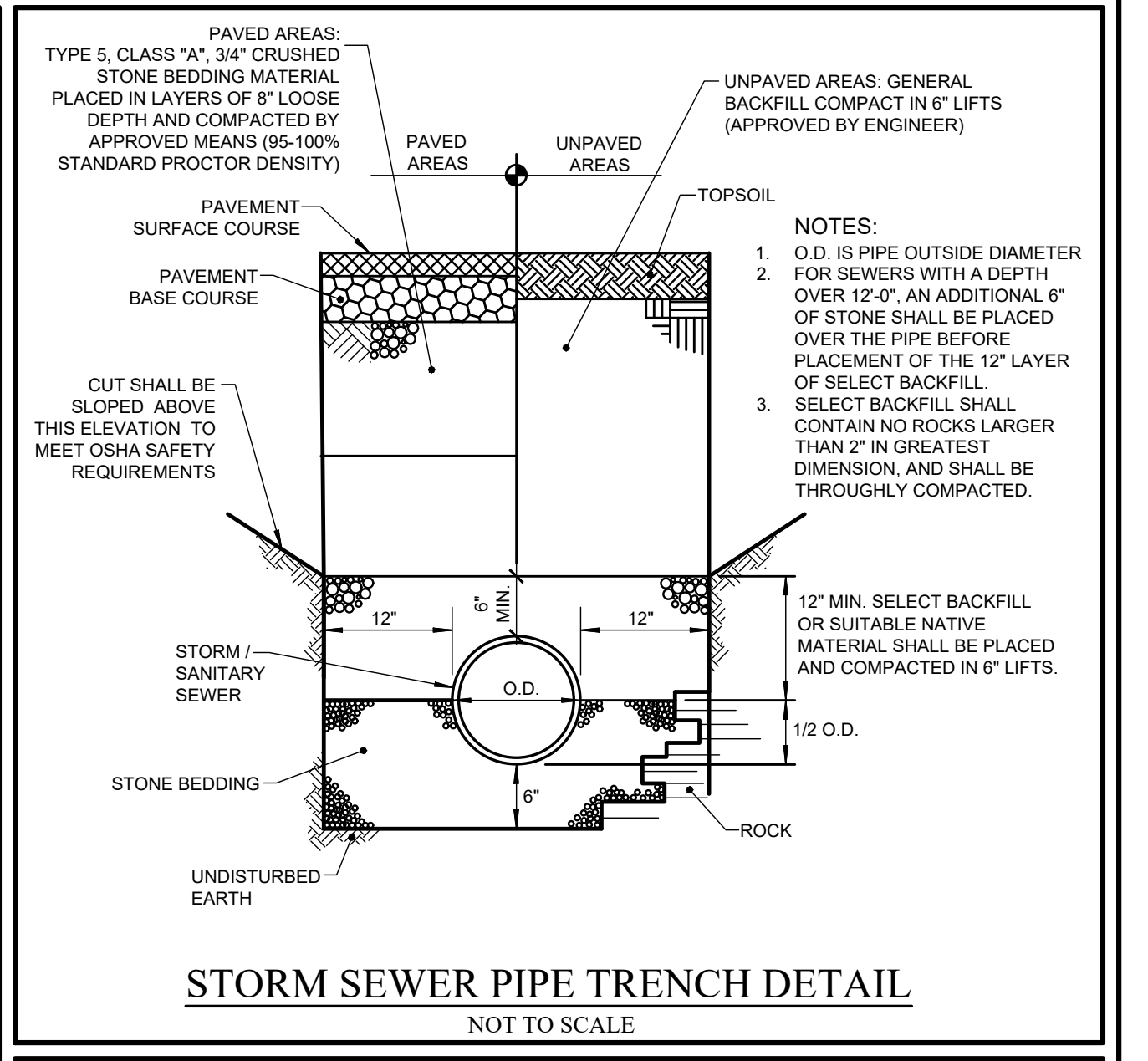
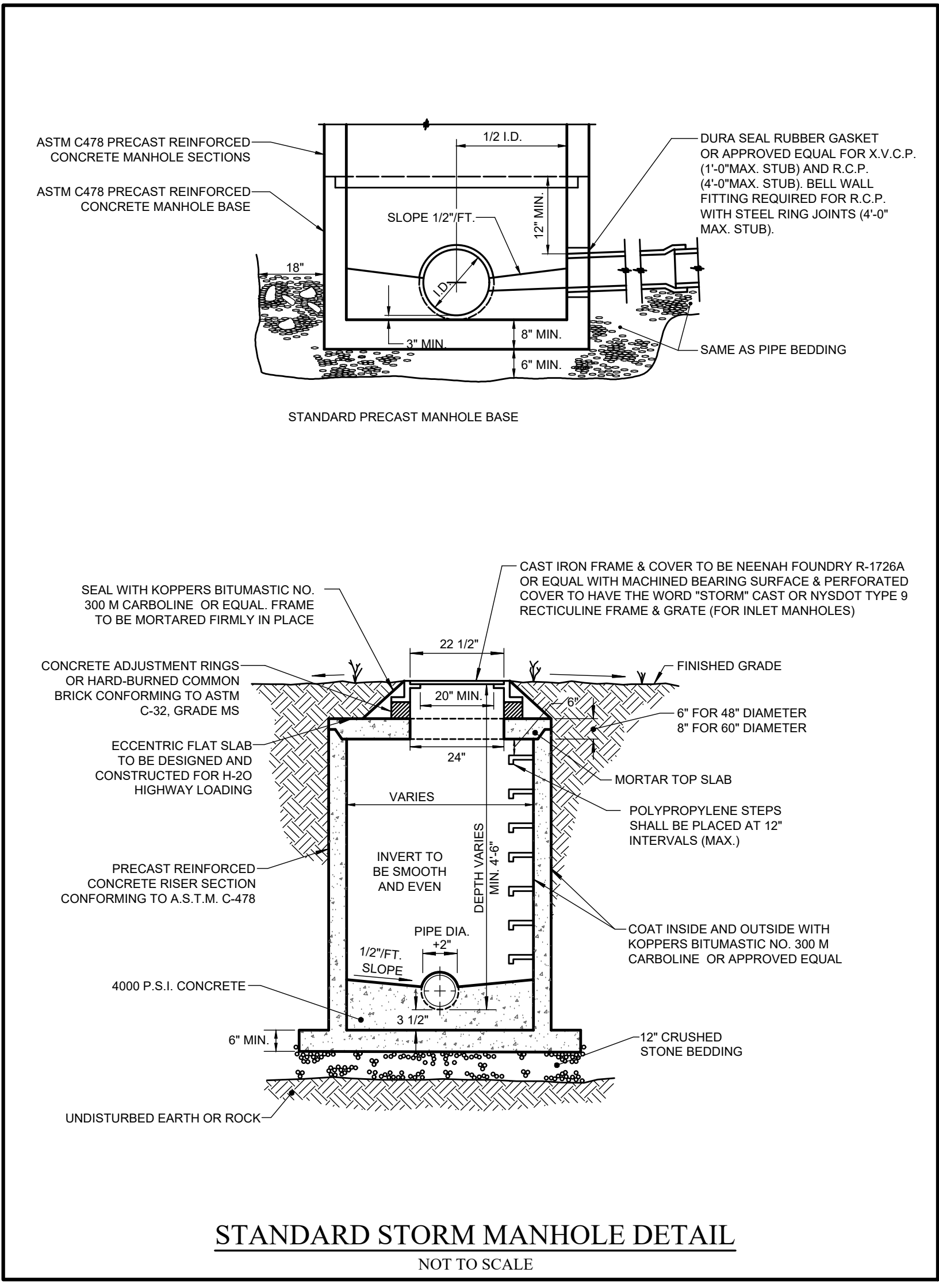
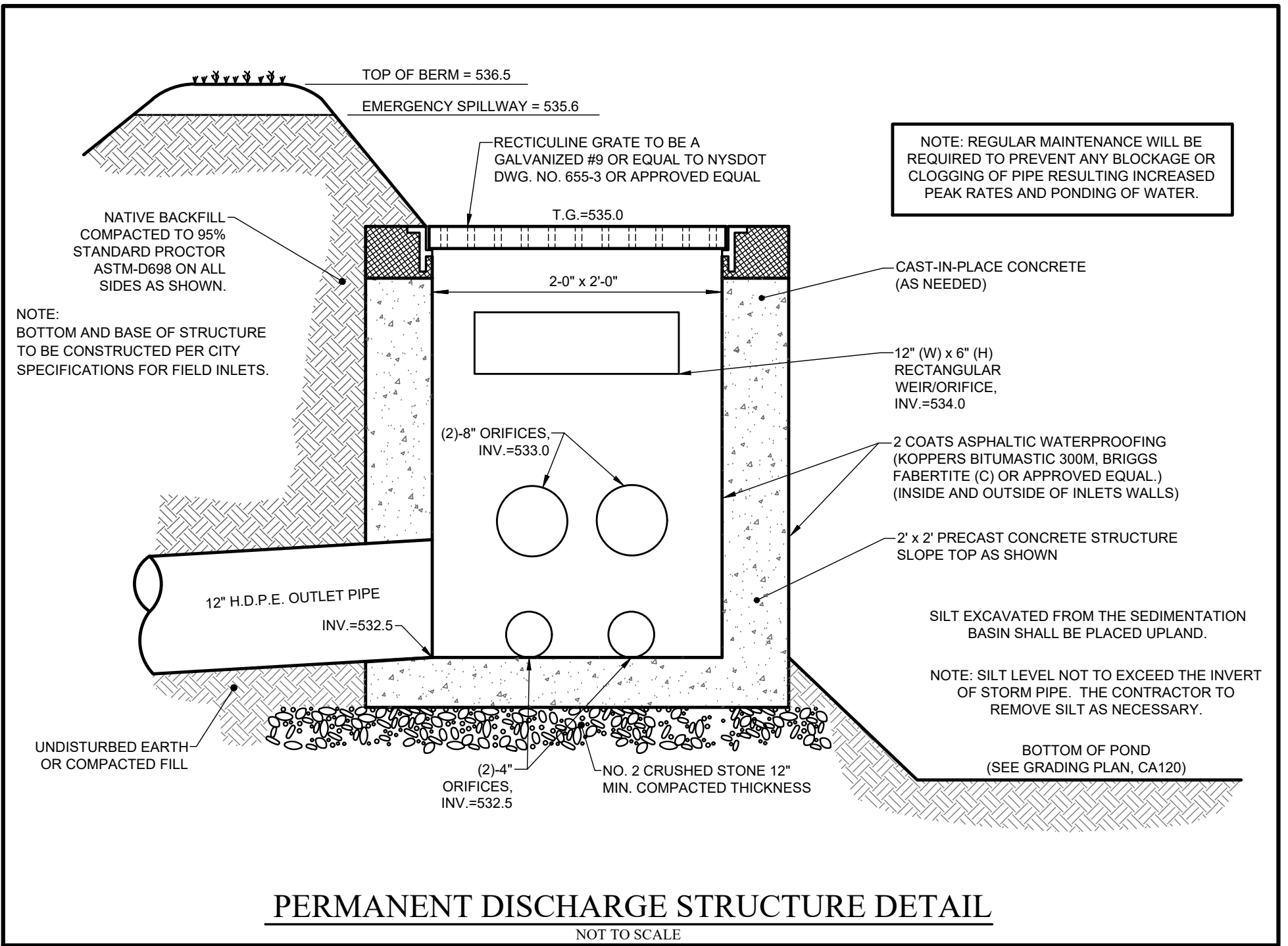
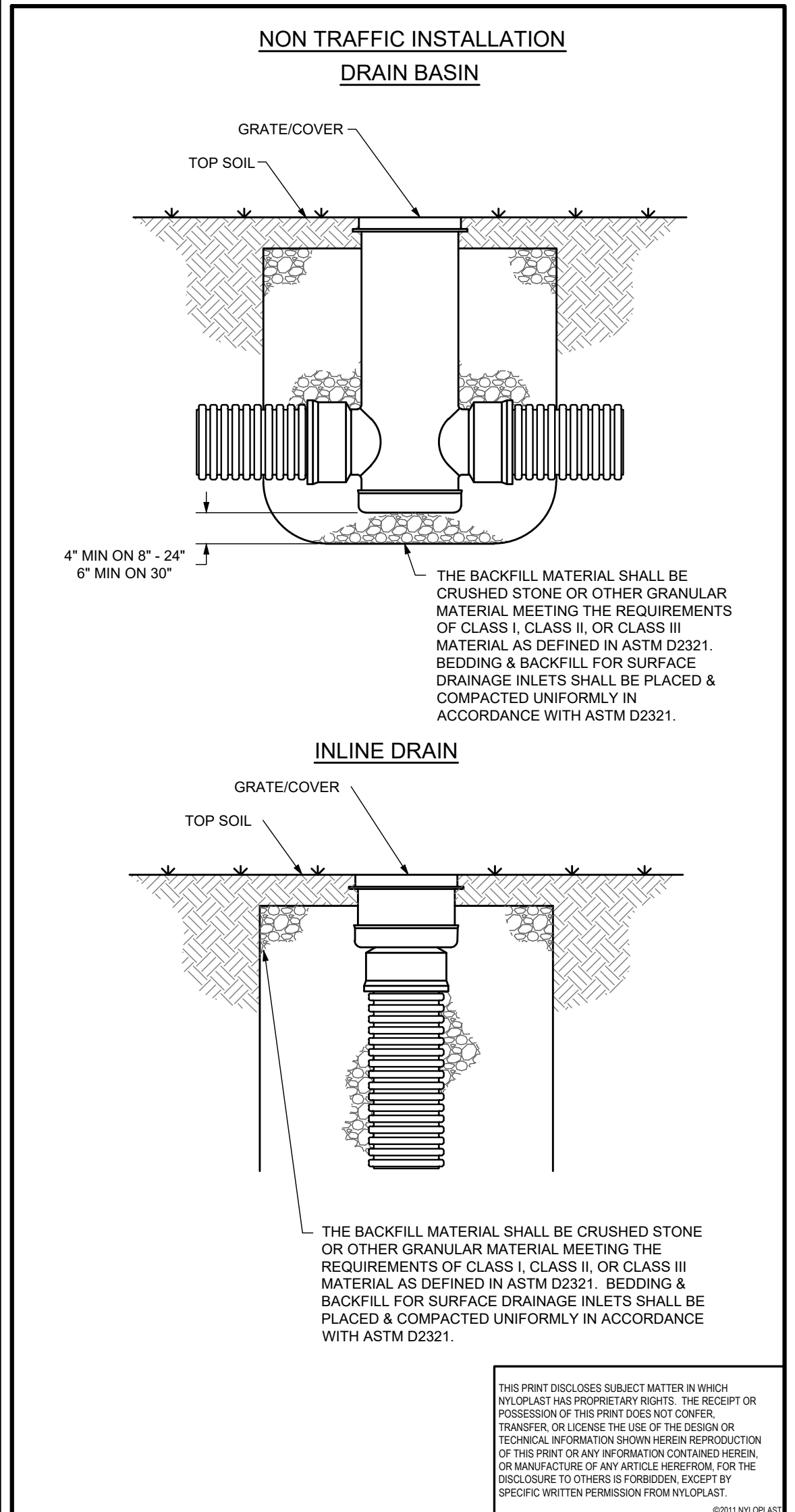
TITLE OF PROJECT: STARBUCKS JAY SCUTTI PLAZA - SOUTH

TITLE OF DRAWING: DETAIL SHEET

LOCATION OF PROJECT: TAX PARCEL NO. 161.120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK

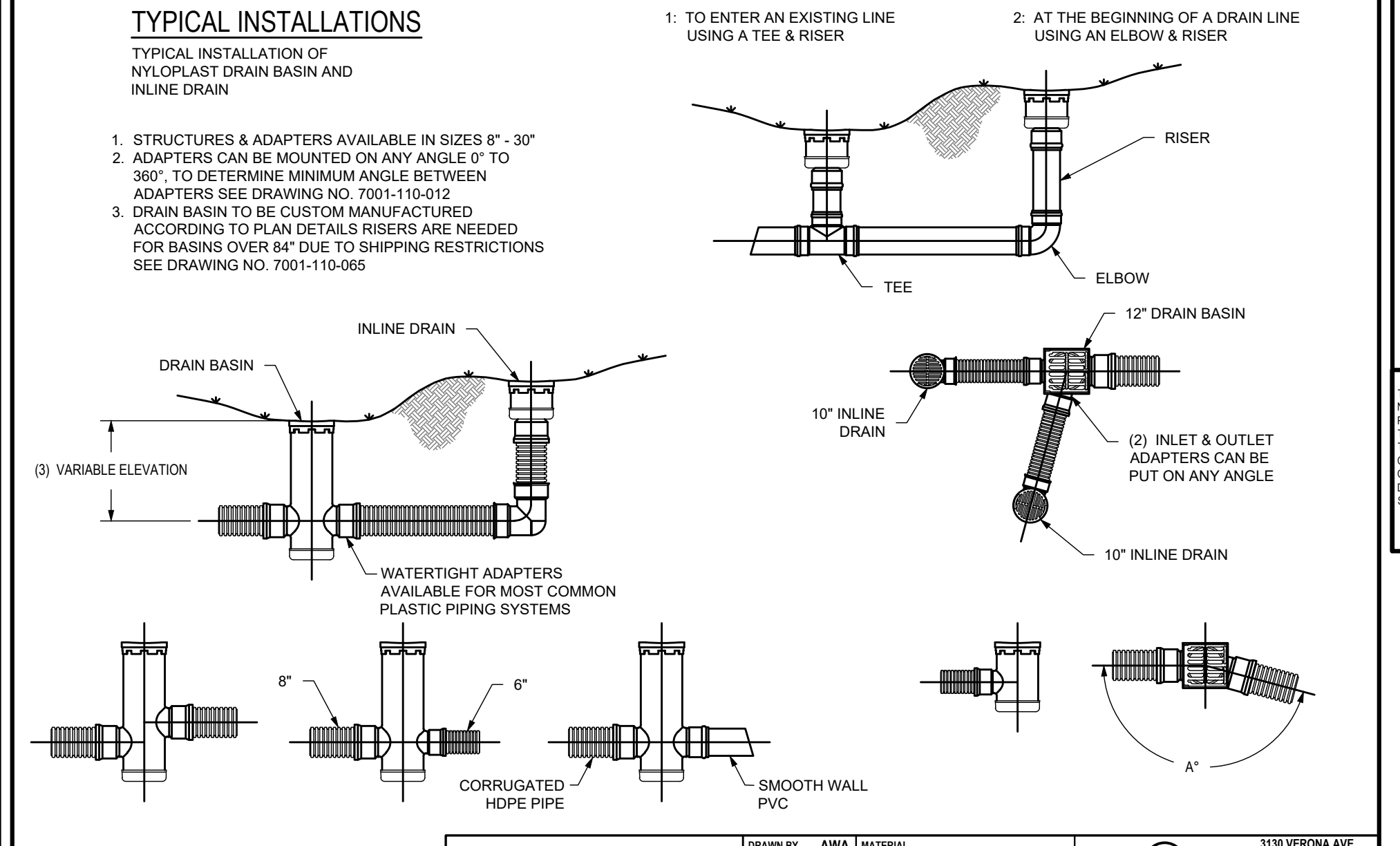
CLIENT: SCUTTI ENTERPRISES 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623

DWG. # 188.96  
CA500 SHEET 07 OF 11



DRAWN BY	CJA	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
DATE	9-30-09	PROJECT NO. NAME	
REVISED BY	NMH	TITLE	DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION
DATE	03-11-16	DWG NO.	7001-110-111
DWG SIZE	A	SCALE	1:25
SHEET	1 OF 1	REV	E

DATE	9-30-09	PROJECT NO. NAME	
REVISED BY	NMH	TITLE	DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION
DATE	03-11-16	DWG NO.	7001-110-111
DWG SIZE	A	SCALE	1:25
SHEET	1 OF 1	REV	E



### Section 2721

#### Engineered Surface Drainage Products

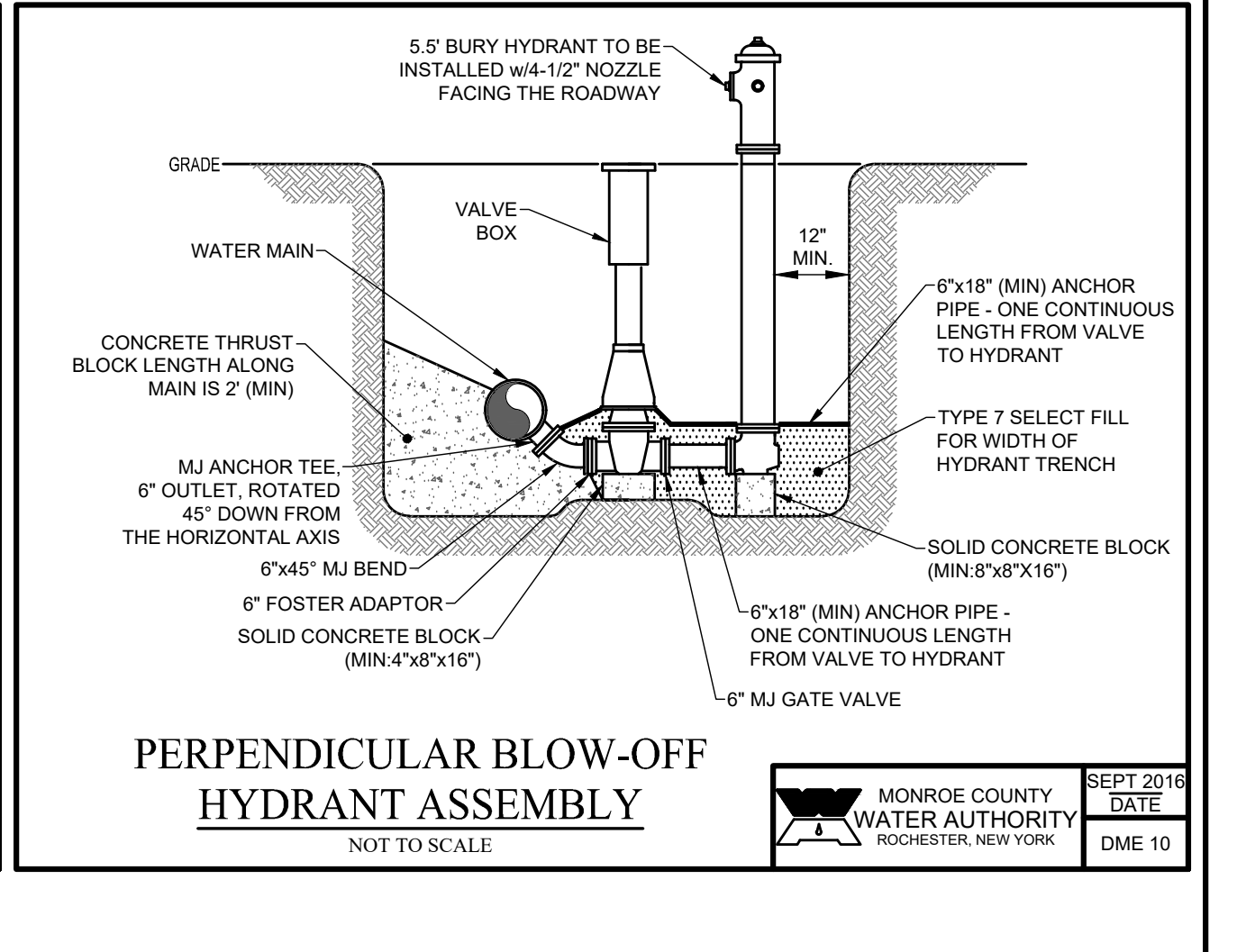
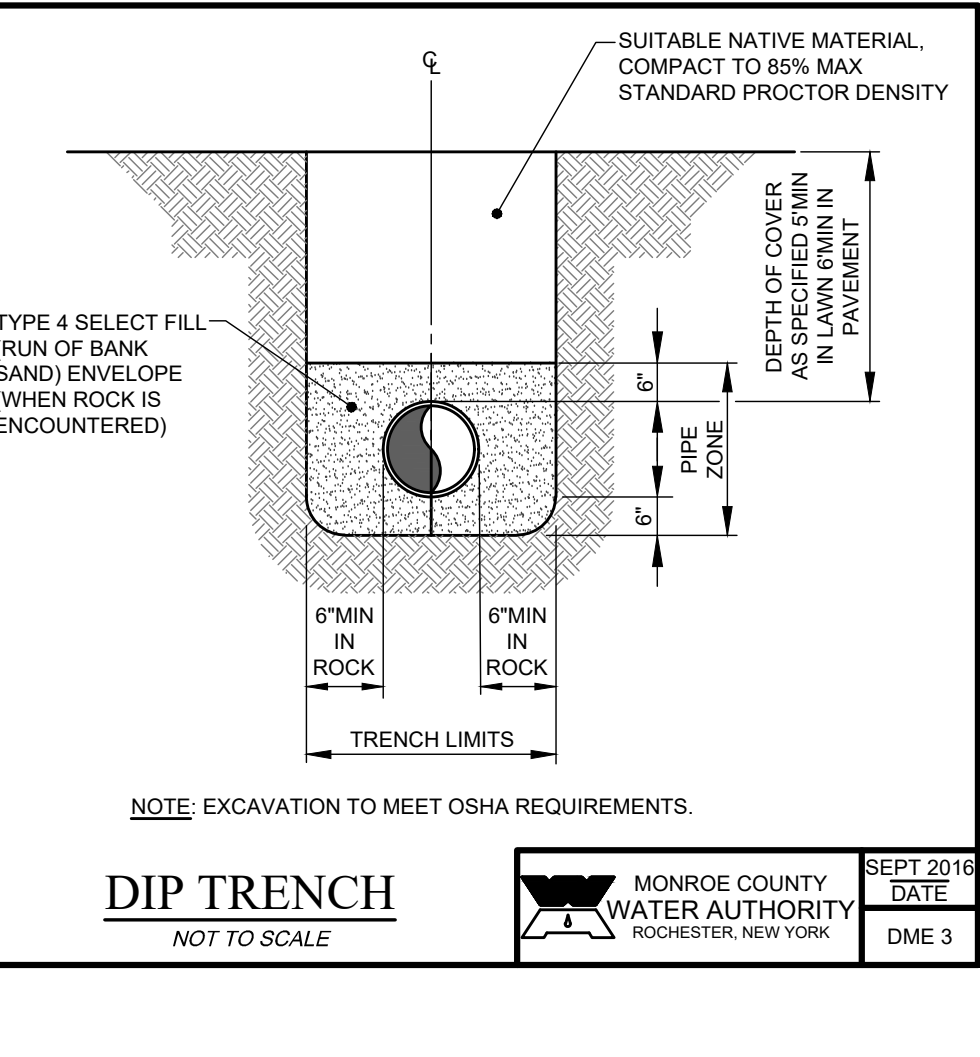
**GENERAL**  
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

**MATERIALS**  
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D2321 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for sizes 8", 10", 12", 15", 18", 24" and 30" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A538 grade 70-50-05. Grates and covers shall be provided painted black.

**INSTALLATION**  
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe bedding materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

DATE	3-10-00	PROJECT NO. NAME	
REVISED BY	NMH	TITLE	8 IN - 30 IN DRAIN BASIN SPECIFICATIONS
DATE	03-15-16	DWG NO.	7001-110-009
DWG SIZE	A	SCALE	N.T.S.
SHEET	1 OF 1	REV	H



DATE	8-10-00	PROJECT NO. NAME	
REVISED BY	EBG	TITLE	8 IN - 30 IN TYPICAL INSTALLATION OPTIONS
DATE	1-6-10	DWG NO.	7001-110-042
DWG SIZE	A	SCALE	N.T.S.
SHEET	1 OF 1	REV	D

DATE	3-10-00	PROJECT NO. NAME	
REVISED BY	NMH	TITLE	8 IN - 30 IN DRAIN BASIN SPECIFICATIONS
DATE	03-15-16	DWG NO.	7001-110-009
DWG SIZE	A	SCALE	N.T.S.
SHEET	1 OF 1	REV	H

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PROJECT MANAGER: E.R.G.  
DRAWN BY: D.J.L.  
BOUNDARY: --  
TOPBASE: --  
DATE: 12/14/2022  
SCALE: N.T.S.

MONROE COUNTY WATER AUTHORITY  
ROCHESTER, NEW YORK

SEPT 2016 DATE  
DME 3

STARBUCKS  
JAY SCUTTI PLAZA - SOUTH  
DETAIL SHEET

LOCATION OF PROJECT: TAX PARCEL NO. 161-120-01-009-1  
TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK

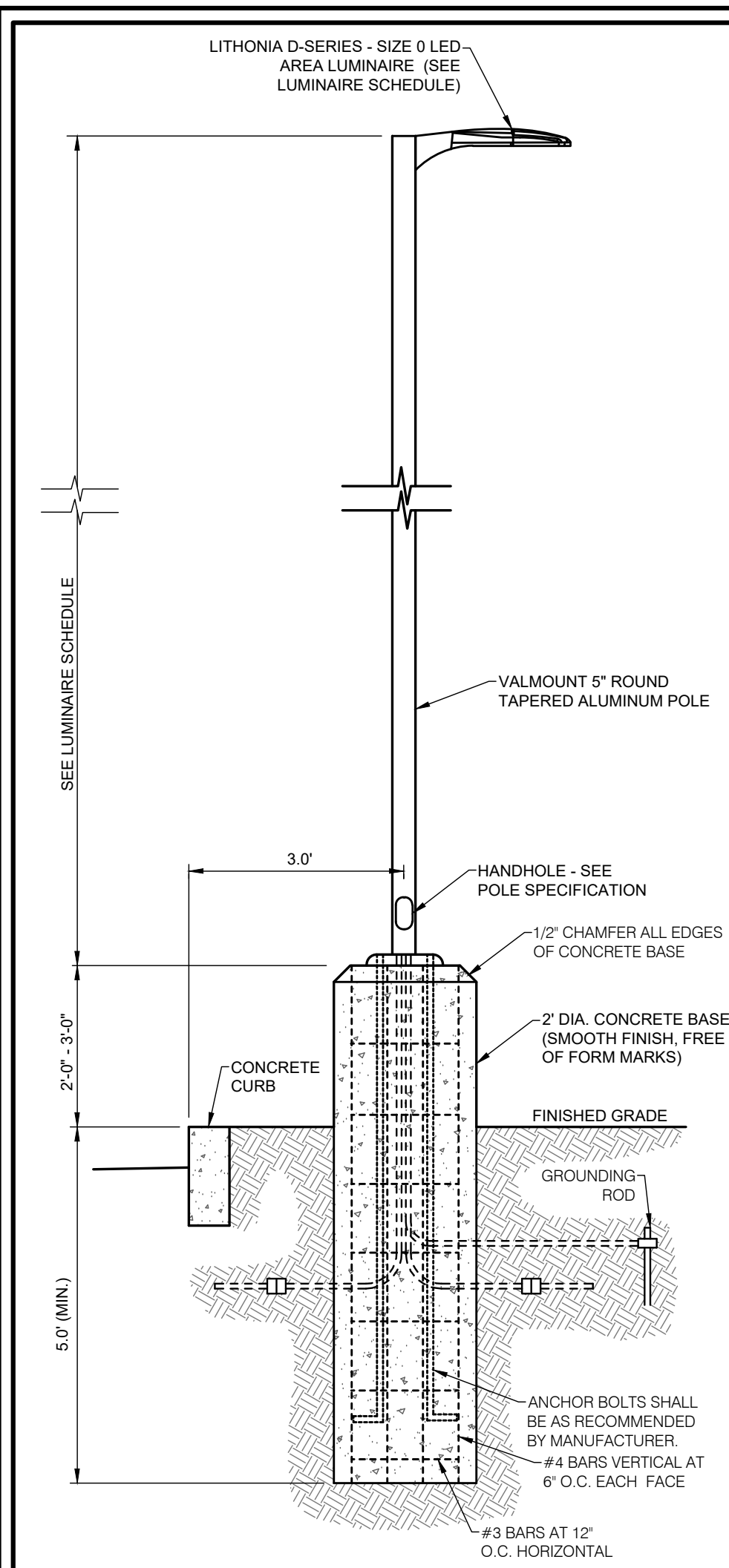
CLIENT: SCOTTI ENTERPRISES  
1000 HYLAN DRIVE  
ROCHESTER, NEW YORK 14623

DWG # 188-96  
CA501  
SHEET 08 OF 11

MONROE COUNTY WATER AUTHORITY  
ROCHESTER, NEW YORK  
DATE: SEPT 2016  
DME 5

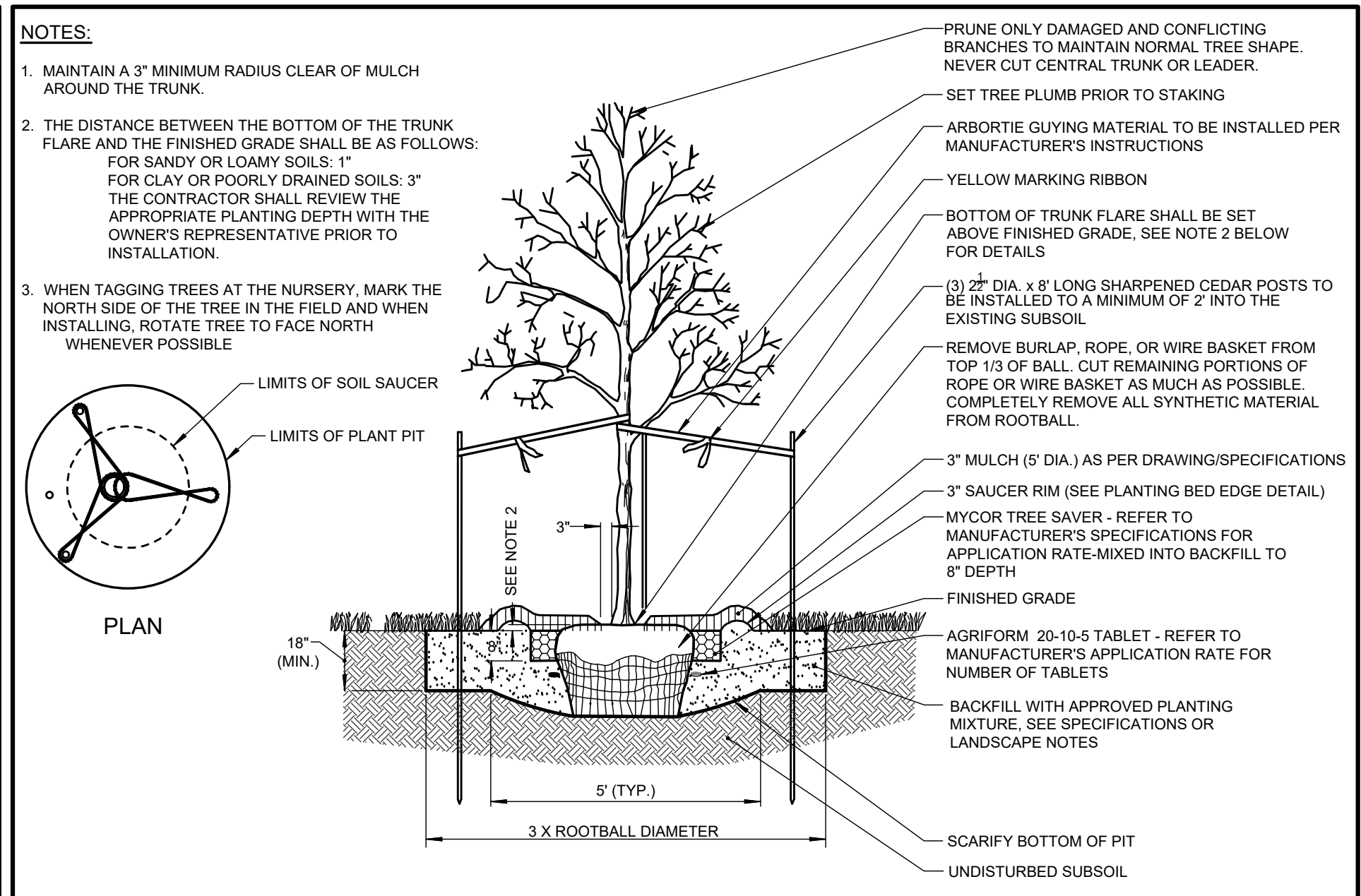
MONROE COUNTY WATER AUTHORITY  
ROCHESTER, NEW YORK  
DATE: SEPT 2016  
DME 10

COSTICH ENGINEERING  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

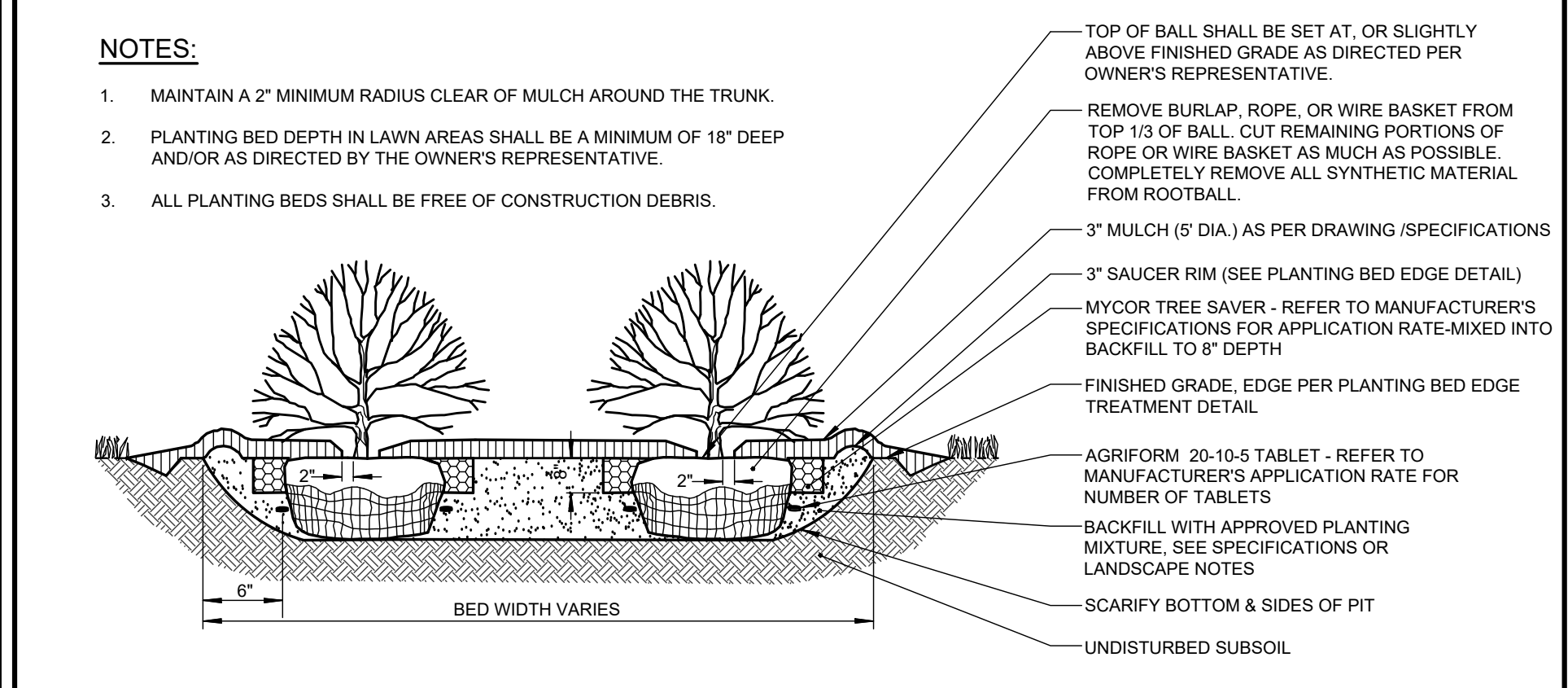


NOTES:  
 -REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS.  
 -ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC AS NECESSARY.

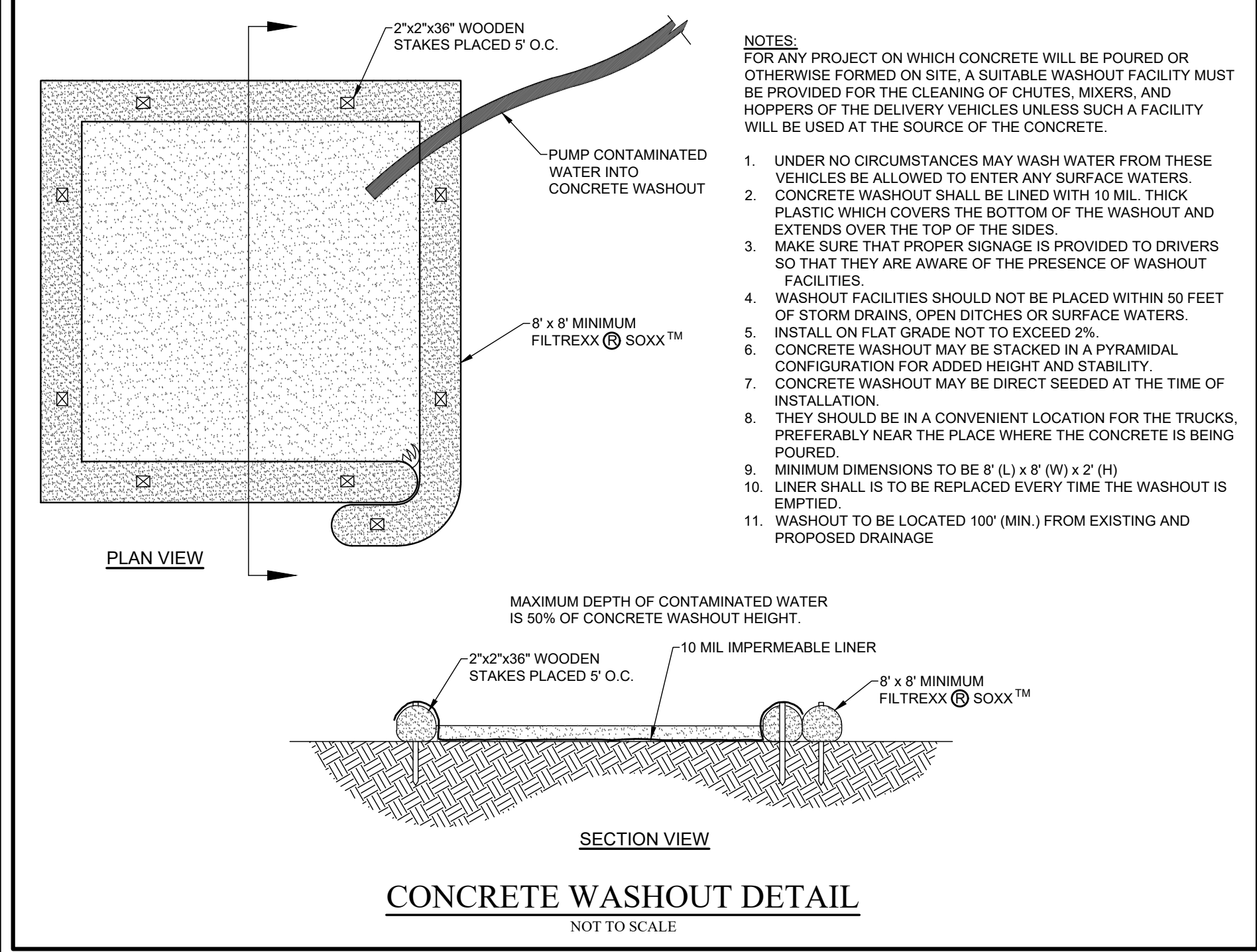
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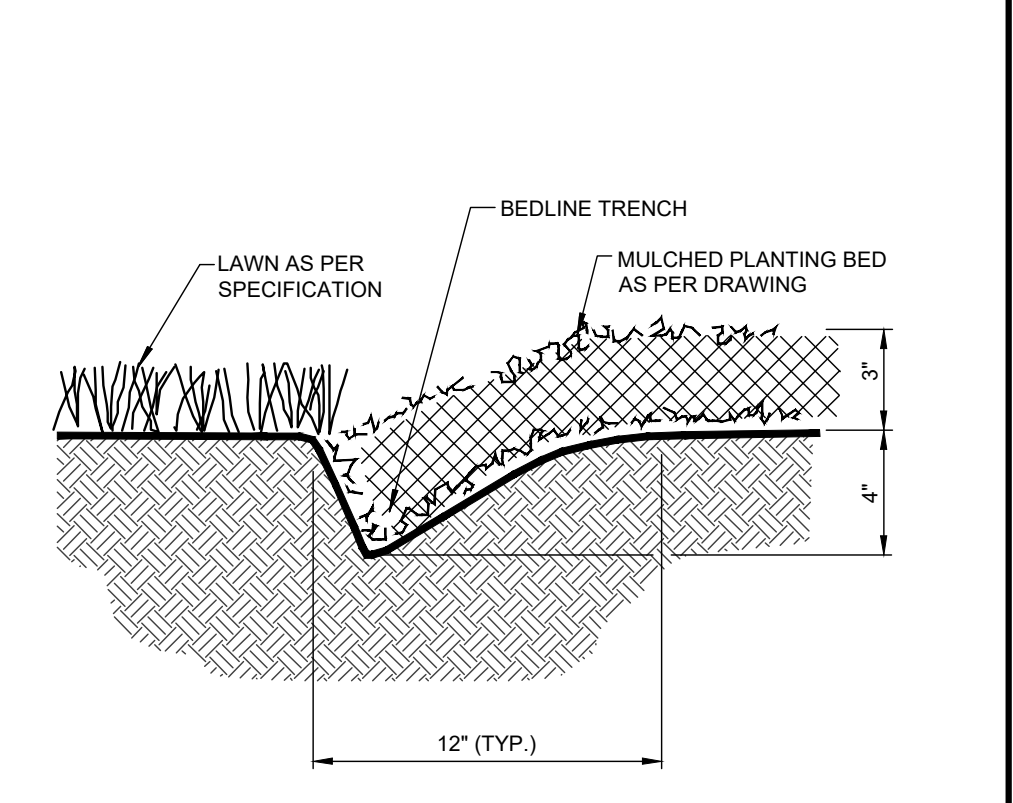
**DECIDUOUS TREE PLANTING LESS THAN 4\"/>
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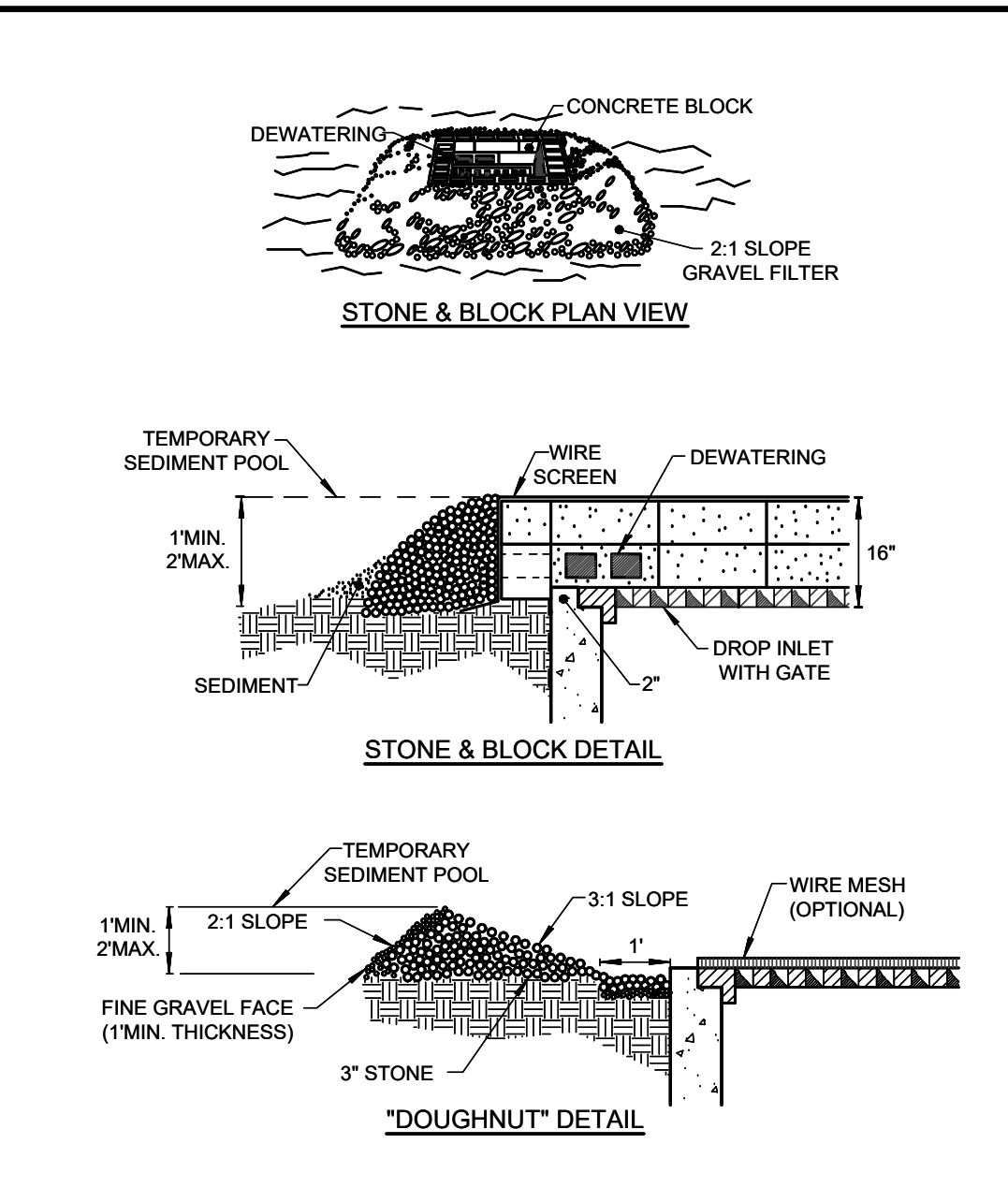
**SHRUB PLANTING DETAIL**  
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**CONCRETE WASHOUT DETAIL**  
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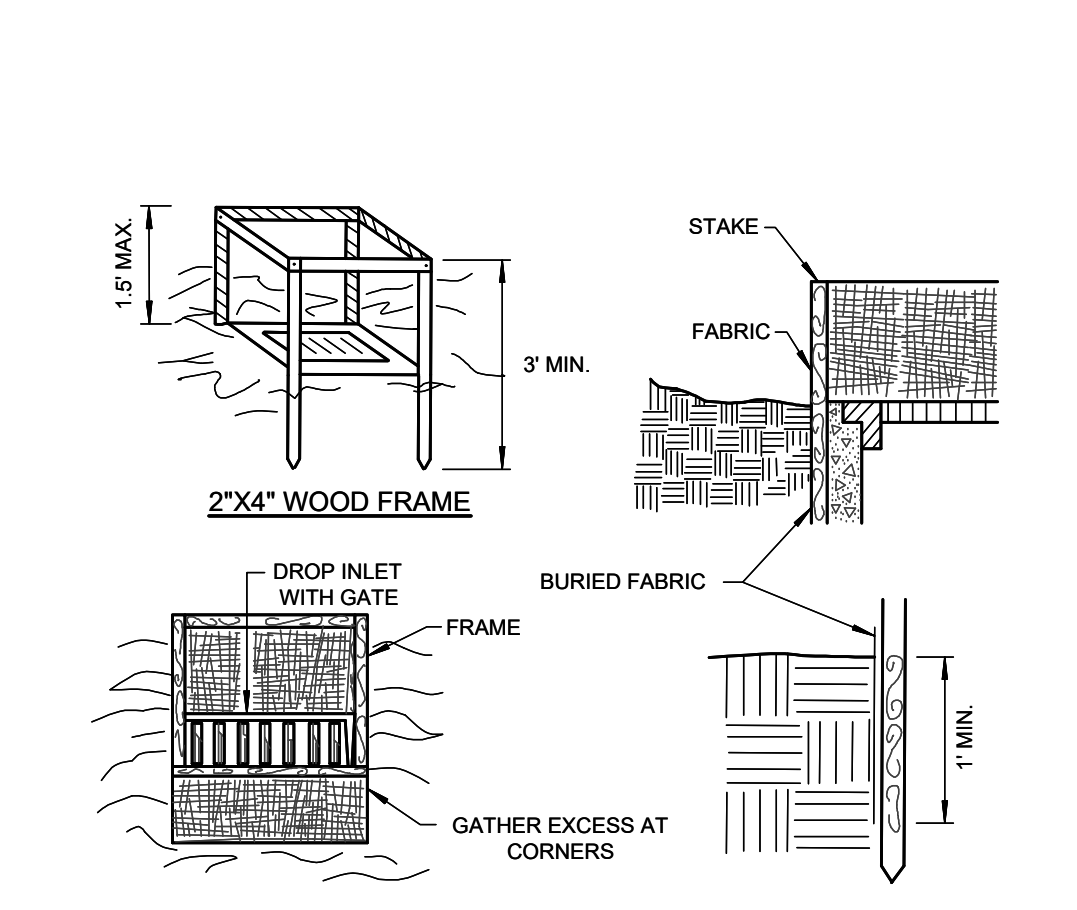
**PLANTING BED EDGE TREATMENT DETAIL**  
 NOT TO SCALE



**STONE AND BLOCK DROP INLET PROTECTION DETAIL**  
 NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2\"/>

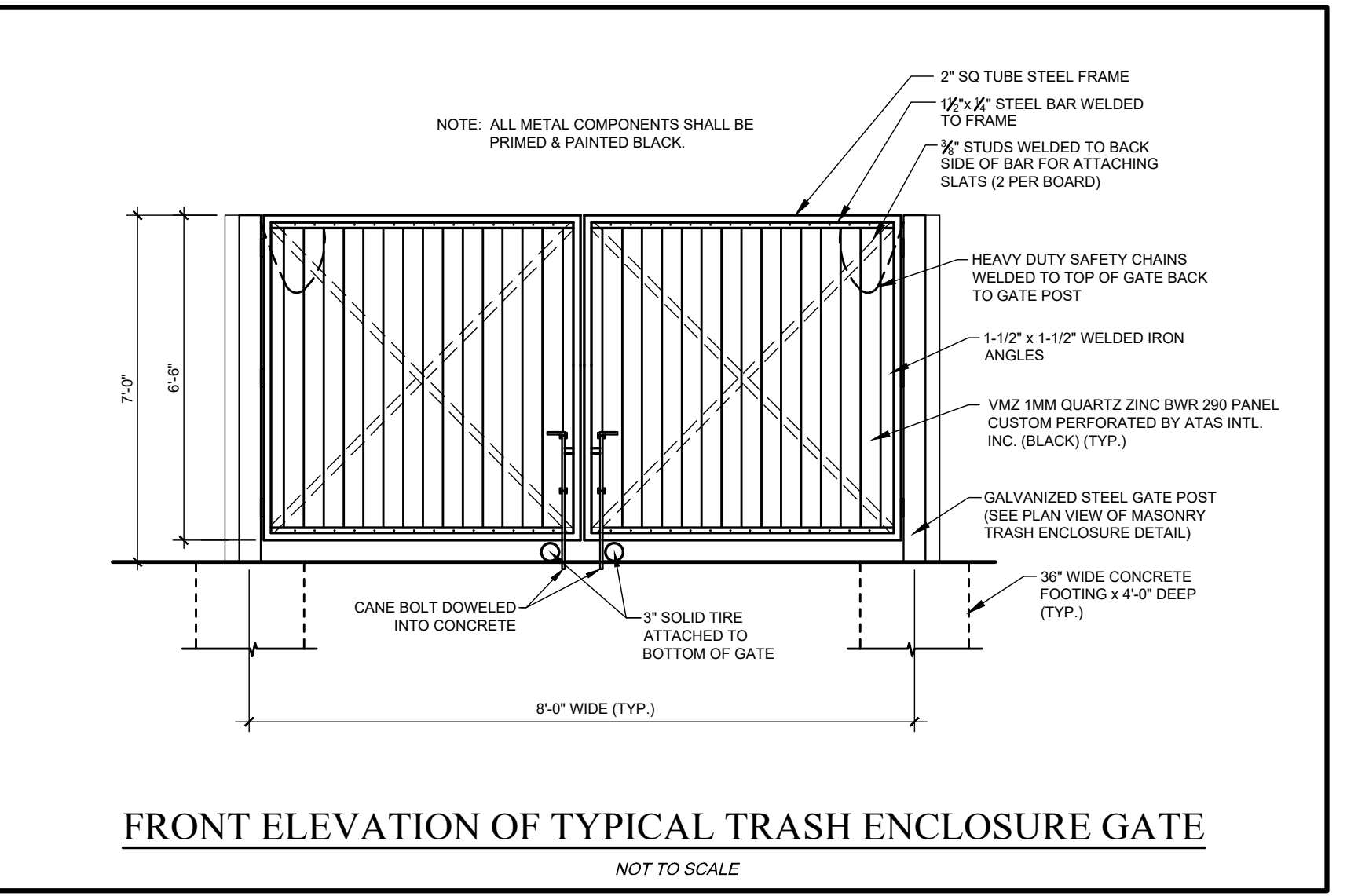
**STONE AND BLOCK DROP INLET PROTECTION DETAIL**  
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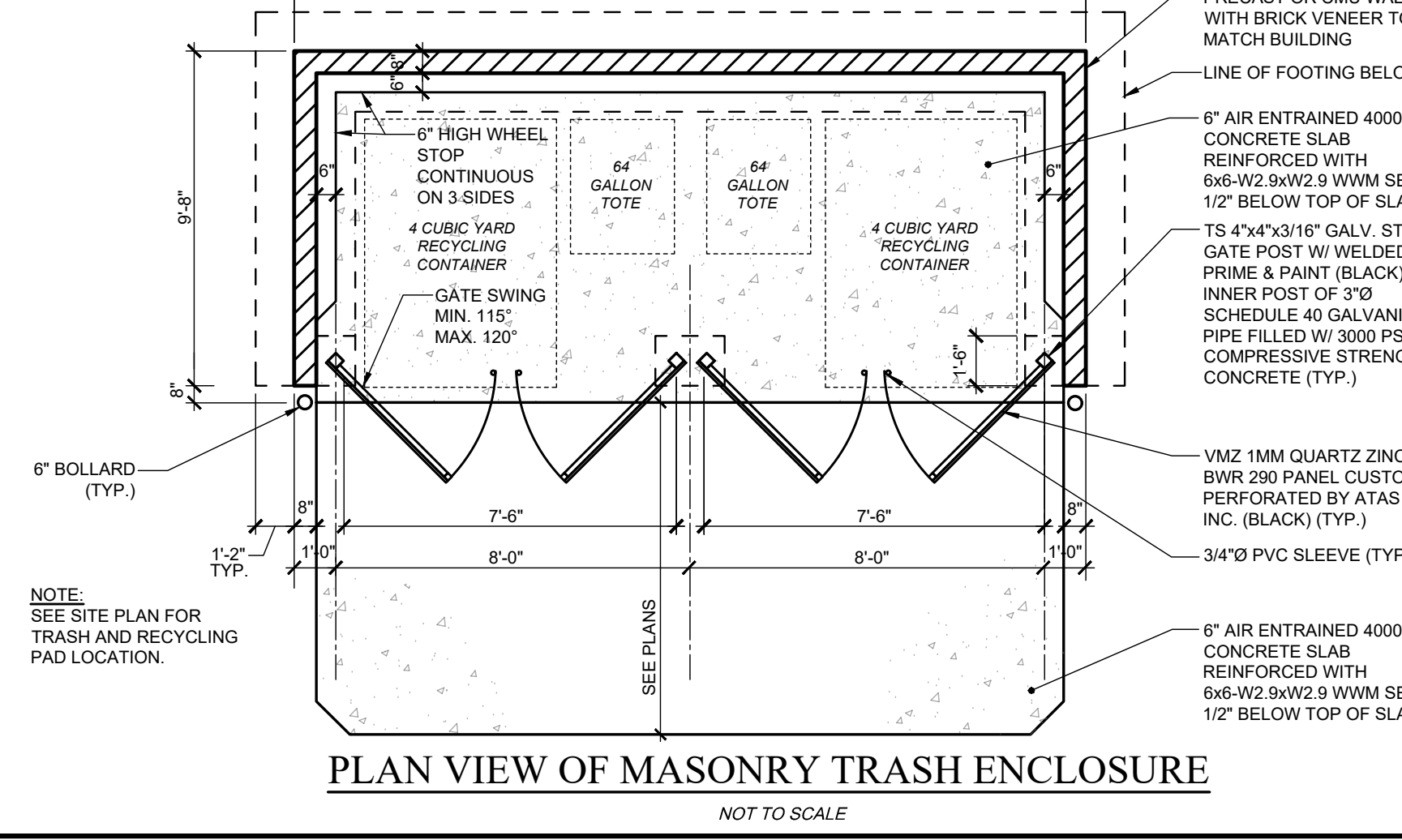
**FILTER FABRIC DROP INLET PROTECTION DETAIL**  
 NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2\"/>

**FILTER FABRIC DROP INLET PROTECTION DETAIL**  
 NOT TO SCALE



**FRONT ELEVATION OF TYPICAL TRASH ENCLOSURE GATE**  
 NOT TO SCALE



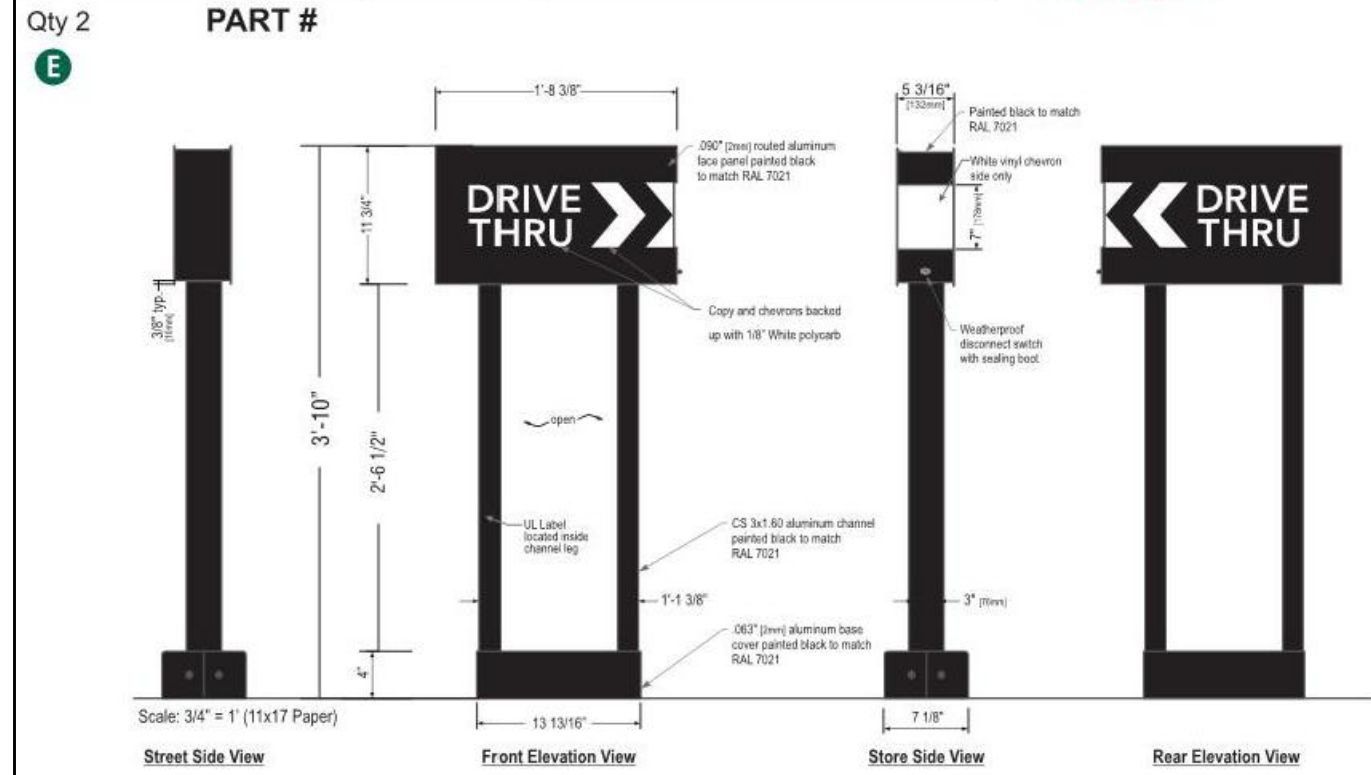
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 NOT TO SCALE



**CONCRETE WASHOUT DETAIL**  
 NOT TO SCALE

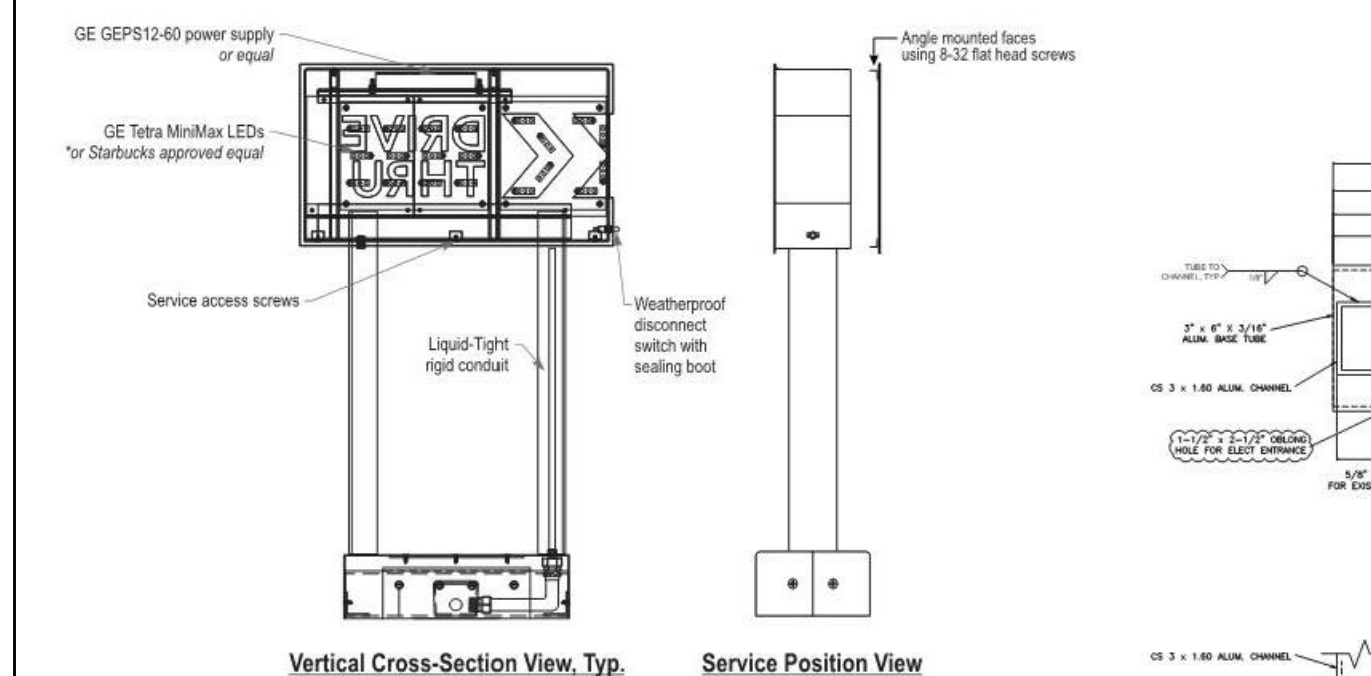
NO.		DATE	REVISION	BY	CHKD.	APVLS.
PROJECT MANAGER: E.R.G. DRAWN BY: D.J.L. BOUNDARY: -- TOPOBASE: -- DATE: 12/14/2022 SCALE: N.T.S.						
				<b>COSTICH ENGINEERING</b> 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020		
TITLE OF PROJECT: <b>STARBUCKS</b> <b>JAY SCUTTI PLAZA - SOUTH</b>		TITLE OF DRAWING: <b>DETAIL SHEET</b>				
LOCATION OF PROJECT: TAX PARCEL NO. 161.120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK		CLIENT: SCUTTI ENTERPRISES 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623				
DWG. # 188.96 <b>CA502</b> SHEET 09 OF 11		COPYRIGHT © 2022 COSTICH ENGINEERING, D.P.C. IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.				

**46" ILLUMINATED (CUSTOM) DIRECTIONAL <DT / DT> 1.53 SQ.FT.**



**Sign Specifications:**

- Cabinet:
  - Fabricated .090" [2mm] aluminum housing painted black to match RAL 7021M with white end cap as shown.
  - Directional copy and chevrons backed up with 1/8" White polycarb. Siren logo is 6" [152mm] diameter, 3/8" clear polycarb routed to push thru aluminum face. Decorate logo with 1st surface computer cut vinyl film to match PMS 3425. Edges of push thru logo are to be polished. All acrylic face elements to be attached to aluminum face panel with weld studs.
  - Interior aluminum surfaces of sign cabinet to be painted white with Lacryl Starbrite.
  - Internal structure of cabinet shall be per approved shop drawings.
  - Graphic elements are internally illuminated using GE Tetra MiniMax LED system or Starbucks approved equal. LEDs to be mounted on an internal baffle with self-contained power supply. All electrical components are removable for service.
- Support:
  - Supporting structure will be all welded aluminum tube and channel construction painted black to match RAL 7021M as per approved shop drawings and shall be integral to the sign cabinet.
  - Base tube will be constructed so that it can be retro-fittable to existing sign foundations. All foundations, existing and new must be analyzed for suitability and must meet all local city or state codes regulations.

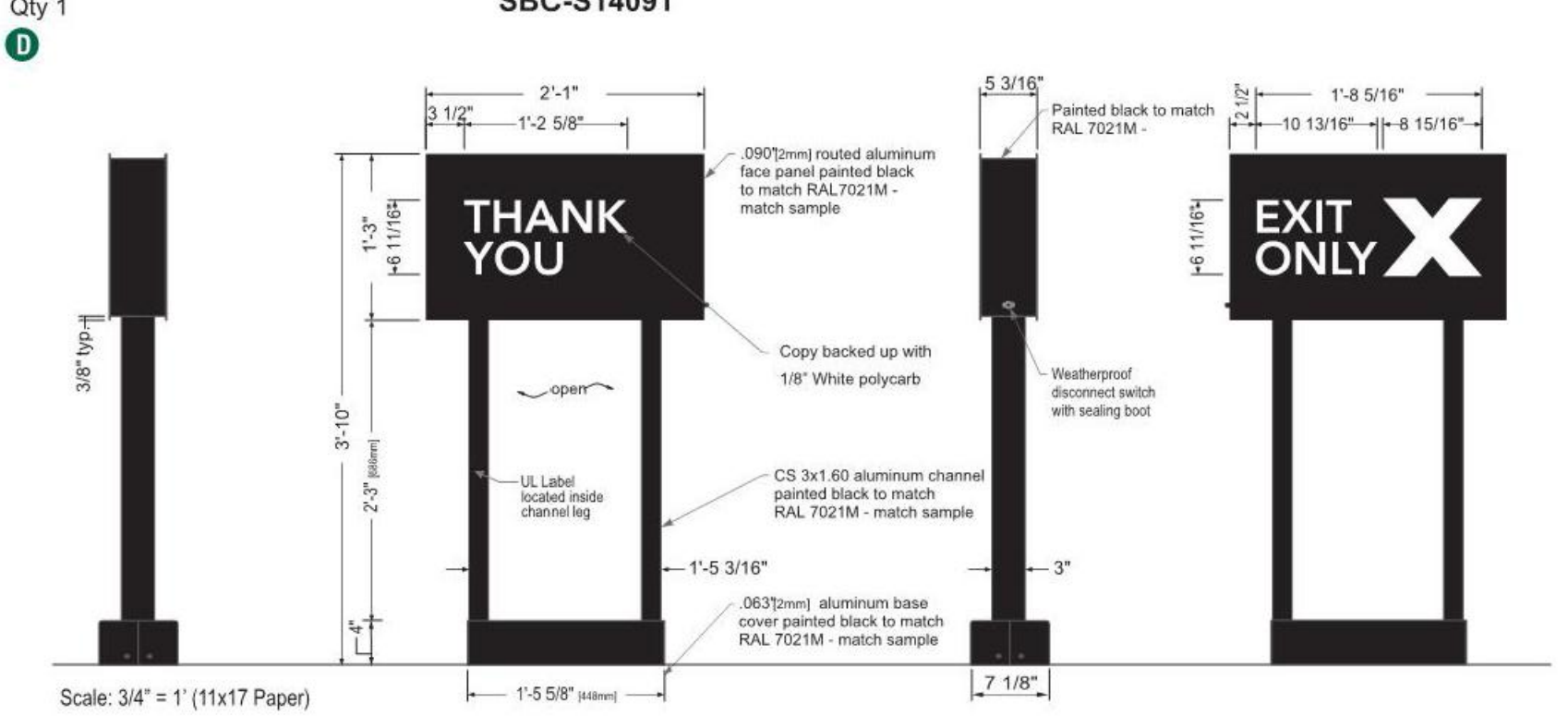


**COLOR LEGEND**

PMS PAINT	VINYL
PMS 3425 C	3M 3630-76
RAL 7021M	3M 3630-22
PMS WHITE	3M 3630-20 / 7725-10
PMS 369 C	NA
REFL. WHITE	3M 680-10

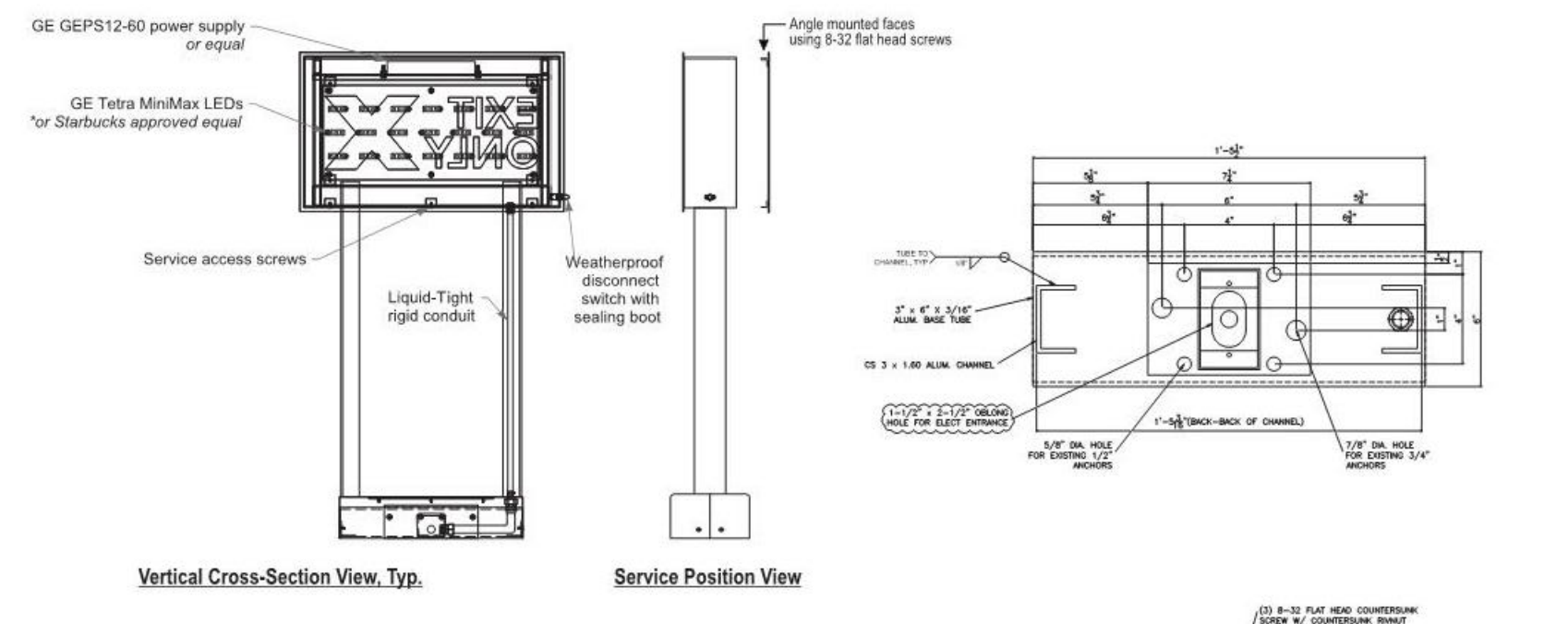
**DRIVE THRU SIGN DETAIL**  
NOT TO SCALE

**46" ILLUMINATED DIRECTIONAL TY/EO SBC-S14091**



**Sign Specifications:**

- Cabinet:
  - Fabricated .090" [2mm] aluminum housing painted black to match RAL 7021M.
  - Areas using black paint to match RAL 7021M shall have a max 20% gloss level, match sample.
  - Directional copy backed up with .125" [3mm] white solar grade polycarbonate matching R&H #7328.
  - Interior aluminum surfaces of sign cabinet to be painted white with Lacryl Starbrite.
  - Welded aluminum construction. All fasteners used in the assembly of internal components shall be coated to prevent corrosion.
  - Internal structure of cabinet shall be per approved shop drawings.
  - Graphic elements are internally illuminated using GE Tetra MiniMax LED system or Starbucks approved equal. LEDs to be mounted on an internal baffle with self-contained power supply. All electrical components are removable for service.
- Support:
  - Supporting structure will be all welded aluminum tube and channel construction painted black to match RAL 7021M as per approved shop drawings and shall be integral to the sign cabinet.
  - Areas using black paint to match RAL 7021M shall have a max 20% gloss level, match sample.
  - Base will be constructed so that it can be retro-fittable to existing sign foundations. All foundations, existing and new must be analyzed for suitability and must meet all local city or state codes regulations.
- Regulatory:
  - Sign must meet all regulations in the National Electric Code as well as any local or state electrical codes.
  - As per NEC 600.6, sign is equipped with a service disconnect switch.
  - Sign must be listed as an Electric Sign per Underwriters Laboratories UL48 and/or CSA and bear the applicable UL, CUL or CSA relevant certification marks.
  - Primary power by electrical contractor per NEC.

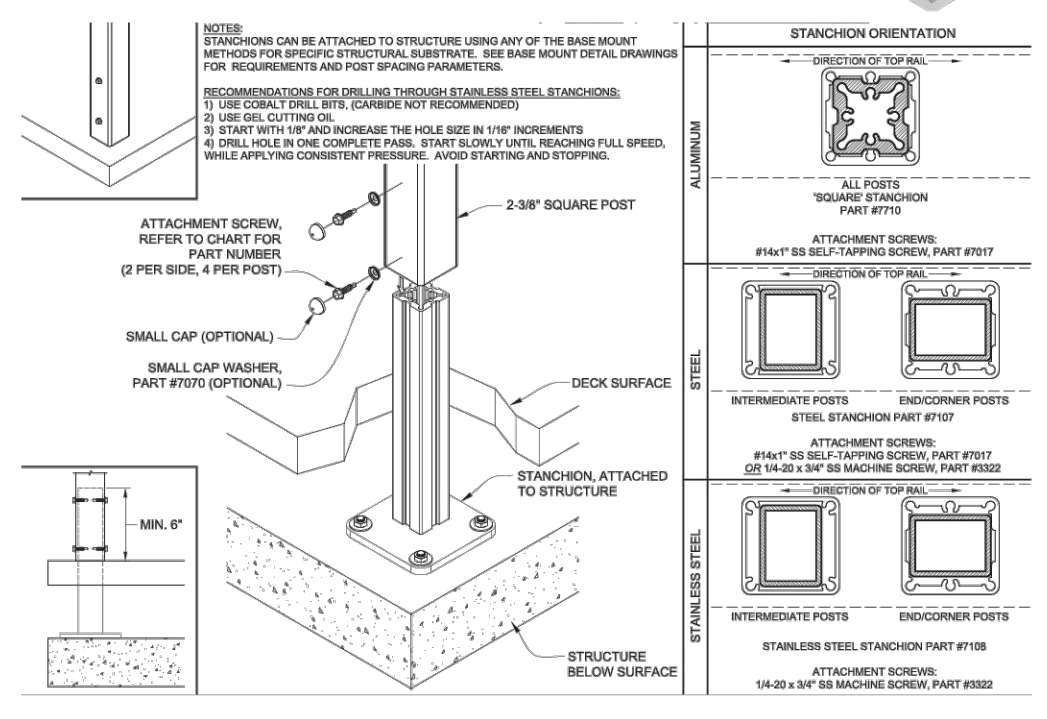
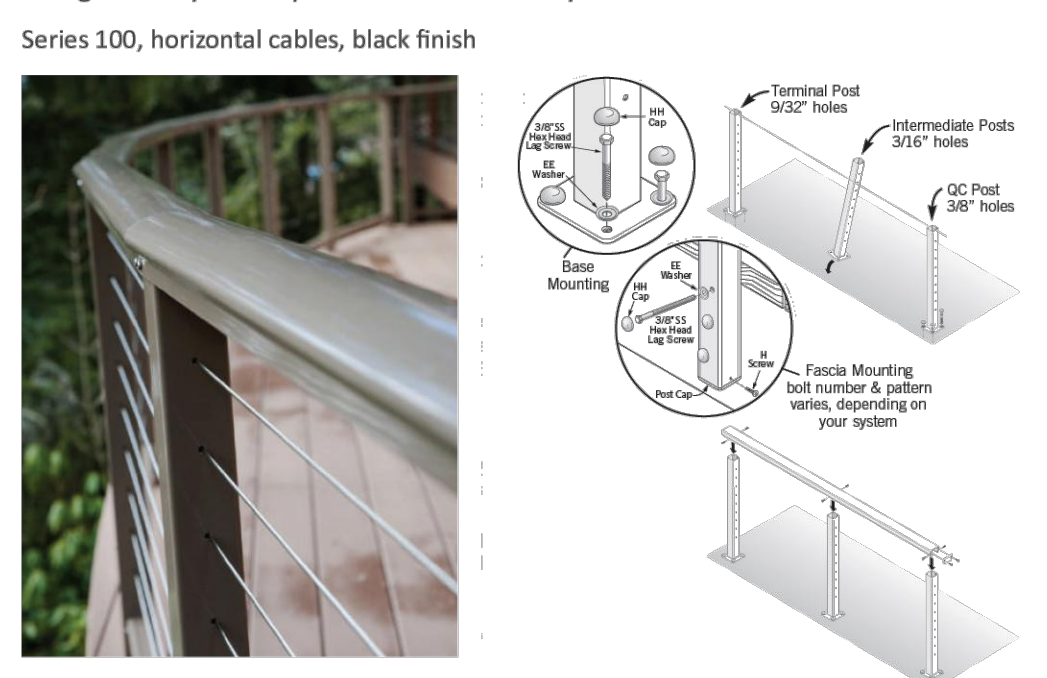


**COLOR LEGEND**

PMS PAINT	VINYL
PMS 3425 C	3M 3630-76
RAL 7021M	3M 3630-22
PMS WHITE	3M 3630-20 / 7725-10
PMS 369 C	NA
REFL. WHITE	3M 680-10

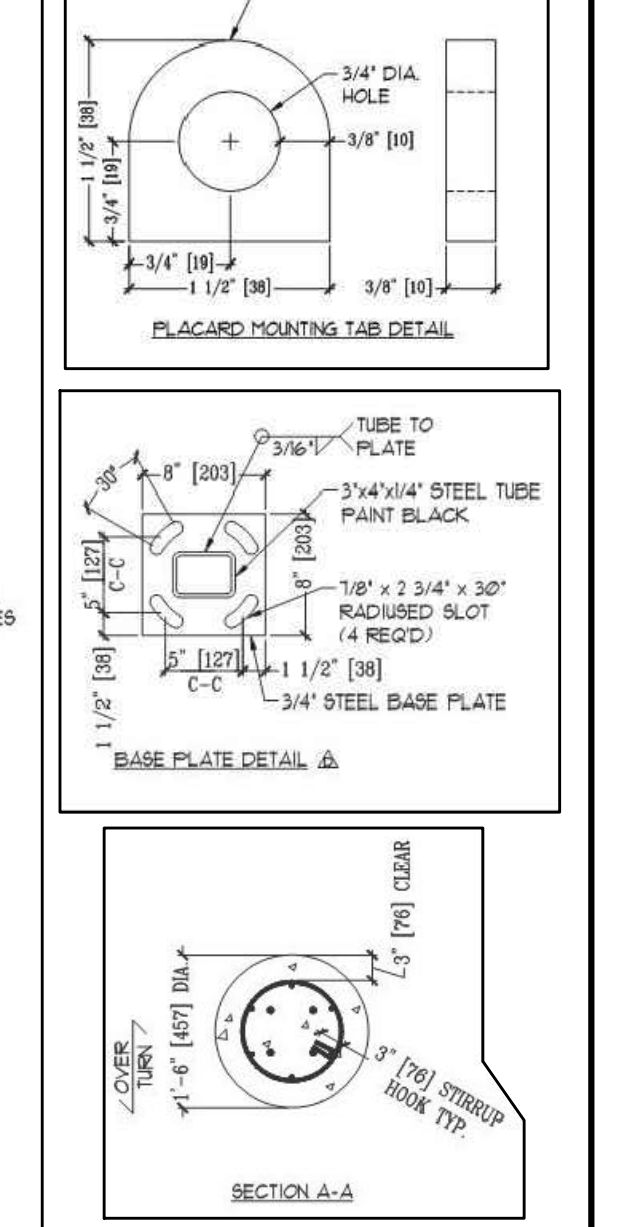
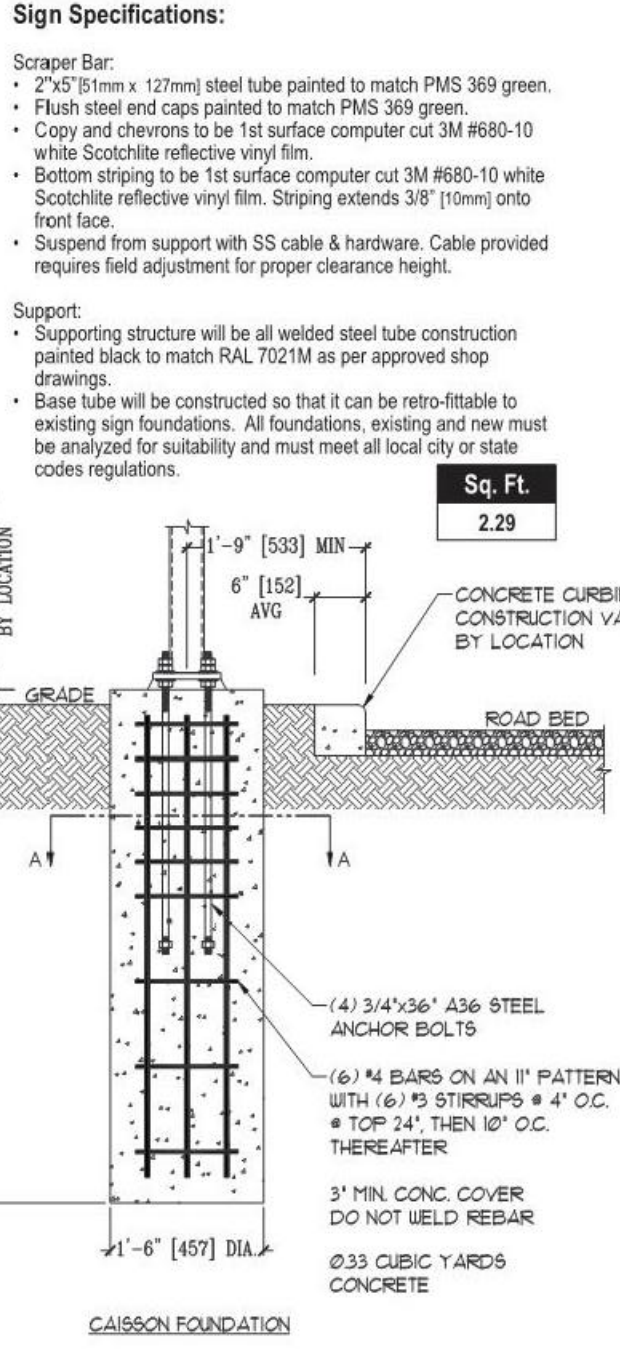
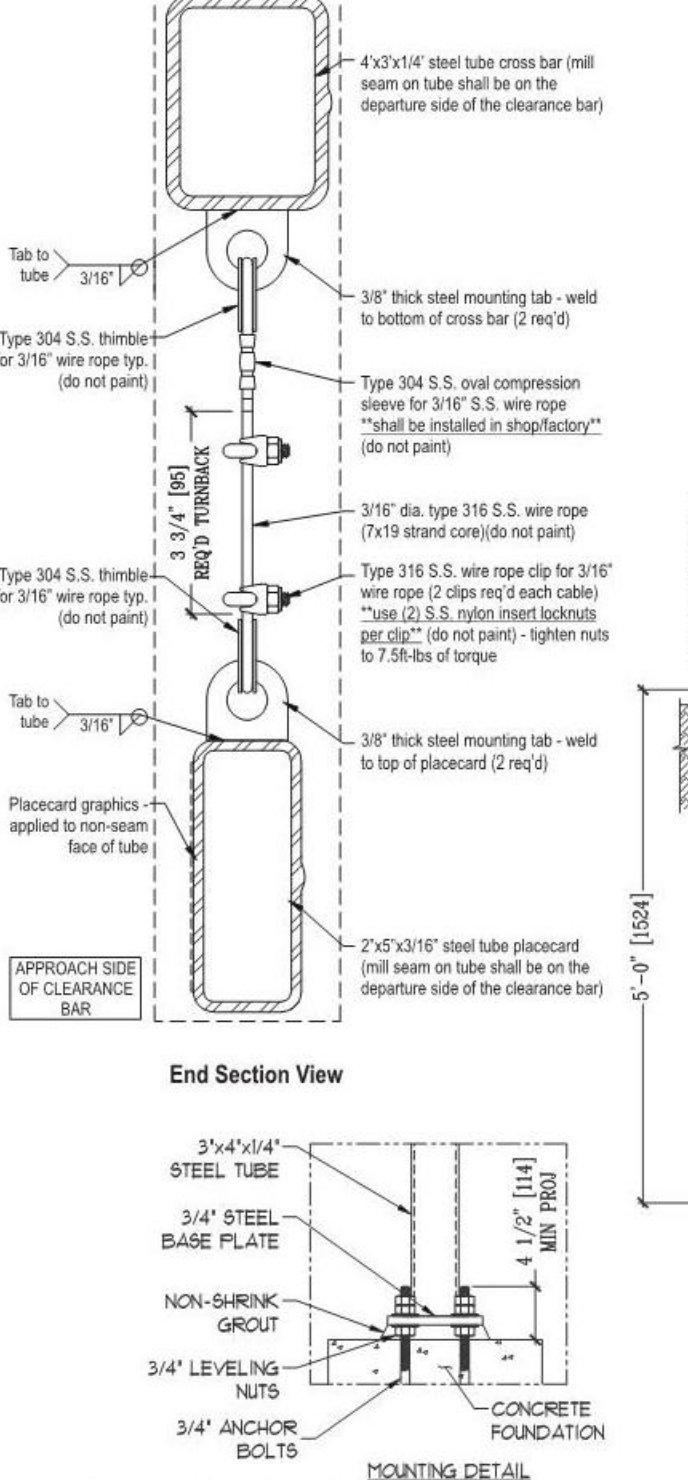
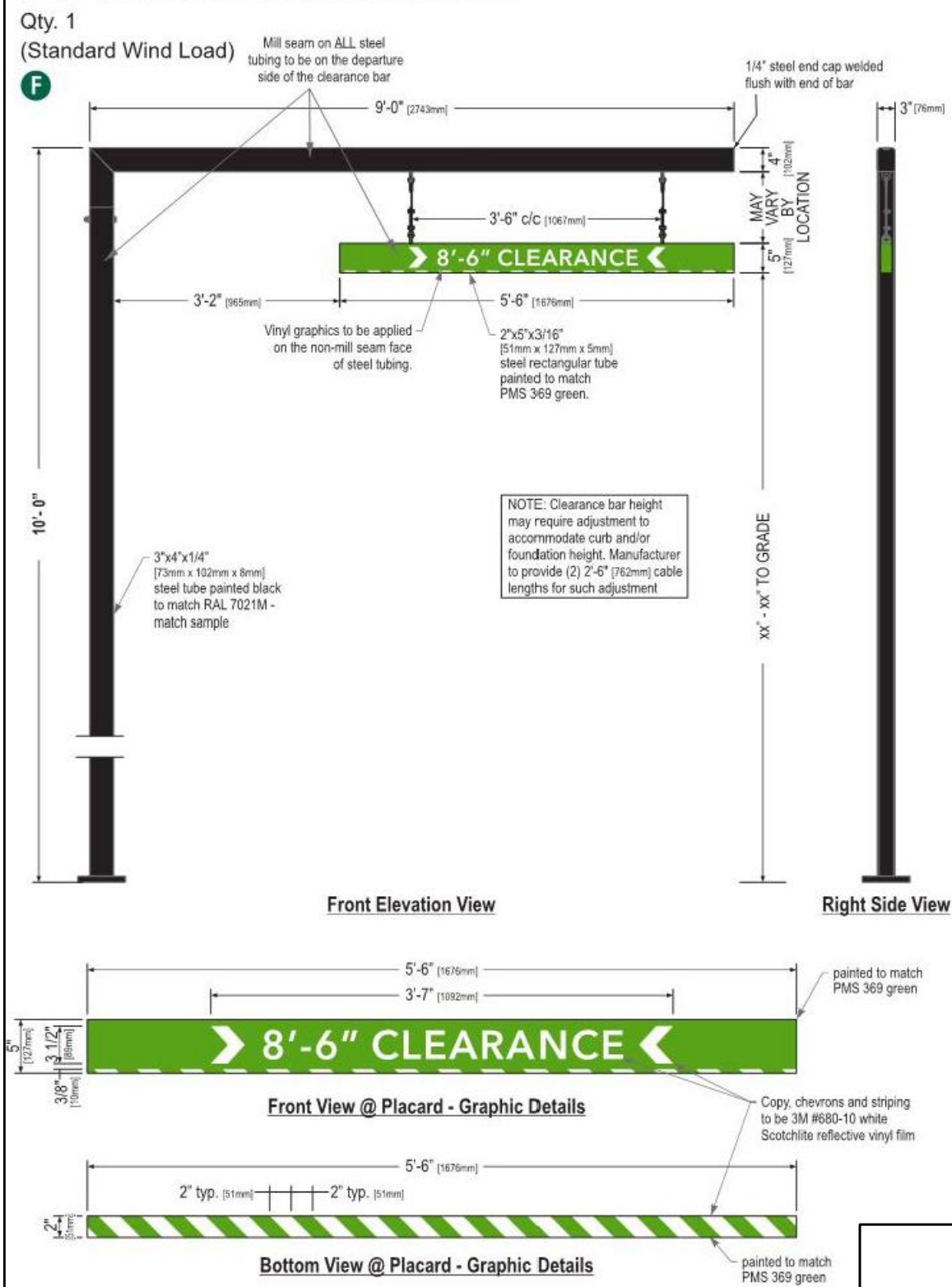
**THANK YOU & EXIT ONLY SIGN DETAIL**  
NOT TO SCALE

**Design Rail by Feeney - Horizontal Cable Systems**



**NOTE: NOT FOR CONSTRUCTION**  
**PROPOSED PATIO FENCE**  
NOT TO SCALE

**CLEARANCE BAR SBC S14106-SHB-10**



**Sign Specifications:**

- Scrapers Bar:
  - 2"x2" [51mm x 51mm] steel tube painted to match PMS 369 green.
  - Flush steel end caps painted to match PMS 369 green.
  - Copy and chevrons to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film.
  - Bottom striping to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film. Striping extends 3/8" [10mm] onto front face.
  - Suspend from support with SS cable & hardware. Cable provided requires field adjustment for proper clearance height.
- Support:
  - Supporting structure will be all welded steel tube construction painted black to match RAL 7021M as per approved shop drawings.
  - Base tube will be constructed so that it can be retro-fittable to existing sign foundations. All foundations, existing and new must be analyzed for suitability and must meet all local city or state codes regulations.

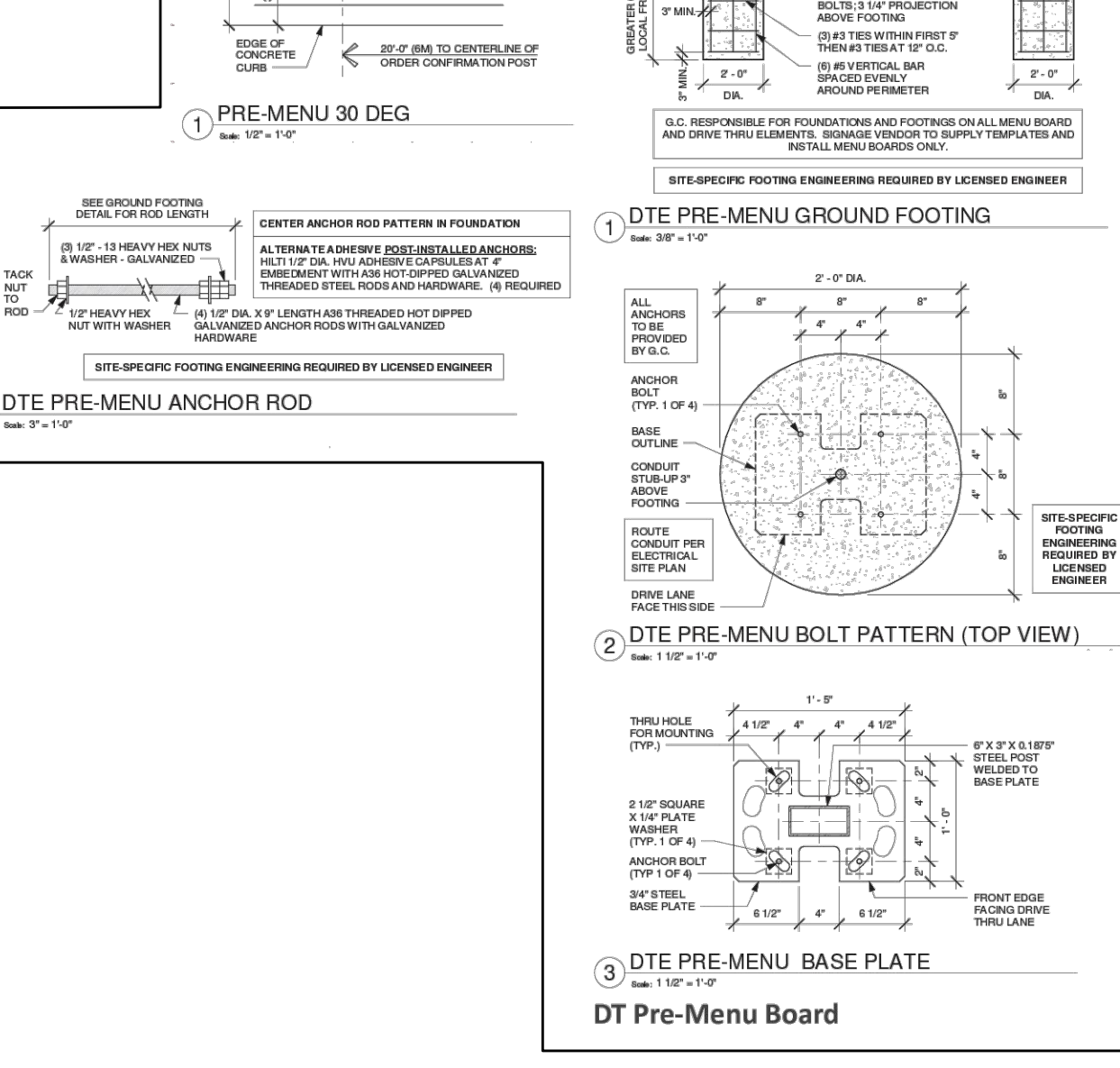
**Sq. Ft. 2.29**

CONCRETE CURING CONSTRUCTION VARIES BY LOCATION

3" MIN. CONC. COVER DO NOT WELD REBAR

0.33 CUBIC YARDS CONCRETE

**STARBUCKS DEDICATED PARKING SIGN (4 PER SITE)**  
NOT TO SCALE

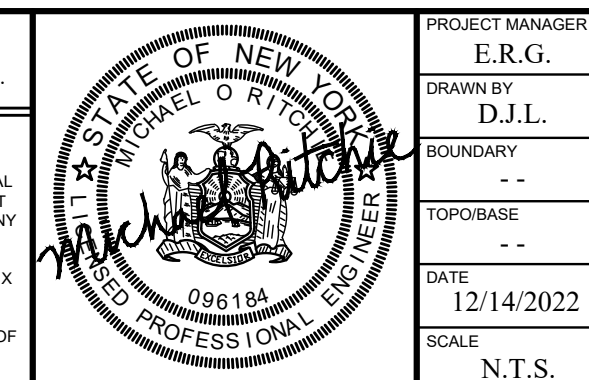


**STARBUCKS PRE-MENU BOARD**  
NOT TO SCALE

NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER: E.R.G.  
DRAWN BY: D.J.L.  
BOUNDARY: --  
TOPBASE: --  
DATE: 12/14/2022  
SCALE: N.T.S.

**COSTICH ENGINEERING**  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

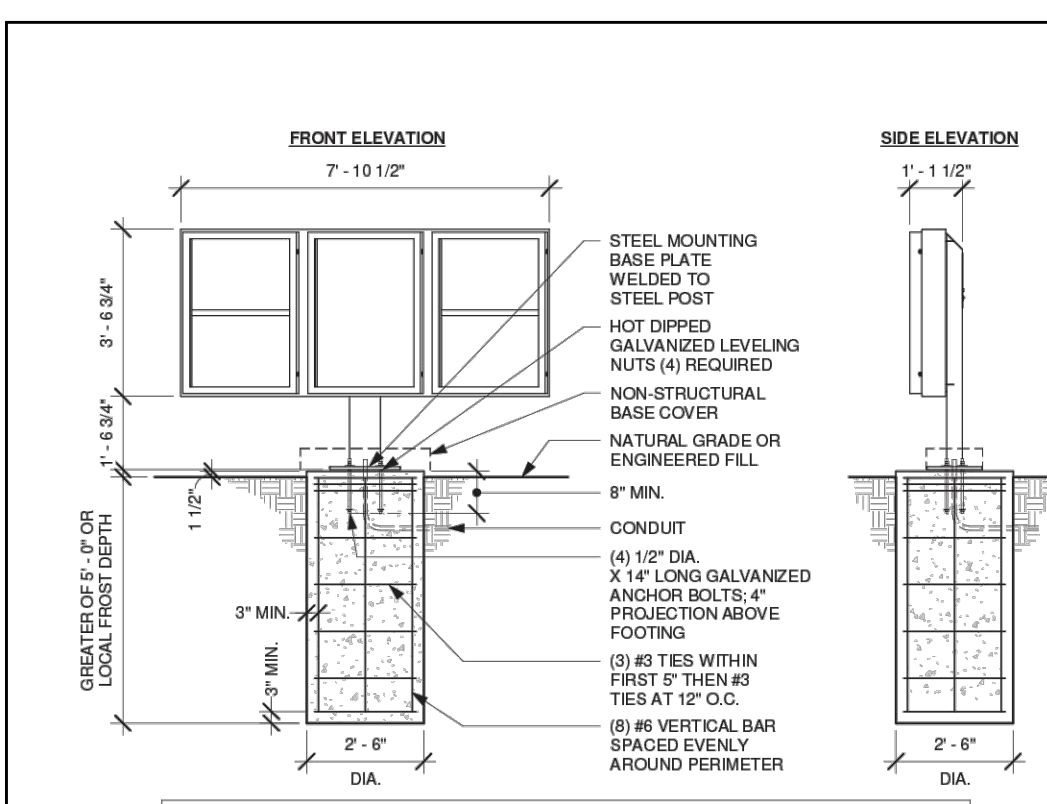
TITLE OF PROJECT: **STARBUCKS JAY SCUTTI PLAZA - SOUTH**

TITLE OF DRAWING: **DETAIL SHEET**

LOCATION OF PROJECT: TAX PARCEL NO. 161-120-01-009.1 TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA COUNTY OF MONROE, STATE OF NEW YORK

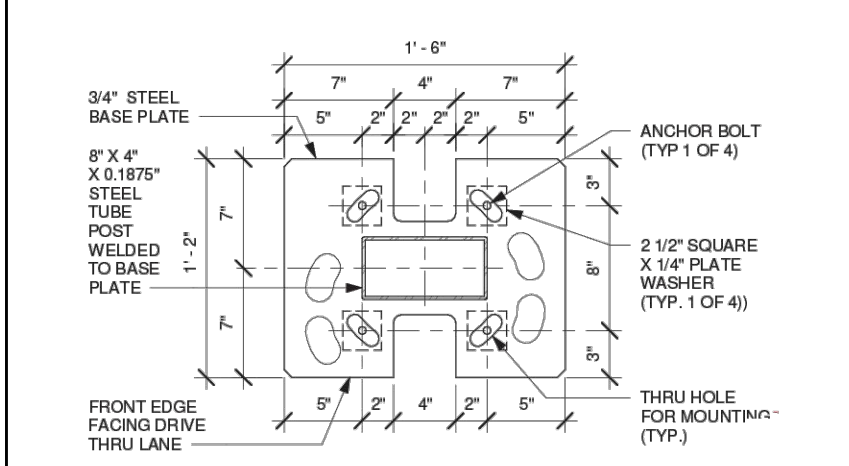
CLIENT: SCOTTI ENTERPRISES 1000 HYLAN DRIVE ROCHESTER, NEW YORK 14623

DWG. # 188.96  
**CA503**  
SHEET 10 OF 11

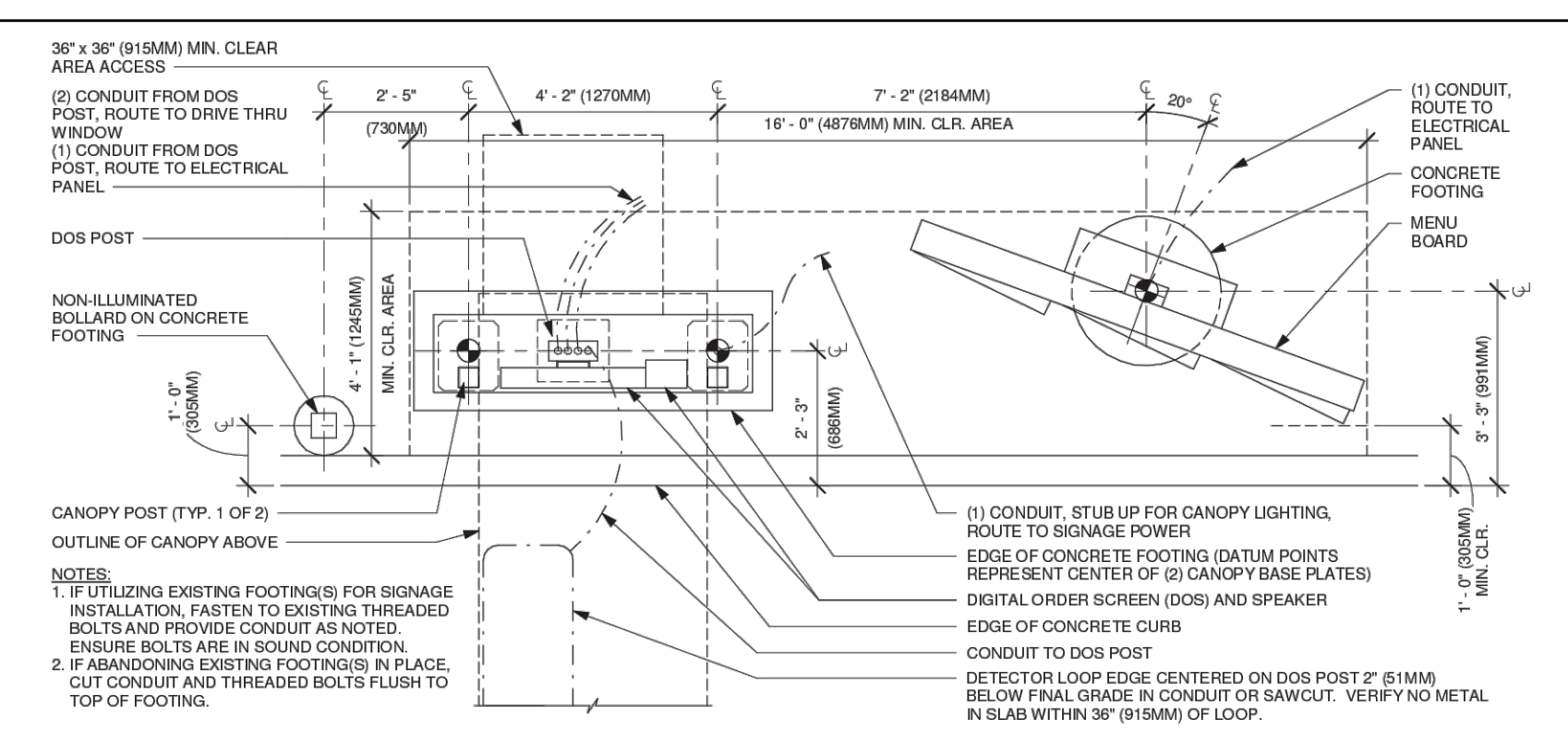


G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

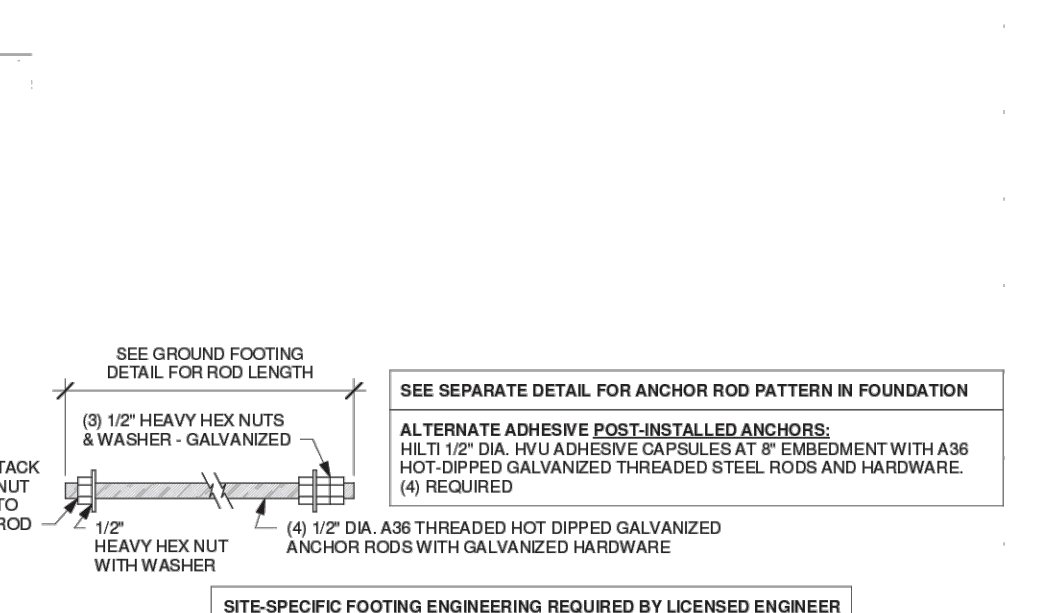
**5 DT 5-PANEL MENU BOARD GROUND FOOTING**  
Scale: 3/8" = 1'-0"



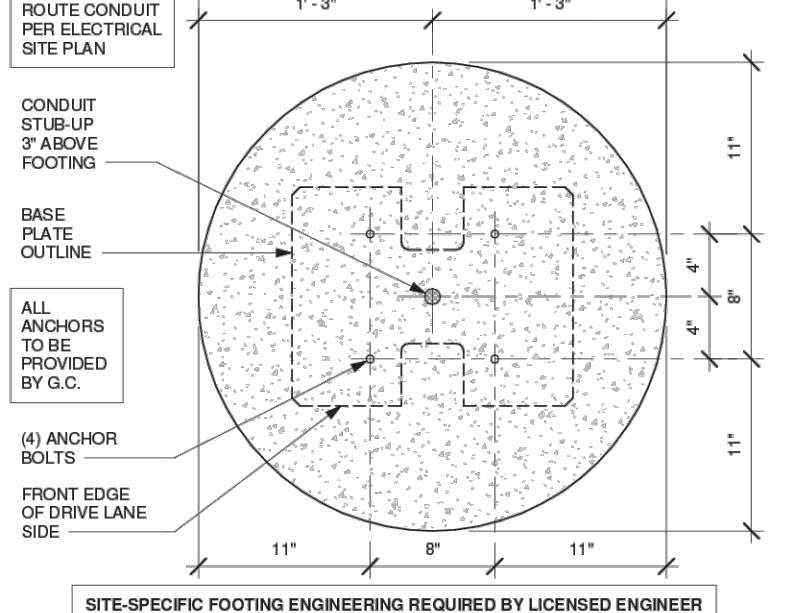
**7 DTE 5-PANEL MENU BOARD BASE PLATE**  
Scale: 1 1/2" = 1'-0"



**2 DTE - 5 PANEL 20" DT MENU BOARD, DIGITAL ORDER SCREEN WITH CANOPY**  
Scale: 1/2" = 1'-0"

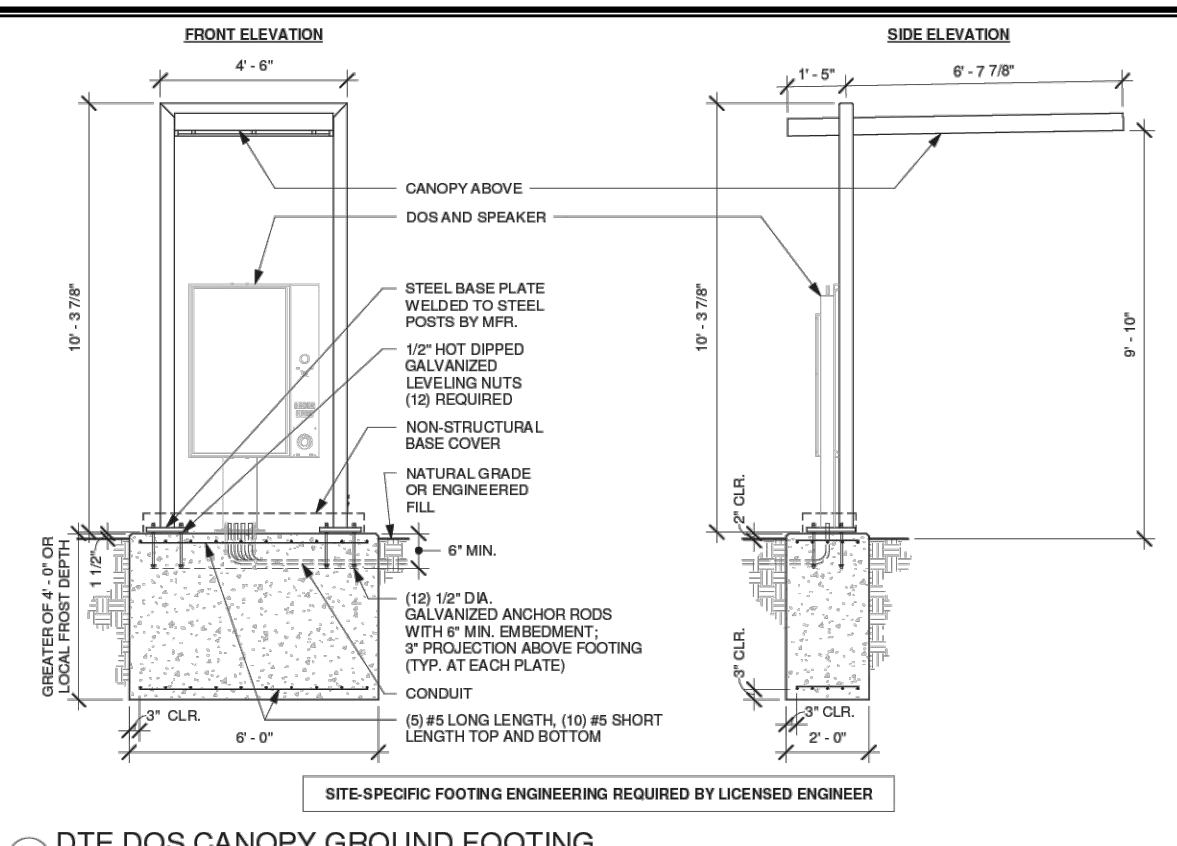


**DTE 5-PANEL MENU BOARD ANCHOR ROD**  
Scale: 3" = 1'-0"

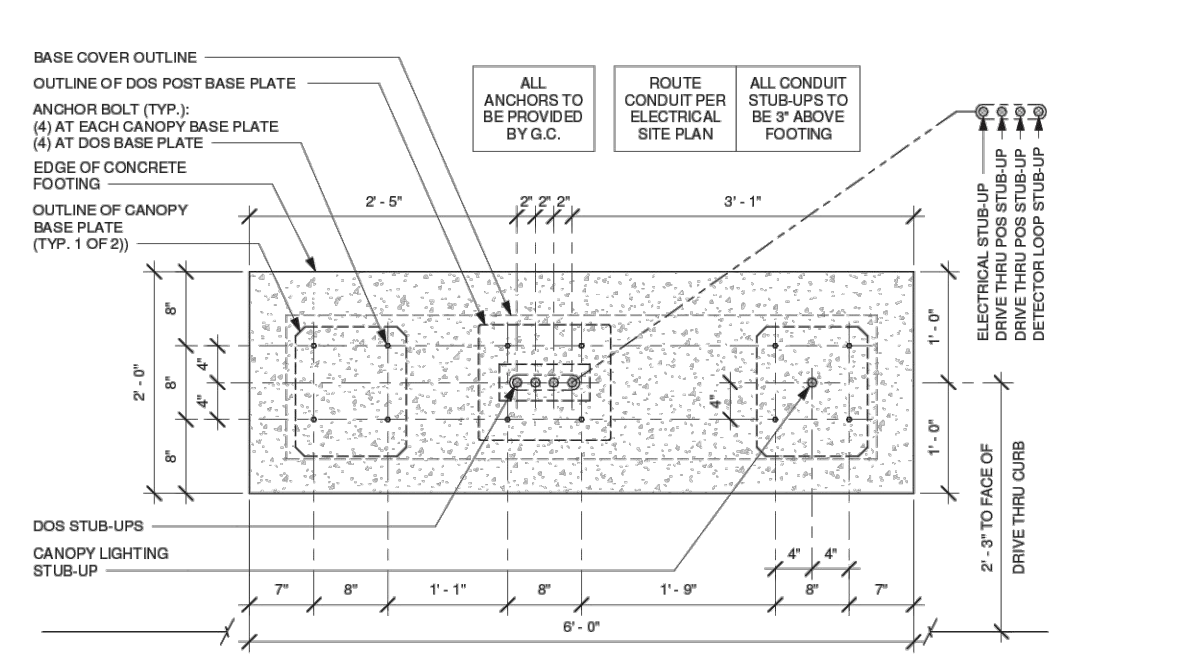


**6 DTE 5-PANEL MENU BOARD BOLT PATTERN (TOP VIEW)**  
Scale: 1 1/2" = 1'-0"

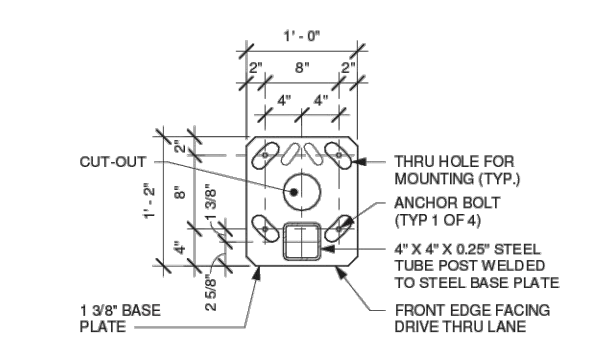
**STARBUCKS 5-PANEL MENU BOARD** NOT TO SCALE



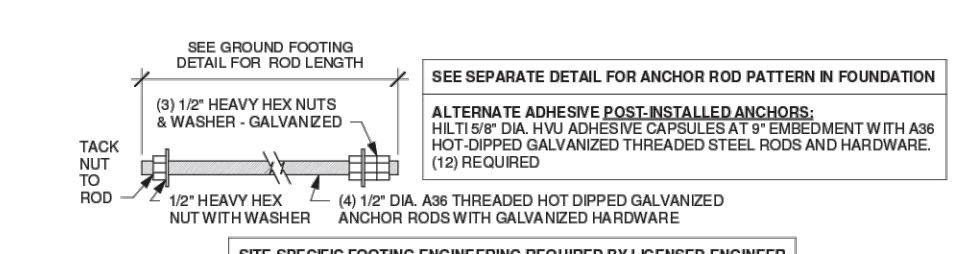
**5 DTE DOS CANOPY GROUND FOOTING**  
Scale: 3/8" = 1'-0"



**6 DTE DOS CANOPY BOLT PATTERN (TOP VIEW)**  
Scale: 1" = 1'-0"



**7 DTE DOS CANOPY BASE PLATE**  
Scale: 1" = 1'-0"



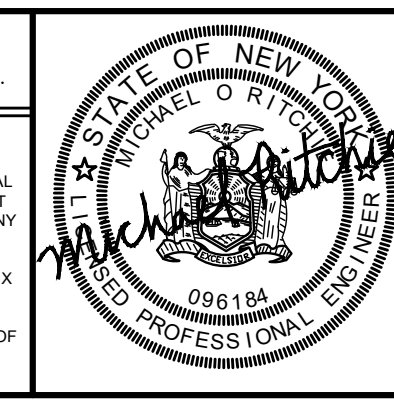
**8 DTE DOS CANOPY ANCHOR ROD**  
Scale: 3" = 1'-0"

**STARBUCKS DRIVE-THRU ORDER CANOPY** NOT TO SCALE

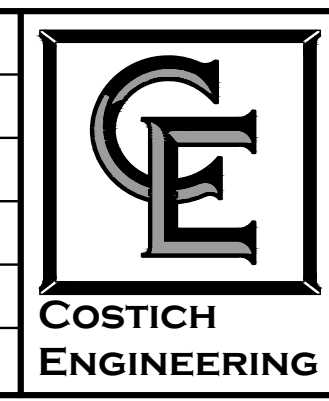
NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER  
E.R.G.  
DRAWN BY  
D.J.L.  
BOUNDARY  
--  
TOPOBASE  
--  
DATE  
12/14/2022  
SCALE  
N.T.S.



• CIVIL ENGINEERING  
• LAND SURVEYING  
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

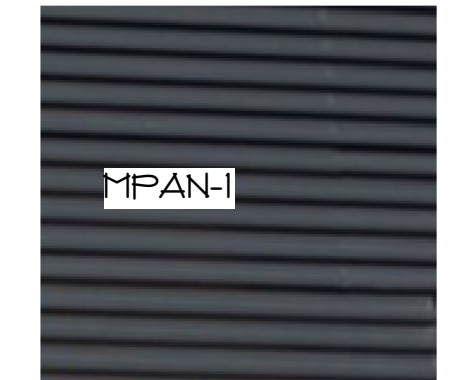
TITLE OF PROJECT  
**STARBUCKS JAY SCUTTI PLAZA - SOUTH**

TITLE OF DRAWING  
**DETAIL SHEET**

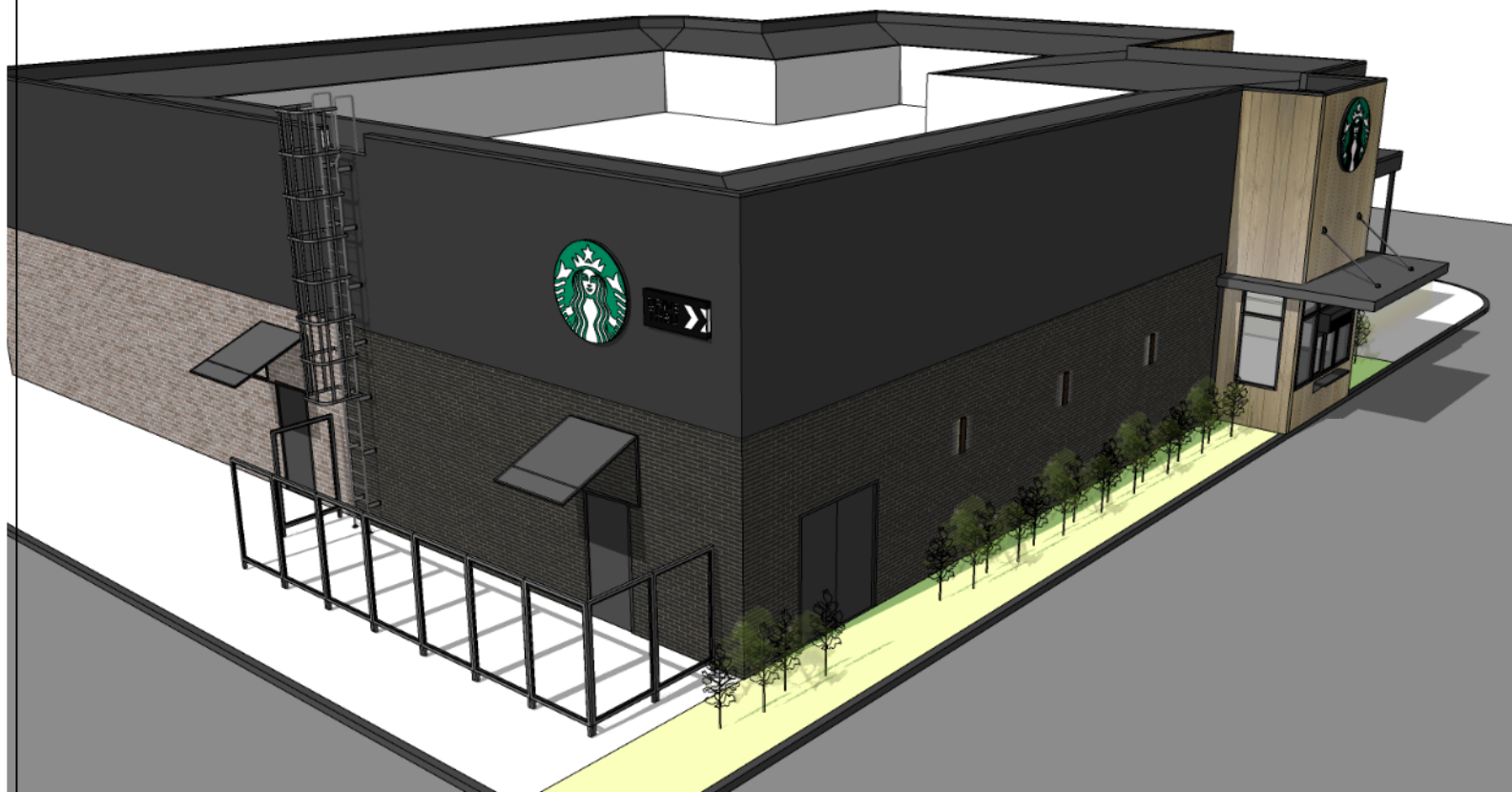
LOCATION OF PROJECT  
TAX PARCEL NO. 161.120-01-009.1  
TOWN LOT 8, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA  
COUNTY OF MONROE, STATE OF NEW YORK


CLIENT  
SCUTTI ENTERPRISES  
1000 HYLAN DRIVE  
ROCHESTER, NEW YORK 14623

DWG. # 188.96  
**CA504**  
SHEET 11 OF 11



EXTERIOR RENDERING	PROJ. NO.: 220036	DATE: 12/12/2022	SCALE:	SKETCH NO. <b>SK-1</b>
<b>PARDI PARTNERSHIP, P.C.</b> 25 CIRCLE STREET, SUITE 101, ROCHESTER, NY 14607		JAY SCUTTI PLAZA SOUTH STARBUCKS BUILDING FACADE RENOVATIONS 1000 HYLAN DRIVE, HENRIETTA NY 14623		



EXTERIOR RENDERING	PROJ. NO.: 220036	DATE: 12/12/2022	SCALE:	SKETCH NO.
 <b>PARDI PARTNERSHIP, P.C.</b> 25 CIRCLE STREET, SUITE 101, ROCHESTER, NY 14607	JAY SCUTTI PLAZA SOUTH STARBUCKS BUILDING FACADE RENOVATIONS 1000 HYLAN DRIVE, HENRIETTA NY 14623		<b>SK-2</b>	

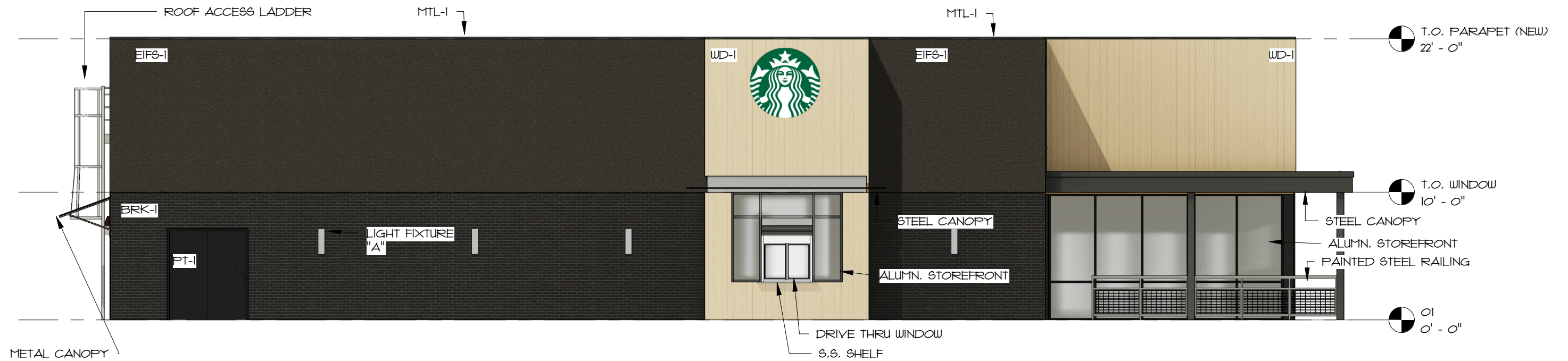
EXTERIOR FINISHES					EXTERIOR FINISHES NOTES:  <u>THIN BRICK INSTALL</u> TABS II THINK BRICK SUPPORT SYSTEM <a href="http://www.tabswallsystems.com/resources/">http://www.tabswallsystems.com/resources/</a>  <u>METAL CANOPY</u> SUPER LUMIDECK FLAT SOFFIT <a href="https://mapescanopies.com/super-lumideck-flat-soffit/">https://mapescanopies.com/super-lumideck-flat-soffit/</a>
NO.	MATERIAL	MANUFACTURER	COLOR / DESCRIPTION	FINISH / STYLE	
BRK-1	BRICK VENEER	MORA CERAMICA	NEGRO - SMOOTH	THIN BRICK MORTAR TO MATCH BRICK	
BRK-2	BRICK VENEER	MORA CERAMICA	TBD	THIN BRICK MORTAR TO MATCH BRICK	
WD-1	ACCOYA WOOD SIDING @ FACADE	reSAWN TIMBER CO.	RAILAY IC	FINISH ON FACE ONLY, SEALED ALL 4 SIDES W/ 3/8" REVEAL MIX 1X4, 1X6, 1X8 NOM. FACE WIDTHS 6'-16' RANDOM LENGTHS	
WD-2	ACCOYA WOOD SIDING @ UNDERSIDE OF CANOPY	reSAWN TIMBER CO.	RAILAY IC	FINISH ON FACE ONLY, SEALED ALL 4 SIDES W/ 3/8" REVEAL MIX 1X4, 1X6, 1X8 NOM. FACE WIDTHS 6'-16' RANDOM LENGTHS	
WD-3	ACCOYA WOOD SIDING @ FACADE	reSAWN TIMBER CO.	TBD	FINISH ON FACE ONLY, SEALED ALL 4 SIDES W/ 3/8" REVEAL MIX 1X4, 1X6, 1X8 NOM. FACE WIDTHS 6'-16' RANDOM LENGTHS	
EIFS-1	E.I.F.S.	DRYVIT.	STAR - 06 10SS ST	SANDPEBBLE FINE TEXTURE W/ STRATOTONE COLORANT	
MPAN-1	METAL SIDING 7.2 PANEL	MBCI	TBD		
MTL-1	METAL COPING	LOCALLY SOURCED	TO MATCH RAL#7021 MATTE MTO028 - FLAT BLACK	PRE-FINISHED	
MTL-2	ALUM. STOREFRONT			ANODIZED	
MTL-3	METAL CANOPY			POWDERCOATED	
MTL-4	H.M. DOOR FRAME			PAINTED	
LED-1	RECESSED LED LIGHT STRIP (@CANOPIES)	LEDPower	2500K, 120 DEGREE, 120 VAC FROSTED LENS	48" LENGTH, MOUNTED AS CONT. LIGHT STRIP	
PT-1	PAINT	SHERWIN WILLIAMS	SW7069 - IRON ORE	VARIES	

EXTERIOR FINISH SCHEDULE	PROJ. NO.: 220036	DATE: 12/12/2022	SCALE: 1/4" = 1'-0"	SKETCH NO. <b>SK-3</b>
 <b>PARDI PARTNERSHIP, P.C.</b> 25 CIRCLE STREET, SUITE 101, ROCHESTER, NY 14607	JAY SCUTTI PLAZA SOUTH STARBUCKS BUILDING FACADE RENOVATIONS 1000 HYLAN DRIVE, HENRIETTA NY 14623			





**1** LEFT SIDE ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

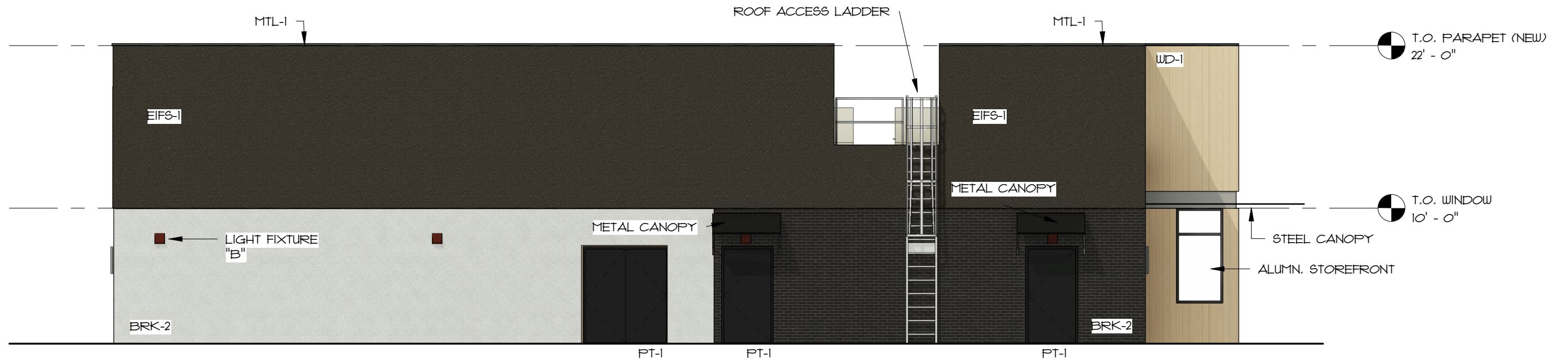


**2** REAR ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

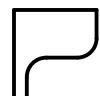
BUILDING ELEVATIONS	PROJ. NO.: 220036	DATE: 12/12/2022	SCALE: 1/8" = 1'-0"	SKETCH NO.
<b>PARDI PARTNERSHIP, P.C.</b> 25 CIRCLE STREET, SUITE 101, ROCHESTER, NY 14607	JAY SCUTTI PLAZA SOUTH STARBUCKS BUILDING FACADE RENOVATIONS 1000 HYLAN DRIVE, HENRIETTA NY 14623			<b>SK-4</b>



**1** FRONT ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"



**2** RIGHT SIDE ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS	PROJ. NO.: 220036	DATE: 12/12/2022	SCALE: 1/8" = 1'-0"	SKETCH NO.
 PARDI PARTNERSHIP, P.C. 25 CIRCLE STREET, SUITE 101, ROCHESTER, NY 14607	JAY SCUTTI PLAZA SOUTH STARBUCKS BUILDING FACADE RENOVATIONS 1000 HYLAN DRIVE, HENRIETTA NY 14623			SK-5



