

Jennifer Miranda

From: Ryan Destro <rdestro@bmepec.com>
Sent: Friday, April 28, 2023 2:33 PM
To: Stephen Ersteniuk; Kevin Wilson; Jennifer Miranda; Mark Cholach; Chris Martin; Stephen Schultz
Cc: Aaron Beyler; Mark Williams; Matthews, David; Prattico, Michael; Tom Danks; Andrew Spencer
Subject: RIT Research Building (Updated SUP Plans)
Attachments: RIT Research Building (Updated SUP Site, Grading & Utility Plans)_04-28-23.pdf

All,

Yesterday (4/27), we (BME Associates and RIT) met onsite with the Henrietta Director of Building and Fire Protection, the Fire Marshal, and the Fire Chief to review the proposed fire access route(s) for the new RIT Research Building. Per input received from the individuals noted above, we have made the following updates to the Special Use Permit plans for Building Height (attached for reference):

- The concrete pathway along the northern side of the proposed Research Building has been increased in width from 8' wide to 10' wide (see attached Site Plan, dwg #01 for reference).
- The proposed Fire Department Connection (FDC) is now shown on the Utility Plan (dwg #03 attached for reference) on the southern face of the building, near the eastern corner. This places the FDC adjacent to the southern Aerial Fire Apparatus Access Road.
- A new hydrant is now proposed on the Utility Plan (dwg #03 attached for reference) adjacent to the south face of the new Research Building and within 100' from the proposed FDC location.
- Also – as noted in during our site visit, RIT will be relocating the temporary modular structures from the paved access route on the east side of Brown Hall in advance of the new Research Building.

Please review the attached updated SUP plans for the new RIT Research Building and let me know if you require any additional information in advance of the Town Board meeting on May 10th for Building Height-SUP. Additional hard copies of the attached updated plans will be provided upon request.

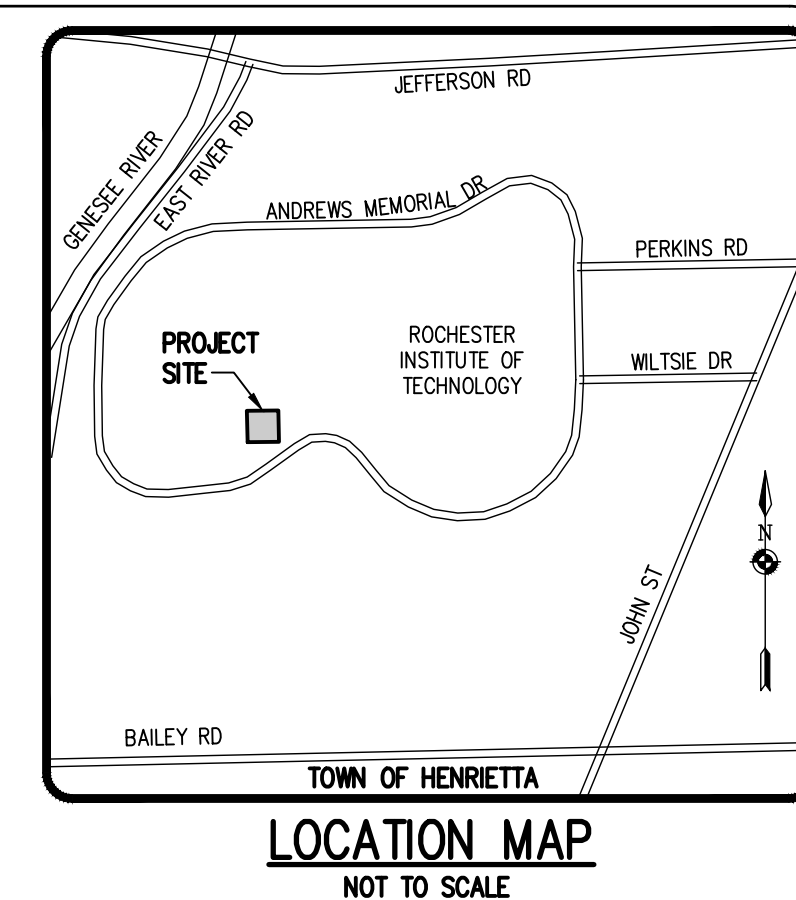
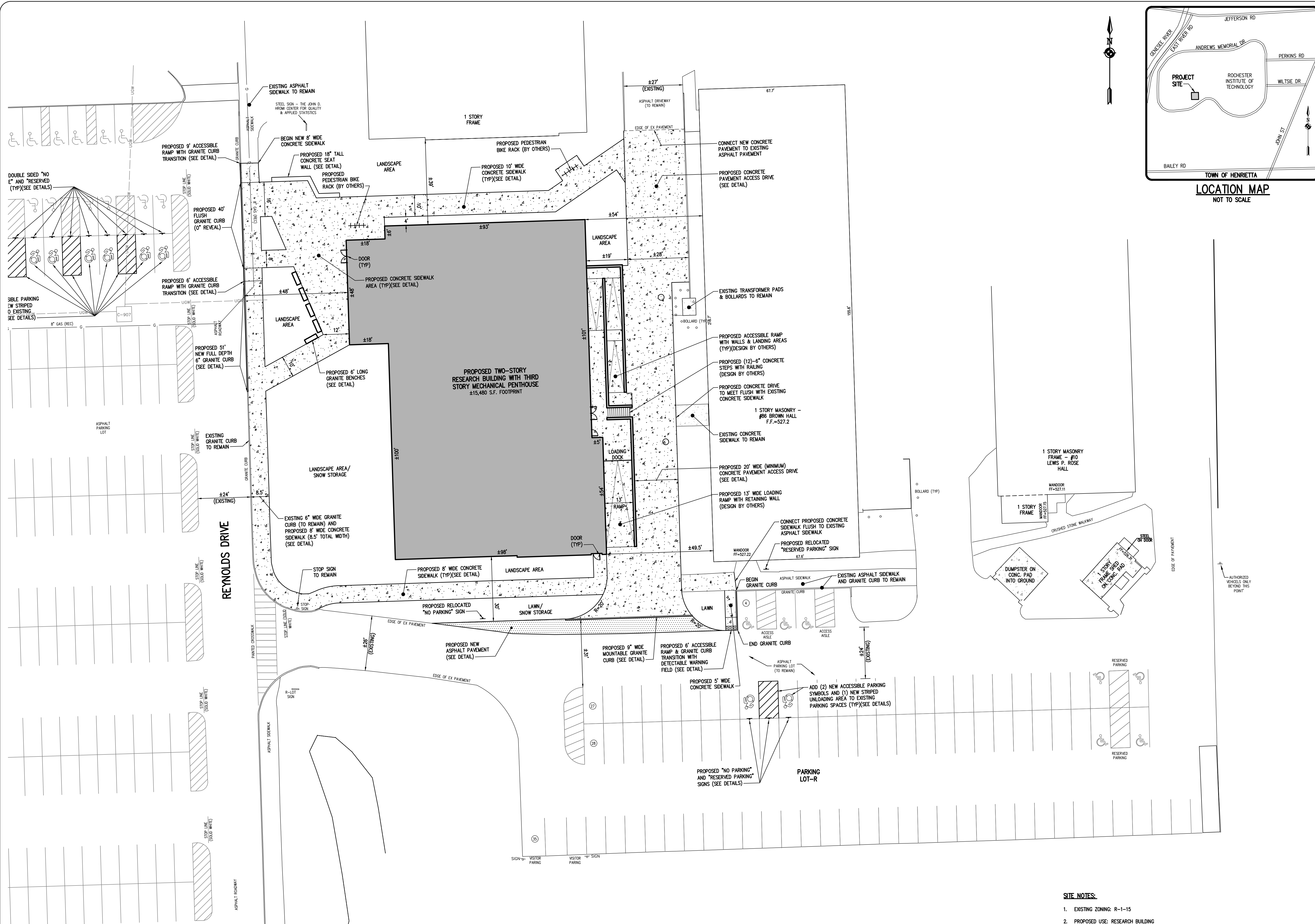
We appreciate the review and coordination efforts with the Town Staff and Fire Department for this project. Have a great weekend.

Thank you,

Ryan T. Destro, P.E.



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RIT Rochester Institute of Technology

Building Name
Research Building

Building Number
084

Project Manager
Mark Williams

Phase
Special Use Permit

Project Name
RIT Research Building

Project Number
RIT #108654

PROJECT DESIGN TEAM

ARCHITECT
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KEY PLAN:

SPECIAL USE PERMIT

Current Drawing Issue Date
April 5, 2023

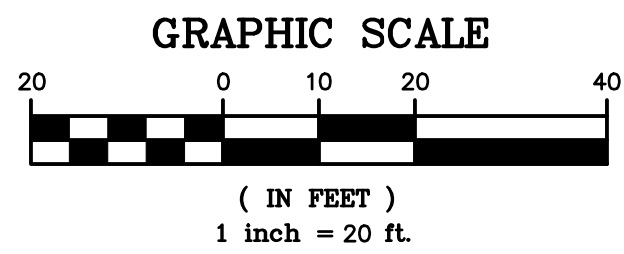
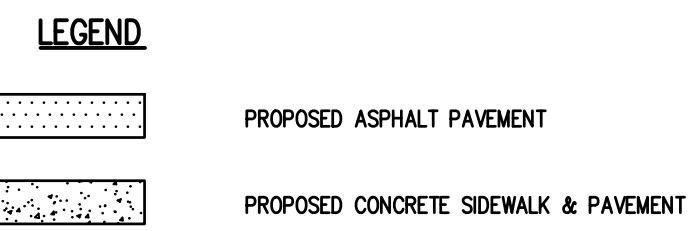
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Revisions

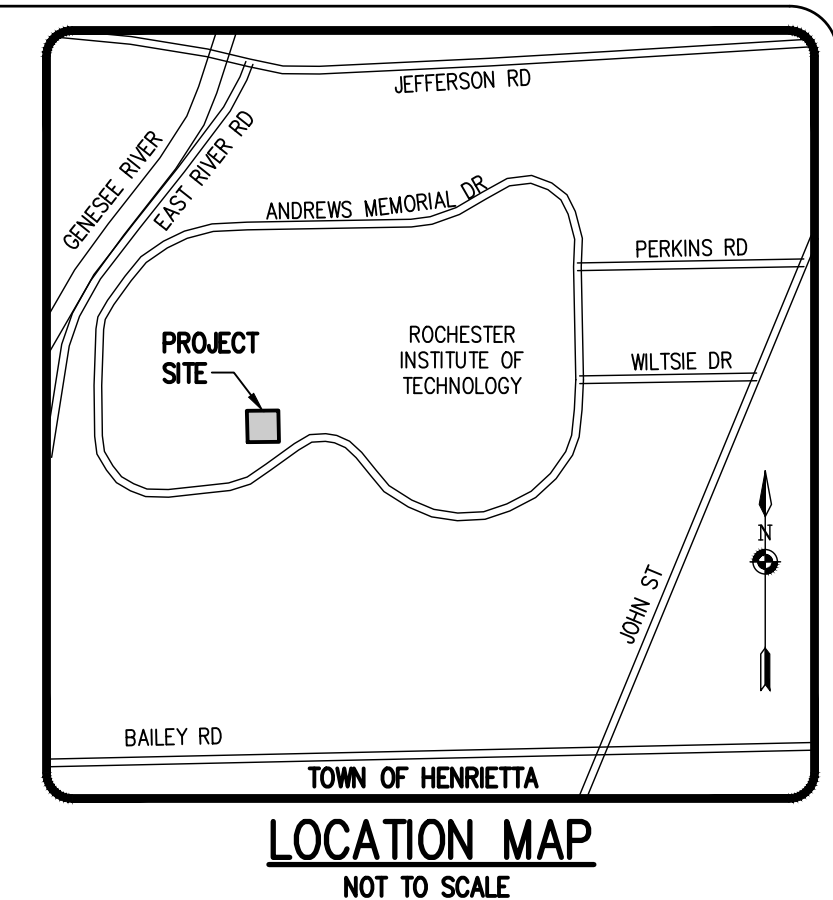
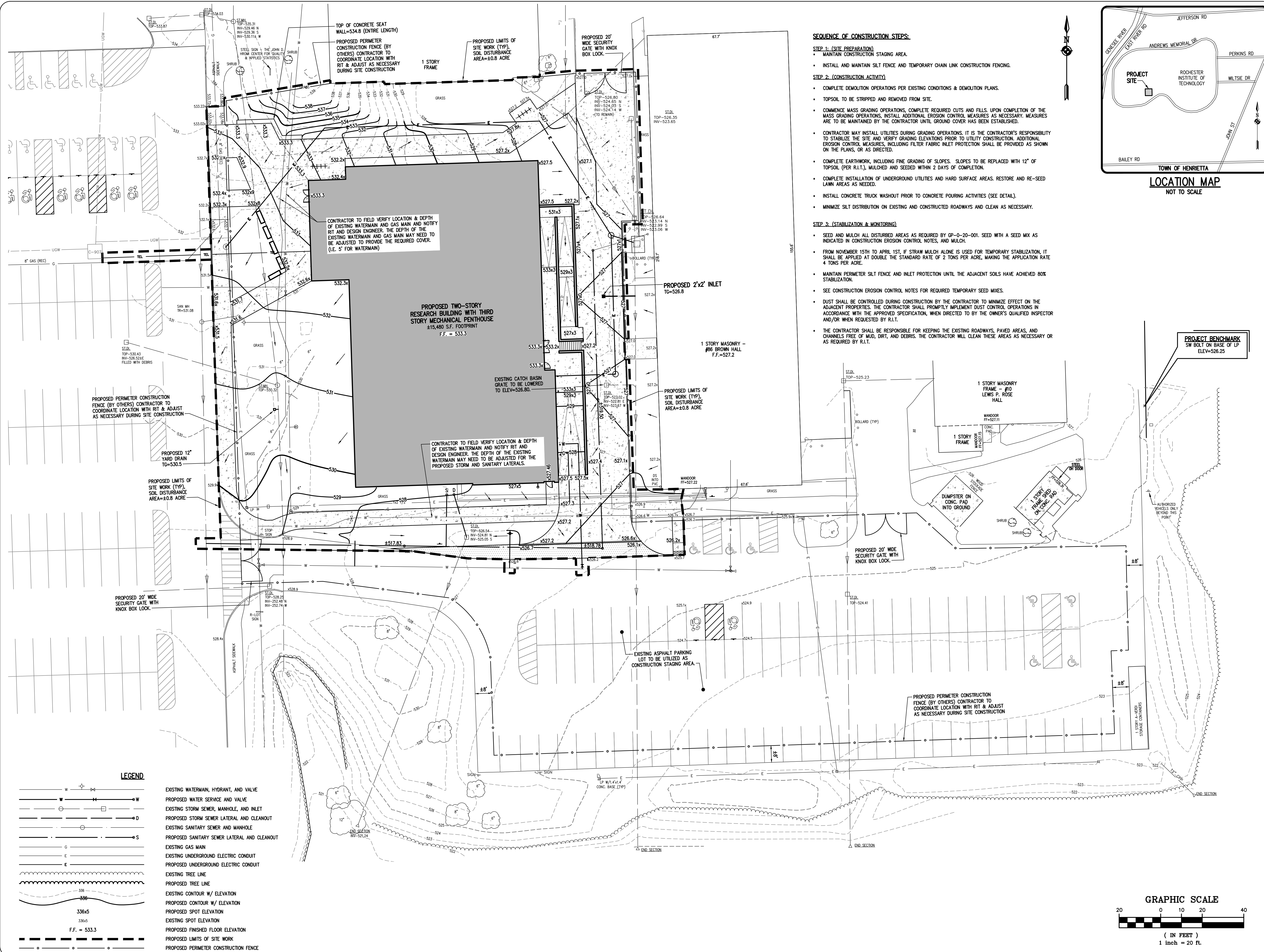
No.	Date	By	REVISION
1	4/28/23	APB	Rev. Per Fire Chief Coord.

Sheet Title
SITE PLAN

Sheet Number
01



- SITE NOTES:**
- EXISTING ZONING: R-1-15
 - PROPOSED USE: RESEARCH BUILDING
 - EXISTING CONDITIONS SURVEY MAPPING PROVIDED BY MAGDE LAND SURVEYING.
 - THERE ARE NO FEDERAL OR NYSDEC FRESHWATER WETLANDS PRESENT WITHIN THE PROJECT LIMITS.
 - THERE IS NOT A RECOGNIZED FLOOD PLAN ON THE PROJECT SITE. PER FEMA FIRM MAP COMMUNITY PANEL NUMBER 36055C0333G DATED AUGUST 28, 2008.
 - ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF RIT.



- SEQUENCE OF CONSTRUCTION STEPS:**
- STEP 1: (SITE PREPARATION)**
- MAINTAIN CONSTRUCTION STAGING AREA.
 - INSTALL AND MAINTAIN SILT FENCE AND TEMPORARY CHAIN LINK CONSTRUCTION FENCING.
- STEP 2: (CONSTRUCTION ACTIVITY)**
- COMPLETE DEMOLITION OPERATIONS PER EXISTING CONDITIONS & DEMOLITION PLANS.
 - TOPSOIL TO BE STRIPPED AND REMOVED FROM SITE.
 - COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
 - CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING FILTER FABRIC INLET PROTECTION SHALL BE PROVIDED AS SHOWN ON THE PLANS, OR AS DIRECTED.
 - COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 12" OF TOPSOIL (PER R.I.T.), MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION.
 - COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND HARD SURFACE AREAS. RESTORE AND RE-SEED LAWN AREAS AS NEEDED.
 - INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
 - MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS AND CLEAN AS NECESSARY.
- STEP 3: (STABILIZATION & MONITORING)**
- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY OP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
 - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
 - MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
 - SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED TEMPORARY SEED MIXES.
 - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROMPTLY IMPLEMENT DUST CONTROL OPERATIONS IN ACCORDANCE WITH THE APPROVED SPECIFICATION, WHEN DIRECTED TO BY THE OWNER'S QUALIFIED INSPECTOR AND/OR WHEN REQUESTED BY R.I.T.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY R.I.T.

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Research Building

Building Number
084

Project Manager
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Phase
Special Use Permit

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Project Number
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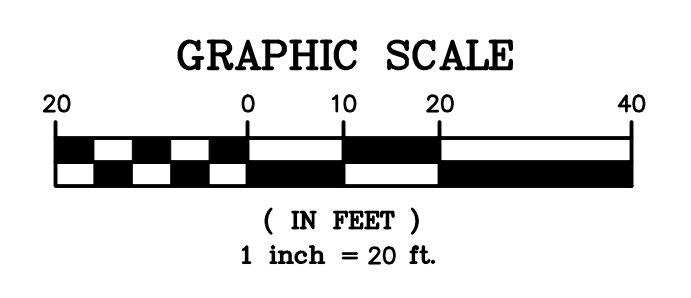
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Sheet Title
GRADING PLAN

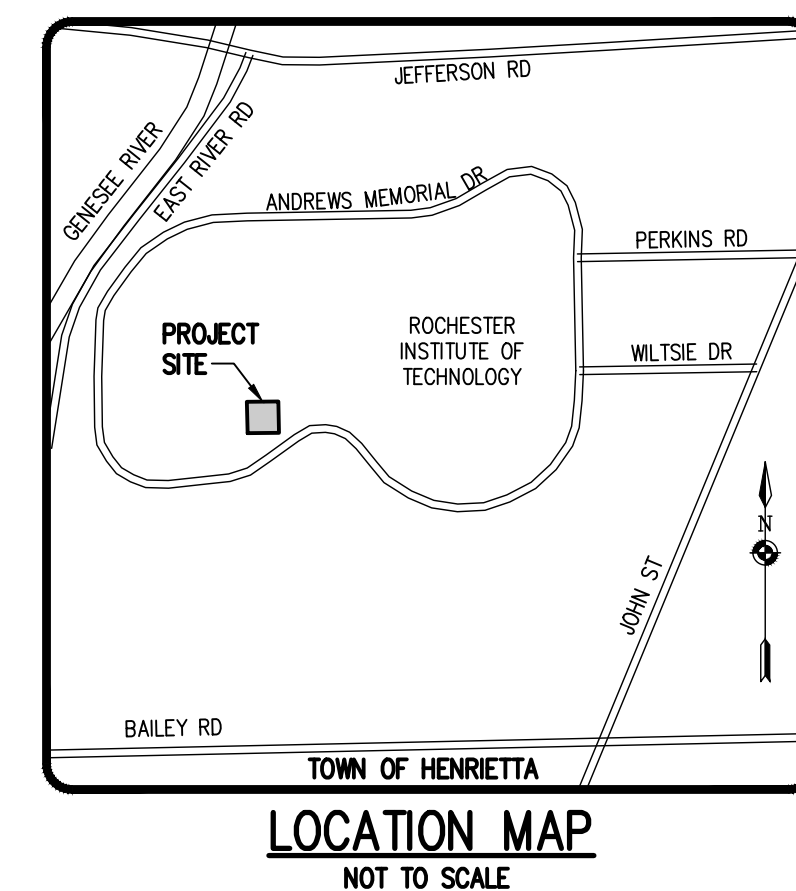
Sheet Number
02



LEGEND

	EXISTING WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATER SERVICE AND VALVE
	EXISTING STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER LATERAL AND CLEANOUT
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER LATERAL AND CLEANOUT
	EXISTING GAS MAIN
	EXISTING UNDERGROUND ELECTRIC CONDUIT
	PROPOSED UNDERGROUND ELECTRIC CONDUIT
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR W/ ELEVATION
	PROPOSED CONTOUR W/ ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED LIMITS OF SITE WORK
	PROPOSED PERIMETER CONSTRUCTION FENCE

F.F. = 533.3



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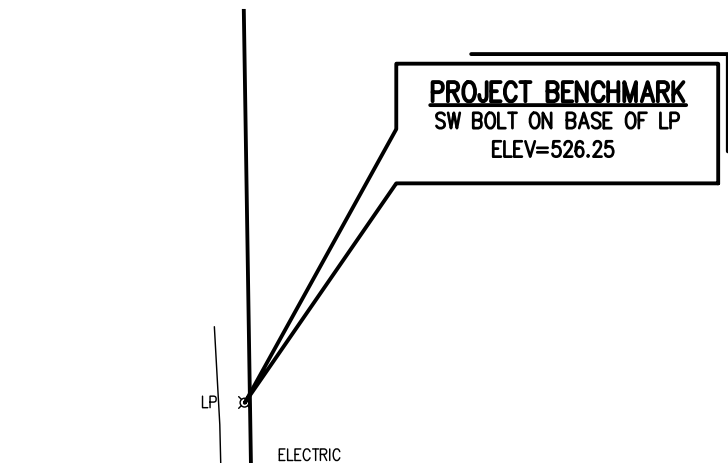
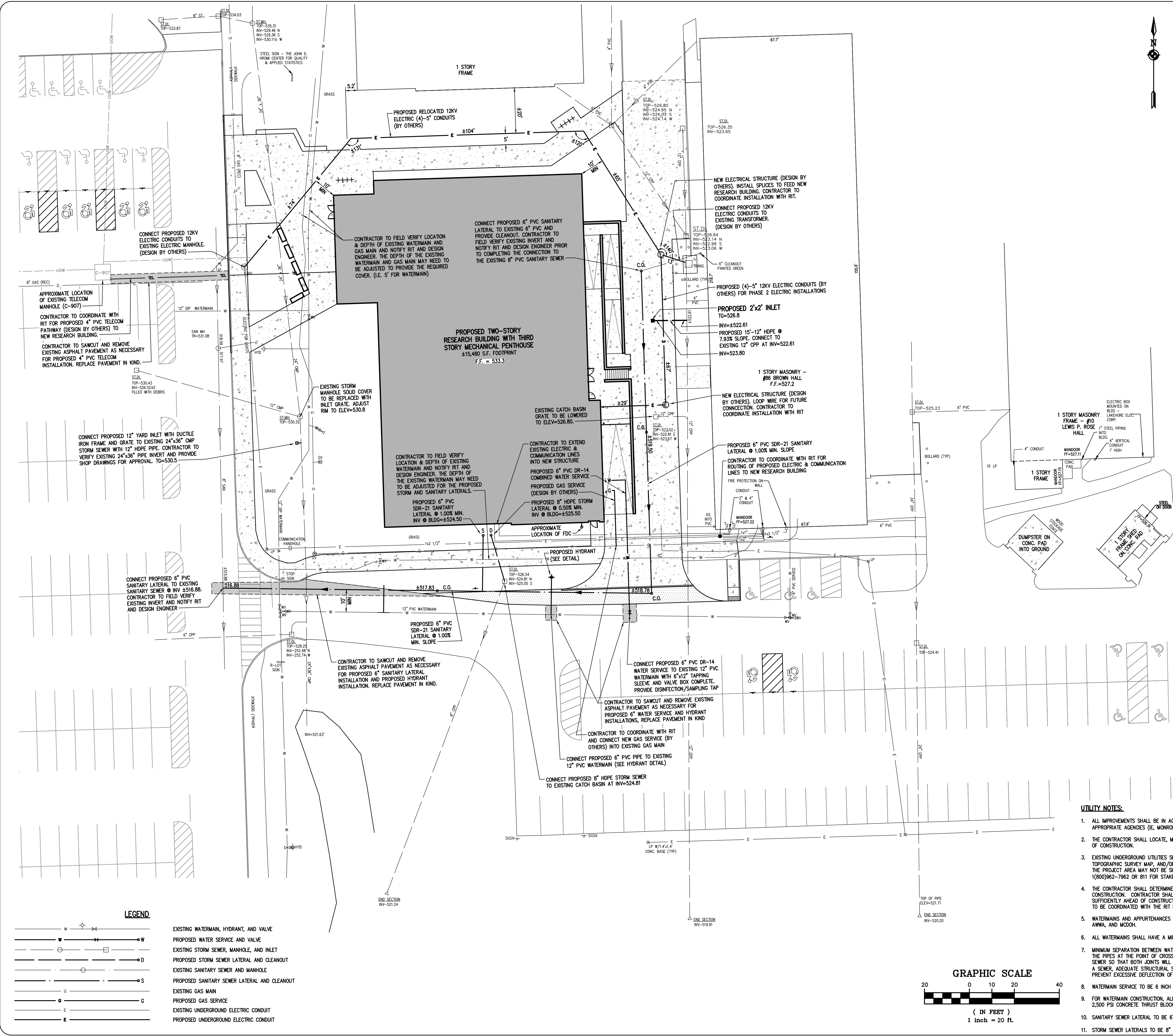
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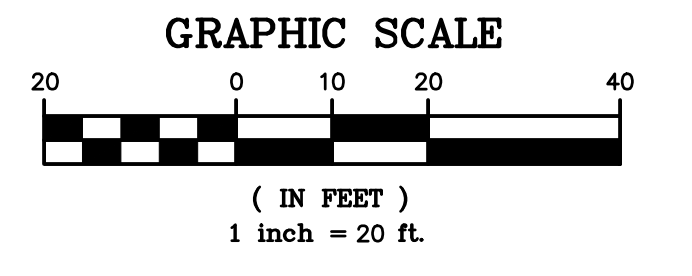
Sheet Title
UTILITY PLAN

Sheet Number
03



LEGEND

	EXISTING WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATER SERVICE AND VALVE
	EXISTING STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER LATERAL AND CLEANOUT
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER LATERAL AND CLEANOUT
	EXISTING GAS MAIN
	PROPOSED GAS SERVICE
	EXISTING UNDERGROUND ELECTRIC CONDUIT
	PROPOSED UNDERGROUND ELECTRIC CONDUIT



- UTILITY NOTES:**
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE AGENCIES (IE, MONROE COUNTY HEALTH DEPARTMENT) AND RIT, UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS IN THE AREAS OF CONSTRUCTION.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM RIT RECORD MAPS, MAGDE LAND SURVEYING TOPOGRAPHIC SURVEY MAP, AND/OR FIELD LOCATIONS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES AND/OR CONTACT THE RIT FACILITIES GROUP.
 - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS. THIS WORK IS TO BE COORDINATED WITH THE RIT FACILITIES GROUP.
 - WATERMANS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF RIT, AWWA, AND MCDOH.
 - ALL WATERMANS SHALL HAVE A MINIMUM OF 5' OF COVER FROM THE TOP OF THE MAIN TO FINISHED GRADE.
 - MINIMUM SEPARATION BETWEEN WATERMAIN AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATERMANS.
 - WATERMAIN SERVICE TO BE 6 INCH PVC DR-14 COMBINED.
 - FOR WATERMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 2,500 PSI CONCRETE THRUST BLOCKS.
 - SANITARY SEWER LATERAL TO BE 6" PVC SDR-21 INSTALLED AT 1.00% MIN. SLOPE (OR APPROVED EQUAL).
 - STORM SEWER LATERALS TO BE 8" HDPE INSTALLED AT 0.50% MIN. SLOPE (OR APPROVED EQUAL).