



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 06/14/2023

I (we) Joe Chiarenza - Frontier Center, LLC of 2199 East Henrietta Road
Name of Applicant / Business Business Address (Number & Street)

Henrietta, NY 14623 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review

OR

Other: _____

on property located at 2199 East Henrietta Road B-1 Commercial (MURA)
(Street & Number) (Zoning District & Tax Account No.)
162.18-02-01.005

Previous Reviews, if any, Date: 4/5/23 - Special Use Permit Number: 2023-016

DESCRIPTION OF PROPOSAL: _____

Renovation of existing plaza building to accommodate the proposed Smugtown Brewing Co.
Exterior improvements to include relocation of perimeter drive, exterior patio space, facade improvements, upgraded sanitary and water services, and new landscaping.

Applicant: Frontier Center, LLC / Smugtown Brewing Co.

Address: 2199 East Henrietta Road, Suite 13
Henrietta NY, 14623

Phone #: [REDACTED]

Email: _____

Property Owner: Same as Above

Address: _____

Phone #: _____

Email: _____

Applicant Signature:

Engineer/Architect: Costich Engineering, DPC

Address: 217 Lake Ave
Rochester NY 14608

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: Smugtown Brewing Co.

Address: 2199 East Henrietta Road, Suite 13

Henrietta NY, 14623

Phone #: [REDACTED]

Email: [REDACTED]

Print Name: Joel Chiarenza

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:


- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Frontier Center, LLC / Smugtown Brewing Co.

By: Joel Chiarenza

Title: Owner/Member

Dated: 06/14/2023

Signed: 

Owner: Same as Above

By: _____

Title: _____

Dated: _____

Signed: _____

June 14 2023

Planning Board
Town of Henrietta
475 Colkins Road
Henrietta New York 14623

Re Smugtown Brewing Company
2199 East Henrietta Rd - Town Center
Site Plan Review Application

Dear Chairman and Members of the Board

On Behalf of our client Joel Charanza Fonti Center, LLC, we are submitting materials for your review for the above referenced project. We are requesting that the project be added to the Board's regularly scheduled July Planning Board agenda for Site Plan review.

The project represents the proposed redevelopment of a portion of existing plaza building and exterior located at 2199 East Henrietta Road - 'Town Center'. The proposed facility will include a space for brewing operations, a tasting room, and flex amenity space, along with an outdoor patio. The proposal although primarily internal to the building will include some exterior improvement. Associated site improvements, including but not limited to, a pedestrian connection to parking, an outdoor patio space, screening elements (hedges, trees & landscaping), relocation of existing perimeter drive and new utility service.

The proposed tenant space will operate under the previously obtained Special Use Permit in the underlying Commercial B-1 Zoning District. No proposed building setbacks will be altered from what currently exist at the property.

The existing vehicle circulation pattern will remain mostly unchanged, with primary ingress/egress to East Henrietta Road at the existing signalized entrance to Town Center Plaza. One modification will be the south perimeter drive which will now have a relocated connection to the existing internal private driveway. This access drive is only intended for deliveries, refuse pickup, and emergency services.

Utility requirements for the facility would utilize existing on-site infrastructure. Review and approval will be coordinated with all respective utility providers - Town of Henrietta (sewer), MCWA (water), MCDPH (backflow prevention).

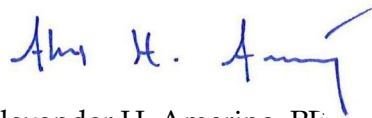
We believe the proposed redevelopment is consistent with the previously granted Special Use permit and underlying zoning, and will serve to provide a benefit to the plaza for previously un-occupied tenant space.

To aid in your review enclosed please find:

- One (1) copy of this Letter of Intent
- One (1) copy of the Planning Board – Site Plan Application
- One (1) copy of the Site Plan Review Checklist
- One (1) copy of Owner Authorization Letters
- One (1) copy of required checks (Engineering & Application Fees)
- One (1) copy of the completed SEAF
- Fourteen (14) copies of the Site Development Plans
- Fourteen (14) copies of the Architectural Plans

We look forward to appearing before the Board at its regularly scheduled July hearing. In the meantime if you should have any questions or require additional information, please do not hesitate to contact our office.

Respectfully submitted,



Alexander H. Amering, PE
COSTICH ENGINEERING, DPC

Cc: Joel Chiarenza – Frontier Center, LLC
Jason Fox – Smugtown Brewing Co.
Clint Battista – Enso Architects



Frontier Center LLC

To Whom it may concern: The purpose of this letter is to confirm that I, Joel Chiarenza am the Manager and an Owner of the entity that owns the plaza located at 2199 East Henrietta Road, Henrietta, NY 14623.

Sincerely,

Joel Chiarenza
April 18, 2023

Frontier Management
of New York, Inc.

I, Joel Chiarenza authorize Smugtown Brewery to open a business in my plaza at 2199 East Henrietta Road, Henrietta, NY 14623.

Sincerely,



Joel Chiarenza
April 3, 2023

April 18, 2023

To Whom It May Concern:

I, Jason Fox, authorize Joel Chiarenza to represent me in all matters concerning the planning of the brewery and the permitting process. Joel and I are partners in the brewery project.

Cordially,

A handwritten signature in black ink, appearing to be 'JF', written in a cursive style.

Jason Fox

Partner and Head Brewer at Smugtown Brewing Co.

[Redacted]

[Redacted]



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
- 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
- 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- 30 Show wetland and buffer zone limits (when applicable).
- 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
- 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: _____
Name of Developer

_____ Date

Company Name

Street Address

City, State, Zip





SITE PLAN CHECKLIST

PROJECT NAME: _____

APPLICATION No. _____

Telephone Number

Prepared by: _____
Name of Consultant

_____ Date

_____ Company Name

_____ Street Address

_____ City, State, Zip

_____ Telephone Number

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan


LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

Application Number: _____


**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:


Responsible Individual _____
Responsible Firm _____
Street Address _____
City, State, Zip Code _____
Telephone Number  _____

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual _____
Responsible Firm _____
Street Address _____
City, State, Zip Code _____
Telephone Number  _____

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By _____
Address _____
City, State Zip _____
Telephone Number  _____

Short Environmental Assessment Form

Part 1 - Project Information

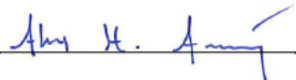
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Smugtown Brewing Company			
Project Location (describe, and attach a location map): 2199 East Henrietta Road, Henrietta, NY			
Brief Description of Proposed Action: Renovation of existing plaza building (approximately 7,847 square foot lease parcel) to accommodate the proposed Smugtown Brewing Co. Exterior improvements to include relocation of perimeter drive, exterior patio space, facade improvements, upgraded sanitary and water services, and new landscaping.			
Name of Applicant or Sponsor: Joel Chlareza - Frontier Center, LLC		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: 2199 East Henrietta Road Suite 13			
City/PO: Henrietta		State: NY	Zip Code: 14623
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Henrietta Special Use Permit		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.97+ acres	
b. Total acreage to be physically disturbed?		0.7+/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		11.66 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations? *With a Special Use Permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? *Project is located in previously developed area with minimal cuts or fills (primarily topsoil strip and installation of landscape and patio.	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	+
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ Runoff will be directed to storm drains and established conveyance systems. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ Site Code: 828152 and Site Class: C. Remediation at the site is complete (former United Cleaners) - located on the project parcel but at the location of the proposed action.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Alexander H. Amering (As Agent for Applicant)</u> Date: <u>06/14/2023</u>		
Signature: <u></u> Title: <u>Project Manager</u>		



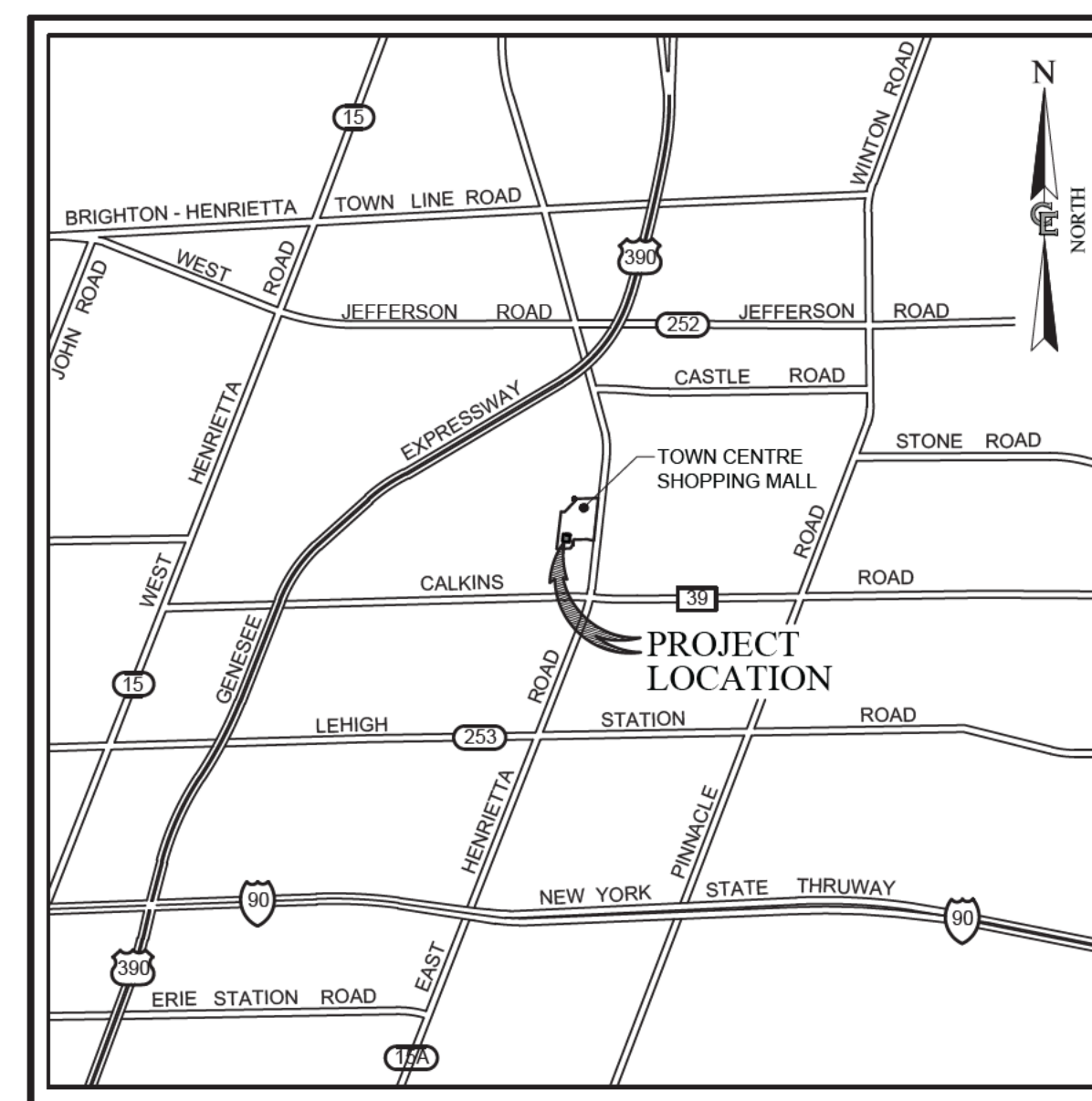
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD SITE DEVELOPMENT PLANS

TOWN OF HENRIETTA COUNTY OF MONROE STATE OF NEW YORK

INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 01 OF 09)
GA002	GENERAL NOTES AND LEGEND SHEET (SHEET 02 OF 09)
VA100	EXISTING FEATURES / DEMOLITION PLAN (SHEET 03 OF 09)
CA100	SITE PLAN (SHEET 04 OF 09)
CA110	UTILITY GRADING AND EROSION CONTROL PLAN (SHEET 05 OF 09)
LA100	LANDSCAPE PLAN (SHEET 06 OF 09)
CA500	DETAIL SHEET (SHEET 07 OF 09)
CA501	DETAIL SHEET (SHEET 08 OF 09)
CA502	DETAIL SHEET (SHEET 09 OF 09)



LOCATION SKETCH
NOT TO SCALE

PREPARED FOR:
ENSO ARCHITECTS
P.O. BOX 26208
ROCHESTER, NEW YORK 14626



**COSTICH
ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

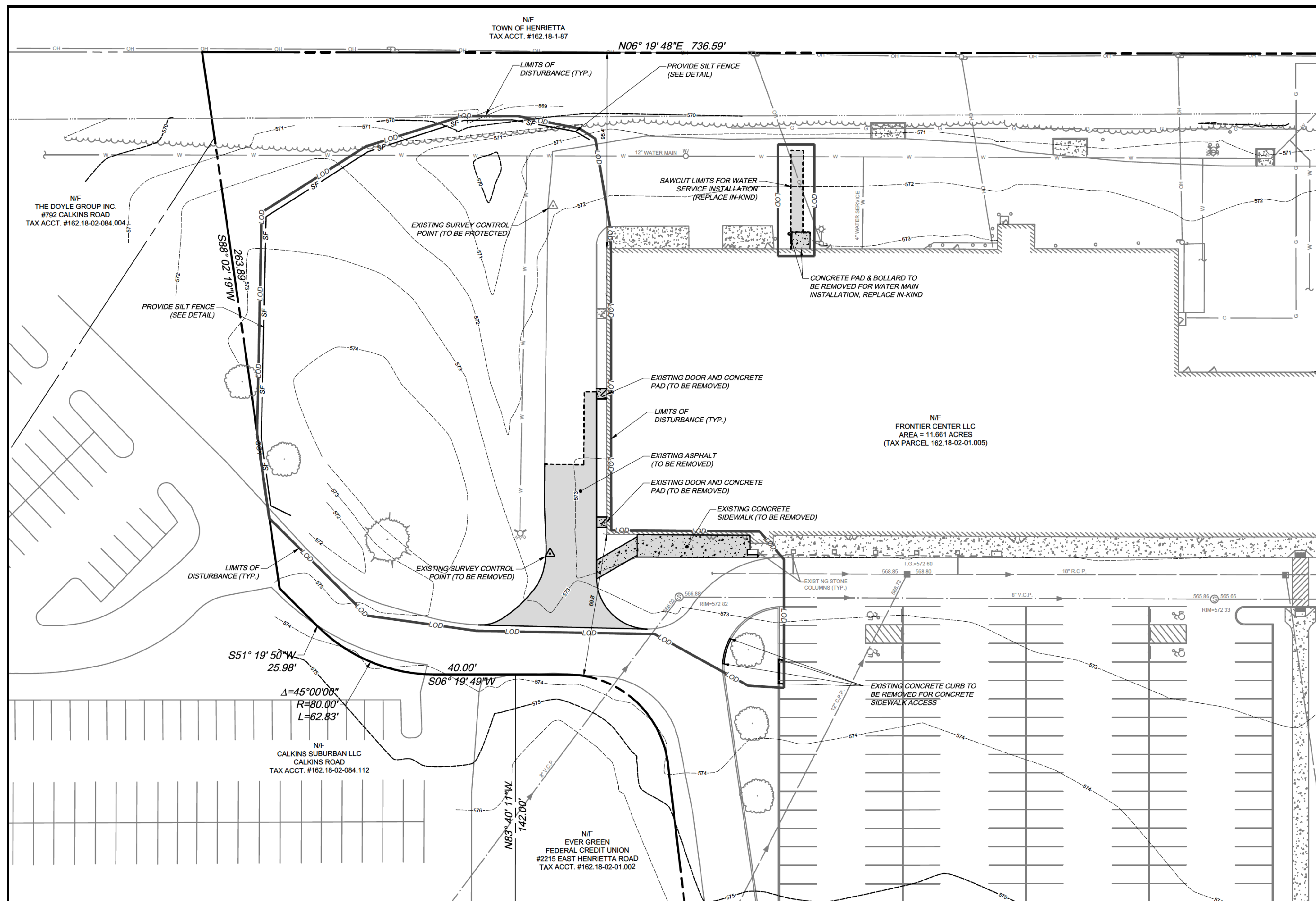
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

SMUGTOWN BREWING CO.
2199 EAST HENRIETTA ROAD
SITE DEVELOPMENT PLANS
TOWN OF HENRIETTA
COUNTY OF MONROE
STATE OF NEW YORK

DATE: JUNE 14, 2023

PROJECT NO. 9054

SHEET NO. GA001
SHEET 01 OF 09



LINE LEGEND

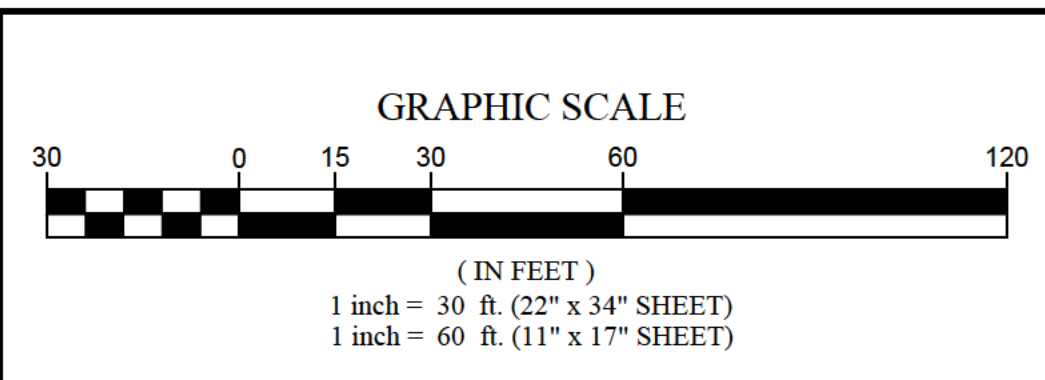
- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE SERVICE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL
- TREES, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- EXISTING CHAIN LINK & STOCKADE FENCE
- EXISTING CONTOUR

DEMOLITION LEGEND

- EXISTING CONCRETE CURB TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- EXISTING SURVEY CONTROL TO BE REMOVED
- PROPOSED SILT FENCE
- EXISTING STONE WALL TO BE REMOVED
- INLET PROTECTION



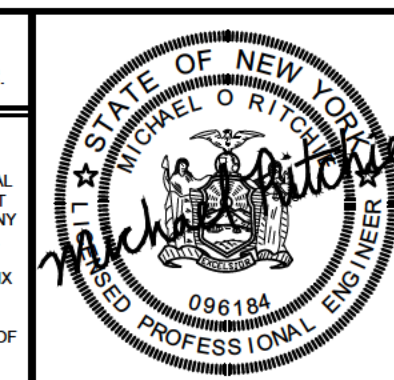
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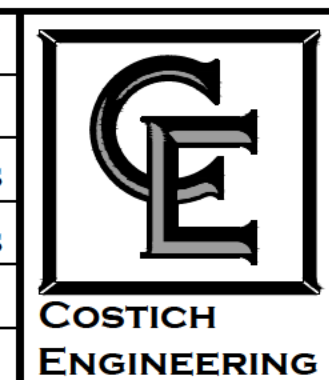
NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER
A.H.A.
DRAWN BY
D.J.L.
BOUNDARY
BY OTHERS
TOPOBASE
BY OTHERS
DATE
06/14/2023
SCALE
1"=30'



• CIVIL ENGINEERING
• LAND SURVEYING
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT
SMUGTOWN BREWING CO.
2199 EAST HENRIETTA ROAD

TITLE OF DRAWING
EXISTING FEATURES/
DEMOLITION PLAN

LOCATION OF PROJECT
TAX PARCEL NO. 162.180-02-001.111
TOWN OF HENRIETTA
COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
ENSO ARCHITECTS
P.O. BOX 26208
ROCHESTER, NEW YORK 14626

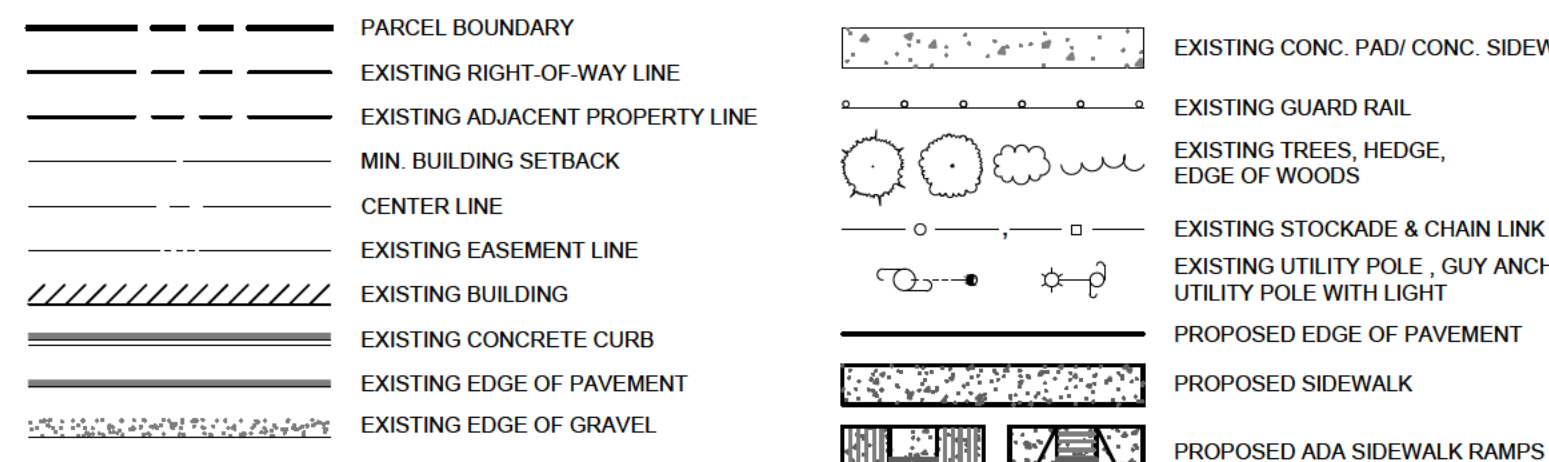
DWG. # 9054
VA100
SHEET 03 OF 09

PAVEMENT LEGEND



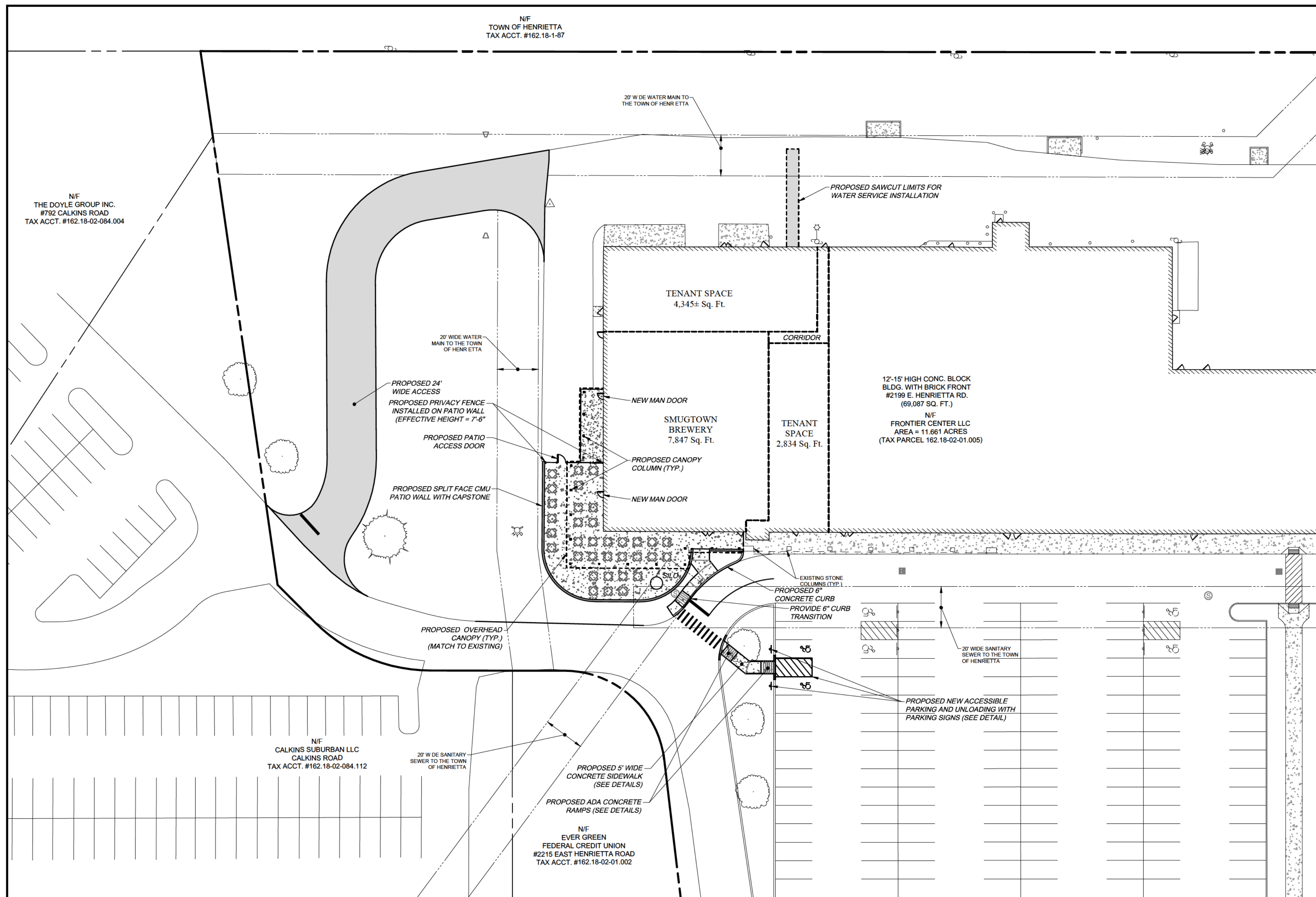
NOTE:
AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLORS, TEXTURE AND FINISH OF THE BUILDINGS AS DEPICTED IN THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD, SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL BY THE PLANNING BOARD.

SITE LINE LEGEND



SITE DATA

- PROJECT SPONSOR: SMUGTOWN BREWING COMPANY
- PROPERTY OWNER: FRONTIER CENTER LLC
- PROPERTY ADDRESS: 2199 EAST HENRIETTA ROAD
- TAX PARCEL NO. TAX PARCEL NO.: 162-18-02-01.005
- TOTAL PARCEL AREA: 507,910 S.F., 11.66 ACRES
- EXISTING ZONING: MIXED USE REDEVELOPMENT AREA OVERLAY DISTRICT (MURCOD) & COMMERCIAL (B-1)
- SPECIAL USE PERMIT APPLICATION NO. 2023.016 FOR PROPOSED SMUGTOWN BREWING CO., GRANTED ON APRIL 5th, 2023.
- VARIANCE APPLICATION NO. 2013-126 WAS GRANTED ON 01-22-2014 TO ALLOW 471 PARKING SPACES, WHEREAS 644 AREA REQUIRED BY CODE.
- NO PROPOSED MODIFICATIONS TO EXISTING BULK AREA REQUIREMENTS AS IT RELATES TO BUILDING SETBACKS. EXISTING BUILDING FOOTPRINT TO REMAIN PER PREVIOUS APPROVALS.



APPROVAL SIGNATURES

BY: _____ DATE: _____
 PLANNING BOARD CHAIRMAN

BY: _____ DATE: _____
 DIRECTOR OF ENGINEERING/PLANNING

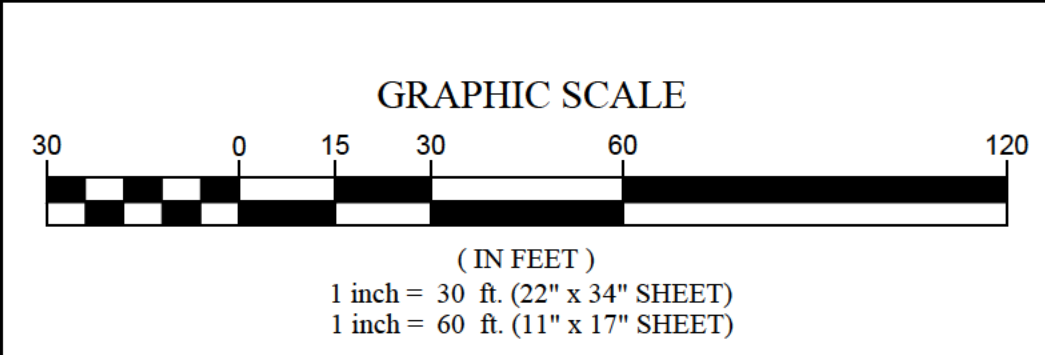
BY: _____ DATE: _____
 DIRECTOR OF BUILDING/FIRE PREVENTION

BY: _____ DATE: _____
 FIRE MARSHAL

BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS



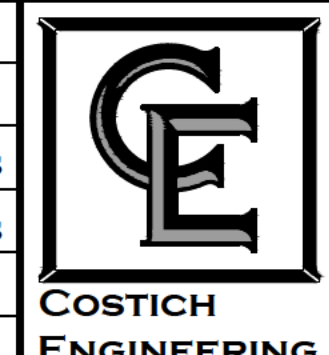
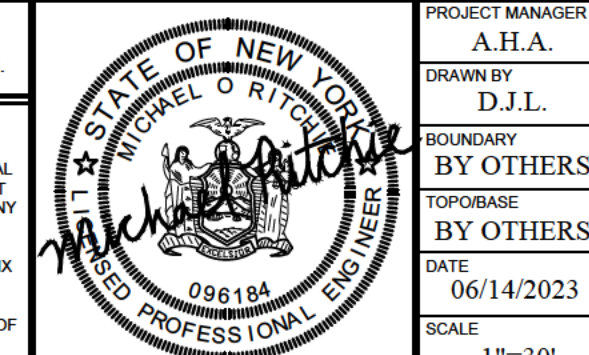
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- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

PROJECT TITLE: SMUGTOWN BREWING CO.
 2199 EAST HENRIETTA ROAD

TITLE OF DRAWING: SITE PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 162-18-02-001.111
 TOWN OF HENRIETTA
 COUNTY OF MONROE, STATE OF NEW YORK

CLIENT: ENSO ARCHITECTS
 P.O. BOX 26208
 ROCHESTER, NEW YORK 14626

PROJECT MANAGER: A.H.A.
 DRAWN BY: D.J.L.
 BOUNDARY BY OTHERS
 TOPBASE BY OTHERS
 DATE: 06/14/2023
 SCALE: 1"=30'

DWG. # 9054
 CA100
 SHEET 04 OF 09



APPROVAL SIGNATURES

BY: _____ DATE: _____
 DIRECTOR OF ENGINEERING/PLANNING

BY: _____ DATE: _____
 DIRECTOR OF BUILDING/FIRE PREVENTION

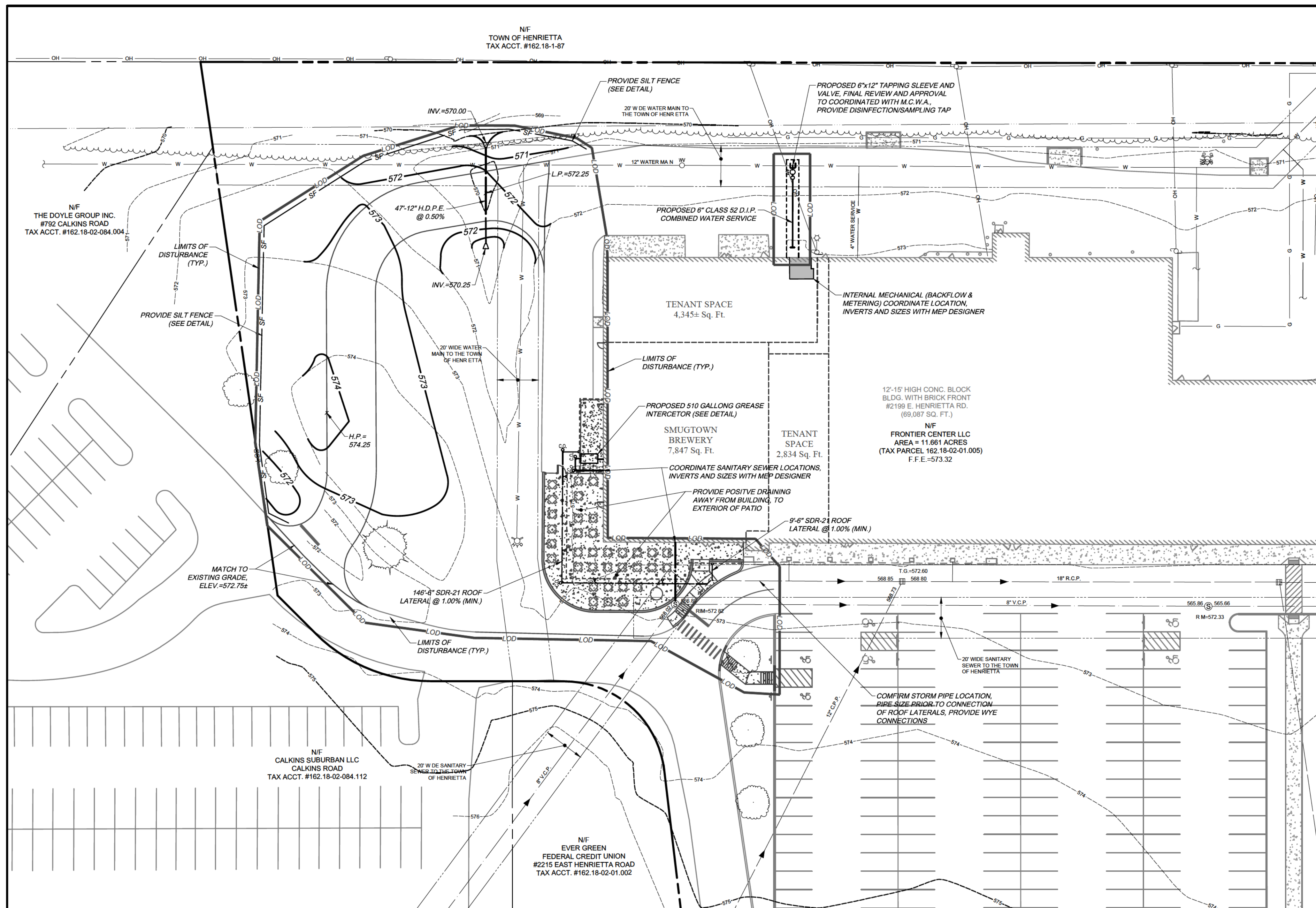
BY: _____ DATE: _____
 FIRE MARSHAL

BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS

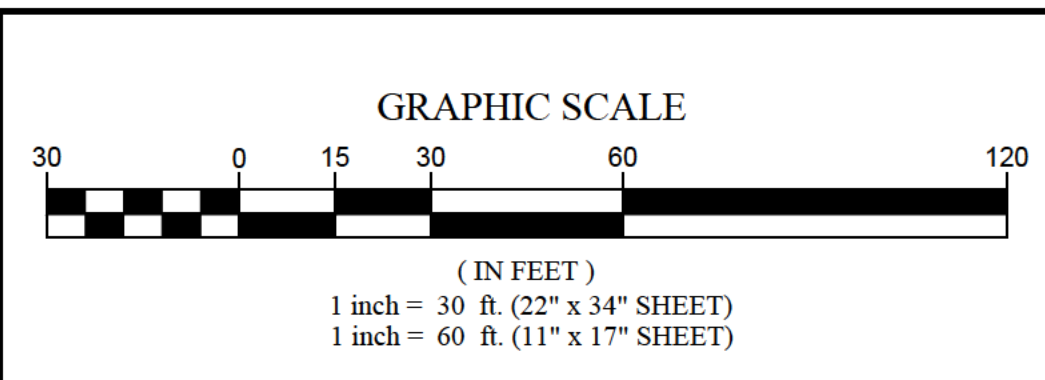
NAME: _____ DATE: _____
 MONROE COUNTY WATER AUTHORITY

GRADING LINE LEGEND

- PARCEL BOUNDARY
- - - EXISTING RIGHT-OF-WAY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- - - MIN. BUILDING SETBACK
- - - CENTER LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING CONCRETE CURB
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING EDGE OF GRAVEL
- - - EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- - - EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- TREES, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- EXISTING STOCKADE & CHAIN LINKED FENCE
- - - EXISTING CONTOUR
- x 100.4 EXISTING SPOT ELEVATION @ x
- 100.0 PROPOSED CONTOUR
- x 100.4 PROPOSED SPOT ELEVATION @ x
- SF SILT FENCE
- - - LIMIT OF DISTURBANCE
- PROPOSED INLET PROTECTION



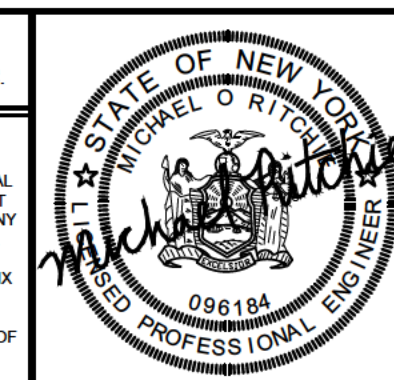
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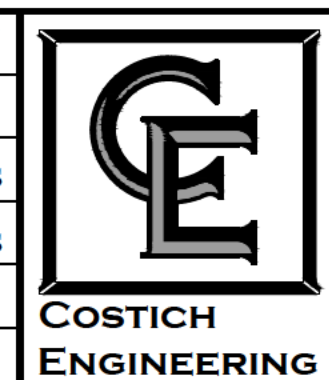
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 D.J.L.
 BOUNDARY
 BY OTHERS
 TOPOBASE
 BY OTHERS
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 SCALE
 1"=30'



- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

TITLE OF PROJECT
SMUGTOWN BREWING CO.
 2199 EAST HENRIETTA ROAD

TITLE OF DRAWING
UTILITY, GRADING & EROSION CONTROL PLAN

LOCATION OF PROJECT
 TAX PARCEL NO. 162.18-02-001.111
 TOWN OF HENRIETTA
 COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
 ENSO ARCHITECTS
 P.O. BOX 26208
 ROCHESTER, NEW YORK 14626

DWG. # 9054
CA110
 SHEET 05 OF 09

LANDSCAPE & MAINTENANCE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
- LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE OWNER/OWNERS REPRESENTATIVE AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF PROVISIONAL ACCEPTANCE.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO FINAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST.
- ALL TREE AND SHRUB BEDS SHALL RECEIVE 1-3" RIVER COBBLE MULCH, UNLESS OTHERWISE SPECIFIED.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 4" OF TOPSOIL AND BE SODDED.

RESTORATION OF NYS-DOT RIGHT OF WAY SHALL COMPLY WITH NYS-DOT

- NYS-DOT ITEM NO. ITEM 610 1402 - TOPSOIL - ROADSIDE
- ITEM 610 1401 - TOPSOIL - REUSE ON-SITE MATERIALS
- ITEM 610 1802 - TURF ESTABLISHMENT
- ITEM 610 18 - SODDING

- REFER TO 'NYS-DOT PERMIT PLANS' ISSUED WITH APPLICABLE PERMITS FOR ALL WORK WITHIN THE NYS-DOT RIGHT-OF-WAY.
- THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH 6 NYCRR PART 575 PROHIBITED AND REGULATED INVASIVE SPECIES.

GENERAL STABILIZATION NOTE

- TEMPORARY STABILIZATION OF DISTURBED AREA MUST BE INITIATED IMMEDIATELY WHENEVER WORK TOWARD PROJECT COMPLETION AND FINAL STABILIZATION OF ANY PORTION OF THE SITE HAS TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS.
- FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE.
- SLOPES STEEPER THAN 15% (APPROXIMATELY 7.1 H:1 V) ARE TO BE STABILIZED IMMEDIATELY AFTER COMPLETION TO PREVENT EROSION OF THESE STEEP SLOPES. TEMPORARY SEEDING WITH MULCHING IS TO BE USED FOR THIS STABILIZATION. PERMANENT STABILIZATION WITH SODDING MAY BE USED WITH PEGS OR STAPLES IF THESE AREAS WILL NOT BE DISTURBED BY FURTHER CONSTRUCTION ACTIVITIES.

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
EVERGREEN TREES						
3	Tl	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	3-4' HT. Min	BB	HT. 6-8', SP. 4-5'
8	Pa	PICEA ABIES	NORWAY SPRUCE	6-8' HT. Min	BB	HT. 80-100', SP. 30-40'
15	Pg	PICEA GLAUCA	WHITE SPRUCE	6-8' HT. Min	BB	HT. 40-60', SP. 10-20'
ORNAMENTAL TREES						
1	Am	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' (CLUMP)	AUTUMN BRILLIANCE SERVICEBERRY	1.5-2' CAL.	BB	HT. 15-25', SP. 15-25'
PERENNIALS AND GRASSES						
50	Cp	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	NO. 2	CONT.	HT. 0.5-1.0', SP. 0.5-1.0'
57	Op	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	NO. 2	CONT.	HT. 0.5', SP. 0.5'
54	Sp	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSSEED GRASS	NO. 2	CONT.	HT. 2-3', SP. 2-3'
25	Cs	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	NO. 3	CONT.	HT. 3-4', SP. 3-4'

ABBREVIATIONS:
 BB=BALLED & BURLAPPED
 BR=BARE ROOT
 CAL=CALIPER IN INCHES
 CONT=CONTAINER
 HT.=HEIGHT
 NO.=GALLON SIZE
 SP=SPREAD

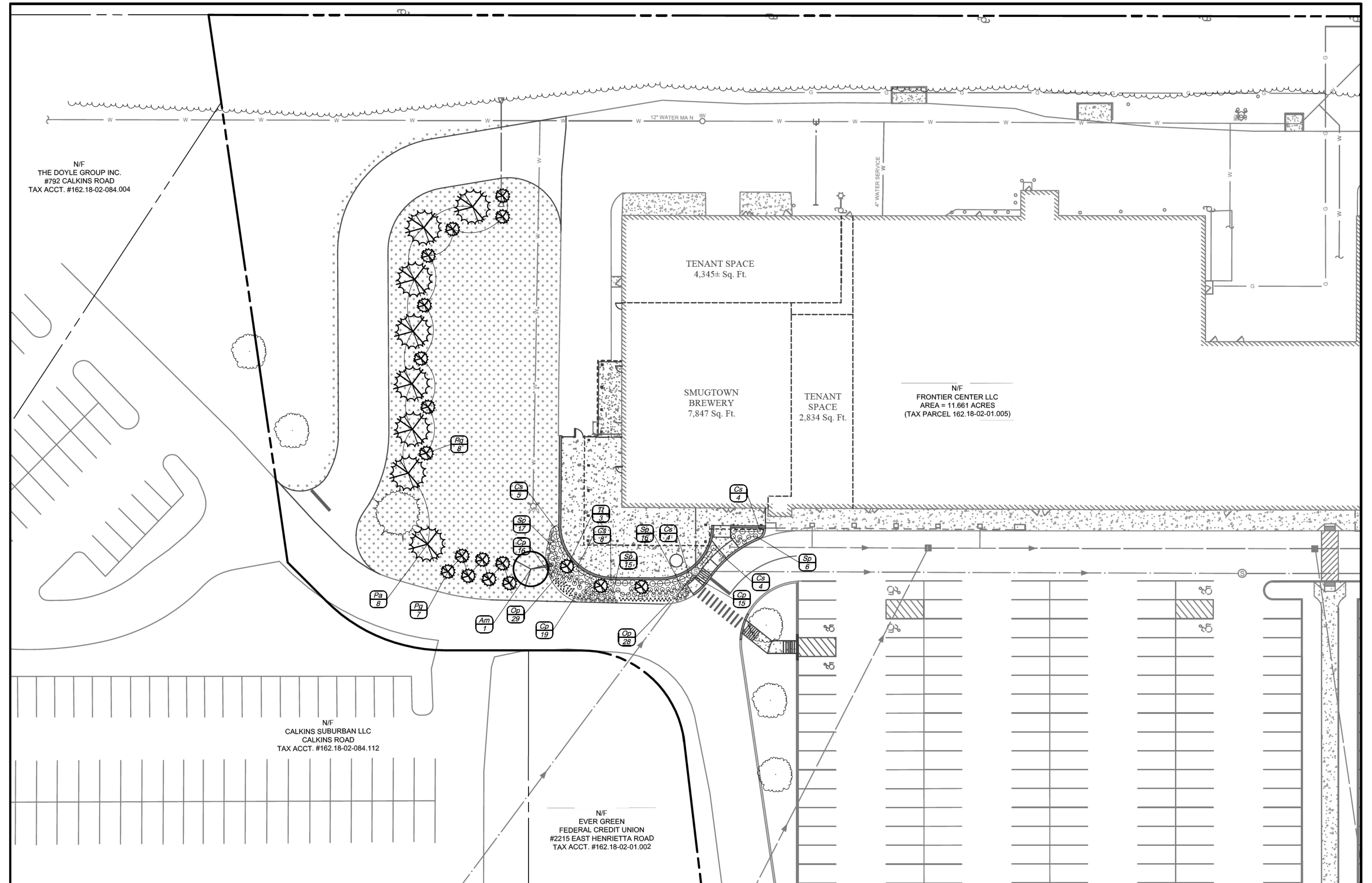
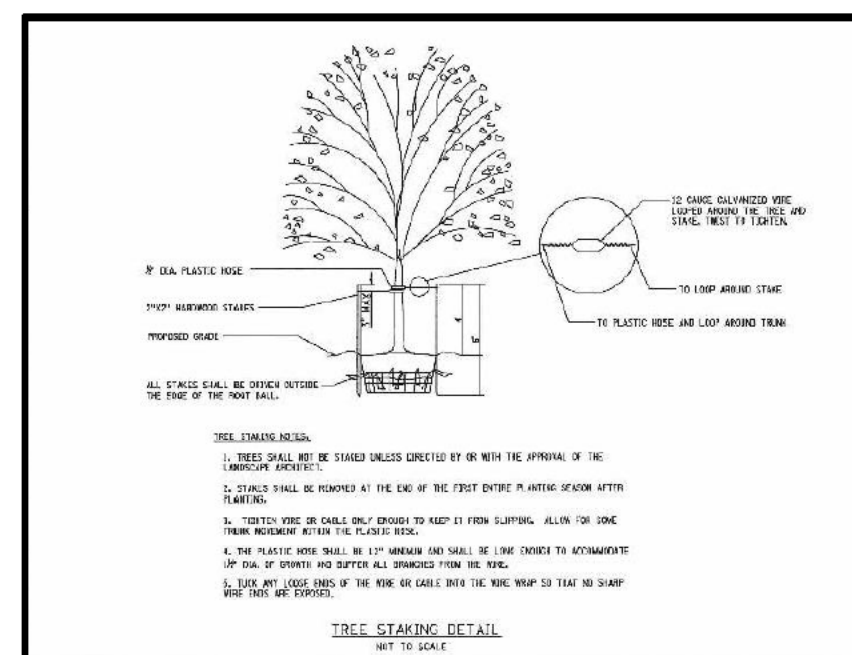
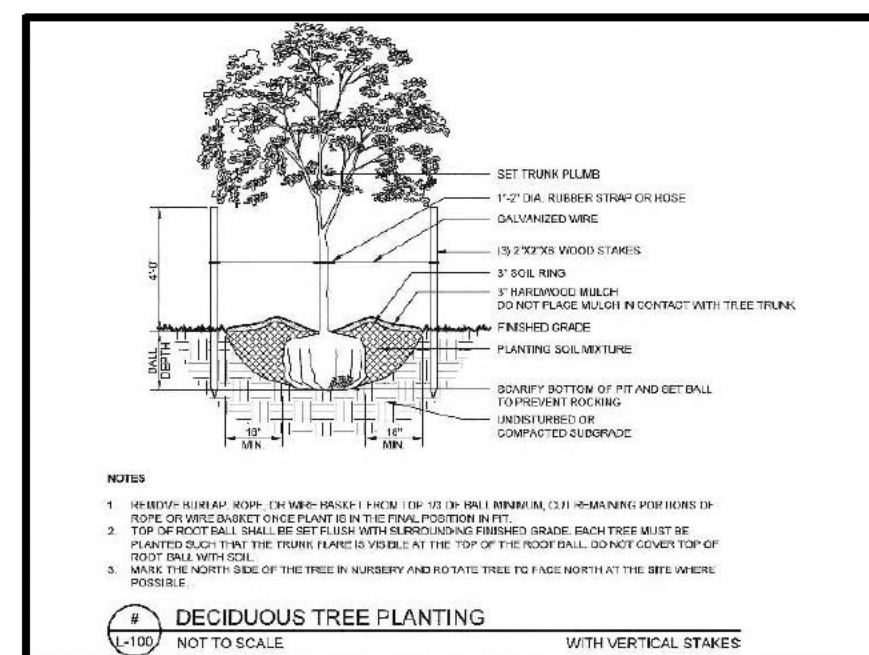
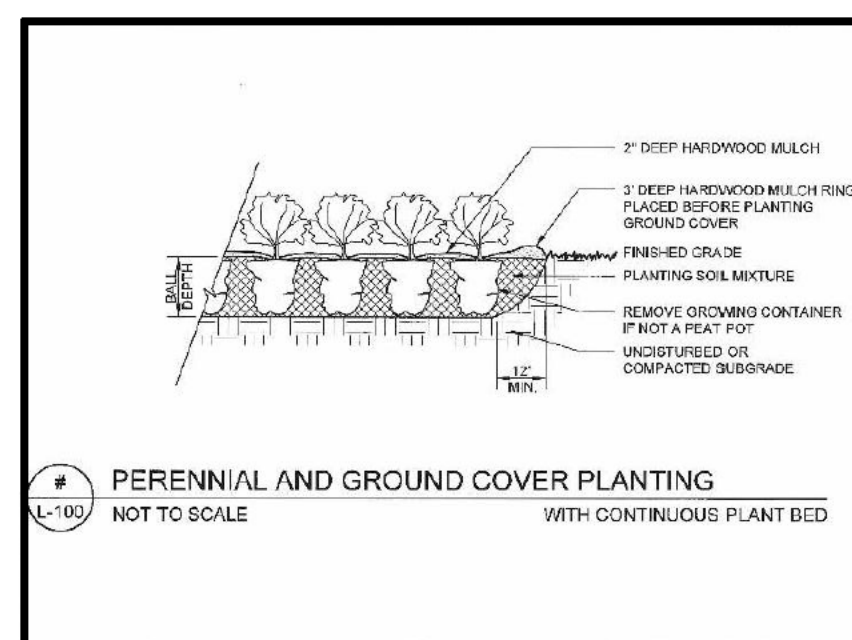
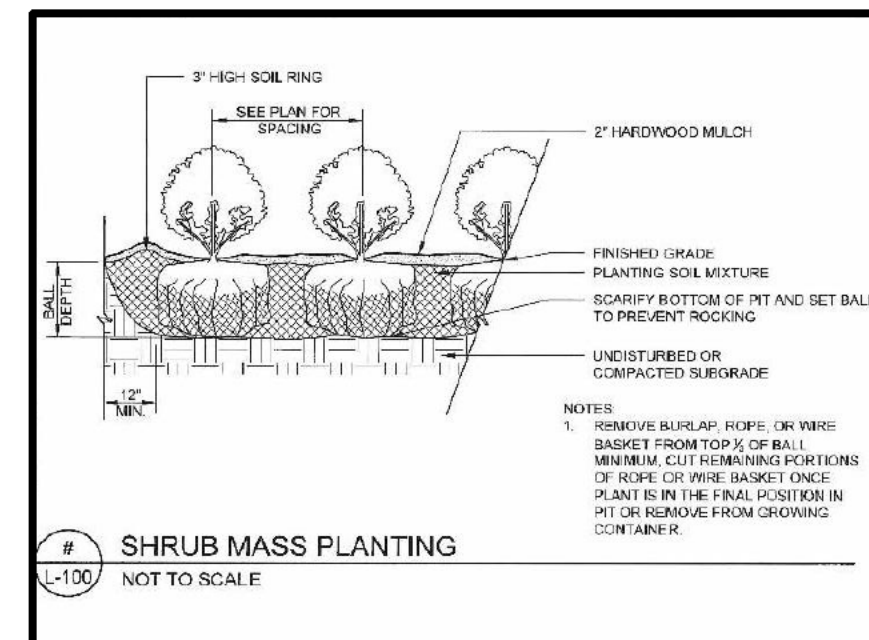
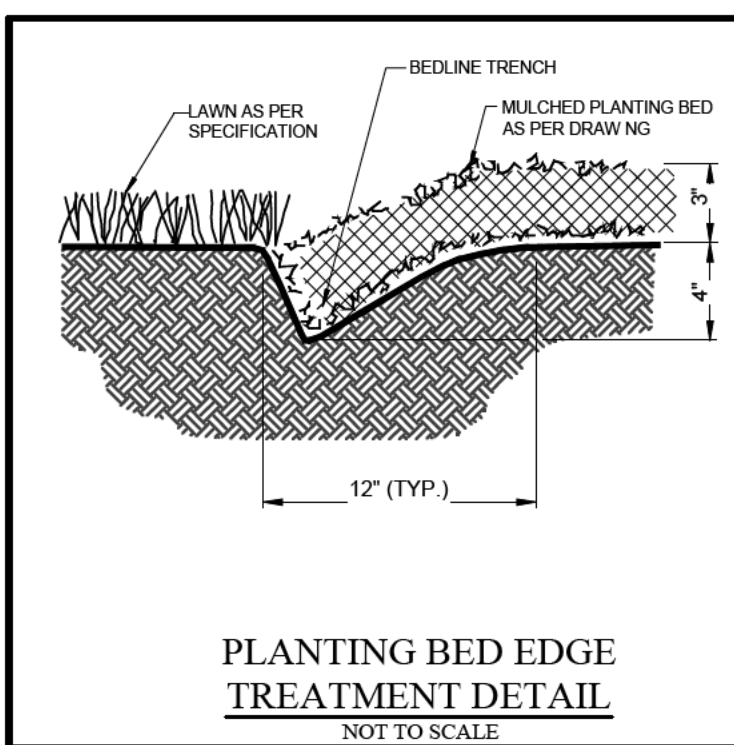
NOTES:
 - CALIPER TO BE MEASURED 6" ABOVE GRADE
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE
 - HEIGHT IS MEASURED FROM BASE OF ROOT BALL

SITE LINE LEGEND

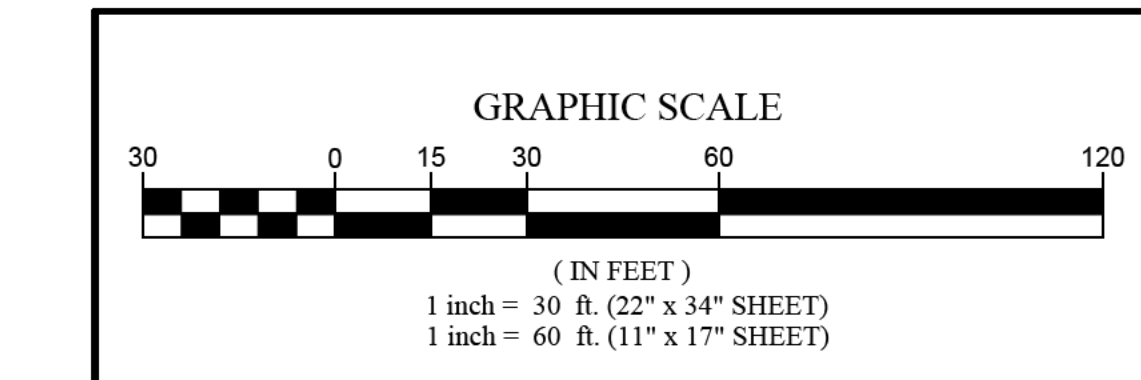
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- EXISTING EASEMENT LINE
- EXISTING BUILDING
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- EXISTING EDGE OF GRAVEL
- EXISTING CONC. PAD/ CONC. SIDEWALK
- EXISTING GUARD RAIL
- EXISTING TREES, HEDGE, EDGE OF WOODS
- EXISTING STOCKADE & CHAIN LINK FENCE
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SIDEWALK

APPROVAL SIGNATURE

BY _____ DATE _____
 PLANNING BOARD CHAIRMAN



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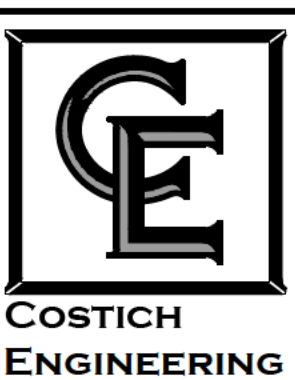
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- 217 LAKE AVENUE
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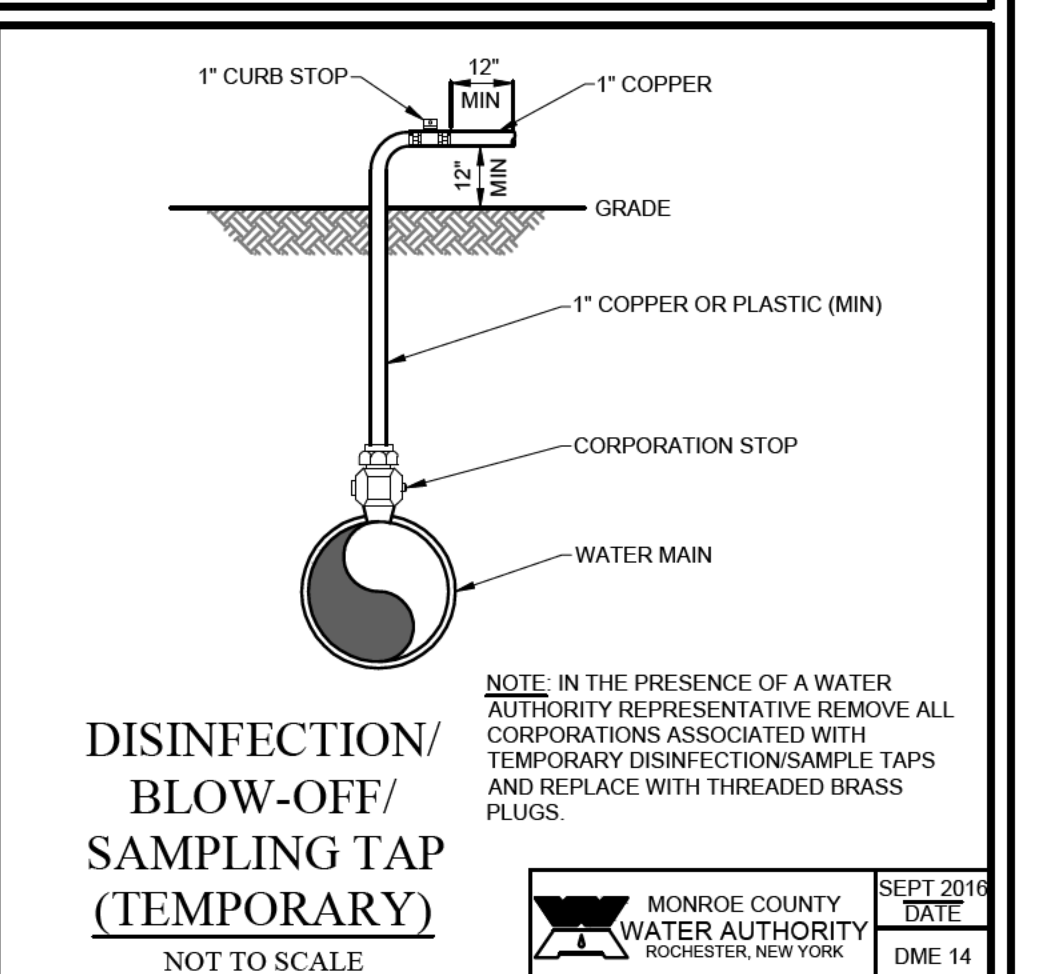
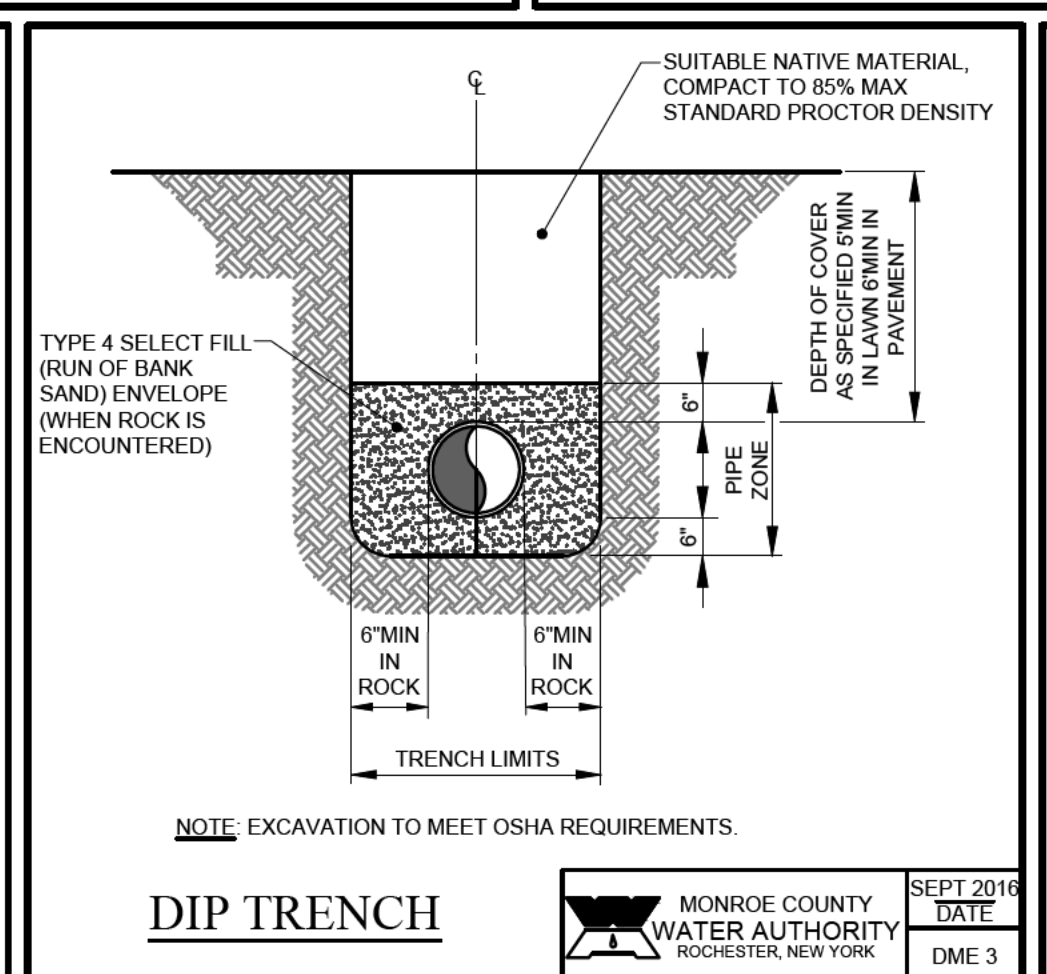
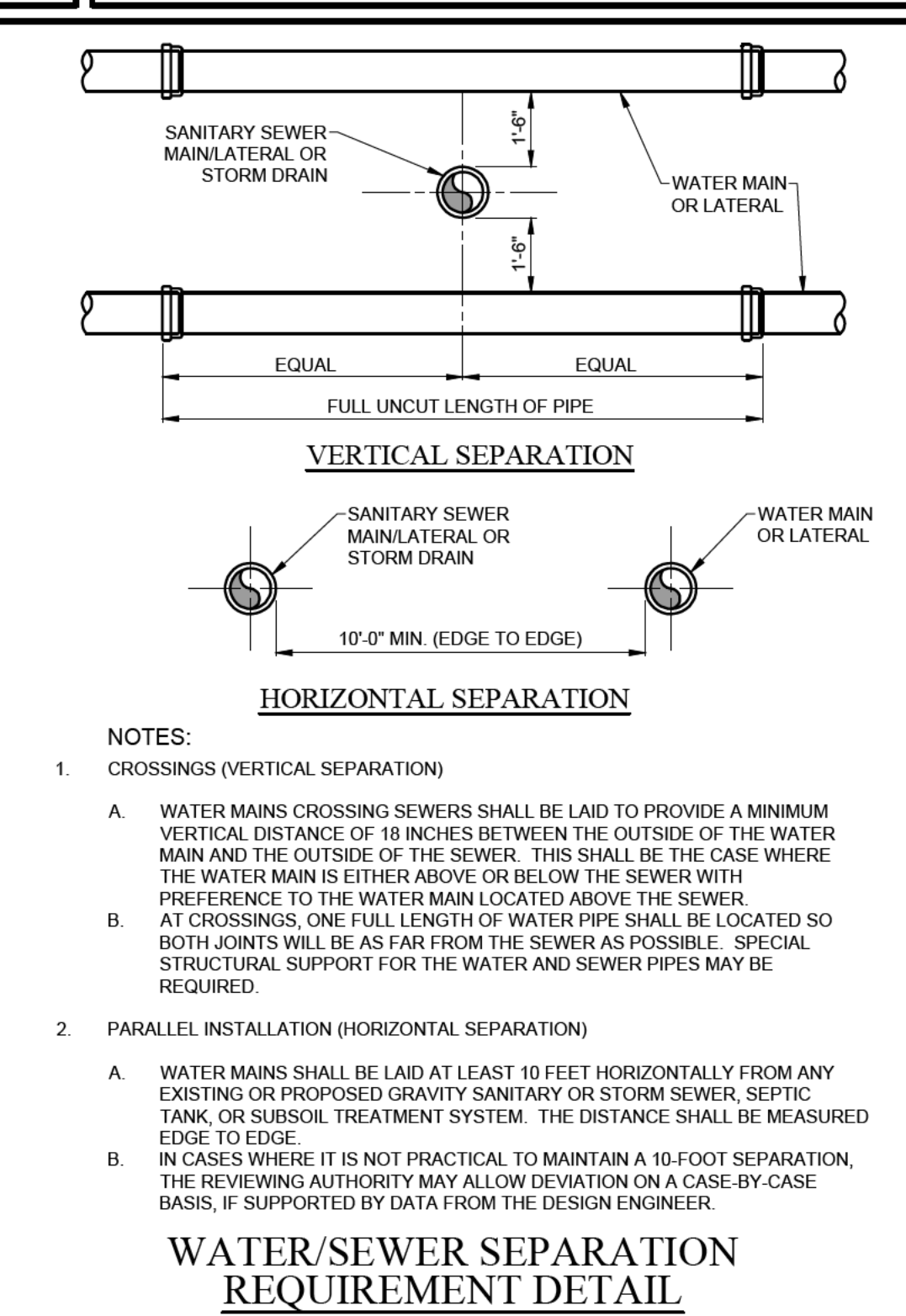
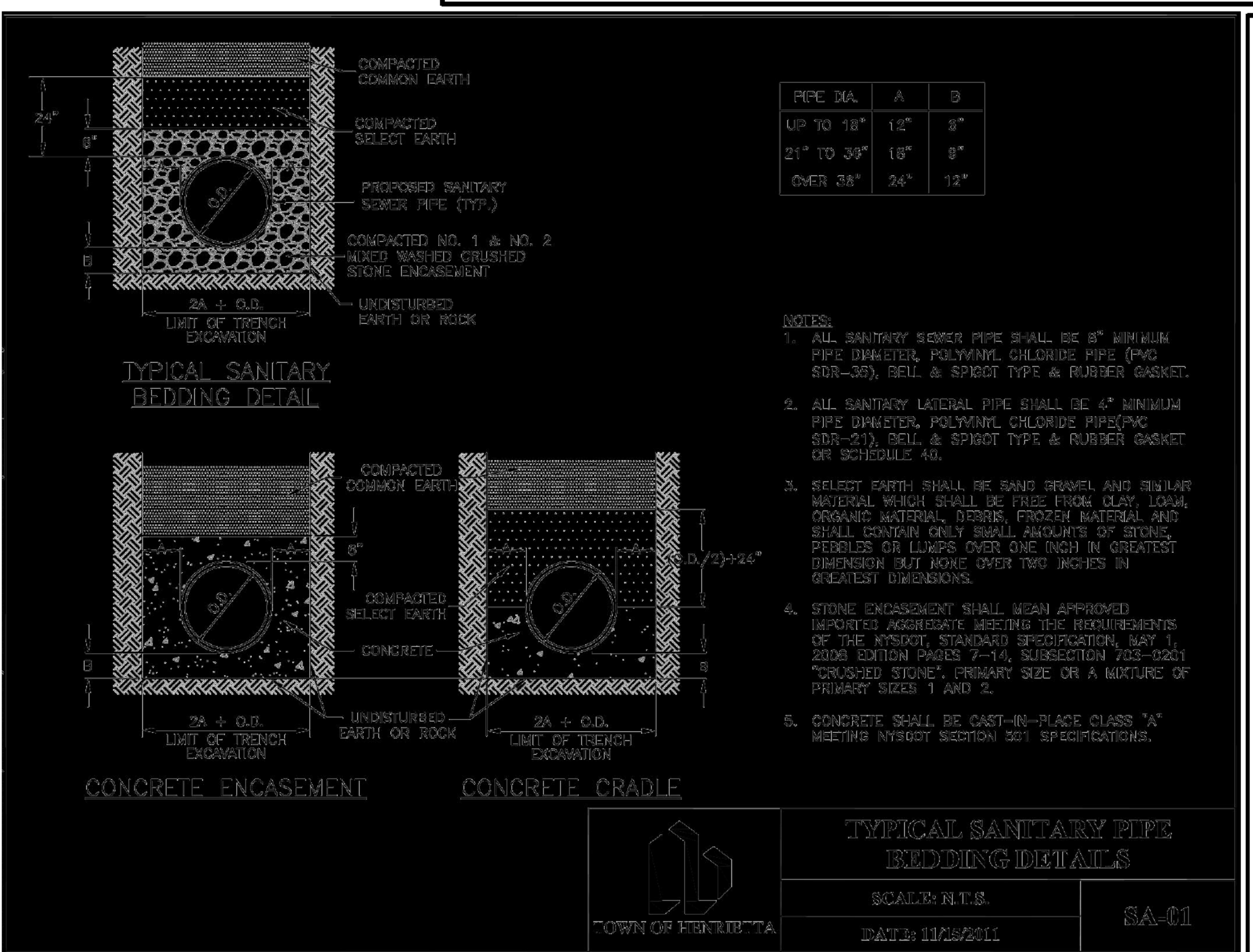
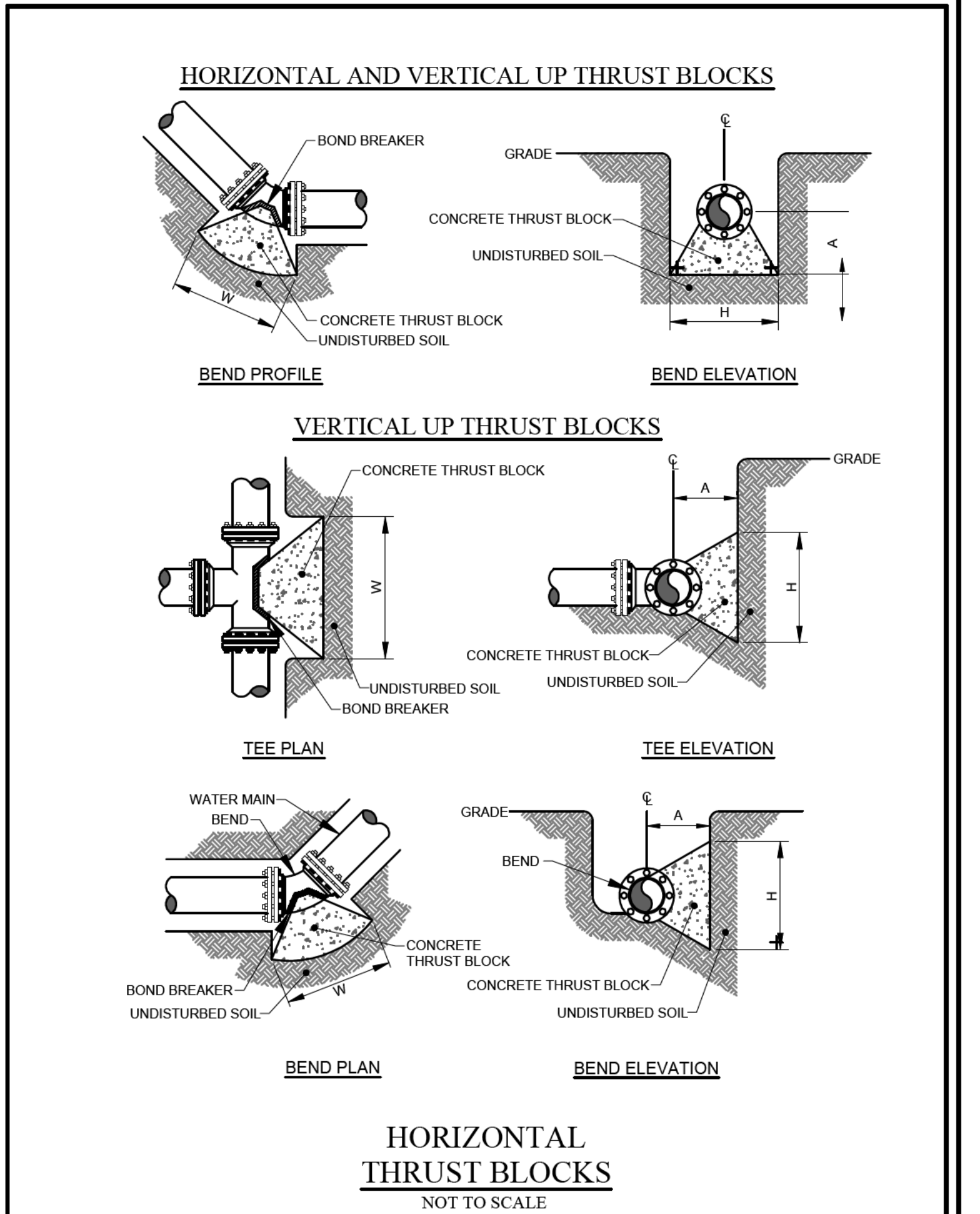
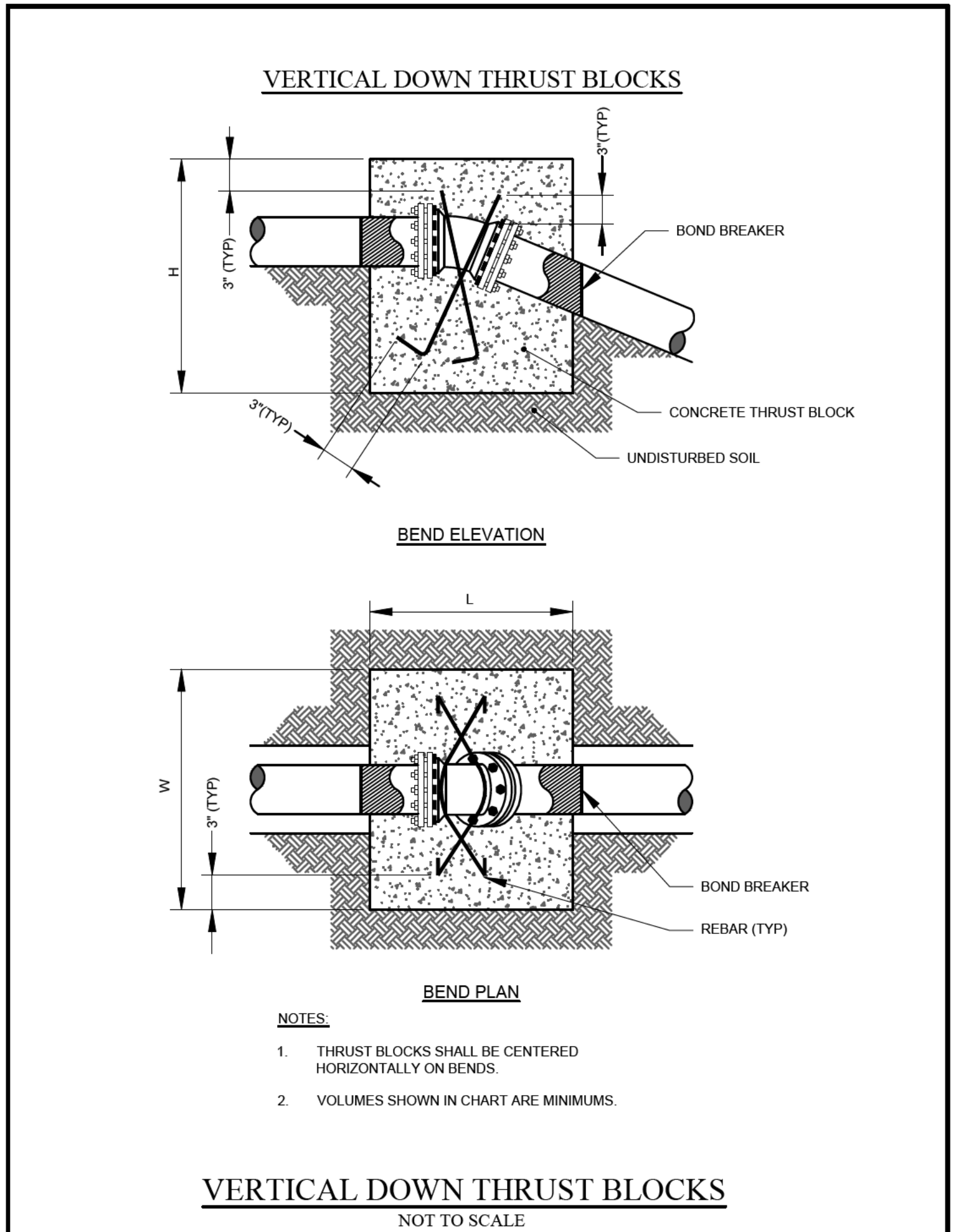
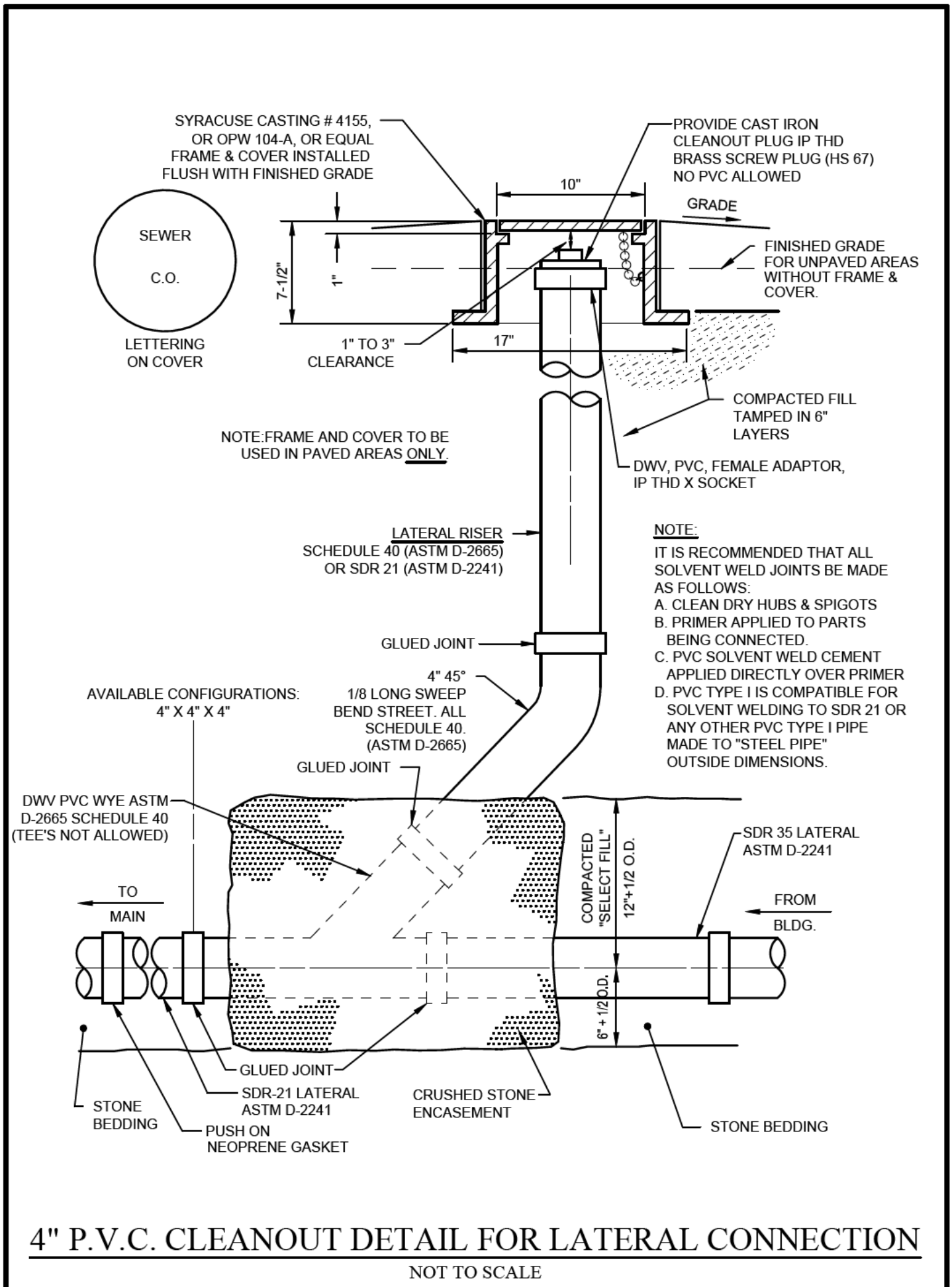
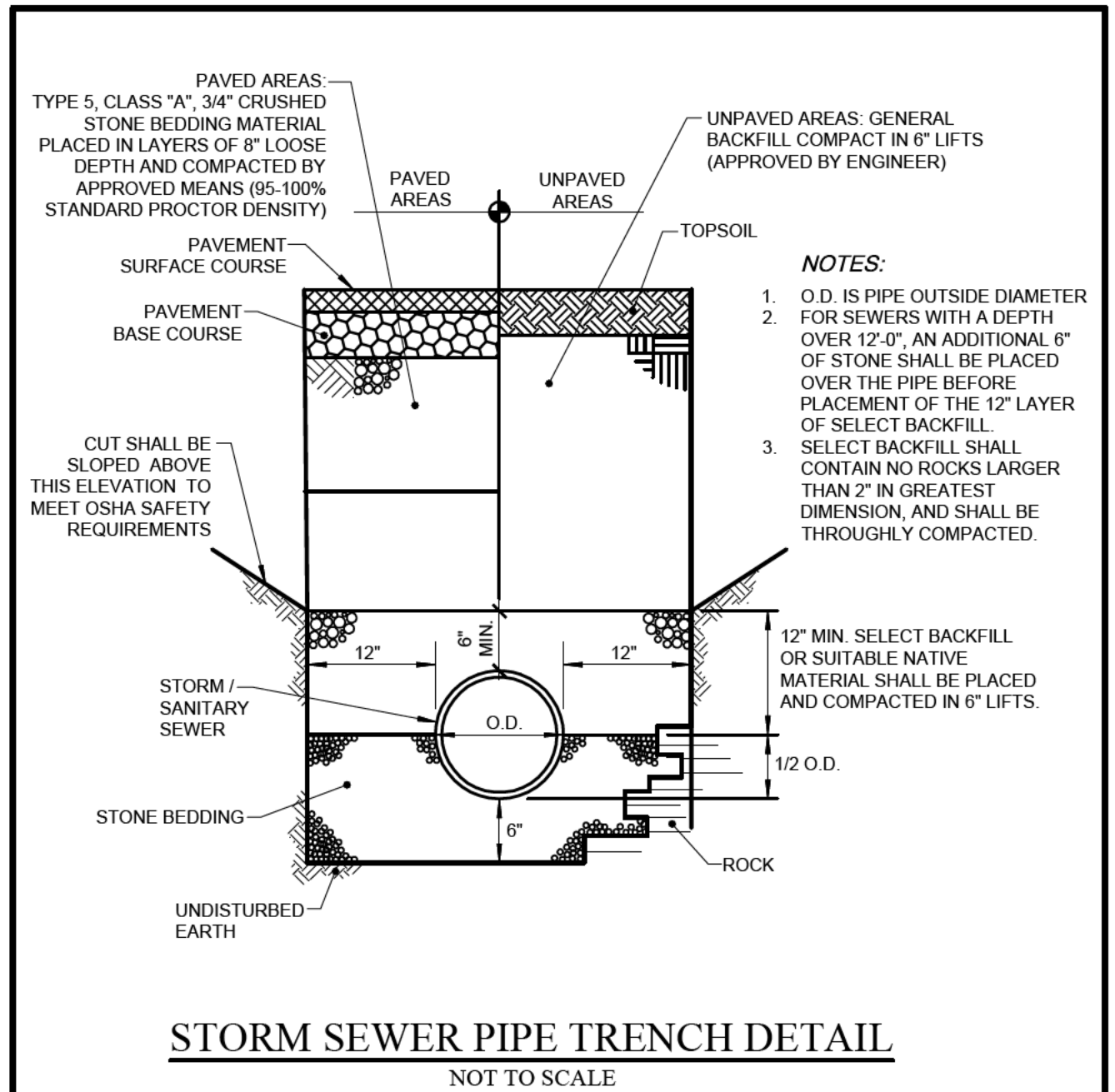
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 2199 EAST HENRIETTA ROAD

TITLE OF DRAWING
LANDSCAPE PLAN

LOCATION OF PROJECT
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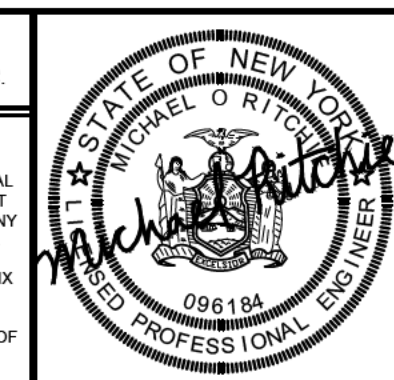
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LA100
 SHEET 06 OF 09



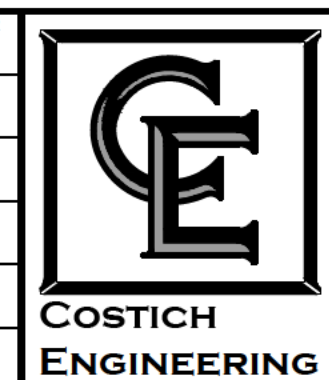
NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER
A.H.A.
DRAWN BY
D.J.L.
BOUNDARY
--
TOPBASE
--
DATE
06/14/2023
SCALE
N.T.S.



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT
SMUGTOWN BREWING CO.
2199 EAST HENRIETTA ROAD

TITLE OF DRAWING
DETAIL SHEET

LOCATION OF PROJECT
TAX PARCEL NO. 163-180-02-001.111
TOWN OF HENRIETTA
COUNTY OF MONROE, STATE OF NEW YORK

CLIENT
ENSO ARCHITECTS
P.O. BOX 26208
ROCHESTER, NEW YORK 14626

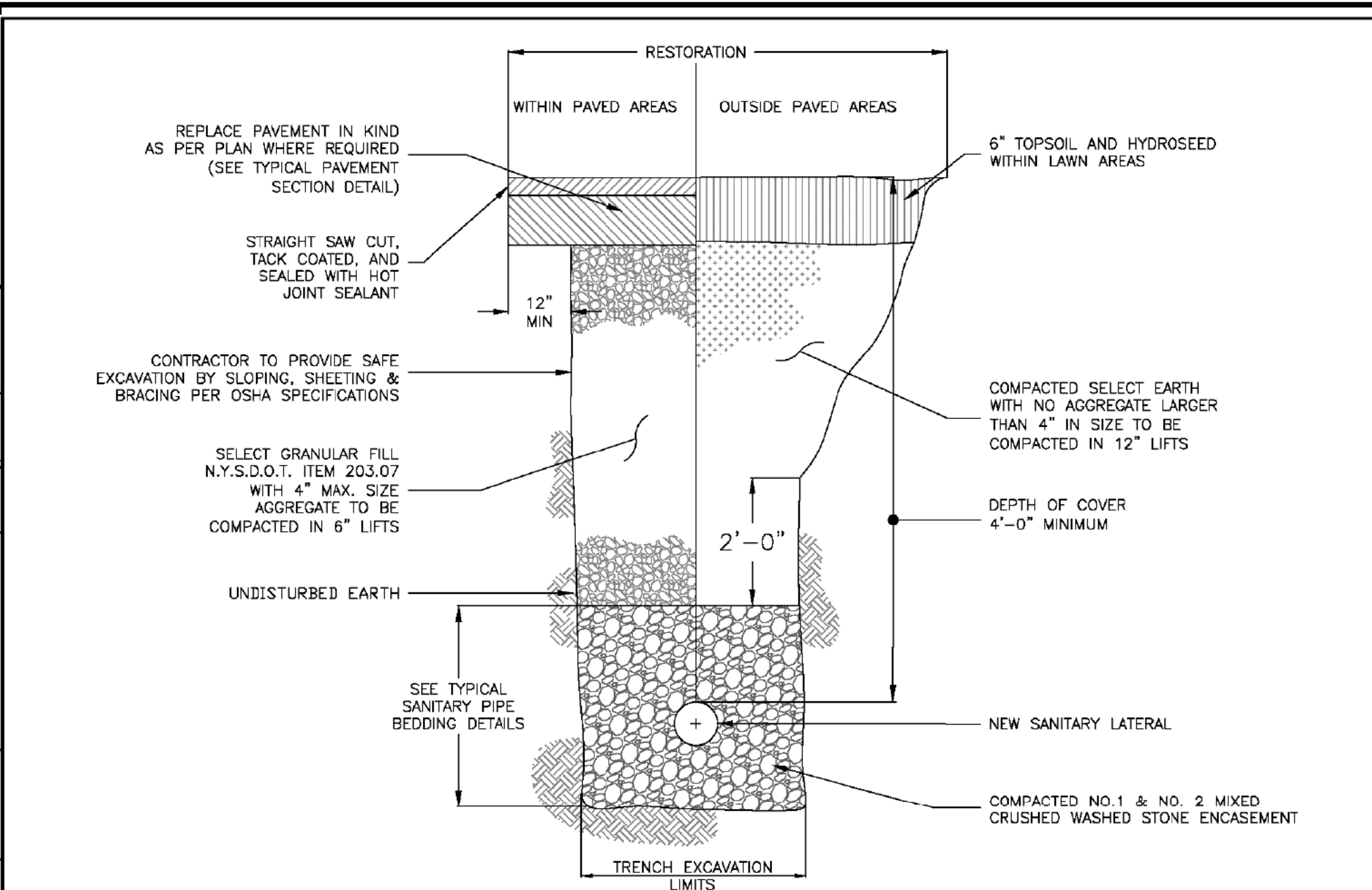
DWG. # 9054
DATE
SEPT 2016
DATE
DME 3

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK

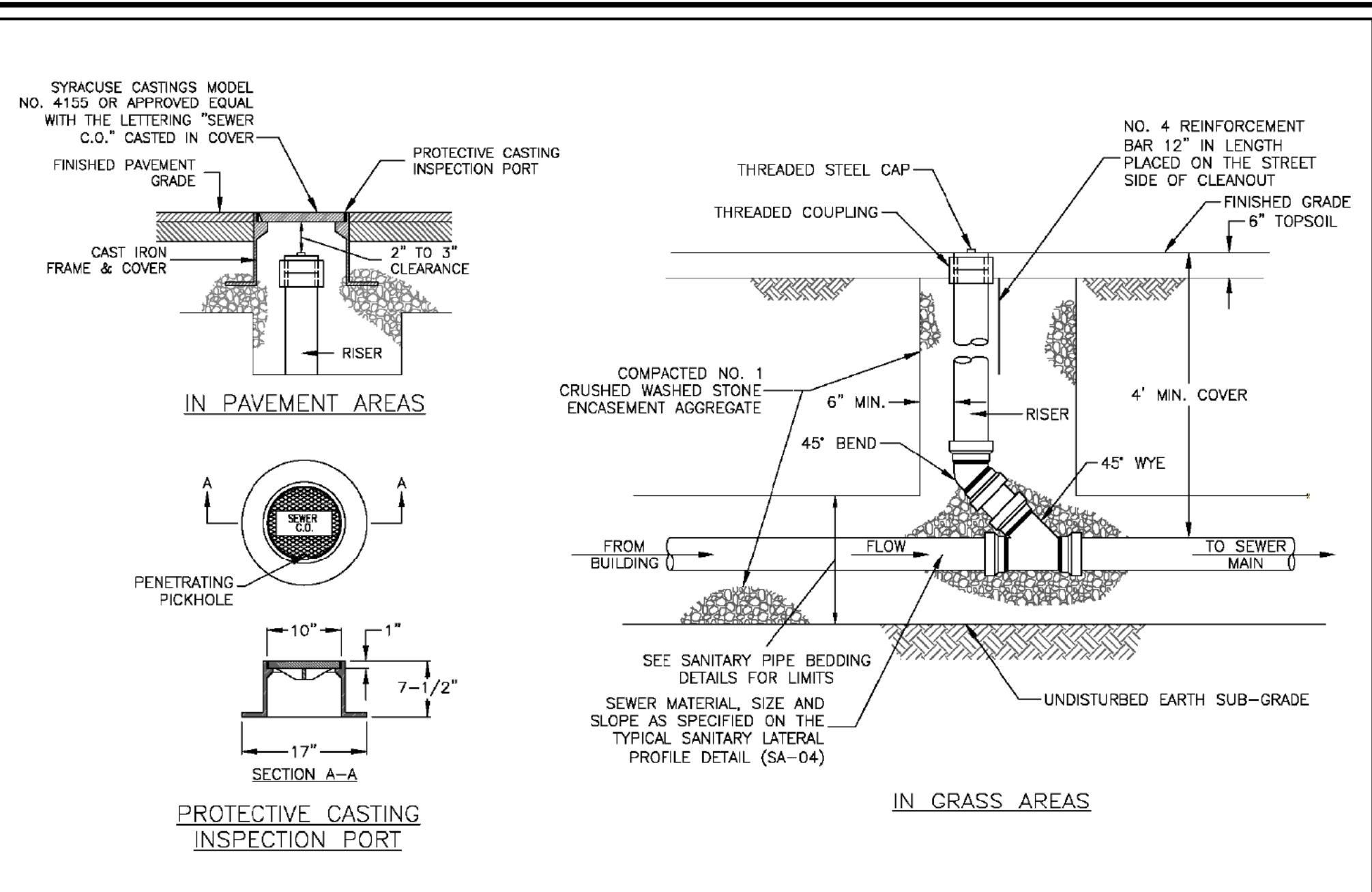
MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK

DATE
SEPT 2016
DATE
DME 14

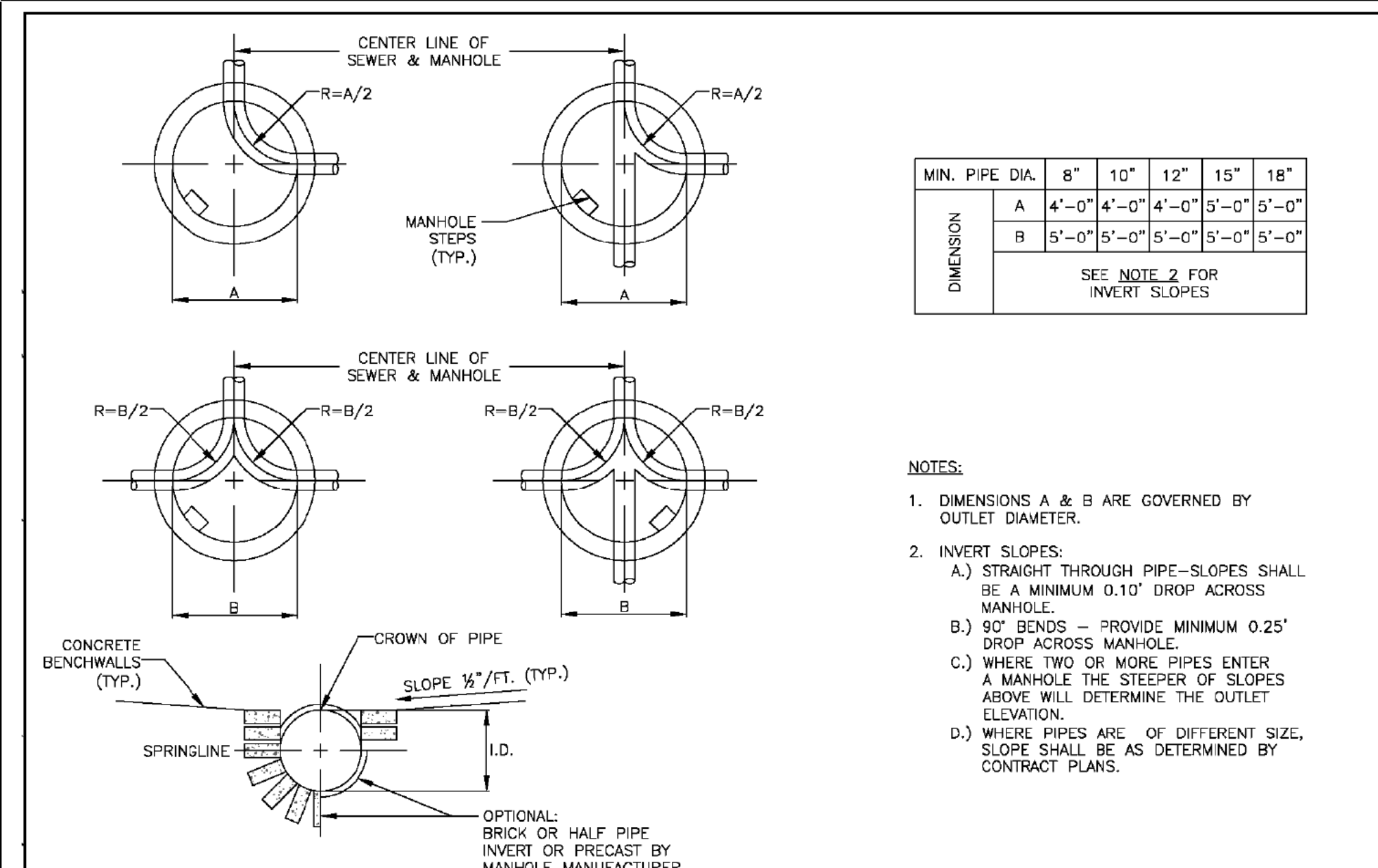
CA501
SHEET 08 OF 09



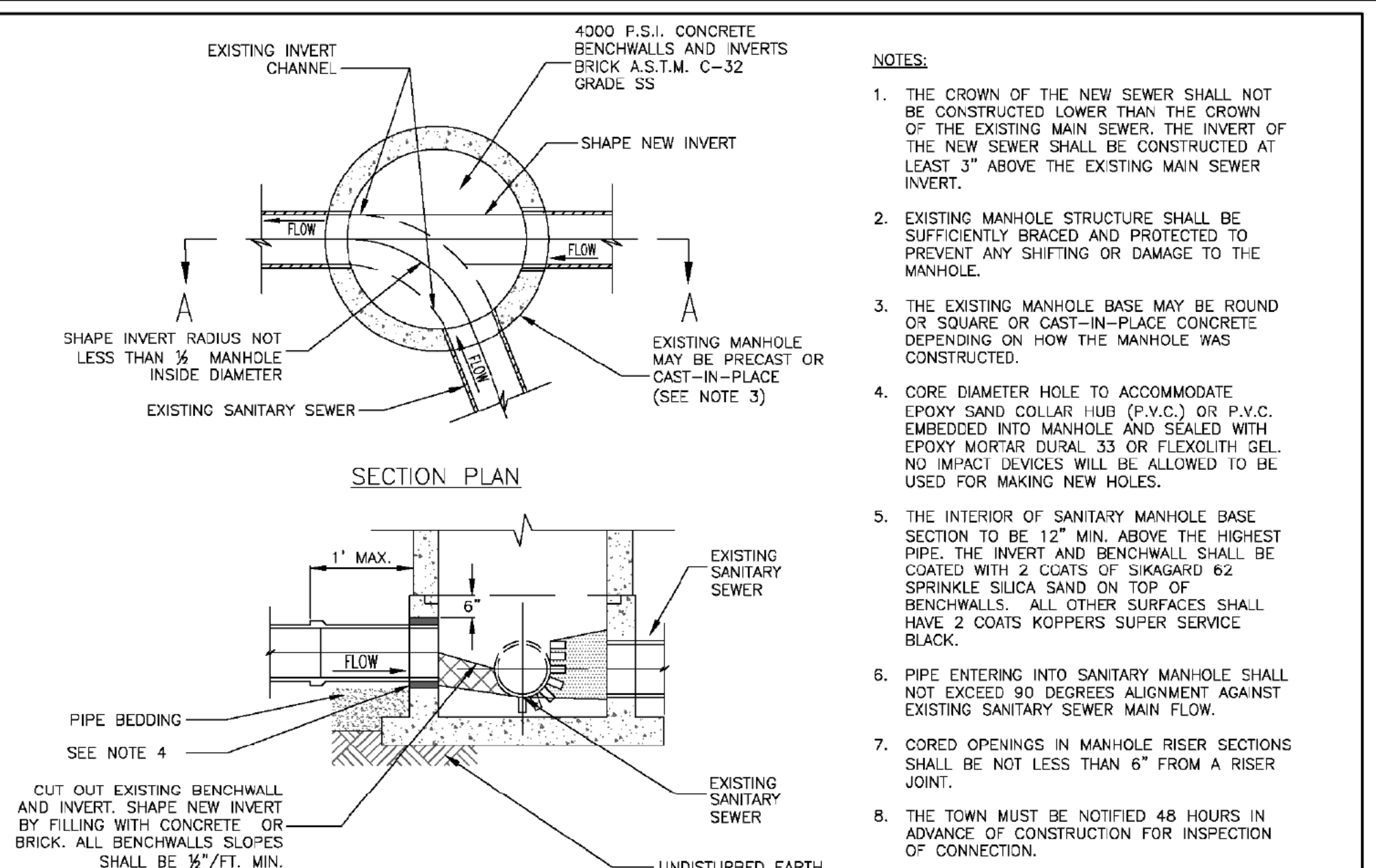
TYPICAL SANITARY LATERAL TRENCH DETAIL
 SCALE: N.T.S.
 DATE: 11/15/2011
 SA-03



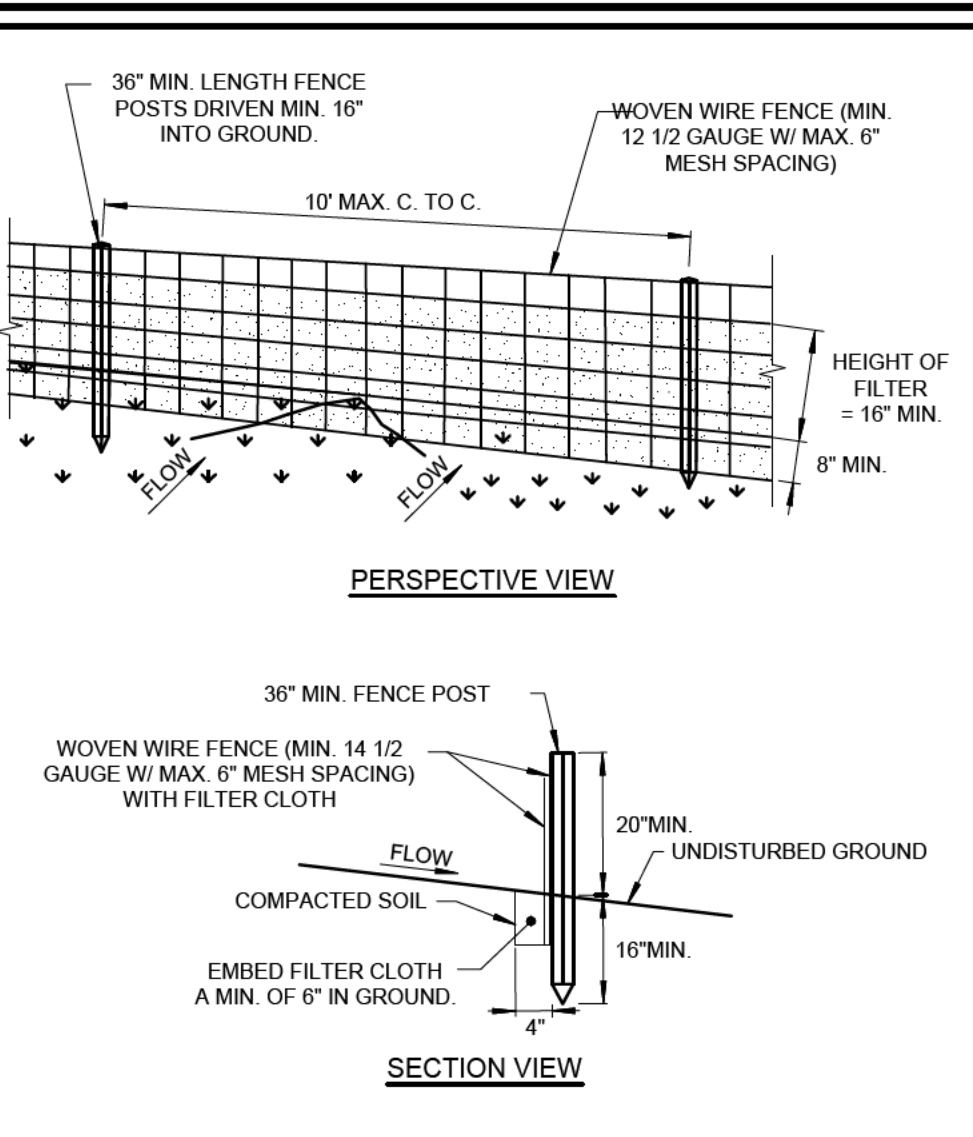
SANITARY LATERAL CLEANOUT
 SCALE: N.T.S.
 DATE: 11/15/2011
 SA-07



SANITARY MANHOLE INVERT CONFIGURATIONS & DIMENSIONS
 SCALE: N.T.S.
 DATE: 11/15/2011
 SA-09

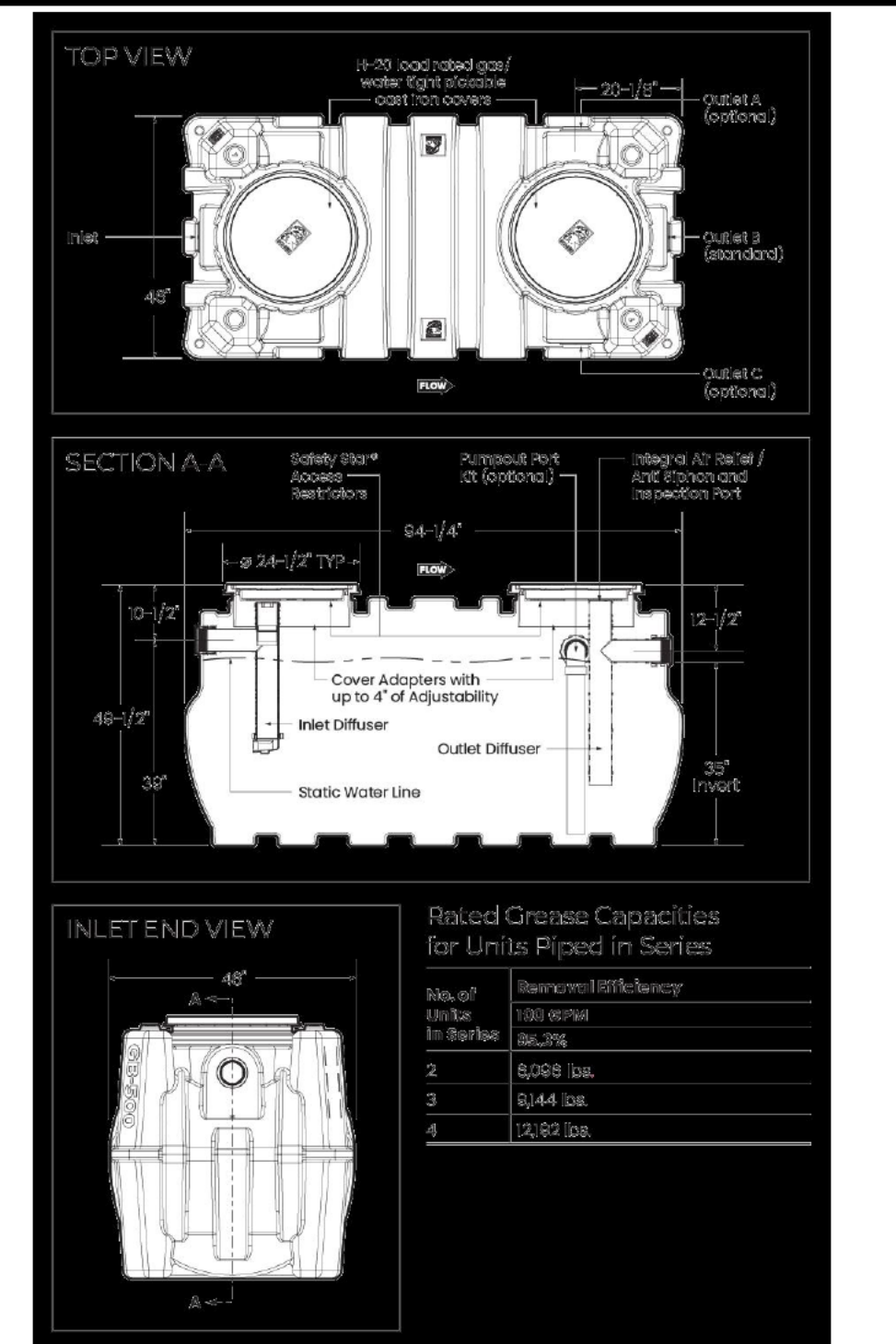


SANITARY SEWER CONNECTION TO EXISTING MANHOLE
 SCALE: N.T.S.
 DATE: 11/15/2011
 SA-12

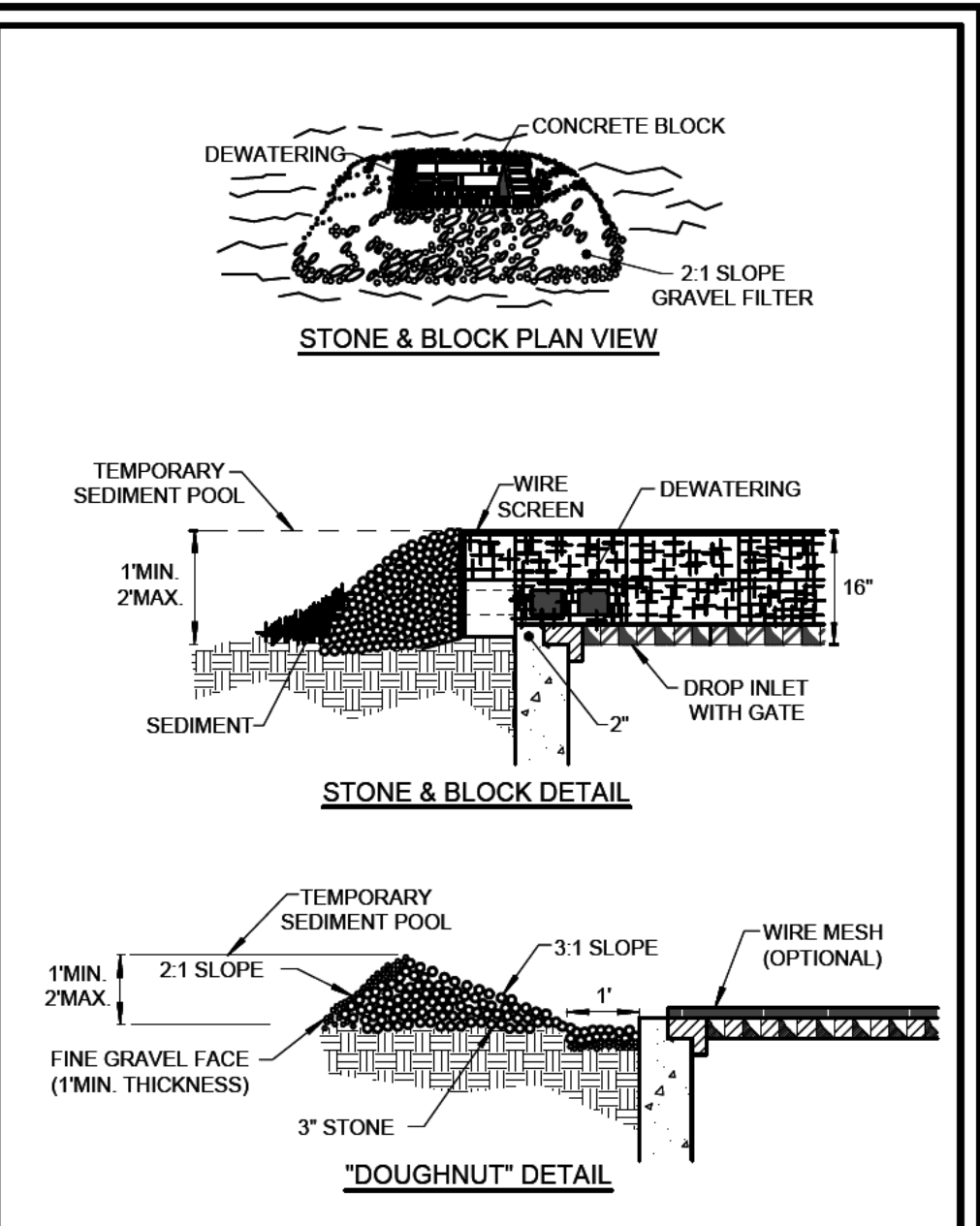


- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

SILT FENCE DETAIL
 NOT TO SCALE

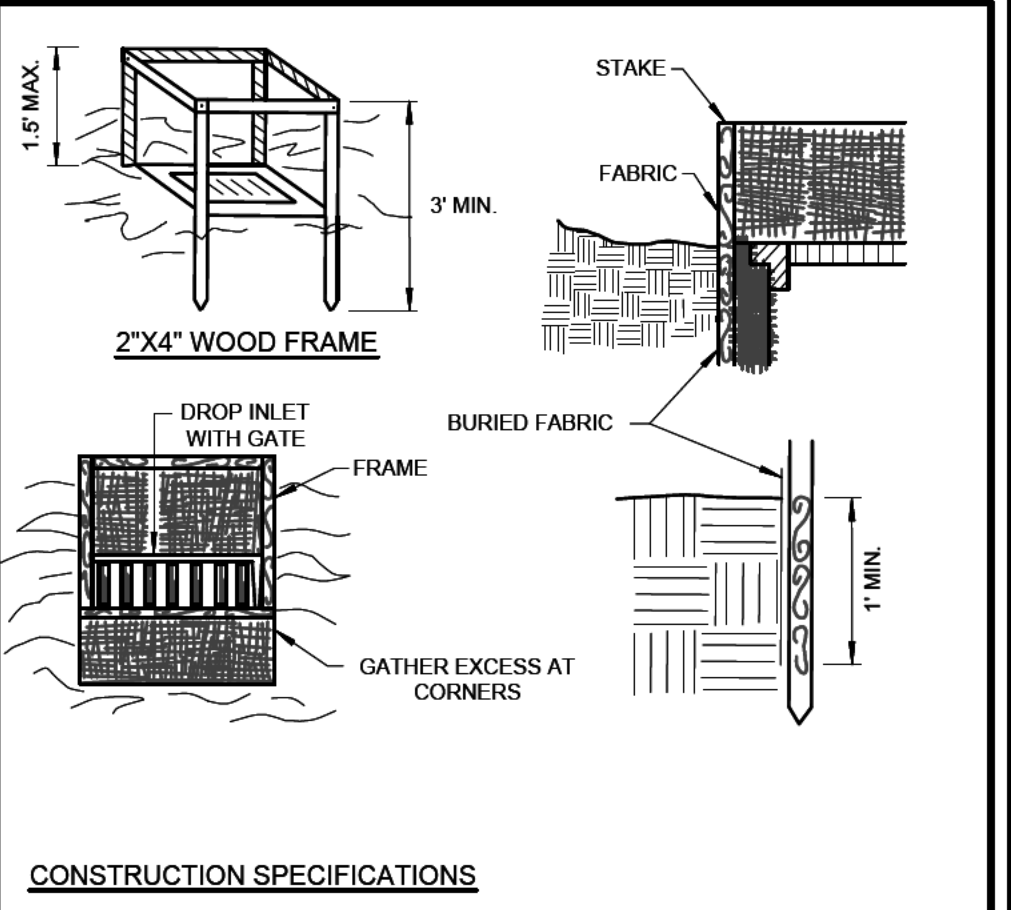


510 GALLON POLYETHYLENE GREASE INTERCEPTOR
 NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

STONE AND BLOCK DROP INLET PROTECTION DETAIL
 NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH MINIMUM WALL THICKNESS 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. STAKES SHALL BE DRIVEN TO THE POINT OF RESISTANCE. IN THE EVENT OF UNDESIRABLE BEHAVIOR, THE FABRIC SHALL BE REWORKED FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. BACKFILL SHALL BE CLEAN, WASHED, 3/4" MAX. SIZE SAND OR EQUIVALENT. FABRIC SHALL BE EMBEDDED IN THE SAND AND FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

FILTER FABRIC DROP INLET PROTECTION DETAIL
 NOT TO SCALE

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 DRAWN BY: D.J.L.
 BOUNDARY: --
 TOPBASE: --
 DATE: 06/14/2023
 SCALE: N.T.S.

STATE OF NEW YORK
 MICHELLE O. RITTO
 LICENSED PROFESSIONAL ENGINEER
 096164

COSTICH ENGINEERING
 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

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 2199 EAST HENRIETTA ROAD

TITLE OF DRAWING: DETAIL SHEET

LOCATION OF PROJECT: TAX PARCEL NO. 163.180-02-001.111
 TOWN OF HENRIETTA
 COUNTY OF MONROE, STATE OF NEW YORK

CLIENT: ENSO ARCHITECTS
 P.O. BOX 26208
 ROCHESTER, NEW YORK 14626

DWG # 9054
 CA502
 SHEET 09 OF 09