



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 01-18-2023

I (we) Quattro Development LLC (Evan Gefell, Costich) of 110 Jorie Blvd Suite 140
Name of Applicant / Business Business Address (Number & Street)

Oakbrook IL 60523 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 1300 Hylan Drive 161.16-1-2.12 Planned Commercial Development
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

Development of new 1,610 +/- sqft building + site improvements to provide motor vehicle service and associated site improvements.

Applicant: Quattro Development LLC (Peter Pavek)

Address: 110 Jorie Blvd. STE 140
Oakbrook, IL 60523

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: Wee Willie Winkle, LLC

Address: 1000 Hylan Drive
Rochester, NY 14623

Phone #: [REDACTED]

Email: [REDACTED]

Applicant Signature: *Evan Gefell*
(Agent)

Engineer/Architect: Costich Engineering, DPE

Address: 217 Lake Ave.
Rochester, NY 14608

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: Same as Applicant

Address: _____

Phone #: _____

Email: _____

Print Name: Evan Gefell

January 18, 2023

Town Board of the Town of Henrietta
475 Calkins Road
Henrietta, NY 14467

Re: Take 5 Oil Change
1300 Hylan Drive (TA# 161.16-1-2.12)

Dear Board Members:

This office has been retained by Quattro Development, LLC, to obtain municipal approvals to construct a new building for motor vehicle service at 1300 Hylan Drive (TA# 161.16-1-2.12). The property is zoned Planned Commercial District (PCD) and a special permit is required.

The property is .65 acres and currently contains an existing asphalt parking lot. The developer is proposing to construct a 1,600 sf +/- 3 bay oil change facility along with associated site improvements.

Attached you will find the following application materials for review:

- Site Plan Checklist (1 copy)
- Site Plan Application (1 copy)
- Short EAF (1 copy)
- Signed Statement of Applicant and Owner with Respect to Reimbursement of Professional Consulting Fees (1 copy)
- Instrument Survey (4 copies)
- Civil Site Development Plans (14 sets)
- Architectural Plans (14 sets)
- Engineer's Report (2 copies)
- \$150.00 Application Fee
- \$700.00 Engineering Review Fee

If you have any questions or comments, please feel free to contact our office.

Respectfully,

COSTICH ENGINEERING, D.P.C.



CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE

Costich Engineering, DPC • 217 Lake Avenue • Rochester, New York 14608
Office (585) 458-3020 • Fax (585) 458-2731 • www.costich.com

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Quattro Development, LLC

By: Peter Pavek

Title: Project Manager

Dated: 01/04/2023


Signed: 

Owner: Wee Willie Winkle, LLC

By: Kimberly L Glaser

Title: Member

Dated: 01/04/2023

Signed: 

Authorization

We hereby authorize Costich Engineering, D.P.C., to file application for Town approvals for a Take 5 Oil Change building located at 1300 Hylan Drive per the attached concept plan.

Quattro Development

By: Peter Pavek - Project Manager



Date: 1/2/2022

Wee Willie Winkle, LLC
c/o Scutti Enterprises
1000 Hylan Drive
Rochester, New York 14623
(585) 424-1000
(585) 424-2600 fax
[REDACTED]

January 3, 2023

Town of Henrietta
475 Calkins Road
Henrietta, NY 14623

Re: Engineering Representation

To Whom It May Concern:

By signing below, the undersigned acknowledges that they are the record Member of Wee Willie Winkle, LLC, tax parcel 161.166-1.2.12 and authorizes Evan Gefell of Costich Engineering as designated representative to apply for and secure all necessary applications, permits and signs relating to Quattro Development L.L.C.

THE REAL MCKEEVER LLC

By: Kimberlie L. Glaser
Kimberlie L. Glaser
Member

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

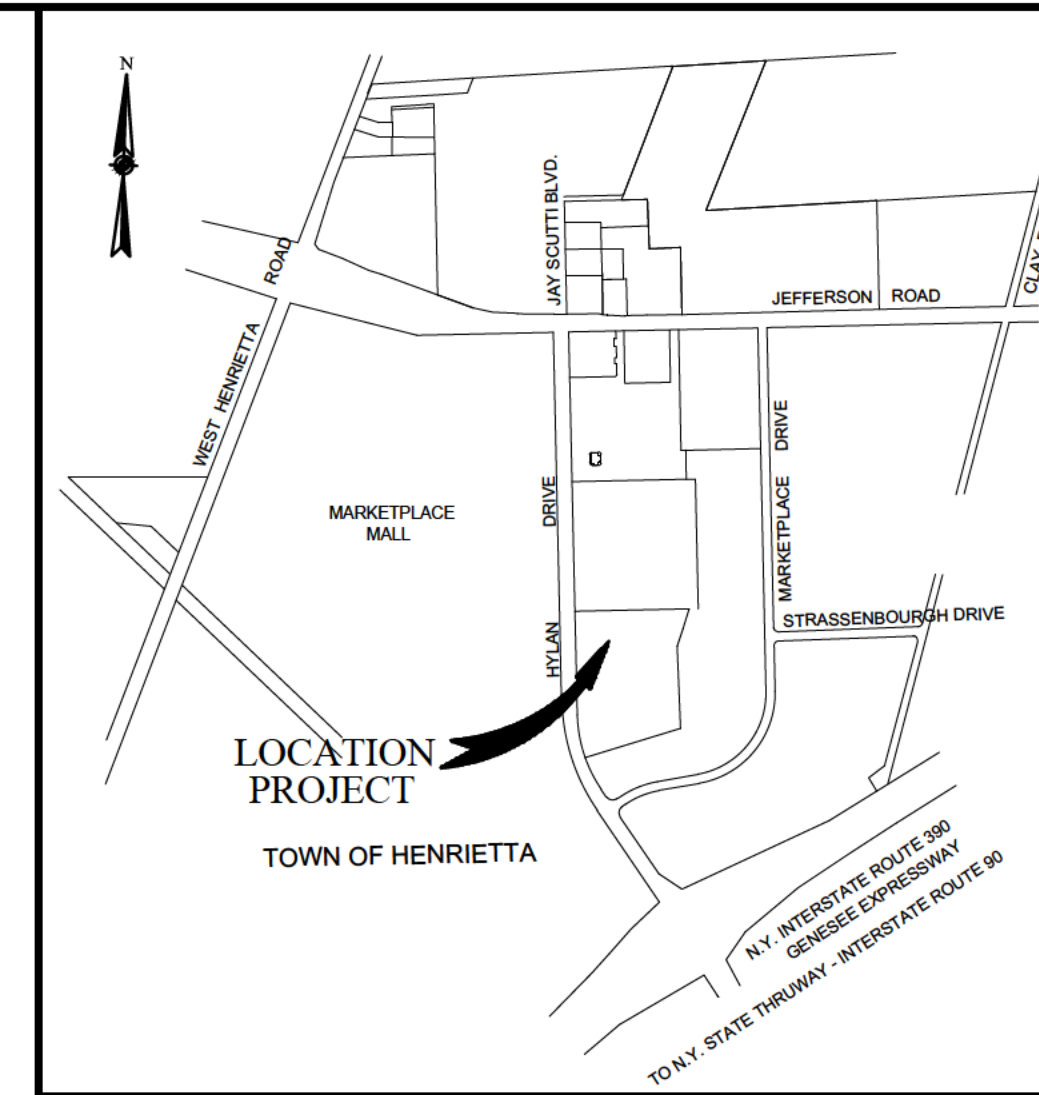
Part 1 – Project and Sponsor Information			
Name of Action or Project: Take 5 Oil Change			
Project Location (describe, and attach a location map): 1300 Hylan Drive Rochester, NY 14623			
Brief Description of Proposed Action: Development of a new 1,610 sqft building + site improvements to provide motor vehicle service.			
Name of Applicant or Sponsor: Quattro Development LLC, (Peter Pavek)		Telephone: [REDACTED]	
Address: 110 Jorie Blvd Suite 140		E-Mail: [REDACTED]	
City/PO: Oakbrook		State: IL	Zip Code: 60523
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town Board- Special Use, Planning Board- Site Plan Approval Pure Waters approval, Monroe County Health Department Approval		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.87 acres			
b. Total acreage to be physically disturbed? _____ 0.68 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.87 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Evan Grefell (AGENT)</u> Date: <u>1/18/23</u> Signature: <u><i>Evan R Grefell</i></u> Title: <u>PM</u>		

TAKE 5 OIL CHANGE SITE DEVELOPMENT PLANS

TOWN OF HENRIETTA
COUNTY OF MONROE
STATE OF NEW YORK



LOCATION SKETCH
NOT TO SCALE

PROJECT NAME AND LOCATION

TAKE 5 OIL CHANGE
1300 HYLAN DRIVE,
ROCHESTER, NEW YORK 14623

OPERATOR'S NAME AND ADDRESS

TAKE 5 OIL CHANGE
2450 SEVEM AVE
METAIRIE, LOUISIANA 70001

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES (PERMANENT)

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
- MULCHING EXPOSED AREAS.
- SOIL ROUGHENING.
- FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- PAVEMENT

STRUCTURAL PRACTICES (TEMPORARY)

STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- INLET PROTECTION
- PERIMETER PROTECTION USING SILTATION FENCING
- STABILIZED CONSTRUCTION EXIT POINTS

OTHER CONTROLS

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEEP AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHOULD BE ABOUT SIX (6) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

MATERIALS MANAGEMENT PLAN

MATERIALS COVERED

THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

CONCRETE/ADDITIONS/WASTES	CLEANING SOLVENTS
DETERGENTS	PETROLEUM BASED PRODUCTS
PAINTS/SOLVENTS	PESTICIDES
ACIDS	FERTILIZERS
SOLID AND CONSTRUCTION WASTES	SANITARY WASTES
SOIL STABILIZATION ADDITIVES	

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED.

- GOOD HOUSEKEEPING
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
 - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
 - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- HAZARDOUS PRODUCTS
THESE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.
 - PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED AND USED FOR EACH MATERIAL.
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

PRODUCT SPECIFIC PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE:

- PETROLEUM PRODUCTS:
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ONSITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONTAINMENT STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- FERTILIZERS:
FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.
- CONCRETE WASTES:
CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, BUT ONLY IN EITHER (1) SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE OR (2) IN LOCATIONS WHERE WASTE CONCRETE CAN BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE CONCRETE WASH OUT DIKED AREAS WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT MAY REQUIRE THE USE OF MULTIPLE CONCRETE WASH OUT AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMP'S MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF CONCRETE WASH OUT AREA(S) MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

MATERIALS MANAGEMENT PLAN (CONT.)

- SOLID AND CONSTRUCTION WASTES:
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE (LOCAL ENTITY) THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE CONTAINERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMP'S MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- SANITARY WASTES:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMP'S MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- CONTAMINATED SOILS:
ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.

SPILL PREVENTION AND RESPONSE PROCEDURES

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:
 - ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, PAINTS, SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.
 - THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE.
 - A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED:
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES.
 - THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-429-6281 (1-888-HAZMAT 1) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110, 40 CFR 117, AND 40 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802.
 - IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE RECURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT.
- THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

GENERAL NOTES

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE. CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY SURVEY OFFICE.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNERS REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY (THE COST FOR SUPPORTING UTILITIES SHALL BE INCLUDED IN THE PRICE BID FOR EXCAVATION).
- EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES, NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
- ALL CONSTRUCTION WORK SHALL CONFORM TO TOWN OF HENRIETTA DESIGN AND CONSTRUCTION STANDARDS.

INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 1 of 10)
CA100	EXISTING FEATURES / DEMOLITION PLAN (SHEET 2 of 10)
CA110	SITE PLAN (SHEET 3 of 10)
CA120	UTILITY PLAN (SHEET 4 of 10)
CA130	GRADING, DRAINAGE, AND EROSION CONTROL PLAN (SHEET 5 of 10)
LA100	LANDSCAPE PLAN (SHEET 6 of 10)
EA100	LIGHTING PLAN (SHEET 7 of 10)
CA500	DETAIL SHEET (SHEET 8 of 10)
CA501	DETAIL SHEET (SHEET 9 of 10)
CA502	DETAIL SHEET (SHEET 10 of 10)

PREPARED FOR:
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523



• CIVIL
ENGINEERING
• LAND
SURVEYING
• LANDSCAPE
ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020



TAKE 5 OIL CHANGE SITE DEVELOPMENT PLANS

TOWN OF HENRIETTA
COUNTY OF MONROE
STATE OF NEW YORK

DATE: JANUARY 13, 2023

PROJECT NO. 8826

SHEET NO. GA001

SHEET 01 of 10

LINE & SYMBOL LEGEND

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL

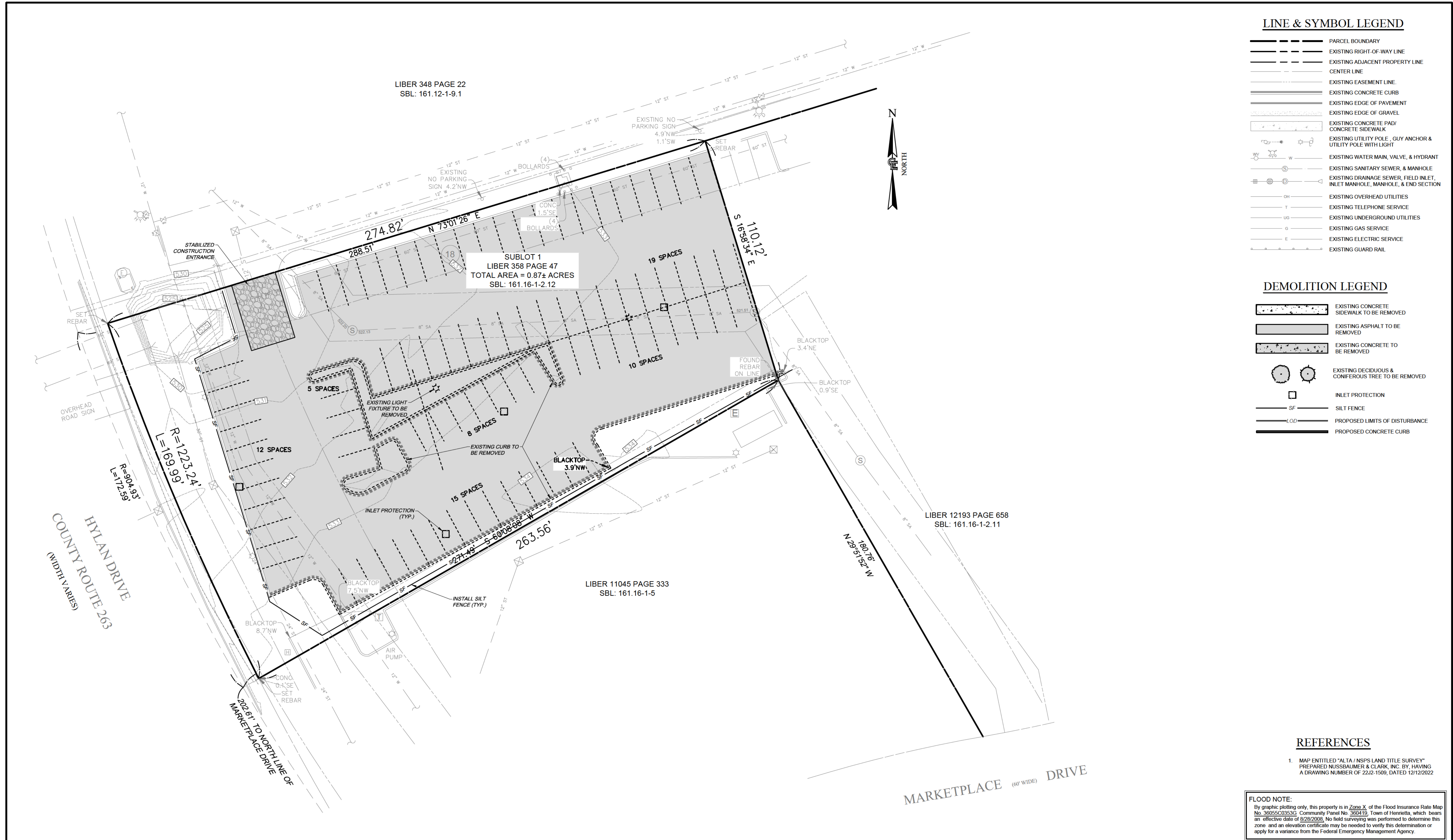
DEMOLITION LEGEND

- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING DECIDUOUS & CONIFEROUS TREE TO BE REMOVED
- INLET PROTECTION
- SF SILT FENCE
- L.O.D. PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CONCRETE CURB

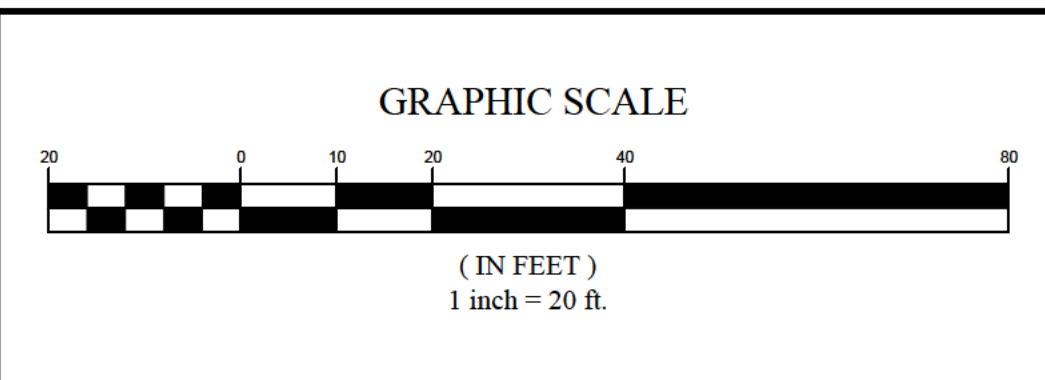
REFERENCES

1. MAP ENTITLED "ALTA / NSPS LAND TITLE SURVEY" PREPARED NUSSBAUMER & CLARK, INC. BY, HAVING A DRAWING NUMBER OF 22J2-1509, DATED 12/12/2022

FLOOD NOTE:
 By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map No. 36055C03533, Community Panel No. 360413, Town of Henrietta, which bears an effective date of 02/28/2006. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

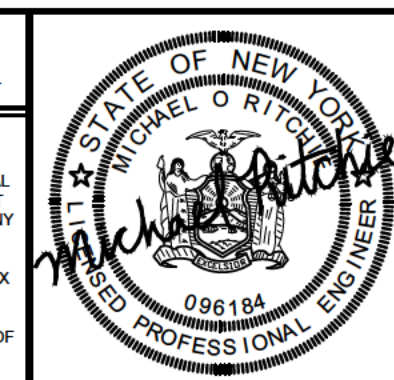


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NO.	DATE	REVISION	BY	CHKD.	APVLS.

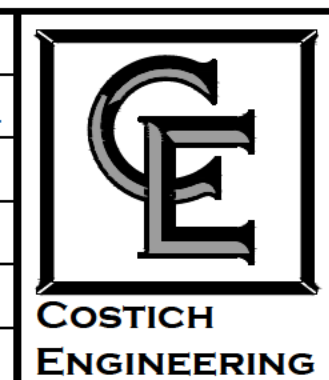
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PROJECT MANAGER
 E.R.G.
 DRAWN BY
 R.C.C./E.L.O.
 BOUNDARY

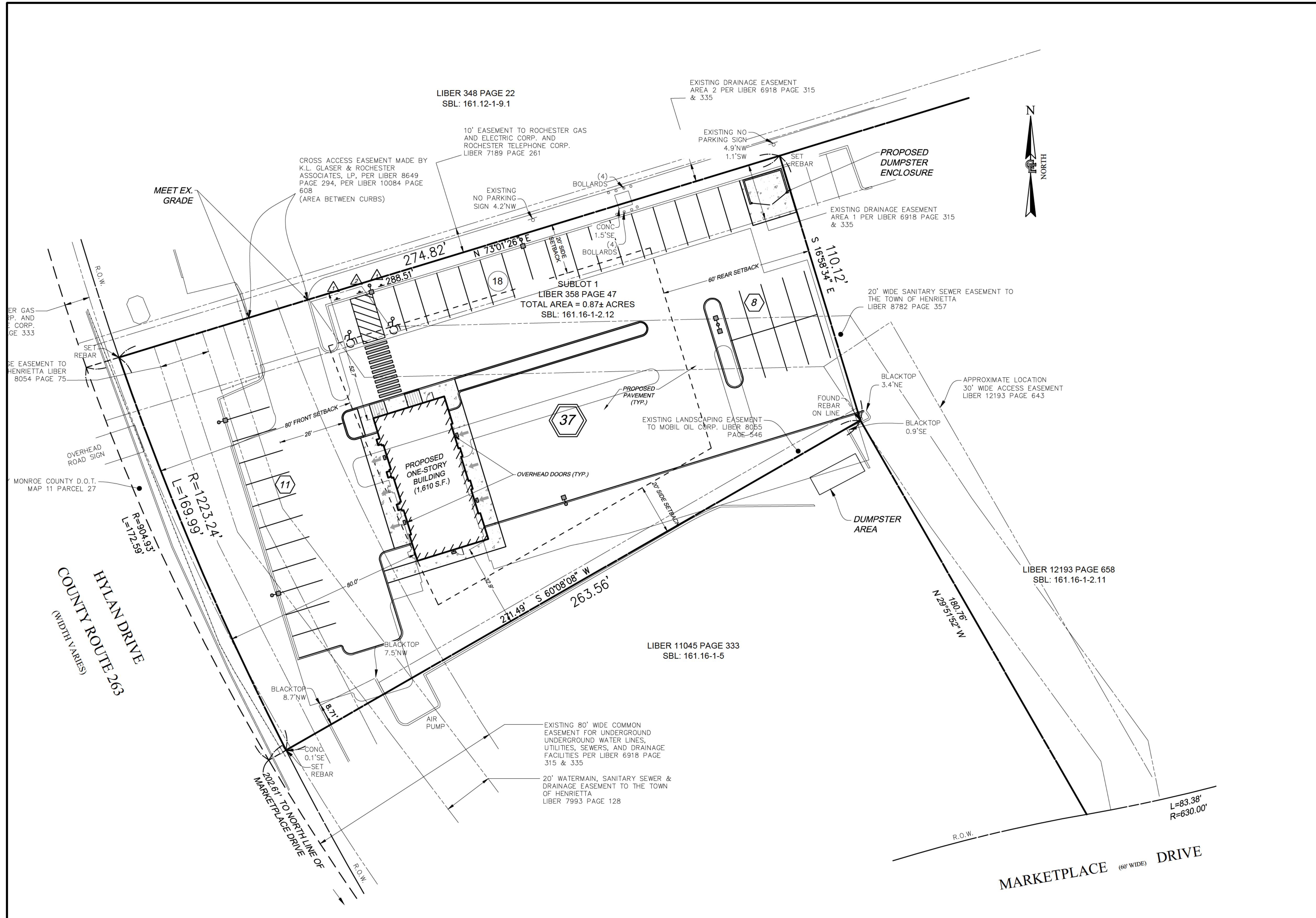
 TOPOBASE

 DATE
 01/13/2023
 SCALE
 1"=20'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

TITLE OF PROJECT
TAKE 5 OIL CHANGE
 1300 HYLAN DRIVE, ROCHESTER, NY
 TITLE OF DRAWING
EXISTING FEATURES / DEMO PLAN
 LOCATION OF PROJECT
 TAX PARCEL NO. 161.160-1-2.12
 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK
 CLIENT
 QUATTRO DEVELOPMENT LLC
 110 JORIE BLVD SUITE 140
 OAKBROOK, ILLINOIS 60523
 DWG # 8826
CA100
 SHEET 2 of 10



SITE LINE LEGEND

	PARCEL BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	MIN. BUILDING SETBACK
	CENTER LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING
	EXISTING CONCRETE CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING CONC. PAD/ CONC. SIDEWALK
	EXISTING GUARD RAIL
	EXISTING TREES, HEDGE, EDGE OF WOODS
	EXISTING STOCKADE & CHAIN LINK FENCE
	EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE CURB
	PROPOSED BUILDING
	PROPOSED SIDEWALK

SITE DATA

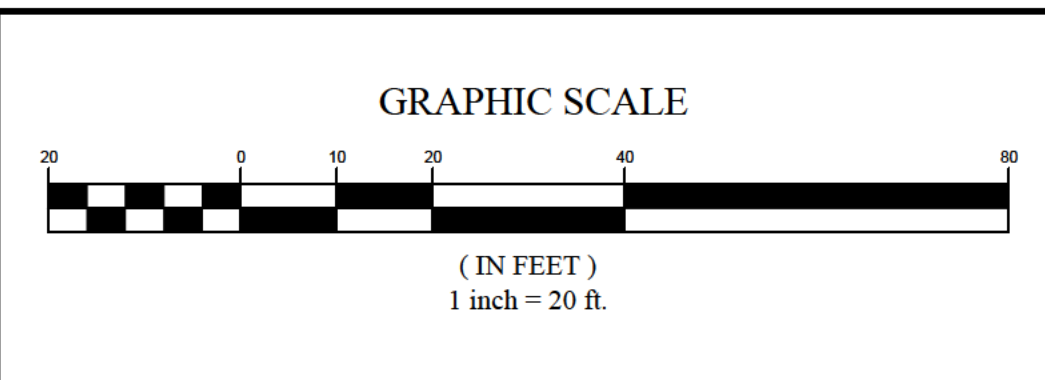
- 1300 Hylan Drive
TAX PARCEL NO. 161.16-1-2.12
TOTAL PARCEL AREA: 0.87± ACRES (37,897 S.F.)
- ZONING: PLANNED COMMERCIAL DEVELOPMENT DISTRICT (PCD)
AUTOMOTIVE REPAIR - SPECIAL USE PERMIT REQUIRED
BUILDING FRONTS Hylan Drive
 - PROPOSED BUILDING S.F. AREA: 1,610±
 - DISTRICT REGULATIONS:
- | REQUIREMENTS | REQUIRED | PROPOSED |
|-------------------------|----------|-----------|
| FRONT | 80' | 80' |
| SIDE | 20' | 30' |
| REAR | 60' | 15' |
| LANDSCAPING (SIDE YARD) | 5' | 5' (MIN.) |
- PARKING SPACE REQUIREMENT:
AUTOMOTIVE REPAIR: 1 SPACE/400 S.F. FLOOR AREA = 1400 x 1,610 = 5 SPACES
TOTAL PARKING REQUIRED = 5 PARKING SPACES
PARKING PROVIDED:
ADA/HANDICAP: 2 SPACES
TOTAL PARKING SPACES: 37 SPACES
 - GREEN SPACE: 0.26 ACRES

SIGN LEGEND

SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT	QNT.
1	RESERVED PARKING	NY R7-8	12"x18" BLUE AND GREEN ON WHITE	"C"	7'-0"	2
2	NO PARKING ANY TIME	R7-1	12"x18" RED ON WHITE	"C"	7'-0"	1
3	VAN ACCESSIBLE	R7-8B	12"x6" WHITE ON BLUE	"C"	7'-0"	-
4	STOP	R4-C	30"x30" OCTAGONAL WHITE ON RED	"A"	7'-0"	-
5	NO MOTOR VEHICLES ENTER	R5-1	30"x30" RED ON WHITE	"C"	7'-0"	-



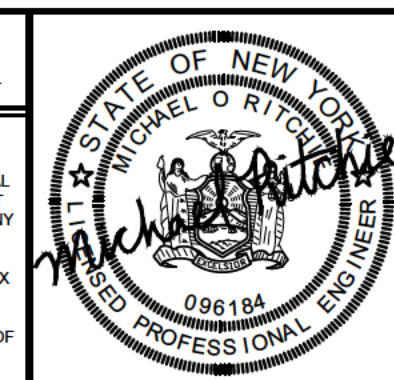
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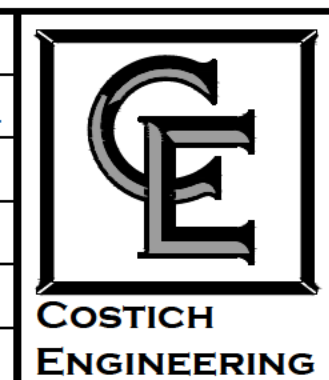
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PROJECT MANAGER
E.R.G.
DRAWN BY
R.C.C./E.L.O.
BOUNDARY

TOPBASE

DATE
01/13/2023
SCALE
1"=20'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT: TAKE 5 OIL CHANGE
1300 Hylan Drive, ROCHESTER, NY

TITLE OF DRAWING: SITE PAVEMENT & MARKING PLAN

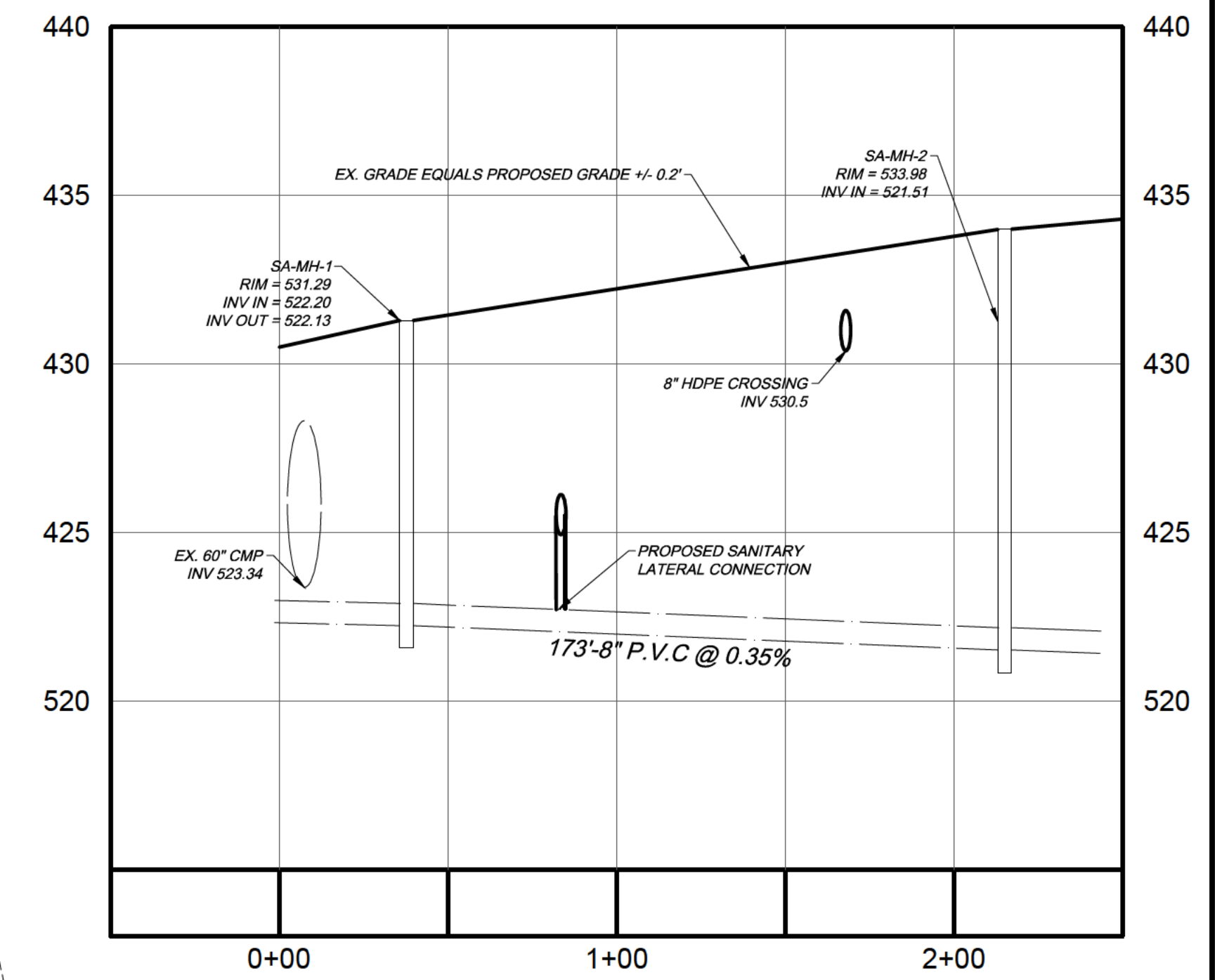
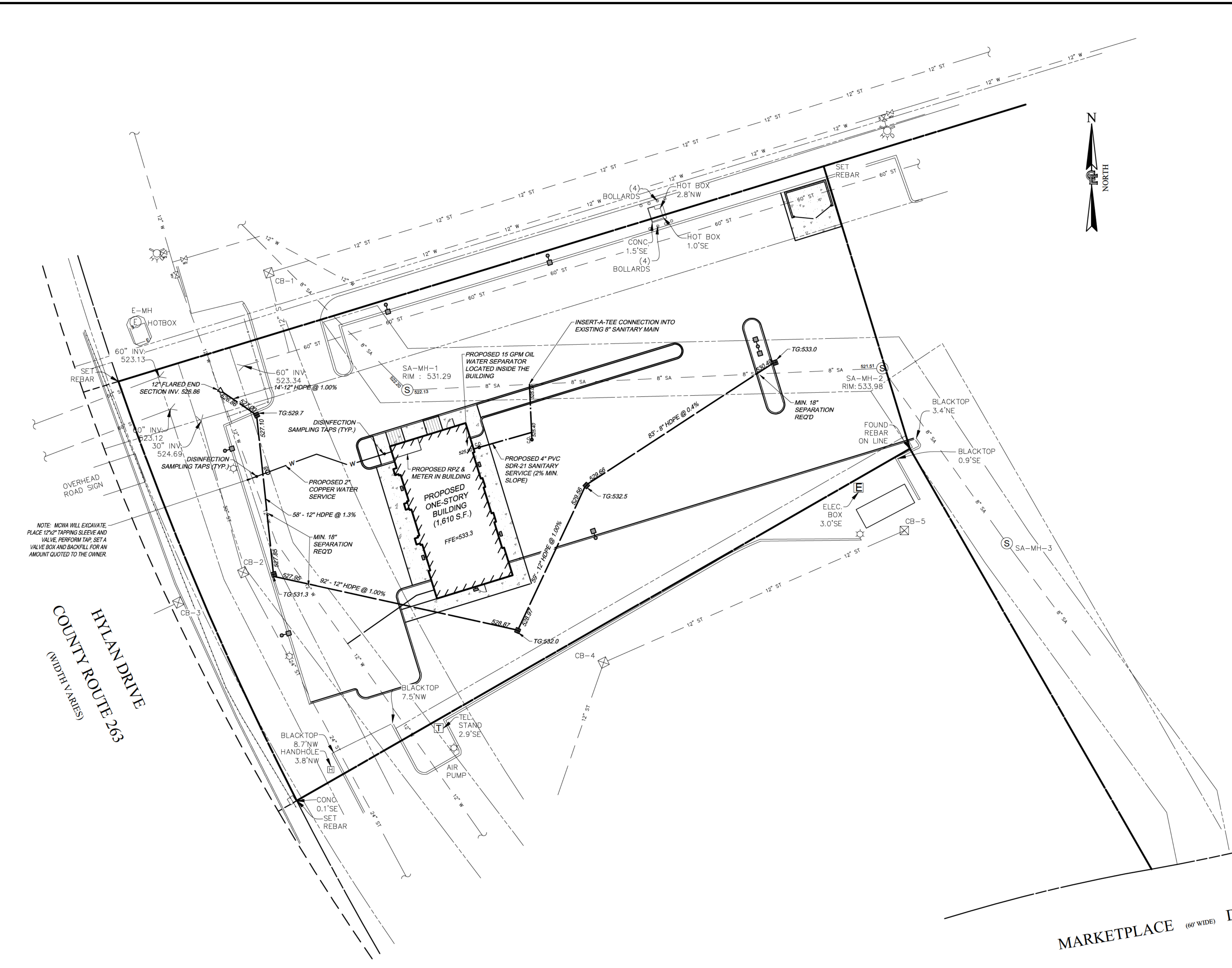
LOCATION OF PROJECT: TAX PARCEL NO. 161.160-1-2.12
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

CLIENT: QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG # 8826
CA110
SHEET 3 of 10

UTILITY LINE LEGEND

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE PAD/
CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR &
UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET,
INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL
- PROPOSED WATER MAIN, VALVE, & HYDRANT
- PROPOSED SANITARY SEWER, & MANHOLE
- PROPOSED DRAINAGE SEWER, FIELD INLET,
INLET MANHOLE, MANHOLE, & END SECTION
- PROPOSED OVERHEAD UTILITIES
- PROPOSED TELEPHONE
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE



PROFILE ALONG
SANITARY SEWER SA MH-1 TO SA MH-2
SCALE: VER. 1"=50' / HOR. 1"=5'

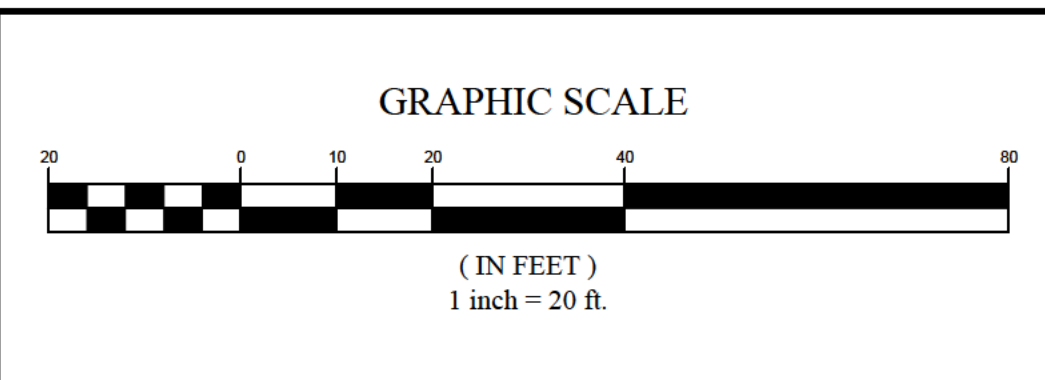
NOTE: MOVA WILL EXCAVATE, PLACE 12"x2" TAPPING SLEEVE AND VALVE, PERFORM TAP, SET A VALVE BOX AND BACKFILL FOR AN AMOUNT QUOTED TO THE OWNER.

Hylan Drive
County Route 263
(Width Varies)

Marketplace (60' Wide) Drive

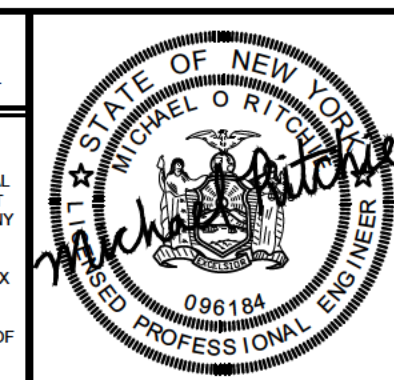


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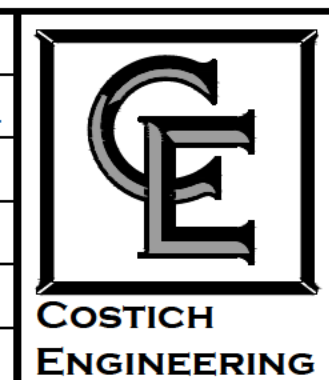
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PROJECT MANAGER
E.R.G.
DRAWN BY
R.C.C./E.L.O.
BOUNDARY

TOP/BASE

DATE
01/13/2023
SCALE
1"=20'



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

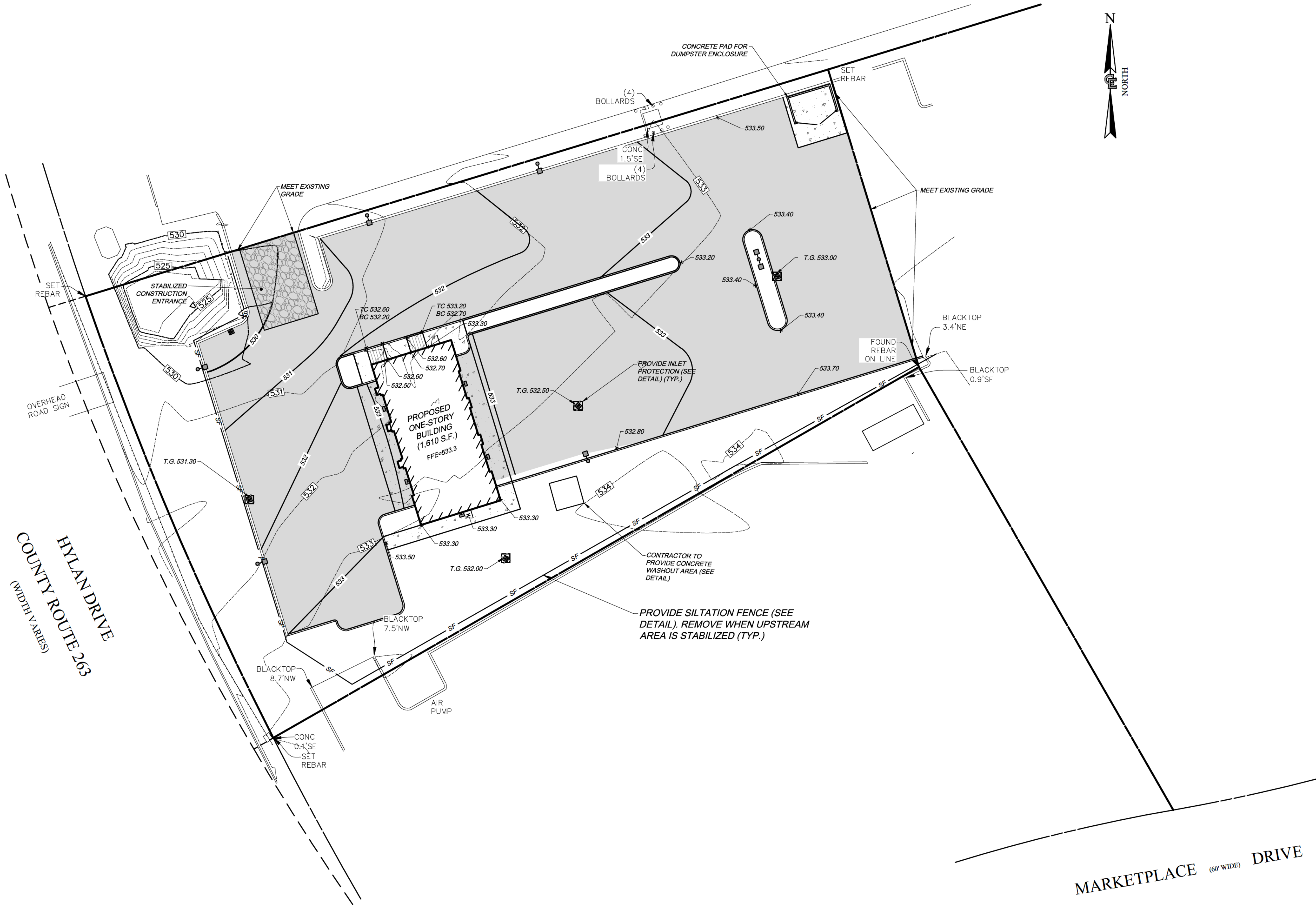
TITLE OF PROJECT
TAKE 5 OIL CHANGE
1300 Hylan Drive, Rochester, NY
TITLE OF DRAWING
UTILITY PLAN
LOCATION OF PROJECT
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK
TAX PARCEL NO. 161.160-1.2.12
CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523
DWG # 8826
CA120
SHEET 4 of 10

GRADING LINE LEGEND

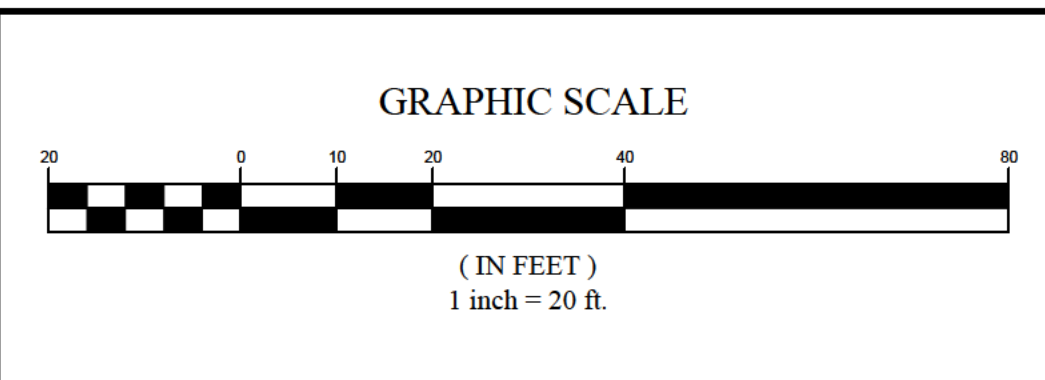
- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/
CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR &
UTILITY POLE WITH LIGHT
- TREES, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- EXISTING STOCKADE &
CHAIN LINKED FENCE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION @ x
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION @ x
- SILT FENCE
- ORANGE SAFETY FENCE
- COMPOST FILTER SOCK
- LIMIT OF DISTURBANCE
- PROPOSED INLET PROTECTION

LEGEND

- STANDARD DUTY PAVEMENT



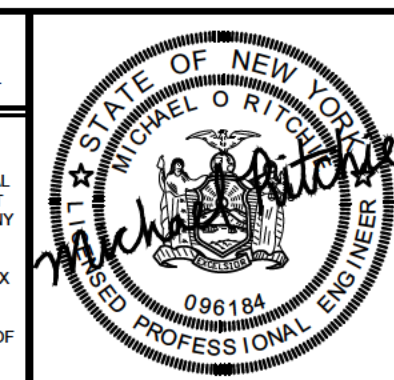
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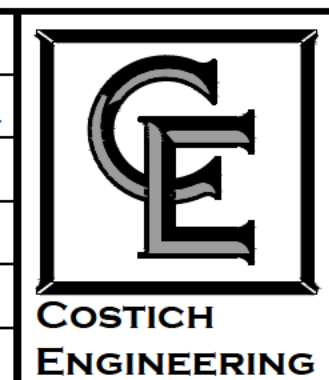
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E.R.G.
DRAWN BY
R.C.C./E.L.O.
BOUNDARY

TOPBASE

DATE
01/13/2023
SCALE
1"=20'



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT
TAKE 5 OIL CHANGE
1300 HYLAN DRIVE, ROCHESTER, NY

TITLE OF DRAWING
GRADING, DRAINAGE &
EROSION CONTROL

LOCATION OF PROJECT
TAX PARCEL NO. 161.160-1-2.12
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG # 8826
CA130
SHEET 5 of 10

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
DECIDUOUS TREES						
3	Ag	AUTUMN BRILLIANCE SERVICEBERRY	SERVICEBERRY	1.75-2' CAL.	BB	HT. 20-25', SP. 15-20'
2	At	ACER TRUNCATUM X A. PLATANOIDES 'KEITHFORM'	NORWEGIAN SUNSET MAPLE	3-3.5' CAL.	BB	HT. 30-35', SP. 20-25'
2	Gb	GINKGO BILOBA (MALE ONLY)	MAINDENHAIR TREE	3-3.5' CAL.	BB	HT. 50-80', SP. 30-40'
EVERGREEN TREES						
3	Js	JUNIPERUS SCOPOLORUM 'WITCHITA BLUE'	WITCHITA BLUE JUNIPER	6-8' HT. MIN.	BB	HT. 10-15', SP. 4-6'
SHRUBS						
13	Cs	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	24" MIN. HT.	CONT.	HT. 3-4', SP. 3-4'
12	Tx	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	24" MIN. HT.	CONT.	HT. 3-4', SP. 4-6'
GRASSES, PERENNIALS, GROUND COVERS						
16	Eb	ECHINACEA X 'BALSOMSED'	SOMBRERO SALSA RED CONEFLOWER	NO. 2	CONT.	HT. 1-2', SP. 1-2'
11	Hm	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 2	CONT.	HT. 1-2', SP. 1-2'
35	Pa	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	NO. 3	CONT.	HT. 2-3', SP. 2-3'

ABBREVIATIONS:
 BB-BALLED & BURLAPPED
 BR-BARE ROOT
 CAL=CALIPER IN INCHES
 CONT=CONTAINER
 HT=HEIGHT
 NO.=GALLON SIZE
 SP=SPREAD

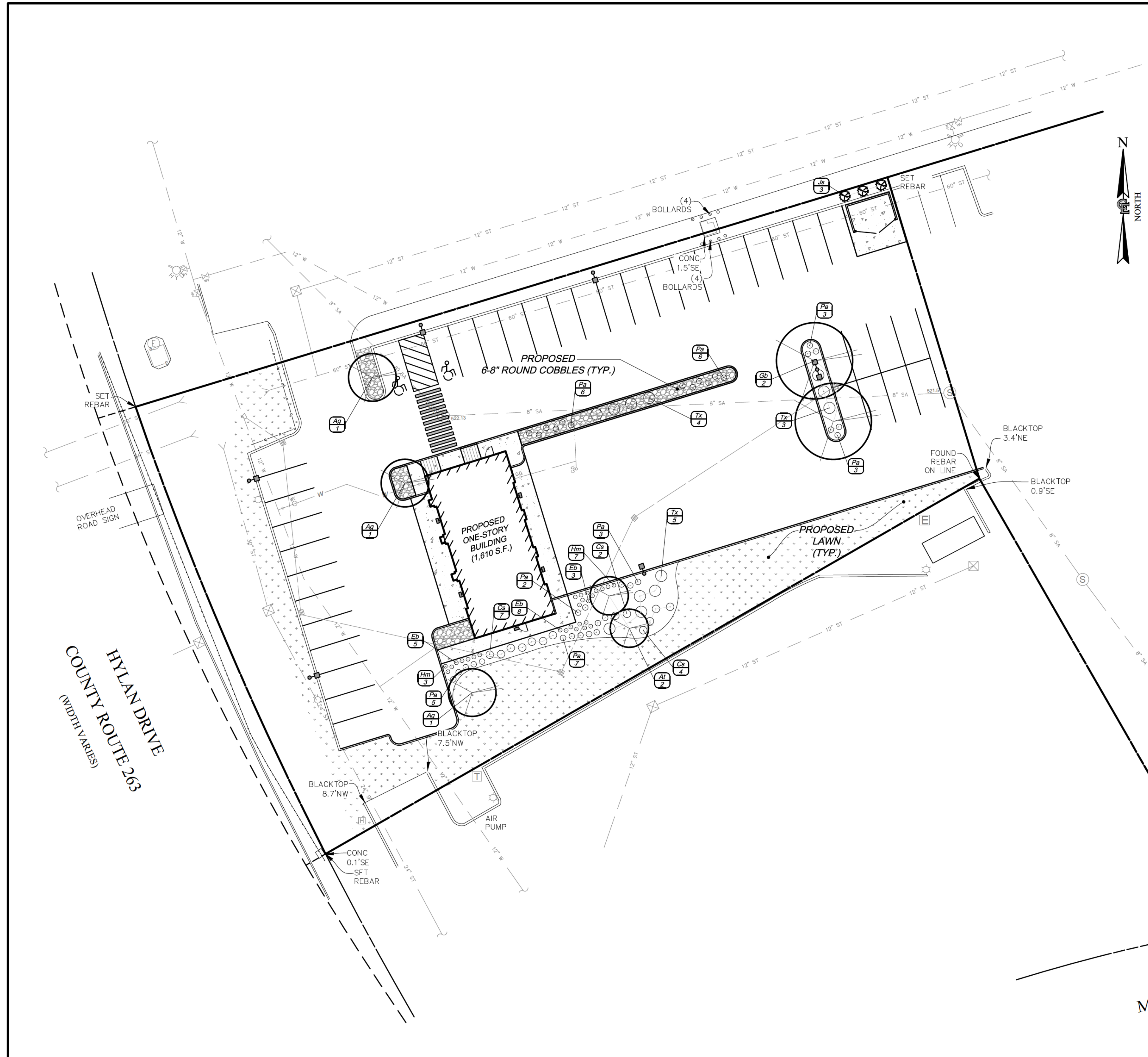
NOTES:
 - CALIPER TO BE MEASURED 6" ABOVE GRADE
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

LEGEND

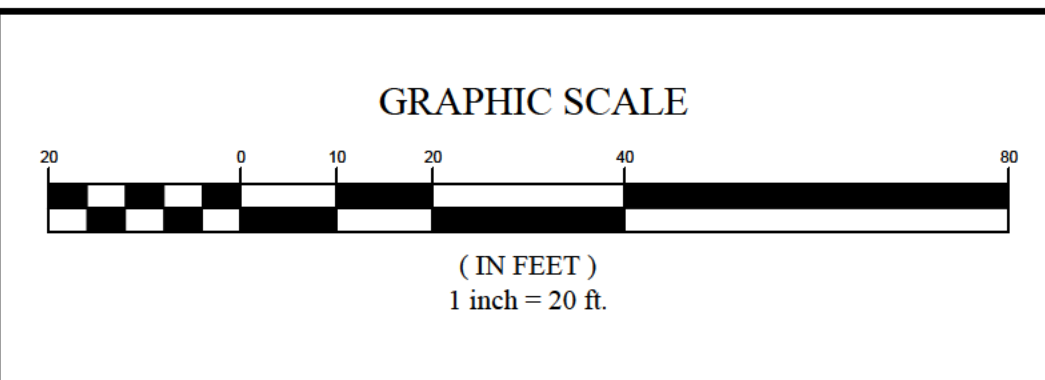
AREAS TO RECEIVE 6" OF TOPSOIL AND TO BE SEED WITH SPECIFIED LAWN MIX

LANDSCAPE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
- THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
- LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
- A THREE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF PROVISIONAL ACCEPTANCE.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
- ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" LAYER OF 3-6" RIVER STONE MULCH.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEED WITH SPECIFIED LAWN MIX.



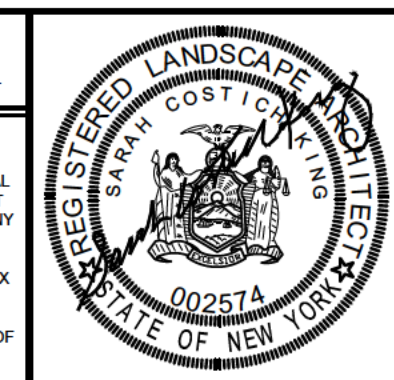
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NO.	DATE	REVISION	BY	CHKD.	APVLS.

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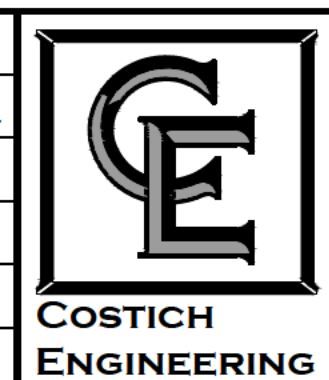
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PROJECT MANAGER
 E.R.G.
 DRAWN BY
 R.C.C./E.L.O.
 BOUNDARY

 TOPOBASE

 DATE
 01/13/2023
 SCALE
 1"=20'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

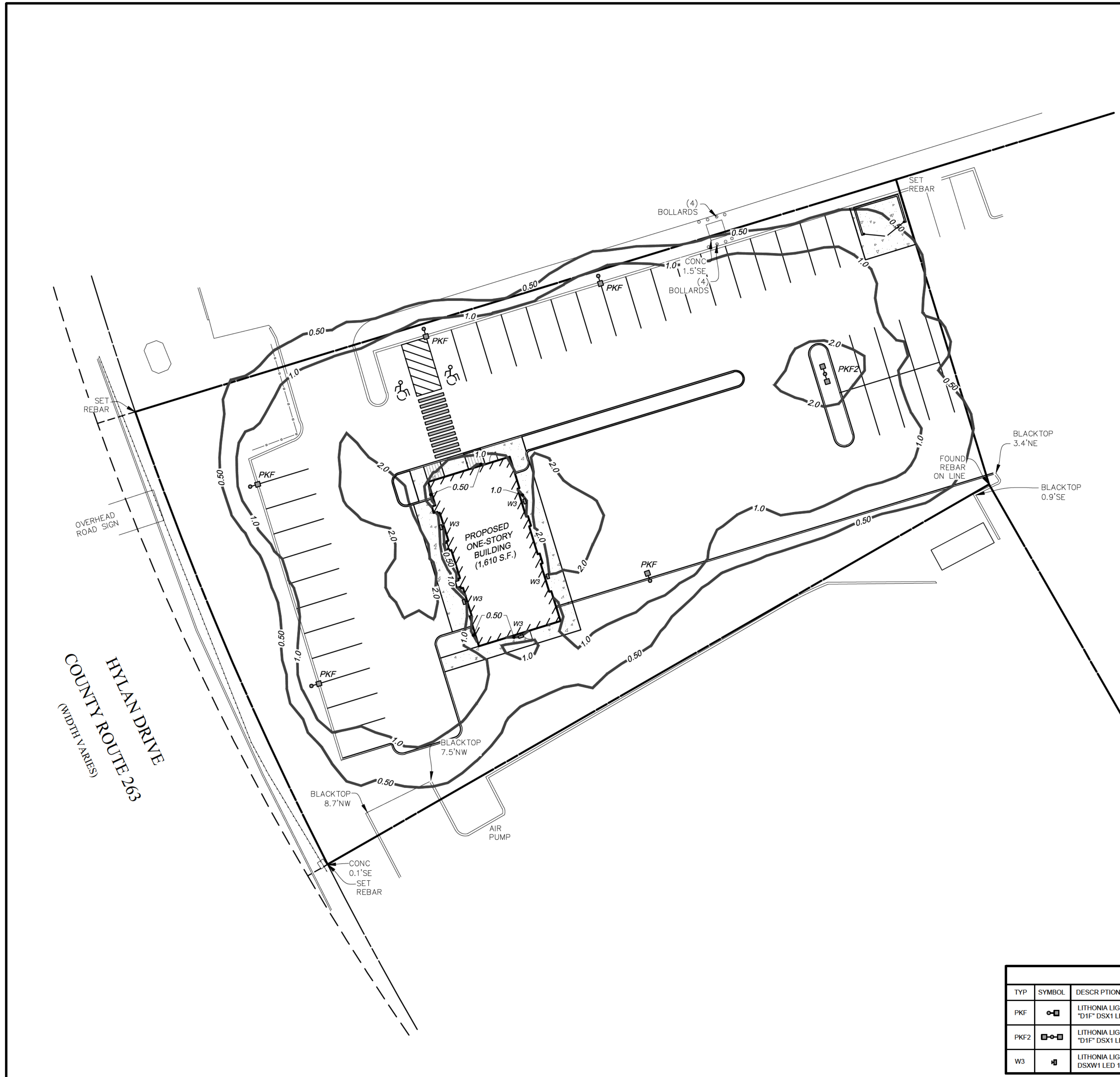
TITLE OF PROJECT
TAKE 5 OIL CHANGE
 1300 HYLAN DRIVE, ROCHESTER, NY

TITLE OF DRAWING
LANDSCAPE PLAN

LOCATION OF PROJECT
 TAX PARCEL NO. 161.160-1-2.12
 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
 QUATTRO DEVELOPMENT LLC
 110 JORIE BLVD SUITE 140
 OAKBROOK, ILLINOIS 60523

OWG # 8826
LA100
 SHEET 6 of 10

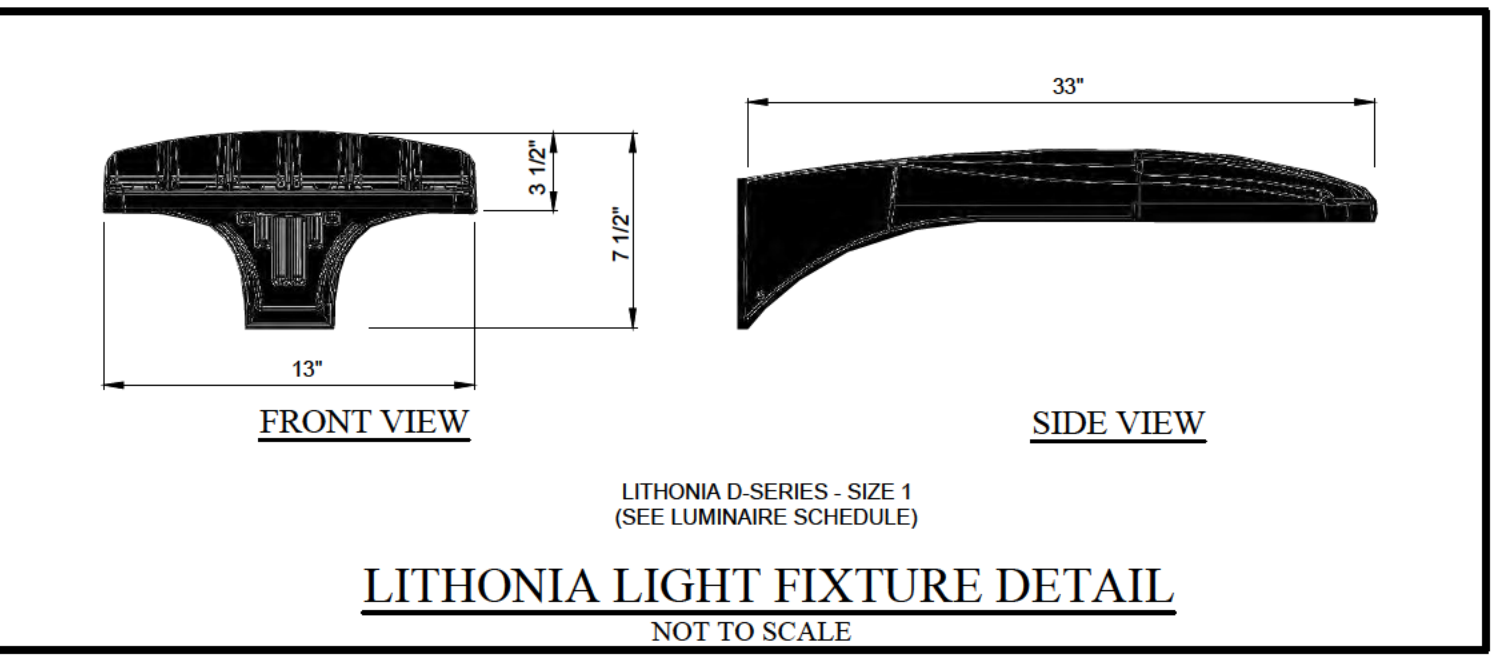


LINE & SYMBOL LEGEND

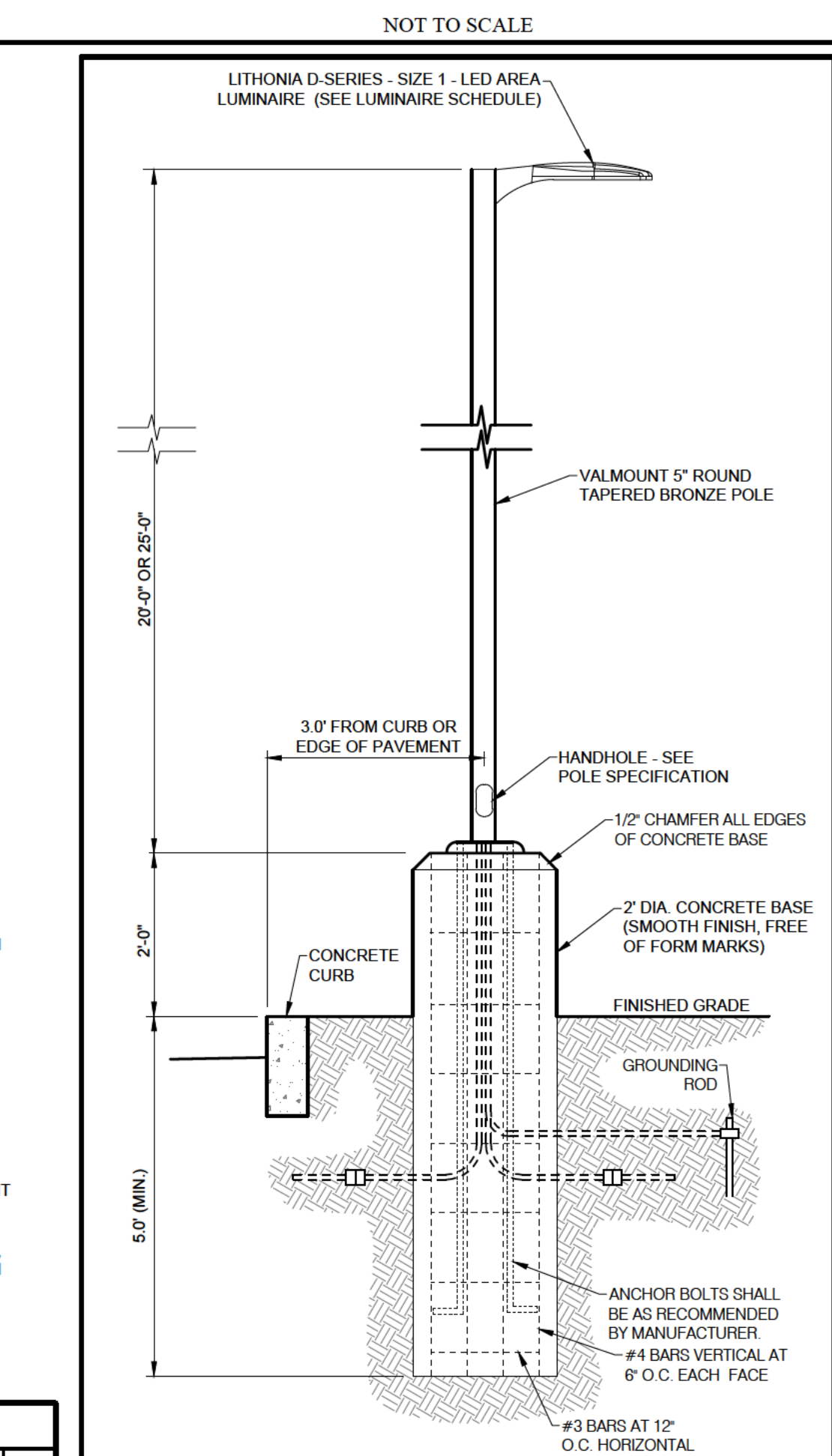
- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING CENTER LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL
- PROPOSED WATER MAIN, VALVE, & HYDRANT
- PROPOSED SANITARY SEWER, & MANHOLE
- PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION

LUMINAIRE SCHEDULE

TYP	SYMBOL	DESCR PTION	LAMP	LUMENS	POLE/BASE/MTG HGT.	LLF	QTY
PKF	[Symbol]	LITHONIA LIGHTING FORWARD THROW (1) "D1F" DSX1 LED P2 40K TFM MVOLT HS	(1) LED	19364	22 feet / 2 feet / 24 feet	0.85	5
PKF2	[Symbol]	LITHONIA LIGHTING FORWARD THROW (2) "D1F" DSX1 LED P2 40K TFM MVOLT HS	(2) LED	19364	22 feet / 2 feet / 24 feet	0.85	1
W3	[Symbol]	LITHONIA LIGHTING WALL TYPE 2 (1) "W13" DSXW1 LED 10C 530 30K T3M MVOLT HS	(1) LED	4707	N.A. / N.A. / 14 feet	0.85	5



Width: 13-3/4" (34.9 cm)	Weight: 12 lbs (5.4 kg)	Width: 13-3/4" (34.9 cm)	BBW Weight: 5 lbs (2.3 kg)
Depth: 10" (25.4 cm)		Depth: 4" (10.2 cm)	ELCW Weight: 10 lbs (4.5 kg)
Height: 6-3/8" (16.2 cm)		Height: 6-3/8" (16.2 cm)	

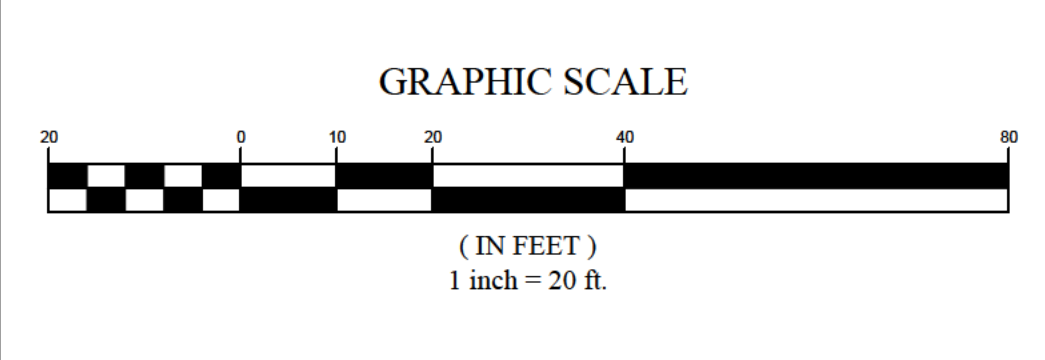


NOTES:
-REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS.
-ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC AS NECESSARY.

LITHONIA LIGHT POLE AND FIXTURE DETAIL
NOT TO SCALE

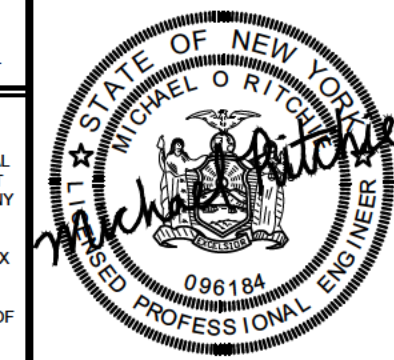


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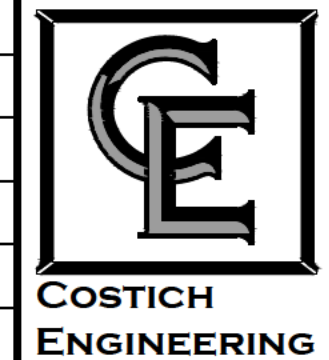
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PROJECT MANAGER
E.R.G.
DRAWN BY
R.C.C.
BOUNDARY

TOP/BASE

DATE
01/13/2023
SCALE
1"=20'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

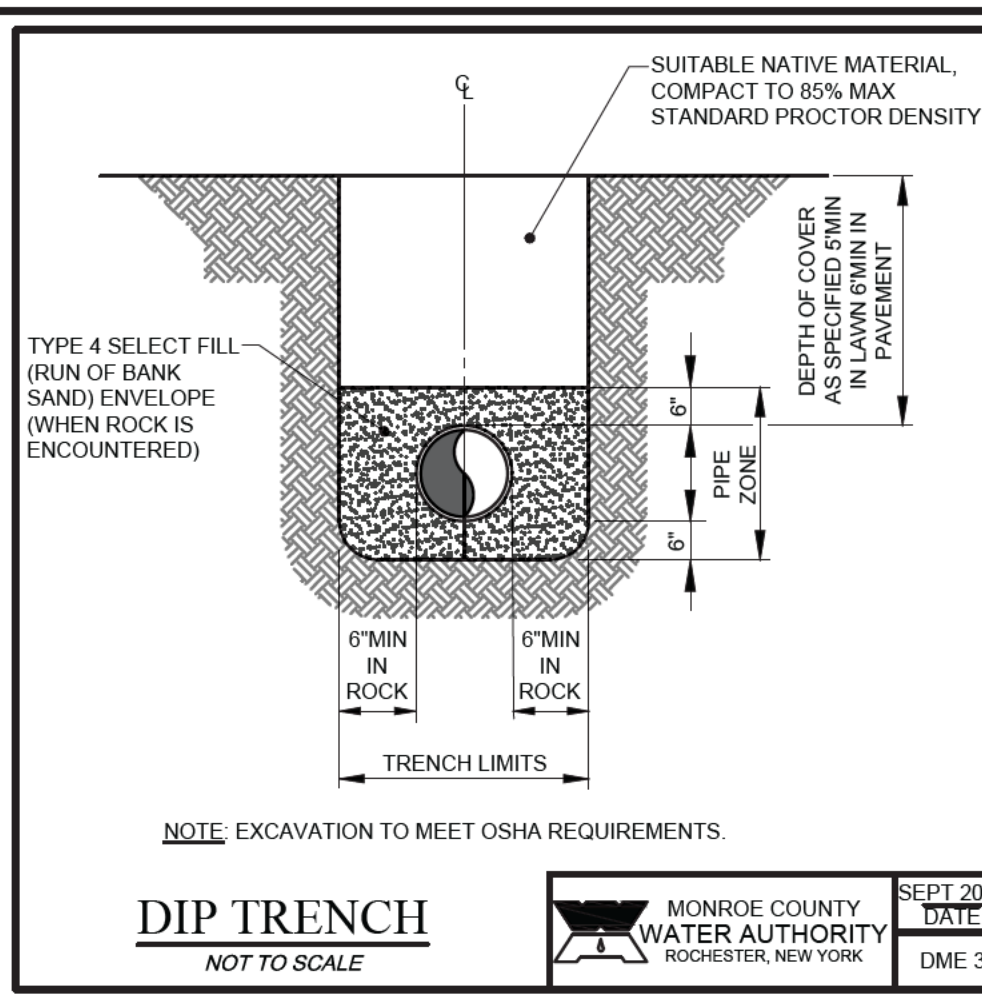
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TAKE 5 OIL CHANGE
1300 Hylan Drive, ROCHESTER, NY

TITLE OF DRAWING
LIGHTING PLAN

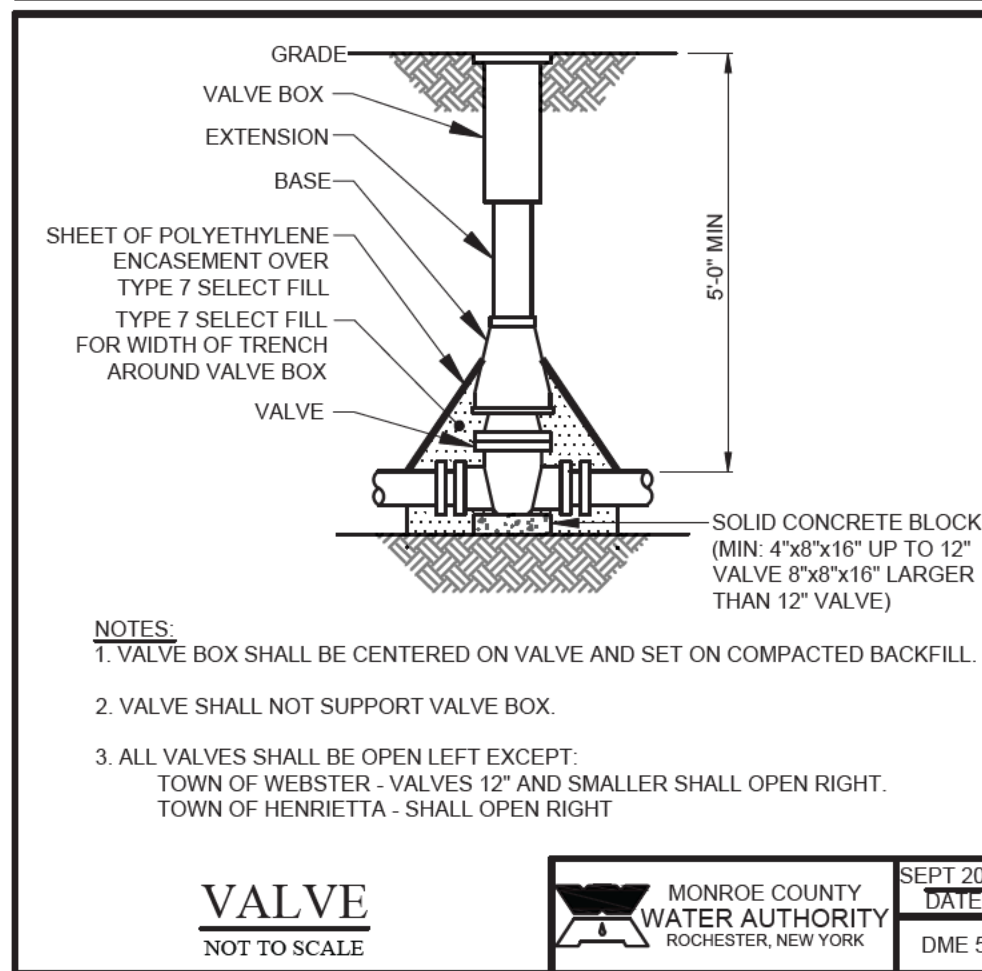
LOCATION OF PROJECT
TAX PARCEL NO. 161.160-1-2.12
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

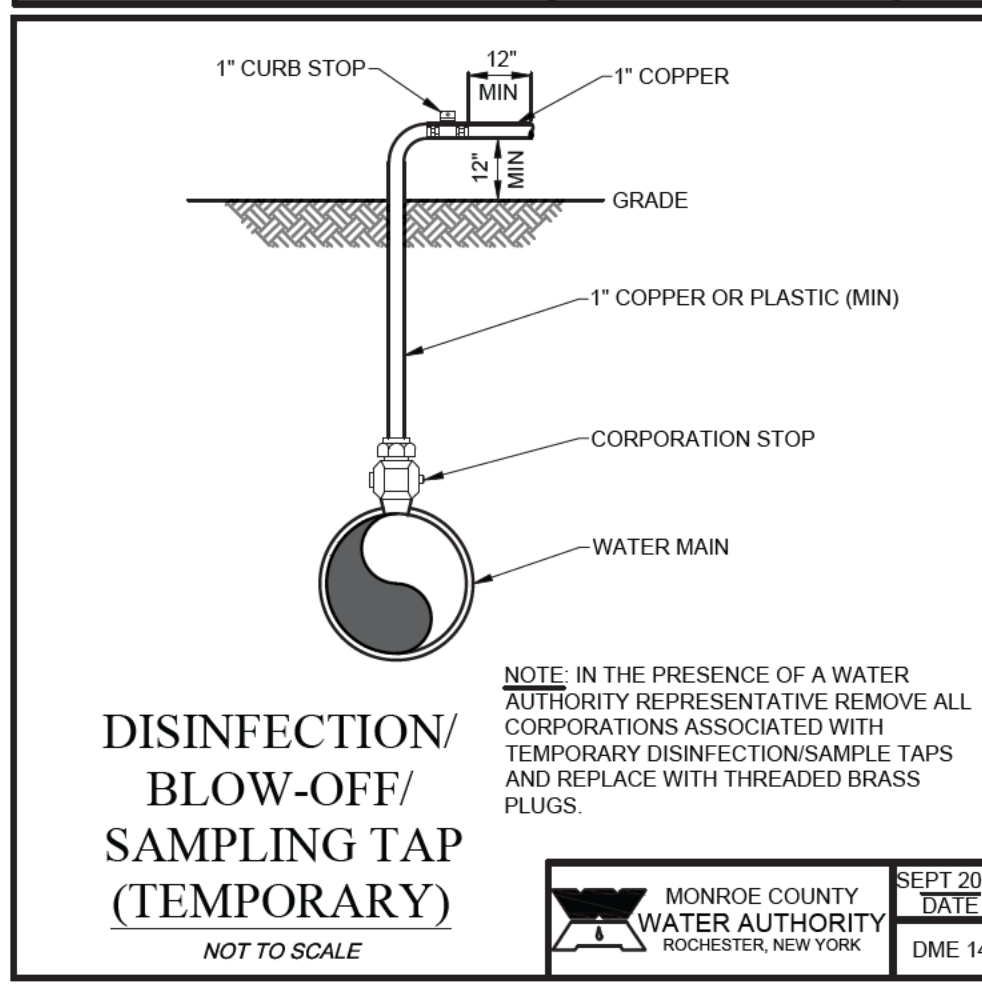
DWG # 8826
EA100
SHEET 7 of 10



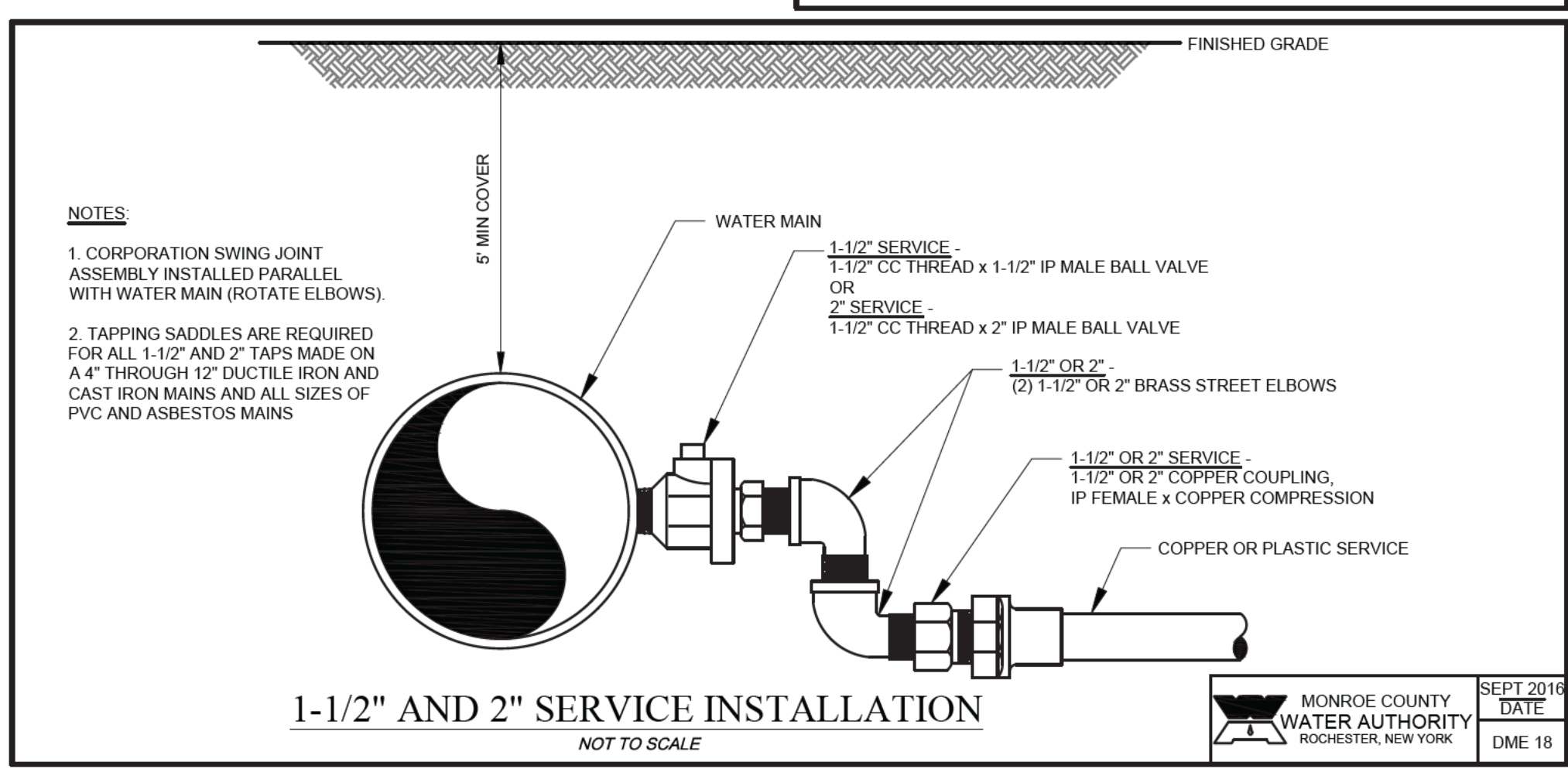
MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 3



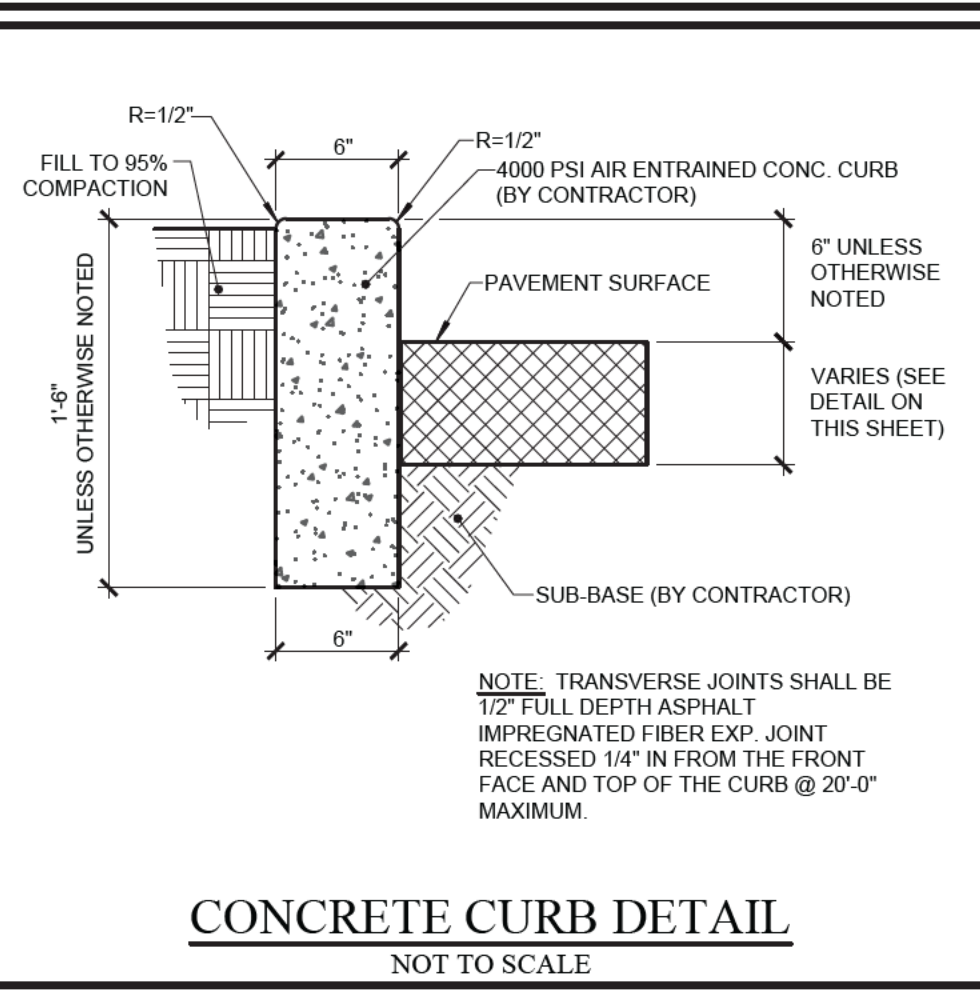
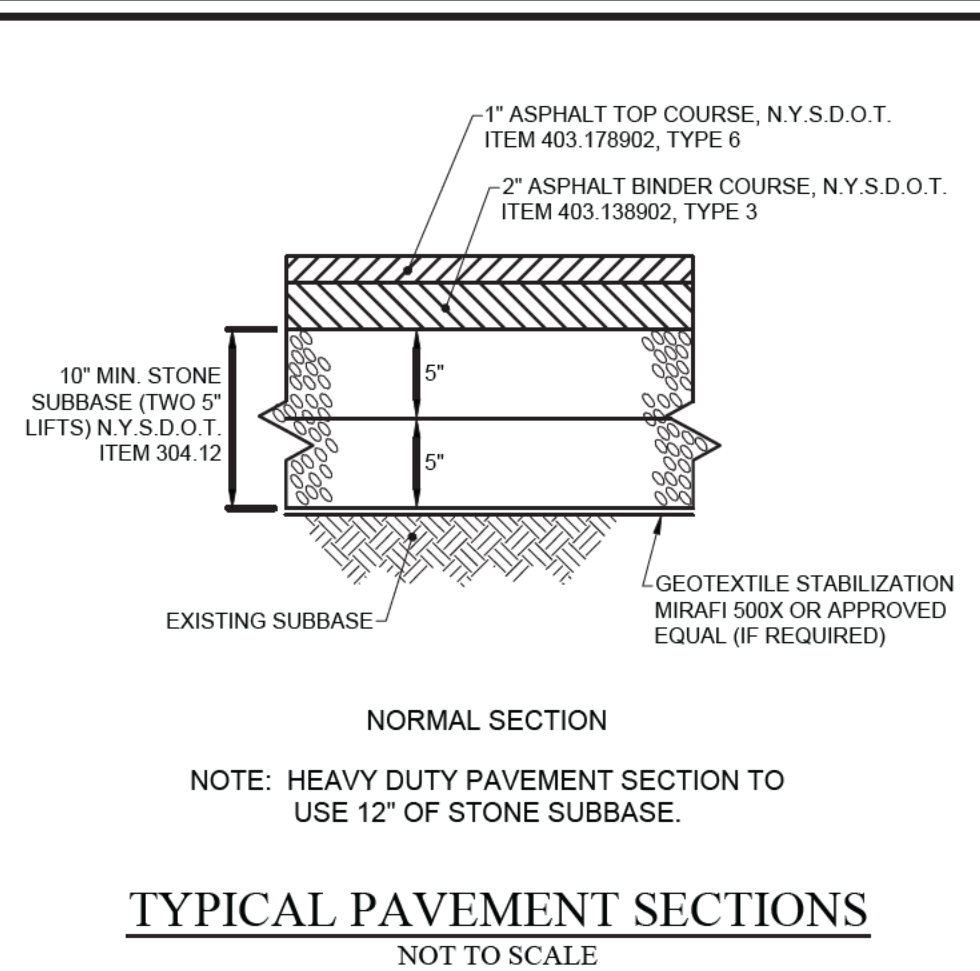
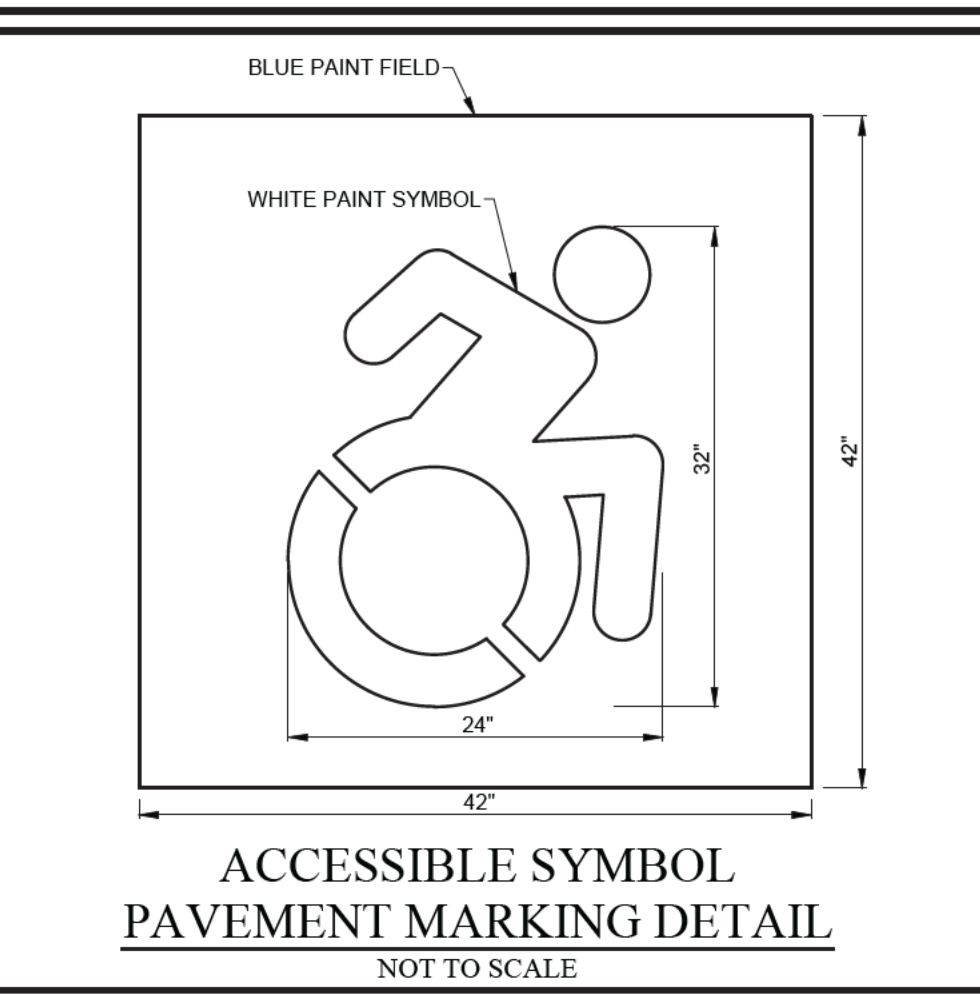
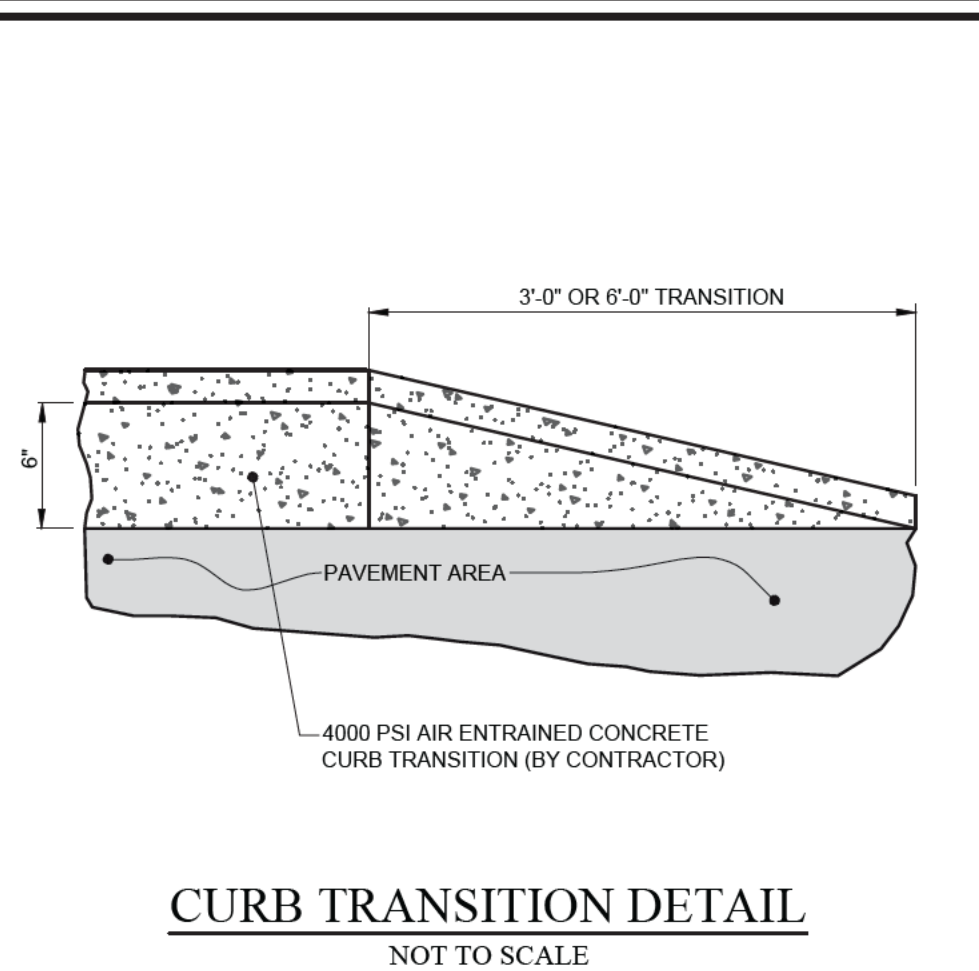
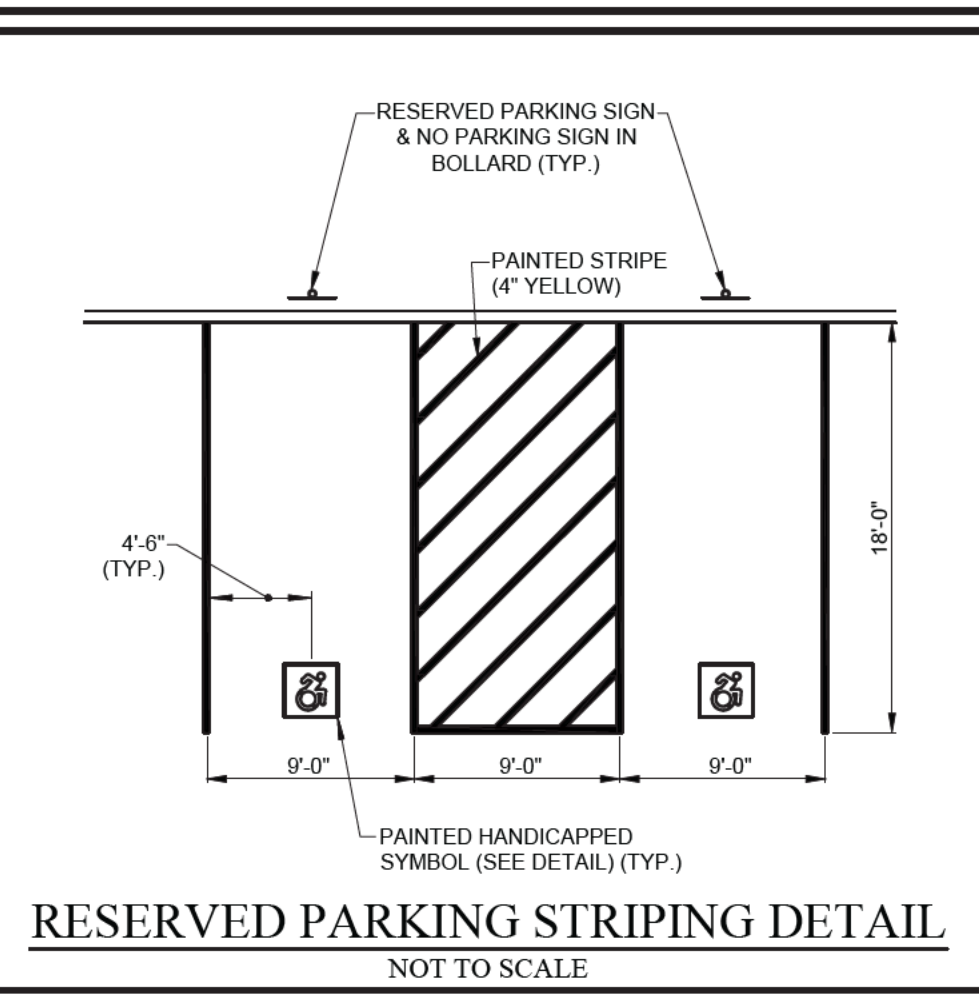
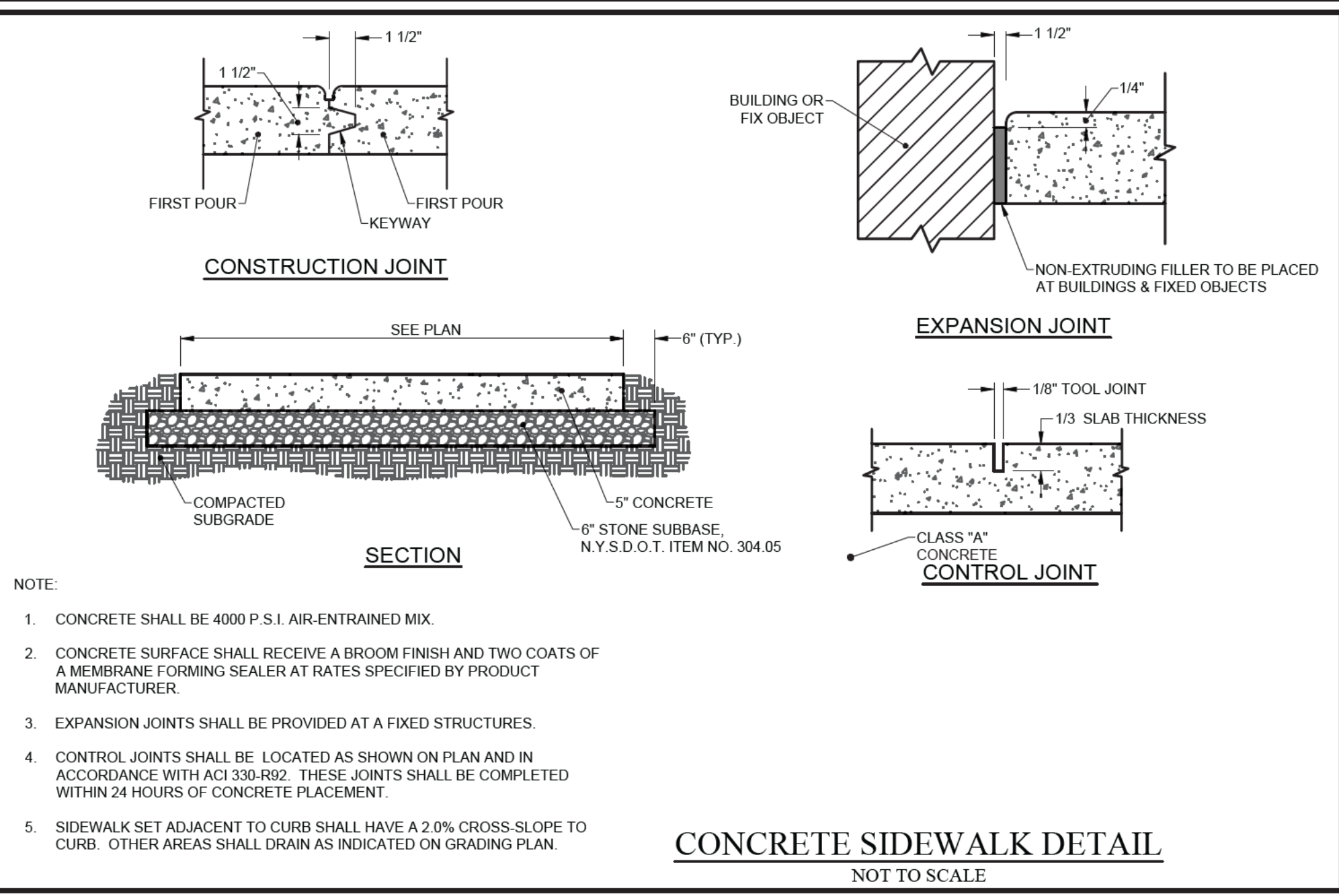
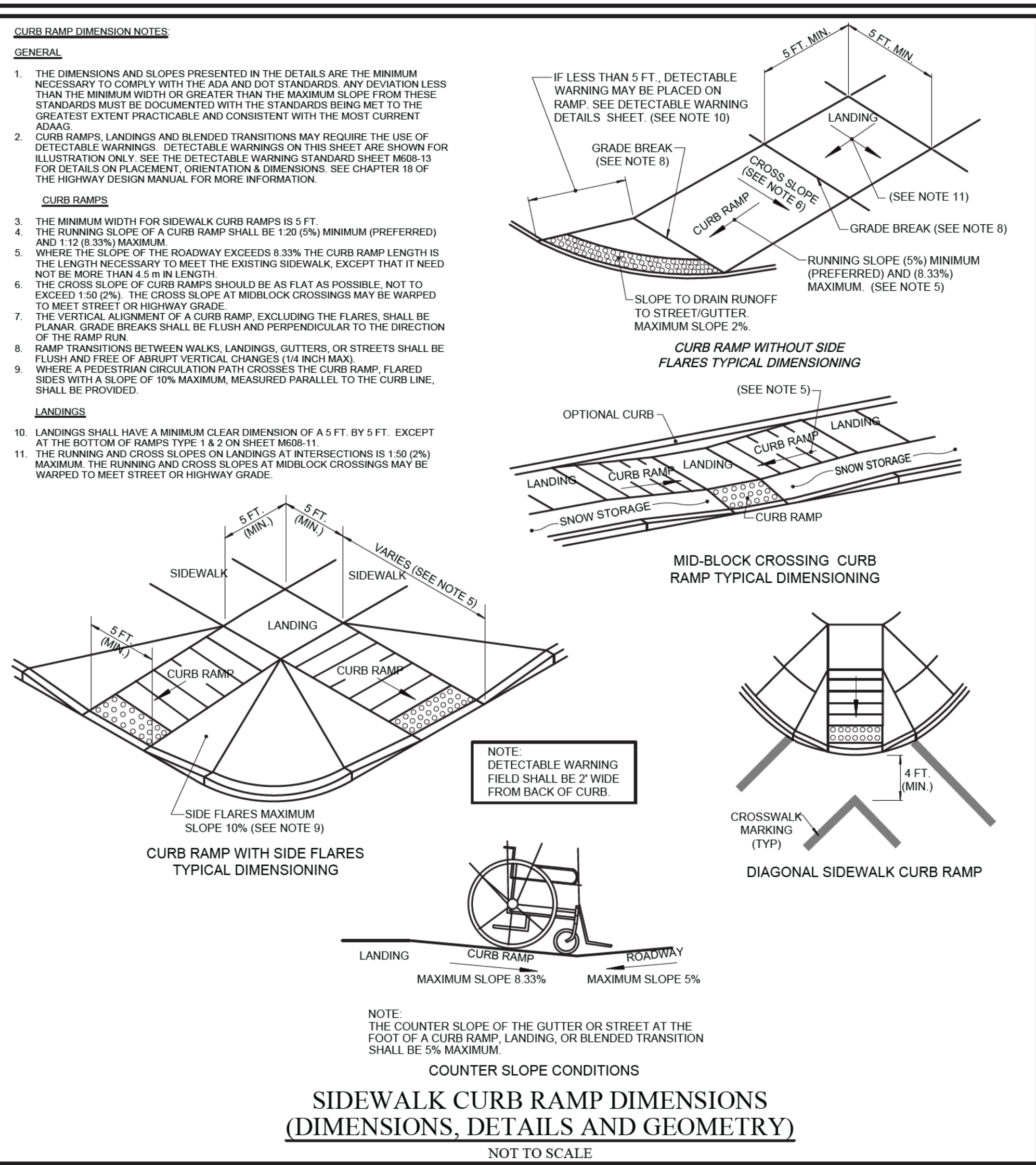
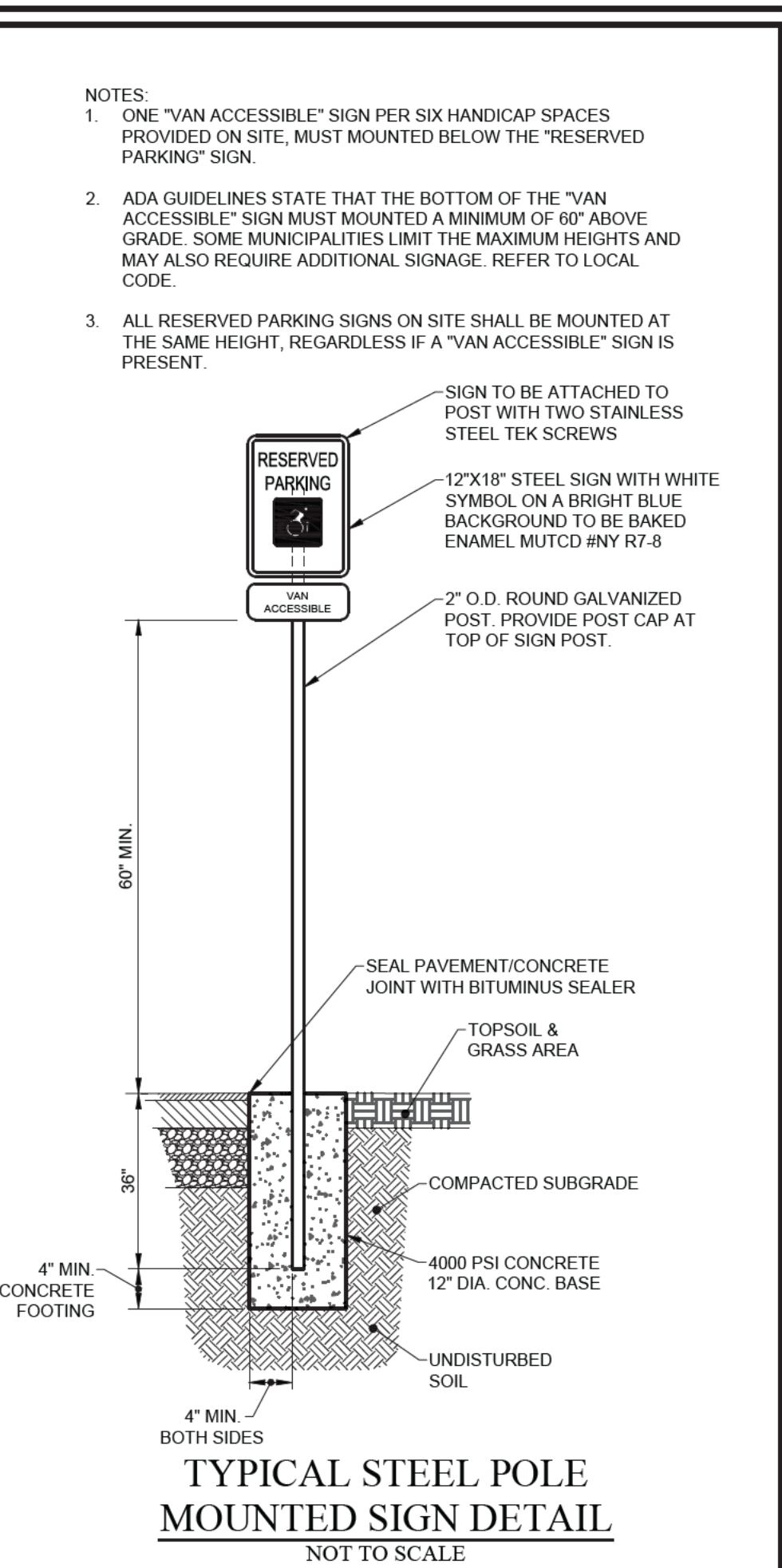
MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 5



MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 14



MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK
SEPT 2016 DATE
DME 18



NO.	DATE	REVISION	BY	CHKD.	APVLS.

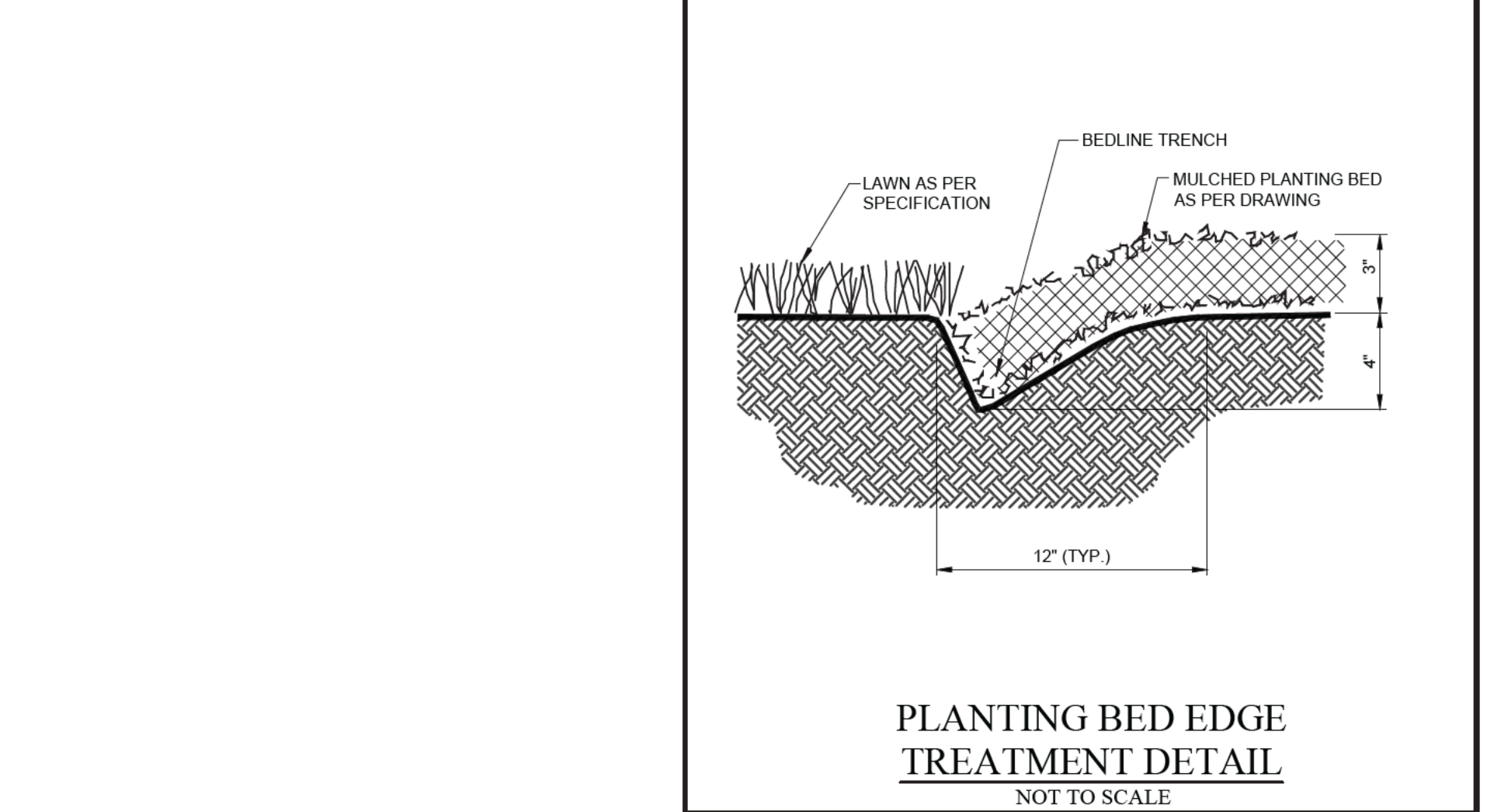
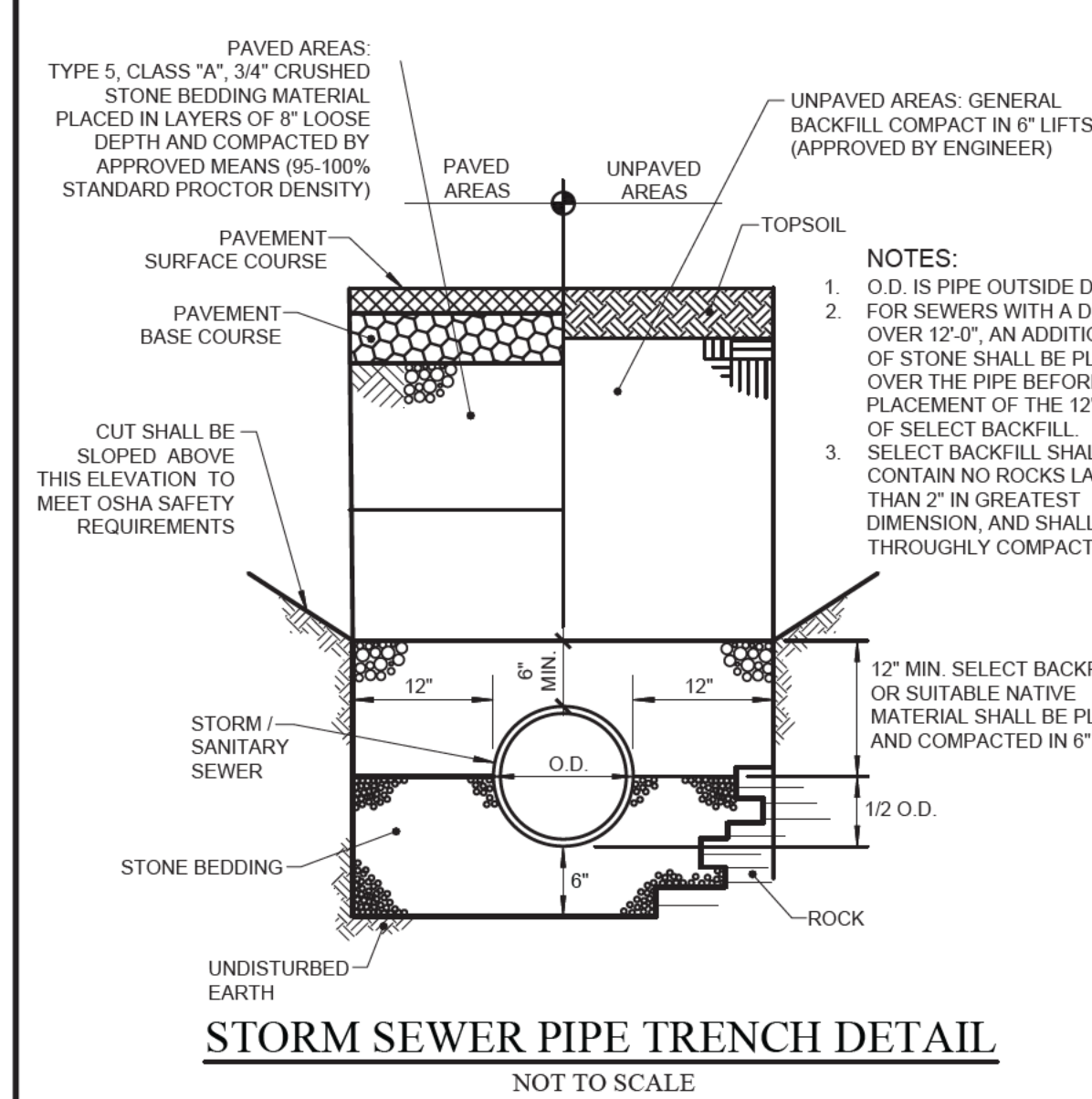
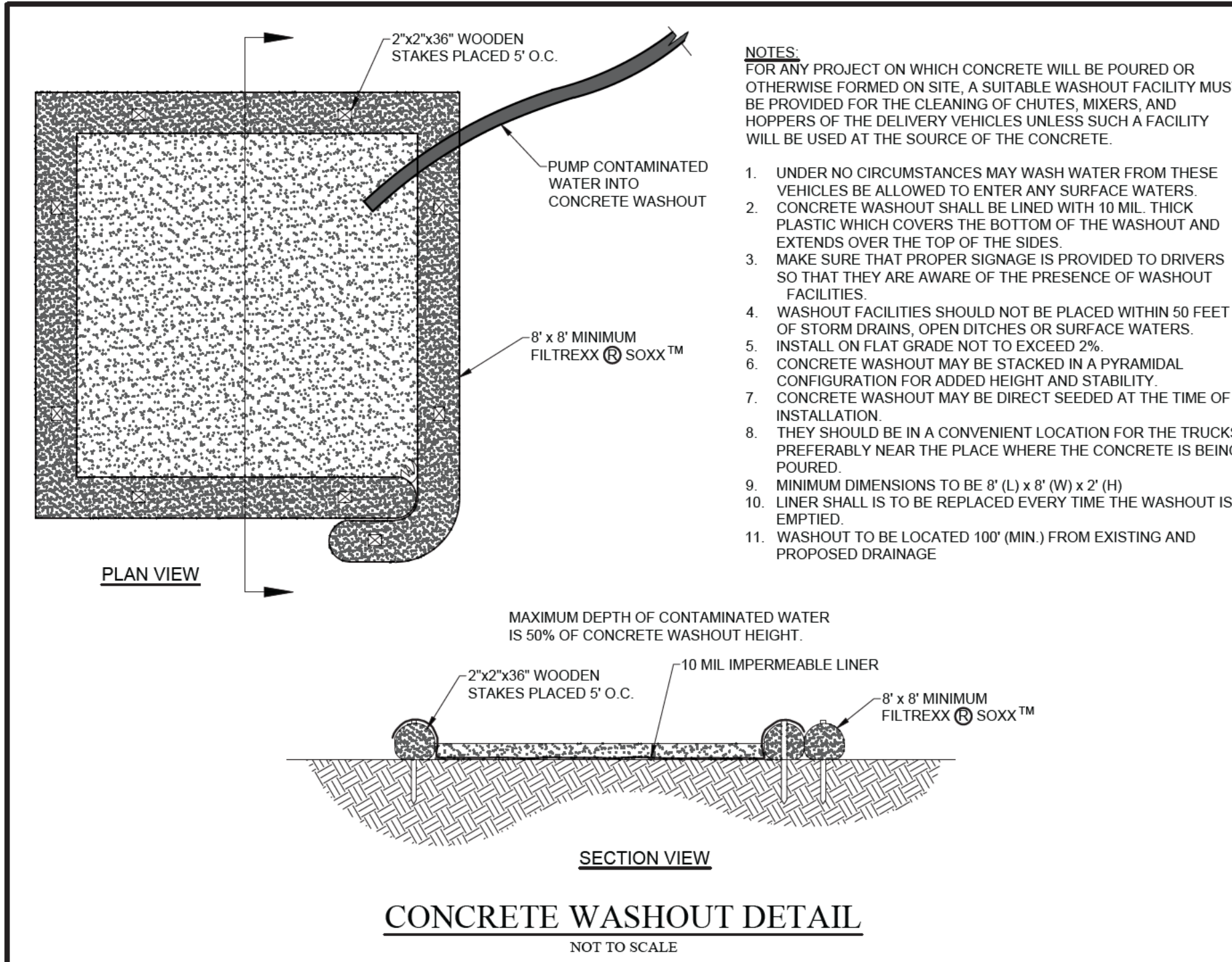
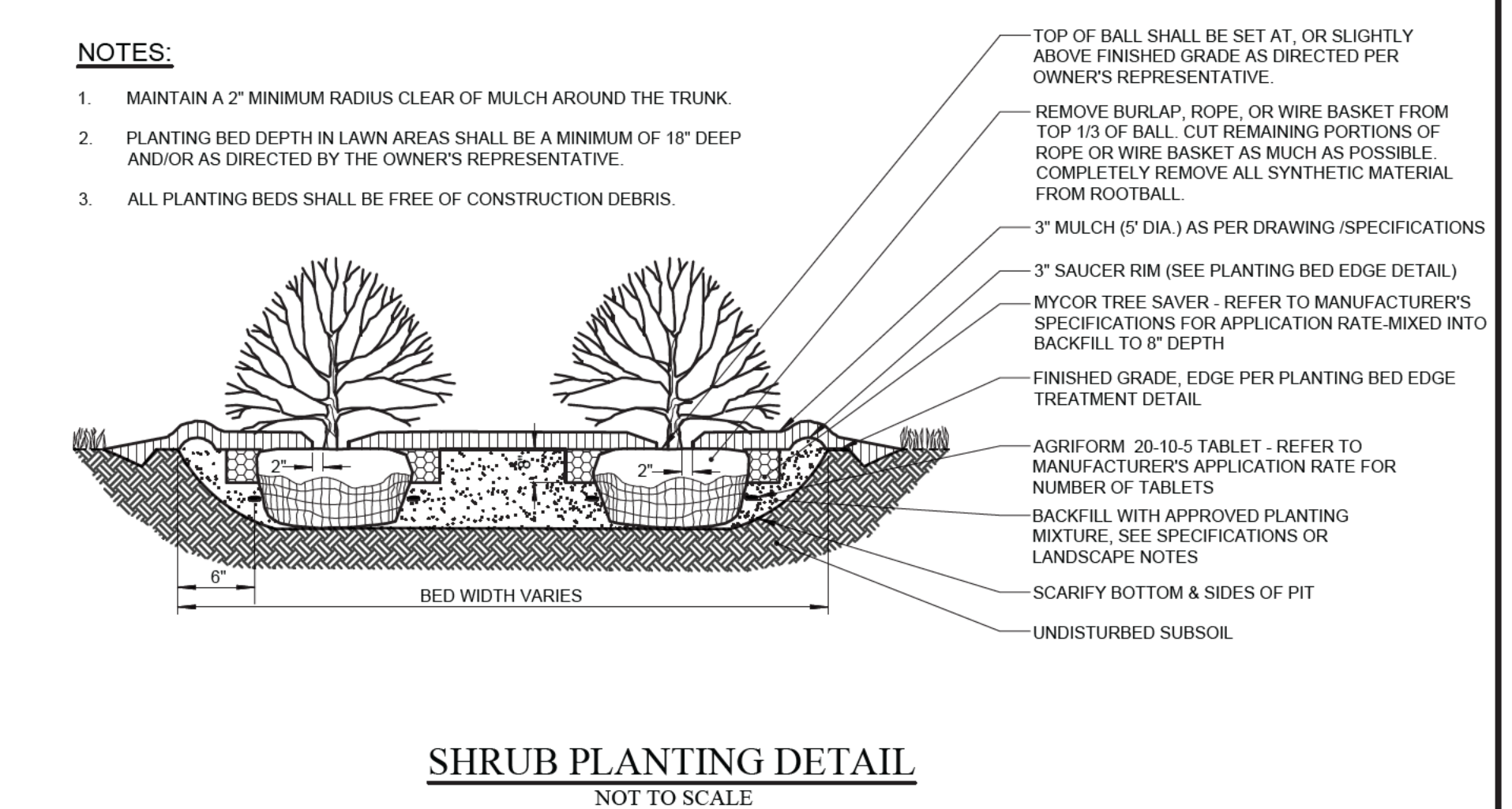
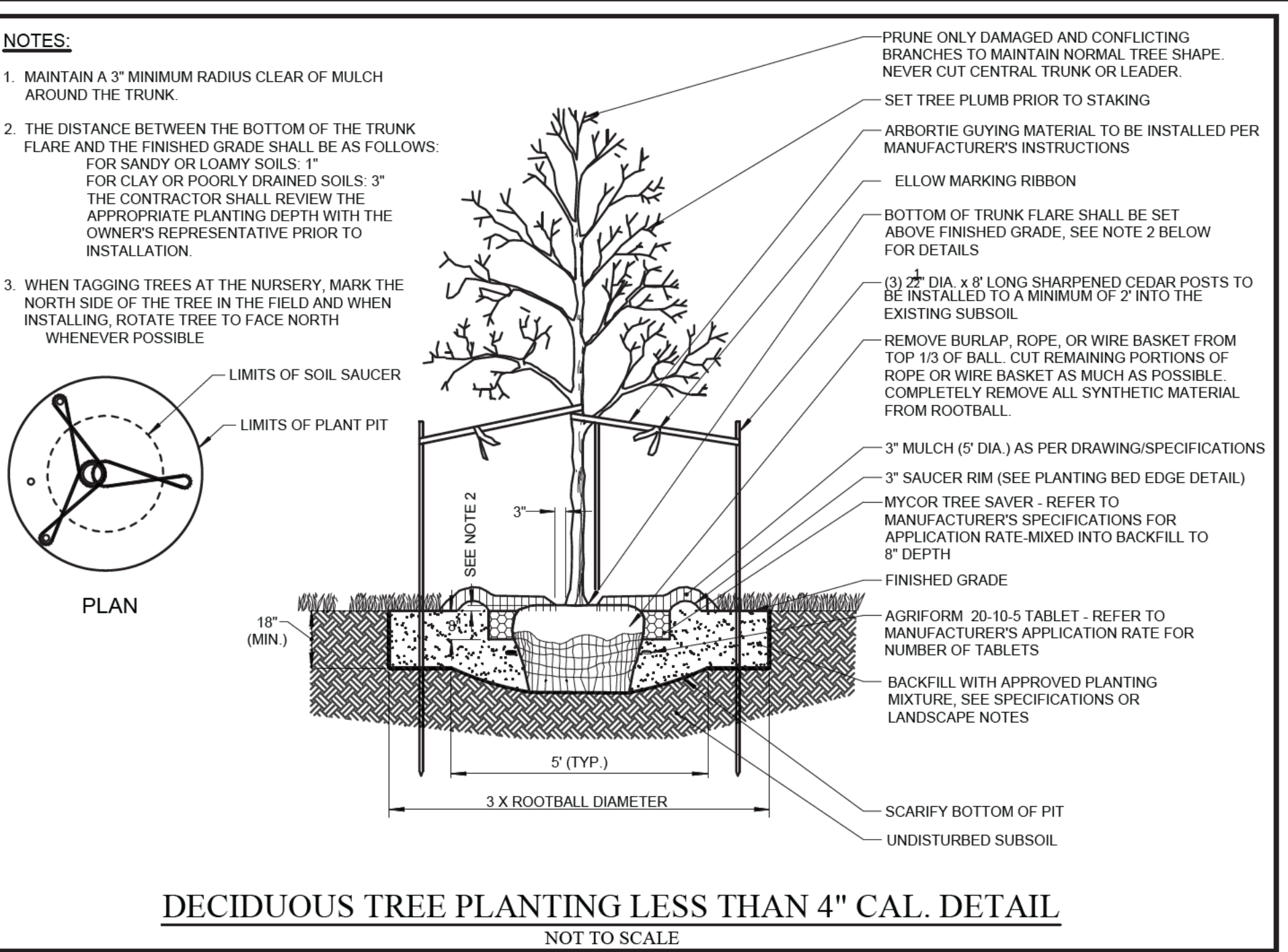
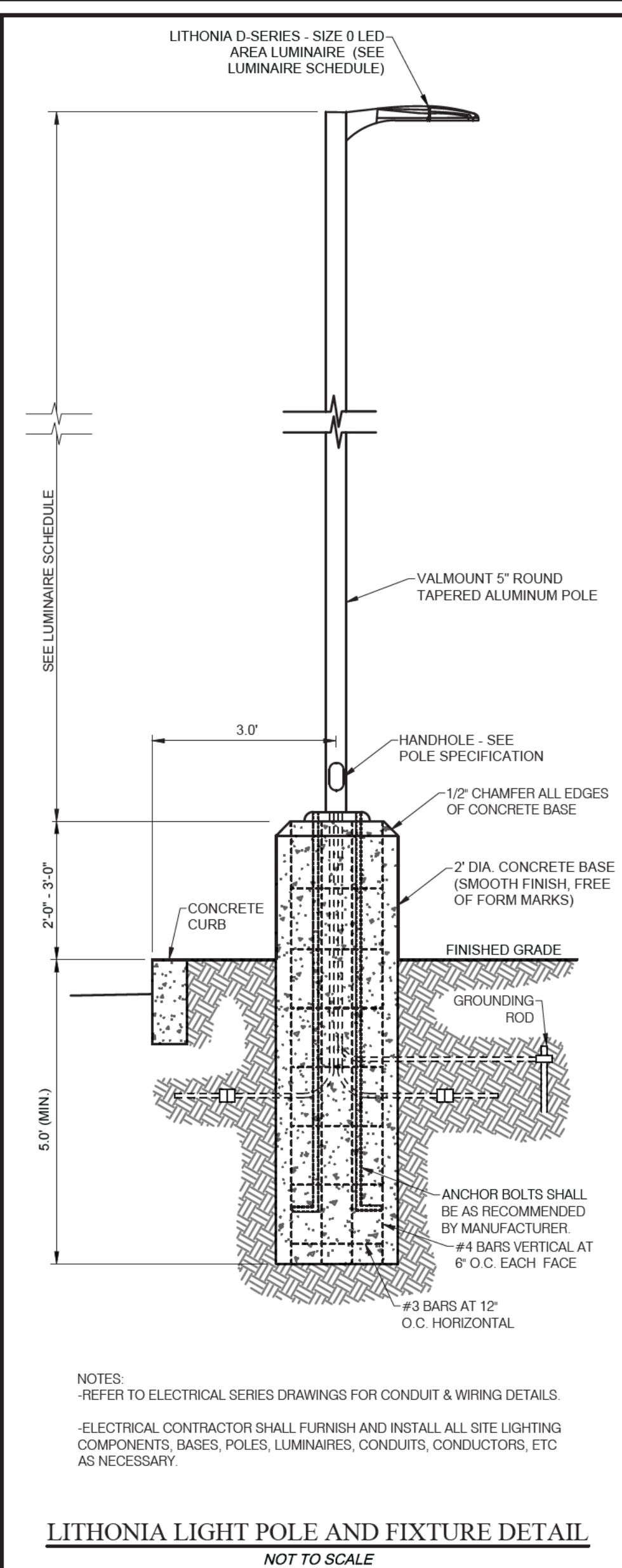
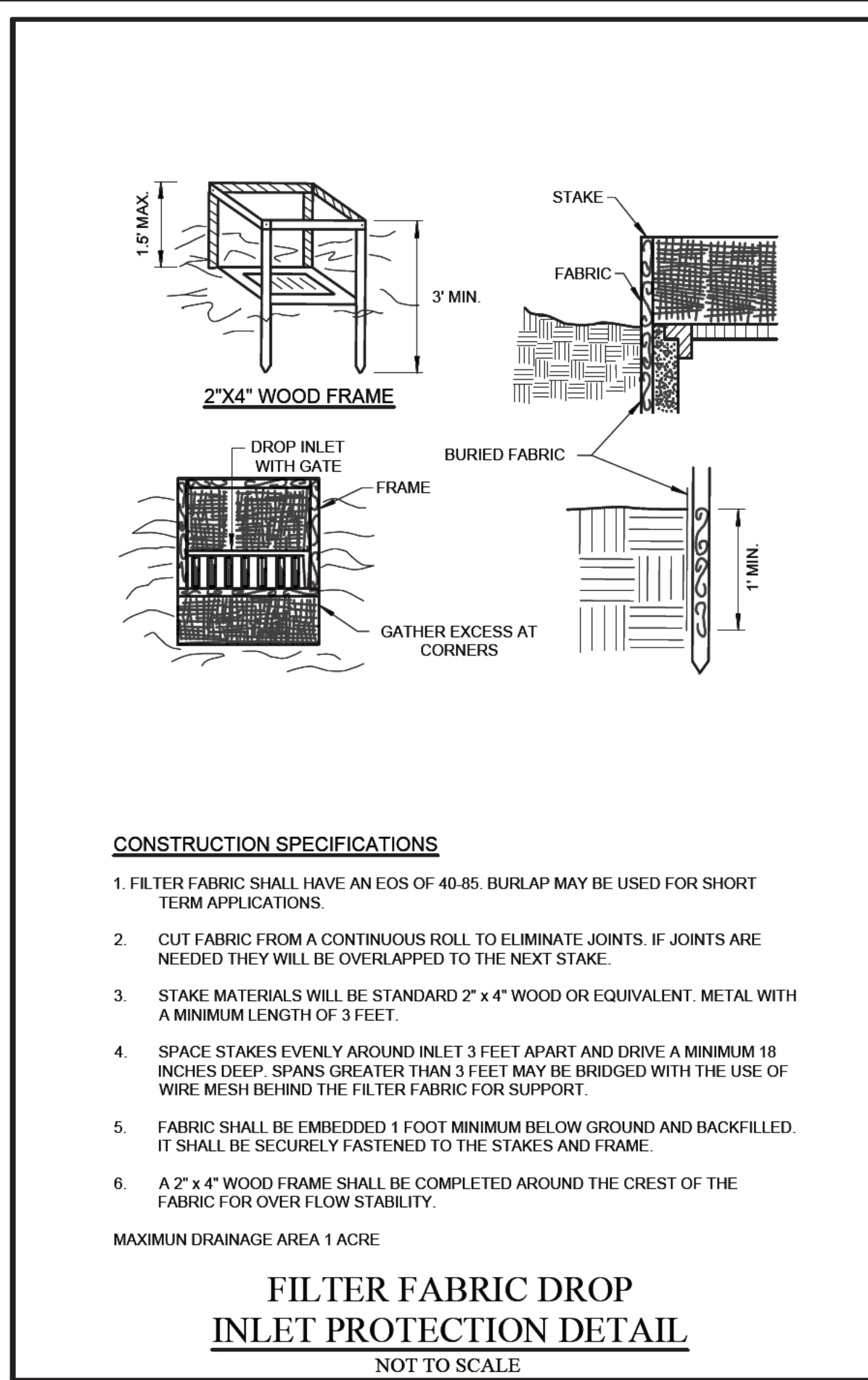
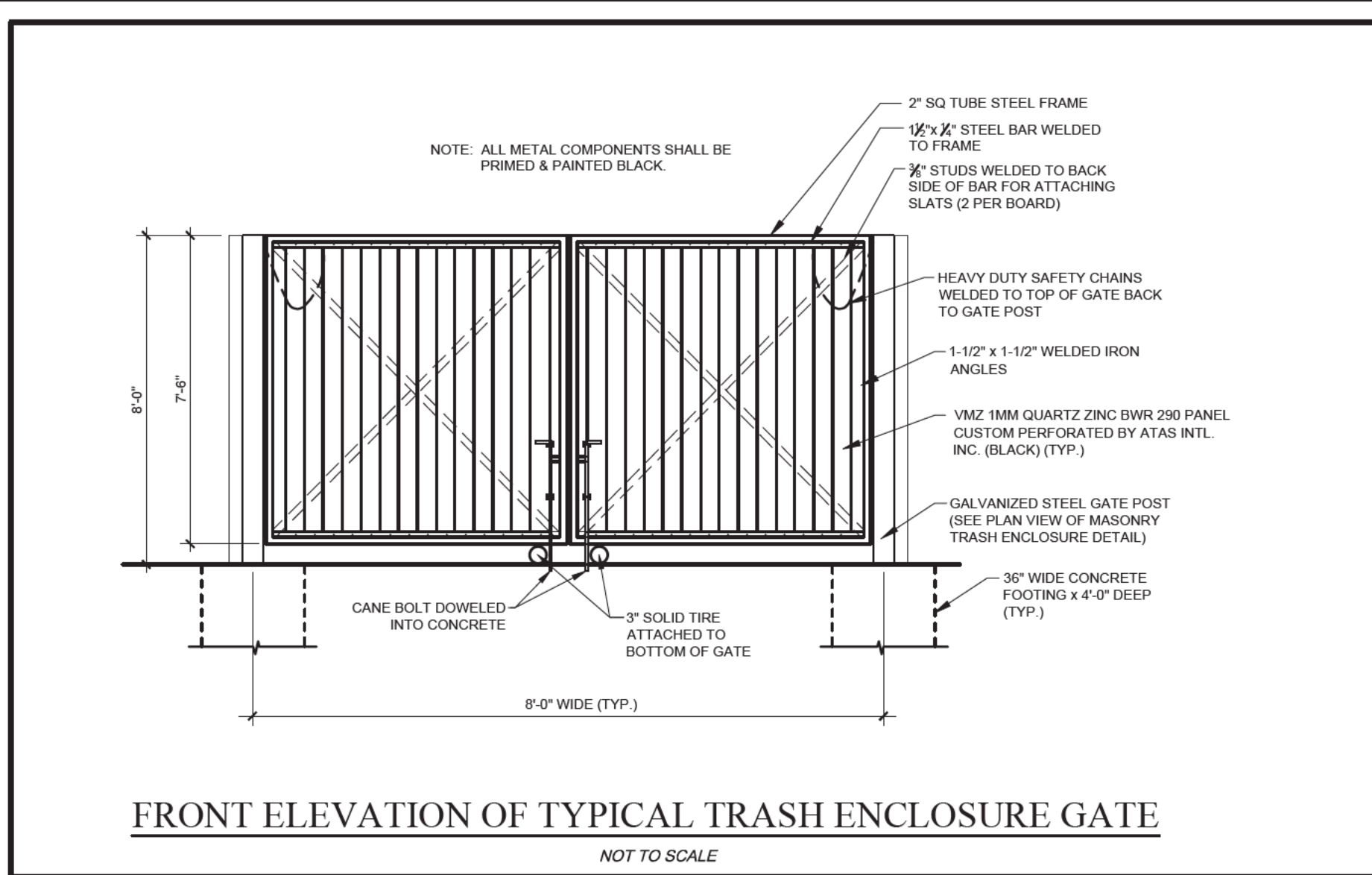
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PROJECT MANAGER: E.R.G.
DRAWN BY: R.C.C./E.L.O.
BOUNDARY: --
TOPBASE: --
DATE: 01/13/2023
SCALE: N.T.S.

COSTICH ENGINEERING
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT: TAKE 5 OIL CHANGE
1300 HYLAN DRIVE, ROCHESTER, NY
TITLE OF DRAWING: DETAILS
LOCATION OF PROJECT: TAX PARCEL NO. 161.160-1.2.12
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK
CLIENT: QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523
DWG # 8826
CA500
SHEET 8 OF 10



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PROJECT MANAGER: E.R.G.
DRAWN BY: R.C.C./E.L.O.
BOUNDARY: --
TOP/BASE: --
DATE: 01/13/2023
SCALE: N.T.S.

COSTICH ENGINEERING
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

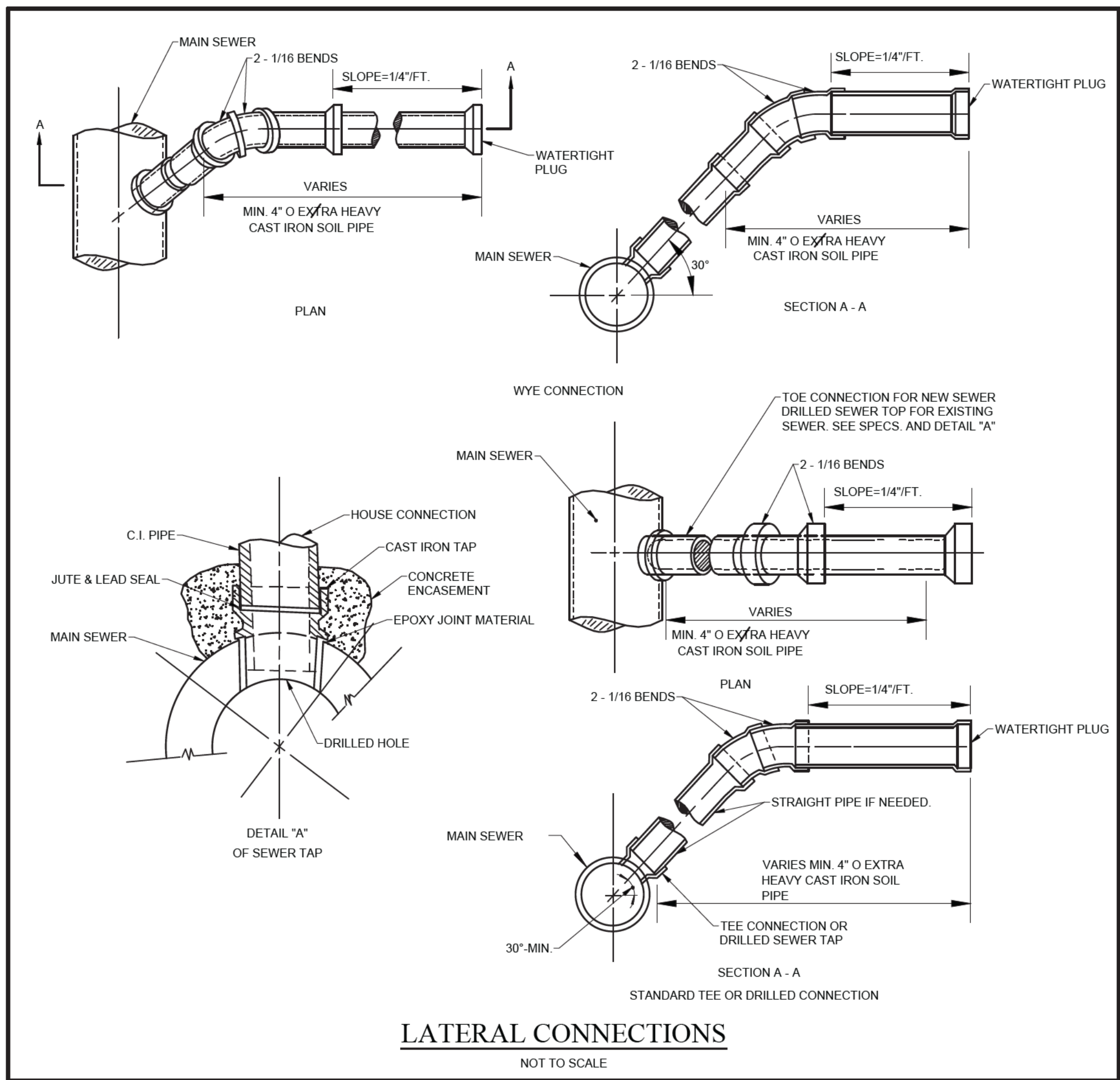
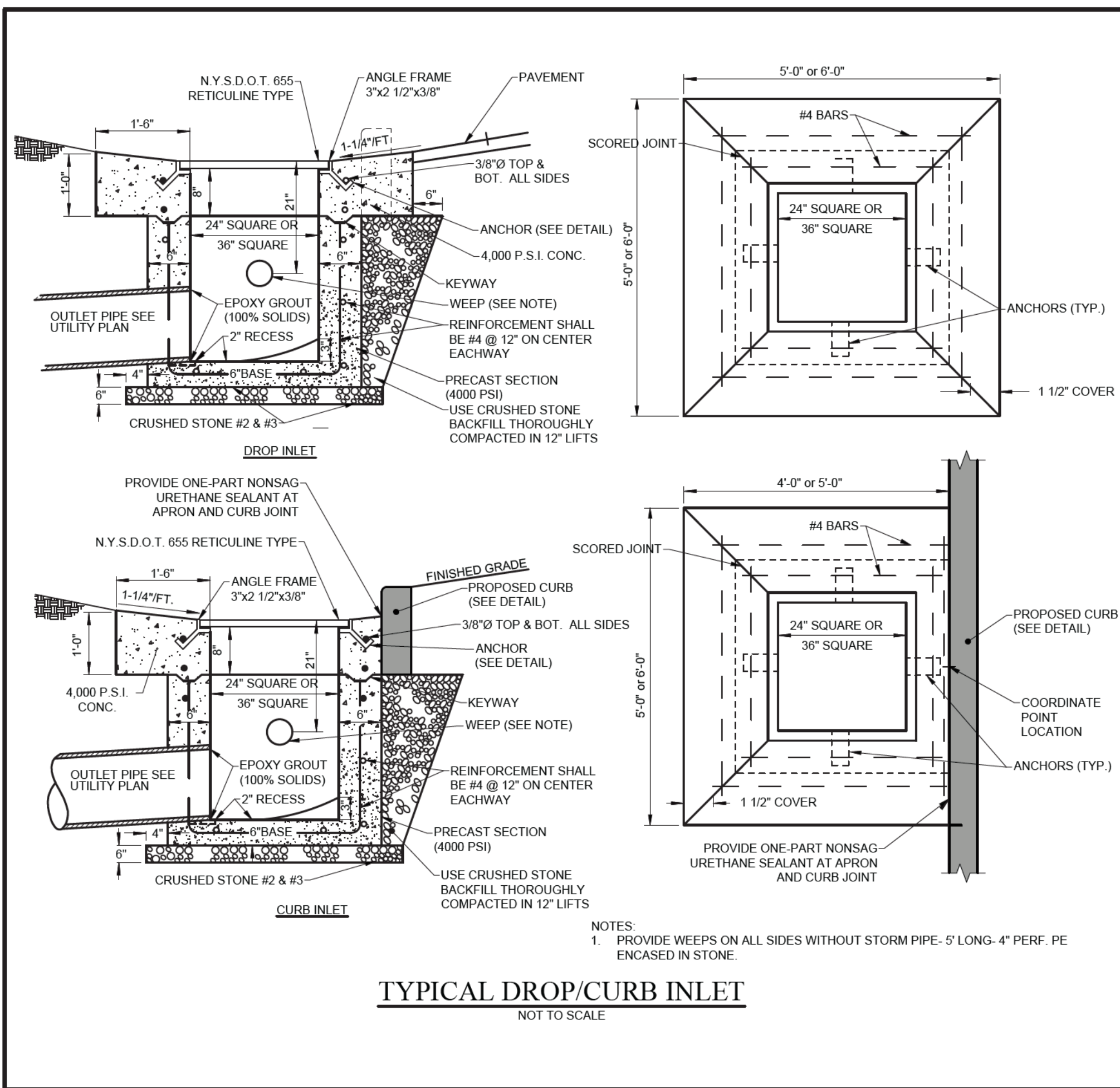
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1300 Hylan Drive, ROCHESTER, NY

TITLE OF DRAWING: DETAILS

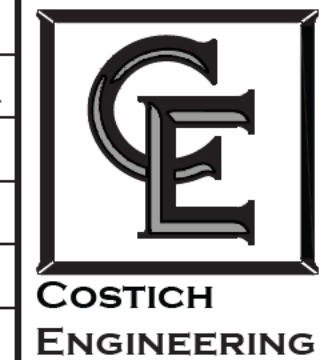
LOCATION OF PROJECT: TAX PARCEL NO. 161.160-1-2.12
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

CLIENT: QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG # 8826
CA501
SHEET 9 OF 10



NO.				DATE				REVISION				BY				CHKD.				AP'LS							
PROJECT MANAGER: E.R.G. DRAWN BY: R.C.C./E.L.O. BOUNDARY: -- TOP/POBASE: -- DATE: 01/13/2023 SCALE: N.T.S.																				TITLE OF PROJECT: TAKE 5 OIL CHANGE 1300 HYLAN DRIVE, ROCHESTER, NY TITLE OF DRAWING: DETAILS LOCATION OF PROJECT: TAX PARCEL NO. 161.160-1-2.12 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK CLIENT: QUATTRO DEVELOPMENT LLC 110 JORIE BLVD SUITE 140 OAKBROOK, ILLINOIS 60523				DWG # 8826 CA502 SHEET 10 OF 10			



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

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 ROCHESTER, NY 14608
 (585) 458-3020

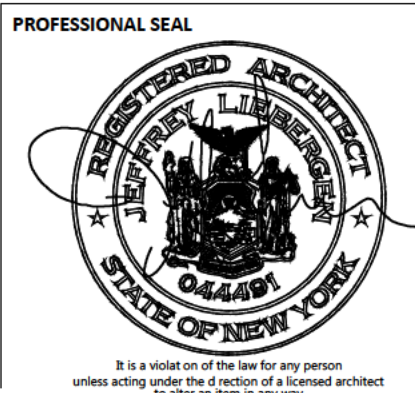
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PROJECT INFORMATION

PROPOSED BUILDING FOR:
TAKE 5 OIL CHANGE
1300 HILAN DRIVE • HENRIETTA, NY 14623



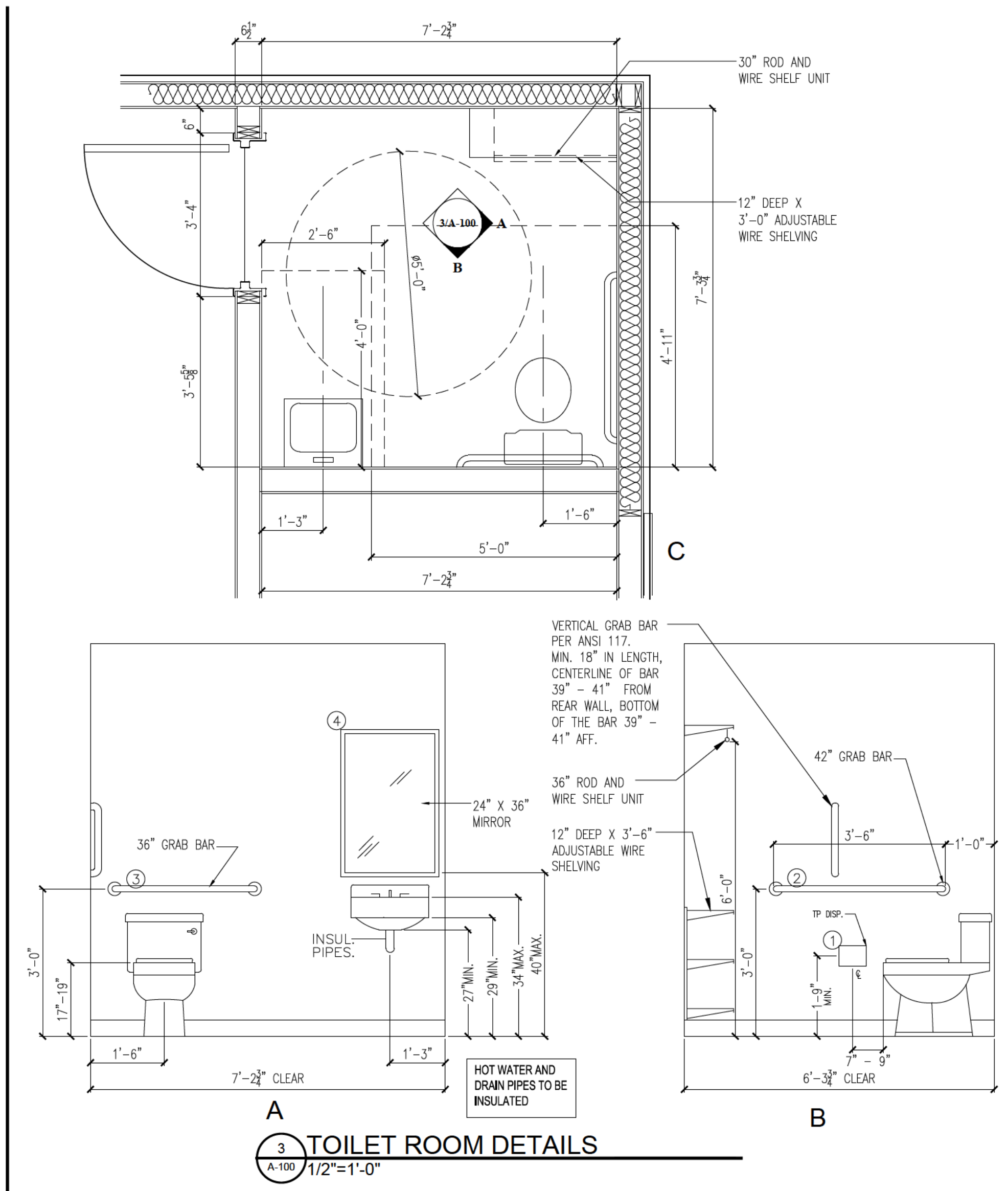
PRELIMINARY DATES
JAN. 17, 2023

NOT FOR CONSTRUCTION

JOB NUMBER
230018600

SHEET NUMBER

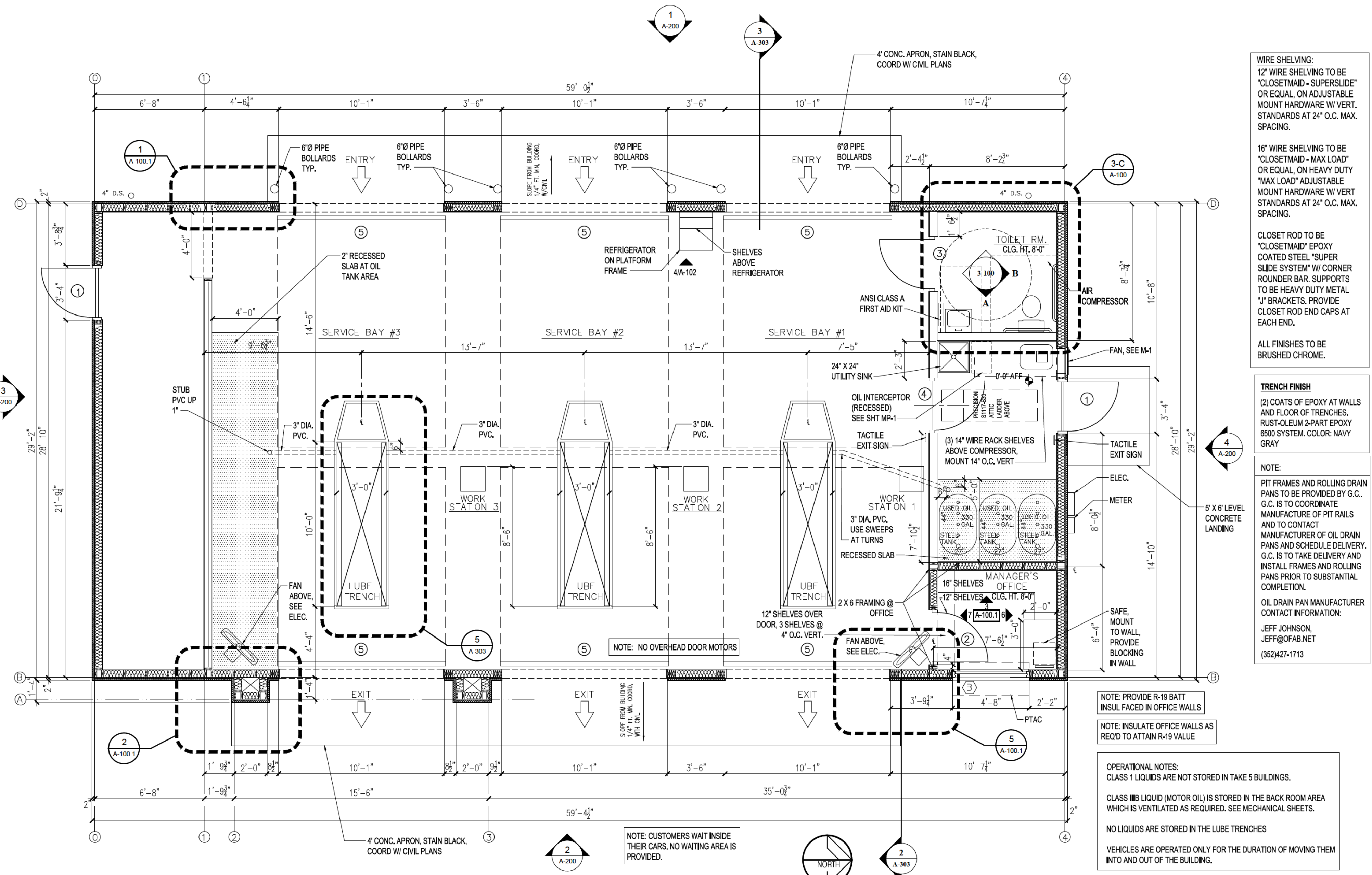
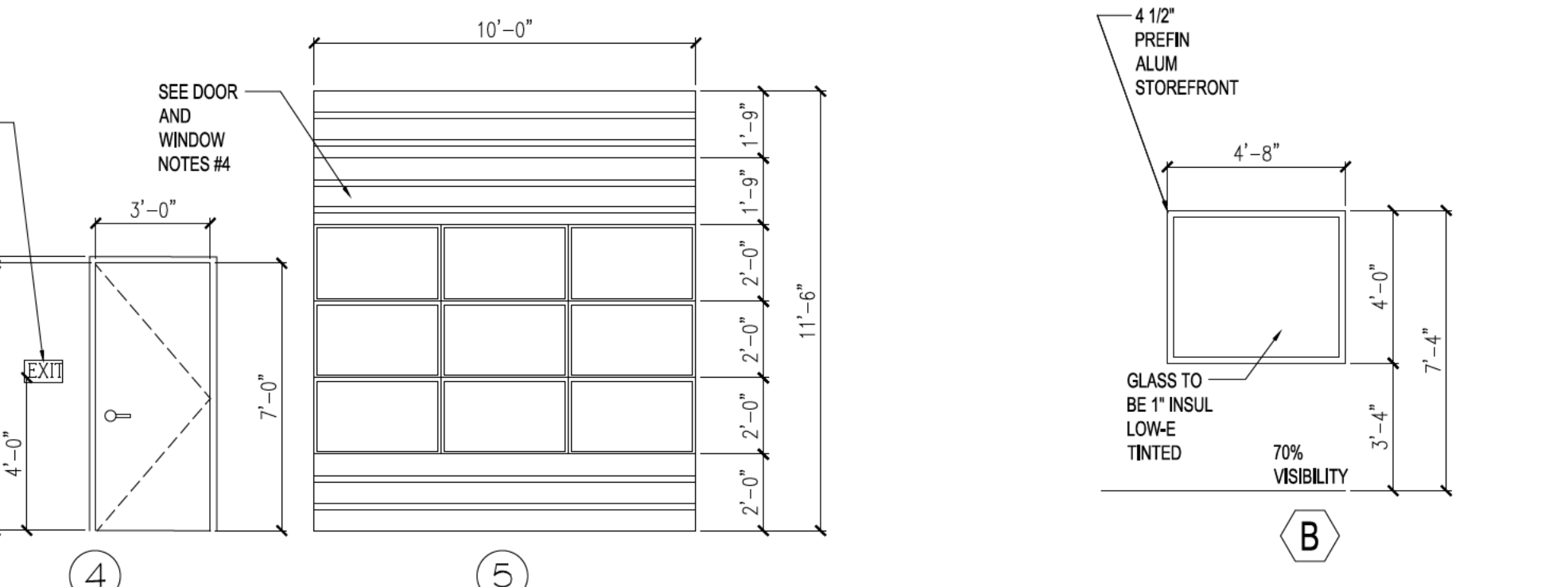
A-100



TOILET ACCESSORIES SCHEDULE

MARK	LOCATION	DESCRIPTION	MOUNTING HEIGHT
1	TOILET ROOM	TOILET PAPER DISPENSER	22" A.F.F. TO OPERABLE PARTS
2	TOILET ROOM	42" GRAB BAR	36" A.F.F. TO TOP
3	TOILET ROOM	36" GRAB BAR	36" A.F.F. TO TOP
4	TOILET ROOM	18" x 30" MIRROR	40" A.F.F. TO BOTTOM OF REFLECTIVE SURFACE
5	TOILET ROOM	VERTICAL GRAB BAR	SEE 3/A100
6	TOILET ROOM	PAPER TOWEL DISPENSER	48" A.F.F. TO OPERABLE PARTS
8	TOILET ROOM	UNDER LAVATORY GUARD	LAVATORY SUPPLY & DRAIN PIPES

NOTES:
1. ALL TOILET ACCESSORIES SHALL BE LOCAL AND MOUNTED TO MEET ALL REQUIREMENTS OF THE ADA AND ALL LOCAL ACCESSIBILITY CODE REQUIREMENTS.
2. ALL TOILET ACCESSORIES SHALL BE BY BOBRICK OR EQUAL.
3. PROVIDE BLOCKING PER MANUFACTURER'S RECOMMENDATIONS.



WIRE SHELVING:
12" WIRE SHELVING TO BE "CLOSETMAD - SUPERSLIDE" OR EQUAL. ON ADJUSTABLE MOUNT HARDWARE W/ VERT. STANDARDS AT 24" O.C. MAX. SPACING.
18" WIRE SHELVING TO BE "CLOSETMAD - MAX LOAD" OR EQUAL. ON HEAVY DUTY "MAX LOAD" ADJUSTABLE MOUNT HARDWARE W/ VERT. STANDARDS AT 24" O.C. MAX. SPACING.
CLOSET ROD TO BE "CLOSETMAD" EPOXY COATED STEEL "SUPER SLIDE SYSTEM" W/ CORNER ROUNDER BAR SUPPORTS TO BE HEAVY DUTY METAL "J" BRACKETS. PROVIDE CLOSET ROD END CAPS AT EACH END.
ALL FINISHES TO BE BRUSHED CHROME.

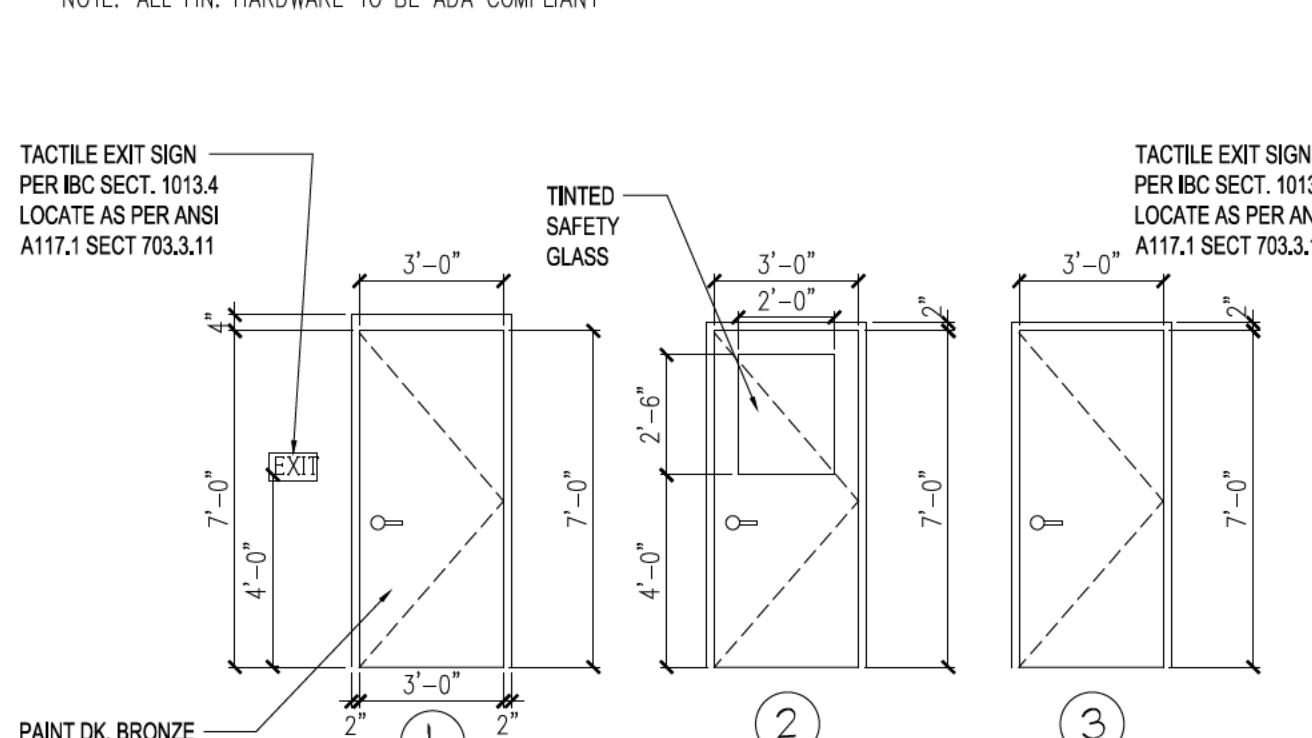
TRENCH FINISH
(2) COATS OF EPOXY AT WALLS AND FLOOR OF TRENCHES. FURTHER OLEUM 2-PART EPOXY 6500 SYSTEM. COLOR: NAVY GRAY

NOTE:
PIT FRAMES AND ROLLING DRAIN PANS TO BE PROVIDED BY G.C. G.C. IS TO COORDINATE MANUFACTURE OF PIT RAILS AND TO CONTACT MANUFACTURER OF OIL DRAIN PANS AND SCHEDULE DELIVERY. G.C. IS TO TAKE DELIVERY AND INSTALL FRAMES AND ROLLING PANS PRIOR TO SUBSTANTIAL COMPLETION.
OIL DRAIN PAN MANUFACTURER CONTACT INFORMATION:
JEFF JOHNSON,
JEFF@OFAB.NET
(352)427-1713

OPERATIONAL NOTES:
CLASS 1 LIQUIDS ARE NOT STORED IN TAKE 5 BUILDINGS.
CLASS 2 LIQUID (MOTOR OIL) IS STORED IN THE BACK ROOM AREA WHICH IS VENTILATED AS REQUIRED. SEE MECHANICAL SHEETS.
NO LIQUIDS ARE STORED IN THE LUBE TRENCHES
VEHICLES ARE OPERATED ONLY FOR THE DURATION OF MOVING THEM INTO AND OUT OF THE BUILDING.

SET 1	1 1/2 PAIR HINGES NRP MORTISED DEADBOLT AND LOCKSET COMBINED WITH THUMB TURN INSIDE AND KEYED OUTSIDE. ONE ACTION OPERATED BOTH BOLT AND LOCKSET CLOSER FULL WEATHERSTRIP SWEEP RAIN DRIP ON FRAME OVERHEAD THRESHOLD SILENCERS FLOOR STOP
SET 2	1 1/2 PAIR HINGES LOCKSET - KEYED OUTSIDE, PUSH BUTTON INSIDE CLOSER FLOOR STOP - COOR. LOCATION W/ AC UNIT SILENCERS
SET 3	1 1/2 PAIR HINGES LOCKSET - KEYED OUTSIDE, PUSH BUTTON INSIDE CLOSER WALL STOP SILENCERS TACTILE SIGN W/ INTERNATIONAL SYMBOL: MEN/WOMEN
SET 4	1 1/2 PAIR HINGES LOCKSET - PASSAGE 1 STOP - FLOOR MTD. CLOSER SILENCERS

NOTE: ALL FIN. HARDWARE TO BE ADA COMPLIANT



FINISH SCHEDULE

AREA	FLOOR	BASE	WALLS	CEILING	CLG. HT.	REMARKS
SERVICE BAYS	CONC., SEALED	VINYL	1/2" PLYWD.	NONE	OPEN (13'-4" TRUSS HT)	* SMOOTH FINISH. STAINED B-C PLYWD. NOTE 1,2,3,4,8,9,10
MANAGER'S OFFICE	CONC., SEALED	VINYL	1/2" PLYWD.	1/2" PLYWD.	8'-0"	* SMOOTH FINISH. STAINED B-C PLYWD. NOTE 1,2,3,4,8,9,10
TOILET RM.	CONC., SEALED	VINYL	1/2" PLYWD.	1/2" PLYWD.	8'-0"	* SMOOTH FINISH. STAINED B-C PLYWD. NOTE 1,2,3,4,8,9,10,11
WASTE OIL	CONC., SEALED	CONC. 2" DEPRESSURED SLAB @ OIL TANK AREAS	1/2" PLYWD.	NONE	OPEN (13'-4" TRUSS HT)	* SMOOTH FINISH. STAINED B-C PLYWD. NOTE 1,2,3,4,8,9,10

NOTE 1: PAINT EXPOSED WALL SURFACE (GWB OR PWD)
NOTE 2: PAINT EXPOSED CEILING
NOTE 3: ALL INTERIOR FINISHES ARE TO MEET TABLE 803.5 OF THE NBCB.
NOTE 4: INTERIOR PAINT COLOR TO BE EGGSHELL WHITE (SW 7006 "EXTRA WHITE") EXCEPT WHERE NOTED.
NOTE 5: SEALER - H&C PRO SERIES SOLVENT BASED DECORATIVE CONC. SEALER (CLEAR)
NOTE 6: SEE STRUCTURAL DWGS FOR DEPRESSURED SLAB DETAILS
NOTE 7: STAIN - H&C INFUSION REACTIVE CONC. STAIN (SIENNA RED 40.002084)
NOTE 8: STAIN - H&C PRO SERIES SOLVENT BASED DECORATIVE CONC. SEALER (CLEAR)
NOTE 9: SEALER - H&C PRO SERIES SOLVENT BASED DECORATIVE CONC. SEALER (CLEAR)
NOTE 10: ALL INTERIOR TRIM TO BE "INDUSTRIAL GRAY" (SW 7017 "DORIAN GRAY")
NOTE 11: ALL INTERIOR WALL PAINT AT TOILET ROOM TO BE ACRYLIC WASHABLE SEMI-ENAMEL PAINT

DOOR SCHEDULE

MARK	SIZE	DOOR TYPE	DOOR FINISH	FRAME	FRAME FINISH	HARDWARE	ELEV.	REMARKS
1	3' x 7'-4"	FLUSH H.M.	PAINT DK BRONZE EXT GRAY INT	H.M.	PAINT DK BRONZE EXT GRAY INT	SET 1	1	CLOSER, LOCKSET, THRESHOLD. NOTE 1,2,5
2	3' x 7'	FLUSH H.M.	PAINT GRAY EXT GRAY INT	H.M.	PAINT GRAY EXT GRAY INT	SET 2	2	LOCKSET, HALF GLASS (TINTED), CLOSER. NOTE 1,2,4
3	3' x 7'	FLUSH H.M.	PAINT GRAY EXT GRAY INT	H.M.	PAINT GRAY EXT GRAY INT	SET 3	3	LOCKSET, CLOSER. NOTE 1,2,6
4	3' x 7'	FLUSH H.M.	PAINT GRAY EXT GRAY INT	H.M.	PAINT GRAY EXT GRAY INT	SET 4	4	LOCKSET, CLOSER. NOTE 1,2
5	10' x 11'-6"	UPWARD ACTING	FACTORY FINISH CLOPAY "CHOCOLATE"	H.M.	FACTORY FINISH CLOPAY "CHOCOLATE"	-	5	3 CENTER SECTIONS GLASS. NOTE 3,4

WINDOW SCHEDULE

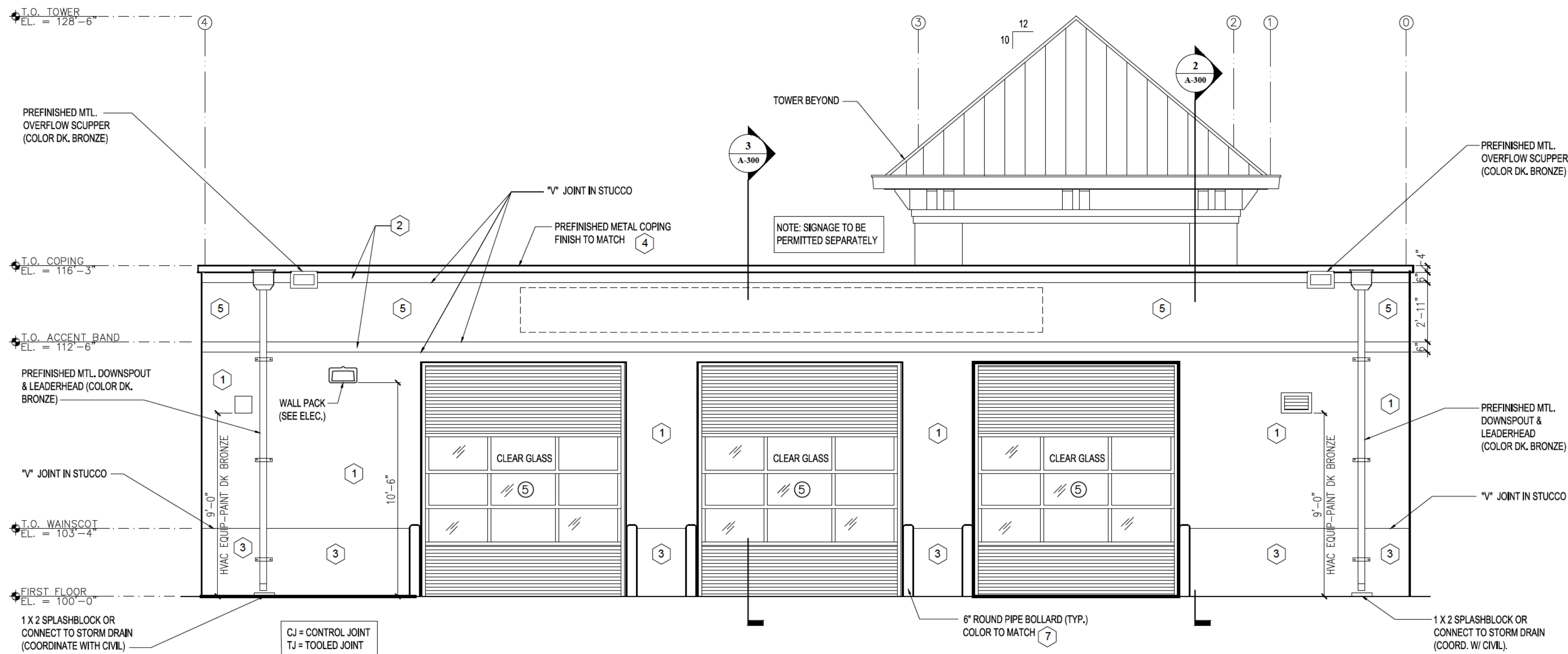
MARK	SIZE	FIXED GLASS	DOUBLE PANE, LOW-E GLASS, TINTED	ALUM.	ANODIZED / DARK BRONZE EXT - PAINT GRAY INT	REMARKS
B	4'-8" x 4'-0"	FIXED GLASS	DOUBLE PANE, LOW-E GLASS, TINTED	-	ALUM. ANODIZED / DARK BRONZE EXT - PAINT GRAY INT	NOTE 4

DOOR AND WINDOW NOTES:
NOTE 1: HARDWARE TO BE LEVER ACTION AND MEET ALL ADA REQUIREMENTS
NOTE 2: HARDWARE TO BE COMMERCIAL GRADE
NOTE 3: HARDWARE PER MANUF. REQUIREMENTS
NOTE 4: SAFETY GLAZING TO MEET ANSI Z97.1 CLASS A
NOTE 5: DARK BRONZE PAINT COLOR TO BE (SW 6076 "TURKISH COFFEE")
NOTE 6: EXTERIOR DOOR WHEN INDICATED ON PLAN 1/A-100

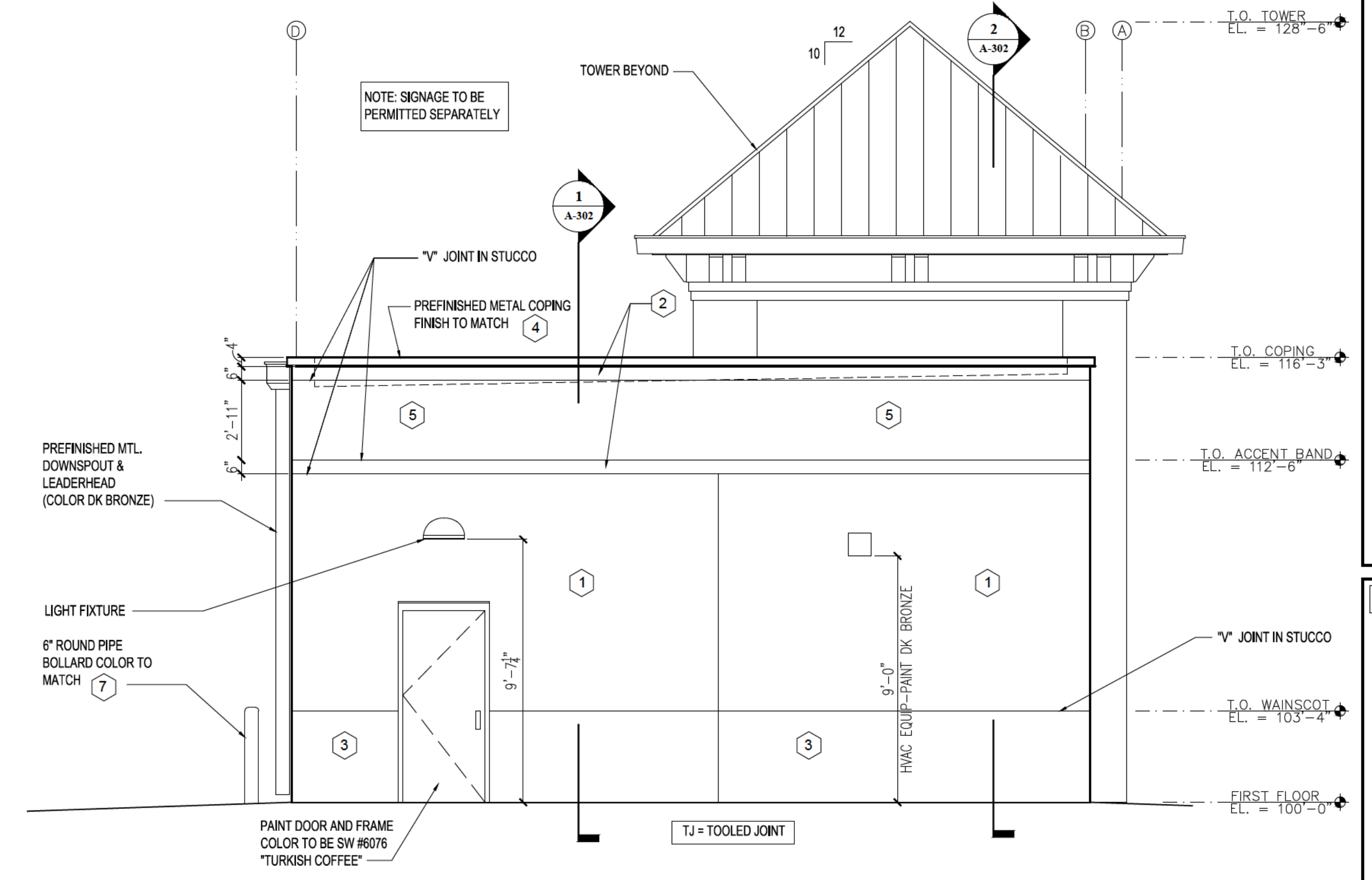
2 SCHEDULES
A-100 1/4" = 1'-0"

3 DOOR ELEVATIONS
A-100 1/4" = 1'-0"

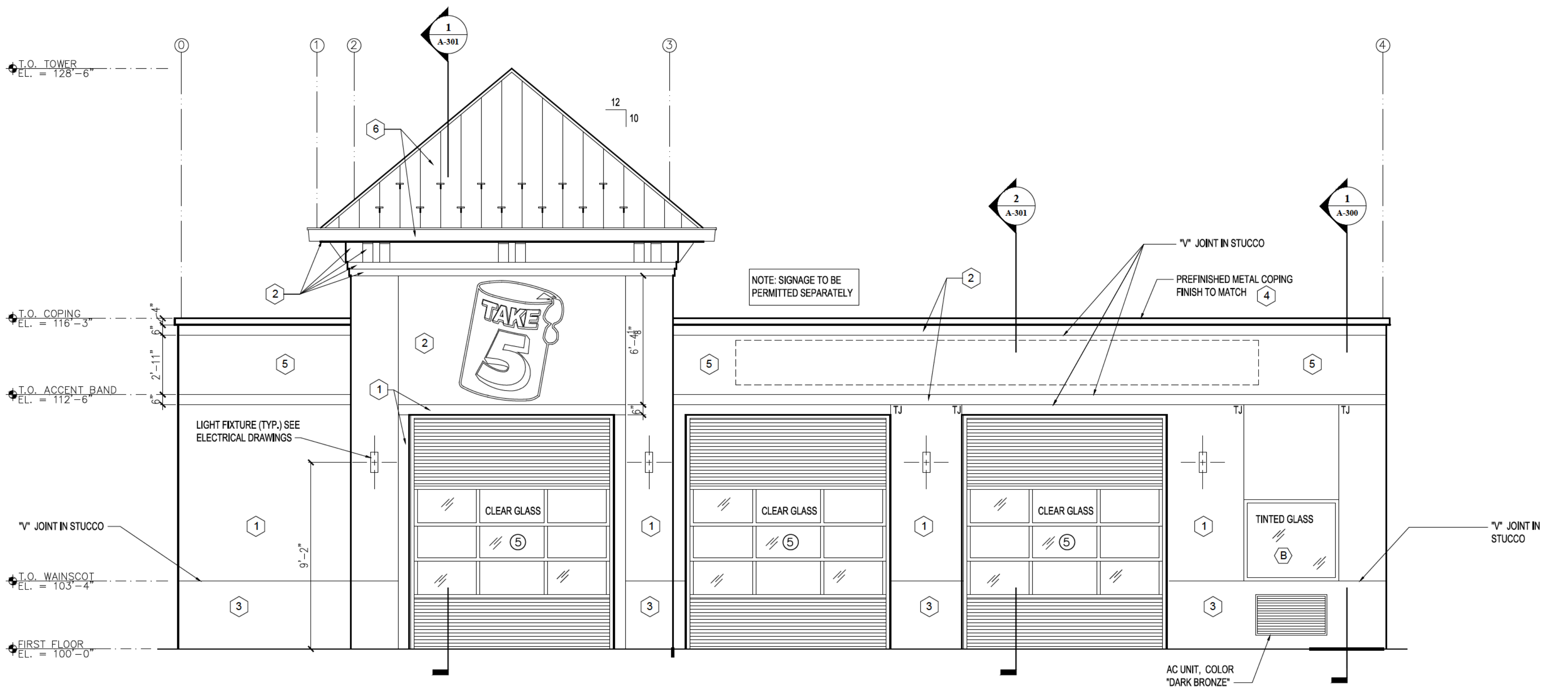
4 WINDOW ELEVATIONS
A-100 1/4" = 1'-0"



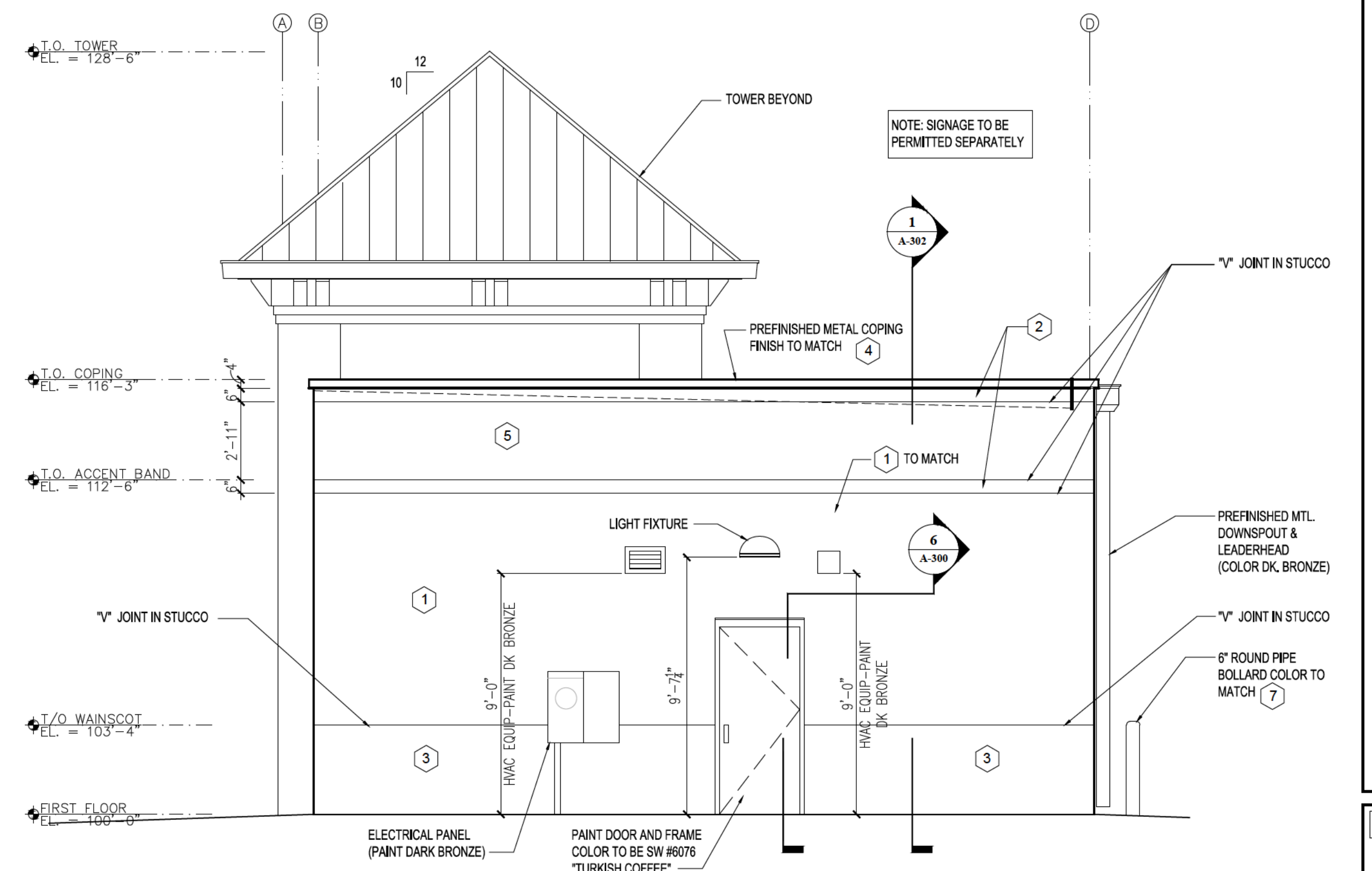
1 EAST ELEVATION
A-200 1/4"=1'-0"



3 NORTH ELEVATION
A-200 1/4"=1'-0"



2 WEST ELEVATION
A-200 1/4"=1'-0"

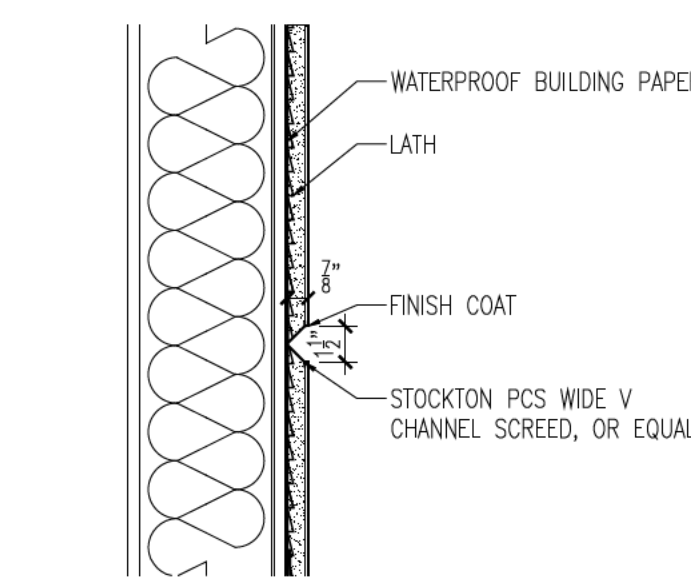


4 SOUTH ELEVATION
A-200 1/4"=1'-0"

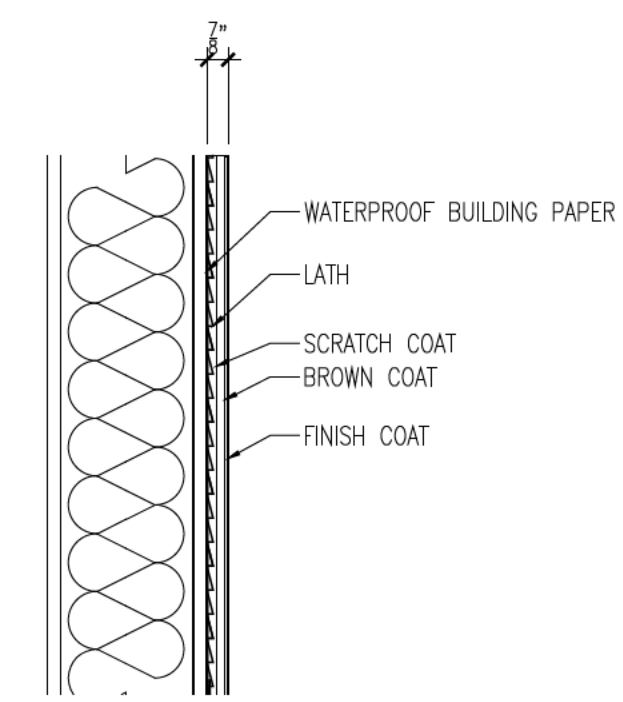
EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	STUCCO MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #7693, STONEBRIAR	----
2	STUCCO ACCENT BAND AND FACE STUCCO CORNICE	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #7678, COTTAGE CREAM	----
3	STUCCO WAINSCOT	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6097, STURDY BROWN	----
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
5	STUCCO SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	----
6	TOWER PREFINISHED STANDING SEAM ROOF	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	----

EXTERIOR FINISH NOTES:

- N/A
- STUCCO TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
- STUCCO TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
- STUCCO TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
- METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
- METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
- METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.



5 STUCCO V-JOINT DETAIL
A-200 1 1/2"=1'-0"



6 STUCCO DETAIL
A-200 1 1/2"=1'-0"

ARCHITECTURAL EXTERIOR ELEVATIONS & DETAILS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

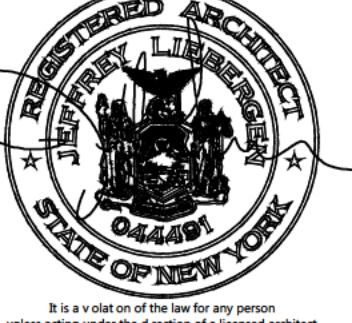
COLLABORATION



PROJECT INFORMATION

PROPOSED BUILDING FOR:
TAKE 5 OIL CHANGE
1300 HILAN DRIVE • HENRIETTA, NY 14623

PROFESSIONAL SEAL



PRELIMINARY DATES

JAN. 17, 2023

NOT FOR CONSTRUCTION

JOB NUMBER

230018600

SHEET NUMBER

A-200



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PRILIMINARY CONCEPT FOR:
QUATTRO DEVELOPMET - TAKE 5
1300 HYLAN DRIVE • HENRIETTA, NY 14623



PRELIMINARY DATES

JAN. 17, 2023

NOT FOR CONSTRUCTION

JOB NUMBER

2300186000

SHEET NUMBER

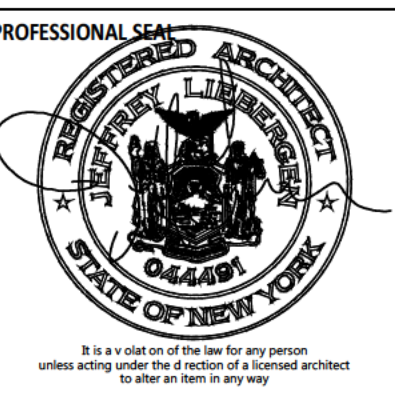
A1.0



Perspective

PROJECT INFORMATION

PRILIMINARY CONCEPT FOR:
QUATTRO DEVELOPMET - TAKE 5
1300 HYLAN DRIVE • HENRIETTA, NY 14623



PRELIMINARY DATES

JAN. 17, 2023

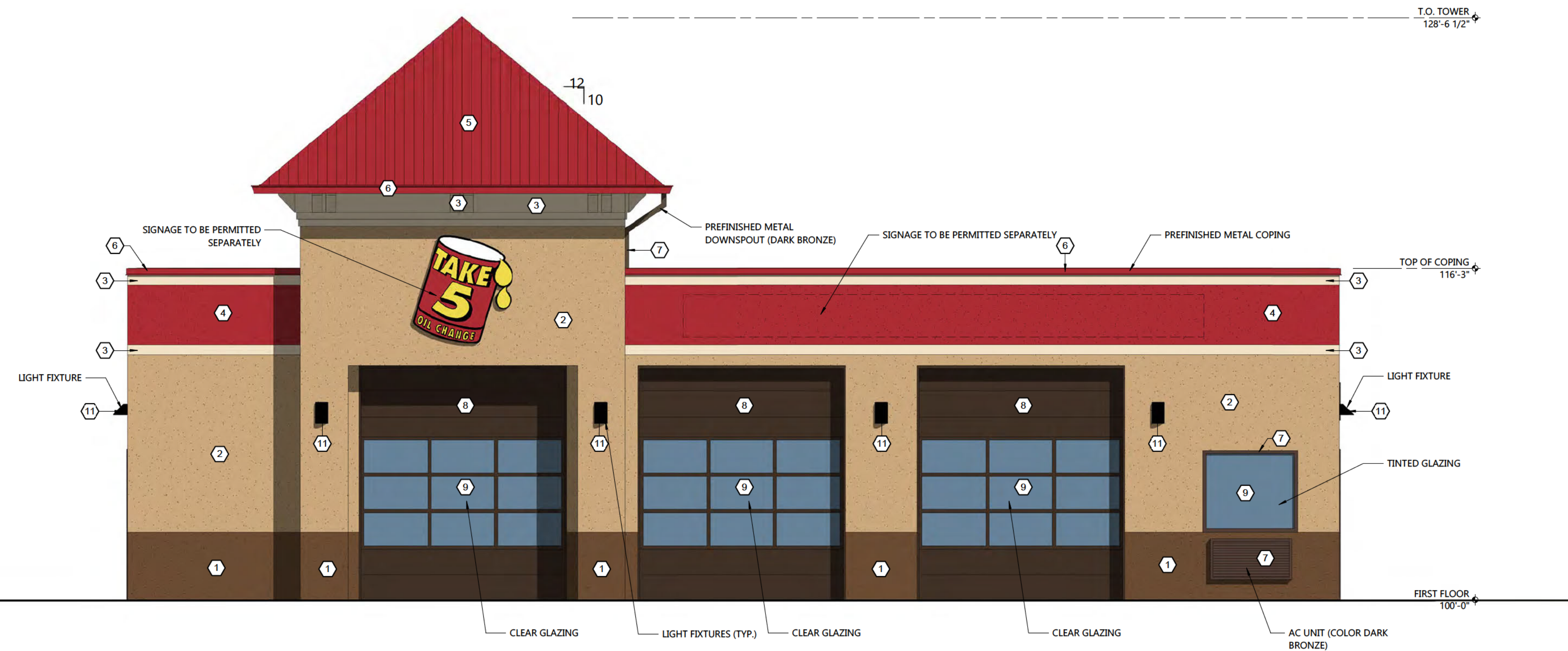
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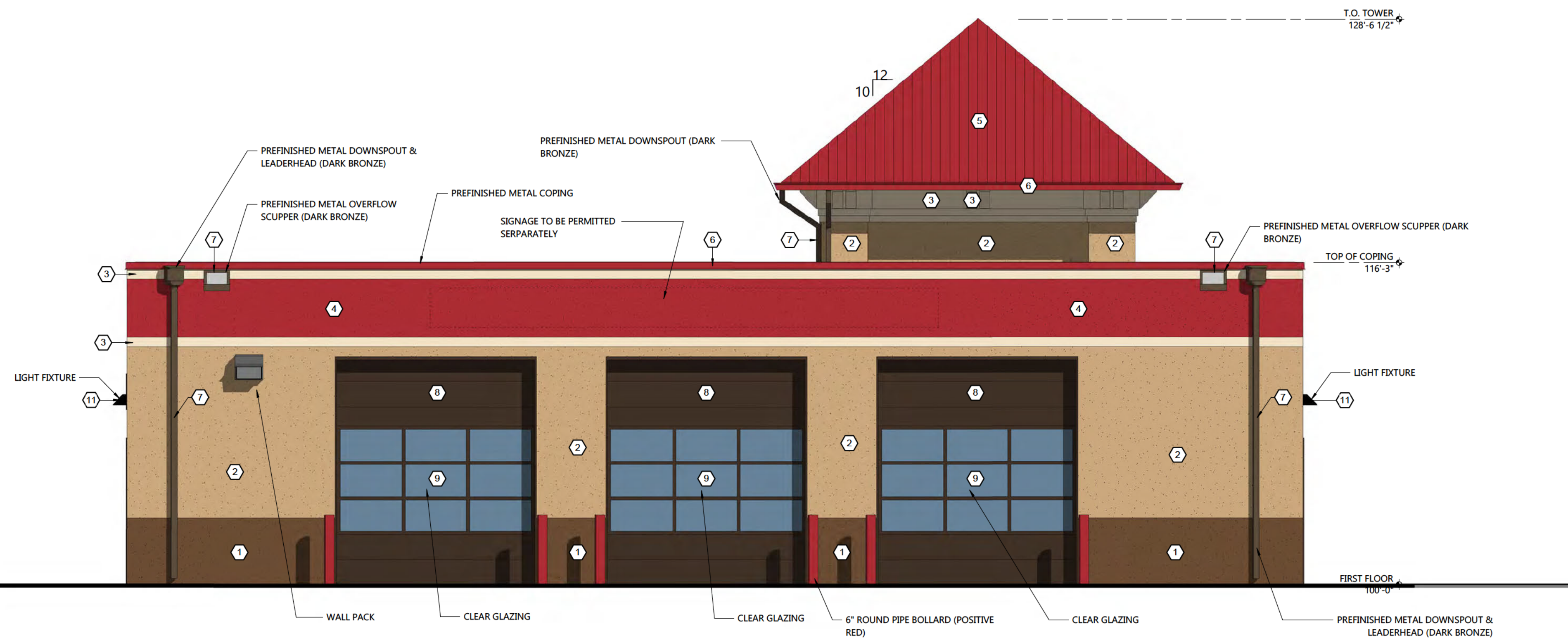
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SHEET NUMBER

A2.0



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH KEY

NOT TO SCALE

- 11 LIGHT FIXTURE
MFR:
COLOR:
- 10 HOLLOW METAL DOOR AND FRAME
MFR:
COLOR: TO MATCH SW 6076
TURKISH COFFEE
- 9 GLAZING
MFR:
- 8 OVERHEAD DOORS
MFR: CLOPAY
COLOR: CHOCOLATE BROWN
- 7 DOWNSPOUT, SCUPPER, AND WINDOW FRAME
MFR:
STYLE:
COLOR: DARK BRONZE
- 6 METAL COPING AND GUTTER
MFR:
TEXTURE: KYNAR 500 PREFINISHED
COLOR: TO MATCH SW #6871 POSTIVE RED
- 5 PREFINISHED STANDING SEAM ROOF
MFR: ATAS DUTCH SEAM OR BERRIDGE
STYLE:
TEXTURE: KYNAR 500 PREFINISHED
COLOR: TO MATCH SW #6871 POSTIVE RED
- 4 STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #6871 POSITIVE RED
- 3 STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #7678 COTTAGE CREAM
- 2 STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #7693 STONEBRIAR
- 1 STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #6097 STURDY BROWN

PROJECT INFORMATION

PRILIMINARY CONCEPT FOR:
QUATTRO DEVELOPMET - TAKE 5
1300 HYLAN DRIVE • HENRIETTA, NY 14623

PROFESSIONAL SEAL



PRELIMINARY DATES

JAN. 17, 2023

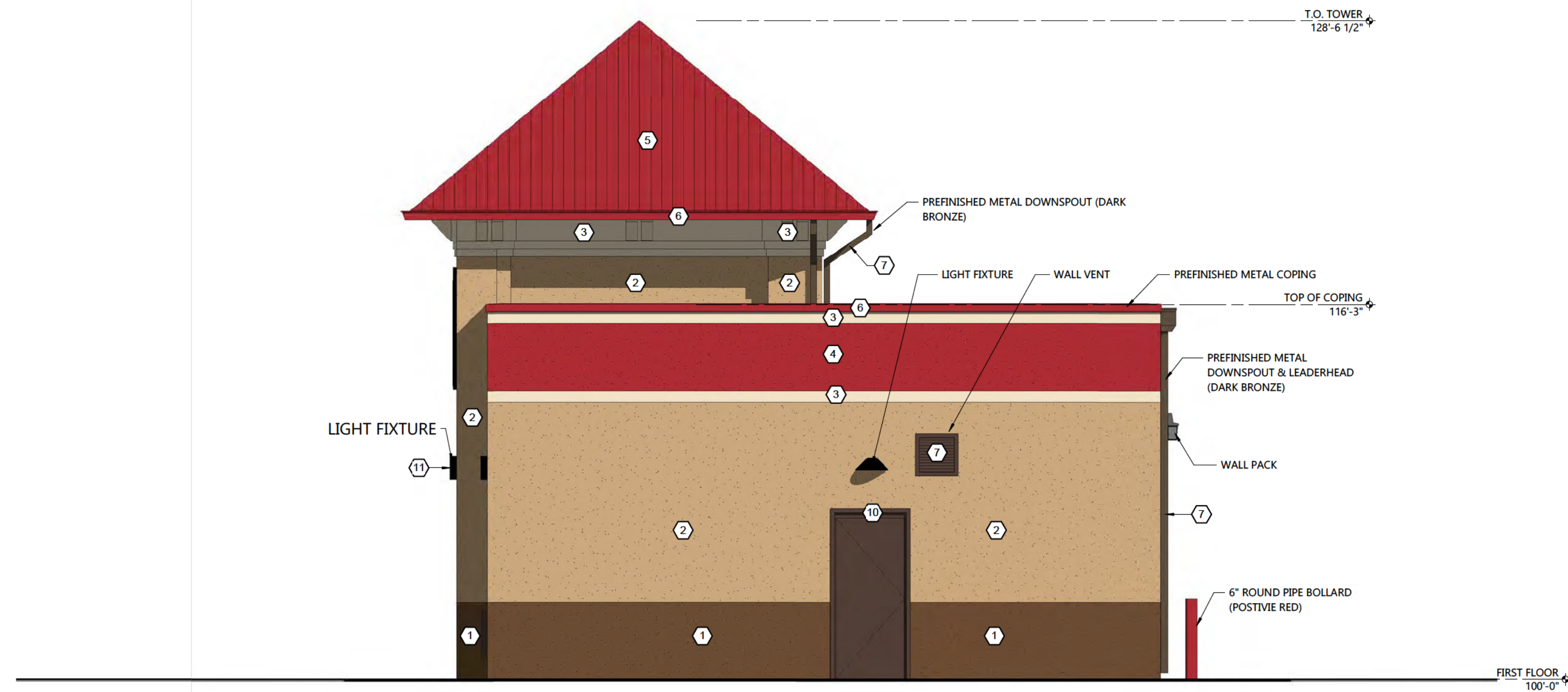
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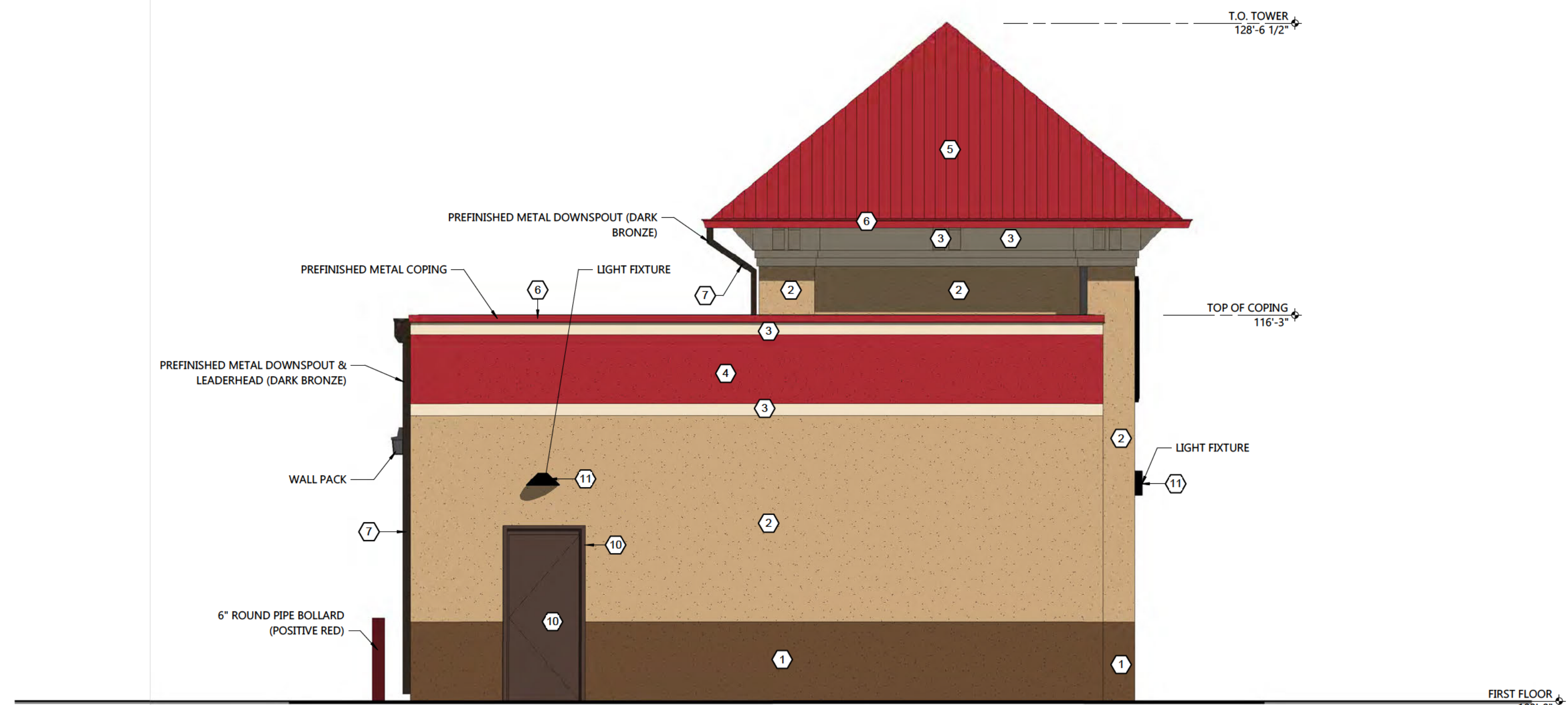
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SHEET NUMBER

A2.1



1 SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

EXTERIOR FINISH KEY

NOT TO SCALE

- 11** LIGHT FIXTURE
MFR:
COLOR:
- 10** HOLLOW METAL DOOR AND FRAME
MFR:
COLOR: TO MATCH SW 6076
TURKISH COFFEE
- 9** GLAZING
MFR:
- 8** OVERHEAD DOORS
MFR: CLOPAY
COLOR: CHOCOLATE BROWN
- 7** DOWNSPOUT, SCUPPER, AND WINDOW FRAME
MFR:
STYLE:
COLOR: DARK BRONZE
- 6** METAL COPING AND GUTTER
MFR:
TEXTURE: KYNAR 500 PREFINISHED
COLOR: TO MATCH SW #6871 POSTIVE RED
- 5** PREFINISHED STANDING SEAM ROOF
MFR: ATAS DUTCH SEAM OR BERRIDGE
STYLE:
TEXTURE: KYNAR 500 PREFINISHED
COLOR: TO MATCH SW #6871 POSTIVE RED
- 4** STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #6871 POSTIVE RED
- 3** STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #7678 COTTAGE CREAM
- 2** STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #7693 STONEBRIAR
- 1** STUCCO OR EIFS
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #6097 STURDY BROWN

SITE LINE LEGEND

	PARCEL BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	MIN. BUILDING SETBACK
	CENTER LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING
	EXISTING CONCRETE CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING CONC. PAD/ CONC. SIDEWALK
	EXISTING GUARD RAIL
	EXISTING TREES, HEDGE, EDGE OF WOODS
	EXISTING STOCKADE & CHAIN LINK FENCE
	EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE CURB
	PROPOSED BUILDING
	PROPOSED SIDEWALK

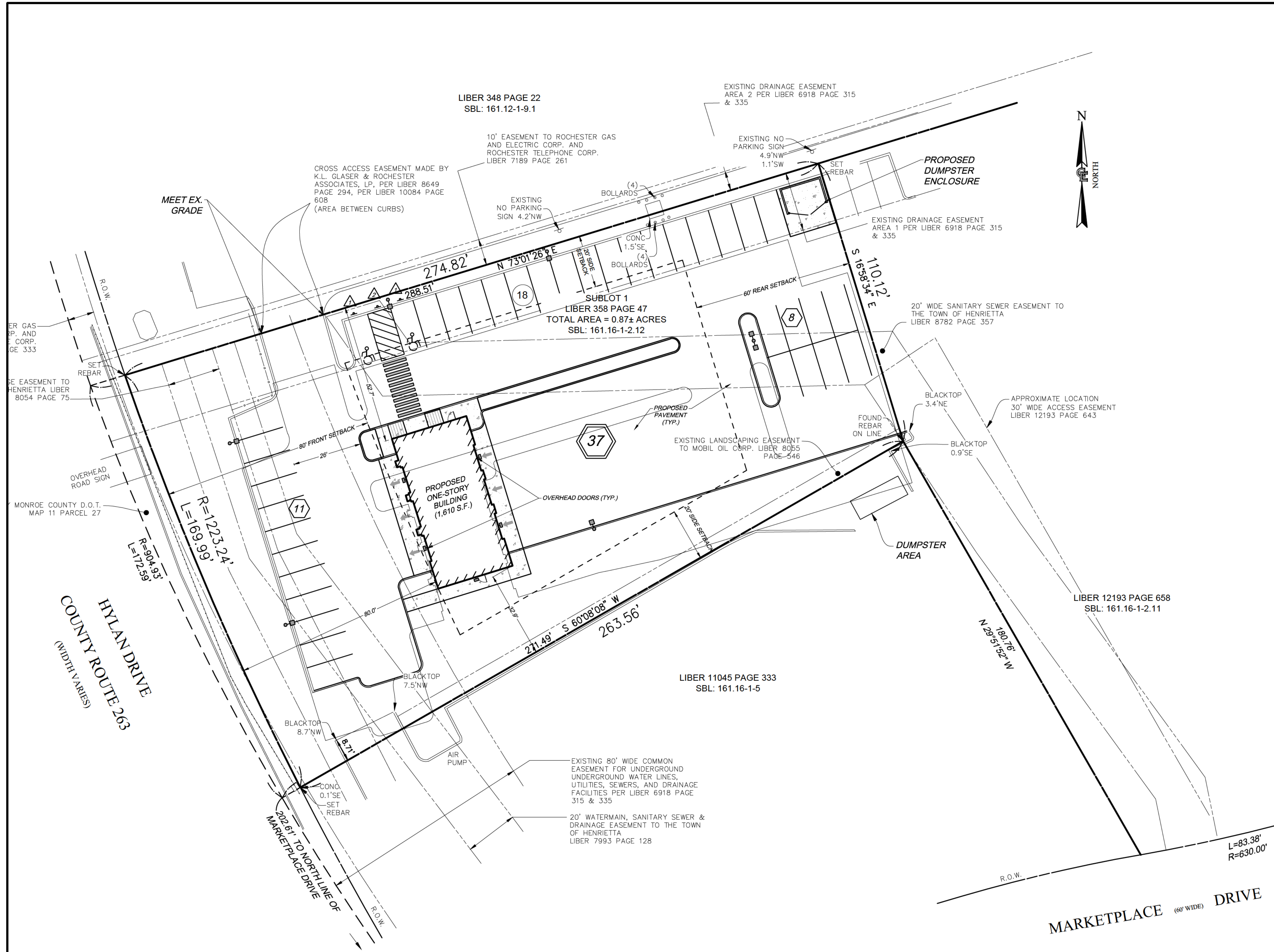
SITE DATA

- 1300 HYLAN DRIVE
TAX PARCEL NO. 161.16-1-2.12
TOTAL PARCEL AREA: 0.87± ACRES (37,897 S.F.)
- ZONING: PLANNED COMMERCIAL DEVELOPMENT DISTRICT (PCD)
AUTOMOTIVE REPAIR - SPECIAL USE PERMIT REQUIRED
BUILDING FRONTS HYLAN DRIVE
 - PROPOSED BUILDING S.F. AREA: 1,610±
 - DISTRICT REGULATIONS:

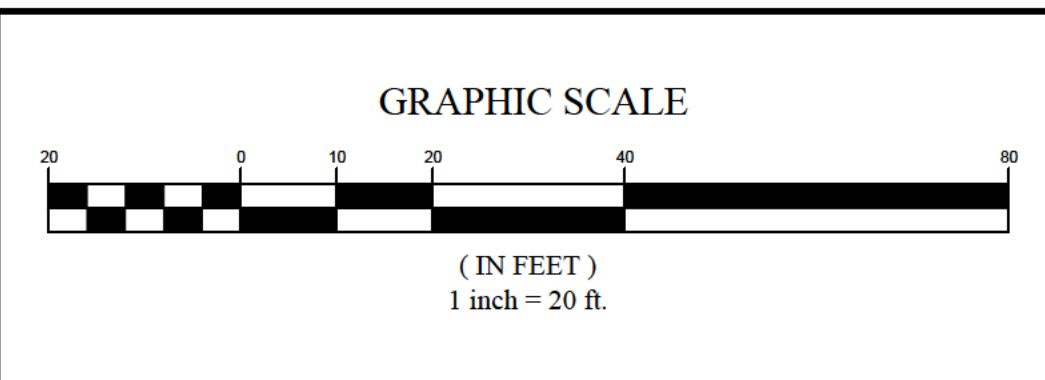
REQUIREMENTS	REQUIRED	PROPOSED
FRONT SIDE	80'	80'
REAR	20'	39'
	60'	15'
LANDSCAPING (SIDE YARD)	5'	5' (MIN.)
 - PARKING SPACE REQUIREMENT:
AUTOMOTIVE REPAIR: 1 SPACE/400 S.F. FLOOR AREA = 1/400 x 1,610 = 5 SPACES
TOTAL PARKING REQUIRED = 5 PARKING SPACES
PARKING PROVIDED:
ADA/HANDICAP: 2 SPACES
TOTAL PARKING SPACES: 37 SPACES
 - GREEN SPACE: 0.26 ACRES

SIGN LEGEND

SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT	QNT.
1		NY R7-8	12"x18" BLUE AND GREEN ON WHITE	"C"	7'-0"	2
2		R7-1	12"x18" RED ON WHITE	"C"	7'-0"	1
3		R7-8B	12"x6" WHITE ON BLUE	"C"	7'-0"	-
4		R4-C	30"x30" OCTAGONAL WHITE ON RED	"A"	7'-0"	-
5		R5-1	30"x30" RED ON WHITE	"C"	7'-0"	-

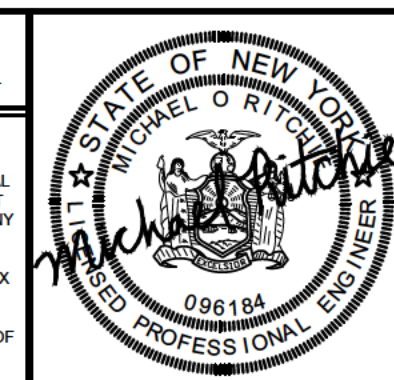


EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	APVLS.

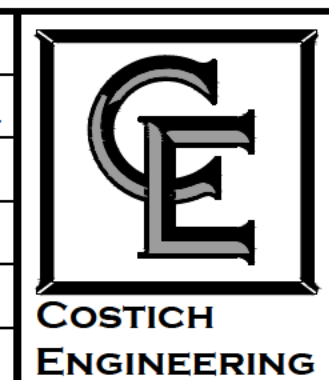
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COSTICH ENGINEERING, D.P.C.
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT MANAGER
E.R.G.
DRAWN BY
R.C.C./E.L.O.
BOUNDARY

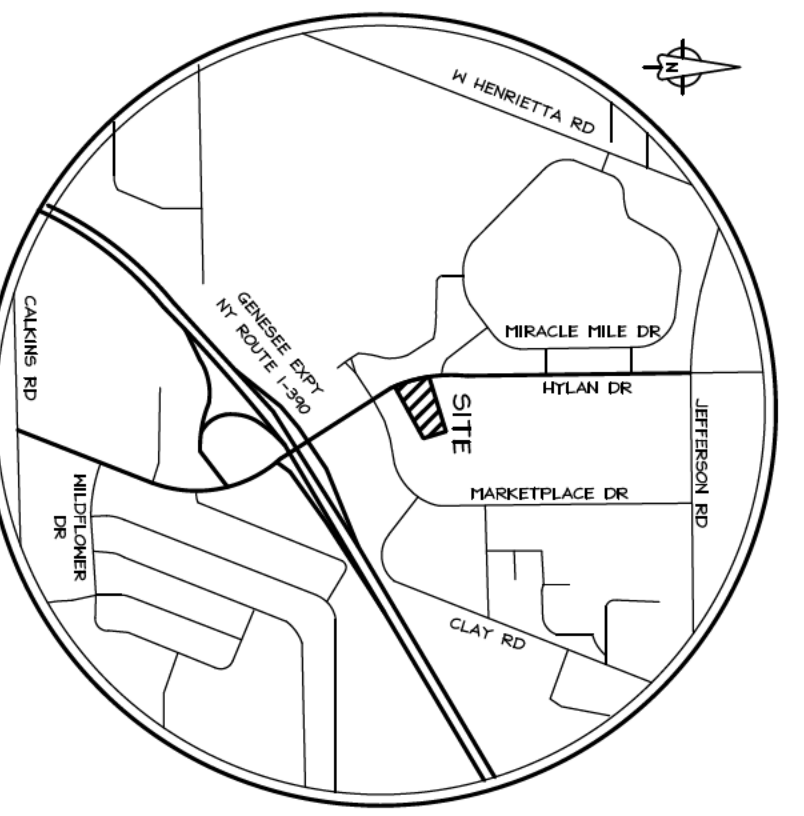
TOPBASE

DATE
01/13/2023
SCALE
1"=20'

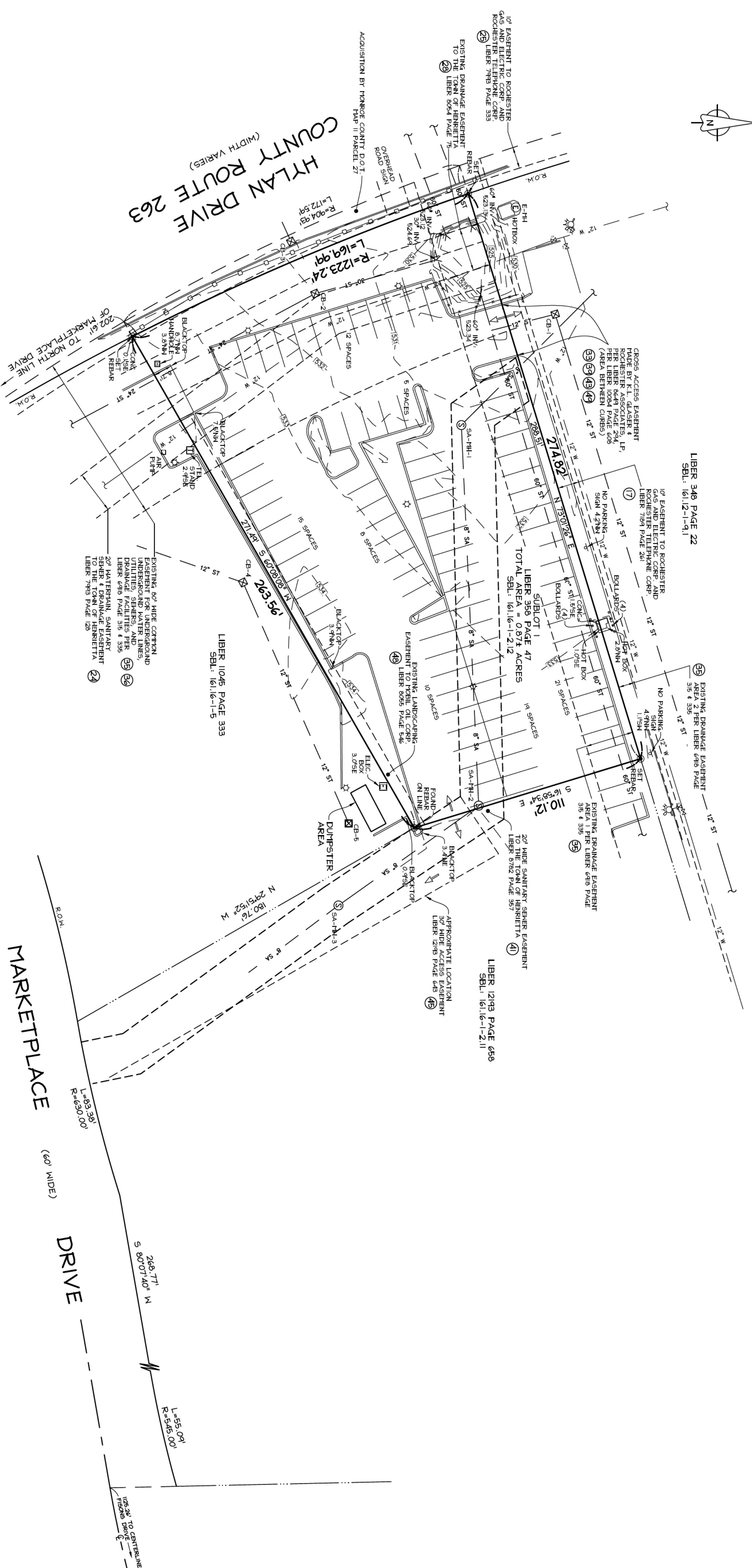


- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT: TAKE 5 OIL CHANGE
1300 HYLAN DRIVE, ROCHESTER, NY
TITLE OF DRAWING: SITE PAVEMENT & MARKING PLAN
LOCATION OF PROJECT: TAX PARCEL NO. 161.160-1-2.12
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK
CLIENT: QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523
DWG # 8826
CA110
SHEET 3 of 10



VICINITY MAP
(NOT TO SCALE)



SURVEYOR'S CERTIFICATION

TO:
 QUATTRO HENRIETTA, LLC, A NEW YORK LIMITED LIABILITY COMPANY, AND ITS HORSHAGE, SUCCESSORS AND ASSIGNS.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NYS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 8, 9, 10(A), 10, 14, 16, 17, & 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 12/12/2022.

DATE OF MAP: 01/20/2023

GREGORY J. KOESTER, PLS
 NYS LIC. NO. 050643
 NYS REGISTERED PROFESSIONAL SURVEYOR
 3855 WOODSHORE ROAD
 BUFFALO, NY 14224
 716-827-8000

NOTES:

- ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 83).
- HORIZONTAL DATUM REFERENCES THE NORTH AMERICAN DATUM 1983 (NAD 83) - NEW YORK STATE PLANE WEST ZONE.
- LOT IS CURRENTLY ZONED AS PLANNED COMMERCIAL DEVELOPMENT DISTRICT. NO ZONING REPORT RECEIVED AT TIME OF SURVEY.
- LOT HAS NO BUILDINGS AT TIME OF SURVEY.
- THERE ARE 90 PARKING SPACES ON LOT.

FLOOD NOTE:

FIRM MAP PANEL NO. 36055C-0334G
 ZONE IV (AREA OF MINIMAL FLOOD HAZARD)

TOWN OF HENRIETTA
 AUGUST 29, 2008
 COMMUNITY NUMBER 360493
 REFERENCE: F.I.R.T. (NYS.FEMA.GOV)

UTILITY NOTE:

CHARTER COMMUNICATIONS: DESIGN CONFLICT, PLEASE SHARE DESIGN DRAWINGS WITH OUR ENGINEERING DEPT. UTILITY OWNER WILL ATTEMPT TO CONTACT YOU.

FIRSTLIGHT FIBER: HAS NOT RESPONDED.

ROCHSTER TELEPHONE OF ROCHESTER: DESIGN CONFLICT, PLEASE SHARE DESIGN DRAWINGS WITH OUR ENGINEERING DEPT. UTILITY OWNER WILL ATTEMPT TO CONTACT YOU.

HORSHAGE COUNTY WATER AUTHORITY: HAS NOT RESPONDED. DRAIN HERON.

HORSHAGE COUNTY WATER AUTHORITY: HAS NOT RESPONDED. DRAIN HERON.

NYS DOT ROCHESTER REGION 4: CLEAR, NO FACILITIES WITHIN 15 FT OF THE EXCAVATOR DEFINED WORK AREA.

ROCHESTER GAS AND ELECTRIC EAST ELECTRIC: NO LOCATE REQUIRED - EXCAVATION WORK IS BEING PERFORMED FOR THE FACILITY OWNER. LOCATE WILL BE PERFORMED BY THE EXCAVATOR PER CONTRACTUAL AGREEMENT.

TOWN OF HENRIETTA UTILITY DIVISION: DESIGN CONFLICT, PLEASE SHARE DESIGN DRAWINGS WITH OUR ENGINEERING DEPT. UTILITY OWNER WILL ATTEMPT TO CONTACT YOU.

SOURCE: DIG SAFELY NY

CATCH BASIN AND MANHOLE INVERT LIST

CB-1	CB-2	CB-3	CB-4	CB-5	CB-6	CB-7	CB-8	CB-9	CB-10	CB-11	CB-12	CB-13	CB-14	CB-15	CB-16	CB-17	CB-18	CB-19	CB-20
RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94	RHT529.94

LEGEND

	HITMARK		MANHOLE
	WATER VALVE		TELEPHONE STAND
	SANITARY MANHOLE		ELECTRIC MANHOLE
	DRAINAGE INLET		SIGN
	CLEANOUT		
	BOLLARD		
	W		UNDERGROUND SANITARY SEWER
	SA		UNDERGROUND STORM SEWER
	ST		



NUSSBAUMER & CLARKE, INC.
 ENGINEERS AND SURVEYORS

3581 LAGO STONE ROAD, SUITE 300, BUFFALO, NY 14219
 P: (716) 837-5300 | F: (716) 274-9283 | WWW.NUSSBAUMERANDCLARKE.COM

ALTA / NSPS LAND TITLE SURVEY
 840 Hylan Drive
 Part of Lot 8 of Fourth Range of Lots, Township 12, Range 7
 Phelps & Gorham Purchase
 County of Monroe, State of New York

Date of Survey: 12/12/2022 Rev: 1/20/2023 Scale: 1" = 30' Sheet 1 of 2 Project No.: 2212-1909

STEWART TITLE INSURANCE COMPANY
 TITLE NUMBER: 512601-S-NY-CF-TRK
 EFFECTIVE DATE: AUGUST 9, 2022
 SOURCE DEED: LIBER 11777 OF DEEDS AT PAGE 49

SCHEDULE A - DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN TOWN LOT 8, RANGE 4, TOWNSHIP 12, RANGE 7, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 ABOVE-DESCRIBED LOT R-101B IS ALSO DESCRIBED AS FOLLOWS:
 ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN TOWN LOT 8 & OF THE 4TH RANGE OF LOTS, TOWNSHIP 12, 7TH RANGE, COUNTY OF MONROE, STATE OF NEW YORK, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE CENTERLINE OF MARKETPLACE DRIVE, SAID POINT BEING LOCATED 125.26 FEET FROM THE CENTERLINE INTERSECTION OF HYLAN DRIVE;

- THENCE NORTH 01 DEGREE 15 MINUTES 24 SECONDS WEST, A DISTANCE OF 30.92 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF MARKETPLACE DRIVE, SAID POINT BEING THE TRUE POINT AND PLACE OF BEGINNING;
- THENCE WESTERLY, ON A CURVE TO THE RIGHT, ALONG THE NORTH RIGHT-OF-WAY LINE OF MARKETPLACE DRIVE, HAVING A RADIUS OF 546.00 FEET, AN ARC LENGTH OF 55.09 FEET AND A DELTA ANGLE OF 06 DEGREES 47 MINUTES 29 SECONDS TO A POINT;
- THENCE SOUTH 90 DEGREES 07 MINUTES 40 SECONDS WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF MARKETPLACE DRIVE, A DISTANCE OF 268.77 FEET TO A POINT;
- THENCE WESTERLY, ON A CURVE TO THE LEFT, HAVING A RADIUS OF 830.00 FEET, AN ARC LENGTH OF 83.39 FEET AND A DELTA ANGLE OF 07 DEGREES 34 MINUTES 54 SECONDS TO FOUND REBAR;
- THENCE NORTH 29 DEGREES 51 MINUTES 52 SECONDS WEST, A DISTANCE OF 180.76 FEET TO A REBAR FOUND;
- THENCE SOUTH 60 DEGREES 08 MINUTES 08 SECONDS WEST, A DISTANCE OF 271.49 FEET TO A H&G NAIL SET ON THE EASTERLY RIGHT-OF-WAY LINE OF HYLAN DRIVE;
- THENCE WESTERLY, ON A CURVE TO THE RIGHT ALONG THE EASTERLY RIGHT-OF-WAY LINE OF HYLAN DRIVE, HAVING A RADIUS OF 924.98 FEET, AN ARC LENGTH OF 172.59 FEET AND A DELTA ANGLE OF 10 DEGREES 55 MINUTES 40 SECONDS TO A TEG NAIL SET;
- THENCE NORTH 73 DEGREES 01 MINUTE 26 SECONDS EAST, A DISTANCE OF 684.33 FEET TO REBAR FOUND;
- THENCE SOUTH 01 DEGREE 16 MINUTES 24 SECONDS EAST, A DISTANCE OF 49.53 FEET TO A H&G NAIL SET;
- THENCE NORTH 89 DEGREES 44 MINUTES 36 SECONDS EAST, A DISTANCE OF 160.50 FEET TO A RAILROAD SPIKE FOUND;
- THENCE SOUTH 01 DEGREE 16 MINUTES 24 SECONDS EAST, A DISTANCE OF 370.82 FEET TO THE POINT AND PLACE OF BEGINNING;
- EXCEPTING THEREFROM ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WHICH WAS CONVERTED BY MEE MILLIE WINKLE, LLC, TO SIG 1675 MARKETPLACE LLC, BY DEED DATED AS OF 5/7/2019 AND RECORDED 6/10/2019 IN LIBER 12189, PAGE 659, BOUNDED AND DESCRIBED AS FOLLOWS:
 ALL THAT TRACT OR PARCEL OF LAND SITUATE IN PART OF LOT 8 OF THE FOURTH RANGE OF LOTS, TOWNSHIP 12, RANGE 7, TOWNSHIP 4 GORHAM PURCHASE, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK, ALL AS SHOWN ON A MAP ENTITLED, "1675 MARKETPLACE DRIVE SUBDIVISION PLAN", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NUMBER 989 V5100 DATED JANUARY 11, 2019, TO BE FILED IN THE MONROE COUNTY CLERK'S OFFICE AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT BEING THE SOUTHWEST CORNER OF LANDS NOW OR FORMERLY OWNED BY REAL PROCEVER, LLC HAVING TAX ACCOUNT #1612-01-011 AND THE NORTHWEST CORNER OF LANDS NOW OR FORMERLY OWNED BY MEE MILLIE WINKLE LLC HAVING TAX ACCOUNT #1612-01-011 AND BEING MORE PARTICULARLY BOUNDED AS FOLLOWS:
 ROAD 243 (100' R.O.M.), THENCE
 A. NORTH 73 DEGREES 01 MINUTE 26 SECONDS EAST, A DISTANCE OF 288.51 FEET TO THE POINT AND PLACE OF BEGINNING; THENCE
 1. NORTH 73 DEGREES 01 MINUTE 26 SECONDS EAST, A DISTANCE OF 370.82 FEET TO A POINT; THENCE
 2. SOUTH 01 DEGREE 16 MINUTES 24 SECONDS EAST, A DISTANCE OF 49.53 FEET TO A POINT; THENCE
 3. NORTH 89 DEGREES 44 MINUTES 36 SECONDS EAST, A DISTANCE OF 160.50 FEET TO A POINT; THENCE
 4. SOUTH 01 DEGREE 16 MINUTES 24 SECONDS EAST, A DISTANCE OF 202.47 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MARKETPLACE DRIVE; THENCE
 5. WESTERLY AND ALONG SAID NORTHERLY BOUNDS OF MARKETPLACE DRIVE ALONG A CURVE TO THE RIGHT HAVING A DELTA ANGLE OF 05 DEGREES 47 MINUTES 29 SECONDS, A RADIUS OF 546.00 FEET, AND AN ARC LENGTH OF 55.09 FEET, SAID CURVE ALSO HAVING A CHORD OF SOUTH 76 DEGREES 13 MINUTES 56 SECONDS WEST, 85.06 FEET TO A POINT; THENCE
 6. SOUTH 89 DEGREES 07 MINUTES 40 SECONDS WEST, AND ALONG SAID NORTHERLY BOUNDS OF MARKETPLACE DRIVE, A DISTANCE OF 268.77 FEET TO A POINT; THENCE
 7. WESTERLY AND ALONG SAID NORTHERLY BOUNDS OF MARKETPLACE DRIVE ALONG A CURVE TO THE LEFT HAVING A DELTA ANGLE OF 07 DEGREES 34 MINUTES 54 SECONDS, A RADIUS OF 830.00 FEET AND AN ARC LENGTH OF 83.39 FEET, SAID CURVE ALSO HAVING A CHORD OF SOUTH 76 DEGREES 20 MINUTES 11 SECONDS WEST, 83.32 FEET TO A POINT; THENCE
 8. NORTH 29 DEGREES 51 MINUTES 52 SECONDS WEST, A DISTANCE OF 180.76 FEET TO A POINT; THENCE
 9. NORTH 16 DEGREES 58 MINUTES 34 SECONDS WEST, A DISTANCE OF 110.12 FEET TO THE POINT AND PLACE OF BEGINNING.

STEWART TITLE INSURANCE COMPANY
 TITLE NUMBER: 512601-S-NY-CF-TRK
 EFFECTIVE DATE: AUGUST 9, 2022
 SOURCE DEED: LIBER 11777 OF DEEDS AT PAGE 49

SCHEDULE B - EXCEPTIONS

- 5 UTILITY EASEMENT RECORDED IN LIBER 4160, PAGE 14. DOES NOT AFFECT.
- 6 EASEMENT AGREEMENT RECORDED IN LIBER 5275, PAGE 28. DOES NOT AFFECT.
- 7 EASEMENT RECORDED IN LIBER 9561, PAGE 94. DOES NOT AFFECT.
- 8 NOTICE OF APPROPRIATION RECORDED IN BOOK 5595, PAGE 244. DOES NOT AFFECT.
- 9 EASEMENT RECORDED IN LIBER 5622, PAGE 193. DOES NOT AFFECT.
- 10 UTILITY EASEMENT RECORDED IN LIBER 5646, PAGE 236. DOES NOT AFFECT.
- 11 EASEMENT RECORDED IN LIBER 5659, PAGE 130. DOES NOT AFFECT.
- 12 AGREEMENT RECORDED IN LIBER 5980, PAGE 115. DOES NOT AFFECT.
- 13 EASEMENT RECORDED IN LIBER 5986, PAGE 78. DOES NOT AFFECT.
- 14 EASEMENT RECORDED IN LIBER 5986, PAGE 73. DOES NOT AFFECT.
- 15 EASEMENT RECORDED IN LIBER 6349, PAGE 291. DOES NOT AFFECT.
- 16 SANITARY SEWER AND WATERMAIN EASEMENT RECORDED IN BOOK 6954, PAGE 177. DOES NOT AFFECT.
- 17 UTILITY EASEMENT RECORDED IN LIBER 7199, PAGE 261. AFFECTS, PLOTTED ON MAP.
- 18 UTILITY EASEMENT RECORDED IN BOOK 7667, PAGE 155. DOES NOT AFFECT.
- 19 WATERMAIN EASEMENT RECORDED IN BOOK 7667, PAGE 328. UNABLE TO PLOT.
- 20 SANITARY SEWER EASEMENT RECORDED IN BOOK 7667, PAGE 340. DOES NOT AFFECT.
- 21 SANITARY SEWER EASEMENT RECORDED IN BOOK 7669, PAGE 21. DOES NOT AFFECT.
- 22 WATERMAIN, SANITARY SEWER AND DRAINAGE EASEMENT RECORDED IN BOOK 7949, PAGE 117. DOES NOT AFFECT.
- 23 WATERMAIN EASEMENT RECORDED IN BOOK 7949, PAGE 123. DOES NOT AFFECT.
- 24 WATERMAIN, SANITARY SEWER AND DRAINAGE EASEMENT RECORDED IN BOOK 7949, PAGE 128. AFFECTS, PLOTTED ON MAP.
- 25 EASEMENT AGREEMENT RECORDED IN BOOK 7949, PAGE 333. AFFECTS, PLOTTED ON MAP.
- 26 WATERMAIN EASEMENT RECORDED IN BOOK 8054, PAGE 63. DOES NOT AFFECT.
- 27 SANITARY SEWER EASEMENT RECORDED IN BOOK 8054, PAGE 70. DOES NOT AFFECT.
- 28 DRAINAGE EASEMENT RECORDED IN BOOK 8054, PAGE 75. AFFECTS, PLOTTED ON MAP.
- 29 WATERMAIN EASEMENT RECORDED IN BOOK 8074, PAGE 204. DOES NOT AFFECT.
- 30 SANITARY SEWER EASEMENT RECORDED IN BOOK 8244, PAGE 303. DOES NOT AFFECT.
- 31 DRAINAGE EASEMENT RECORDED IN BOOK 8244, PAGE 308. DOES NOT AFFECT.
- 32 WATERMAIN EASEMENT RECORDED IN BOOK 8244, PAGE 313. DOES NOT AFFECT.
- 33 COVENANTS AND RESTRICTIONS RECORDED IN BOOK 9257, PAGE 34 AFFECTS, SEE 94 & 43 FOR LOCATION.
- 34 COVENANTS, RESTRICTIONS AND EASEMENTS RECORDED IN BOOK 6253, PAGE 34 AND LIBER 6253, PAGE 48. DOES NOT AFFECT.
- 35 COVENANTS, RESTRICTIONS, RESERVATIONS, AGREEMENTS AND EASEMENTS RECORDED IN LIBER 6918, PAGE 335. AFFECTS, PLOTTED ON MAP.
- 36 COVENANTS, RESTRICTIONS AND EASEMENTS RECORDED IN LIBER 6918, PAGE 315. DOES NOT AFFECT, THIS EASEMENT TO THE NORTH OF OUR PARCEL.
- 37 EASEMENTS RECORDED IN LIBER 6132, PAGE 176. DOES NOT AFFECT.
- 38 LICENSE AGREEMENT RECORDED IN BOOK 1899, PAGE 523. DOES NOT AFFECT.
- 39 AGREEMENT RECORDED IN BOOK 6649, PAGE 294. AFFECTS, PLOTTED ON MAP.
- 40 DECLARATION OF EASEMENTS RECORDED IN BOOK 8192, PAGE 349. AS AMENDED BY AMENDMENT TO DECLARATION OF EASEMENTS RECORDED IN BOOK 8266, PAGE 531 AND AS FURTHER AMENDED BY SECOND AMENDMENT TO DECLARATION OF EASEMENTS RECORDED IN BOOK 10094, PAGE 600. DOES NOT AFFECT.
- 41 SANITARY SEWER EASEMENT RECORDED IN BOOK 8782, PAGE 357. AFFECTS, PLOTTED ON MAP.
- 42 GRANT OF EASEMENT'S RECORDED IN BOOK 10073, PAGE 639. AS AMENDED BY CORRECTION GRANT OF EASEMENT'S RECORDED IN BOOK 10080, PAGE 593. DOES NOT AFFECT.
- 43 RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK 10073, PAGE 639. AS AMENDED BY CORRECTION GRANT OF EASEMENT'S RECORDED IN BOOK 10080, PAGE 593. DOES NOT AFFECT.
- 44 RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK 10084, PAGE 604. DOES NOT AFFECT.
- 45 DECLARATION OF RECIPROCAL EASEMENTS AND GRANT OF ADDITIONAL EASEMENTS RECORDED IN BOOK 12189, PAGE 643. AFFECTS, PLOTTED ON MAP.
- 46 TERMS, CONDITIONS, COVENANTS AND PROVISIONS AS SET FORTH IN A LEASE DATED SEPTEMBER 26, 1980 MADE BY AND BETWEEN PHIL MULLER AND RAY HYLAN D/B/A SOUTHGATE INVESTMENT COMPANY, LANDLORD, AND THE COMMUNITY SAVINGS BANK, TENANT, AS EVIDENCED BY A MEMORANDUM OF LEASE RECORDED MAY 29, 1981 IN LIBER 5980, PAGE 122. DOES NOT AFFECT.
- 47 TERMS, CONDITIONS, COVENANTS AND PROVISIONS AS SET FORTH IN A GROUND LEASE DATED NOVEMBER 22, 1991 MADE BY AND BETWEEN FEDELE V. SCOTTI, LANDLORD, AND THE PEP BOYS - TUNNY, MOE AND JACK, TENANT, AS EVIDENCED BY A MEMORANDUM OF LEASE RECORDED MARCH 16, 1992 IN BOOK 9184, PAGE 603, AS AMENDED BY AMENDMENT TO MEMORANDUM OF LEASE RECORDED MAY 1, 1992 IN BOOK 8201, PAGE 341 AND AS FURTHER AMENDED BY ASSIGNMENT AND ASSUPTION OF GROUND LEASE MADE BY AND BETWEEN THE PEP BOYS - TUNNY, MOE AND JACK, LANDLORD, AND THE PEP BOYS - TUNNY, MOE AND JACK, TENANT, AS EVIDENCED BY A MEMORANDUM OF LEASE RECORDED MARCH 16, 1992 IN BOOK 9184, PAGE 603, AS AMENDED BY AMENDMENT TO MEMORANDUM OF LEASE RECORDED MAY 1, 1992 IN BOOK 8201, PAGE 341 AND AS FURTHER AMENDED BY ASSIGNMENT AND ASSUPTION OF GROUND LEASE MADE BY AND BETWEEN THE PEP BOYS - TUNNY, MOE AND JACK, LANDLORD, AND THE PEP BOYS - TUNNY, MOE AND JACK, TENANT, AS EVIDENCED BY A MEMORANDUM OF LEASE RECORDED MARCH 16, 1992 IN BOOK 9184, PAGE 603, AS AMENDED BY AMENDMENT TO MEMORANDUM OF LEASE RECORDED MAY 1, 1992 IN BOOK 8201, PAGE 341 AND AS FURTHER AMENDED BY ASSIGNMENT AND ASSUPTION OF GROUND LEASE MADE BY AND BETWEEN JAMES H. DONEGAN AND COBRIS PROPERTIES, LLC RECORDED FEBRUARY 24, 2015 IN BOOK 1054, PAGE 266. DOES NOT AFFECT.
- 48 TERMS, CONDITIONS, COVENANTS AND PROVISIONS AS SET FORTH IN A LEASE MADE BY AND BETWEEN F.V. SCOTTI, LANDLORD, AND MOBIL OIL CORPORATION DATED NOVEMBER 1, 1990, AS EVIDENCED BY A MEMORANDUM OF LEASE RECORDED FEBRUARY 25, 1991 IN BOOK 8359, PAGE 546. AFFECTS, PLOTTED ON MAP.
- 49 TERMS, CONDITIONS, COVENANTS AND PROVISIONS AS SET FORTH IN A LEASE MADE BY AND BETWEEN KIMBERLY GLASER, LANDLORD, AND CIRCUIT CITY STORES, INC., GRANT DATED MARCH 1, 1998 RECORDED FEBRUARY 27, 1998 IN BOOK 8669, PAGE 231, AS AMENDED BY ASSIGNMENT OF LEASE MADE BY AND BETWEEN KIMBERLY GLASER, LANDLORD, AND CIRCUIT CITY STORES, INC., ASSIGNEE, RECORDED FEBRUARY 27, 1998 IN BOOK 8669, PAGE 231, AS AMENDED BY ASSIGNMENT OF LEASE MADE BY AND BETWEEN KIMBLE, LLC, ASSIGNOR, AND TIRE DISTRIBUTORS, INC., ASSIGNEE, RECORDED FEBRUARY 9, 2005 IN BOOK 10094, PAGE 619. AFFECTS ACCESS POINT, PREVIOUSLY DESCRIBED IN 33, 39, AND 43.
- 50 RIGHTS OF UTILITY COMPANIES TO MAINTAIN THEIR POLES AND WIRES ALONG THE ADJUTING STREETS TOGETHER WITH THE RIGHT TO TRIM TREES ALONG SAID ROUTE AS NECESSARY TO KEEP WIRES CLEAR. AFFECTS, NOTHING TO PLOT.
- 51 RIGHTS, IF ANY, IN FAVOR OF ANY ELECTRIC LIGHT OR TELEPHONE COMPANY TO MAINTAIN GUY WIRES EXTENDING FROM SAID PREMISES TO POLES LOCATED ON THE ROADS ON WHICH SAID PREMISES ABUT, BUT POLICY WILL INSURE. HOWEVER, THAT THERE ARE NO SUCH AGREEMENTS OF RECORD IN CONNECTION HEREBIN, EXCEPT AS THAT BE SHOWN HEREIN. AFFECTS, NOTHING TO PLOT.
- 52 UNDERGROUND ENCROACHMENTS AND EASEMENTS, IF ANY, INCLUDING PIPES AND DRAINS, AND SUCH RIGHTS AS MAY EXIST FOR ENTRY UPON SAID PREMISES TO MAINTAIN AND REPAIR THE SAME, BUT POLICY WILL INSURE. HOWEVER, THAT THERE ARE NO SUCH EASEMENTS OR RIGHTS OF RECORD IN CONNECTION HEREBIN, EXCEPT AS THAT BE SHOWN HEREIN. AFFECTS.



3365 Lamo Stone Road, Suite 300, Baldwinsville, NY 14020
 P: (315) 833-5699, (315) 833-5699, www.nussbaumer.com

Unpublished information or additions to any record containing this information are available upon request to the County Clerk's Office, Town of Henrietta, County of Monroe, State of New York.

NUSSBAUMER & CLARKE, INC.
 ENGINEERS AND SURVEYORS

ALTA / NSPS LAND TITLE SURVEY

Part of Lot 8 of Fourth Range of Lots, Township 12, Range 7
 840 Hylan Drive
 Phelps & Gorham Purchase
 Town of Henrietta
 County of Monroe, State of New York

Date of Survey: 12/12/2022 Rev.: 12012023 Scale: 1" = 30' Sheet 2 of 2 Project No.: 2212-1809