

TOWN OF HENRIETTA Site Plan Application

APPLICATION	NO		
		R ADMINISTRATIVE	
DATE: 06/14	1/2023		
I (we) Joe C	Chiarenza - Frontier Center, LLC Name of Applicant / Business	2199 East H	enrietta Road
		Business A	ddress (Number & Street)
Henrietta, N	Town, State, Zip	hereb	y apply to the Planning Board for
Site Plan Revie			
	cated at 2199 East Henrietta Ro	ad B-	1 Commercial (MURA) 162.18-02-01.005 ng District & Tax Account No.)
Previous Revie	ews, if any, Date: 4/5/23 - Special Use Po	•	
Renovation of Exterior imposimprovemen	of PROPOSAL: of existing plaza building to accommon rovements to include relocation of perits, upgraded sanitary and water services, upgraded sanitary and water services. Frontier Center, LLC / Smugtown Brewing Co.	rimeter drive, extended in the control of the contr	erior patio space, facade
Applicant:	2199 East Henrietta Road, Suite 13		217 Lake Ave
Address:	Henrietta NY,14623	Address:	Rochester NY 14608
Phone #:		Phone #:	
Email:		Email:	
Property Owi	ner: Same as Above	Business Ow	ner: Smugtown Brewing Co.
Address:		Address:	2199 East Henrietta Road, Suite 13
			Henrietta NY,14623
Phone #:		Phone #:	
Email:		Email:	
Applicant Signa	ature. Opel Chavenza	Print Name:	Joel Chiarenza

<u>Statement of Applicant and Owner with Respect to Reimbursement</u> <u>of Professional and Consulting Fees</u>

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant:	Frontier Center, LLC / Smugtown Brewing Co.
By:	Joel Chiarenza
Title:	Owner/Member
Dated:	06/14/2023
Signed:	Joll Chiareya
Owner:	Same as Above
Ву:	
Title:	
Dated:	
Signed:	



June 14 2023

Planning B ard Town of Henri tta 475 C lkins Road Hen i tta New York 14623

Re Smugtown Brew ng Company 2199 East Henrietta Rd – Town Center Site Plan Review Application

D ar Cha rman and Members of the Board

On Behalf of our client Joel Ch ar nza F onti Ce ter, LLC, we are submitting materials for your review for the above referenced project We are requesting that the project be added to the Board's regularly scheduled July Planning Board agenda fo Site Plan r view

The p oje t repres to the proposed redevelopmen of a polion of existing plaza building and electric located at 2199 Electric the rietta Road – 'Town Cenier' The proposed facility will include a space to for brewing operations, a tasting room, and flex amenity space, along with an outdoor pation. The proposal although primarily in ernal to the building will include some exterior improvement. Associated is improvements, including but not limited to, a ped strian coniection to arking in outdoor pations placed to the strian coniection of the proposal although primarily in ernal to the building will include some exterior improvement. Associated is improvements, including but not limited to, a ped strian coniection to arking in outdoor pations placed to the building will include some exterior improvement. Associated is improvements, including but not limited to, a ped strian coniection to arking in outdoor pations placed to the building will include some exterior improvement. Associated is improvements, including but not limited to, a ped strian coniection to arking in outdoor pations placed to the building will include some exterior improvement.

The proposed te ant space will operate under the previo sly obtained Speci 1 Use Permit in the underlying Commercial B-1 Zoning District. No proposed building setbacks will be altered from what curren ly x st at the property

The xisting vehicle c reculation pattern will remain mostly inchanged, with primary ingres /e essit. East Henriet a Road at the eling signalized entrancit. They will not contain the the south perimet in drive which will now have a relocated connection to the existing internal private drive way. This access drive is only intended for deliver estrefuse pickup, and emergen y services.

Utility requirements f r the fac lity would utilize exist ng on site infrastructure. Review and approval will be oordinat w th all respective tility p oviders – Tow of Henrietta (sewer), MCWA (water), MCDPH (backflow prevention).

We believe the proposed redevelopment is consistent with the previously granted Special Use permit and underlying zoning, and will serve to provide a benefit to the plaza for previously un-occupied tenant space.

To aid in your review enclosed please find:

- One (1) copy of this Letter of Intent
- One (1) copy of the Planning Board Site Plan Application
- One (1) copy of the Site Plan Review Checklist
- One (1) copy of Owner Authorization Letters
- One (1) copy of required checks (Engineering & Application Fees)
- One (1) copy of the completed SEAF
- Fourteen (14) copies of the Site Development Plans
- Fourteen (14) copies of the Architectural Plans

We look forward to appearing before the Board at its regularly scheduled July hearing. In the meantime if you should have any questions or require additional information, please do not hesitate to contact our office.

Respectfully submitted,

Alexander H. Amering, PE COSTICH ENGINEERING, DPC

Alm H. Am

Cc: Joel Chiarenza – Frontier Center, LLC
Jason Fox – Smugtown Brewing Co.
Clint Battista – Enso Architects



Frontier Center LLC

To Whom is may concern: The purpose of this letter is to confirm that I, Joel Chiarenza am the Manager and an Owner of the entity that owns the plaza located at 2199 East Henrietta Road, Henrietta, NY 14623.

Sincerely,

Joel Chiarenza April 18, 2023



hudey

I, Joel Chiarenza authorize Smugtown Brewery to open a business in my plaza at 2199 East Henrietta Road, Henrietta, NY 14623.

Sincerely,

Joel Chiarenza April 3, 2023

April 18, 2023

To Whom It May Concern:

I, Jason Fox, authorize Joel Chiarenza to represent me in all matters concerning the planning of the brewery and the permitting process. Joel and I are partners in the brewery project.

Cordially,

Jason Fox

Partner and Head Brewer at Smugtown Brewing Co.

PROJEC	T NA	ME: APPLICATION No
	1	Acceptable plans size to match the New York State Legal Filing Size (22° x 34°), prepared with india ink on mylar.
	2	Except in the simplest form of site plan application, the proposal package should contain at least the following drawings: a. Site Plan b. Utility Plan c. Grading Plan d. Landscape Plan e. Lighting Plan f. Profiles and Construction Details g. Building Elevations
	3	The Title Block should contain the following: a. Proposed Name of Development b. Location of Development c. Name, Address, and Telephone Number of Developer or Applicant d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
	4	Show General Location Map (sketch). North should be located at the top of the drawing.
	5	A scale of not more than fifty feet to the inch is to be used.
	6	Show names and tax account numbers of adjacent lands.
	7	Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
	8	By plan note, list all variances and special permits accompanied by Application Number and approval date.
	9	Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
	10	Show a tie distance from the proposed site to nearest road intersection
	11	Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.

PROJECT	ΓNA	ME: APPLICATION No
	12	All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
	13	A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
	14	List the names of existing streets, their legal width, and jurisdiction.
	15	Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
	16	Show planned use for the proposed structure (i.e. office etc).
	17	Show proposed and/or existing setbacks.
	18	Show parking requirements (indicate the proposed and required).
	19	Show the fire lanes.
	20	 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums: a. To scale plot of proposed trees and/or shrubs b. The plan must contain a table of quantities. See Appendix for proper requirements. c. Enlargement details for areas of proposal that are not legible at the plan scale. d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional. e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman. f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth. g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
	21	All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.

PROJEC	ET NA	ME: APPLICATION No
	22	Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
	23	Please plan to bring samples of the proposed architectural materials to the meeting.
	24	The following statement should appear on all Site Plans: "As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
	25	A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
	26	Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer by supplied.
	27	Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
	28	Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
	29	If the parking lot is to be used for stormwater detention, limits of this area are to be indicated
	30	on the site and grading plans. Show wetland and buffer zone limits (when applicable).
	31	Show floodplain and floodway limits (when applicable).
	32	In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
	33	In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe

PROJECT	ΓΝΑ	ME: APPLICATION No.
		sizes, and details of any water crossings.
	34	Show location and size of proposed water services and/or watermains including shutoff valves.
	35	Show location of fire protection systems components.
	36	Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
	37	Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
	38	The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
	39	If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
	40	Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
	41	Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
	42	Required supporting data and/or Reports: a. Environmental Assessment Form (one copy) (Short Form or Part 1 Long Form) b. Drainage Report (two copies) c. Traffic Report if required (twelve copies) d. Lighting catalog cuts (copy with each set of plans) e. Architectural Renderings f. Letter of Credit Estimate (one copy). g. Engineering Review Charge and Engineering Site Inspection Charge Form.



PROJEC	T NA	ME:	APPLICATION No.
		See Appendix.	
	43	Thirty (30) sets of folded plans will h	be required
	44	Is this project a TYPE I Action? If so required for the Coordinated Review	o, then an additional seven (7) sets of plans will be v process (37 sets of plans total).
Prepared	for:	Name of Developer	Date
		Company Name	
		Street Address	
		City, State, Zip	



PROJECT NA	AME:	APPLICATION No.	
	Telephone Number		
Prepared by:	N. C. L.		
	Name of Consultant	Date	
	Company Name		
	Street Address		
	City, State, Zip		
	Telephone Number		

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

	Application Number:
Sit	e Plan and Subdivision Application Engineering Review Charges
and/or Consultant Forces. All costs in	tions are subject to be reviewed by the Town Engineering Department neurred in providing this service are a direct charge to the Applicant or and/or party in this matter shall be identified in the following listing:
Responsible Individual	
Responsible Firm	
Street Address	
City, State, Zip Code	
Telephone Number	
Er	ngineering Site Inspection Charges
Responsible Individual	
Responsible Firm	
Street Address	
City, State, Zip Code	
Telephone Number	
Note: When this information has been provided:	n provided by another party, the following information needs to be
Provided By	
Address	
City, State Zip	
Telephone Number	

Heather Voss

From: Jennifer Miranda

Sent: Friday, May 19, 2023 8:40 AM

To: Heather Voss

Subject: Smugtown Brewery Comments for PH

Heather,

Following are the two snippets of conversation had about a noise barrier that they wanted sent to the Planning Board. I put a page reference in case you want to find it in the minutes (once full done). The page reference is for the number on the bottom of the page, not the page number in the file.

Supervisor Schultz: So, one of the things you might want to take a look at is, when

you do that, can you put maybe some kind of fence or sound barrier between where you are going to have the seating and the

properties to the west.

Joel Chiarenza: We gladly will, yes.

(Page #17)

Councilmember Sefranek: Yes, but with regards to the noise barrier that you recommended,

can that suggestion be forwarded to the Planning Board?

Supervisor Schultz: Absolutely. Mr. Martin, I assume you are making note of that.

Chris Martin: This is Chris Martin, [Director of Engineering and Planning], for

the record, and yes, we can certainly bring it to the Planning Board.

(Page #22)

Jennifer L. Miranda

Deputy Town Clerk and Receiver of Taxes

Town of Henrietta 475 Calkins Road Rochester, NY 14623 jmiranda@henrietta.org

585-359-7039

Help the Town of Henrietta be environmentally conscious. Think twice before printing this email.

-- Confidentiality Notice --

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Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Smugtown Brewing Company				
Project Location (describe, and attach a location map):				
2199 East Henrietta Road, Henrietta, NY				
Brief Description of Proposed Action:				
Renovation of existing plaza building (approximately 7,847 square foot lease parcel) to accommodate the proposed Smugtown Brewing Co. Exterior improvements to include relocation of perimeter drive, exterior patio space, facade improvements, upgraded sanitary and water services, and new landscaping.				
Name of Applicant or Sponsor:	Telephone:			
Inel Chlaranza, Frontier Conter, I.I.C.				
Joel Chiarenza - Frontier Center, LLC	E-Mail:			
Address:				
2199 East Henrietta Road Suite 13	T q.	La: a t		
City/PO: Henrietta	State:	Zip Code:		
1. Does the proposed action only involve the legislative adoption of a plan, loc	al law, ordinance,	NO YES		
administrative rule, or regulation?				
If Yes, attach a narrative description of the intent of the proposed action and the may be affected in the municipality and proceed to Part 2. If no, continue to que		nat 🗸 🗀		
2. Does the proposed action require a permit, approval or funding from any oth		NO YES		
If Yes, list agency(s) name and permit or approval: Town of Henrietta Special Use Po	ermit			
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 11.66 acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ✓ Commerci	ial 🔽 Residential (subur	rban)		
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Spe	•			
Parkland	,/-			
I arkiana				

5.	Is the proposed action,	О	YES	N/A
	a. A permitted use under the zoning regulations? *With a Special Use Permit		✓	
	b. Consistent with the adopted comprehensive plan?		✓	
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
0.	is the proposed action consistent with the predominant character of the existing outle of natural fandscape.			✓
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	\Box	NO	YES
If Y	Yes, identify:	-	✓	
		\dashv	NO	YES
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?		V	
	b. Are public transportation services available at or near the site of the proposed action?		Ħ	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			\
9.	Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If th	he proposed action will exceed requirements, describe design features and technologies:			
		- -		✓
10.	Will the proposed action connect to an existing public/private water supply?	\dashv	NO	YES
	If No, describe method for providing potable water:	_ _		✓
11.	Will the proposed action connect to existing wastewater utilities?		NO	YES
	If No, describe method for providing wastewater treatment:	_ _		✓
	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district	\dashv	NO	YES
Cor	ich is listed on the National or State Register of Historic Places, or that has been determined by the mmissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the		✓	
arch	te Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for naeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	#		✓
*Pro	oject is located in previously developed area with minimal cuts or fills (primarily topsoil strip and installation of landscape and pa	atio.		
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	-	NO 🗸	YES
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	İ	<u></u>	
If Y	Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	-		
		- -		

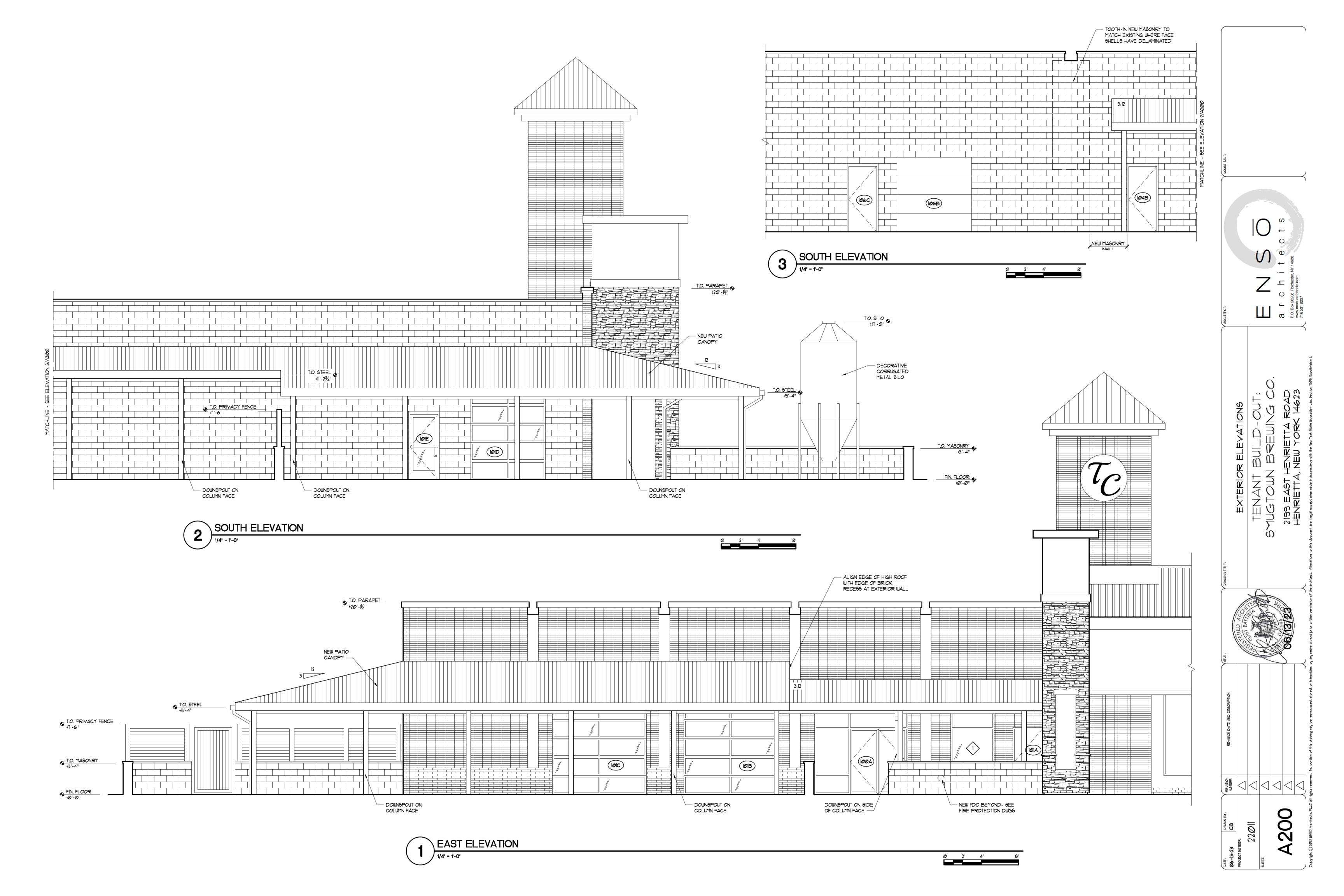
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional		
☐ Wetland ☐ Urban ☑ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or	NO	YES
Federal government as threatened or endangered?	✓	
16. Is the project site located in the 100-year flood plan?	NO	YES
	✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
11 1 65,	닏	
a. Will storm water discharges flow to adjacent properties?		✓
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:		>
Runoff will be directed to storm drains and established conveyance systems.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water	NO	YES
or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		
If Yes, explain the purpose and size of the impoundment:	/	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste	NO	YES
management facility? If Yes, describe:		
		Ш
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:		
Site Code: 828152 and Site Class: C, Remediation at the site is complete (former United Cleaners) - located on the project parcel but at the location of the proposed action.		✓
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BE	ST OF	
MY KNOWLEDGE		
Applicant/sponsor/name: Alexander H. Amering (As Agent for Applicant) Date: 06/14/2023		
Signature:Title: Project Manager		_



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

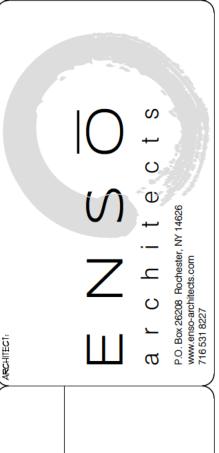




VIEW AT OUTDOOR PATIO







SD RENDERINGS

TENANT BUILD-OUT

SMUGTOWN BREWING O



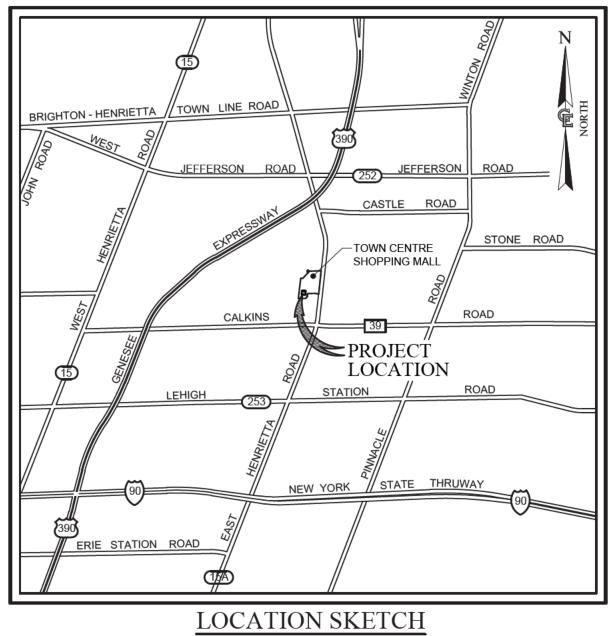
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REVISION DATE AND DESCRIPTION						
REVISION	\triangleleft	\triangleleft	\triangleleft	\triangleleft	\triangleleft	
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SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD SITE DEVELOPMENT PLANS

TOWN OF HENRIETTA COUNTY OF MONROE STATE OF NEW YORK

INDEX OF DRAWINGS

	I (BEIT OF BILLY) II (OS
SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 01 OF 09)
GA002	GENERAL NOTES AND LEGEND SHEET (SHEET 02 OF 09)
VA100	EXISTING FEATURES / DEMOLITION PLAN (SHEET 03 OF 09)
CA100	SITE PLAN (SHEET 04 OF 09)
CA110	UTILITY GRADING AND EROSION CONTROL PLAN (SHEET 05 OF 09)
LA100	LANDSCAPE PLAN (SHEET 06 OF 09)
CA500	DETAIL SHEET (SHEET 07 OF 09)
CA501	DETAIL SHEET (SHEET 08 OF 09)
CA502	DETAIL SHEET (SHEET 09 OF 09)



NOT TO SCALE

PREPARED FOR: **ENSO ARCHITECTS** P.O. BOX 26208 **ROCHESTER, NEW YORK 14626**



- ENGINEERING
- Land SURVEYING
- LANDSCAPE ARCHITECTURE

ENGINEERING

217 LAKE AVENUE ROCHESTER, NY 14608



SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD SITE DEVELOPMENT PLANS

> **TOWN OF HENRIETTA COUNTY OF MONROE STATE OF NEW YORK**

DATE: JUNE 14, 2023

PROJECT NO. 9054

SHEET NO. GA001

PROJECT NAME AND LOCATION

SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD HENRIETTA. NEW YORK 14467

OPERATOR'S NAME AND ADDRESS

ENSO ARCHITECTS P.O. BOX 26208 ROCHESTER, NEW YORK 14626

PROJECT DESCRIPTION / CONSTRUCTION SEQUENCE

THIS PROJECT WILL CONSIST OF THE CONSTRUCTION OF ASSOCIATED UTILITIES. DRIVES, PARKING, AND LANDSCAPING AREAS. THE ESTIMATED TIME FOR COMPLETION OF THE CONSTRUCTION PROJECT IS 180 DAYS. SOIL DISTURBING ACTIVITIES WILL INCLUDE:

- A. PROVIDE INLET PROTECTION. PERIMETER SILT SOCKS. TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS REQUIRED. CONTRACTOR MAY USE EXISTING PAVEMENT SUBBASE
- PROVIDE CONCRETE WASHOUT AREA.
- INSTALLATION OF STORM SEWER LATERAL AND OTHER UTILITIES.
- CONSTRUCTION OF CURB, DRIVES, AND PARKING AREAS. FINAL GRADING AND LANDSCAPING.

EROSION AND SEDIMENT CONTROLS HAVE BEEN DEVELOPED AND FULLY ADDRESSED IN THIS WRITTEN PLAN AND THE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

WETLANDS AND/OR OTHER SURFACE WATERS

THERE ARE NO FEDERAL OR STATE WETLANDS IN THE PROJECT AREA.

EROSION AND SEDIMENT CONTROLS

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE

A. PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING
- MUI CHING EXPOSED AREAS
- SOIL ROUGHENING. FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE

A. STORM SEWER, CURB, PAVEMENT.

STRUCTURAL PRACTICES (TEMPORARY

STRUCTURAL PRACTICES FOR THIS SITE INCLUDE

PERIMETER PROTECTION USING SILTATION FENCING STABILIZED CONSTRUCTION EXIT POINTS

SEQUENCE OF MAJOR ACTIVITIES

THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION CONTROL AND STORM WATER MANAGEMENT CONTROL MEASURES. THE GENERAL CONTRACTOR MAY DESIGNATE THESE TASKS TO CERTAIN SUBCONTRACTORS AS HE SEES FIT. BUT THE ULTIMATE RESPONSIBILITY FOR IMPLEMENTING THESE CONTROLS AND ENSURING THEIR PROPER FUNCTIONING REMAINS WITH THE GENERAL CONTRACTOR. THE ORDER OF ACTIVITIES WILL

- 1. INSTALL ALL EROSION AND SEDIMENT CONTROL PRACTICES (INCLUDING BUT NOT LIMITED TO, STABILIZED
- CONSTRUCTION ENTRANCE, SILT FENCE, AND STAGING AREAS). CLEARING AND GRUBBING - ALL VEGATATIVE MATERAIL TO BE REMOVED FROM PROJECT SITE
- STRIP & STOCKPILE TOPSOIL. INSTALL ADDITIONAL EROSION CONTROLS (SILT FENCE) AROUND STOCKPILE
- PREPARE MATERIAL STORAGE, AND CONSTRUCTION VEHICLE PARKING AREAS. GENERAL FARTHWORK ACTIVITES - NECESSARY CUTS AND FILLS EXCAVATION FOR BUILDING FOUNDATION AND ROUGH GRADE STORMWATER MANAGEMENT FACILITIES.
- INSTALLATION OF CONCRETE WASHOUT ONCE CONCRETE ACTIVITIES COMMENCE.
- TRENCHING AND INSTALLATION OF UTILITIES AND STORM SEWERS. PAVEMENT AND CONCRETE SUBGRADE PREPARATION
- INSTALL INLET PROTECTION FOR STORM INLETS WHICH ARE NOT ABOVE GRADE, AS CONSTRUCTION
- 10. PAVEMENT & SIDEWALK SUBBASE PREPERATION AND INSTALL.
- 11. MISC SITE ITEMS LIGHTING, LANDSCAPE, SIGNAGE ETC. 12 RESTORE DISTURBED AREAS WITH TOPSOIL SEED AND MULCH
- REMOVE EROSION AND SEDIMENT CONTROLS UPON FINAL STABILIZATION (AS CONFIRMED BY SWPPP INSPECTOR

ALL FILTRATION PRACTICES SHALL NOT BE INSTALLED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE ACHIEVED PERMANENT STABILIZATION. PRIOR TO INSTALLATION. THESE AREAS ARE TO BE DELINEATED WITH CONSTRUCTION FENCING TO PROJECT THE AREA FROM COMPACTION.

OTHER CONTROLS

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEPT AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

EXCAVATION SPOIL MATERIALS

EXCAVATION SPOIL MATERIALS ARE GENERATED DURING THE EXCAVATION OF THE FACILITY'S TRUCKWELL, FOOTINGS AND UTILITIES INSTALLATION. THESE MATERIALS MUST BE PROPERLY MANAGED TO PREVENT THEM FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE MATERIALS GENERATED FROM THE DEVELOPMENT OF THIS PROJECT WILL BE MANAGED BY THE FOLLOWING METHOD: USED ON SITE FOR FILL IF APPROVED BY THE GEOTECHNICAL ENGINEER, OTHERWISE HAULED OFFSITE TO AN APPROVED LOCATION.

DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHOULD BE
- ABOUT SIX (6) INCHES IN HEIGHT. FREQUENT WATERING OF EXCAVATION AND FILL AREAS
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS

THE CONTRACTOR WILL OBTAIN COPIES OF ANY AND ALL LOCAL AND STATE REGULATIONS WHICH ARE APPLICABLE TO STORM WATER MANAGEMENT. EROSION CONTROL, AND POLLUTION MINIMIZATION AT THIS JOB SITE AND WILL COMPLY FULLY WITH SUCH REGULATIONS. THE CONTRACTOR WILL SUBMIT WRITTEN EVIDENCE OF SUCH COMPLIANCE IF REQUESTED BY THE OPERATOR OR ANY AGENT OF A REGULATORY BODY. THE CONTRACTOR WILL COMPLY WITH ALI CONDITIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION CONSTRUCTION GENERAL PERMIT, INCLUDING THE CONDITIONS RELATED TO MAINTAINING THE SWPPP AND EVIDENCE OF COMPLIANCE WITH THE SWPPP AT THE JOB SITE AND ALLOWING REGULATORY PERSONNEL ACCESS TO THE JOB SITE AND TO RECORDS IN ORDER

CONTROL OF NON-STORM WATER DISCHARGES

CERTAIN TYPES OF DISCHARGES ARE ALLOWABLE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR CONSTRUCTION ACTIVITY. AND IT IS THE INTENT OF THIS SWPPP TO ALLOW SUCH DISCHARGES. THESE TYPES OF DISCHARGES WILL BE ALLOWED UNDER THE CONDITIONS THAT NO POLLUTANTS WILL BE ALLOWED TO COME IN CONTACT WITH THE WATER PRIOR TO OR AFTER ITS DISCHARGE. THE CONTROL MEASURES WHICH HAVE BEEN OUTLINED PREVIOUSLY IN THIS SWPPP WILL BE STRICTLY FOLLOWED TO ENSURE THAT NO CONTAMINATION OF THESE NON-STORM WATER DISCHARGES TAKES PLACE. FURTHERMORE, SOME STATES MAY PROHIBIT ANY NON-STORM WATER DISCHARGES, ALLOW A LIMITED NUMBER OF TYPES OF NON-STORM WATER DISCHARGES AND/OR WILL REQUIRE COVERAGE FOR NON-STORM WATER DISCHARGES UNDER A SEPARATE PERMIT. THE FOLLOWING NON-STORM WATER DISCHARGES ARE ALLOWED BY THE N.Y.S.D.E.C. AND MAY OCCUR AT THE JOB SITE: DISCHARGES FROM FIRE FIGHTING ACTIVITIES; FIRE HYDRANT FLUSHINGS; WATERS TO WHICH CLEANSERS OR OTHER COMPONENTS HAVE NOT BEEN ADDED THAT ARE USED TO WASH VEHICLES OR CONTROL DUST IN ACCORDANCE WITH THE SWPPF ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS; PAVEMENT WASHWATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED: AIR CONDITIONING CONDENSATE: SPRINGS: AND FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS. UNDER ALL CIRCUMSTANCES. THE PERMITEE MUST STILL COMPLY WITH WATER QUALITY STANDARDS

INSPECTION AND MAINTENANCE PROCEDURES

THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES.

- 1. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL EVENT OF 0.5 INCHES OR MORE.
- 2. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF REPAIRS OR OTHER MEASURES ARE FOUND TO BE NECESSARY. THEY WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- 3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE
- 4. SILT FENCES WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS. AND TO SEE THAT THE FENCE POSTS ARE SECURELY IN THE GROUND. 5. THE SEDIMENT BASIN, IF PRESENT, WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE
- REMOVED WHEN IT REACHES 25 PERCENT OF THE DESIGN CAPACITY. 6. TEMPORARY AND PERMANENT SEEDING AND ALL OTHER STABILIZATION MEASURES WILL BE INSPECTED FOR BARE
- SPOTS, WASHOUTS, AND HEALTHY GROWTH 7. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORT FORMS TO
- BE COMPLETED BY THE INSPECTOR ARE INCLUDED IN THIS SWPPP. 8. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SELECTING AND TRAINING THE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR THESE INSPECTIONS. MAINTENANCE AND REPAIR ACTIVITIES. AND FILLING OUT INSPECTION
- AND MAINTENANCE REPORTS. PERSONNEL SELECTED FOR THE INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE JOB SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS THAT ARE USED ONSITE IN GOOD WORKING ORDER, THEY WILL ALSO BE TRAINED IN THE COMPLETION OF, INITIATION OF ACTIONS REQUIRED BY, AND THE FILING OF THE INSPECTION FORMS. DOCUMENTATION OF THIS PERSONNEL TRAINING WILL BE KEPT ON SITE WITH THE
- DISTURBED AREAS AND MATERIALS STORAGE AREAS WILL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING STORMWATER SYSTEMS.
- 11 REPORT TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION WITHIN 24 HOURS ANY NONCOMPLIANCE WITH THE SWPPP THAT WILL ENDANGER PUBLIC HEALTH OR THE ENVIRONMENT. FOLLOW UP WITH A WRITTEN REPORT WITHIN DAYS OF THE NONCOMPLIANCE EVENT. THE FOLLOWING EVENTS REQUIRE 24 HOUR REPORTING: A) ANY UNANTICIPATED BYPASS WHICH EXCEEDS ANY EFFLUENT LIMITATION IN THE PERMIT, B) ANY UPSET WHICH EXCEEDS ANY EFFLUENT LIMITATION IN THE PERMIT, AND C) A VIOLATION OF A MAXIMUM DAILY DISCHARGE LIMITATION FOR ANY OF THE POLLUTANTS LISTED BY THE EPA IN THE PERMIT TO BE REPORTED WITHIN 24 HOURS THE WRITTEN SUBMISSION MUST CONTAIN A DESCRIPTION OF THE NON-COMPLIANCE AND ITS CAUSE. THE PERIOD OF NON-COMPLIANCE, INCLUDING EXACT DATES AND TIMES, AND IF THE NON-COMPLIANCE HAS NOT BEEN CORRECTED. THE ANTICIPATED TIME IT IS EXPECTED TO CONTINUE; AND STEPS TAKEN OR PLANNED TO
- REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NON-COMPLIANCE. RELEASES OF HAZARDOUS SUBSTANCES OR OIL IN EXCESS OF REPORTABLE QUANTITIES (AS ESTABLISHED UNDER 40 CFR 110, 40 CFR 117 OR 40 CFR 302) MUST BE REPORTED. FORM G-1 PROVIDES FURTHER DETAILS ON THE NOTIFICATION AND REPORTING PROCESS

MATERIALS MANAGEMENT PLAN

MATERIALS COVERED

THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION: CONCRETE/ADDITIVES/WASTES PETROLEUM BASED PRODUCTS DETERGENTS PAINTS/SOLVENTS PESTICIDES FERTILIZERS SOLID AND CONSTRUCTION WASTES SANITARY WASTES

MATERIAL MANAGEMENT PRACTICES

SOIL STABILIZATION ADDITIVES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED.

- HE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
- LEGIBLE CONDITION SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

MATERIALS MANAGEMENT PLAN (CON'T)

THESE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR JSED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING. PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED ANDUSED FOR
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED
- PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE.
- 1 PETROLEUM PRODUCTS:

HAZARDOUS WASTE

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ONSITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONTAINMENT STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED. FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.
- CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE BUT ONLY IN FITHER (1) SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE OR (2) IN LOCATIONS WHERE WASTE CONCRETE CAN BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE CONCRETE WASH OUT DIKED AREAS WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR THE IOR SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT MAY REQUIRE THE USE OF MULTIPLE CONCRETE WASHIOLD AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPS MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. TH LOCATION OF CONCRETE WASH OUT AREA(S) MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- SOLID AND CONSTRUCTION WASTES: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE ILOCAL ENTITY THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE . NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALI PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE CONTAINERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPS MUST BE IMPLEMENTED. SUCH AS SANDBAGS AROUND THE BASE. TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- SANITARY WASTES: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPS MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED
- G. CONTAMINATED SOILS: ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE

SPILL PREVENTION AND RESPONSE PROCEDURES

WITH APPLICABLE STATE AND FEDERAL REGULATIONS

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSI OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:
- 1. ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION. CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE
- THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE
- 3. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.
- 4. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION
- B. IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES. 3. THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY SPILLS OF TOXIC OR
- HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-429-6281 -888-HAZMAT 1) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110, 40 CFR 117, AND 40 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE

- 4. IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE. THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE RECURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT
- THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

WATER SYSTEM TESTS

- THE CONTRACTOR SHALL GIVE 24 HOUR NOTICE TO THE PURVEYOR OF WATER AND THE M.C.W.A. BEFORE ANY INSPECTIONS, PRESSURE TESTING AND SAMPLING. THE CONTRACTOR WILL TAKE THE SAMPLE.
- SOIL TEST THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT PER ANSI/AWWS C105/AZ1 5-82 PRIOR TO WATER MAIN INSTALLATION SOIL TESTING SHALL BE CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH LOCAL WATER DISTRICT
- WATER PIPING SHALL BE FLUSHED AND TESTED IN CONFORMANCE WITH THE LATEST REVISION OF ANSI/AWWA C600 STANDARD FOR DUCTILE IRON PIPE
- THE PROPOSED WORKS MUST CONFORM TO THE LATEST REVISION OF ANSI/AWWA C651 STANDARD, TABLET METHOD EXCEPTED. FOLLOWING FLUSHING AND TESTING, THE ENGINEER SHALL OVERSEE COLLECTION OF AN APPROPRIATE NUMBER OF BACTERIOLOGICAL SAMPLES FOR THE TOTAL AND FECAL COLIFORM AND FOR STANDARD BACTERIAL PLATE COUNT AFTER THE FIELD FREE CHLORINE RESIDUAL IS LESS THAN 1.5 PPM AND THE SAMPLING POINTS HAVE BEEN CONTAMINATED. PRIOR TO SAMPLING. THE ENGINEER SHALL COORDINATE THE APPROPRIATE NUMBER AND LOCATION OF SAMPLES TO BE COLLECTED WITH THE COUNTY OR STATE HEALTH DEPT/ HAVING JURISDICTION.
- THE COMPLETED WORKS SHALL NOT BE PLACED INTO SERVICE UNTIL THE APPROVAL OF COMPLETED WORKS FORM IS ISSUED BY THE COUNTY OR STATE HEALTH DEPT. HAVING JURISDICTION. PRIOR TO ISSUANCE, A NYS-LICENCED PROFESSIONAL ENGINEER MUST SUBMIT CERTIFICATION TO THAT HEALTH DEPARTMENT THAT: THEY OR THEIR DESIGNATED REPRESENTATIVE WITNESSED THAT CONSTRUCTION WAS IN CONFORMANCE WITH THE PLANS AS APPROVED: FLUSHING, TESTING, AND DISINFECTION PROCEDURES NOTED HEREIN HAD BEEN PROPERLY PERFORMED. AND, MICROBACTERIAL SAMPLE RESULTS FROM THE COMPLETED WORKS WERE ACCEPTABLE. COPIES OF THE OFFICIAL LABORATORY RESULTS ARE TO BE INCLUDED WITH THE CERTIFICATION.
- FIRE HYDRANTS ARE NOT ACCEPTABLE TESTING/SAMPLING POINTS.
- WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND

MCWA NOTES

MONROE COUNTY WATER AUTHORITY 4" AND LARGER SERVICE LINE NOTES

- WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY
- WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS
- WATER SERVICE LINES SHALL BE IDENTIFIED AS:

WATER OF THE STATE OF THE DE IDENTIFIED AG.			
DESCRIPTION	SIZE	MATERIAL ^(a)	TYPE ^(b)
M.C.W.A. PORTION: FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE R.O.W./PROPERTY/EASEMENT LINE		D.I.P.*	СМВ
PRIVATE PORTION: FROM THE CONTROL VALVE TO THE METER		D.I.P.*	СМВ

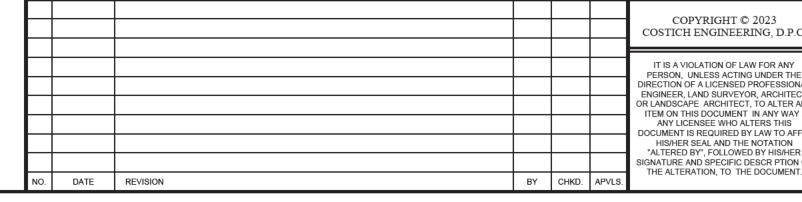
- (a)= ACCEPTABLE MATERIAL IS *CLASS 52 CEMENT MORTAR LINED DUCTILE IRON PIPE. SERVICE TYPES INCLUDE: DOMESTIC=(DS), FIRE=(FS), OR COMBINED=(CMB)
- 5. THE WATER AUTHORITY'S PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED <u>PRIOR</u> TO THE PRIVATE PORTION
- WATER METER(s) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS. 1 1/2-INCH + 2-INCH METER INSTALLATIONS MAY REQUIRE A BYPASS ASSEMBLY AROUND THE METER. METER
- INSTALLATIONS 3-INCH OR GREATER REQUIRE A BY-PASS ASSEMBLY AROUND THE METER. WATER SERVICE LINES SIZED 4" OR GREATER SHALL BE:
- PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER

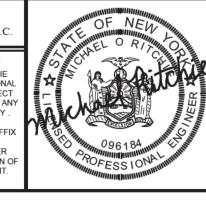
AUTHORITY, A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.

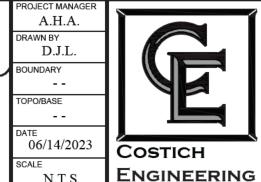
DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED IN ACCORDANCE WITH THE DEPARTMENT OF HEALTH THAT HAS JURISDICTION OF THE AREAS REQUIREMENTS. APPROVAL AND NOTIFICATION BY HE HEALTH DEPARTMENT OF A PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE

GENERAL NOTES

- 1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY (THE COST FOR SUPPORTING UTILITIES SHALL BE INCLUDED IN THE PRICE BID FOR EXCAVATION).
- EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS, OR DAMAGES OCCURING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENTIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBLITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.







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LANDSCAPE ARCHITECTURE 217 LAKE AVENUE

ROCHESTER, NY 14608

(585) 458-3020

2199 EAST HENRIETTA ROAD ENGINEERING GENERAL NOTES

> CATION OF PROJECT TAX PARCEL NO. 162.180-02-001.111 TOWN OF HENRIETTA,

COUNTY OF MONROE, STATE OF NEW YORK ENSO ARCHITECTS P.O. BOX 26208 ROCHESTER, NEW YORK 14626

SMUGTOWN BREWING CO.

GA002 SHEET 02 OF 0



LINE LEGEND

/////// EXISTING BUILDING

EXISTING CONCRETE CURB

EXISTING EDGE OF GRAVEL

EXISTING RIGHT-OF-WAY LINE

EXISTING ADJACENT PROPERTY LINE

EXISTING EDGE OF PAVEMENT

EXISTING CONCRETE PAD/ CONCRETE SIDEWALK

EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT

EXISTING WATER MAIN, VALVE, & HYDRANT

EXISTING SANITARY SEWER, & MANHOLE

EXISTING OVERHEAD UTILITIES

EXISTING UNDERGROUND UTILITIES

----- EXISTING TELEPHONE SERVICE

TREES, HEDGE, EDGE OF WOODS

EXISTING CHAIN LINK &

■ EXISTING CONCRETE CURB TO BE REMOVED

EXISTING ASPHALT TO BE REMOVED

EXISTING CONCRETE SIDEWALK

EXISTING SURVEY CONTROL TO BE REMOVED

TO BE REMOVED

LOD EXISTING STONE WALL TO BE REMOVED

INLET PROTECTION

STOCKADE FENCE

— G — EXISTING GAS SERVICE

EXISTING ELECTRIC SERVICE

EXISTING GUARD RAIL

- - - - - 100 - - - - - EXISTING CONTOUR

DEMOLITION LEGEND

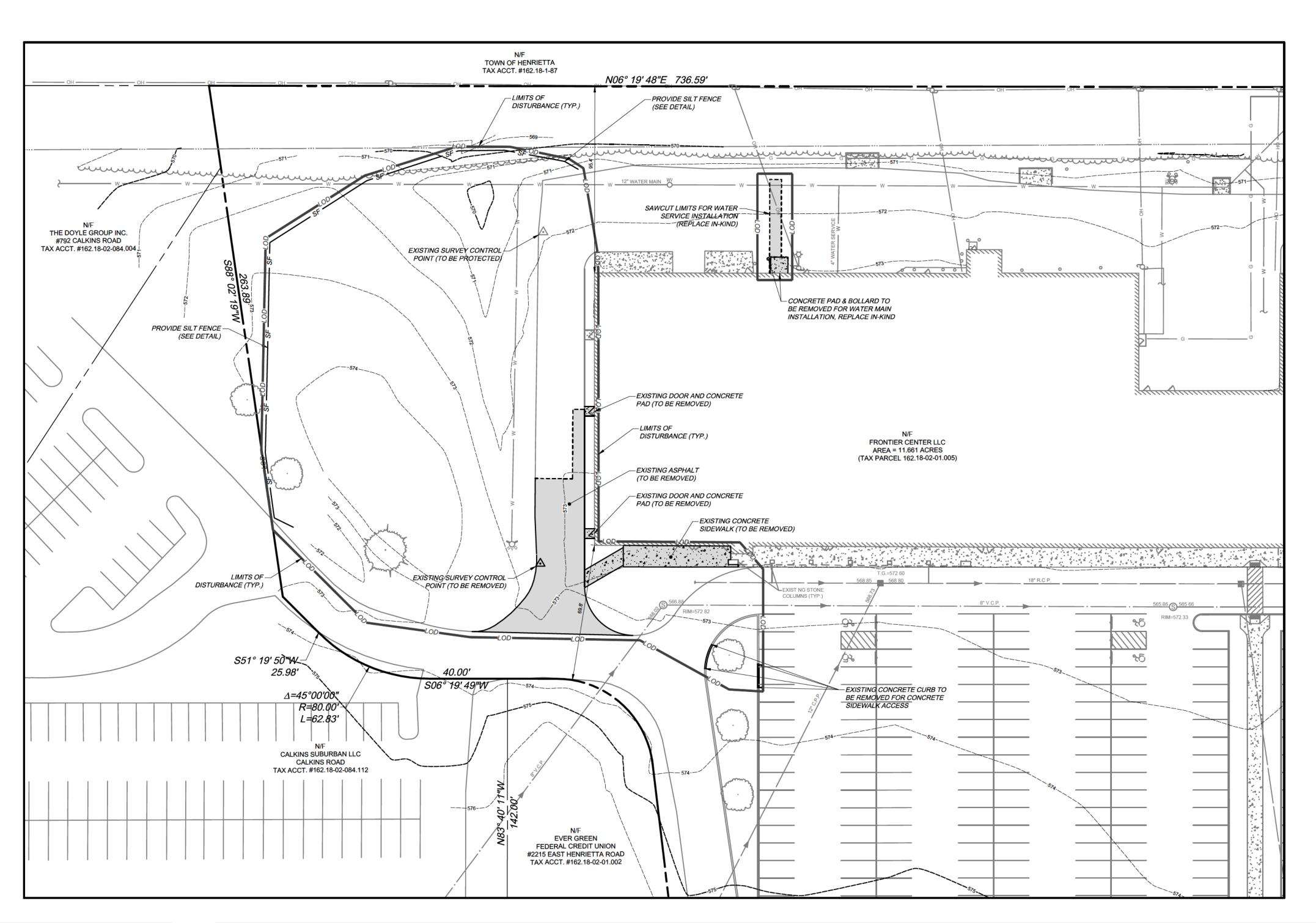
SF — PROPOSED SILT FENCE

—— o ——,—— u ——

EXISTING DRAINAGE SEWER, FIELD INLET,

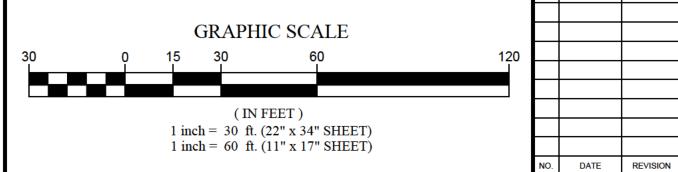
INLET MANHOLE, MANHOLE, & END SECTION

— EXISTING EASEMENT LINE.

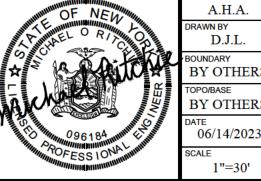




EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXAC LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



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SIGNATURE AND SPECIFIC DESCR PTION O THE ALTERATION, TO THE DOCUMENT.

D.J.L. BY OTHERS BY OTHERS

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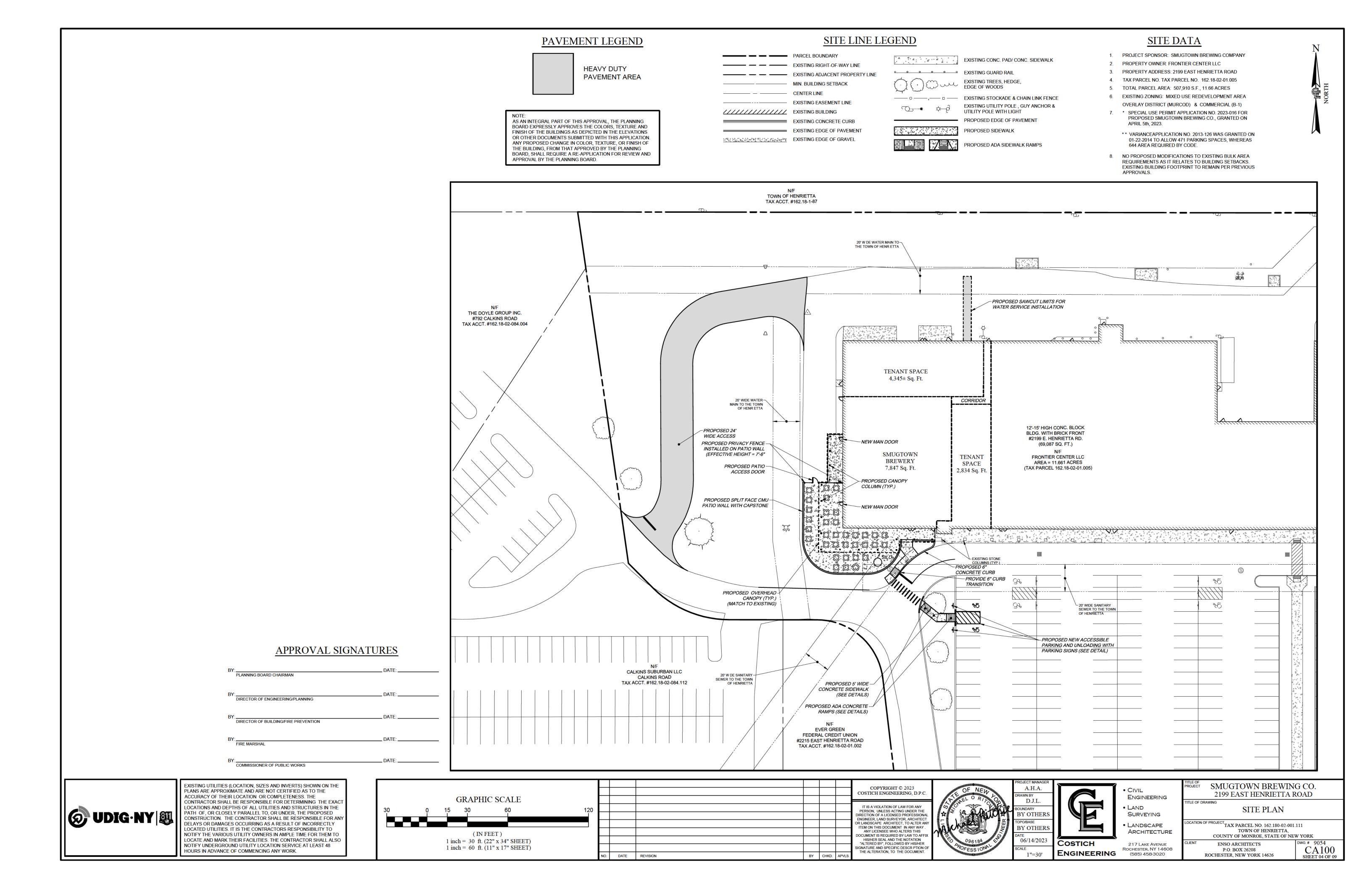
ROCHESTER, NY 14608

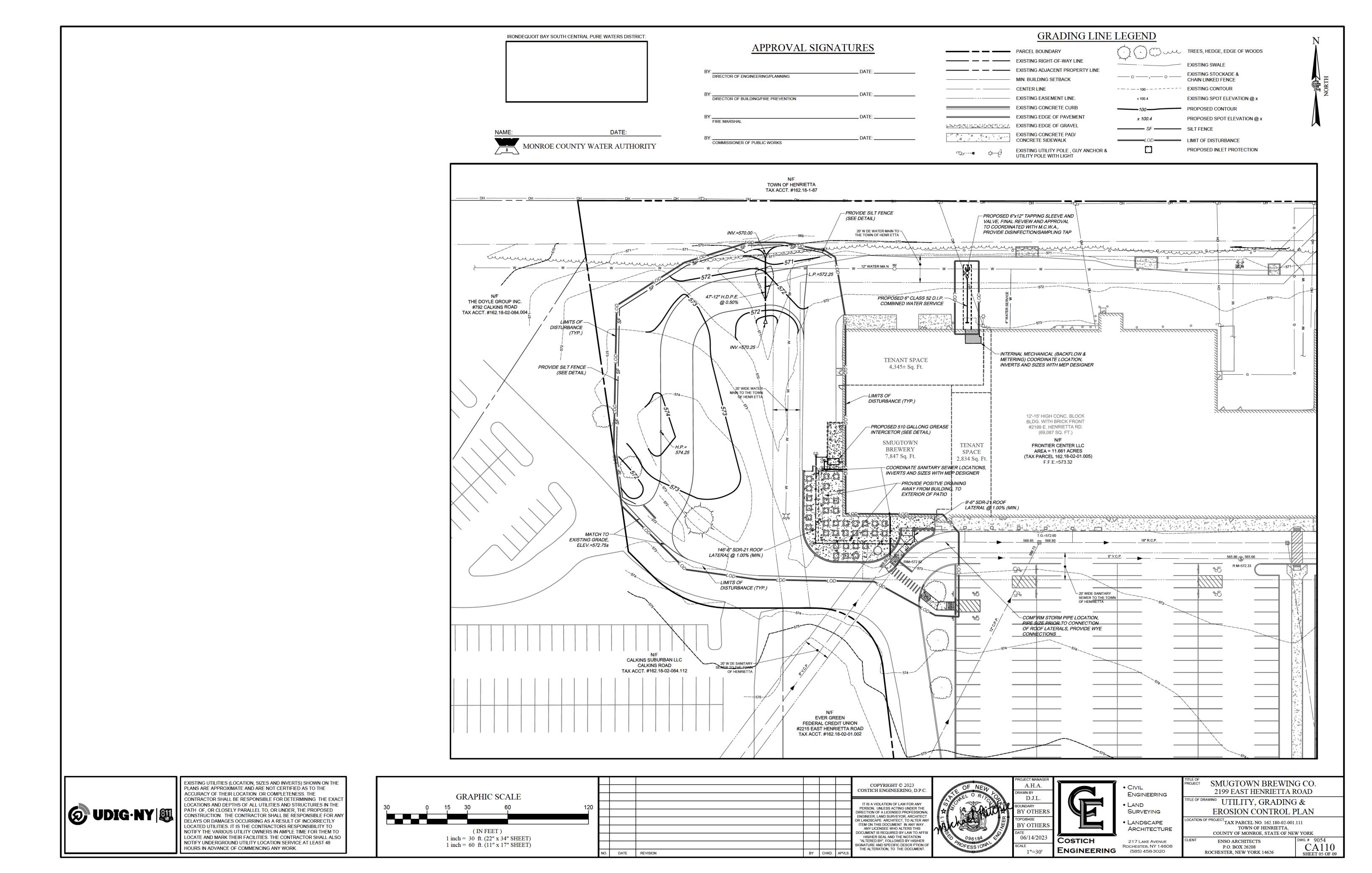
SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD ENGINEERING

TITLE OF DRAWING EXISTING FEATURES/ DEMOLITION PLAN

DCATION OF PROJECT TAX PARCEL NO. 162.180-02-001.111 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

ENSO ARCHITECTS VA100 P.O. BOX 26208 ROCHESTER, NEW YORK 14626 SHEET 03 OF 09





LANDSCAPE & MAINTENANCE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS,

INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
- LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE OWNER/OWNERS REPRESENTATIVE AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND /OR MINIMIZE POTENTIAL CONFLICTS.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF PROVISIONAL ACCEPTANCE.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART
- 10. ALL TREE AND SHRUB BEDS SHALL RECEIVE 1-3" RIVER COBBLE MULCH, UNLESS OTHERWISE SPECIFIED.
- 11. STAKE TREES IMMEDIATELY AFTER PLANTING.

WITHIN THE NYSDOT RIGHT-OF-WAY.

3" HIGH SOIL RING

SHRUB MASS PLANTING

12. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 4" OF TOPSOIL AND BE SODDED.

RESTORATION OF NYS-DOT RIGHT OF WAY SHALL COMPLY WITH NYS-DOT

NYS-DOT ITEM NO. ITEM 610.1402 - TOPSOIL - ROADSIDE ITEM 610.1401 - TOPSOIL - REUSE ONSITE MATERAILS ITEM 610.1602 - TURF ESTABLISHMENT

ITEM 610.18 - SODDING

- 13. REFER TO 'NYSDOT PERMIT PLANS' ISSUED WITH APPLICABLE PERMITS FOR ALL WORK
- 14. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH 6 NYCRR PART 575 PROHIBITED AND REGULATED INVASIVE SPECIES.

GENERAL STABILIZATION NOTE:

- TEMPORARY STABILIZATION OF DISTURBED AREA MUST BE INITIATED IMMEDIATELY WHENEVER WORK TOWARD PROJECT COMPLETION AND FINAL STABILIZATION OF ANY PORTION OF THE SITE HAS TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS.
- FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE.
- SLOPES STEEPER THAN 15% (APPROXIMATELY 7:1 H: V) ARE TO BE STABILIZED IMMEDIATELY AFTER COMPLETION TO PREVENT EROSION OF THESE STEEP SLOPES. TEMPORARY SEEDING WITH MULCHING IS TO BE USED FOR THIS STABLIZATION. PERMANENT STABILIZATION WITH SODDING MAY BE USED WITH PEGS OR STAPLES IF THESE AREAS WILL NOT BE DISTURBED BY FURTHER CONSTRCTION ACTIVITIES.

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE	
EVERGREEN	EVERGREEN TREES						
3	Tt	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	3-4' Ht. Min.	BB	HT. 6-8', SP. 4-5'	
8	Pa	PICEA ABIES	NORWAY SPRUCE	6-8' Ht. Min.	BB	HT. 80-100', SP. 30-40'	
15	Pg	PICEA GLAUCA	WHITE SPRUCE	6-8' Ht. Min.	BB	HT. 40-60', SP. 10-20'	
ORNAMENTAL TREES							
1	Am	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' (CLUMP)	AUTUMN BRILLIANCE SERVICEBERRY	1.5-2' CAL.	BB	HT. 15-25', SP. 15-25'	
PERENNIALS AND GRASSES							
50	Ср	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	NO. 2	CONT.	HT. 0.5-1.0', SP. 0.5-1.0'	
57	Ор	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	NO. 2	CONT.	HT. 0.5', SP. 0.5'	
54	Sp	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED GRASS	NO. 2	CONT.	HT. 2-3', SP. 2-3'	
25	Cs	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	NO. 3	CONT.	HT. 3-4', SP. 3-4'	

ABBREVIATIONS:

BB=BALLED & BURLAPPED

BR=BARE ROOT

CAL.=CALIPER IN INCHES CONT.=CONTAINER

HT.=HEIGHT NO.#=GALLON SIZE

SP.=SPREAD

- CALIPER TO BE MEASURED 6" ABOVE GRADE - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE - HEIGHT IS MEASURED FROM BASE OF ROOT BALL

SITE LINE LEGEND

PARCEL BOUNDARY EXISTING RIGHT-OF-WAY LINE — — — EXISTING ADJACENT PROPERTY LINE ------ MIN. BUILDING SETBACK — — CENTER LINE EXISTING EASEMENT LINE /////// EXISTING BUILDING EXISTING CONCRETE CURB EXISTING EDGE OF PAVEMENT

EXISTING EDGE OF GRAVEL

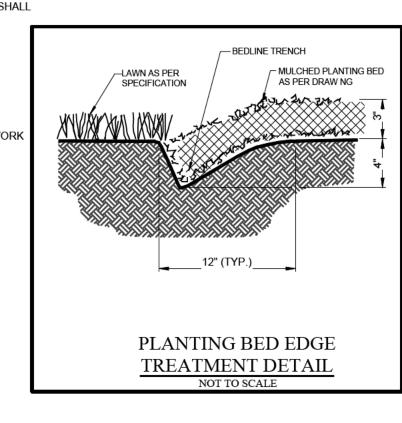
EXISTING CONC. PAD/ CONC. SIDEWALK

e EXISTING GUARD RAIL EXISTING TREES, HEDGE, EDGE OF WOODS

— o — , — □ — EXISTING STOCKADE & CHAIN LINK FENCE EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT PROPOSED EDGE OF PAVEMENT

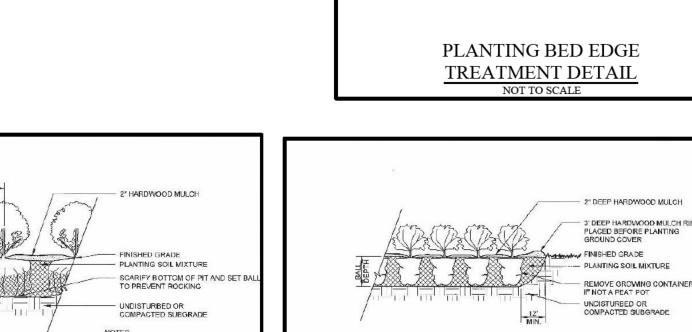
PROPOSED SIDEWALK

APPROVAL SIGNATURE

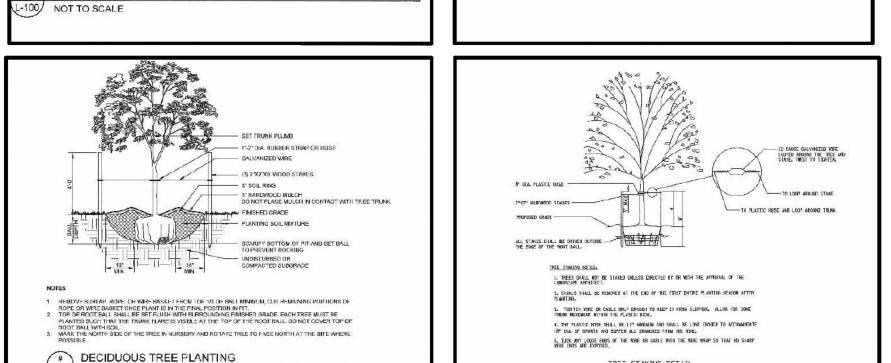


PERENNIAL AND GROUND COVER PLANTING

WITH CONTINUOUS PLANT BED

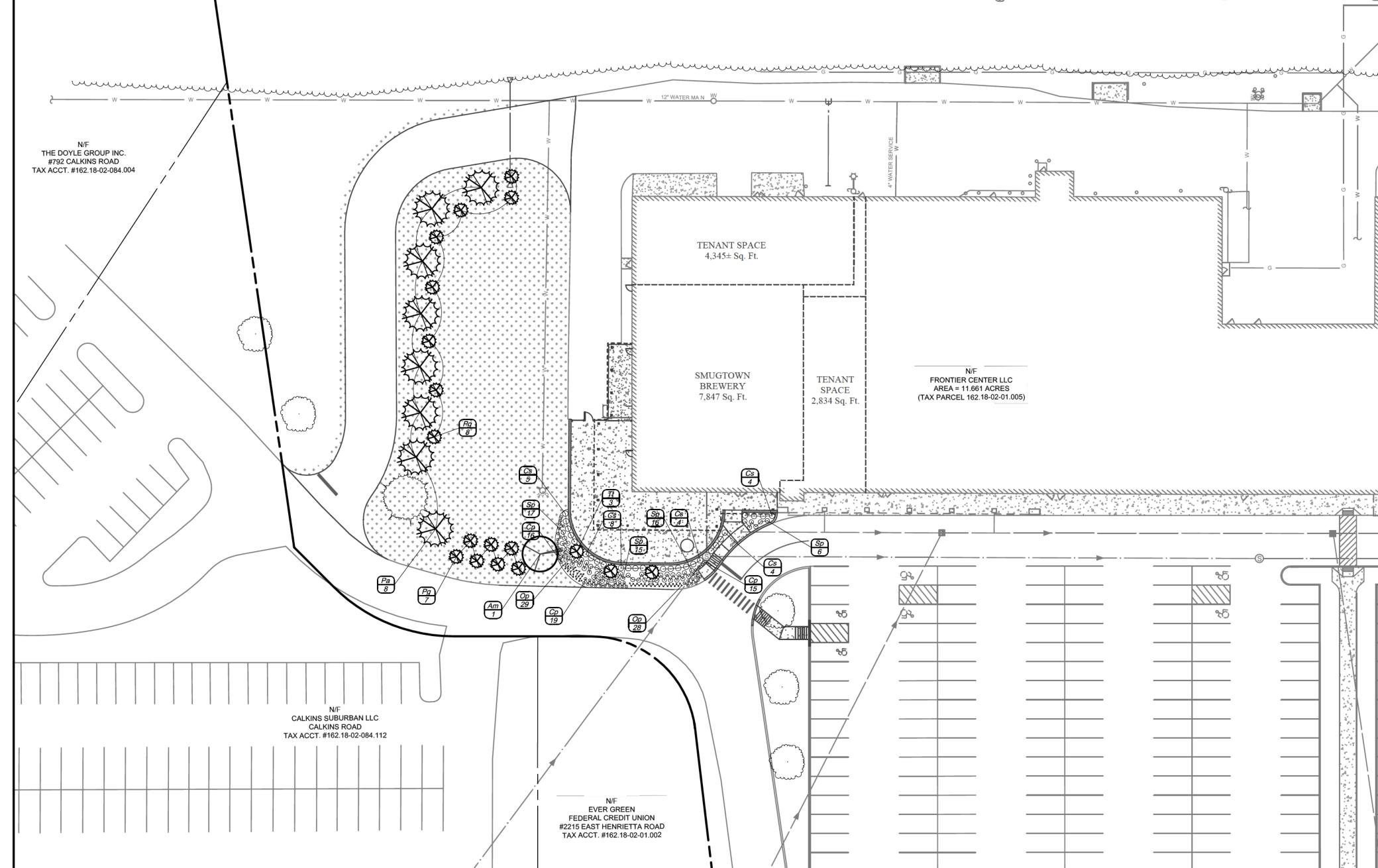


L-100 NOT TO SCALE



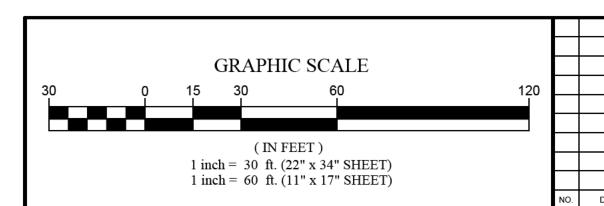
REMOVE BURLAP, ROPE, OR WIRE

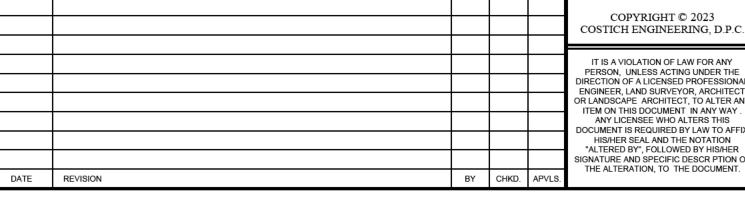
BASKET FROM TOP IS OF BALL MINIMUM, CUT REMAINING PORTIONS OF ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT OR REMOVE FROM GROWING CONTAINER.

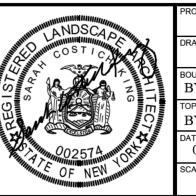




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D.J.L. BY OTHERS BY OTHERS 06/14/2023 Costich



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LANDSCAPE

ENGINEERING LAND SURVEYING

ARCHITECTURE

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ROCHESTER, NY 14608

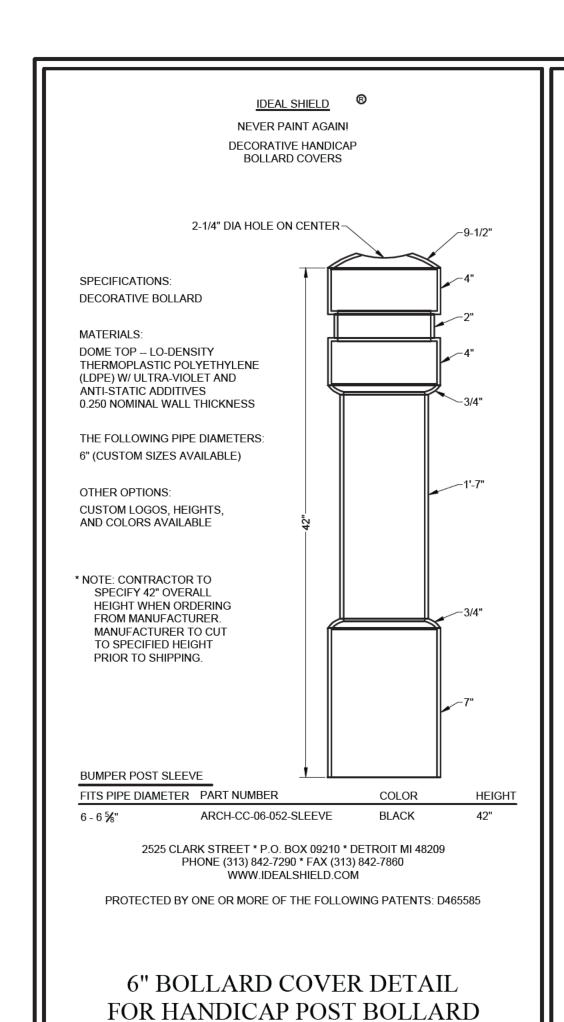
LANDSCAPE PLAN

CATION OF PROJECT TAX PARCEL NO. 162.180-02-001.111 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

SMUGTOWN BREWING CO.

2199 EAST HENRIETTA ROAD

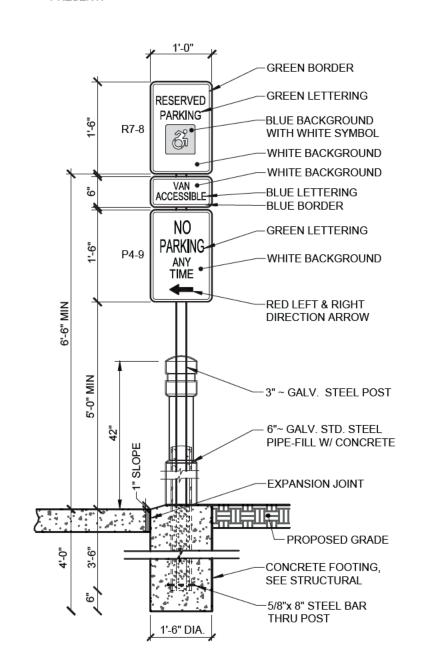
ENSO ARCHITECTS P.O. BOX 26208 ROCHESTER, NEW YORK 14626



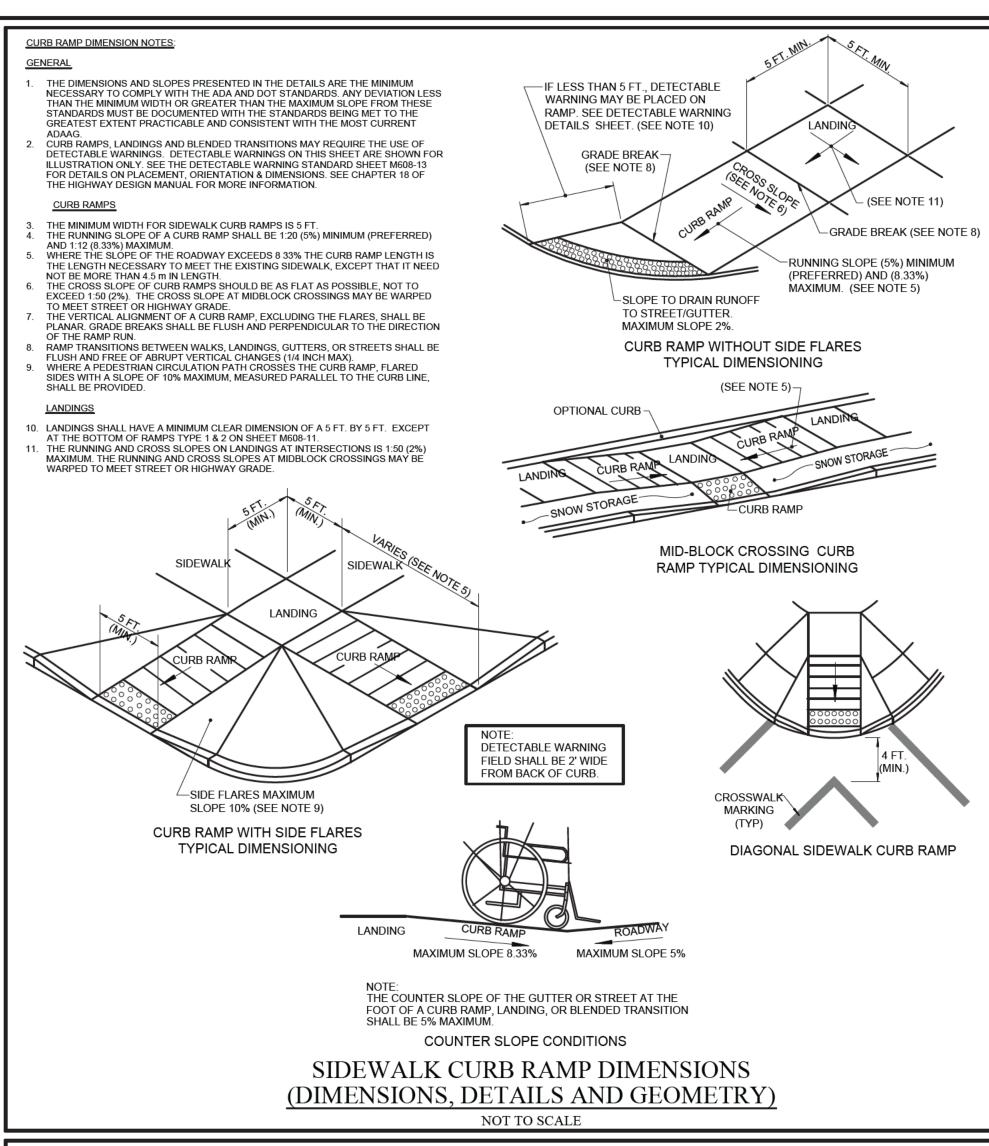
NOT TO SCALE

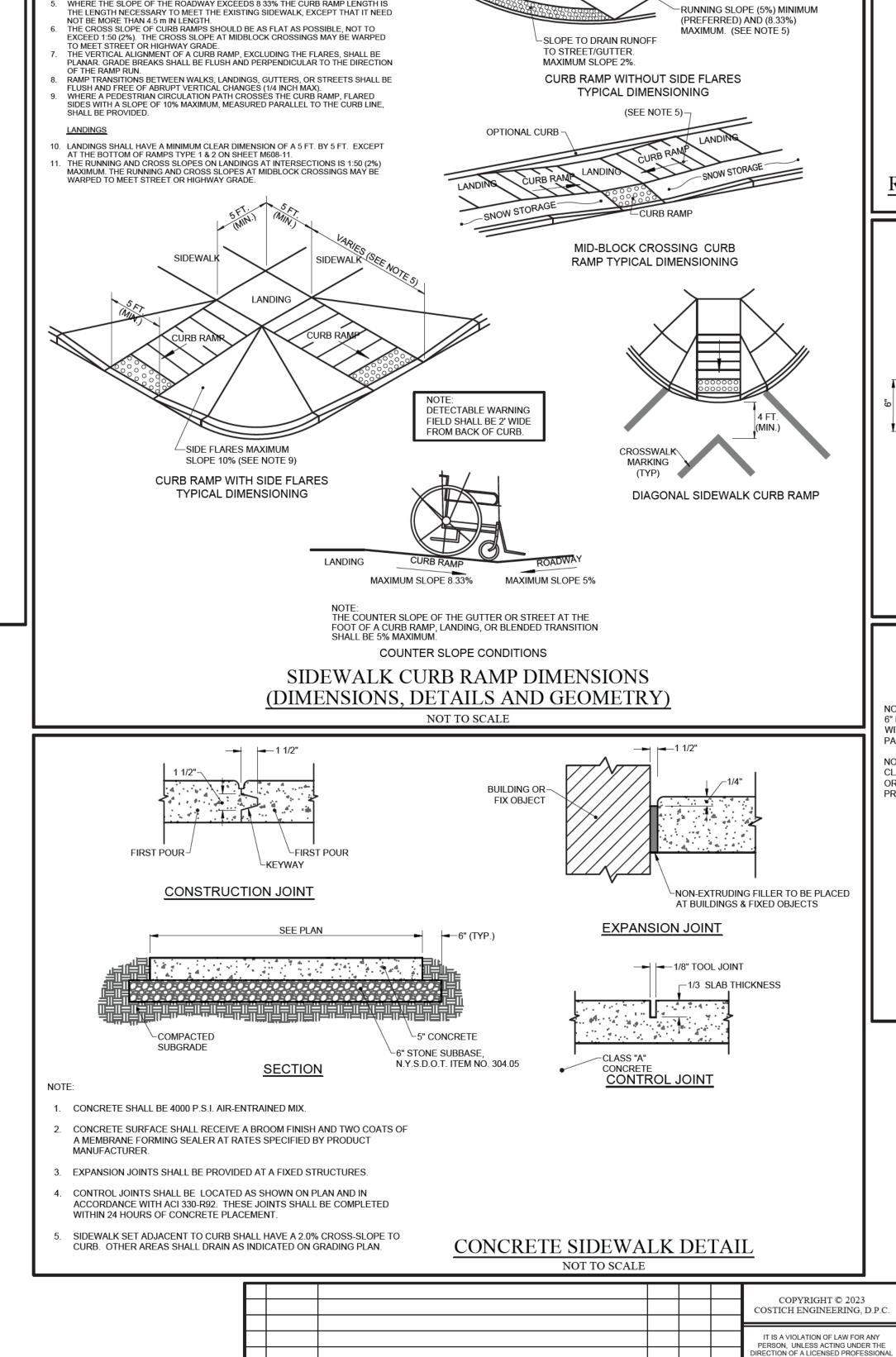
1. ONE "VAN ACCESSIBLE" SIGN PER SIX HANDICAP SPACES PROVIDED ON SITE, MUST MOUNTED BELOW THE "RESERVED

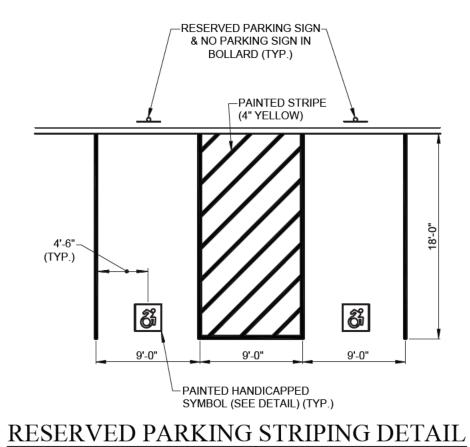
- 2. ADA GUIDELINES STATE THAT THE BOTTOM OF THE "VAN ACCESSIBLE" SIGN MUST MOUNTED A MINIMUM OF 60" ABOVE GRADE. SOME MUNICIPALITIES LIMIT THE MAXIMUM HEIGHTS AND MAY ALSO REQUIRE ADDITIONAL SIGNAGE. REFER TO LOCAL
- 3. ALL RESERVED PARKING SIGNS ON SITE SHALL BE MOUNTED AT THE SAME HEIGHT, REGARDLESS IF A "VAN ACCESSIBLE" SIGN IS PRESENT.



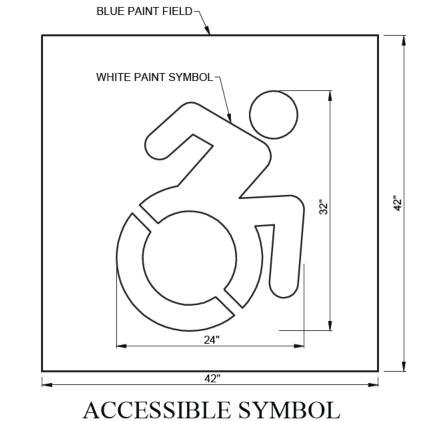
TYPICAL STEEL POLE MOUNTED SIGN DETAIL NOT TO SCALE







NOT TO SCALE



PAVEMENT MARKING DETAIL NOT TO SCALE

-1" ASPHALT TOP COURSE, N.Y.S.D.O.T.

-2" ASPHALT BINDER COURSE, N.Y.S.D.O.T.

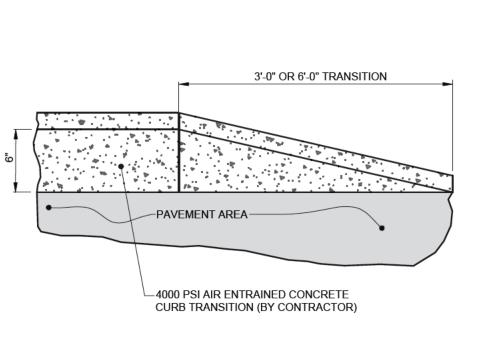
-GEOTEXTILE STABILIZATION

MIRAFI 500X OR APPROVED

EQUAL (IF REQUIRED)

ITEM 403.178902, TYPE 6

ITEM 403.138902, TYPE 3



NOT TO SCALE

USE 12" OF STONE SUBBASE. **CURB TRANSITION DETAIL**

10" MIN. STONE SUBBASE (TWO 5" LIFTS) N.Y.S.D.O.T

ITEM 304.12

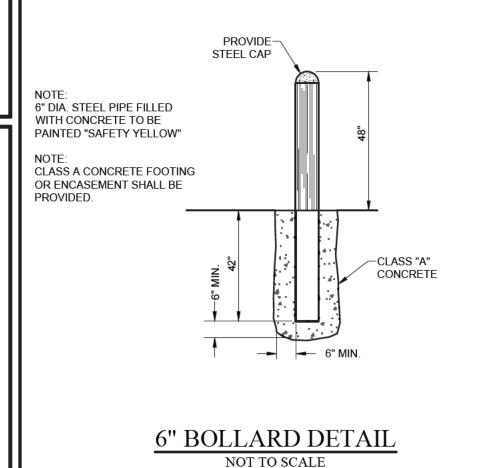
EXISTING SUBBASE

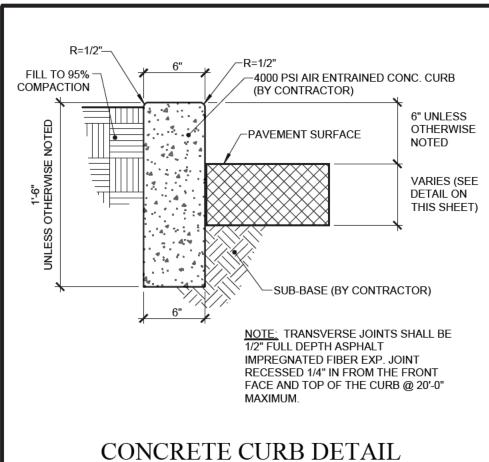
TYPICAL PAVEMENT SECTIONS

NORMAL SECTION

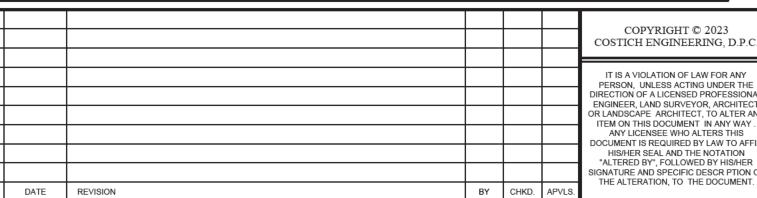
NOTE: HEAVY DUTY PAVEMENT SECTION TO

NOT TO SCALE

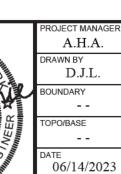




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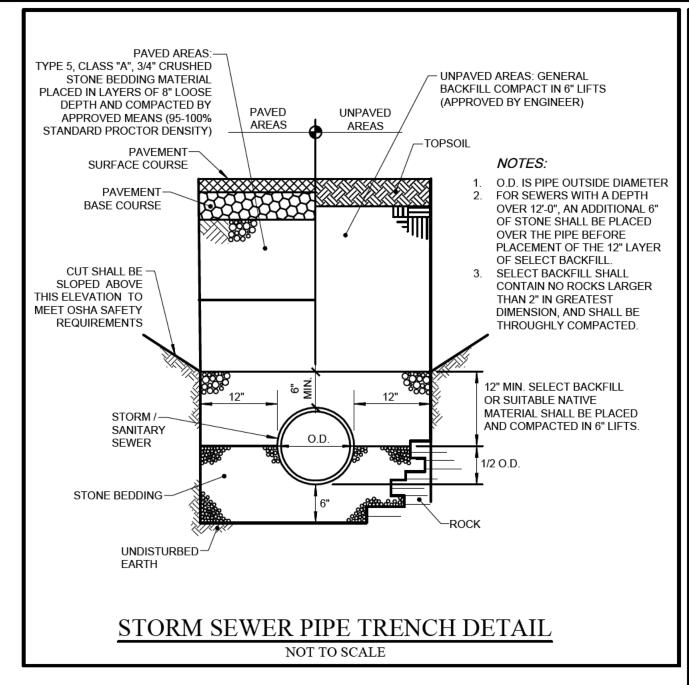
SURVEYING Landscape ARCHITECTURE

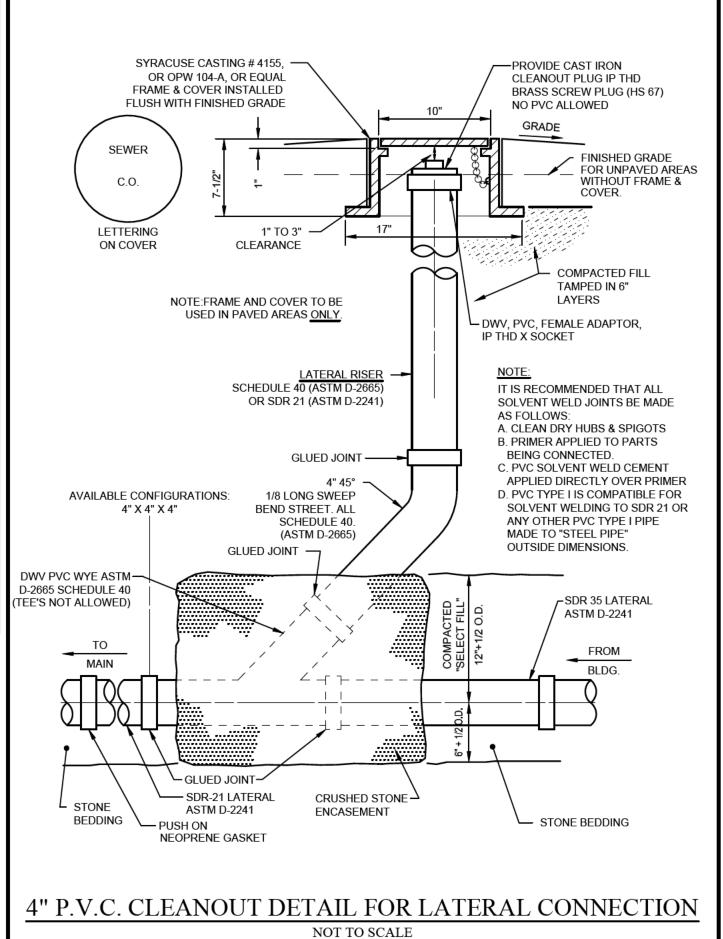
SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD Engineering

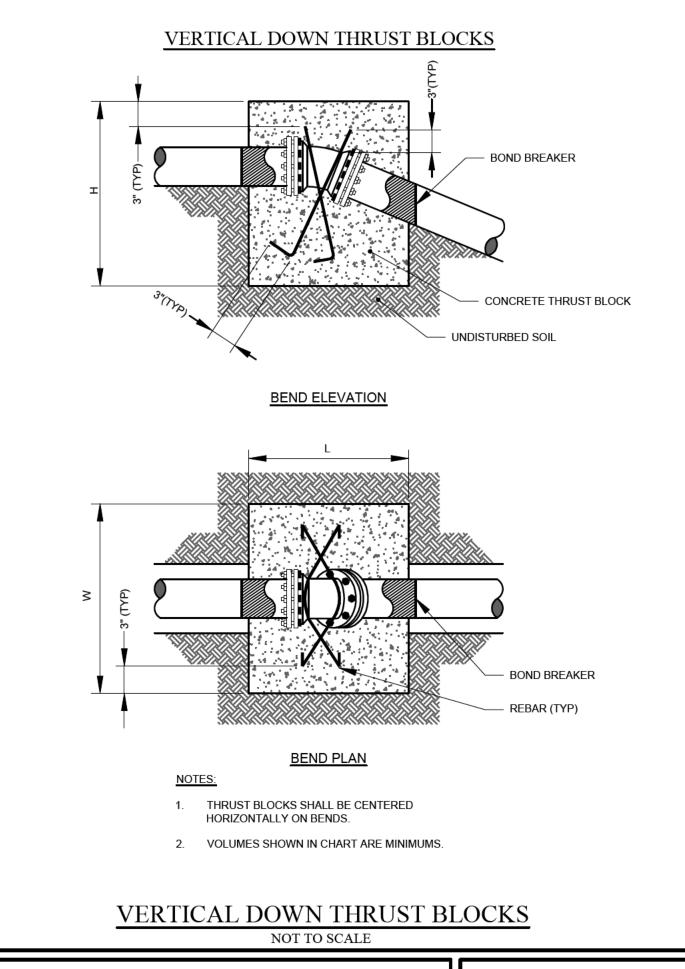
DETAIL SHEET

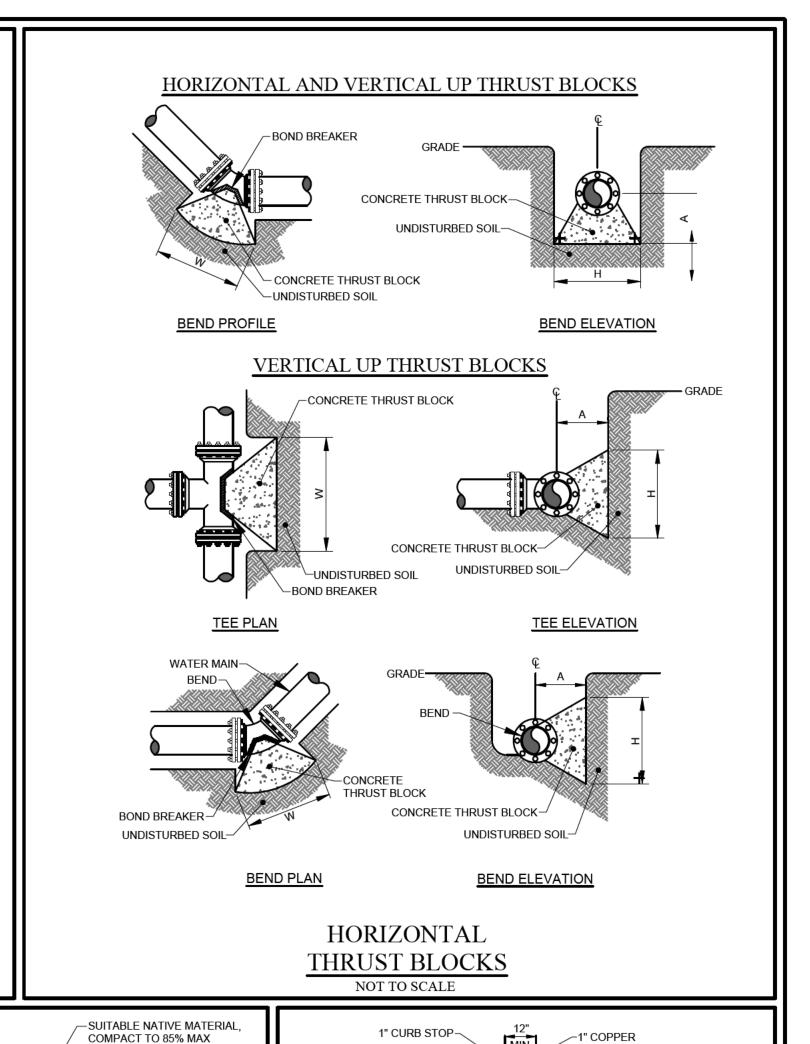
CATION OF PROJECT TAX PARCEL NO. 162.180-02-001.111 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

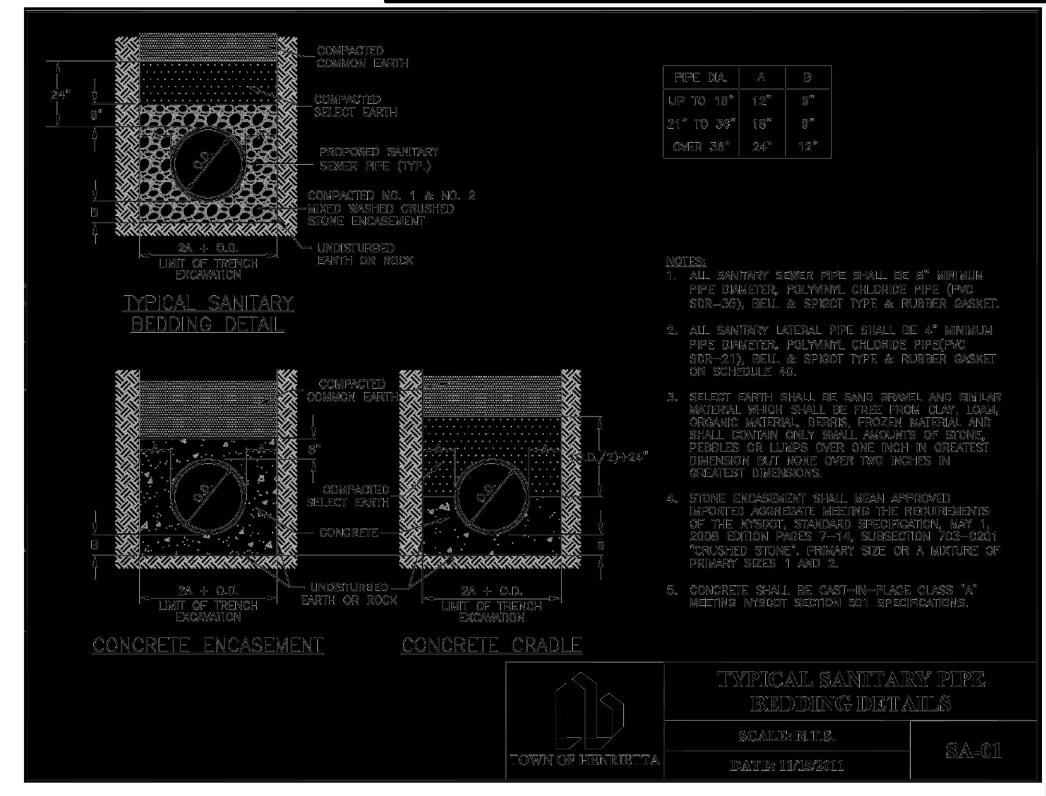
ENSO ARCHITECTS CA500 SHEET 07 OF 09 P.O. BOX 26208 ROCHESTER, NEW YORK 14626

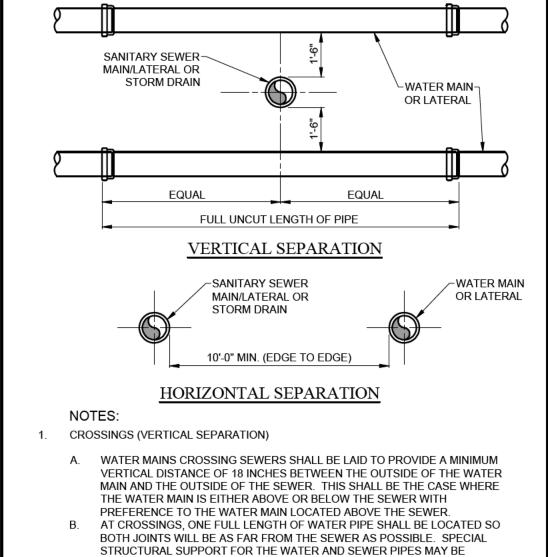












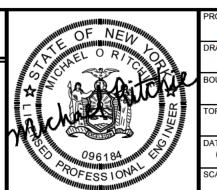
- REQUIRED.
- PARALLEL INSTALLATION (HORIZONTAL SEPARATION)

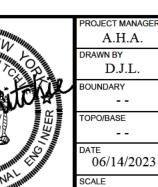
DATE REVISION

- A. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY OR STORM SEWER, SEPTIC TANK, OR SUBSOIL TREATMENT SYSTEM. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- B. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE REVIEWING AUTHORITY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER.

WATER/SEWER SEPARATION REQUIREMENT DETAIL

NOT TO SCALE





6"MIN

IN

DIP TRENCH

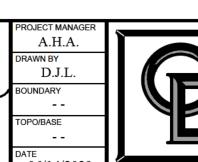
ROCK

6"MIN

ROCK

TRENCH LIMITS

NOTE: EXCAVATION TO MEET OSHA REQUIREMENTS.



Costich

ENGINEERING

STANDARD PROCTOR DENSITY

SEPT 201 DATE

DME 3

ENGINEERING LAND SURVEYING

DISINFECTION/

BLOW-OFF/

SAMPLING TAP

(TEMPORARY)

NOT TO SCALE

2199 EAST HENRIETTA ROAD DETAIL SHEET

DCATION OF PROJECT TAX PARCEL NO. 162.180-02-001.111 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK

SMUGTOWN BREWING CO.

CA501 SHEET 08 OF 09

-CORPORATION STOP

NOTE: IN THE PRESENCE OF A WATER

CORPORATIONS ASSOCIATED WITH

AUTHORITY REPRESENTATIVE REMOVE ALL

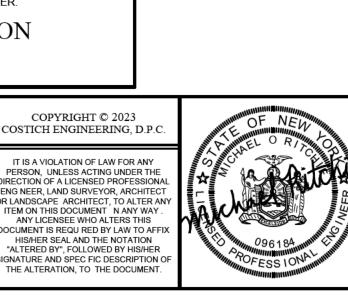
TEMPORARY DISINFECTION/SAMPLE TAPS

AND REPLACE WITH THREADED BRASS

MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK

DME 14

-WATER MAIN



TYPE 4 SELECT FILL-(RUN OF BANK SAND) ENVELOPE (WHEN ROCK IS

ENCOUNTERED)

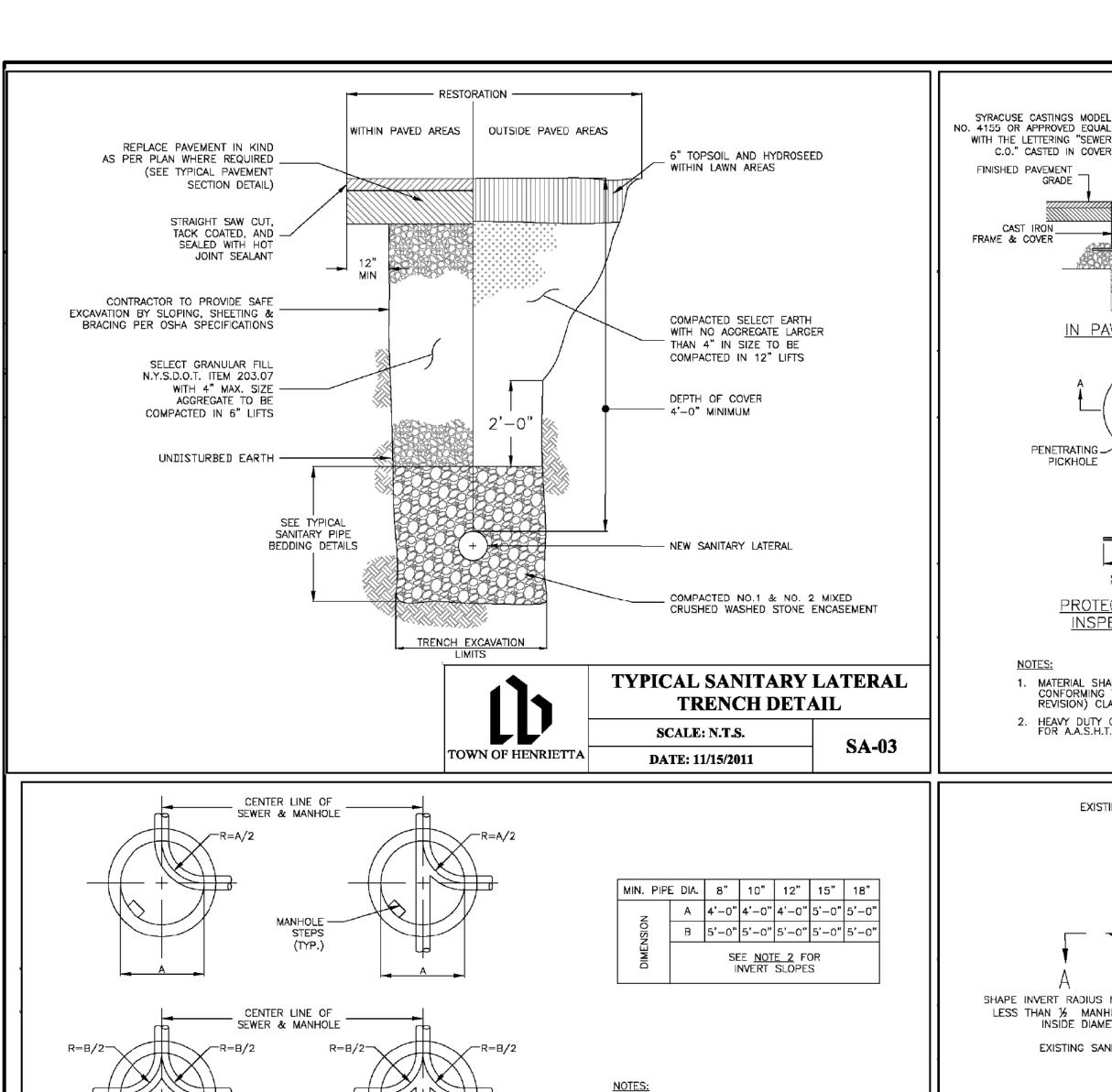
MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK

 LANDSCAPE ARCHITECTURE 217 LAKE AVENUE ROCHESTER, NY 14608

(585) 458-3020

ENSO ARCHITECTS

P.O. BOX 26208 ROCHESTER, NEW YORK 14626



-CROWN OF PIPE

BRICK OR HALF PIPE

INVERT OR PRECAST BY

MANHOLE MANUFACTURER.

FOWN OF HENRIETTA

CONCRETE BENCHWALLS-

SPRINGLINE -

DIMENSIONS A & B ARE GOVERNED BY

DROP ACROSS MANHOLE.

A.) STRAIGHT THROUGH PIPE-SLOPES SHALL

BE A MINIMUM 0.10' DROP ACROSS

B.) 90° BENDS - PROVIDE MINIMUM 0.25'

A MANHOLE THE STEEPER OF SLOPES

ABOVE WILL DETERMINE THE OUTLET

D.) WHERE PIPES ARE OF DIFFERENT SIZE,

SANITARY MANHOLE INVERT

CONFIGURATIONS & DIMENSIONS

SA-09

SLOPE SHALL BE AS DETERMINED BY CONTRACT PLANS.

C.) WHERE TWO OR MORE PIPES ENTER

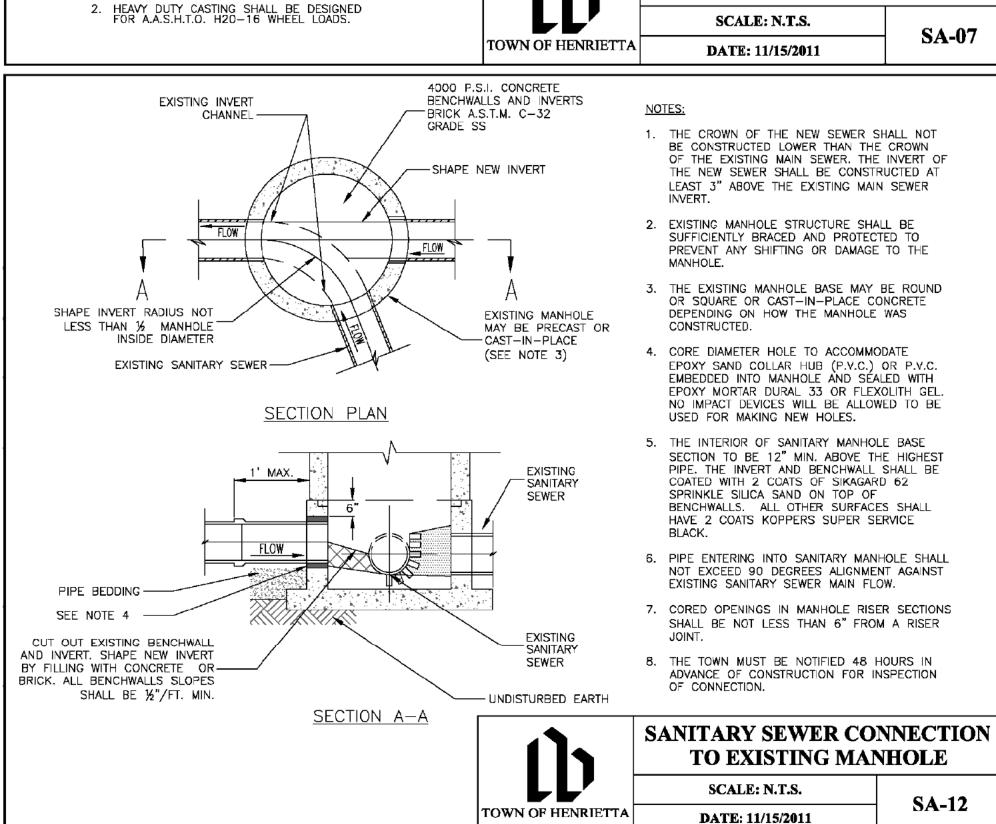
OUTLET DIAMETER.

ELEVATION.

SCALE: N.T.S.

DATE: 11/15/2011

2. INVERT SLOPES:



PROTECTIVE CASTING

THREADED STEEL CAP-

6" MIN.—►

45° BEND —

THREADED COUPLING-

COMPACTED NO. 1 CRUSHED WASHED STONE-

ENCASEMENT AGGREGATE

FROM (=

SEE SANITARY PIPE BEDDING

SEWER MATERIAL, SIZE AND

TYPICAL SANITARY LATERAL

PROFILE DETAIL (SA-04)

SLOPE AS SPECIFIED ON THE_

DETAILS FOR LIMITS

INSPECTION PORT

RISER

IN PAVEMENT AREAS

SECTION A-A

PROTECTIVE CASTING

INSPECTION PORT

MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 308.

SYRACUSE CASTINGS MODEL

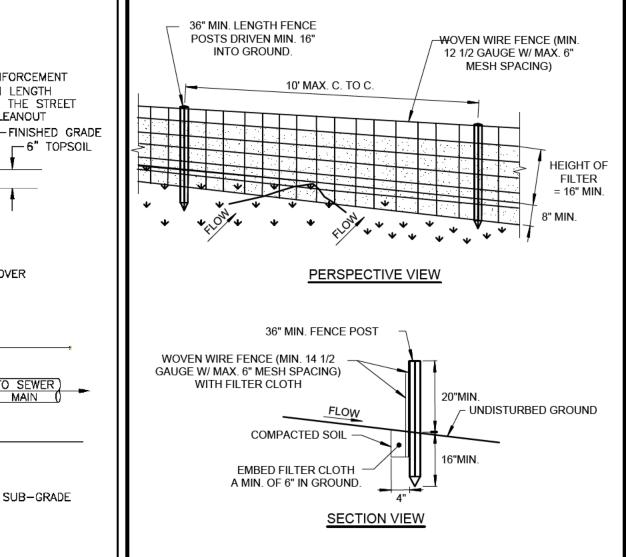
WITH THE LETTERING "SEWER

FINISHED PAVEMENT

C.O." CASTED IN COVER-

PENETRATING

PICKHOLE



CONSTRUCTION SPECIFICATIONS

NO. 4 REINFORCEMENT

PLACED ON THE STREET

BAR 12" IN LENGTH

SIDE OF CLEANOUT

4' MIN. COVER

-UNDISTURBED EARTH SUB-GRADE

SA-07

SA-12

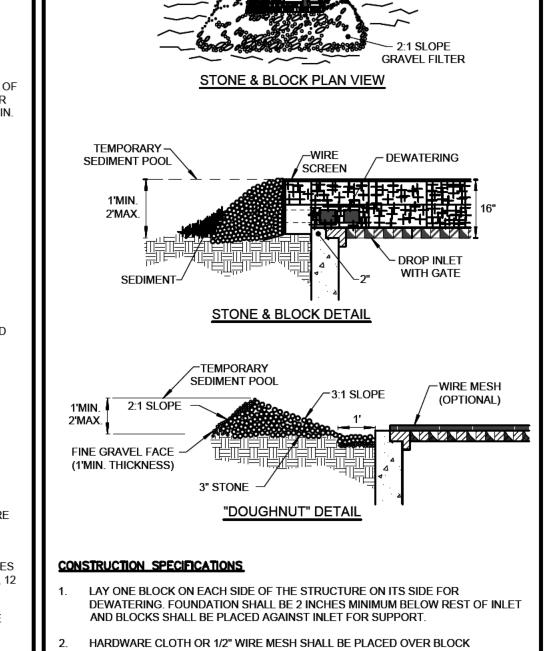
SANITARY LATERAL CLEANOUT

IN GRASS AREAS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

SILT FENCE DETAIL

NOT TO SCALE



CONCRETE BLOCK

STONE AND BLOCK DROP INLET PROTECTION DETAIL

USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES

FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE

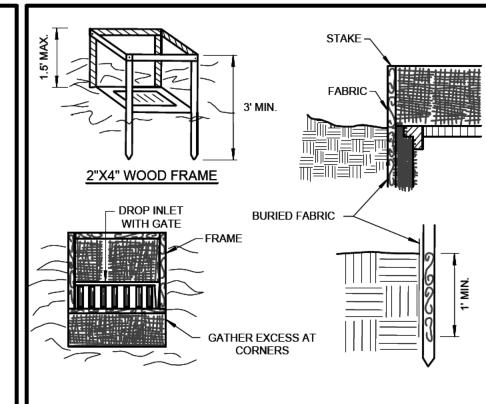
WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.

NOT TO SCALE

CTION A-A up to 4" of Adjustability Outlet Diffuser Static Water Line Rated Grease Capacities LETEND VIEW for Units Piped in Series No. of Removal Efficiency Units 199 SPM in Series 35,3% 8,098 |bs. 8,144 los. 12,192 [bs.

510 GALLON POLYETHYLENE GREASE INTERCEPTOR NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

OPENINGS TO SUPPORT STONE.

MAXIMUM DRAINAGE AREA 1 ACRE

- 1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH
- XAVINTHN XAVINI IN ILVELUNGSTEHNOGSTOHROGE 38.FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCINCULESEDEESP. ANA NORGREAR EIRIAN AN FEIE EMAM AN EIBER BURGE WSREDMESIR BEHEISID BEHEIND TIERE FABRER FABRER FABRESOFFERSUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. BTASSHKARULLIBID SIECSUHAVELYBEASEICENNEEDLYCFANSIEBNIEWKES) ATNIE ISRAMWES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE
- FABRIC FOR OVER FLOW STABILITY.

MAXIMUN DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION DETAIL

NOT TO SCALE

SMUGTOWN BREWING CO. 2199 EAST HENRIETTA ROAD

> COUNTY OF MONROE, STATE OF NEW YORK ENSO ARCHITECTS P.O. BOX 26208 CA502 ROCHESTER, NEW YORK 14626

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A.H.A. D.J.L. - -06/14/2023

COSTICH Engineering

(585) 458-3020

ARCHITECTURE 217 LAKE AVENUE ROCHESTER, NY 14608

ENGINEERING

LAND

DETAIL SHEET SURVEYING TAX PARCEL NO. 162.180-02-001.111 LANDSCAPE TOWN OF HENRIETTA,