

September 21, 2023

Town of Henrietta  
Attn: Mr. Chris Martin, P.E. & Planning Board  
475 Calkins Road  
Henrietta, NY 14467

**Re: Rivers Edge Townhomes Subdivision – Planning Board**

Dear Chris and Planning Board Members:

This letter is in response to feedback received from the Planning Board as well as a meeting with Town Staff on 8/30/23. The Civil Drawings have been revised to include, but not limited to the following:

- 50' Dedicated Town ROW throughout the project area.
- Roadways to be built to Town Standards .
- Concrete sidewalks and gutters provided throughout proposed residential area.
- Addition of site lighting in off street parking areas and intersections.

The following is submitted with this letter:

- (10) Letters of Intent
- (10) Revised Overall Subdivision Plan
- (10) Revised Civil Plans

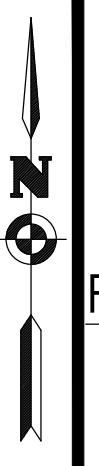
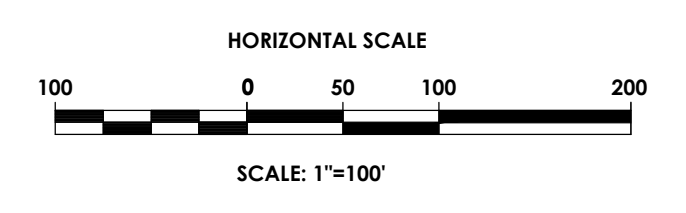
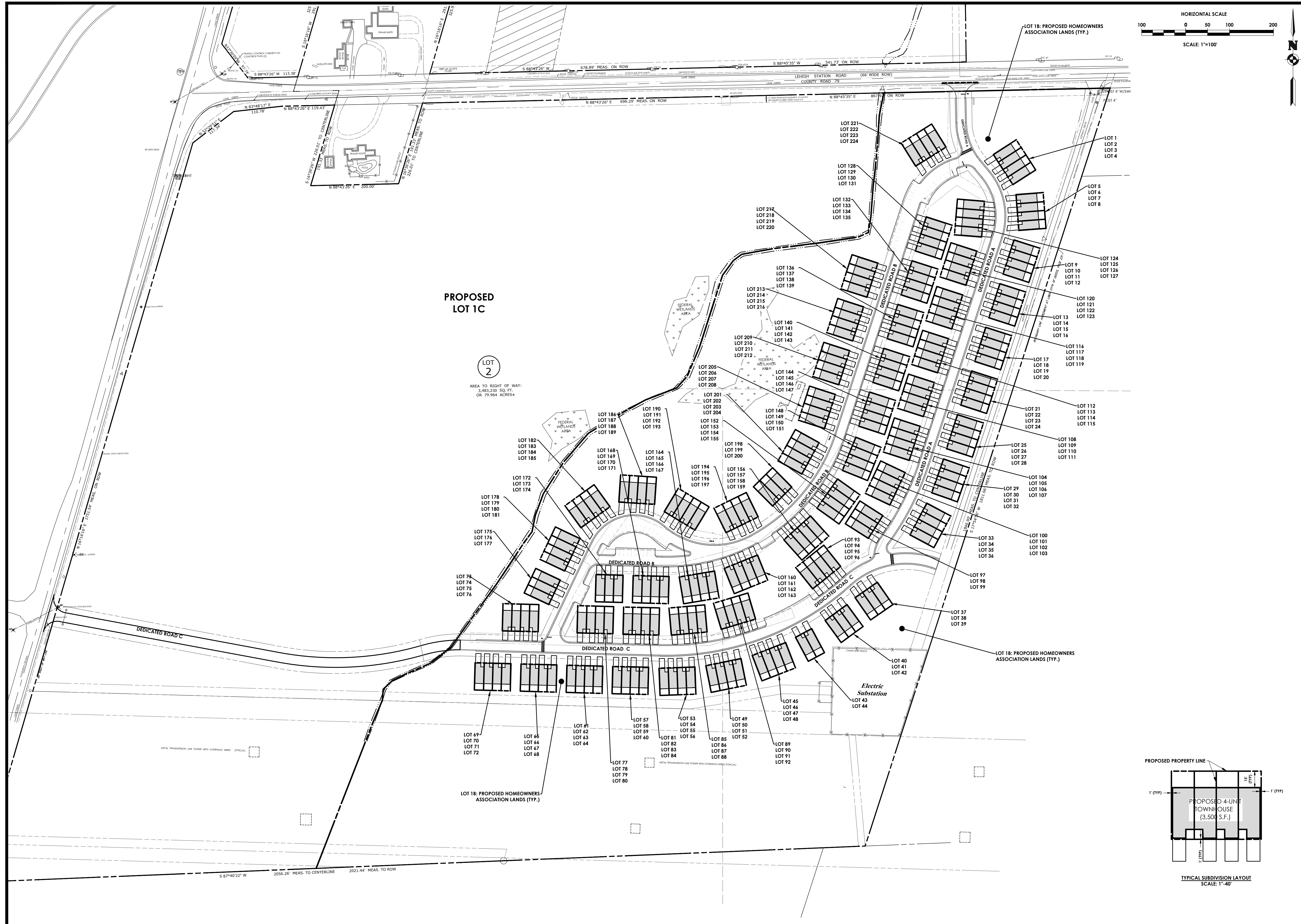
With these revised materials, we request to be placed on the October 17, 2023 Planning Board Agenda for Preliminary Overall Subdivision Approval.

If you have any questions or require additional information regarding this matter, please do not hesitate to contact me at any time at (585) 325-1000. Thank you for your consideration.

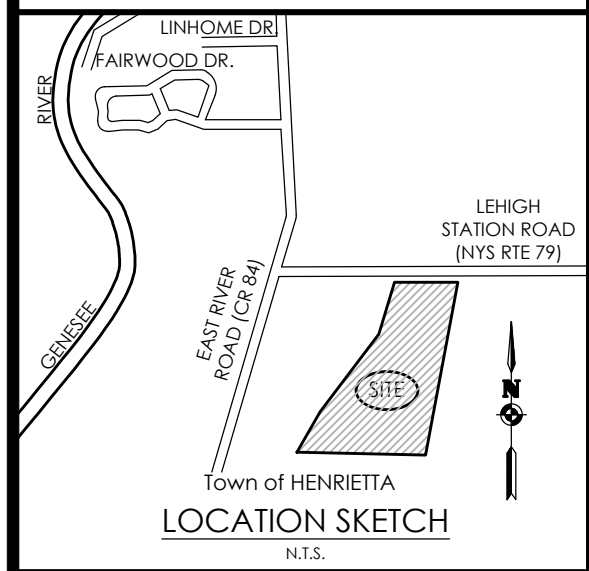
Sincerely,



Andrew Burns  
Senior Project Engineer



**PA**  
PASSERO ASSOCIATES  
engineering architecture



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleits



Revisions			
No.	Date	By	Description

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**OVERALL SUBDIVISION PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

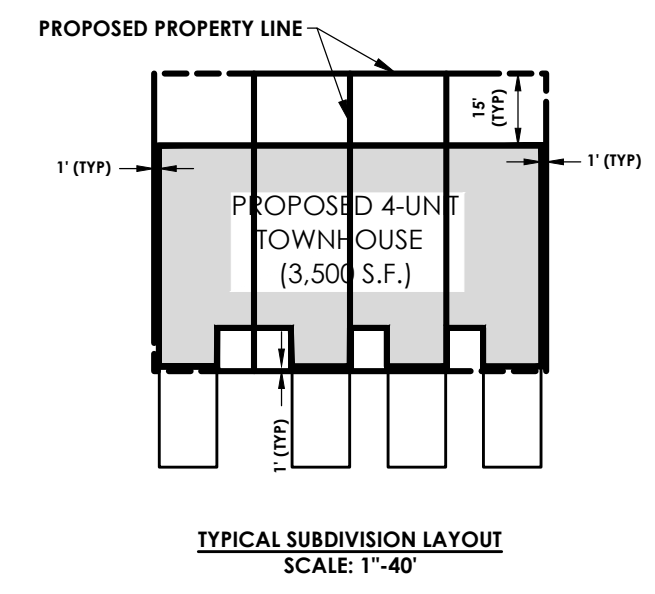
Project No.  
**20192793.0007**

Drawing No. **SUB-1** Sheet No. **1**

Scale: **1" = 100'**

Date: **SEPTEMBER 2023**

NOT FOR CONSTRUCTION

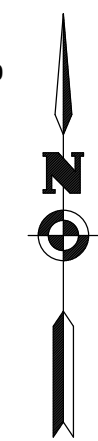
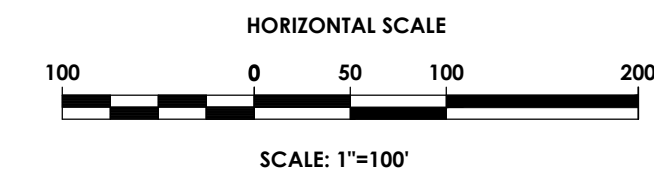


# SCHEMATIC SITE DEVELOPMENT PLANS FOR

## RIVERS EDGE

### TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

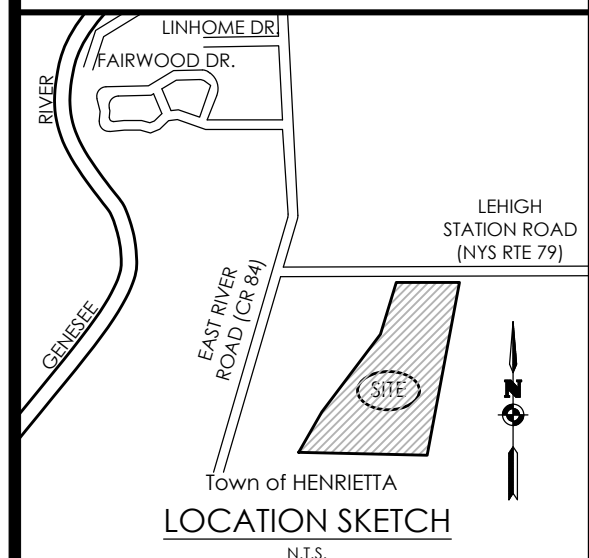
#### P.N. 20192793.0007



**PA**  
PASSERO ASSOCIATES  
engineering architecture



REMAINING  
INDUSTRIAL  
ZONED LAND



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#### DRAWING INDEX

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- C 110-112 UTILITY PLAN
- C 113-115 LATERAL PLANS
- C 116-119 UTILITY PROFILES
- C 120-122 GRADING & EROSION CONTROL PLAN
- C 123-126 ROAD PROFILES
- C 127-129 LANDSCAPE & LIGHTING PLAN
- C 201 NOTES
- C 202-209 DETAILS

COVER

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. <b>C 101</b>	Sheet No. <b>1</b>
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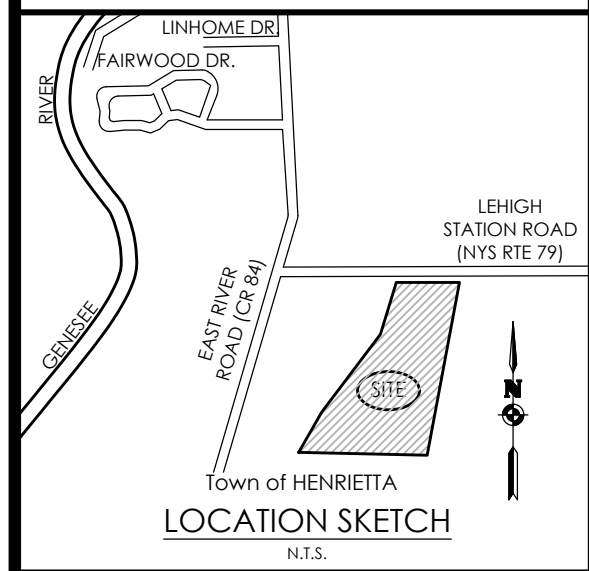
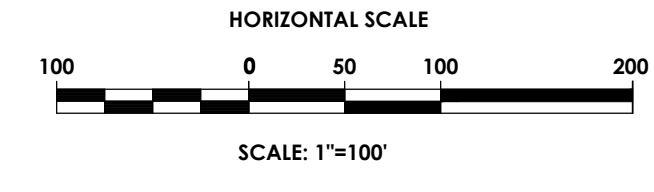
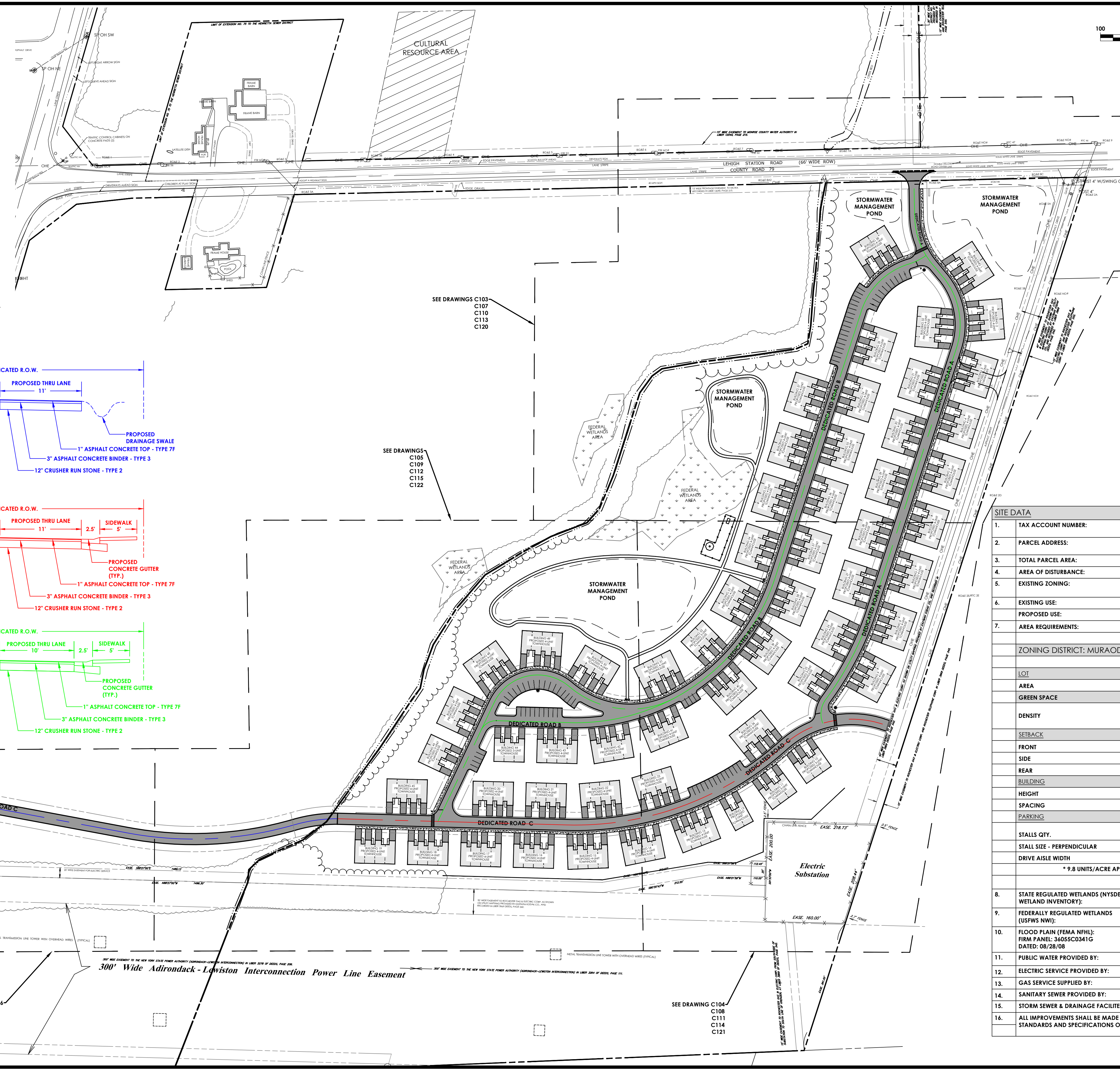
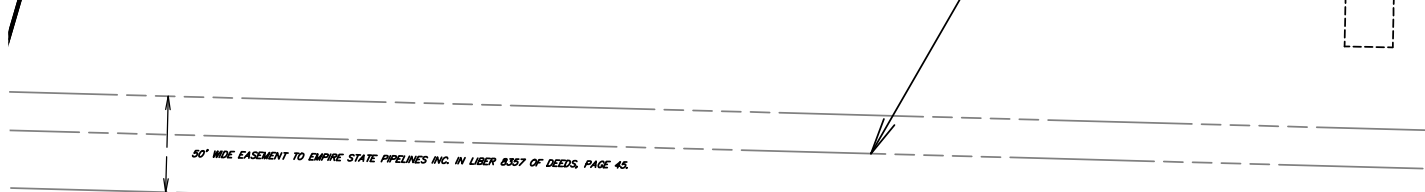
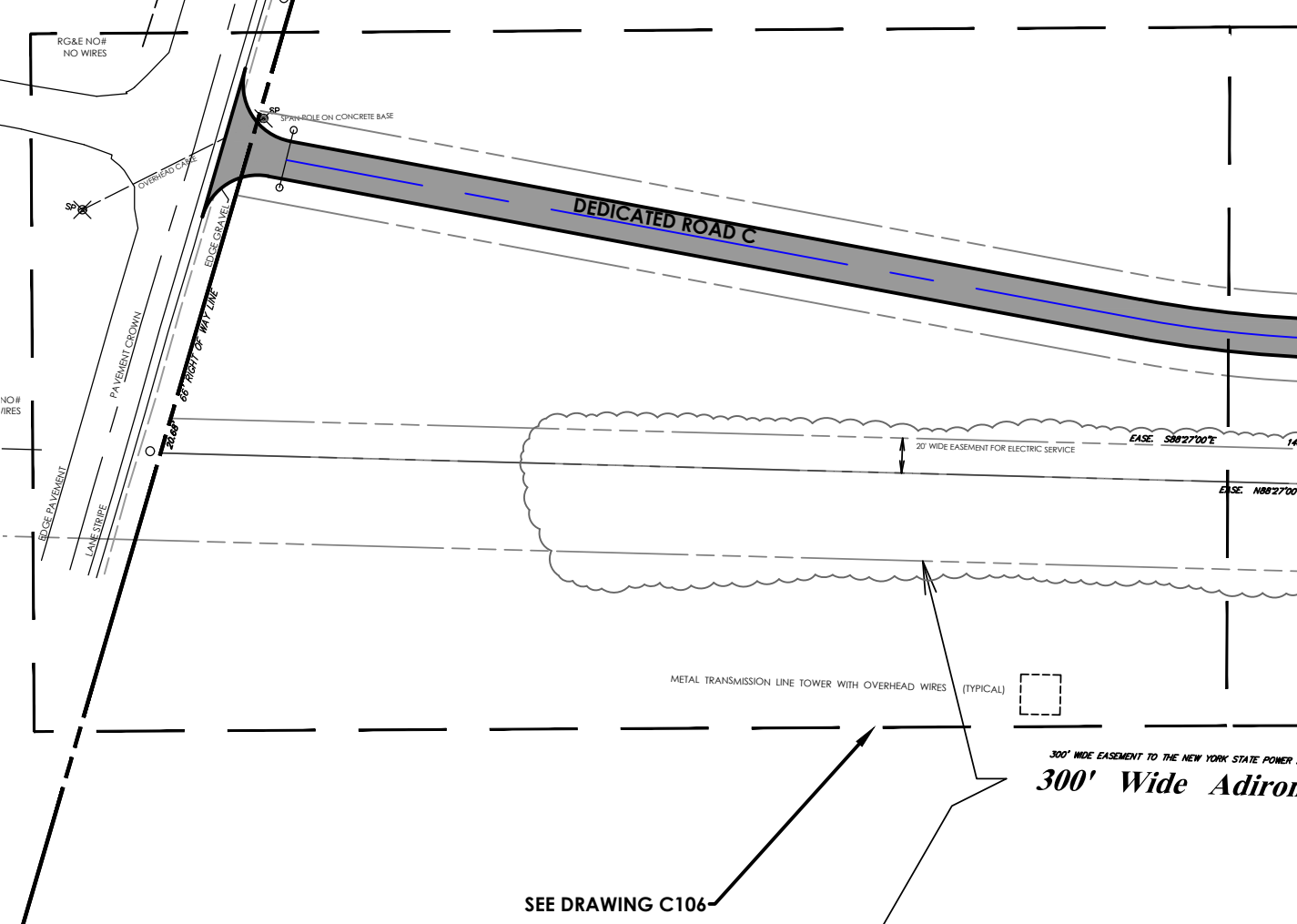
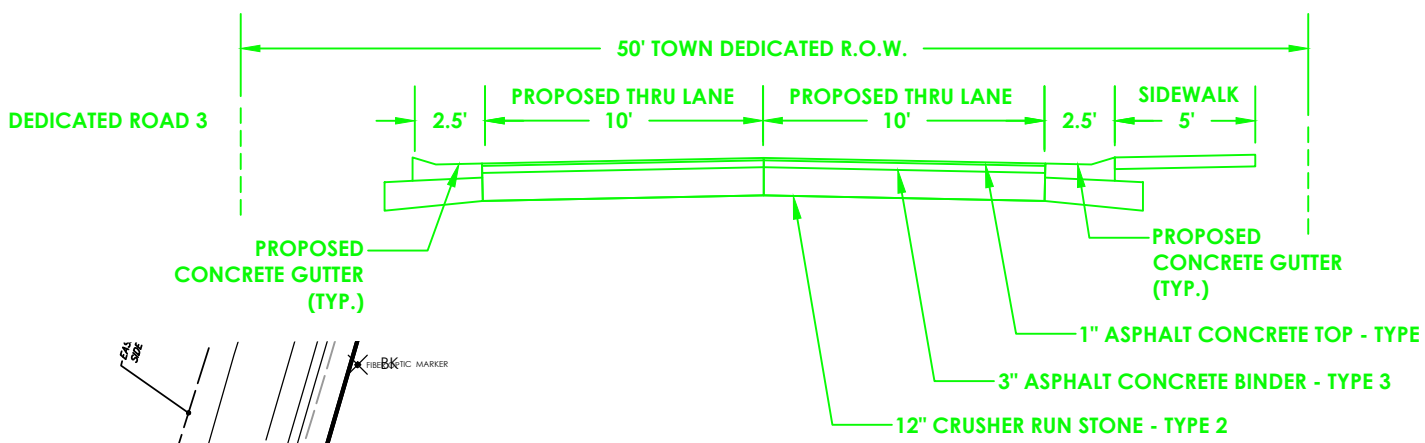
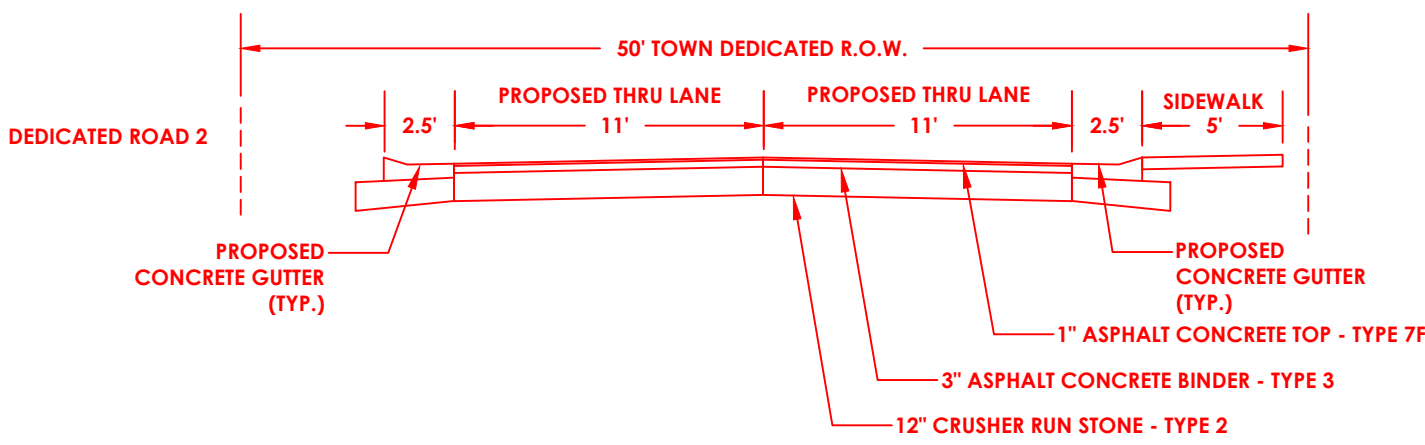
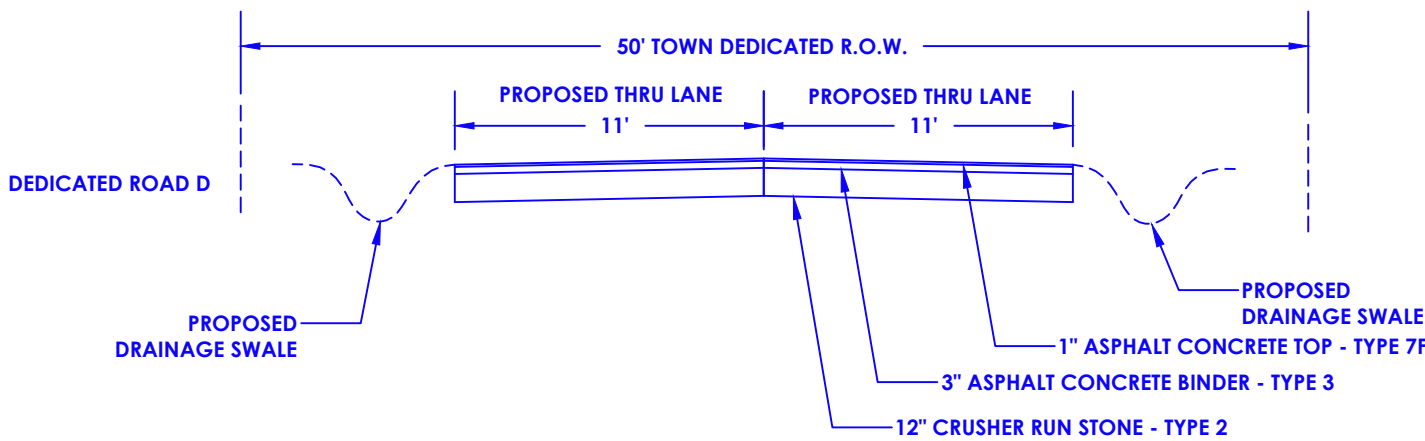
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Date  
**SEPTEMBER 2023**

NOT FOR CONSTRUCTION

**LEGEND - SITE:**

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED PARKING COUNT
- PROPOSED ACCESS RAMP
- PROPOSED LAND BANKED PARKING
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED STONE DUST TRAIL
- PROPOSED ASPHALT TRAIL
- EXISTING CREEK BED



Client:  
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 64 COMMERCIAL STREET  
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 ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
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 (585) 325-1000  
 (585) 325-1691  
 Principal-in-Charge: Jess D. Sudol, PE  
 Project Manager: Andrew Burns, EIT  
 Designed by: Shari Kleis



Revisions

No.	Date	By	Description

SITE DATA		
1. TAX ACCOUNT NUMBER:	174.04-1-21.1, 174.04-1-21.2	
2. PARCEL ADDRESS:	85, 135 LEHIGH STATION RD	
3. TOTAL PARCEL AREA:	79.964 ACRES	
4. AREA OF DISTURBANCE:	21.0 ACRES	
5. EXISTING ZONING:	INDUSTRIAL, MURAOD (MIXED USE REDEVELOPMENT AREA OVERLAY DISTRICT)	
6. EXISTING USE:	UNDEVELOPED, UTILITIES	
7. PROPOSED USE:	MIXED - TOWNHOUSES, INDUSTRIAL, CIVIC	
7. AREA REQUIREMENTS:		
ZONING DISTRICT: MURAOD		
LOT		
AREA	1 ACRE	35.9 ACRE
GREEN SPACE	35%	76%
DENSITY	8 UNITS/ACRE TOWN CODE 295 - 34.4 D (1)	9.2 UNITS/ACRE *
SETBACK		
FRONT	80'	87'
SIDE	5'	48'
REAR	60'	402'
BUILDING		
HEIGHT	3 STORY / 40' MAX	< 40'
SPACING	N/A	25' MIN
PARKING		
STALLS QTY.	N/A	448 DRIVEWAY 79' OFFSTREET
STALL SIZE - PERPENDICULAR	9'X18'	9'X18'
DRIVE AISLE WIDTH	24'	20'
* 9.8 UNITS/ACRE APPROVED TB RESOLUTION #12-194/2023		
8. STATE REGULATED WETLANDS (NYSDEC WETLAND INVENTORY):	NO	YES
9. FEDERALLY REGULATED WETLANDS (USFWS NWI):	X	X
10. FLOOD PLAIN (FEMA NFH): FIRM PANEL: 34055C0341G DATED: 08/28/08	X	
11. PUBLIC WATER PROVIDED BY:	MCWA	
12. ELECTRIC SERVICE PROVIDED BY:	RG&E	
13. GAS SERVICE SUPPLIED BY:	RG&E	
14. SANITARY SEWER PROVIDED BY:	TOWN OF HENRIETTA	
15. STORM SEWER & DRAINAGE FACILITIES WILL BE PUBLIC AND MAINTAINED BY THE TOWN		
16. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY		

**OVERALL SITE PLAN**

**RIVERS EDGE**  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP: 14, RANGE: 4, TIER: 1 & 2, GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

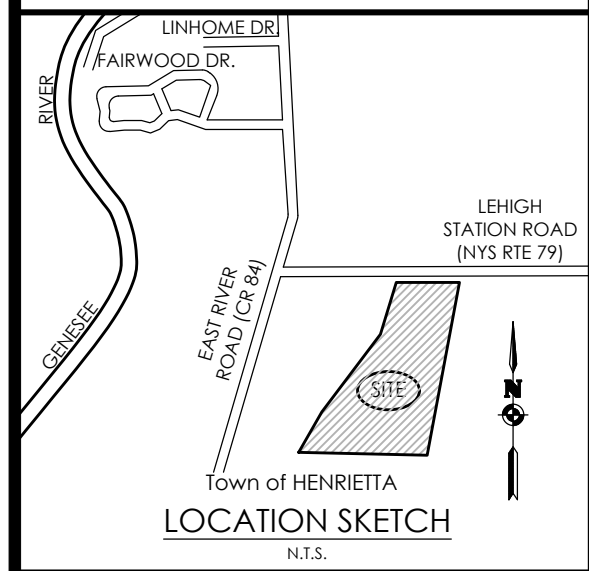
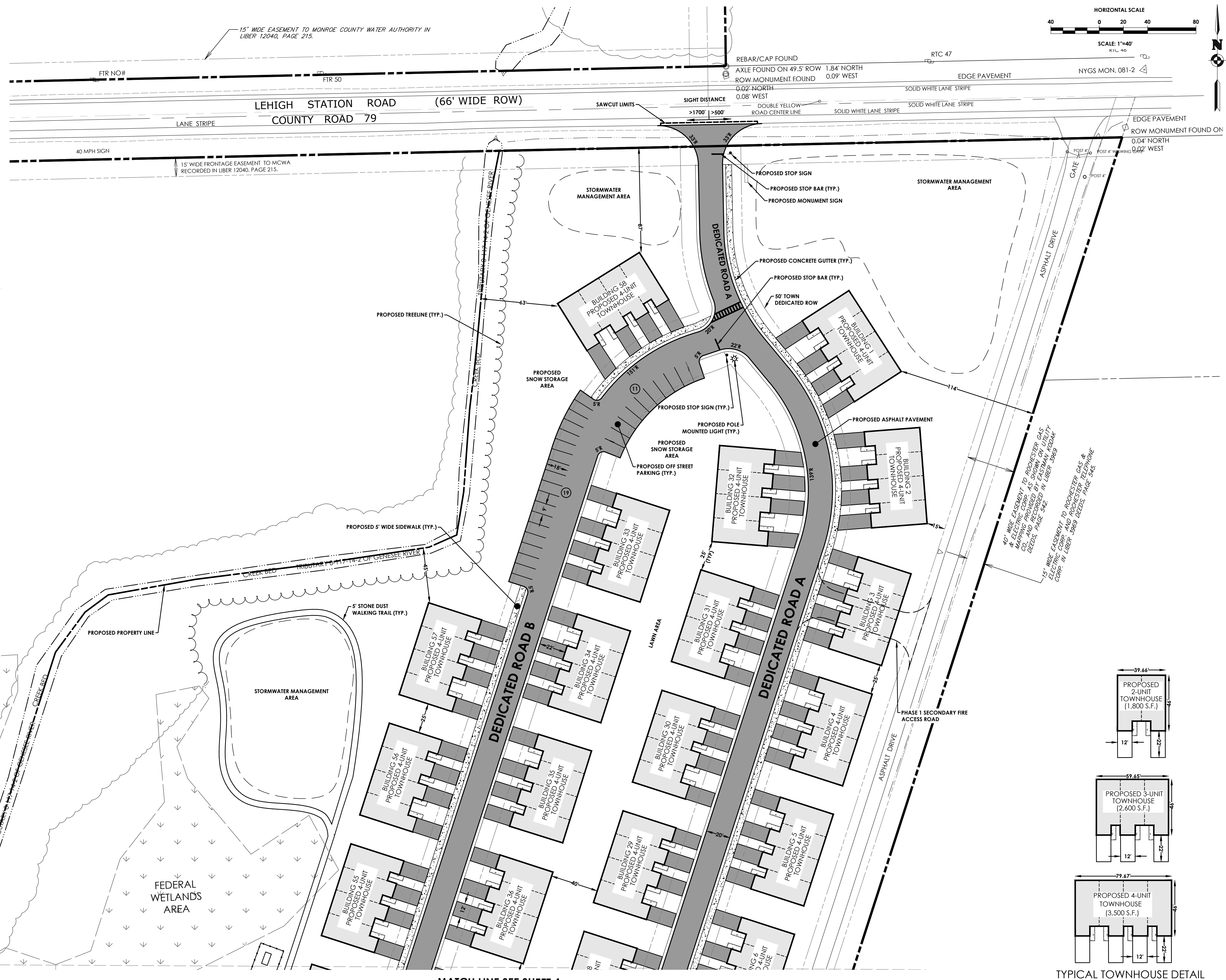
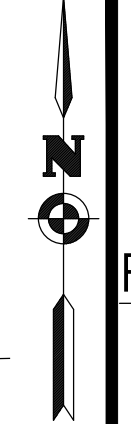
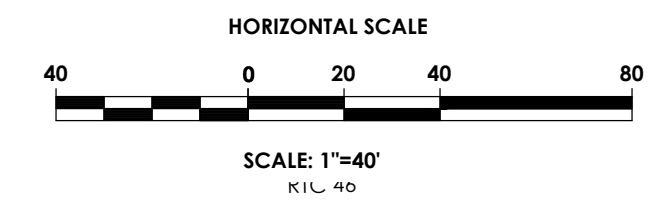
Project No:  
**20192793.0007**

Drawing No. **C 102** Sheet No. **2**  
 Scale: **1" = 100'**  
 Date: **SEPTEMBER 2023**

LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
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- PROPOSED LAND BANKED PARKING
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED STONE DUST TRAIL
- PROPOSED ASPHALT TRAIL
- EXISTING CREEK BED

NOTE: SIGN PERMIT FROM THE BUILDING DEPARTMENT WILL BE REQUIRED FOR THE MONUMENT SIGN.



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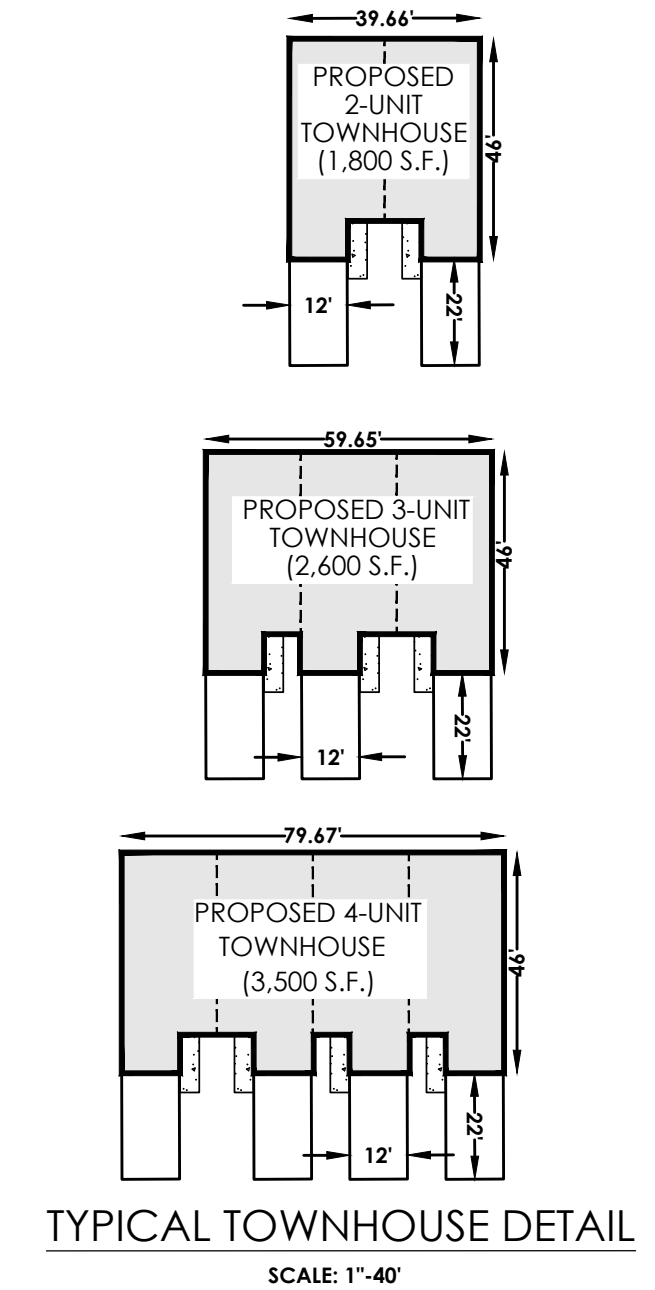
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**SITE PLAN**  
 RIVERS EDGE  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

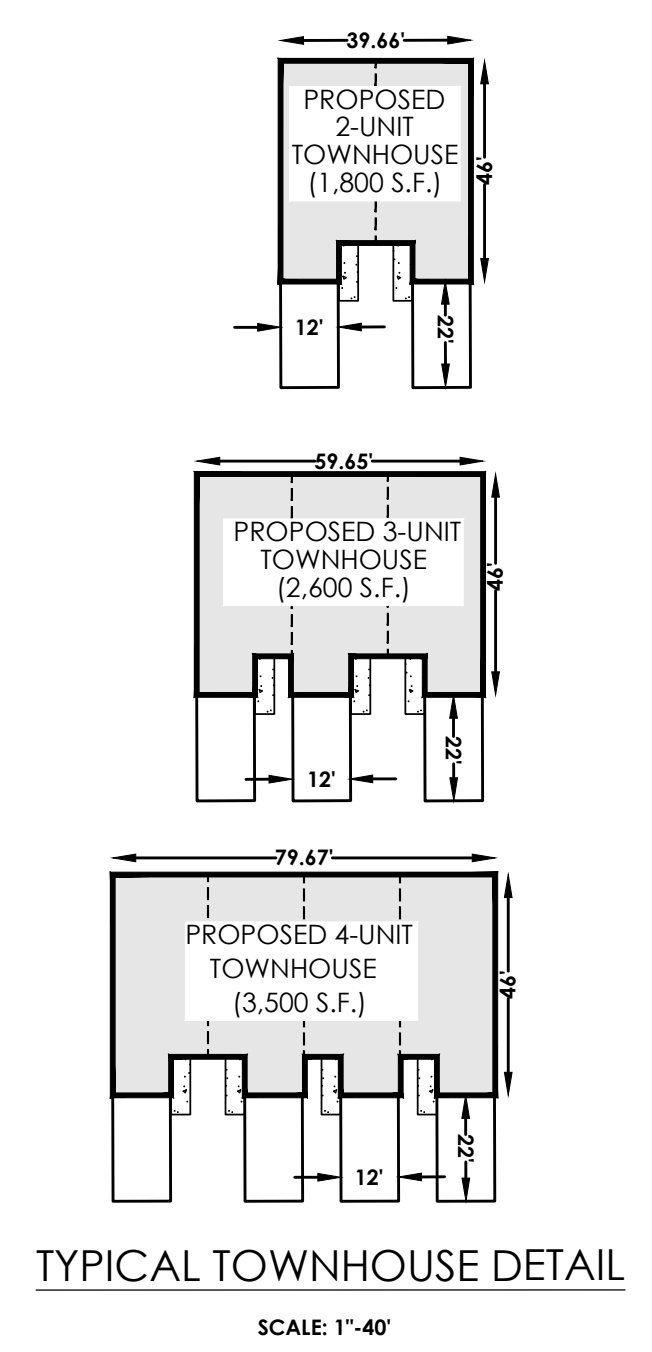
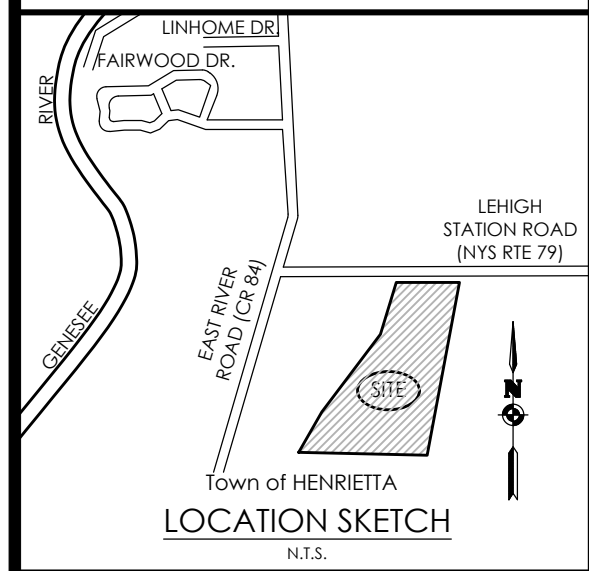
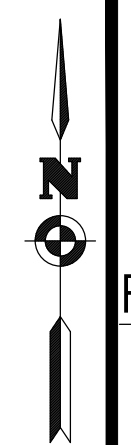
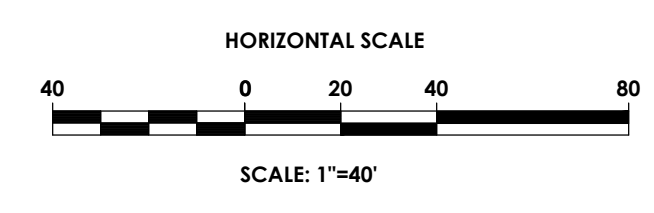
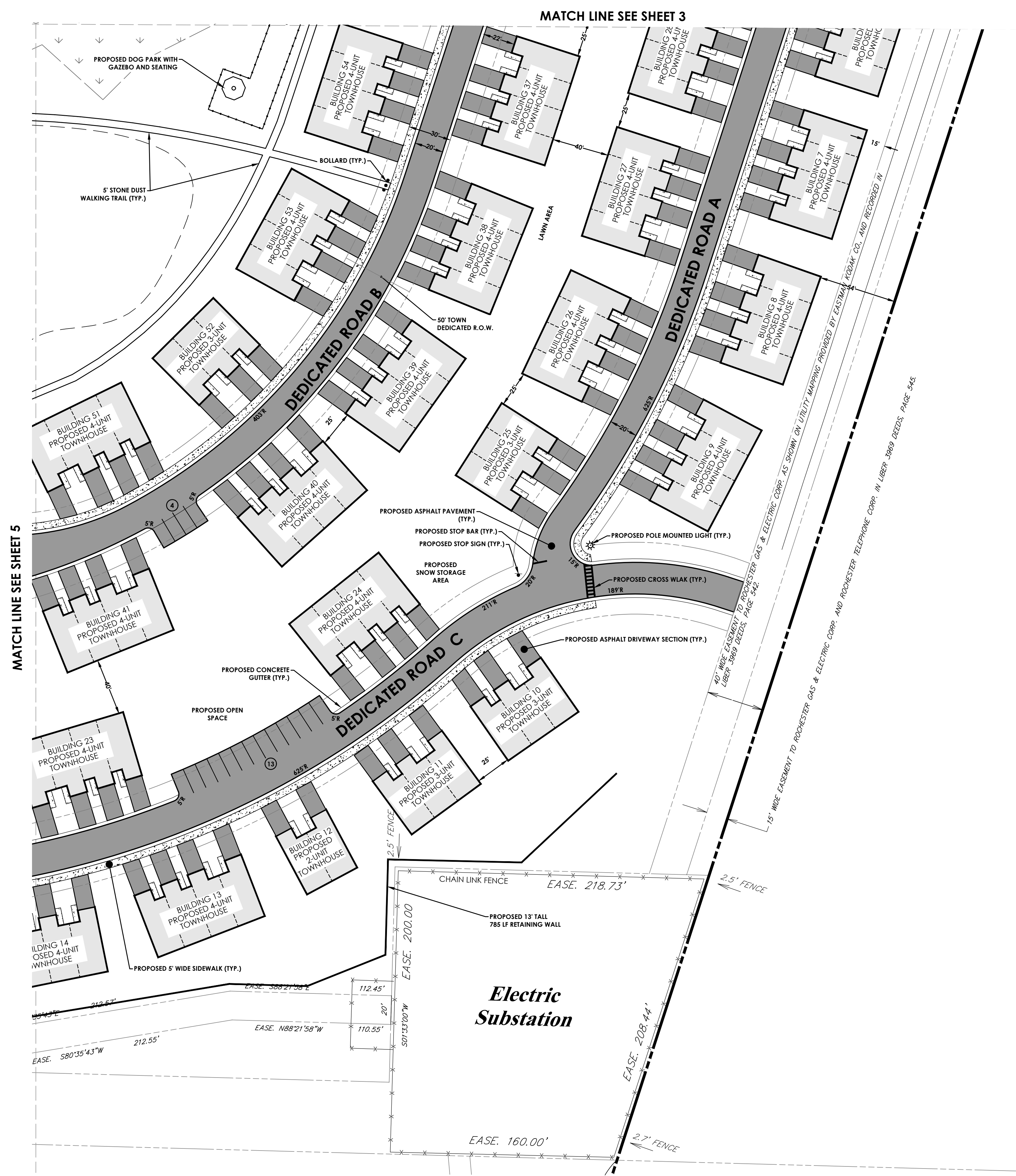
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**20192793.0007**  
 Drawing No. C 103 Sheet No. 3  
 Scale: 1" = 40'

Date  
 SEPTEMBER 2023

NOT FOR CONSTRUCTION



MATCH LINE SEE SHEET 4



**LEGEND - SITE:**

- PROPERTY BOUNDARY
- RIGHT OF WAY
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Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions

No.	Date	By	Description

**SITE PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

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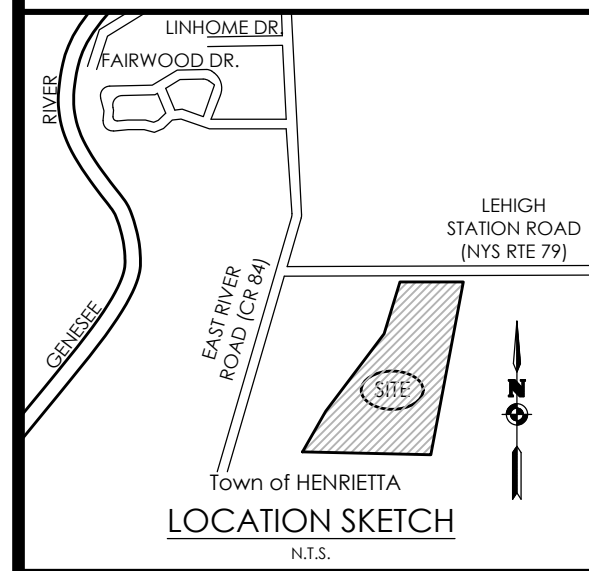
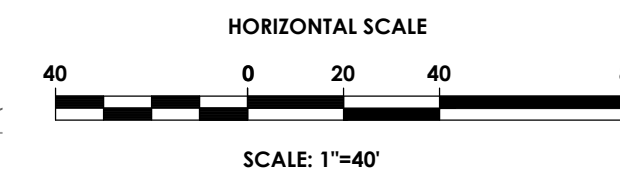
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Date  
**SEPTEMBER 2023**

LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
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MATCH LINE SEE SHEET 3



Client:  
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**SITE PLAN**

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Town/City: HENRIETTA  
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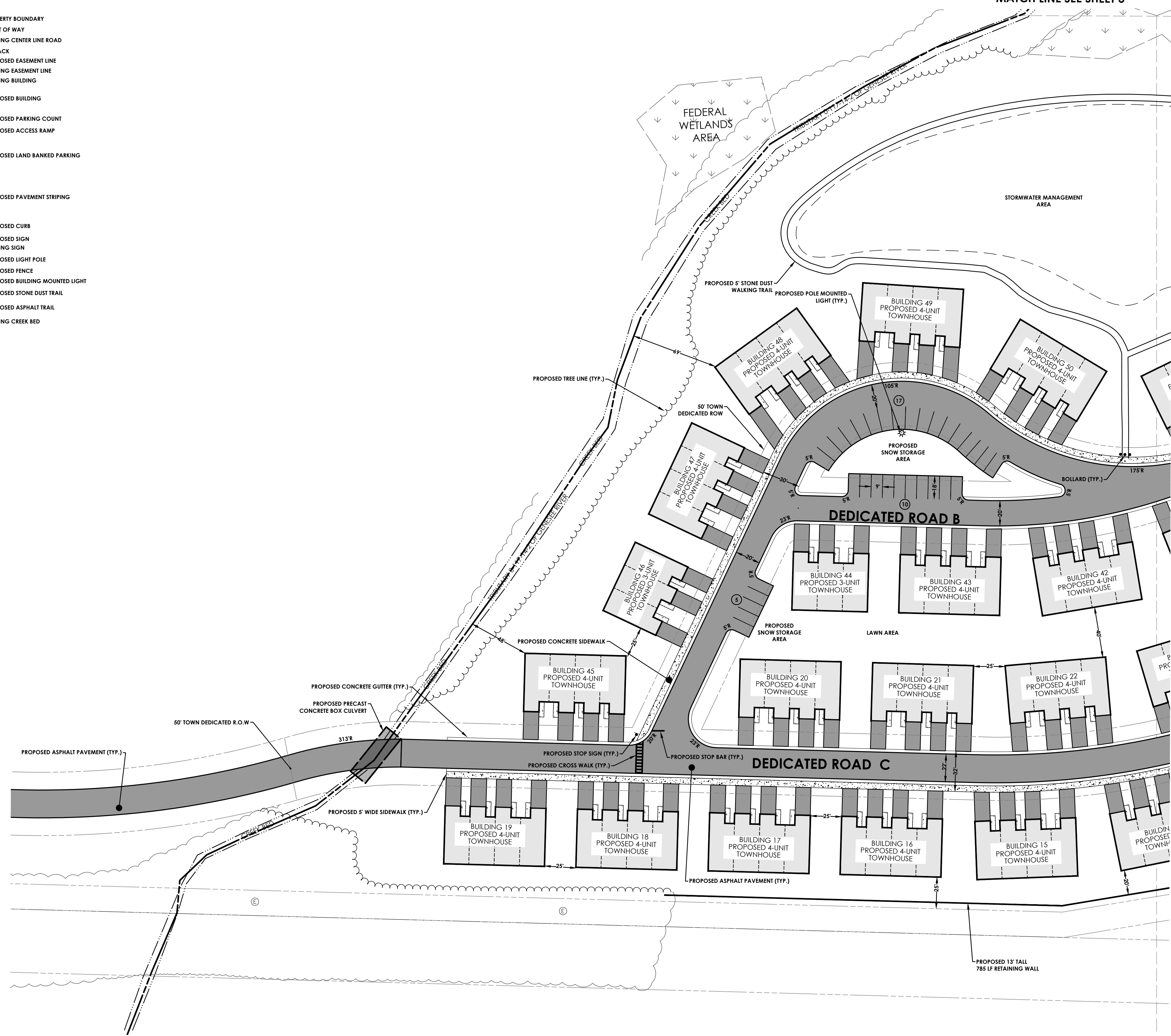
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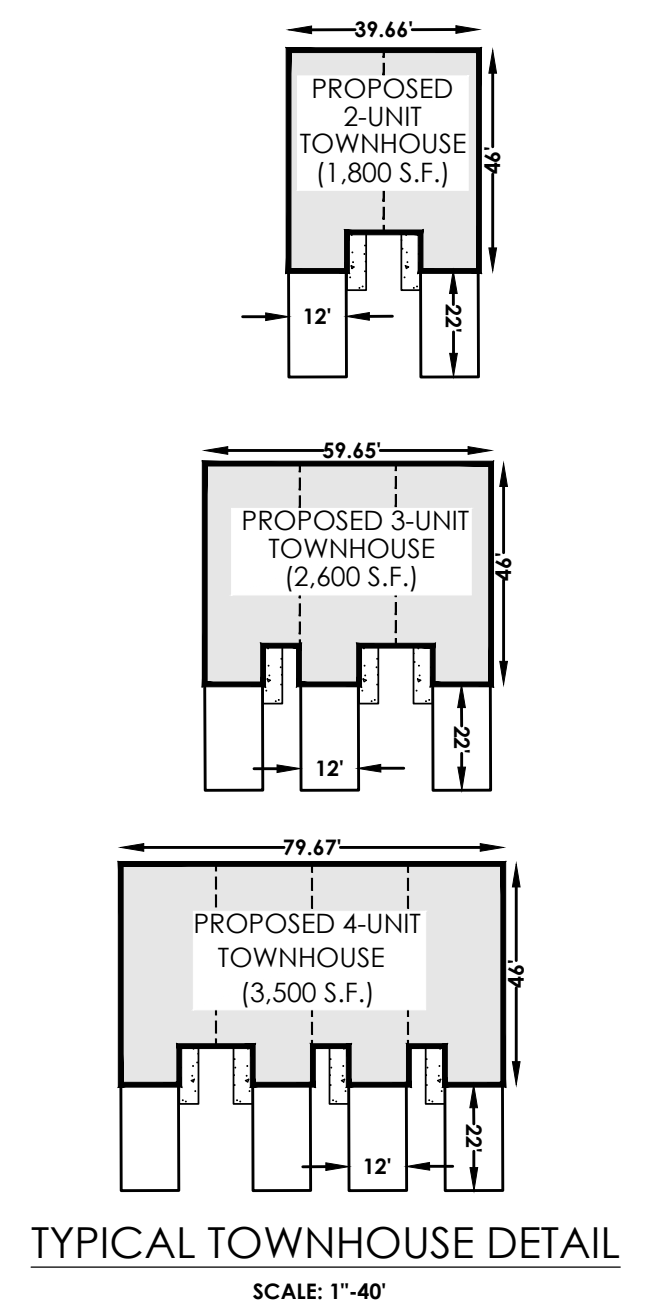
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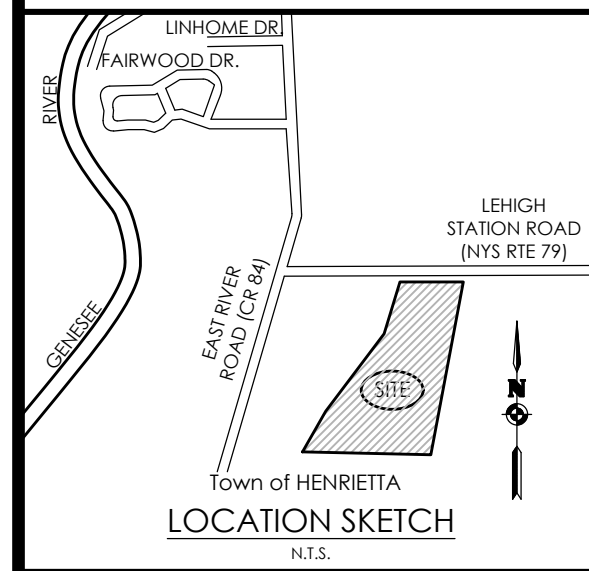
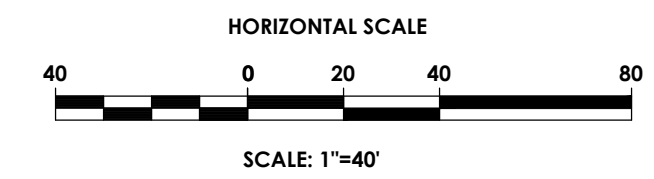


MATCH LINE SEE SHEET 4



LEGEND - SITE:

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**SOUTHWEST ACCESS CIVIL PLANS**

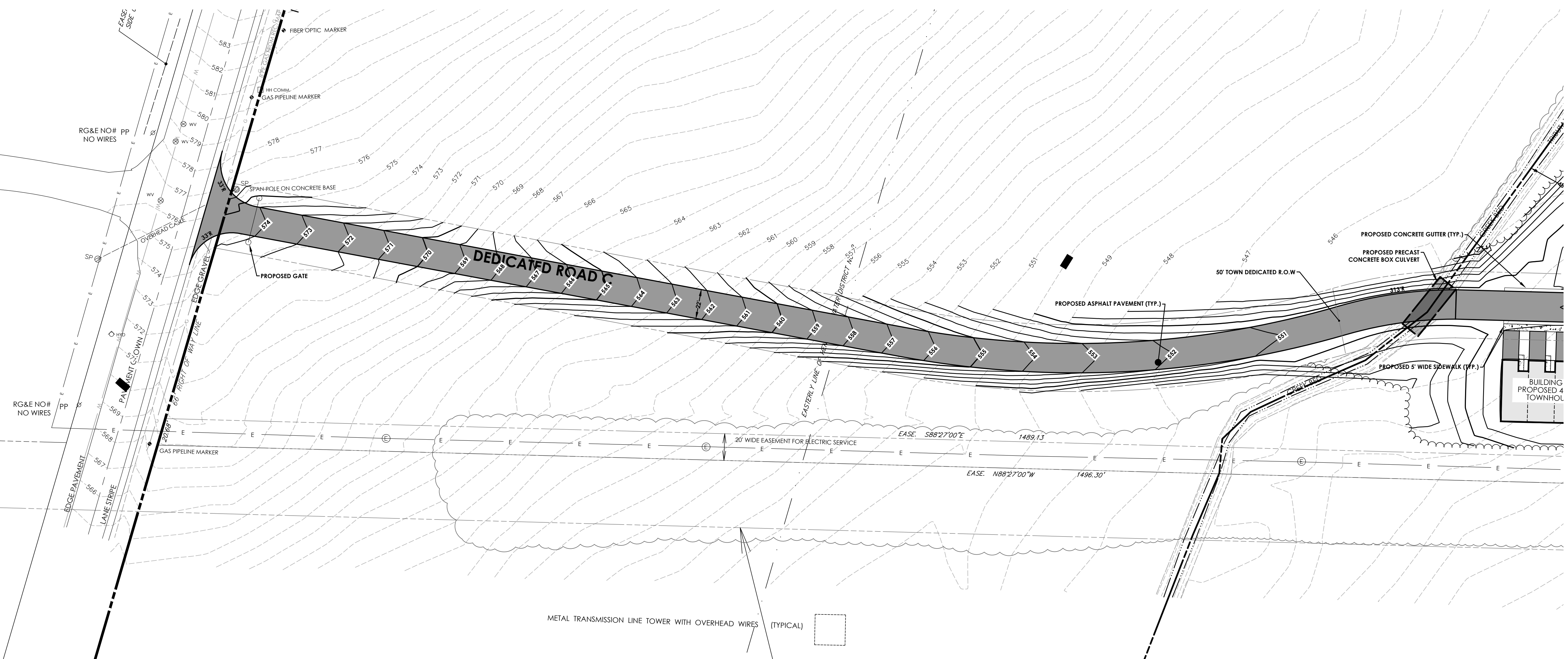
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 Town/City: HENRIETTA  
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Project No.  
**20192793.0007**

Drawing No. <b>C 106</b>	Sheet No. <b>6</b>
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Scale: **1" = 40'**

Date  
**SEPTEMBER 2023**





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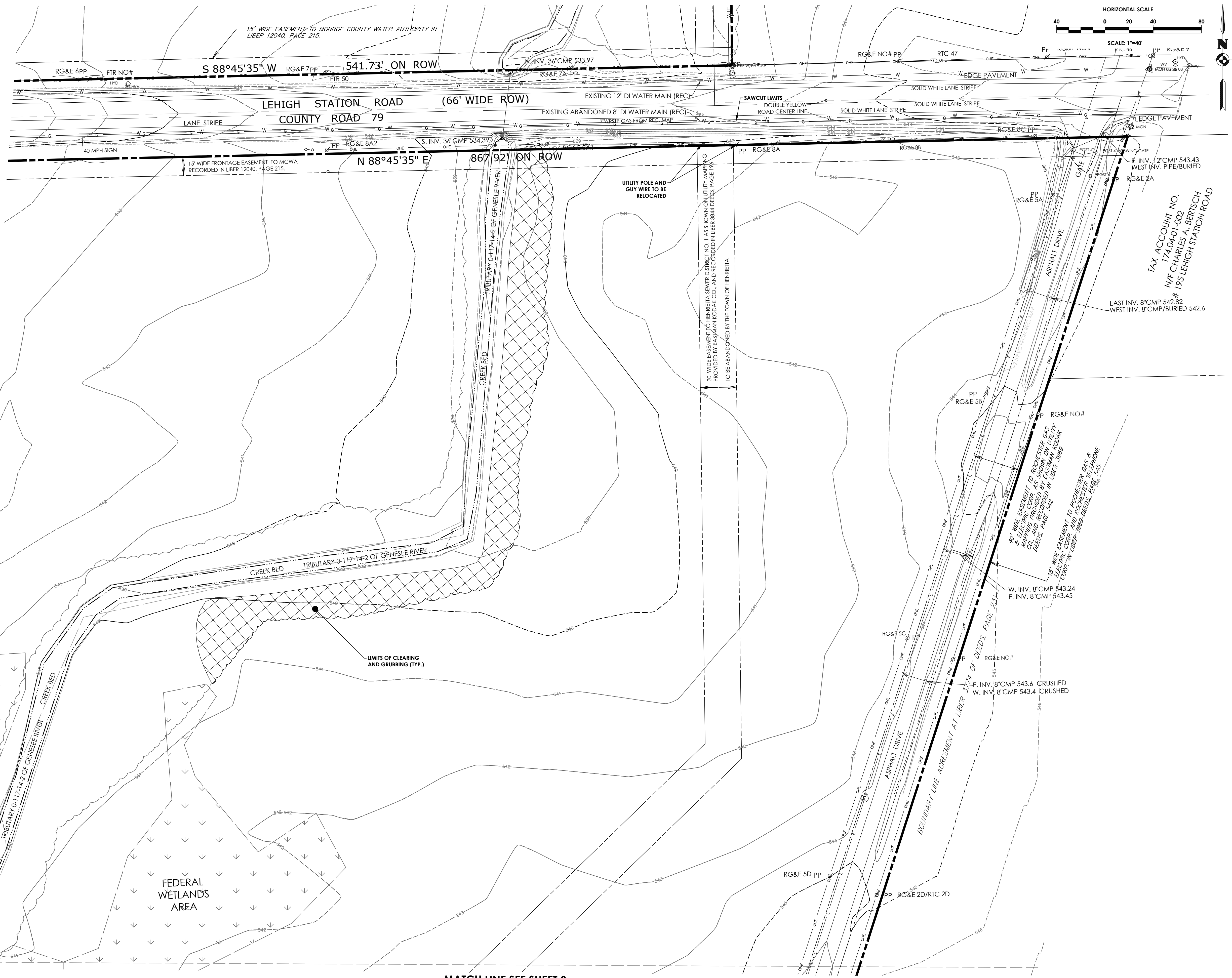
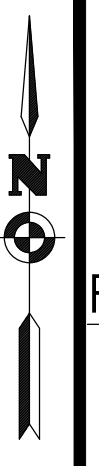
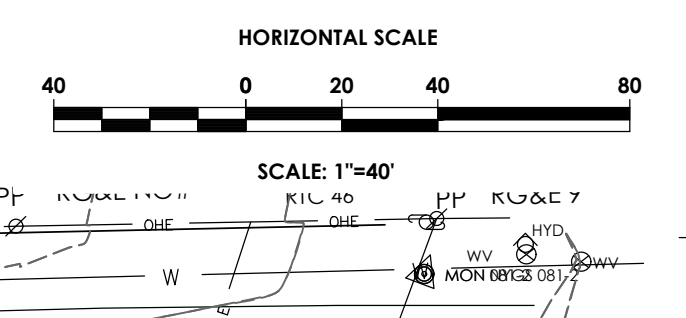
- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING FENCE
- EXISTING EASEMENT LINE SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED

**MONROE COUNTY  
DEPT. OF TRANSPORTATION**

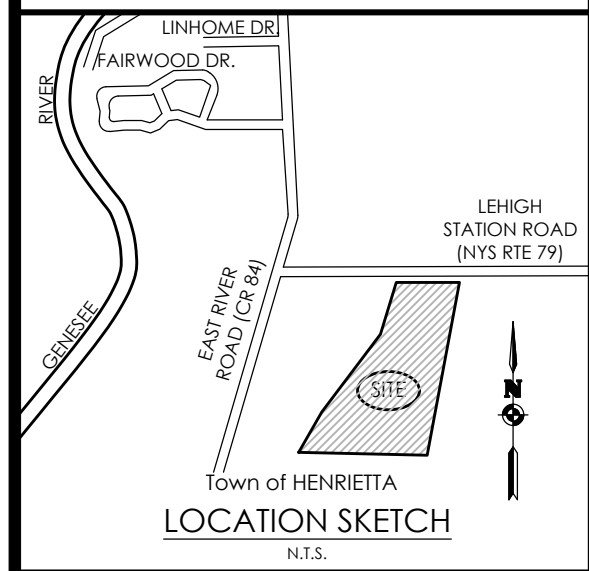
APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED  
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



MATCH LINE SEE SHEET 8



Client:  
**EAST RIVER HENRIETTA, LLC**  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge: **Jess D. Sudol, PE**  
Project Manager: **Andrew Burns, EIT**  
Designed by: **Shari Kleis**



Revisions

No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 149 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

**EXISTING CONDITIONS /DEMOLITION PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. **C 107** Sheet No. **7**

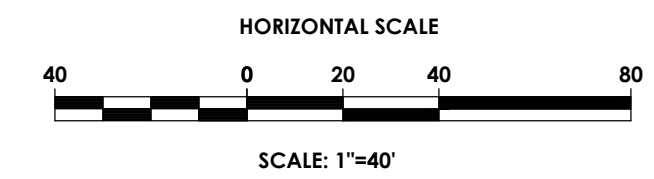
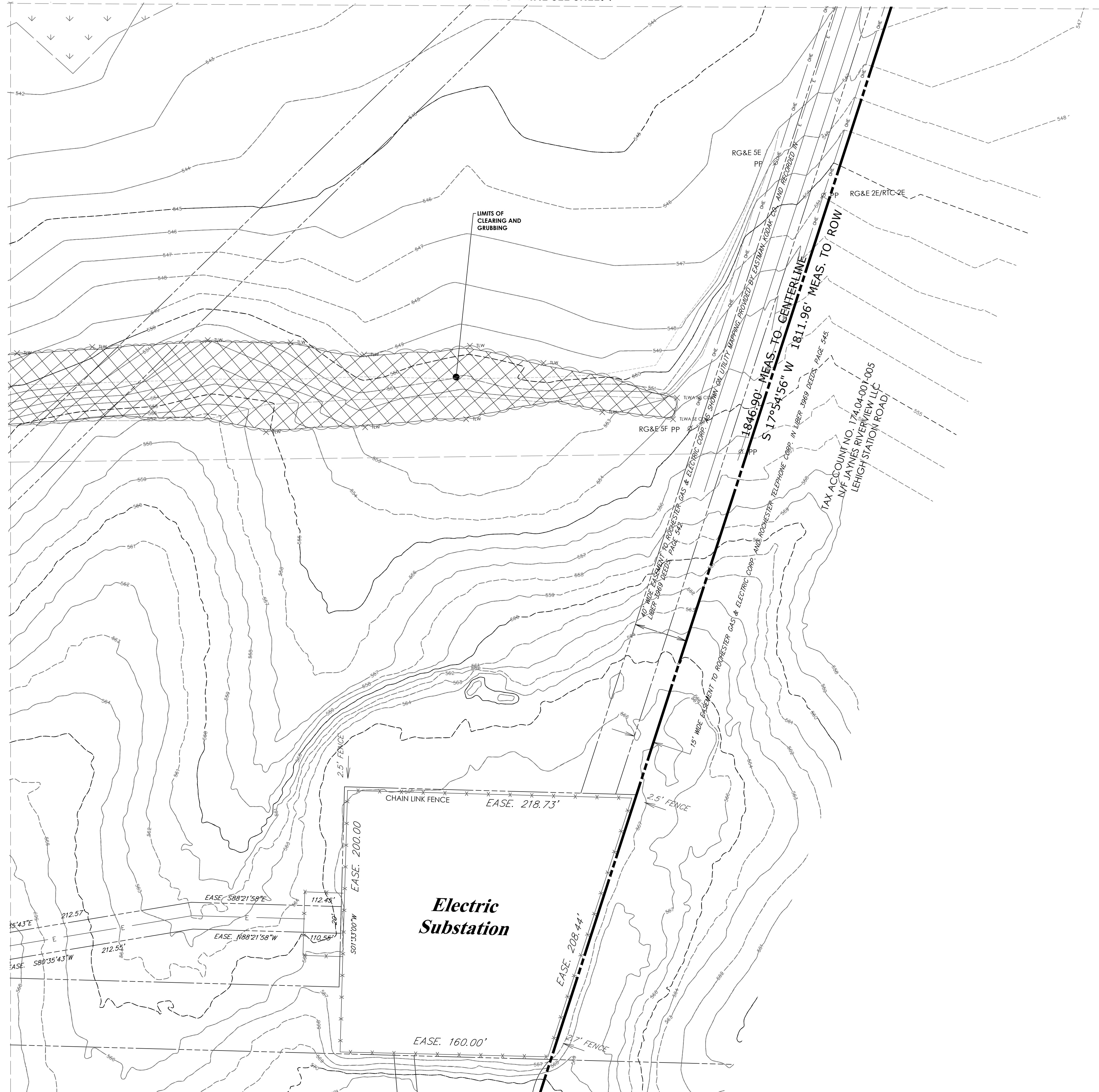
Scale: **1" = 40'**

Date  
**SEPTEMBER 2023**

NOT FOR CONSTRUCTION

MATCH LINE SEE SHEET 7

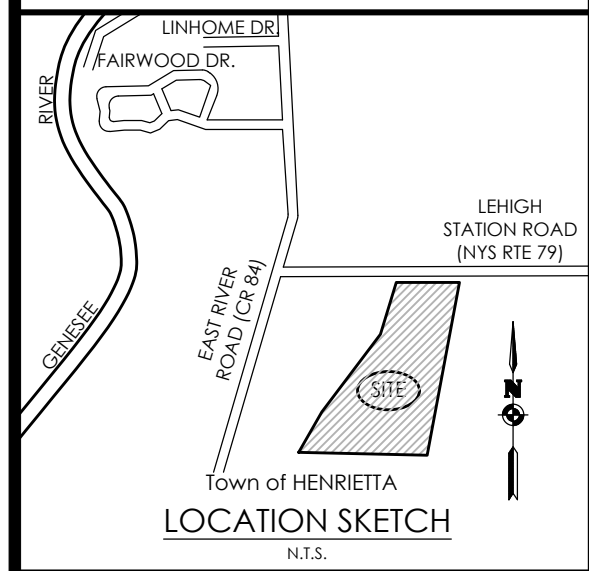
MATCH LINE SEE SHEET 9



LEGEND - DEMO:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED

**PASSERO ASSOCIATES**  
engineering architecture



Client:  
**EAST RIVER HENRIETTA, LLC**  
 64 COMMERCIAL STREET  
 SUITE 401  
 ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
 242 West Main Street Suite 100 (585) 325-1000  
 Rochester, New York 14614 Fax: (585) 325-1691  
 Principal-in-Charge: Jess D. Sudol, PE  
 Project Manager: Andrew Burns, EIT  
 Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

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**EXISTING CONDITIONS /DEMOLATION PLAN**

**RIVERS EDGE**  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. Sheet No.  
**C 108 8**

Scale: **1" = 40'**

Date  
**SEPTEMBER 2023**

NOT FOR CONSTRUCTION

MATCH LINE SEE SHEET 7

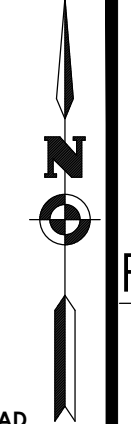
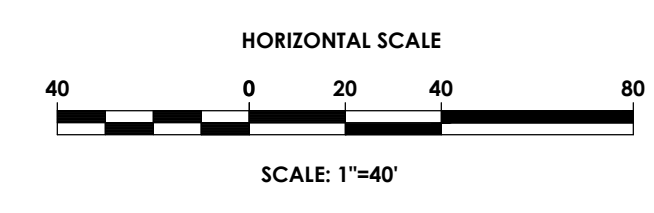
TAX ACCOUNT NO. 174.04-001-021  
N/F JAYNES RIVERVIEW LLC  
LEHIGH STATION ROAD

FEDERAL  
WETLANDS  
AREA

LIMITS OF  
CLEARING AND  
GRUBBING

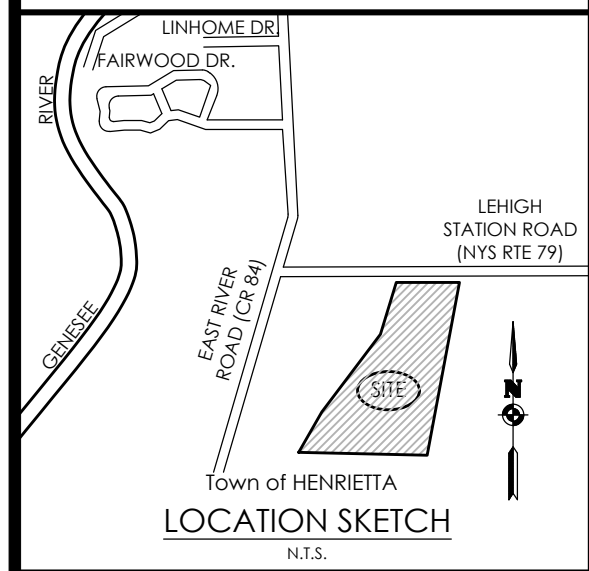
S/BRUSH

FORMER PROPERTY LINE



LEGEND - DEMO:

- — — — — PROPERTY BOUNDARY
- — — — — R.O.W.
- — — — — EXISTING CENTER LINE ROAD
- — — — — EXISTING BUILDING
- — — — — EXISTING FENCE
- — — — — EXISTING EASEMENT LINE
- — — — — SETBACK
- 520 — — — — — EXISTING MAJOR CONTOUR
- 521 — — — — — EXISTING MINOR CONTOUR
- — — — — EXISTING STORM SEWER & MH
- — — — — EXISTING WATER SERVICE & VALVE
- — — — — EXISTING SIGN
- — — — — EXISTING SANITARY SEWER AND MANHOLE
- — — — — EXIST. LIGHT POLE
- — — — — EXIST. ELECTRIC MANHOLE
- — — — — EXIST. ELECTRIC HANDHOLE
- — — — — EXIST. GAS VALVE
- — — — — EXIST. GAS MAIN
- — — — — EXIST. WATER MAIN
- — — — — EXIST. ELECTRIC LINE
- — — — — EXISTING FEATURE TO BE REMOVED
- — — — — EXISTING VEGETATION TO BE REMOVED
- — — — — EXISTING BUILDING TO BE REMOVED



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7309 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

EXISTING CONDITIONS /DEMOLITION PLAN

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. **C 109** Sheet No. **9**

Scale: **1" = 40'**

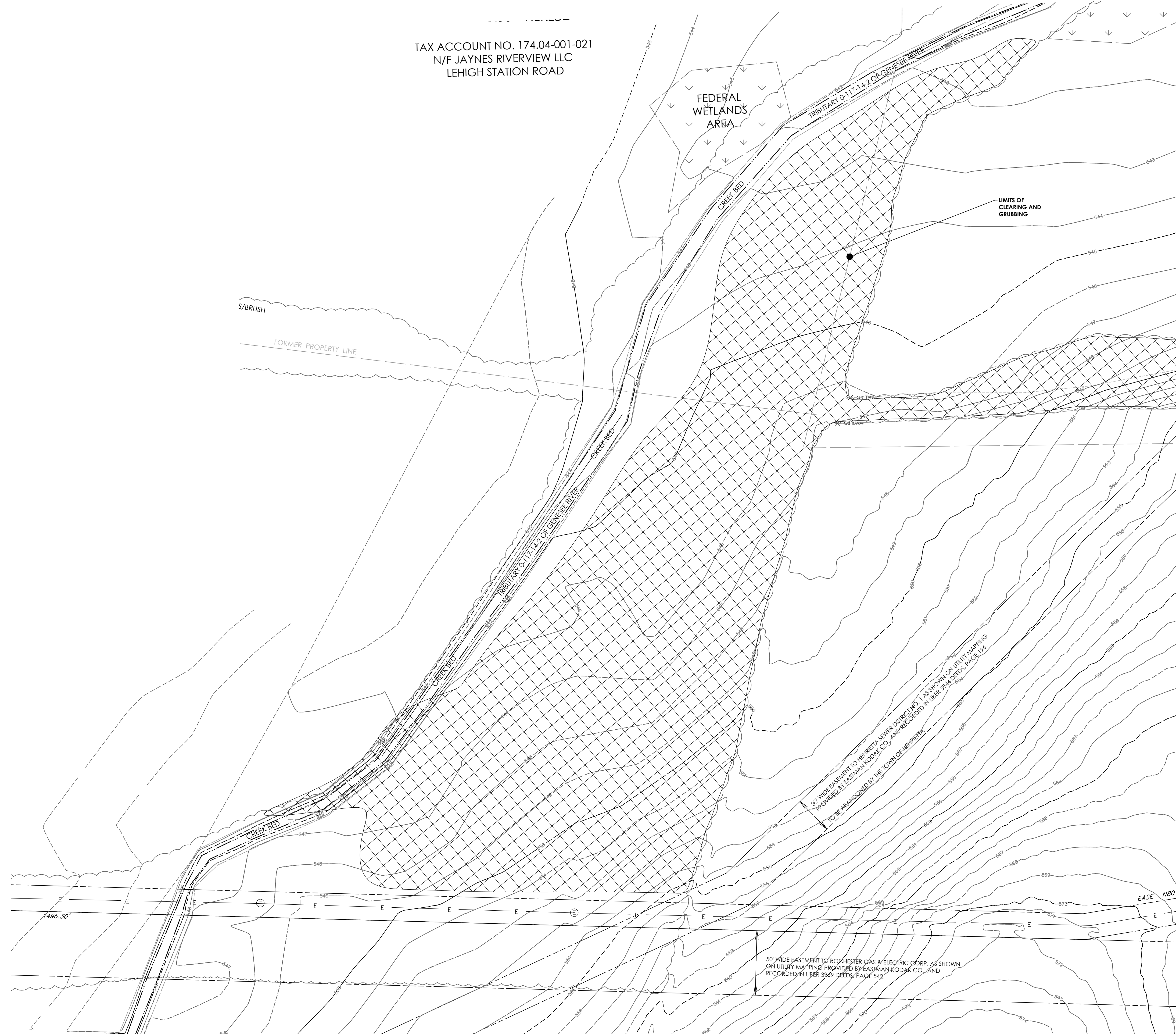
Date  
**SEPTEMBER 2023**

NOT FOR CONSTRUCTION

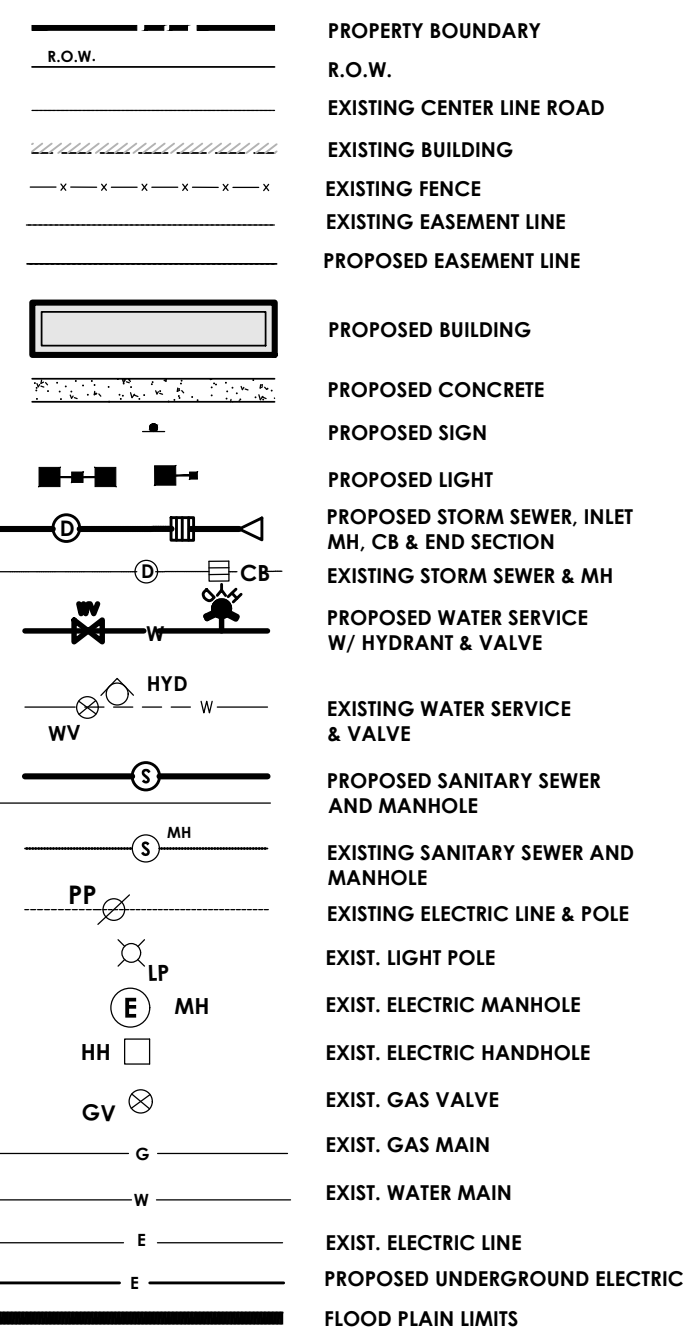
MATCH LINE SEE SHEET 8

30' WIDE EASEMENT TO HENRIETTA SEWER DISTRICT NO. 1 AS SHOWN ON UTILITY MAPPING PROVIDED BY EASTMAN KODAK CO. AND RECORDED IN LIBER 3844 DEEDS, PAGE 128. TO BE ABANDONED BY THE TOWN OF HENRIETTA

50' WIDE EASEMENT TO ROCHESTER GAS & ELECTRIC CORP. AS SHOWN ON UTILITY MAPPING PROVIDED BY EASTMAN KODAK CO. AND RECORDED IN LIBER 3849 DEEDS, PAGE 542.



**LEGEND - UTILITIES:**



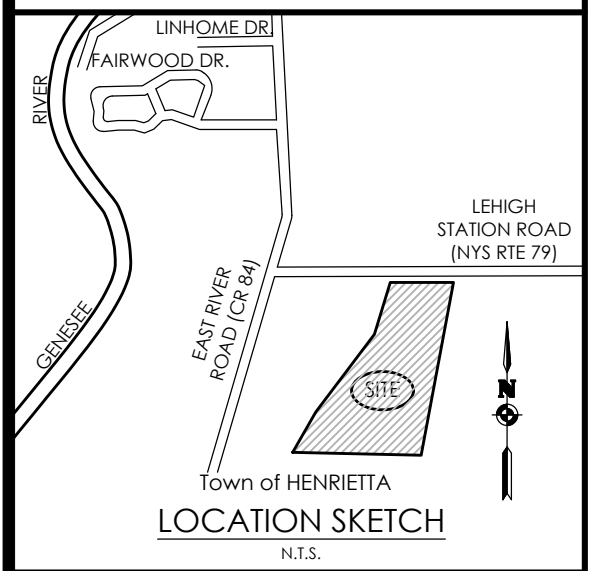
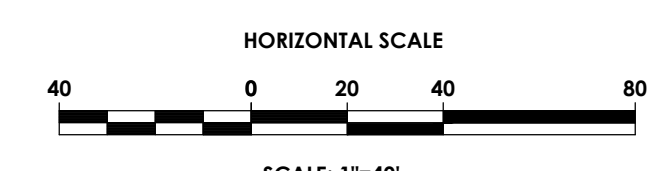
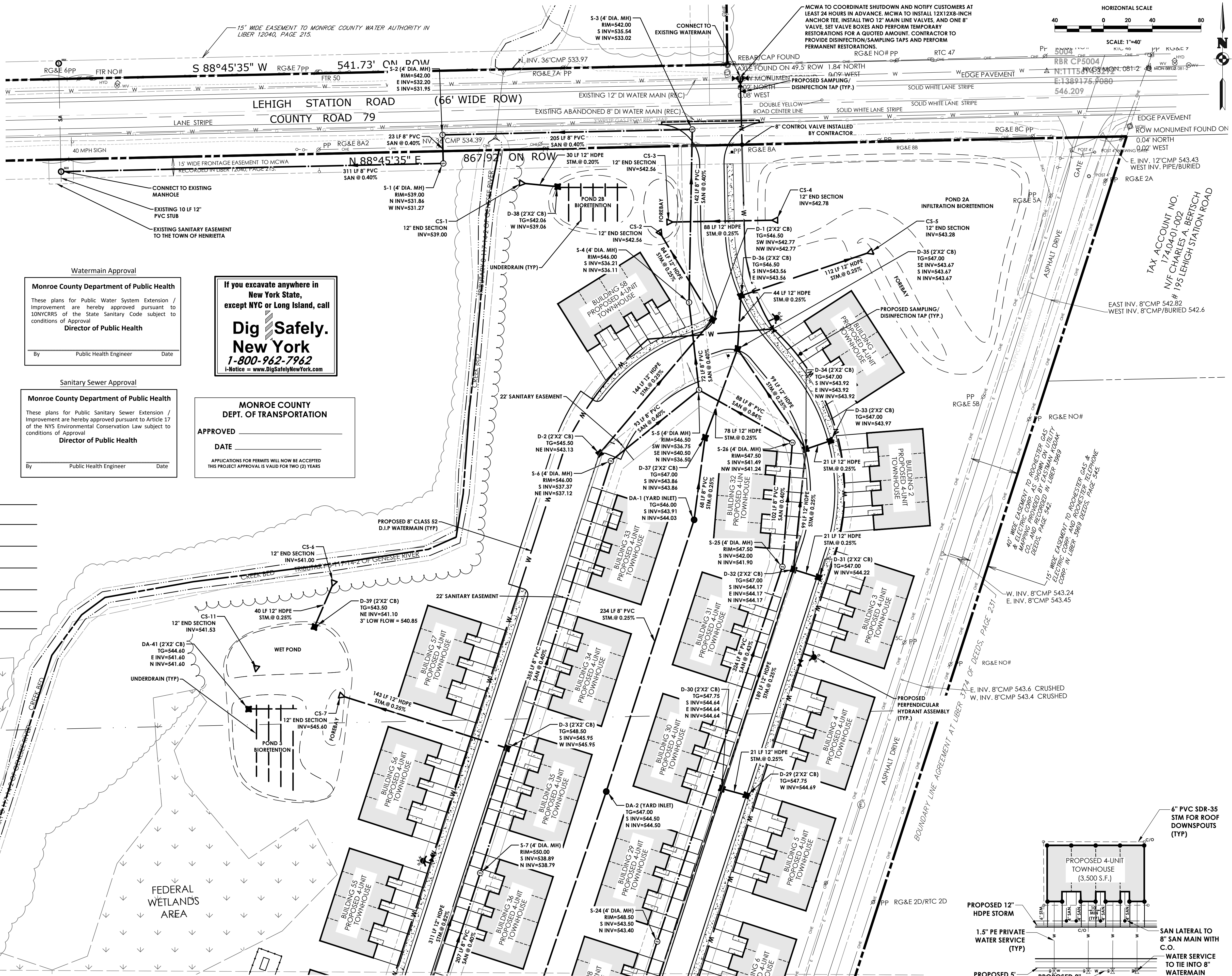
**HYDRANT NOTE:**

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (526.00').

**SUBDIVISION NOTE:**

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

APPROVED BY	TOWN ENGINEER	DATE	
APPROVED BY	DIRECTOR OF ENGINEERING AND PLANNING	DATE	
APPROVED BY	DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE	
APPROVED BY	COMMISSIONER OF PUBLIC WORKS	DATE	
APPROVED BY	DRAINAGE, SEWERS AND SIDEWALK DEPARTMENT	DATE	
APPROVED BY	MONROE COUNTY WATER AUTHORITY	DATE	
APPROVED BY	MONROE COUNTY PURE WATERS	DATE	



**Watermain Approval**  
Monroe County Department of Public Health  
These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval.  
Director of Public Health  
By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

**Dig Safely. New York**  
1-800-962-7962  
i-Notice = www.DigSafelyNewYork.com

**Sanitary Sewer Approval**  
Monroe County Department of Public Health  
These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval.  
Director of Public Health  
By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

**MONROE COUNTY DEPT. OF TRANSPORTATION**  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

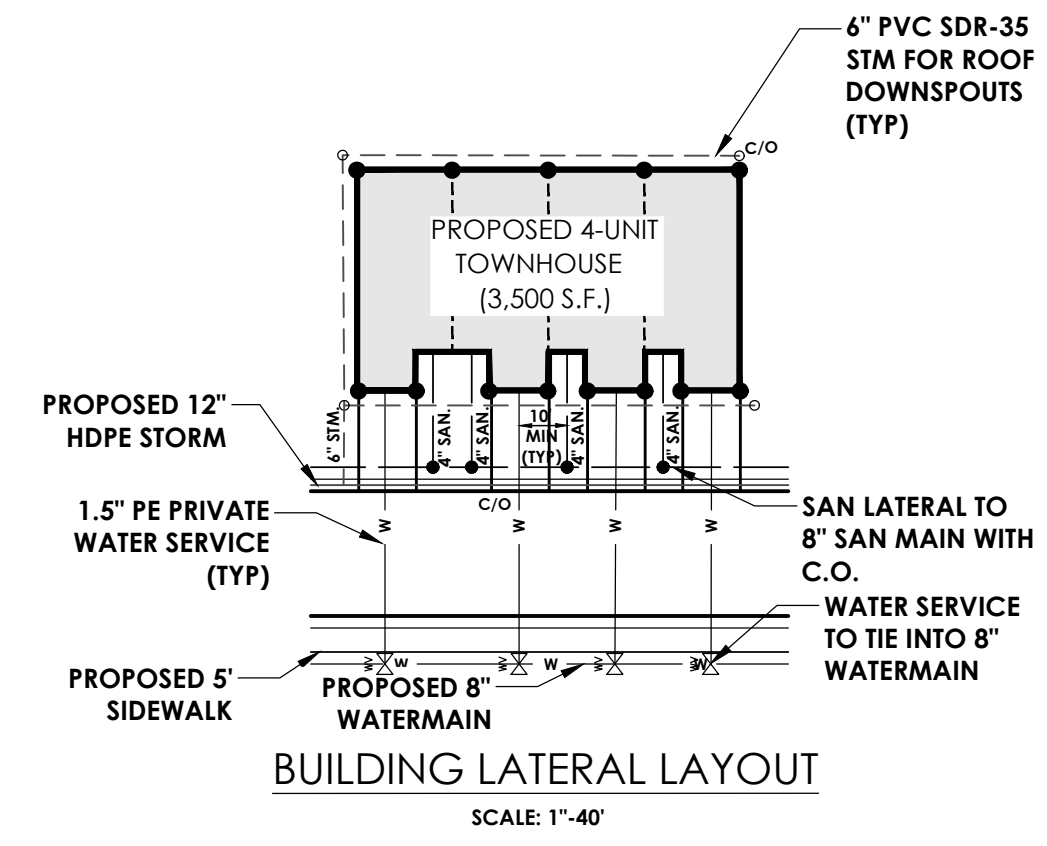
Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



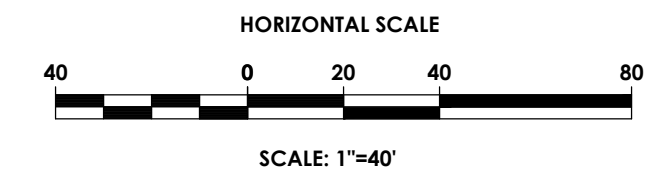
Revisions			
No.	Date	By	Description

**UTILITY PLAN**  
RIVERS EDGE  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA State: NEW YORK  
County: MONROE  
Project No.: 20192793.0007  
Drawing No.: C 110 Sheet No.: 10  
Scale: 1" = 40'  
Date: SEPTEMBER 2023



MATCH LINE SEE SHEET 11

MATCH LINE SEE SHEET 10



LEGEND - UTILITIES:

- PROPERTY BOUNDARY
R.O.W.
EXISTING CENTER LINE ROAD
EXISTING BUILDING
EXISTING FENCE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPOSED BUILDING
PROPOSED CONCRETE
PROPOSED SIGN
PROPOSED LIGHT
PROPOSED STORM SEWER, INLET
MH, CB & END SECTION
EXISTING STORM SEWER & MH
PROPOSED WATER SERVICE
W/ HYDRANT & VALVE
EXISTING WATER SERVICE & VALVE
PROPOSED SANITARY SEWER
AND MANHOLE
EXISTING SANITARY SEWER AND
MANHOLE
EXISTING ELECTRIC LINE & POLE
EXIST. LIGHT POLE
EXIST. ELECTRIC MANHOLE
EXIST. ELECTRIC HANDHOLE
EXIST. GAS VALVE
EXIST. GAS MAIN
EXIST. WATER MAIN
EXIST. ELECTRIC LINE
PROPOSED UNDERGROUND ELECTRIC
FLOOD PLAIN LIMITS

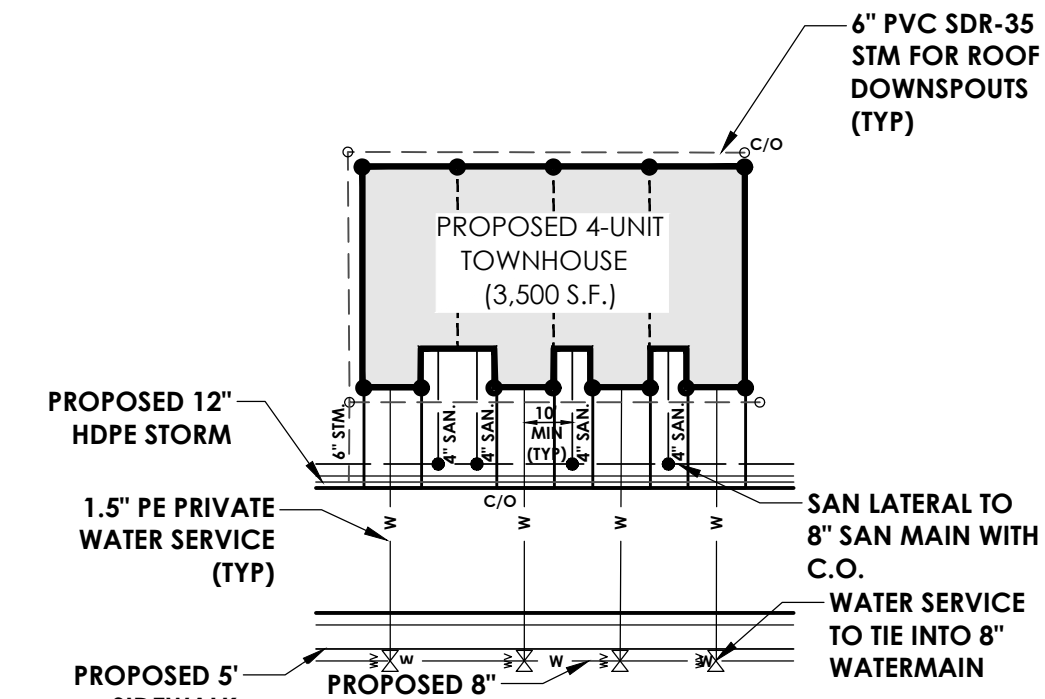
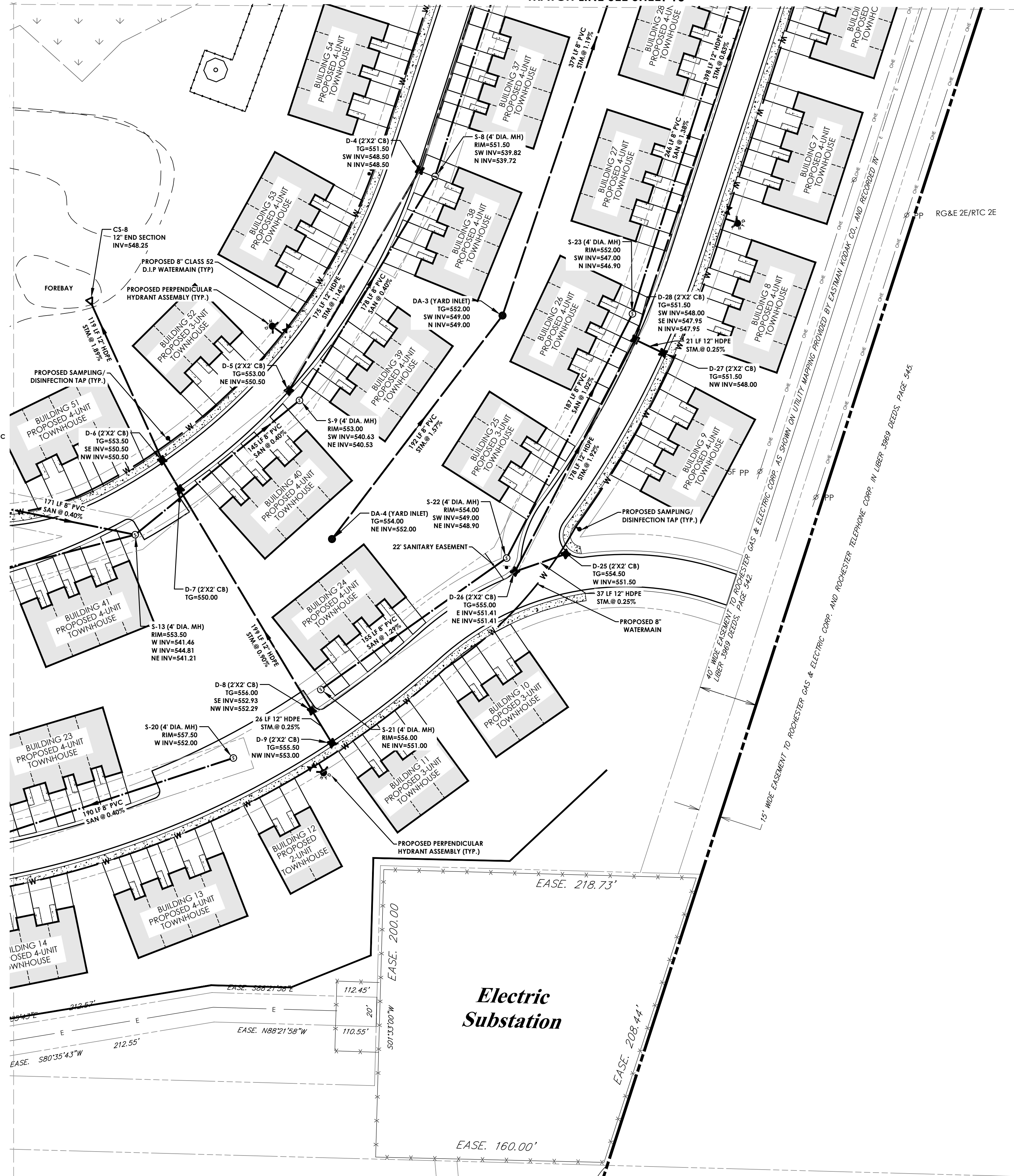
HYDRANT NOTE:

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (528.00').

SUBDIVISION NOTE:

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

MATCH LINE SEE SHEET 12



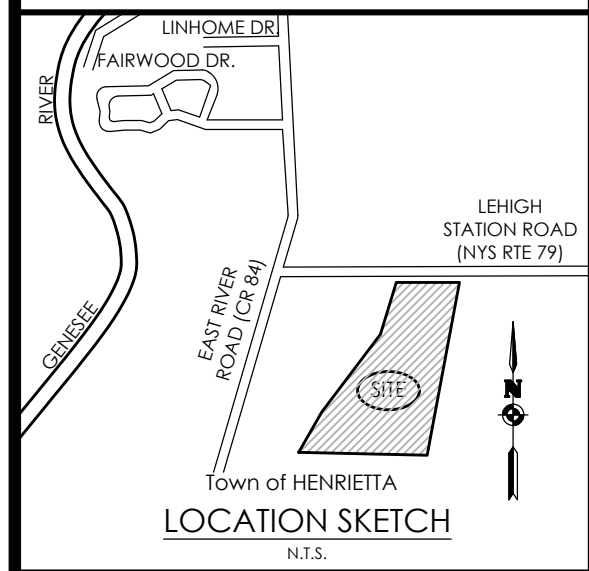
Advertisement for Dig Safely. New York, 1-800-962-7962, with a warning to excavate safely.

MONROE COUNTY DEPT. OF TRANSPORTATION APPROVED stamp with signature line and date field.

Monroe County Department of Public Health Watermain Approval stamp with signature and date lines.

Monroe County Department of Public Health Sanitary Sewer Approval stamp with signature and date lines.

Table with columns for APPROVED BY, TOWN ENGINEER, DIRECTOR OF ENGINEERING AND PLANNING, etc., and DATE.



Client: EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

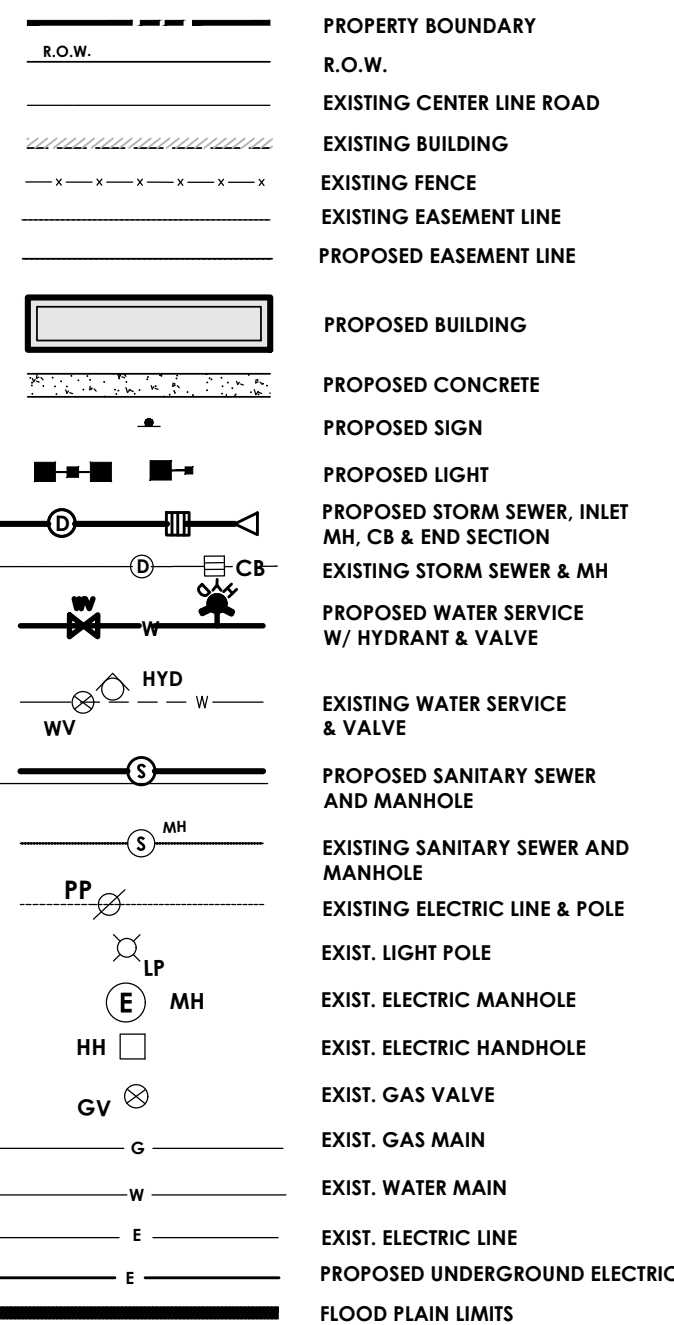
PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Shari Kleis



Revisions table with columns for No., Date, By, and Description.

UTILITY PLAN
RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK
Project No.: 20192793.0007
Drawing No.: C 111 Sheet No.: 11
Scale: 1" = 40'
Date: SEPTEMBER 2023
NOT FOR CONSTRUCTION

**LEGEND - UTILITIES:**



**HYDRANT NOTE:**

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (526.00').

**SUBDIVISION NOTE:**

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

APPROVED BY	TOWN ENGINEER	DATE	_____
APPROVED BY	DIRECTOR OF ENGINEERING AND PLANNING	DATE	_____
APPROVED BY	DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE	_____
APPROVED BY	COMMISSIONER OF PUBLIC WORKS	DATE	_____
APPROVED BY	DRAINAGE, SEWERS AND SIDEWALK DEPARTMENT	DATE	_____
APPROVED BY	MONROE COUNTY WATER AUTHORITY	DATE	_____
APPROVED BY	MONROE COUNTY PURE WATERS	DATE	_____

**Watermain Approval**

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval

**Director of Public Health**

By \_\_\_\_\_ Date \_\_\_\_\_

**If you excavate anywhere in New York State, except NYC or Long Island, call Dig Safely. New York 1-800-962-7962**

i-Notice = www.DigSafelyNewYork.com

**Sanitary Sewer Approval**

Monroe County Department of Public Health

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

**Director of Public Health**

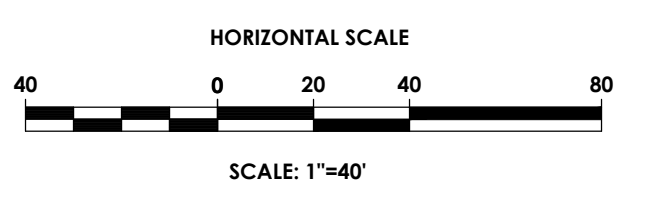
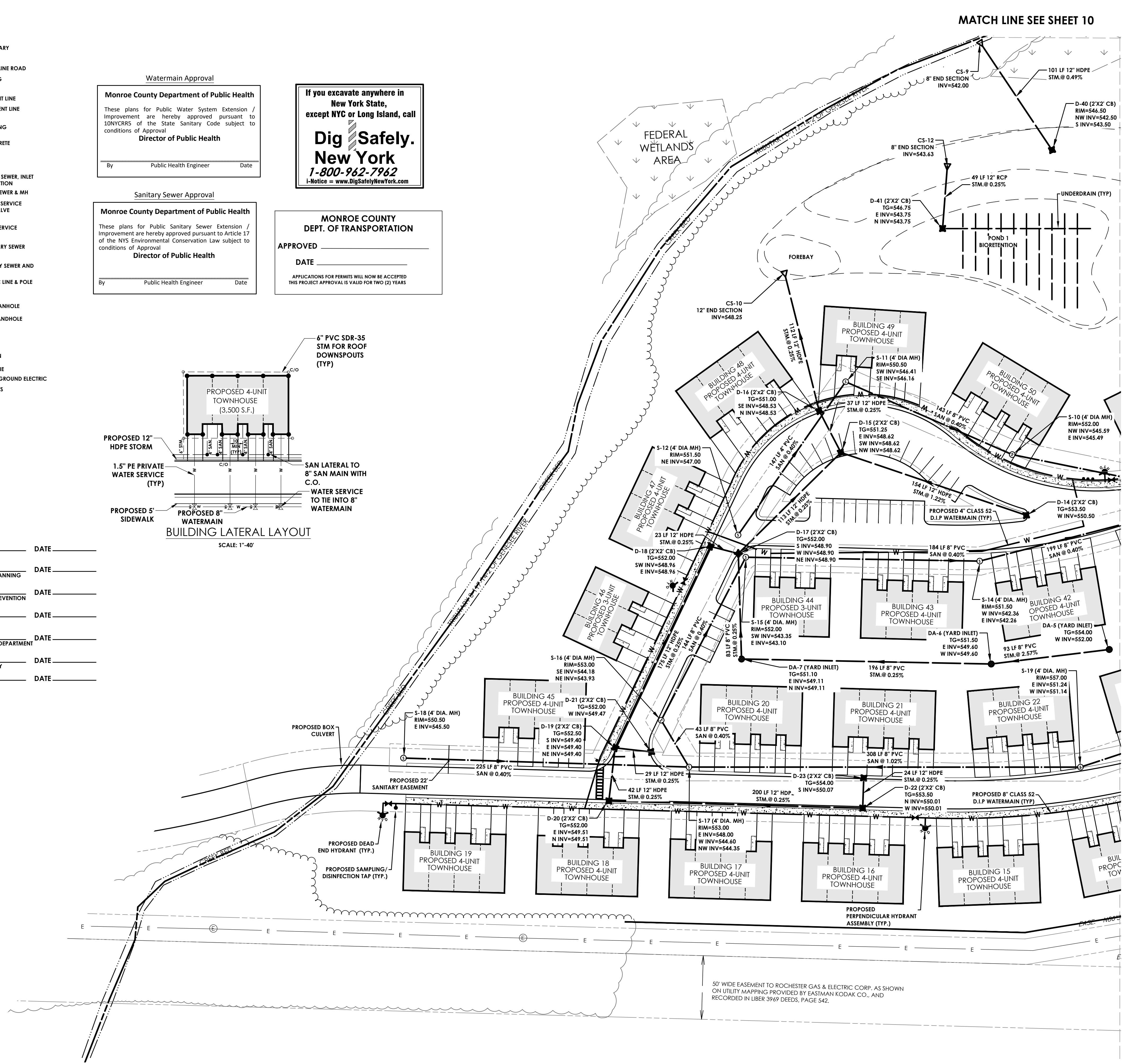
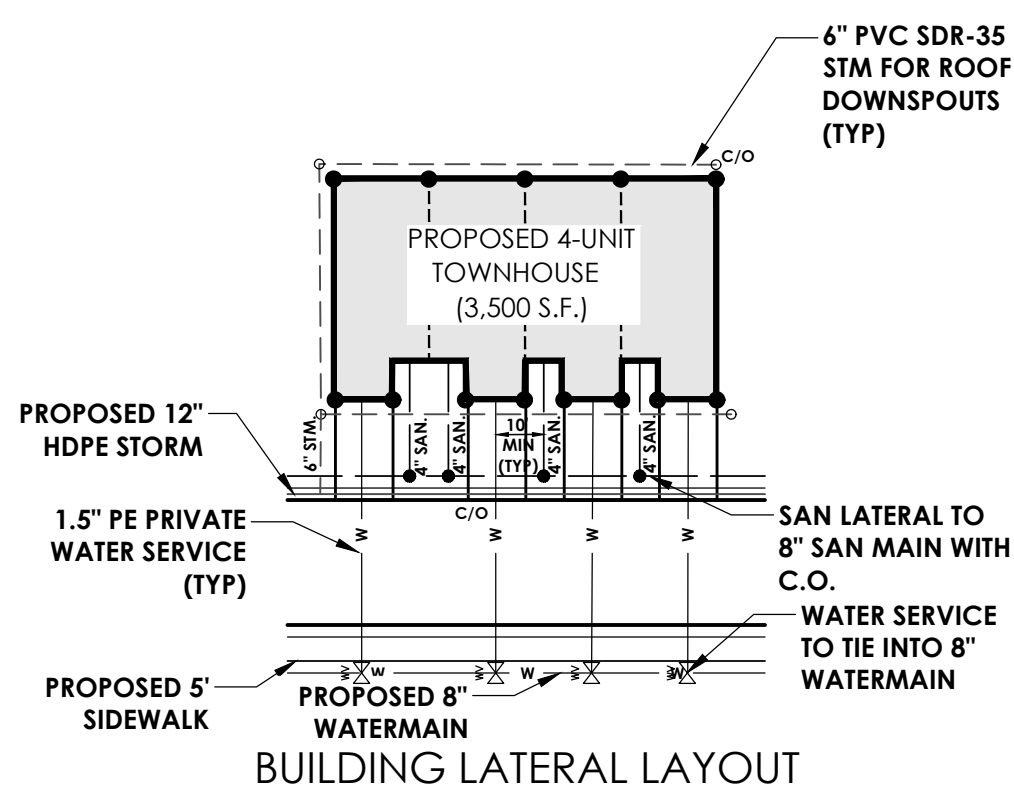
By \_\_\_\_\_ Date \_\_\_\_\_

**MONROE COUNTY DEPT. OF TRANSPORTATION**

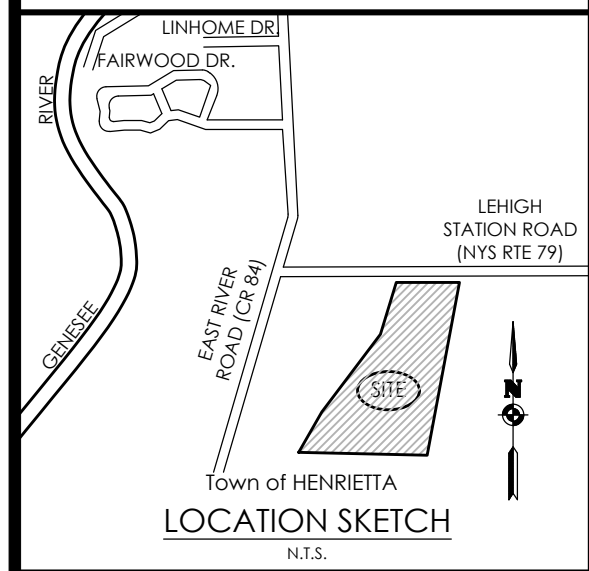
APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



**PA PASSERO ASSOCIATES**  
engineering architecture



Client:

**EAST RIVER HENRIETTA, LLC**  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge: **Jess D. Sudol, PE**  
Project Manager: **Andrew Burns, EIT**  
Designed by: **Shari Kleis**



**Revisions**

No.	Date	By	Description

**UTILITY PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

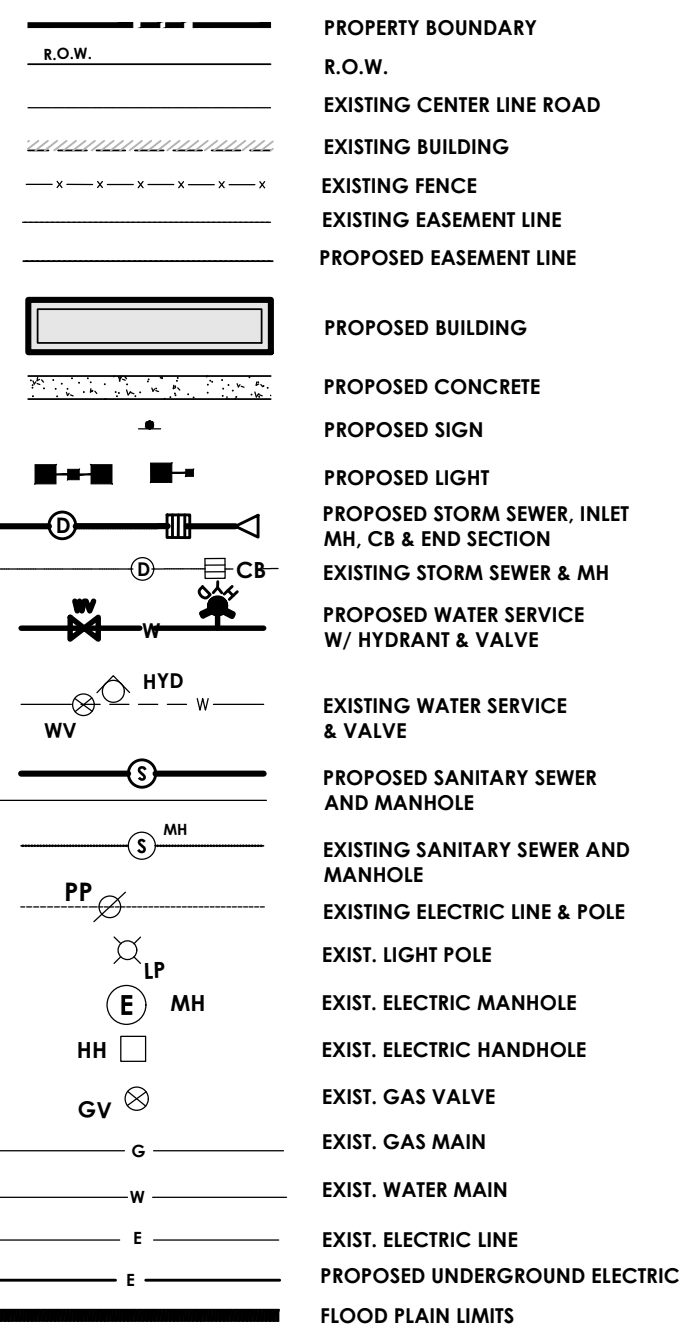
Drawing No. <b>C 112</b>	Sheet No. <b>12</b>
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Scale: **1" = 40'**

Date: **SEPTEMBER 2023**

NOT FOR CONSTRUCTION

**LEGEND - UTILITIES:**



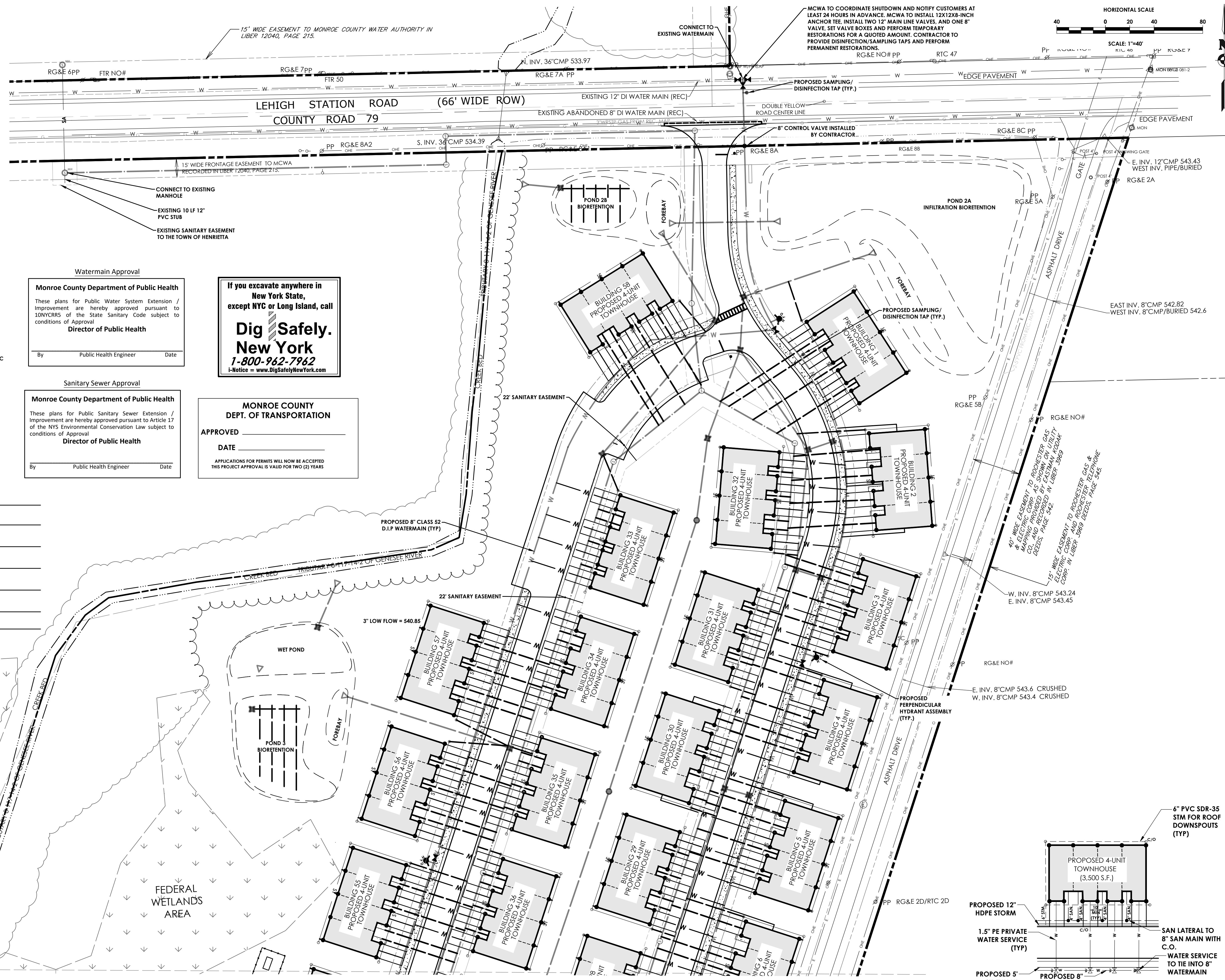
**HYDRANT NOTE:**

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (526.00').

**SUBDIVISION NOTE:**

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_



**Watermain Approval**

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval.

Director of Public Health

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

**If you excavate anywhere in New York State, except NYC or Long Island, call Dig Safely. New York**

1-800-962-7962

i-Notice = www.DigSafelyNewYork.com

**Sanitary Sewer Approval**

Monroe County Department of Public Health

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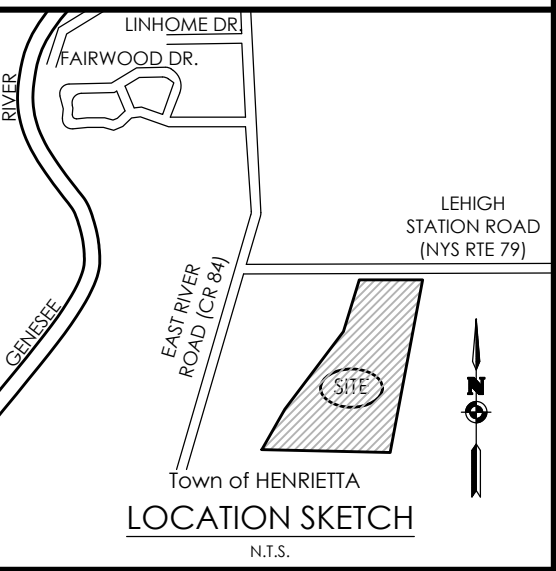
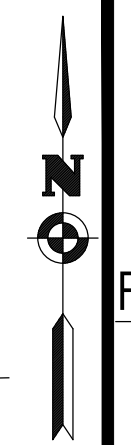
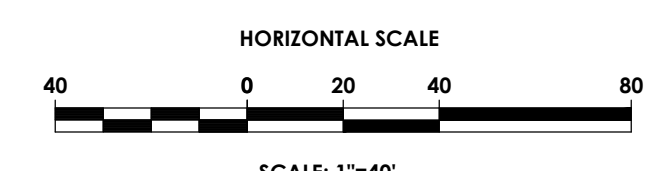
Director of Public Health

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

**MONROE COUNTY DEPT. OF TRANSPORTATION**

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



Client:

EAST RIVER HENRIETTA, LLC

64 COMMERCIAL STREET

SUITE 401

ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**

242 West Main Street Suite 100 (585) 325-1000  
Rochester, New York 14614 Fax: (585) 325-1691

Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



**Revisions**

No.	Date	By	Description

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**LATERAL PLAN**

**RIVERS EDGE**

BING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE

Town/City: HENRIETTA

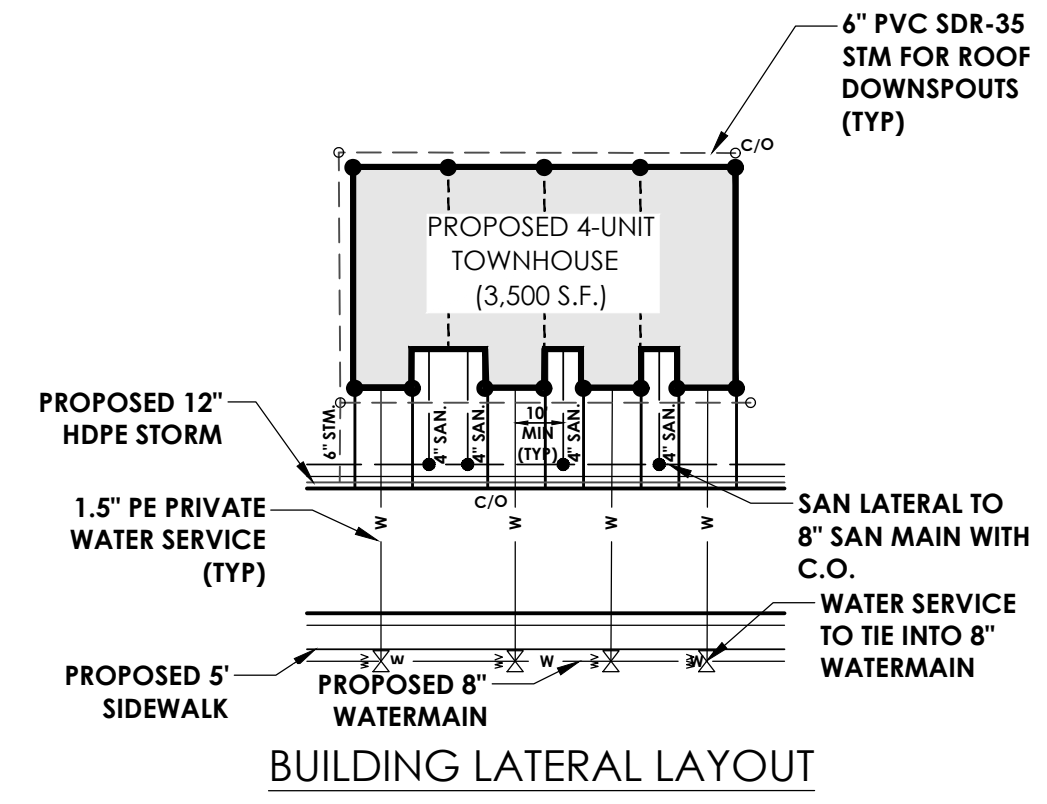
County: MONROE State: NEW YORK

Project No. **20192793.0007**

Drawing No. **C 113** Sheet No. **13**

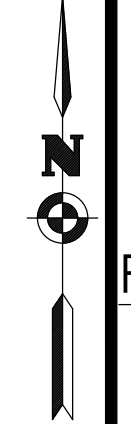
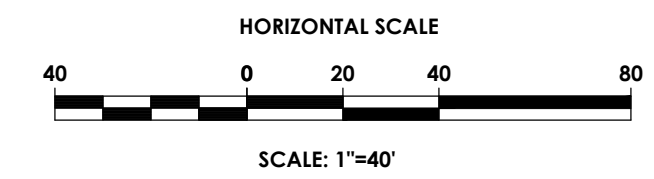
Scale: **1" = 40'**

Date: **SEPTEMBER 2023**



MATCH LINE SEE SHEET 14

MATCH LINE SEE SHEET 13



**LEGEND - UTILITIES:**

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC
- FLOOD PLAIN LIMITS

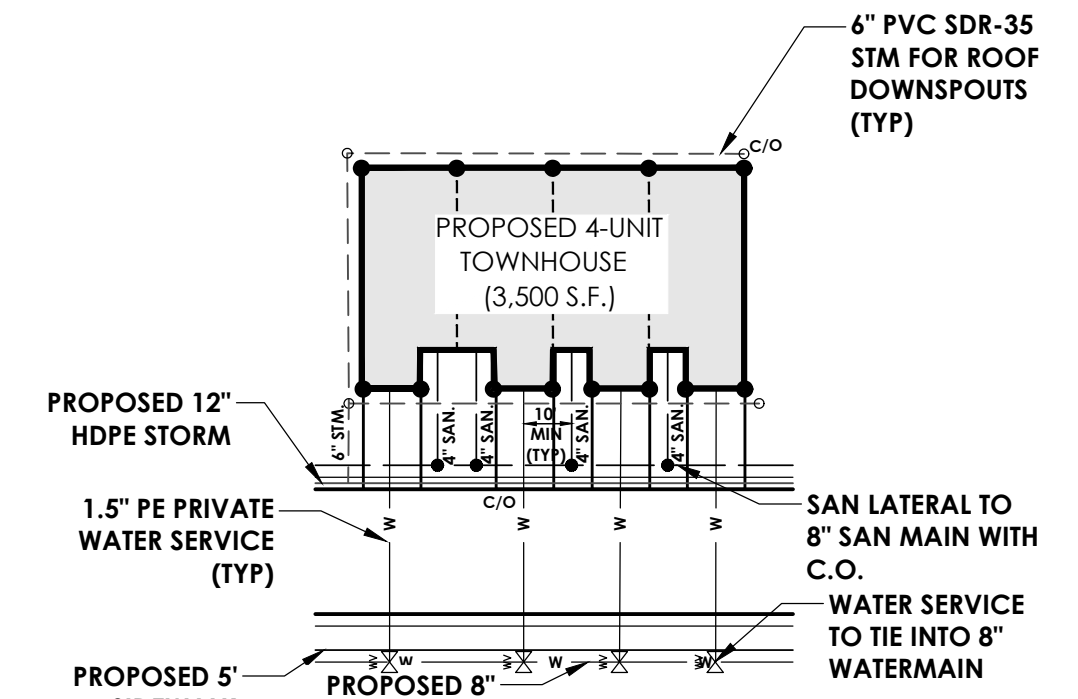
**HYDRANT NOTE:**

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (528.00').

**SUBDIVISION NOTE:**

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

MATCH LINE SEE SHEET 15



**BUILDING LATERAL LAYOUT**  
SCALE: 1"=40'

If you excavate anywhere in New York State, except NYC or Long Island, call

**Dig Safely.**  
New York  
1-800-962-7962  
i-Notice = www.DigSafelyNewYork.com

**MONROE COUNTY DEPT. OF TRANSPORTATION**

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

DATE \_\_\_\_\_

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

- APPROVED BY: TOWN ENGINEER DATE \_\_\_\_\_
- APPROVED BY: DIRECTOR OF ENGINEERING AND PLANNING DATE \_\_\_\_\_
- APPROVED BY: DIRECTOR OF BUILDING AND FIRE PREVENTION DATE \_\_\_\_\_
- APPROVED BY: COMMISSIONER OF PUBLIC WORKS DATE \_\_\_\_\_
- APPROVED BY: DRAINAGE, SEWERS AND SIDEWALK DEPARTMENT DATE \_\_\_\_\_
- APPROVED BY: MONROE COUNTY WATER AUTHORITY DATE \_\_\_\_\_
- APPROVED BY: MONROE COUNTY PURE WATERS DATE \_\_\_\_\_

**Watermain Approval**

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRR5 of the State Sanitary Code subject to conditions of Approval

**Director of Public Health**

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

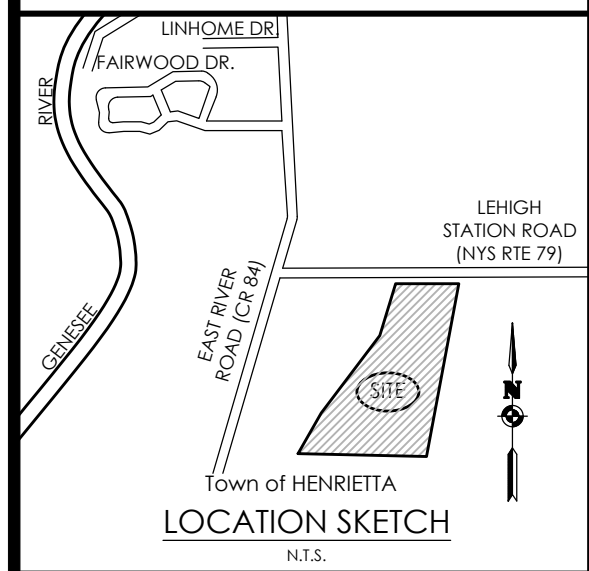
**Sanitary Sewer Approval**

Monroe County Department of Public Health

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

**Director of Public Health**

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
342 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleits



Revisions			
No.	Date	By	Description

**LATERAL PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, PHELPS & CORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No:  
**20192793.0007**

Drawing No. <b>C 114</b>	Sheet No. <b>14</b>
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Scale: **1" = 40'**

Date: **SEPTEMBER 2023**



**LEGEND - UTILITIES:**

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXIST. ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC
- FLOOD PLAIN LIMITS

**HYDRANT NOTE:**

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (526.00').

**SUBDIVISION NOTE:**

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
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- APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_
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Watermain Approval

**Monroe County Department of Public Health**

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval.

**Director of Public Health**

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

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Sanitary Sewer Approval

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These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval.

**Director of Public Health**

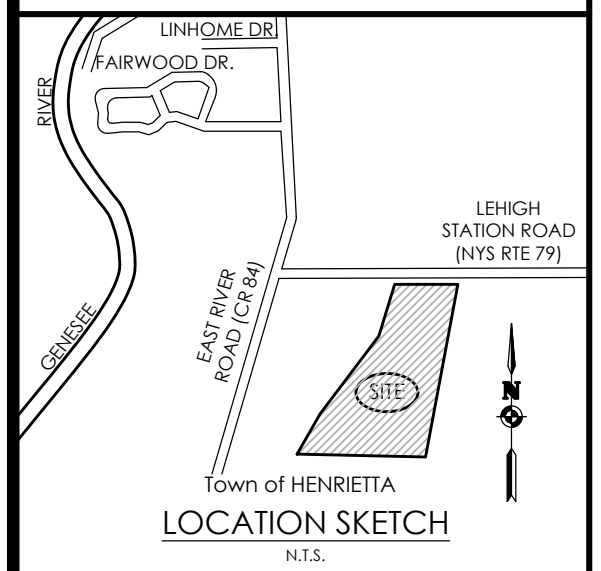
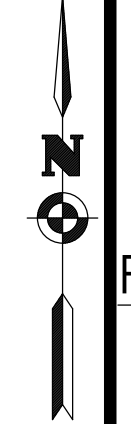
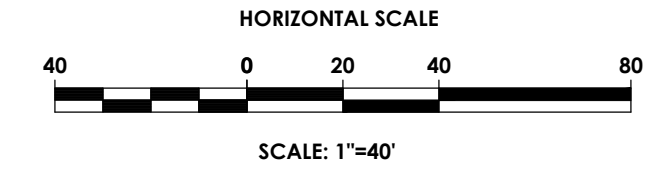
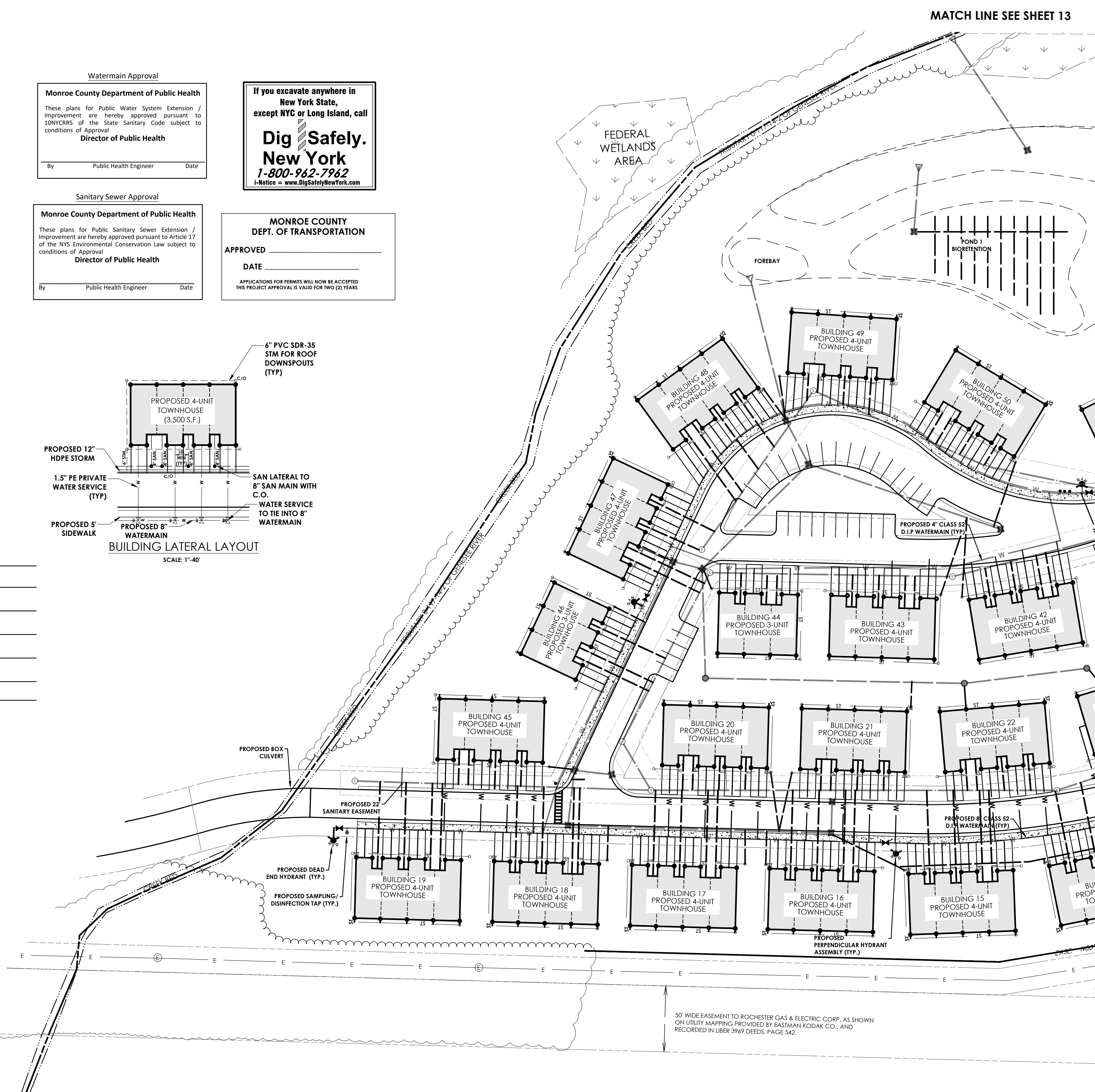
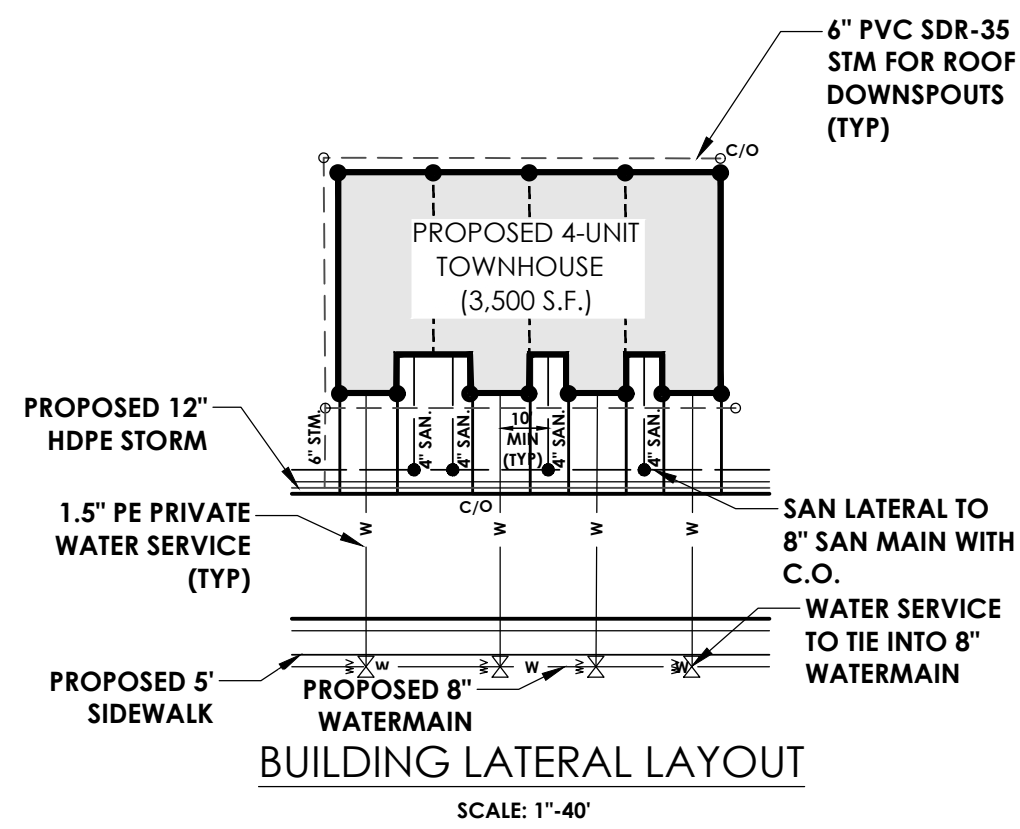
By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

**MONROE COUNTY DEPT. OF TRANSPORTATION**

APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



Client:  
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64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
342 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

**LATERAL PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No:  
**20192793.0007**

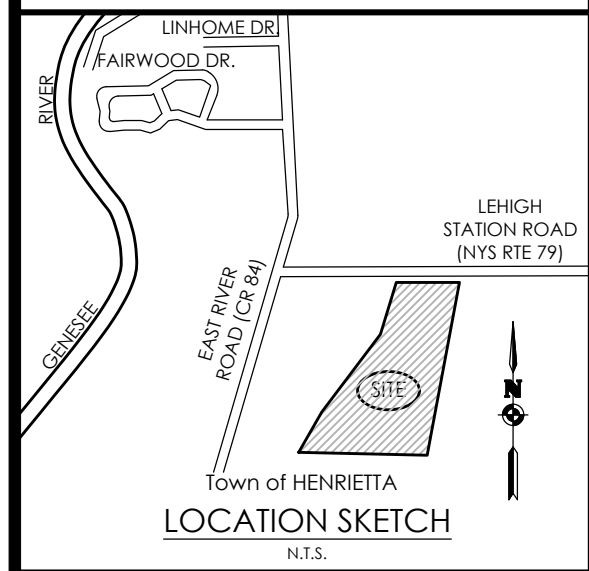
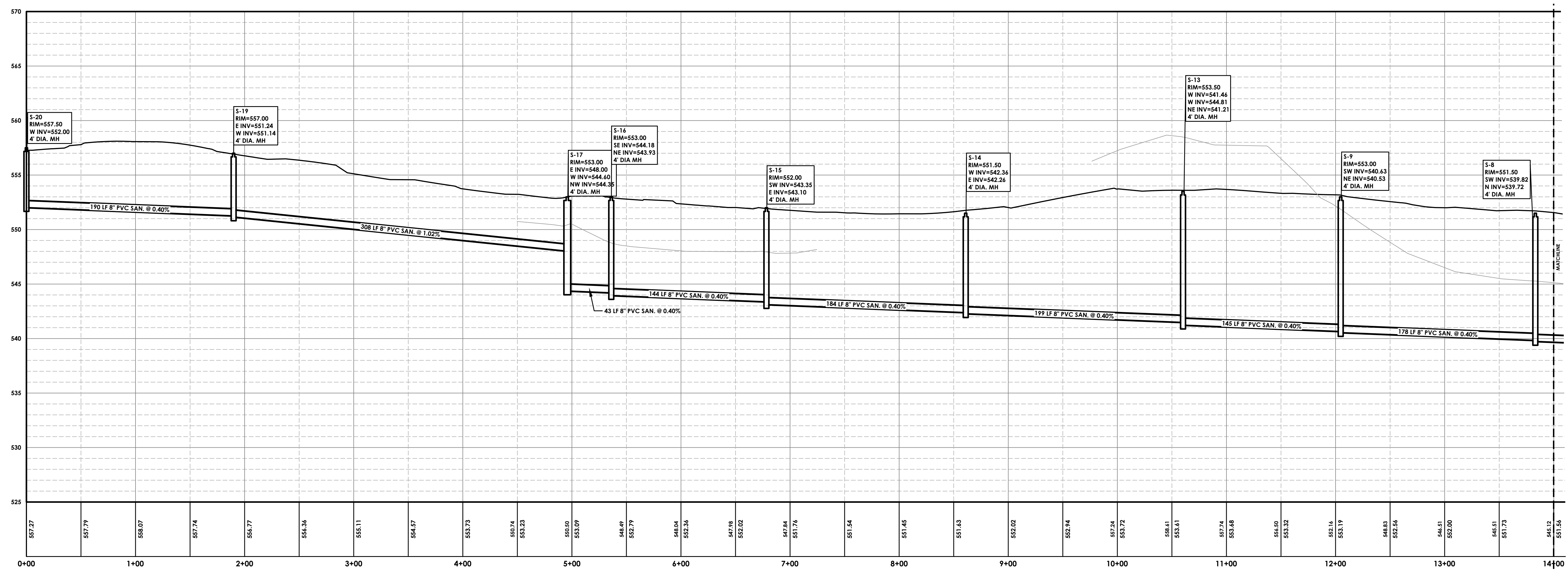
Drawing No. <b>C 115</b>	Sheet No. <b>15</b>
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Scale: **1" = 40'**

Date:  
**SEPTEMBER 2023**



PASSERO ASSOCIATES  
engineering architecture



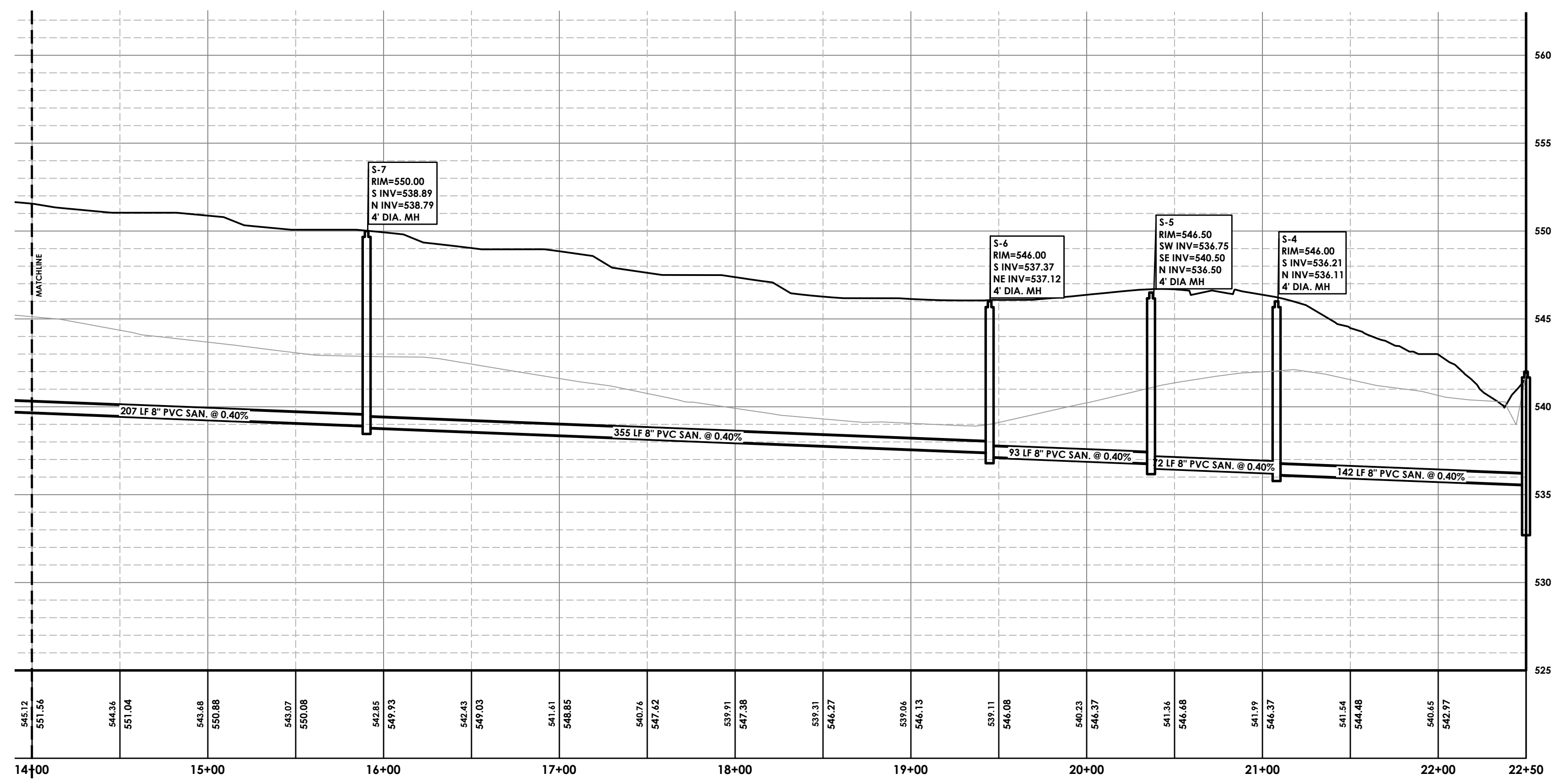
Client:  
**EAST RIVER HENRIETTA, LLC**  
 64 COMMERCIAL STREET  
 SUITE 401  
 ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
 242 West Main Street Suite 100  
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**SANITARY ALIGNMENT 1 PROFILE**

SCALE: HORIZONTAL - 1" = 50'



- PROFILE NOTES**
- ALL EARTH WORK SHALL BE COMPLETED PRIOR TO SANITARY SEWER AND WATER MAIN INSTALLATIONS.
  - ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
  - ALL LATERALS WITH LESS THAN 4 FEET OF COVER SHALL BE ENCASED IN 3000 P.S.I. CONCRETE.
  - ALL SANITARY AND STORM SEWER MANHOLE SHALL BE 4' DIA. UNLESS OTHERWISE SPECIFIED ON UTILITY PLAN.
  - MANHOLE RIM ELEVATION ARE SHOWN AS PROJECTION FROM CENTERLINE OF ROAD.

Revisions

No.	Date	By	Description

**UTILITY PROFILES**

**RIVERS EDGE**  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

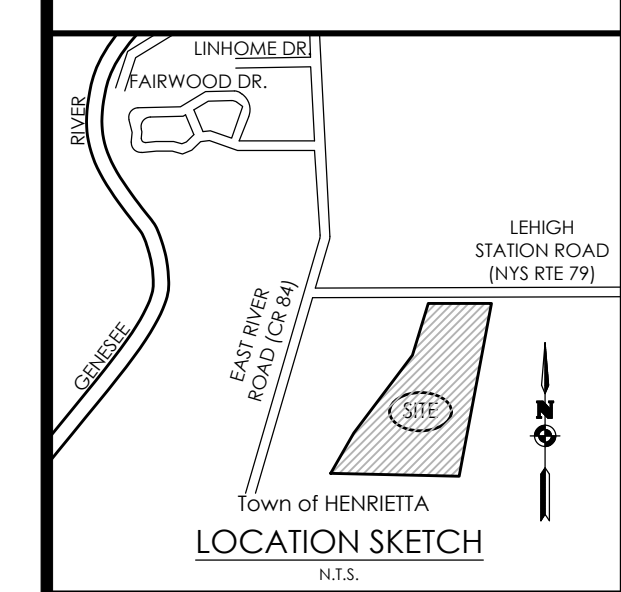
Drawing No. **C 116** Sheet No. **16**

Scale: **1" = 50'**

Date  
**SEPTEMBER 2023**



PASSERO ASSOCIATES  
engineering architecture



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
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ROCHESTER, NY, 14614

PASSERO ASSOCIATES  
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(585) 325-1000  
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Revisions

No.	Date	By	Description

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### UTILITY PROFILES

RIVERS EDGE  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

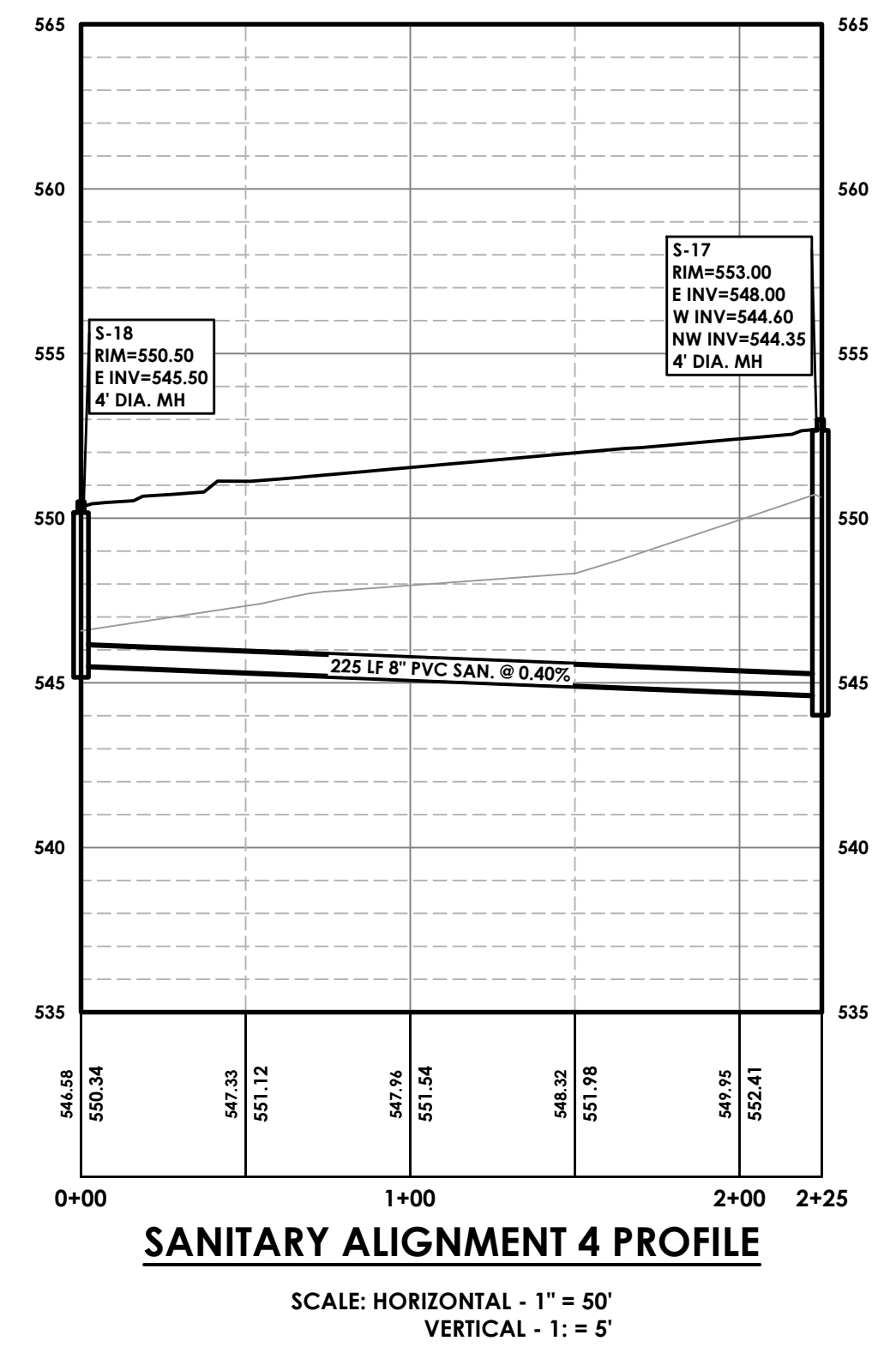
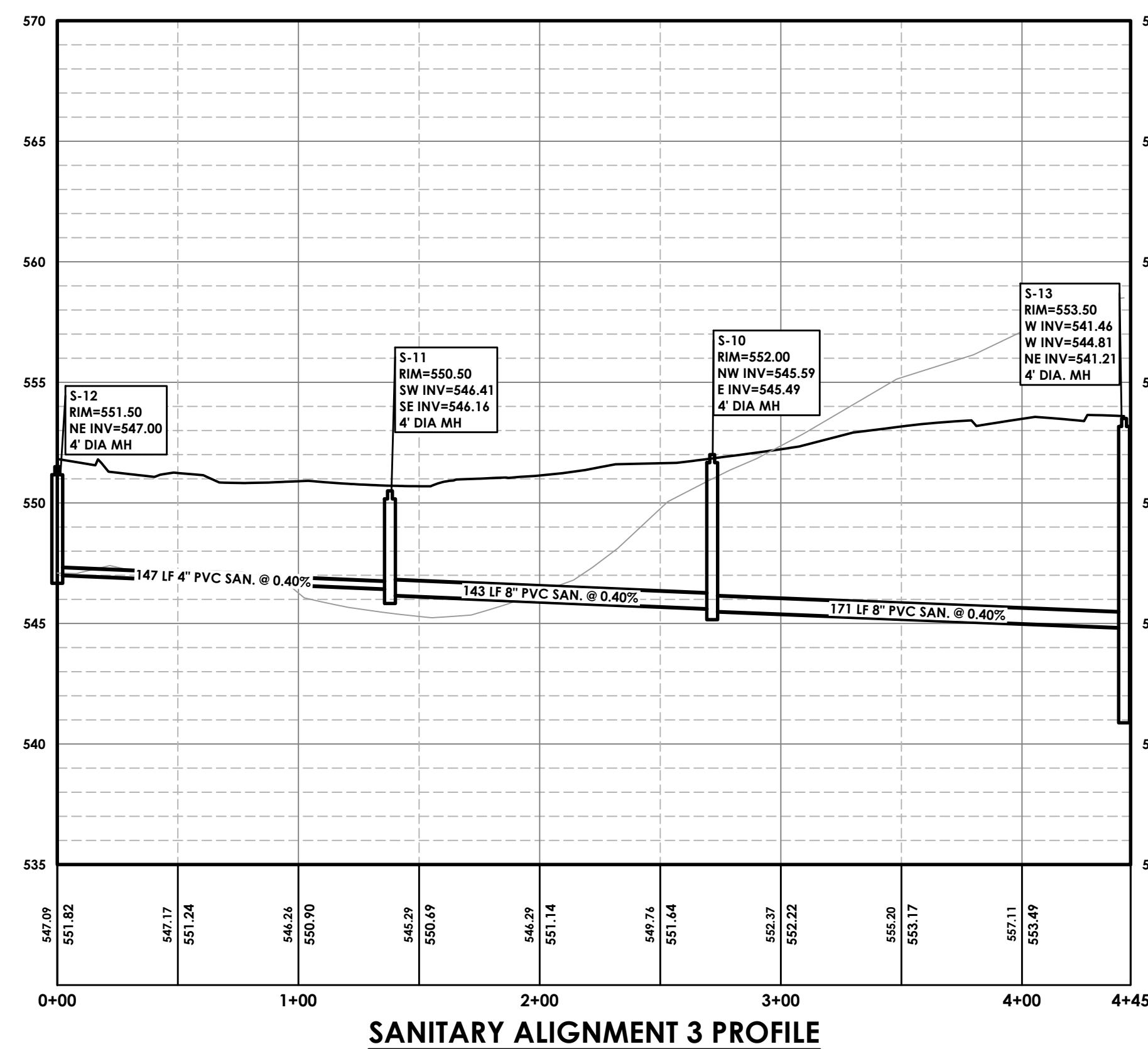
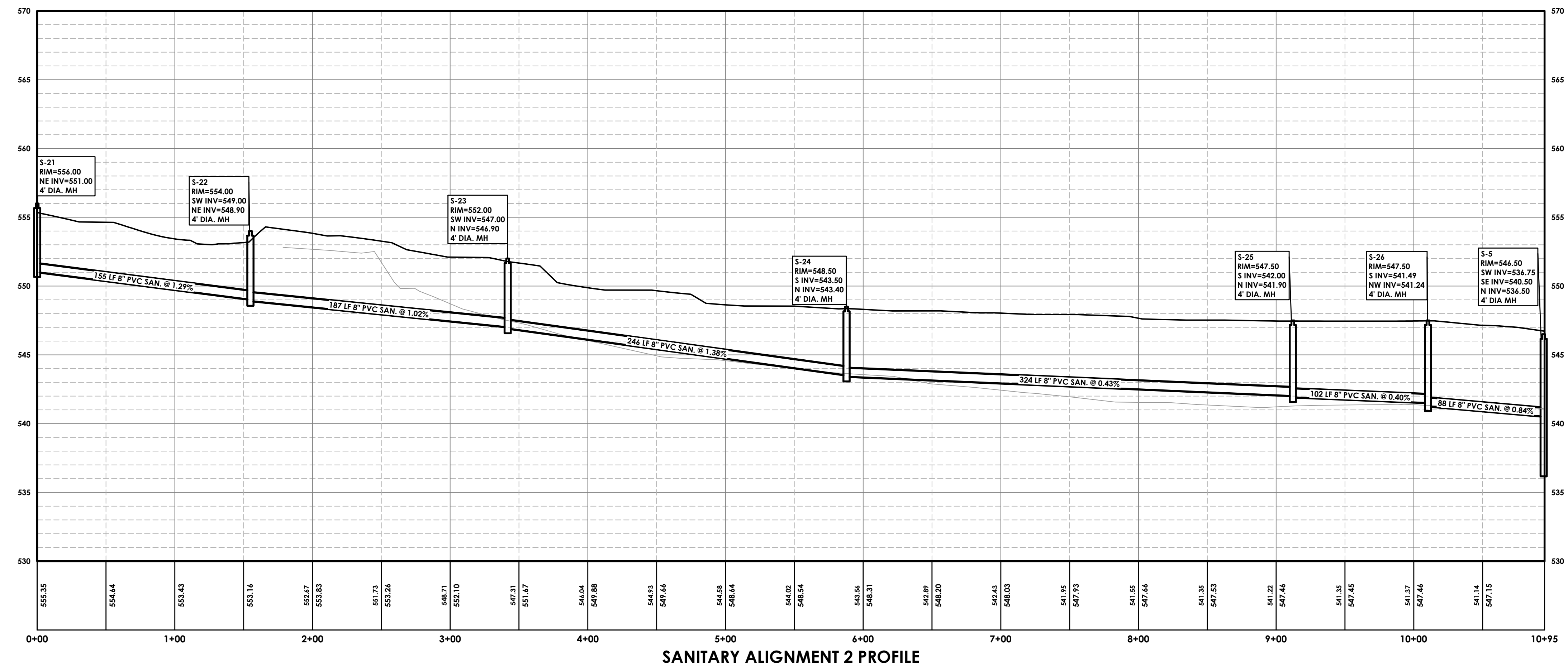
Project No.  
**20192793.0007**

Drawing No. **C 117** Sheet No. **17**

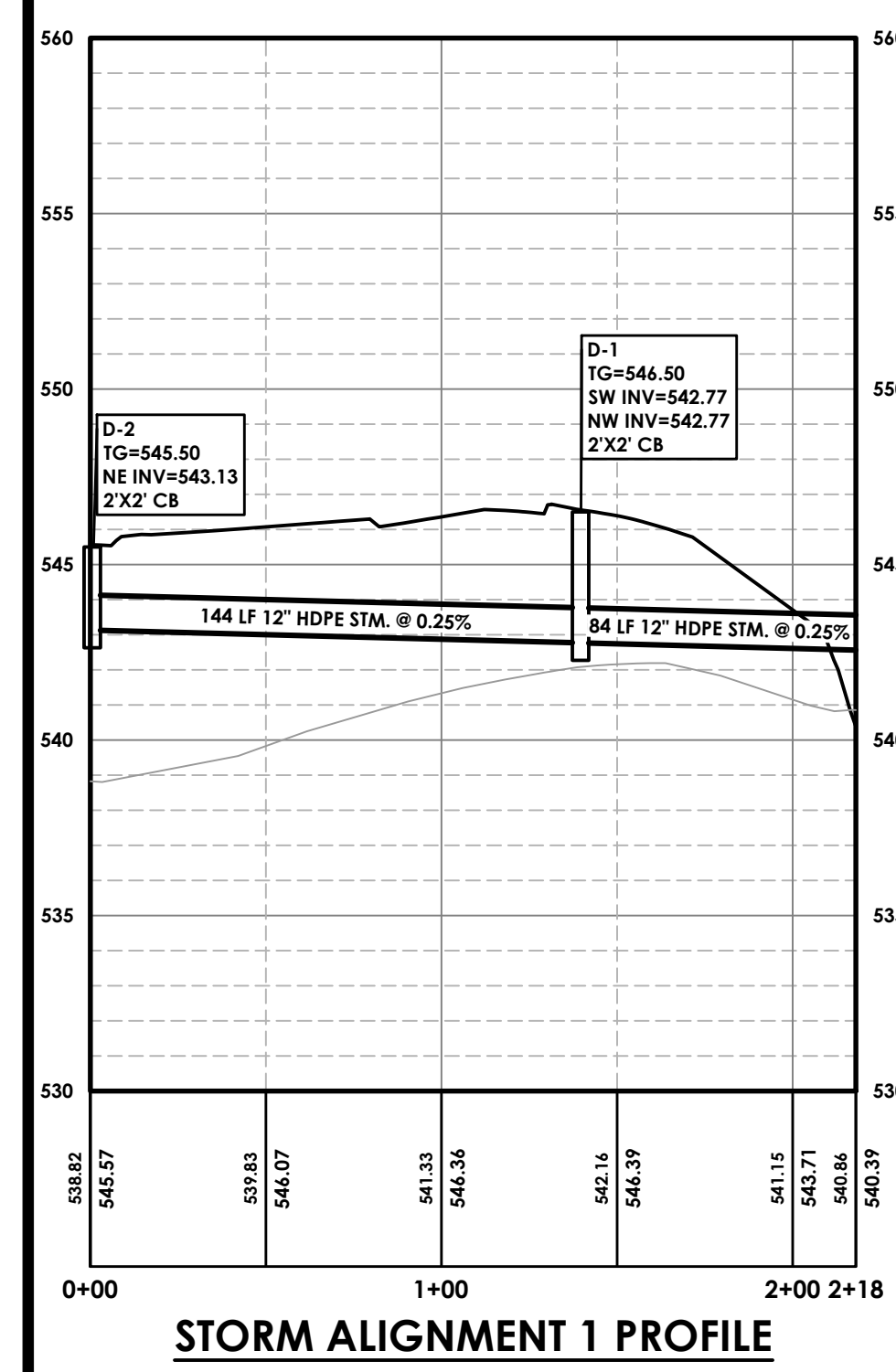
Scale: **1" = 50'**

Date  
**SEPTEMBER 2023**

NOT FOR CONSTRUCTION

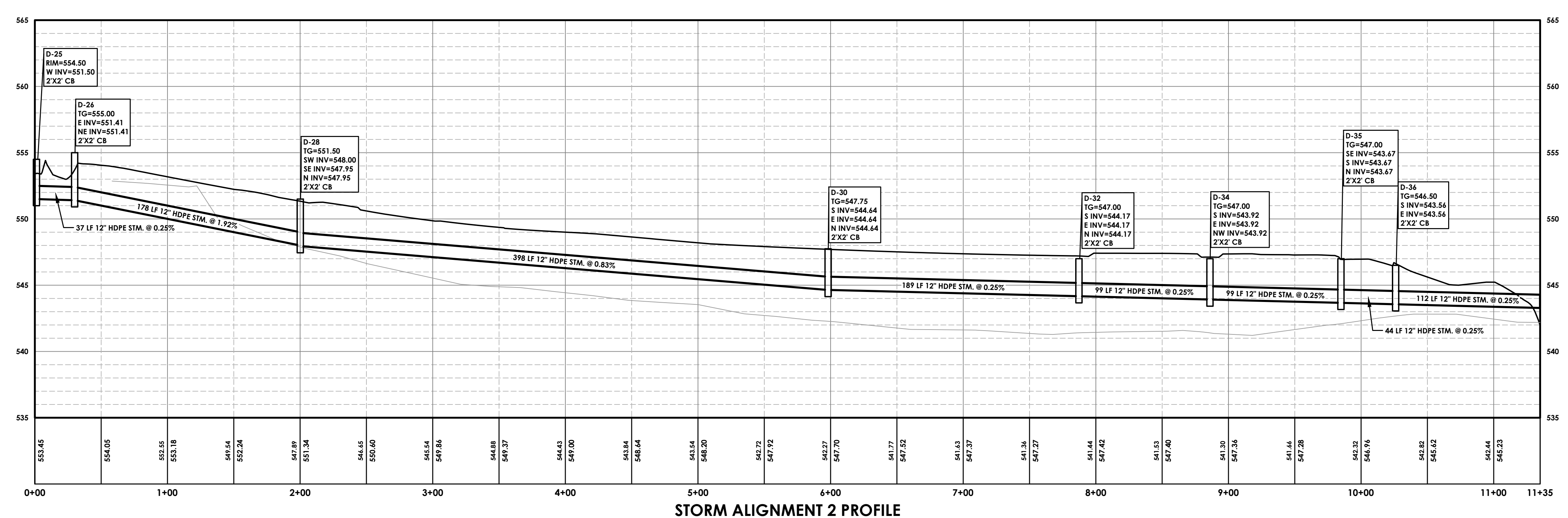


- PROFILE NOTES**
- ALL EARTH WORK SHALL BE COMPLETED PRIOR TO SANITARY SEWER AND WATER MAIN INSTALLATIONS.
  - ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
  - ALL LATERALS WITH LESS THAN 4 FEET OF COVER SHALL BE ENCASED IN 3000 P.S.I. CONCRETE.
  - ALL SANITARY AND STORM SEWER MANHOLE SHALL BE 4' DIA. UNLESS OTHERWISE SPECIFIED ON UTILITY PLAN.
  - MANHOLE RIM ELEVATION ARE SHOWN AS PROJECTION FROM CENTERLINE OF ROAD.



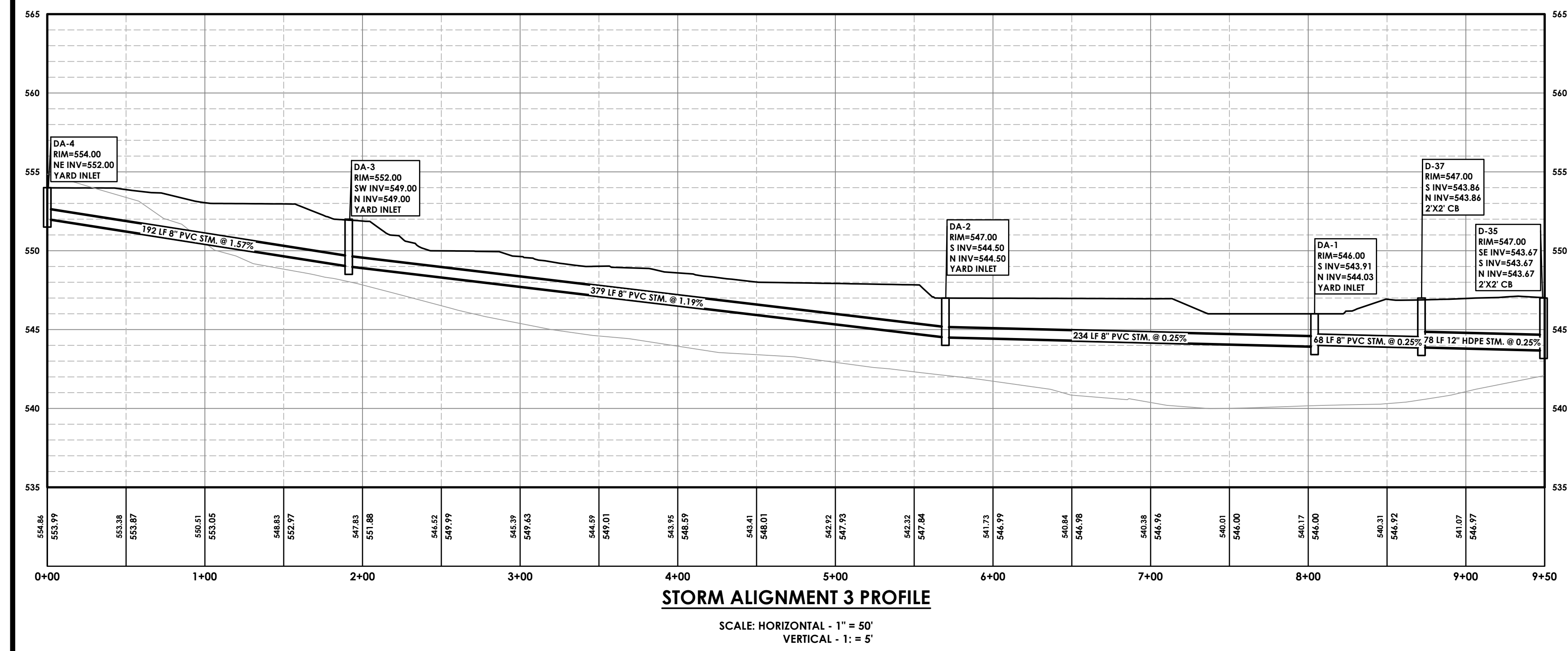
**STORM ALIGNMENT 1 PROFILE**

SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'



**STORM ALIGNMENT 2 PROFILE**

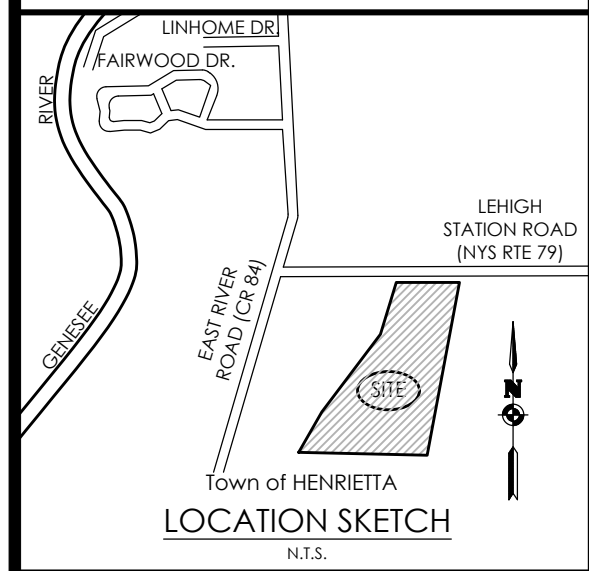
SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'



**STORM ALIGNMENT 3 PROFILE**

SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'

- PROFILE NOTES**
1. ALL EARTH WORK SHALL BE COMPLETED PRIOR TO SANITARY SEWER AND WATER MAIN INSTALLATIONS.
  2. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
  3. ALL LATERALS WITH LESS THAN 4 FEET OF COVER SHALL BE ENCASED IN 3000 P.S.I. CONCRETE.
  4. ALL SANITARY AND STORM SEWER MANHOLE SHALL BE 4' DIA. UNLESS OTHERWISE SPECIFIED ON UTILITY PLAN.
  5. MANHOLE RIM ELEVATION ARE SHOWN AS PROJECTION FROM CENTERLINE OF ROAD.



Client:  
**EAST RIVER HENRIETTA, LLC**  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



**Revisions**

No.	Date	By	Description

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**UTILITY PROFILES**

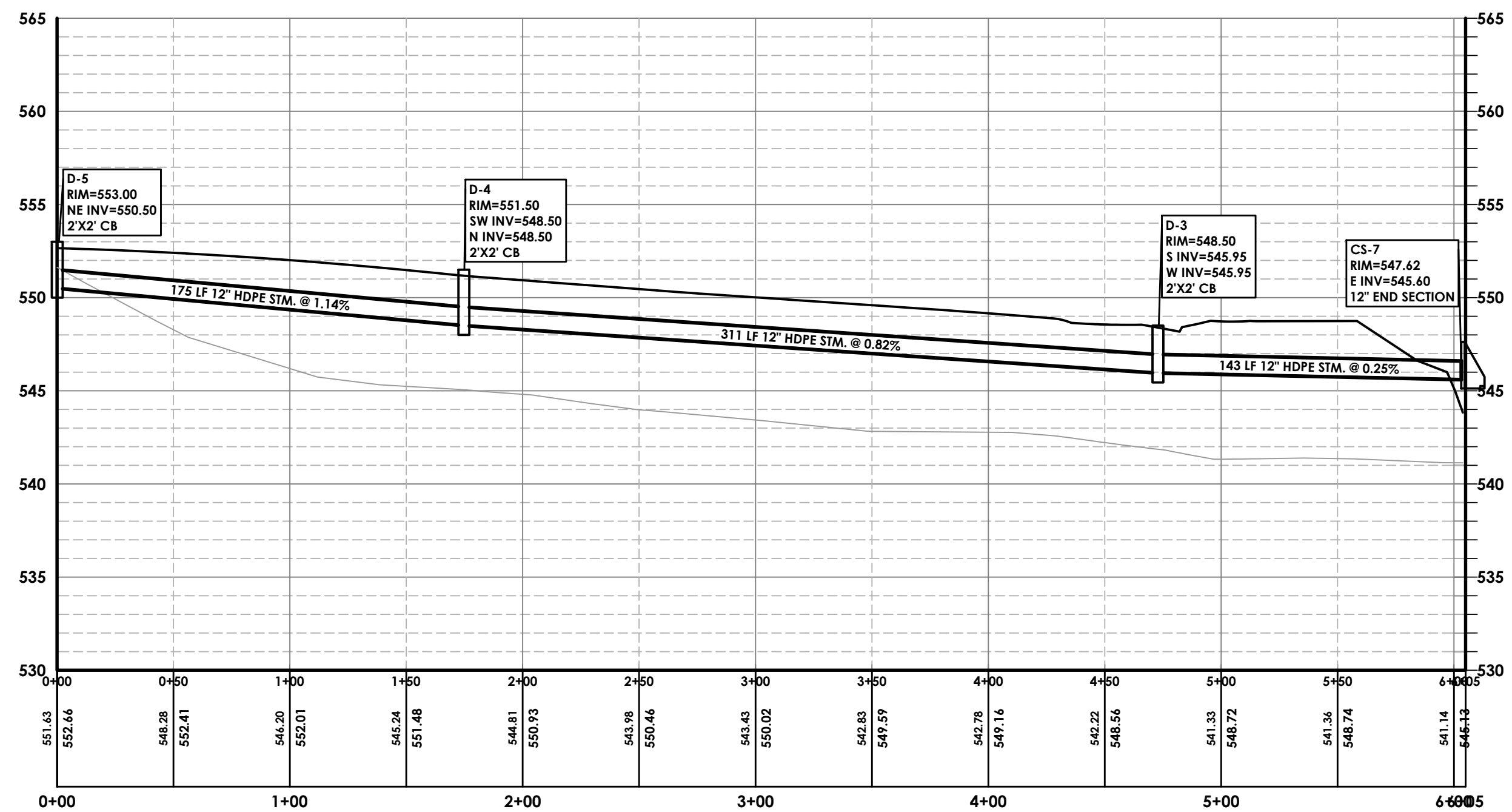
**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No:  
**20192793.0007**

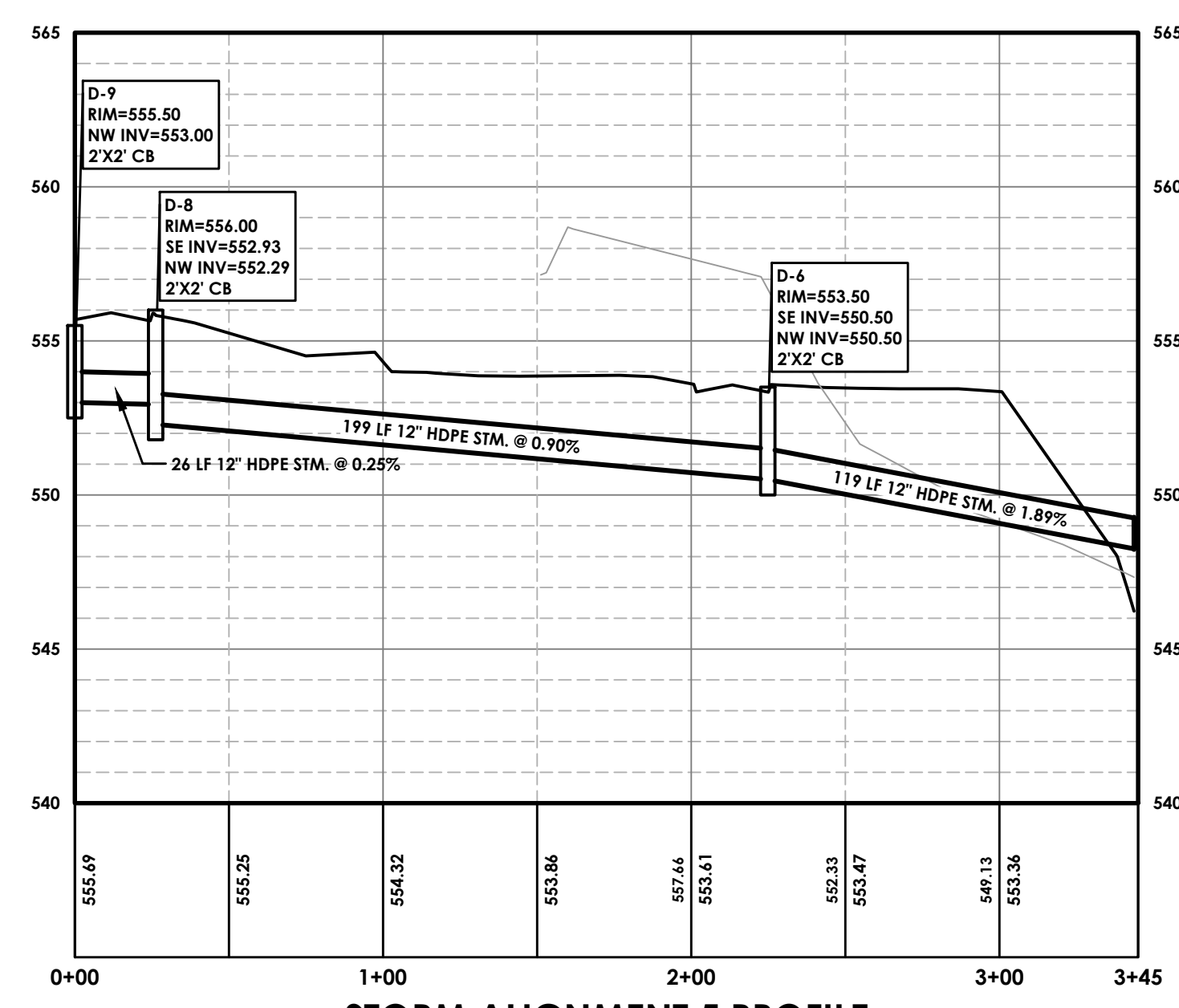
Drawing No. <b>C 118</b>	Sheet No. <b>18</b>
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Scale: **1" = 50'**

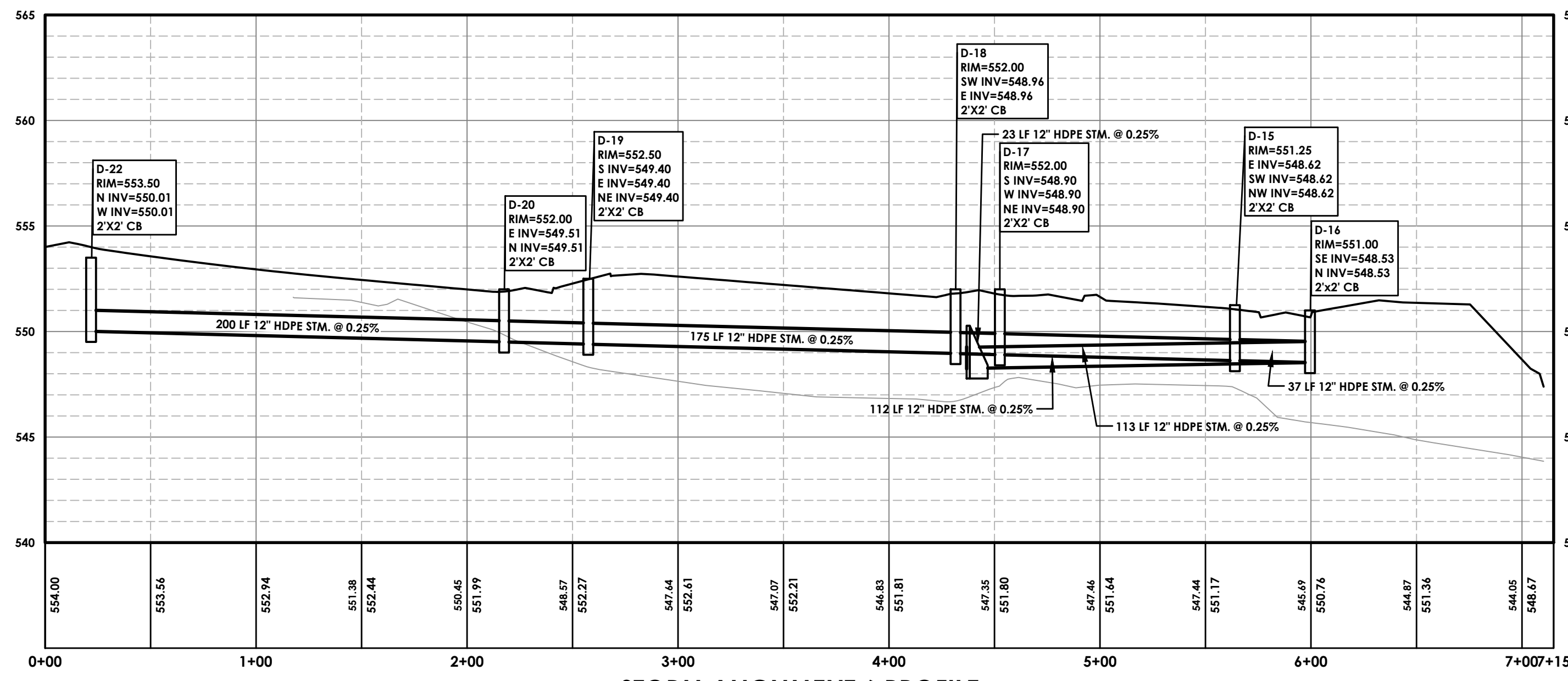
Date:  
**SEPTEMBER 2023**



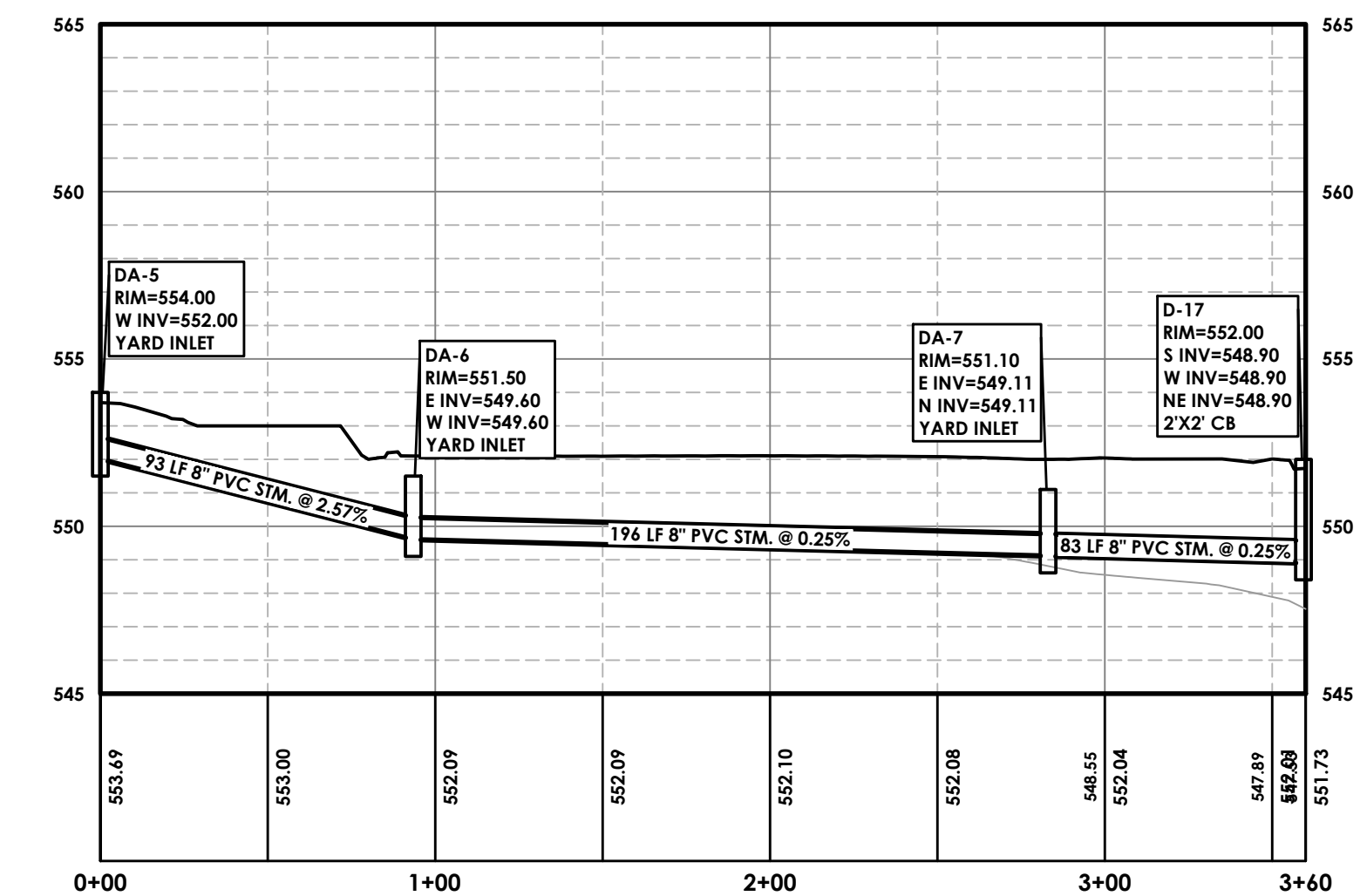
**STORM ALIGNMENT 4 PROFILE**  
 SCALE: HORIZONTAL - 1" = 50'  
 VERTICAL - 1" = 5'



**STORM ALIGNMENT 5 PROFILE**  
 SCALE: HORIZONTAL - 1" = 50'  
 VERTICAL - 1" = 5'

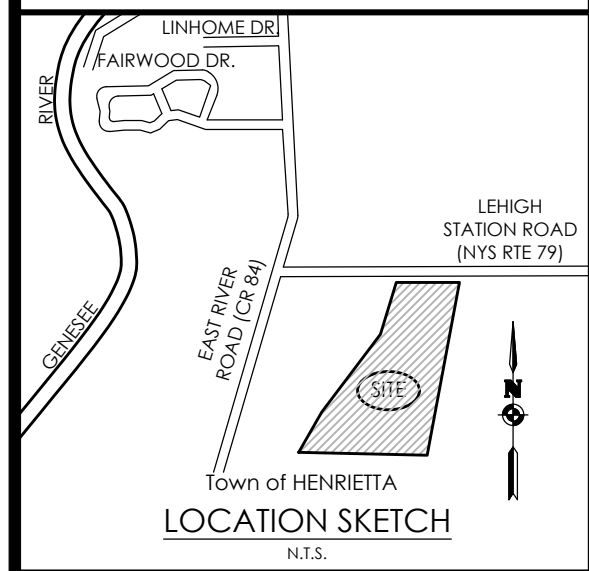


**STORM ALIGNMENT 6 PROFILE**  
 SCALE: HORIZONTAL - 1" = 50'  
 VERTICAL - 1" = 5'



**STORM ALIGNMENT 7 PROFILE**  
 SCALE: HORIZONTAL - 1" = 50'  
 VERTICAL - 1" = 5'

- PROFILE NOTES**
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  - MANHOLE RIM ELEVATION ARE SHOWN AS PROJECTION FROM CENTERLINE OF ROAD.



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 Principal-in-Charge: Jess D. Sudol, PE  
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Revisions

No.	Date	By	Description

**UTILITY PROFILES**

**RIVERS EDGE**  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. **C 119** Sheet No. **19**

Scale: **1" = 50'**

Date  
**SEPTEMBER 2023**

LEGEND - GRADING:

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED SLOPE STABILIZATION
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
	EXISTING STORM SEWER & MH
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	PROPOSED STONE CHECK DAM
	PROPOSED INLET PROTECTION
	PROPOSED TREE/BRUSH LINE
	EXISTING TREE/BRUSH LINE
	SILT FENCE
	TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
	BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
	PROPOSED PAD ELEVATION
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION

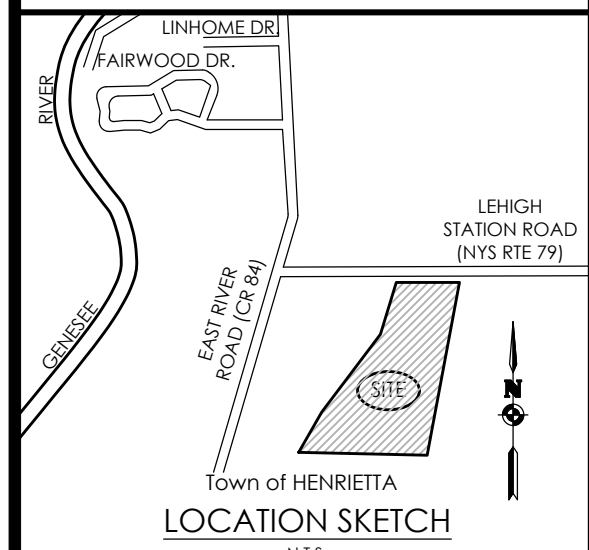
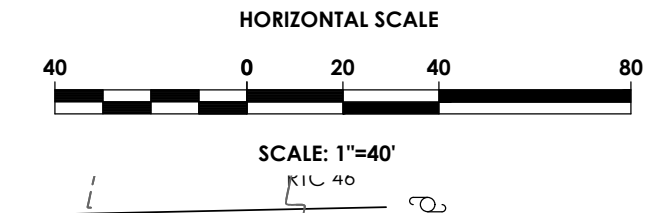
GRADING NOTES:

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
4. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.
5. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
6. THE PROPOSED STORMWATER MAINTENANCE FACILITIES WILL BE PRIVATE.

Type of Soil Disturbance	Soil Restoration Requirements	Comments/Examples
No soil disturbance	Restoration not required	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change to grade	Regrade A.A.R. and apply 6 inches of topsoil	Areas* and apply 6 inches of topsoil
Areas where topsoil is stripped and grade is changed	Regrade A.A.R. and apply 6 inches of topsoil	Preserve areas from any ongoing construction activities.
Areas of cut or fill	Regrade A.A.R. and apply 6 inches of topsoil	Apply full Soil Restoration**
Heavy traffic areas on site (especially in a area 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply Full Soil Restoration (de-compaction and compost enhancement)	
Areas where Rootoff® Reduction and/or Mulch/soil practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from covering these areas. To prevent newly installed practices from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be constructed in pervious area.	

\* Areas include the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, or roller with many spikes making indentations in the soil, or prong which function like a mass-subsoiler.  
 \*\* For "Deep Ripping and De-compaction, DEC 2006".

NYSDEC SOIL RESTORATION REQUIREMENTS



Client:  
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 ROCHESTER, NY, 14614

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 Designed by: Shari Kleis



No.	Date	By	Description

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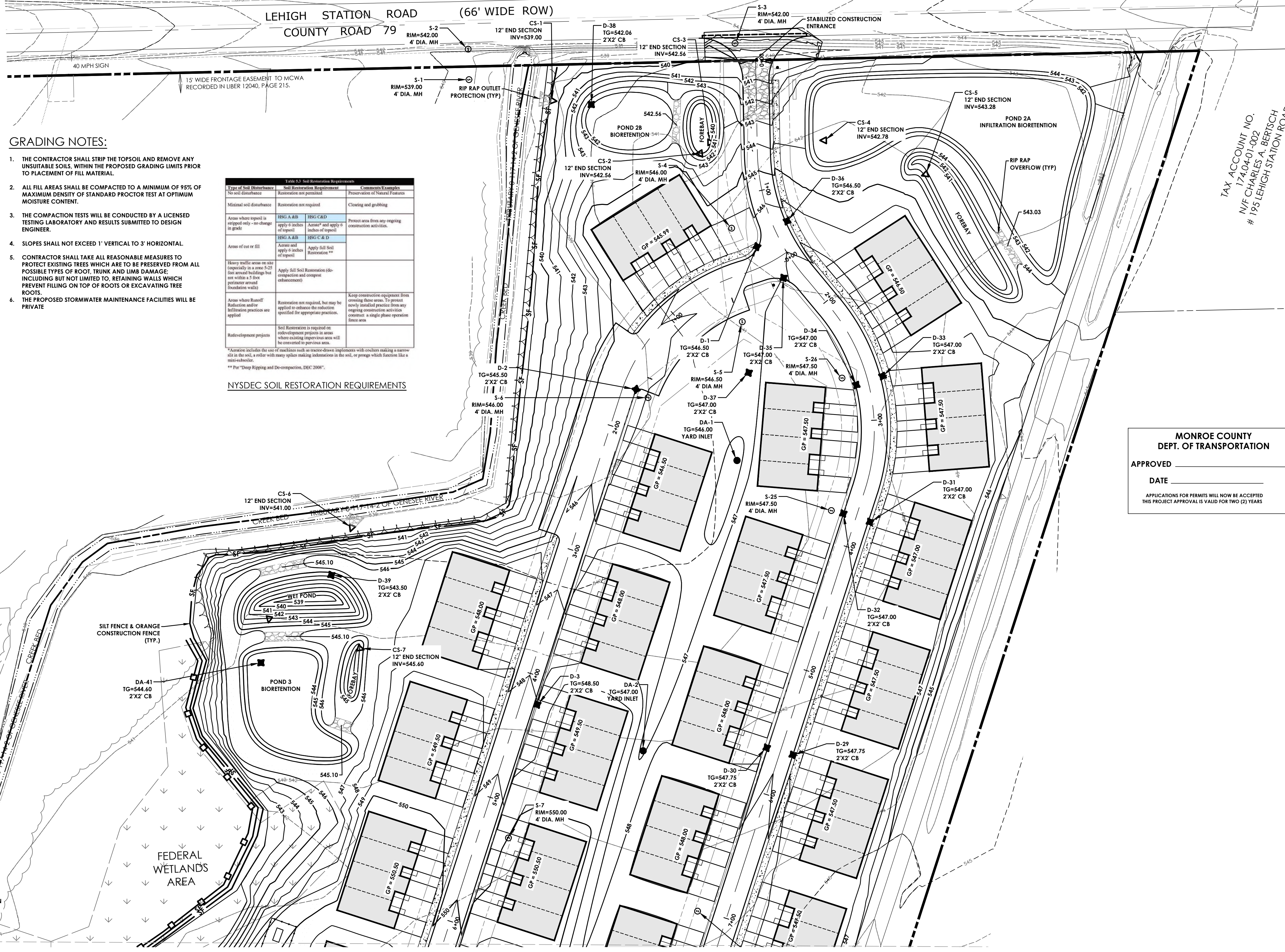
GRADING & EROSION CONTROL

RIVERS EDGE  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

Project No.  
**20192793.0007**  
 Drawing No. C 120 Sheet No. 20  
 Scale: 1" = 40'

Date  
 SEPTEMBER 2023

NOT FOR CONSTRUCTION



MATCH LINE SEE SHEET 16

If you excavate anywhere in New York State, except NYC or Long Island, call  
**Dig Safely. New York**  
 1-800-962-7962  
 i-Notice = www.DigSafelyNewYork.com

LEGEND - GRADING:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SLOPE STABILIZATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER, INLET
- PROPOSED STORM SEWER & MH
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- PROPOSED SLOPE STABILIZATION
- TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- PROPOSED PAD ELEVATION
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

GRADING NOTES:

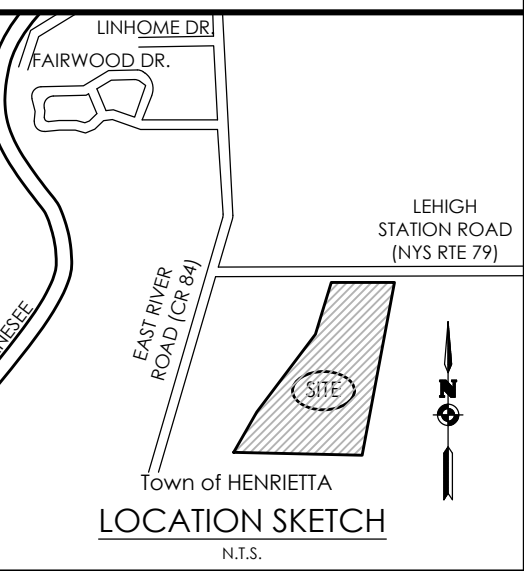
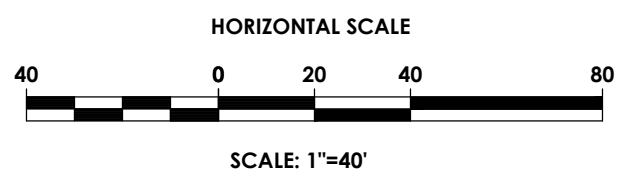
- THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
- THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
- SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.
- CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
- THE PROPOSED STORMWATER MAINTENANCE FACILITIES WILL BE PRIVATE

Type of Soil Disturbance	Soil Restoration Requirements	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Cleaning and grubbing
Areas where topsoil is stripped only - no change in grade	HS&G A & B Apply 6 inches of topsoil	Protect areas from any ongoing construction activities.
Areas of cut or fill	HS&G A & B Apply 6 inches of topsoil	Restoration **
Heavy traffic areas on site (especially for a area 5'x2' foot around buildings but not within 4' foot perimeter around foundation walls)	Apply Full Soil Restoration (de-compaction and compact enhancement)	
Areas where "Best" practices are applied	Restoration not required, but may be applied to enhance the restoration specified in the appropriate provision.	Keep construction equipment from covering these areas. To protect newly installed practices from any ongoing construction activities conduct a single phase operation (once area)
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious areas will be converted to pervious areas.	

\* "Best" practices include the use of machines such as tractor-drawn implements with rollers making a narrow slit in the soil, a roller with rotary spikes making indentations in the soil, or prongs which function like a rain-hatchet.  
 \*\* "Deep Ripping and De-compaction, DEC 2006".

NYSDEC SOIL RESTORATION REQUIREMENTS

MATCH LINE SEE SHEET 15



Client:  
 EAST RIVER HENRIETTA, LLC  
 64 COMMERCIAL STREET  
 SUITE 401  
 ROCHESTER, NY, 14614

PASSERO ASSOCIATES  
 242 West Main Street Suite 100  
 Rochester, New York 14614  
 (585) 325-1000  
 Fax: (585) 325-1691  
 Principal-in-Charge: Jess D. Sudol, PE  
 Project Manager: Andrew Burns, EIT  
 Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

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 1-800-962-7962  
 i-Notice = www.DigSafelyNewYork.com

MONROE COUNTY  
 DEPT. OF TRANSPORTATION  
 APPROVED \_\_\_\_\_  
 DATE \_\_\_\_\_  
 APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED  
 THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

GRADING & EROSION CONTROL

RIVERS EDGE  
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

Project No. <b>20192793.0007</b>
Drawing No. Sheet No. <b>C 121 21</b>
Scale: <b>1" = 40'</b>
Date <b>SEPTEMBER 2023</b>

LEGEND - GRADING:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SLOPE STABILIZATION
- 520 EXISTING MAJOR CONTOUR
- 521 EXISTING MINOR CONTOUR
- 520 PROPOSED MAJOR CONTOUR
- 521 PROPOSED MINOR CONTOUR
- SF EXISTING SILT FENCE
- PROPOSED STORM SEWER, INLET
- MH, CS & END SECTION
- CB EXISTING STORM SEWER & MH
- PROPOSED SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- PP EXISTING ELECTRIC LINE & POLE
- LP EXIST. LIGHT POLE
- MH EXIST. ELECTRIC MANHOLE
- HH EXIST. ELECTRIC HANDHOLE
- GV EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SF EXISTING SILT FENCE
- TC:492.9 BC:492.4 TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R) BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- F.P. = 492.9 PROPOSED PAD ELEVATION
- F.F. = 492.9 PROPOSED FINISHED FLOOR ELEVATION
- X 492.7 492.7 PROPOSED SPOT ELEVATION
- X 491.5 EXISTING SPOT ELEVATION

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MONROE COUNTY DEPT. OF TRANSPORTATION  
APPROVED \_\_\_\_\_  
DATE \_\_\_\_\_  
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED  
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

GRADING NOTES:

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
4. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.
5. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
6. THE PROPOSED STORMWATER MAINTENANCE FACILITIES WILL BE PRIVATE.

Table A-3 Soil Restoration Requirements

Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
Minimal soil disturbance	Restoration not required	Preservation of Natural Features
Areas where topsoil is stripped only - no change in grade	HSG A, B, C, D Apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A, B, C, D Apply and apply 6 inches of topsoil	Apply full Soil Restoration (de-compaction and overtop)
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	HSG C, D Apply full Soil Restoration (de-compaction and overtop)	
Areas where blasting/Reduction and/or ballistics practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from coming close areas. To prevent newly installed practices from any ongoing construction activities, construct a single phase operation fence area.
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious areas will be converted to pervious areas.	

\*Aeration includes the use of machines such as tractor-drawn implements with culture making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-trencher.  
\*\* For "Deep Ripping and De-compaction, EMC 2008".

NYSDEC SOIL RESTORATION REQUIREMENTS

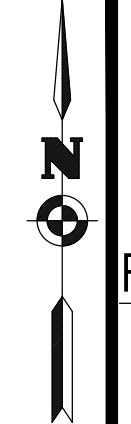
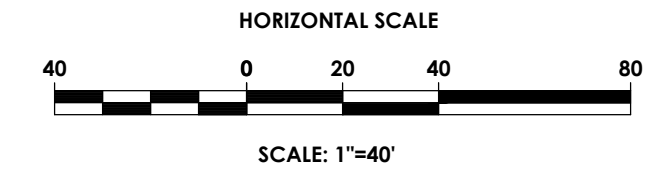
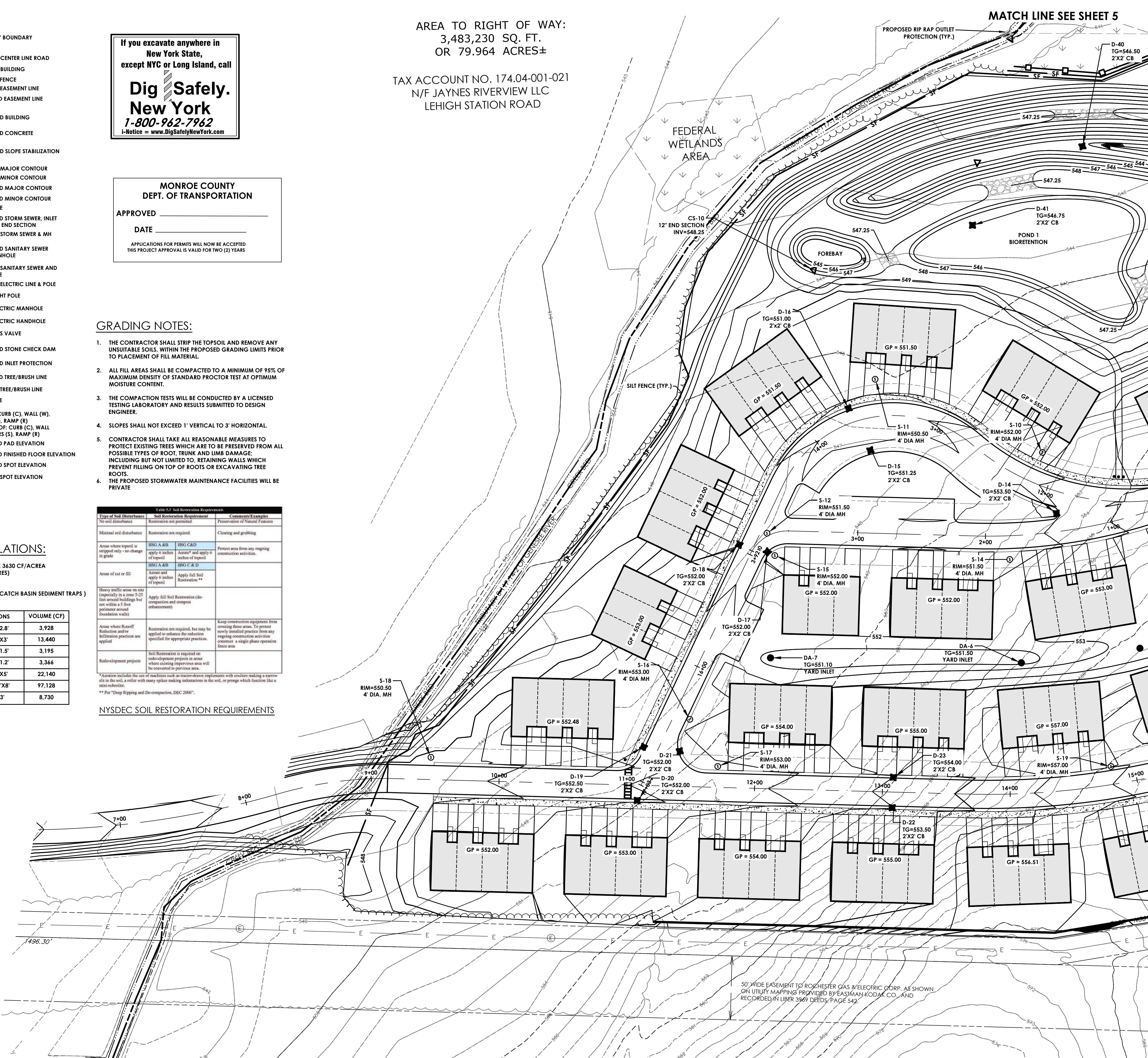
SEDIMENT TRAP CALCULATIONS:

REQUIRED CF = TOTAL DISTURBED ACRES X 3430 CF/ACRE  
= 34.2 ACRES (3430 CF/ACRES)  
= 131406 CF

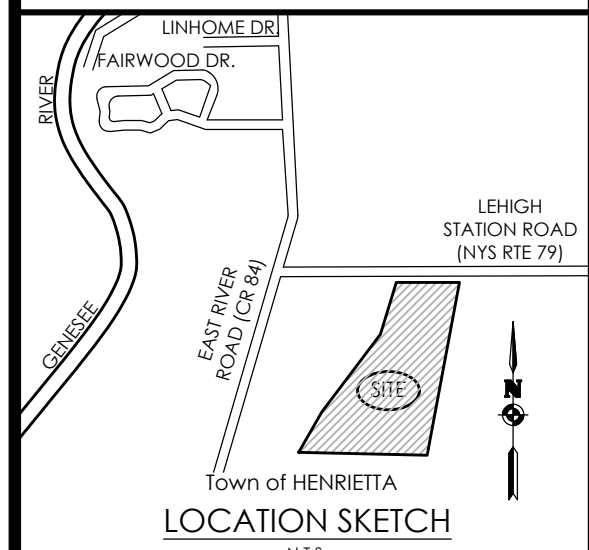
PROPOSED CF = 151,927 CF ( INCLUDING CATCH BASIN SEDIMENT TRAPS )

STRUCTURE	DIMENSIONS	VOLUME (CF)
DA-4.5.2	61'X23'X2.8'	3,928
DA	112'X39'X3'	13,440
D-4.9	71'X30'X1.5'	3,195
D-11.2	85'X33'X1.2'	3,366
D	108'X41'X5'	22,140
BIO-1-END	213'X14'X8'	97,128
TEMP. SEDIMENT TRAP	97'X30'3'	8,730

AREA TO RIGHT OF WAY:  
3,483,230 SQ. FT.  
OR 79.964 ACRES±  
TAX ACCOUNT NO. 174.04-001-021  
N/F JAYNES RIVERVIEW LLC  
LEHIGH STATION ROAD



MATCH LINE SEE SHEET 5



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

PASSERO ASSOCIATES  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions

No.	Date	By	Description

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GRADING & EROSION CONTROL

RIVERS EDGE  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TRENKLE & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

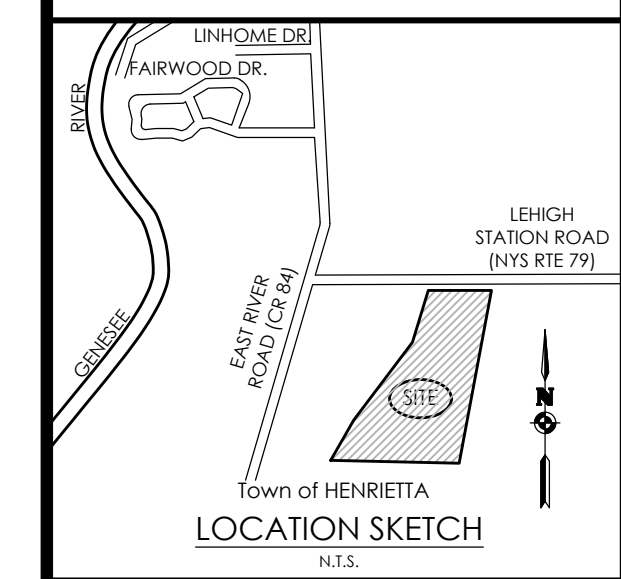
Project No.  
**20192793.0007**  
Drawing No. **C 122** Sheet No. **22**  
Scale: **1" = 40'**  
Date: **SEPTEMBER 2023**

NOT FOR CONSTRUCTION





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engineering architecture



Client:  
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64 COMMERCIAL STREET  
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No.	Date	By	Description

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### ROAD PROFILES

RIVERS EDGE  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

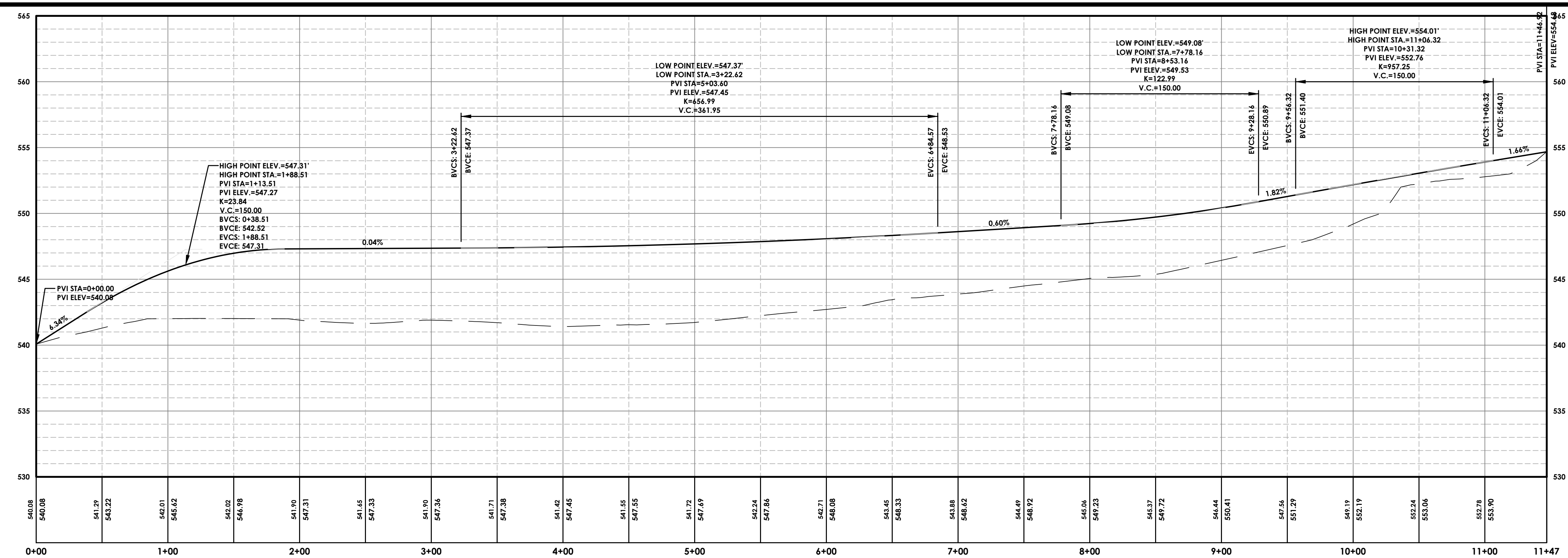
Project No.  
**20192793.0007**

Drawing No. **C 123** Sheet No. **23**

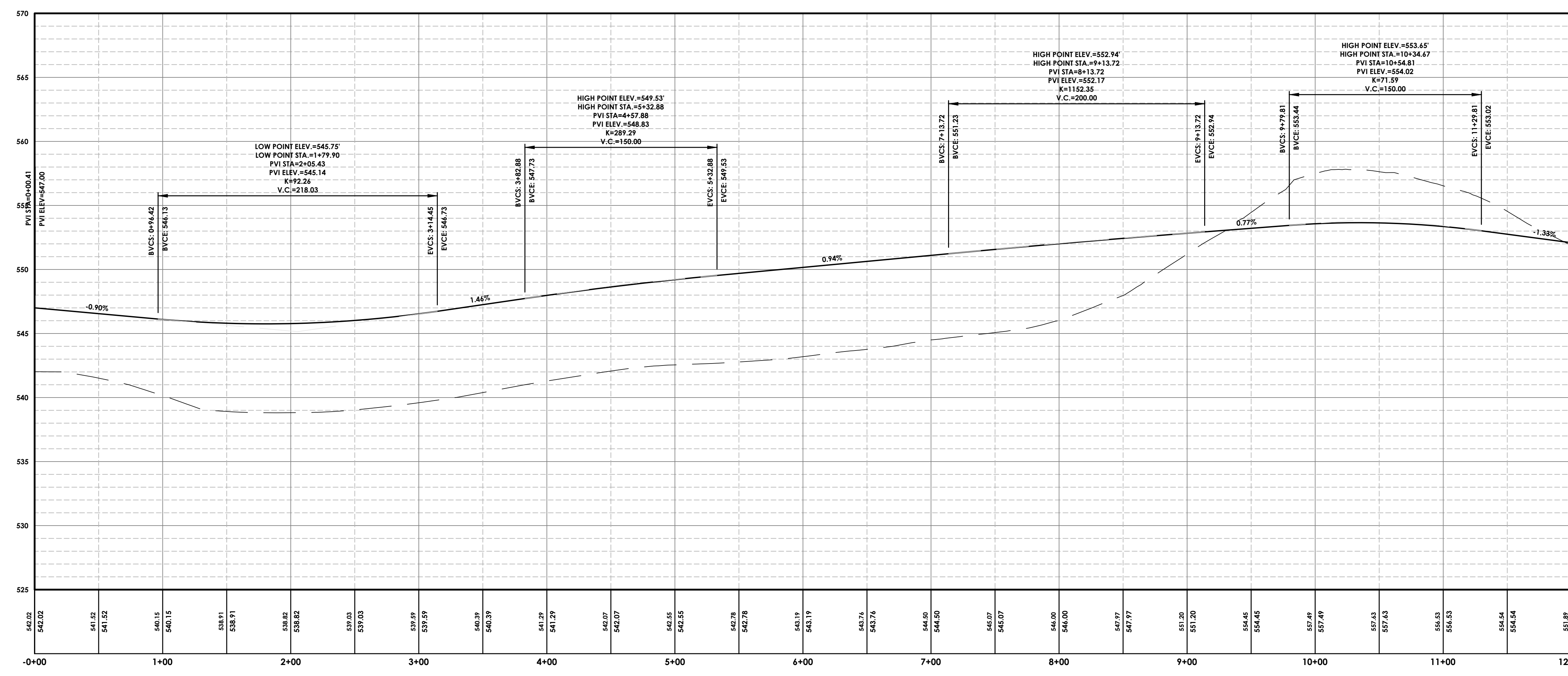
Scale: **1" = 50'**

Date  
**SEPTEMBER 2023**

NOT FOR CONSTRUCTION



**ROAD A PROFILE**  
SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'

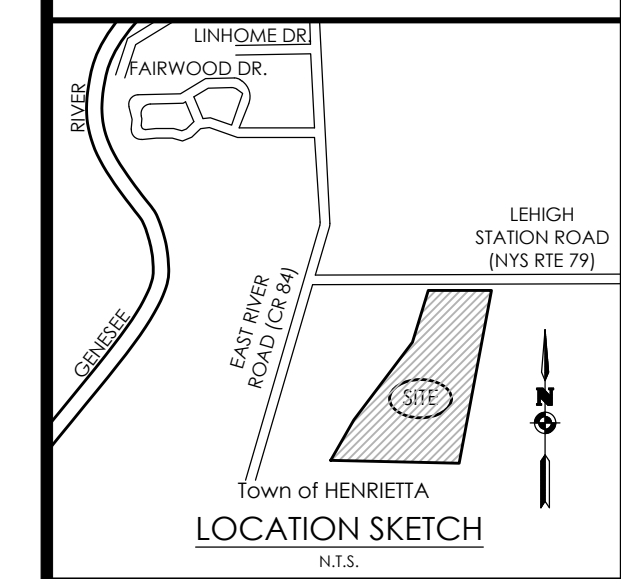


**ROAD B PROFILE**  
SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'

MATCH LINE SEE SHEET 20



PASSERO ASSOCIATES  
engineering architecture



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

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242 West Main Street Suite 100  
Rochester, New York 14614  
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Revisions

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**ROAD PROFILES**

RIVERS EDGE  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

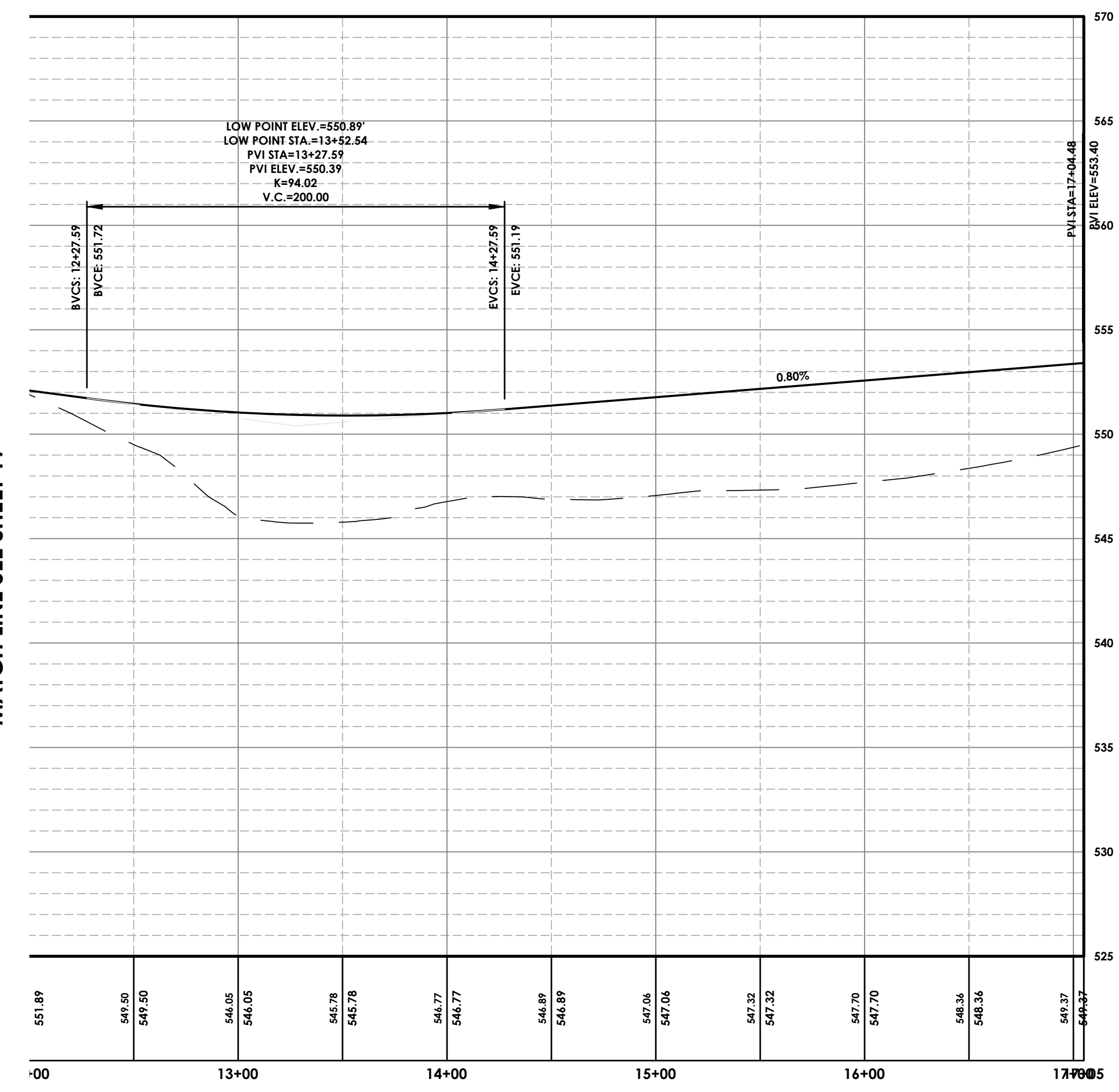
Project No.  
**20192793.0007**

Drawing No. <b>C 124</b>	Sheet No. <b>24</b>
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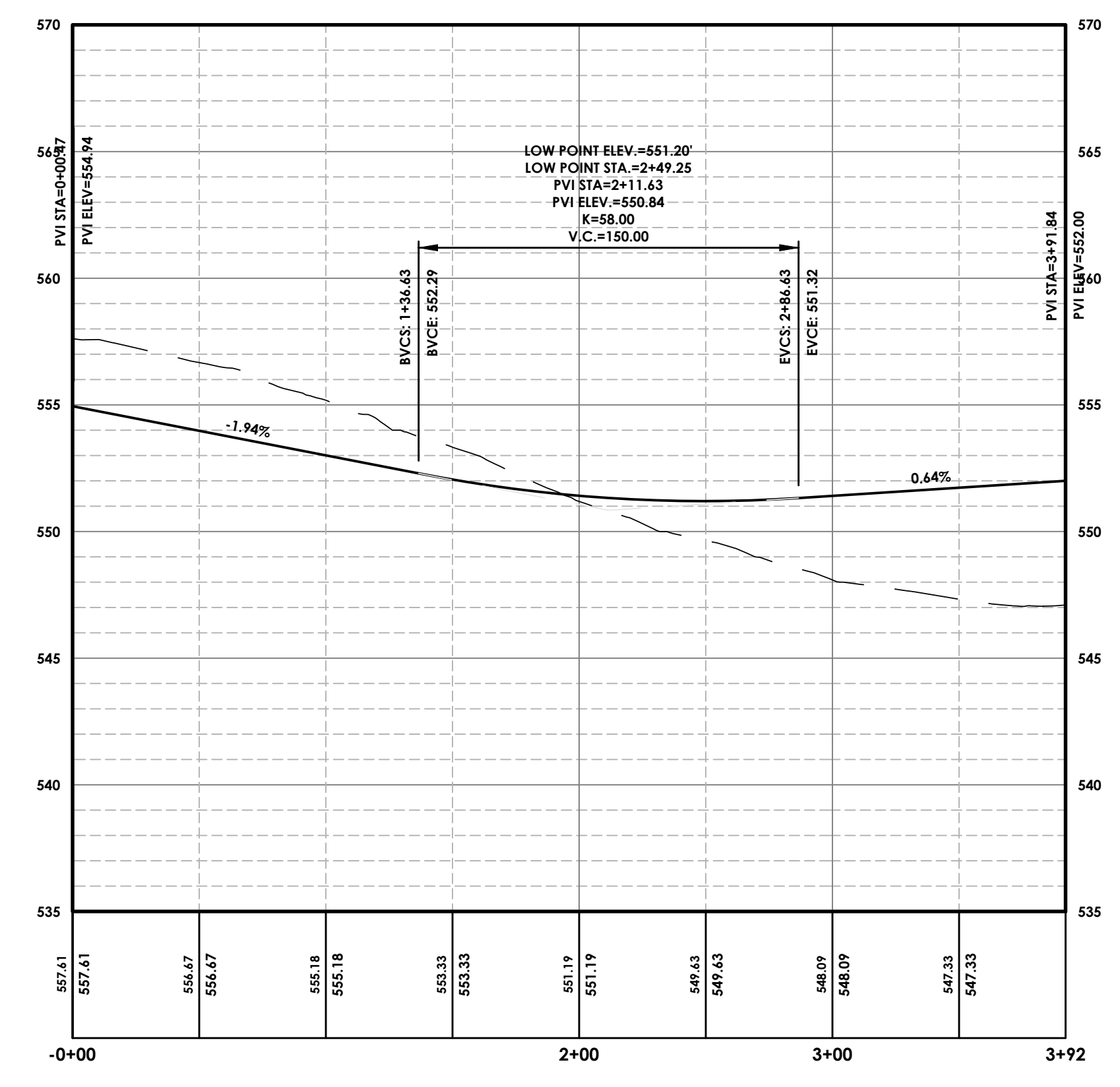
Scale:  
**1" = 50'**

Date  
**SEPTEMBER 2023**

MATCH LINE SEE SHEET 19



**ROAD B PROFILE**  
SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'

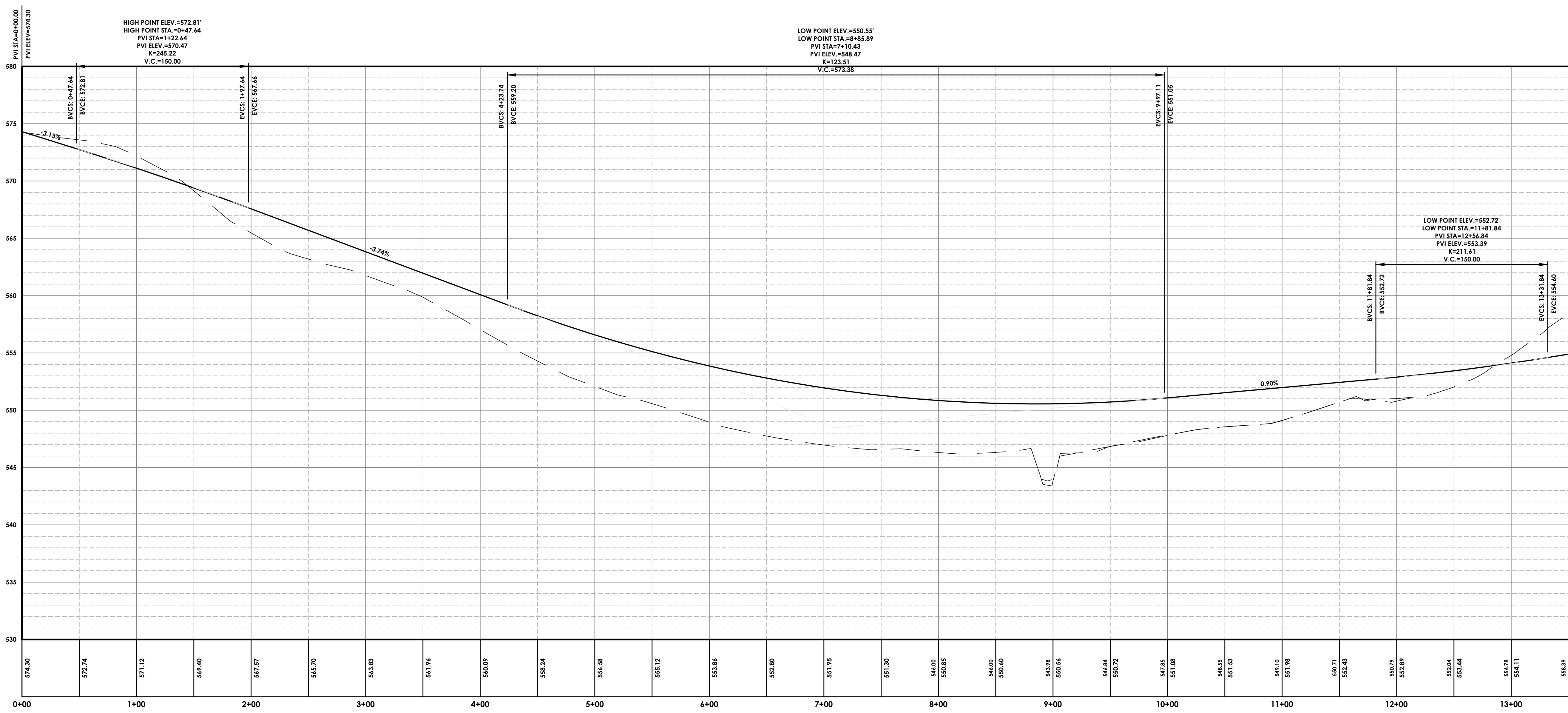


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VERTICAL - 1" = 5'

NOT FOR CONSTRUCTION

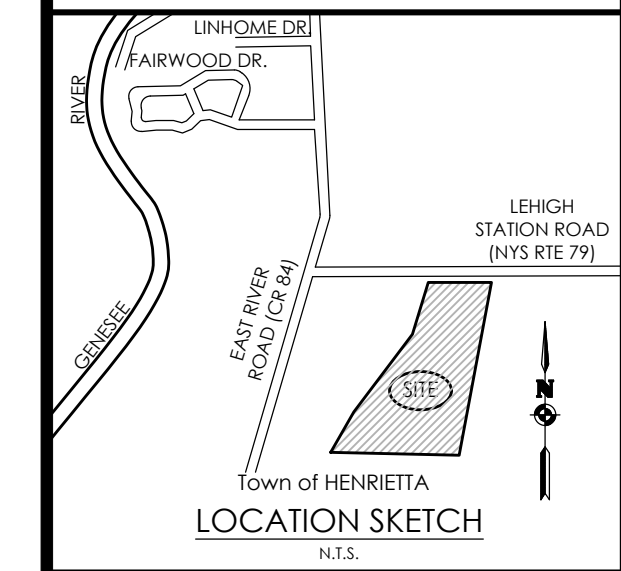


PASSERO ASSOCIATES  
engineering architecture



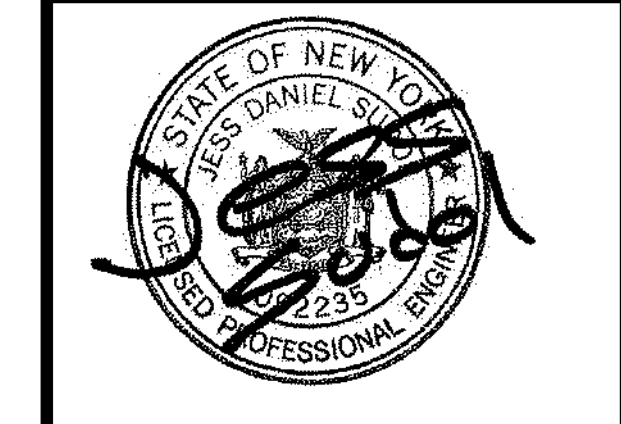
ROAD D PROFILE  
SCALE HORIZONTAL - 1" = 50'  
VERTICAL - 1" = 5'

MATCH LINE SEE SHEET 22



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

PASSERO ASSOCIATES  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions			
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ROAD PROFILES

RIVERS EDGE  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
20192793.0007

Drawing No. C 125 Sheet No. 25

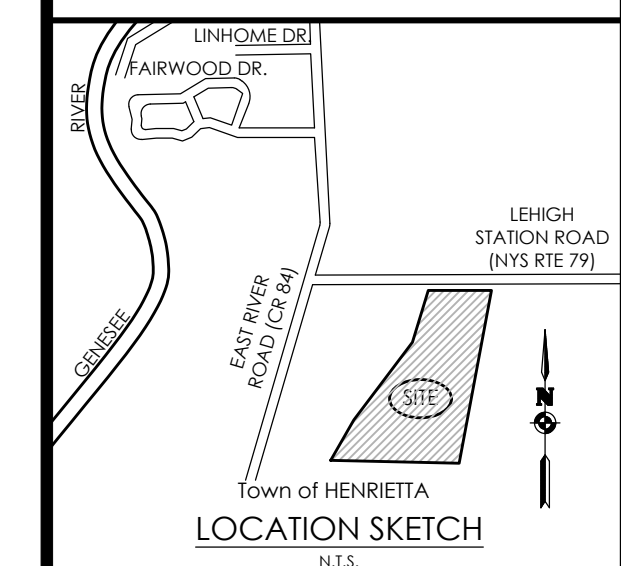
Scale: 1" = 50'

Date: SEPTEMBER 2023

NOT FOR CONSTRUCTION



PASSERO ASSOCIATES  
engineering architecture



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
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Principal-in-Charge: Jess D. Sudol, PE  
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Designed by: Shari Kleis



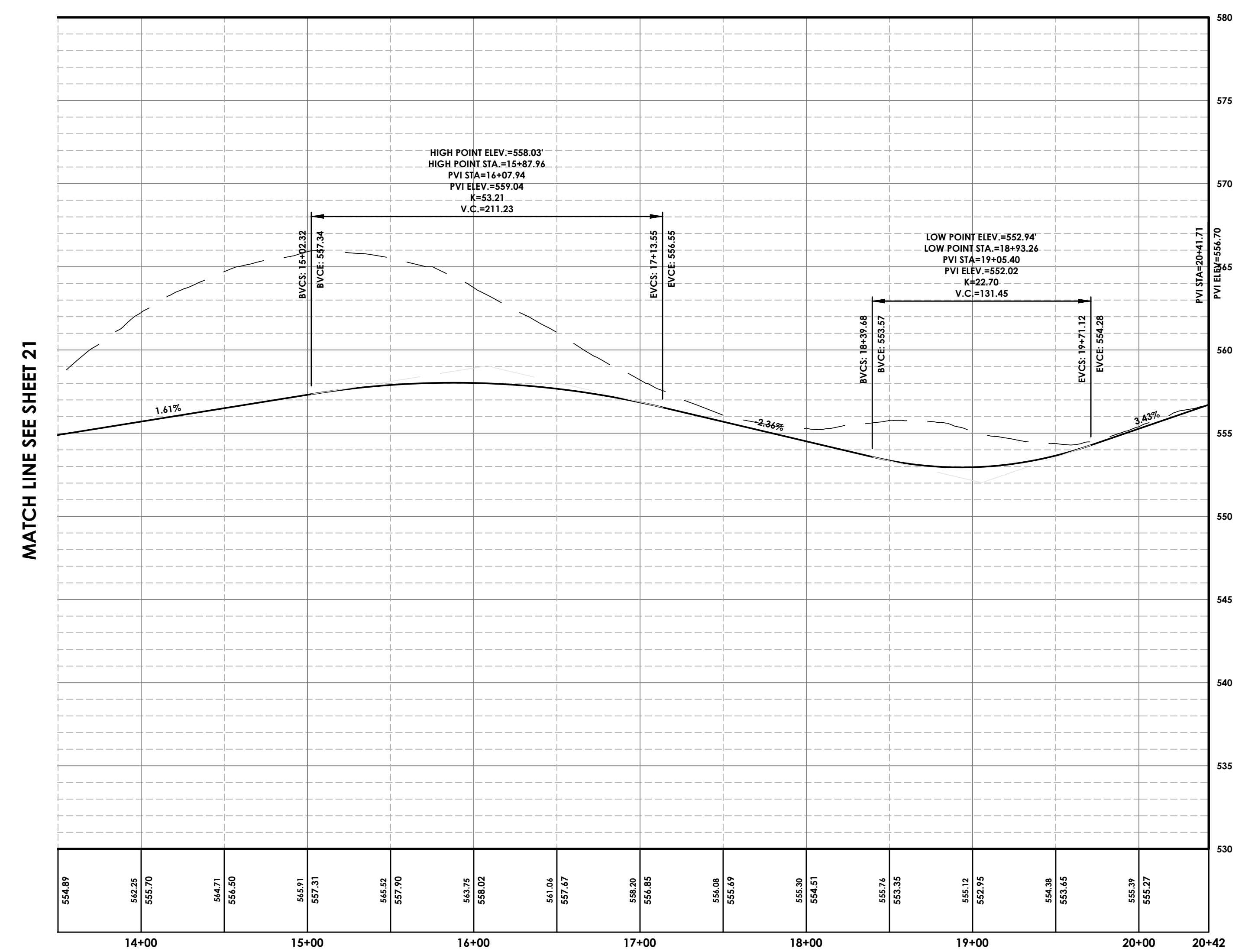
Revisions			
No.	Date	By	Description

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### ROAD PROFILES

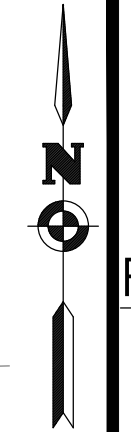
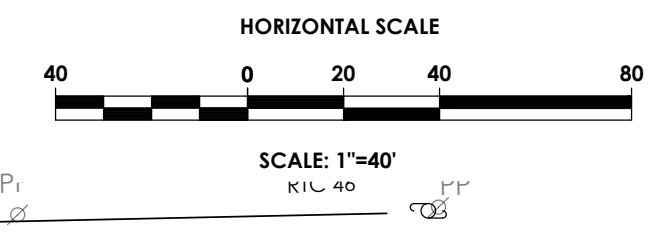
**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No. <b>20192793.0007</b>	
Drawing No. <b>C 126</b>	Sheet No. <b>26</b>
Scale: <b>1" = 50'</b>	
Date: <b>SEPTEMBER 2023</b>	



MATCH LINE SEE SHEET 21

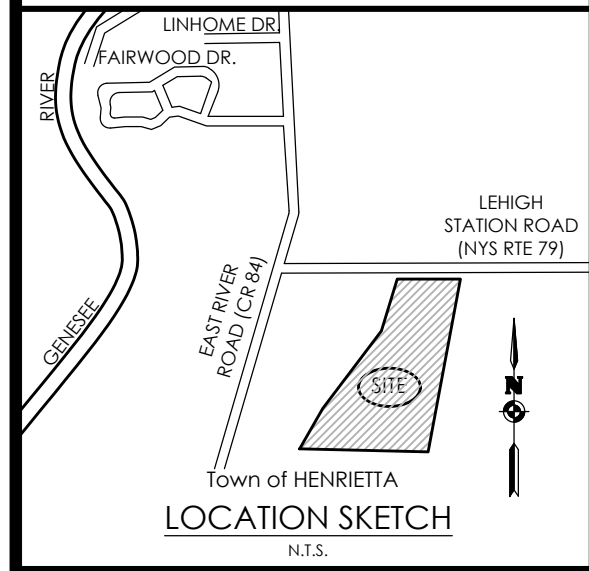
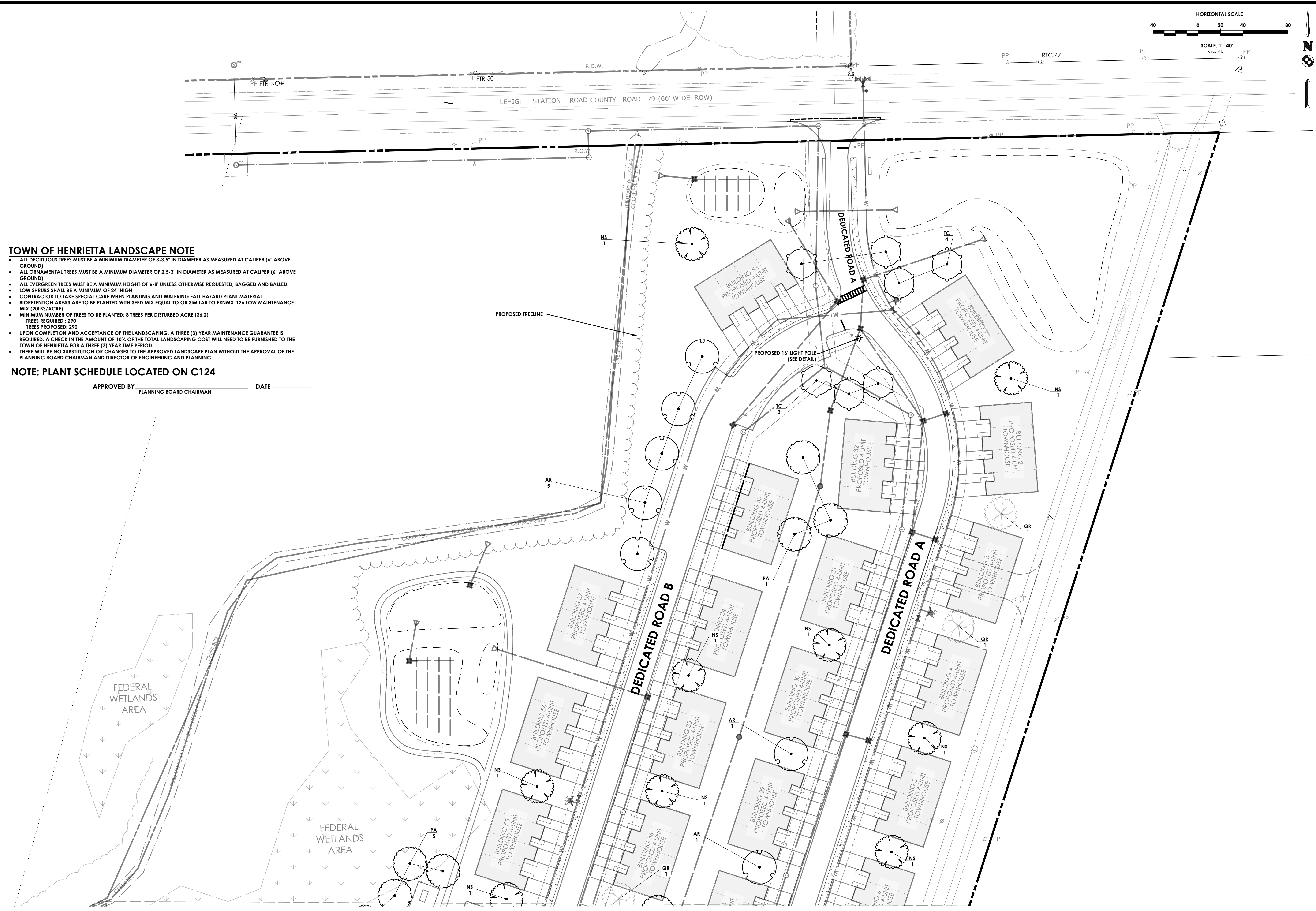
NOT FOR CONSTRUCTION



- TOWN OF HENRIETTA LANDSCAPE NOTE**
- ALL DECIDUOUS TREES MUST BE A MINIMUM DIAMETER OF 3-3.5" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
  - ALL ORNAMENTAL TREES MUST BE A MINIMUM DIAMETER OF 2.5-3" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
  - ALL EVERGREEN TREES MUST BE A MINIMUM HEIGHT OF 4-8' UNLESS OTHERWISE REQUESTED, BAGGED AND BALLED.
  - LOW SHRUBS SHALL BE A MINIMUM OF 24" HIGH
  - CONTRACTOR TO TAKE SPECIAL CARE WHEN PLANTING AND WATERING FALL HAZARD PLANT MATERIAL.
  - BIORETENTION AREAS ARE TO BE PLANTED WITH SEED MIX EQUAL TO OR SIMILAR TO ERNMX-126 LOW MAINTENANCE MIX (20LBS/ACRE)
  - MINIMUM NUMBER OF TREES TO BE PLANTED: 8 TREES PER DISTURBED ACRE (36.2)
  - TREES REQUIRED : 290
  - TREES PROPOSED: 290
  - UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA FOR A THREE (3) YEAR TIME PERIOD.
  - THERE WILL BE NO SUBSTITUTION OR CHANGES TO THE APPROVED LANDSCAPE PLAN WITHOUT THE APPROVAL OF THE PLANNING BOARD CHAIRMAN AND DIRECTOR OF ENGINEERING AND PLANNING.

**NOTE: PLANT SCHEDULE LOCATED ON C124**

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

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Principal-in-Charge: Jess D. Sudol, PE  
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**LANDSCAPING AND LIGHTING PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, FRELPH'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

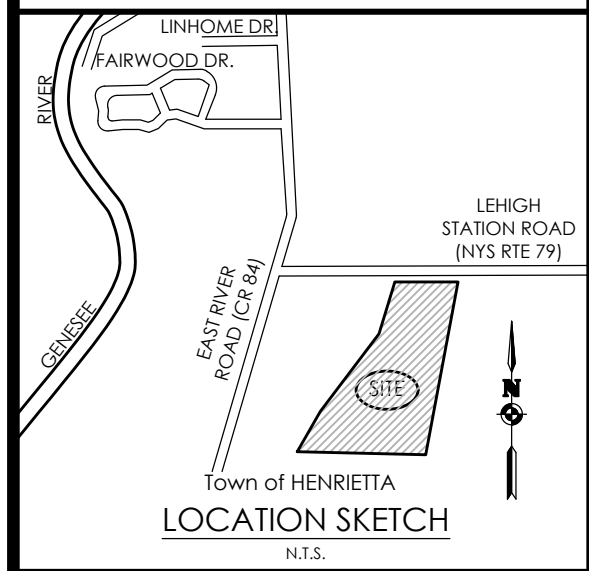
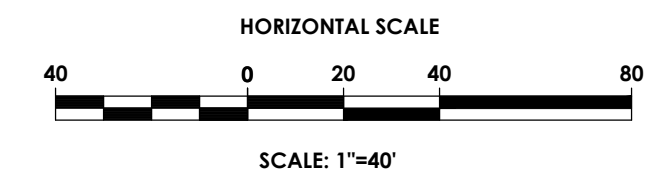
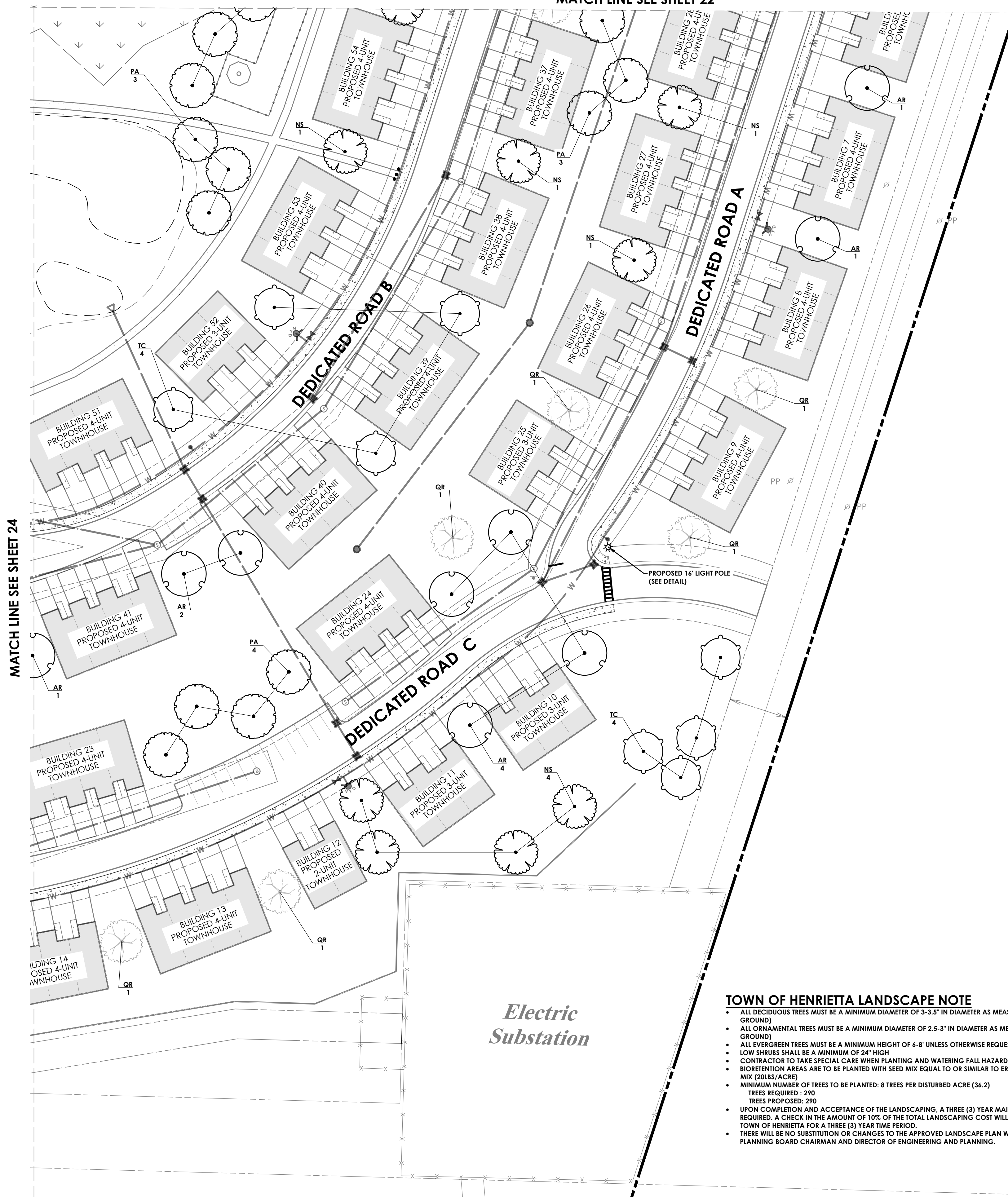
Drawing No. Sheet No.  
**C 122 22**

Scale: **1" = 40'**

Date:  
**SEPTEMBER 2023**

MATCH LINE SEE SHEET 23

MATCH LINE SEE SHEET 22



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleits



Revisions			
No.	Date	By	Description

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**LANDSCAPING AND LIGHTING PLAN**

**RIVERS EDGE**  
BENIG PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

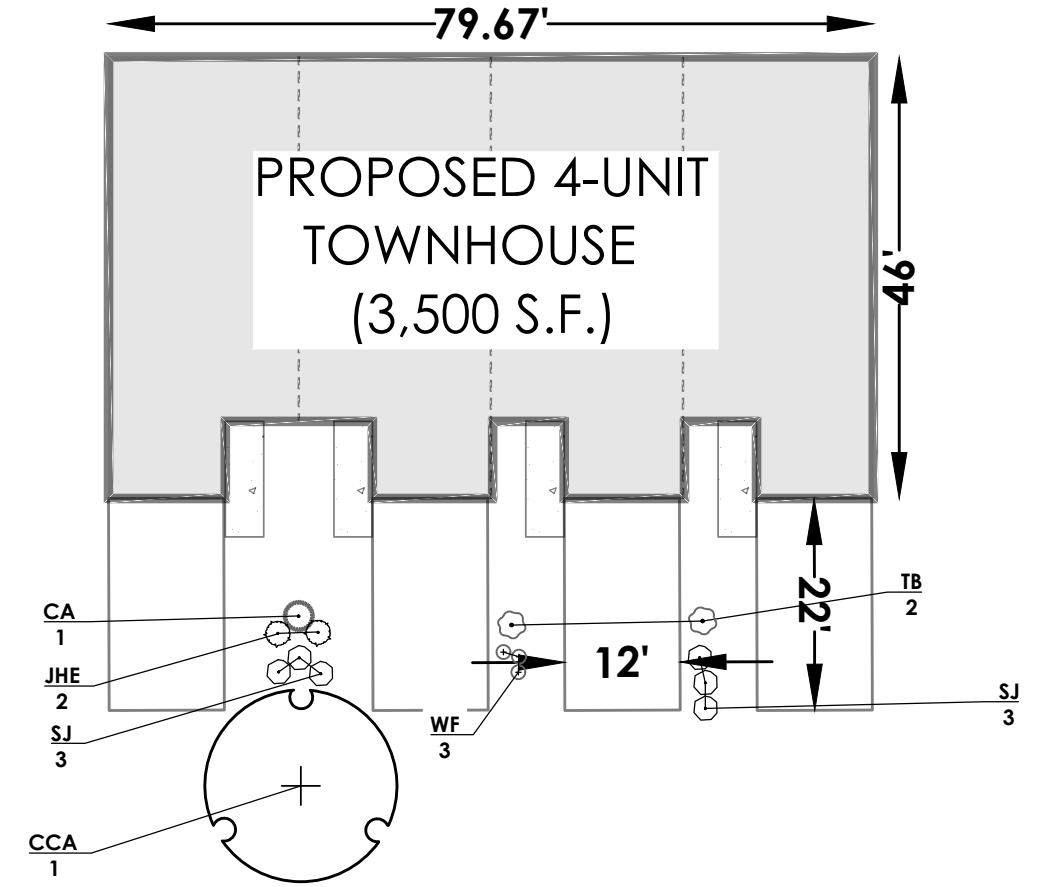
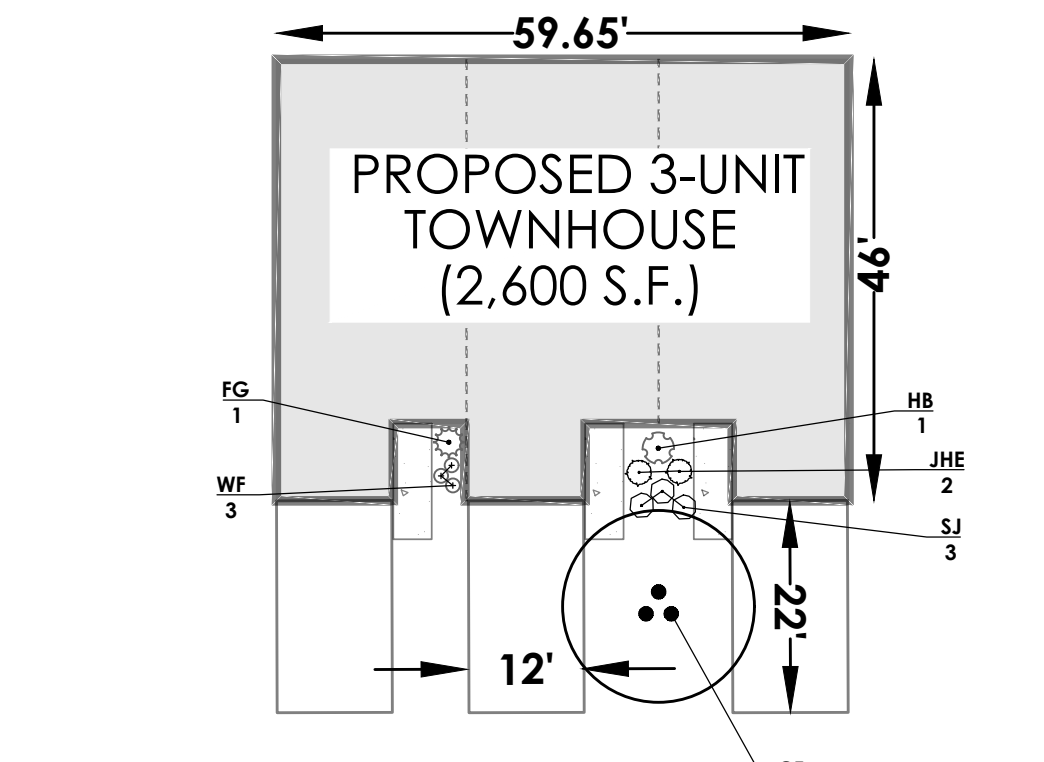
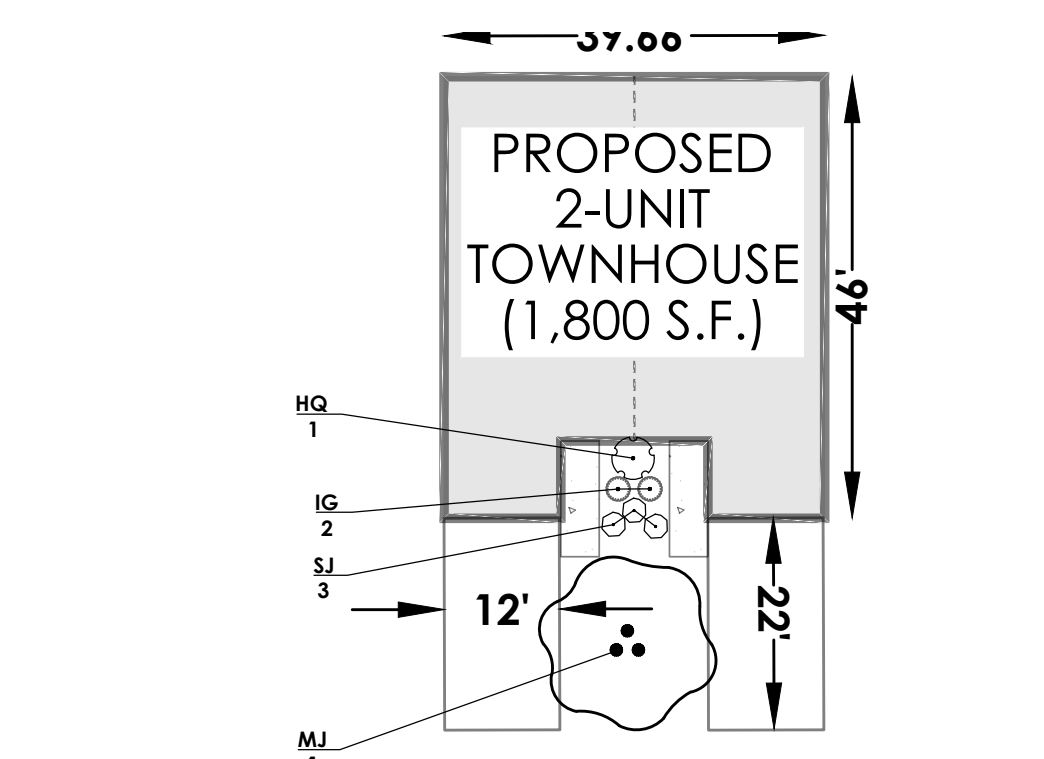
Project No.  
**20192793.0007**

Drawing No. **C 123** Sheet No. **23**

Scale: **1" = 40'**

Date: **SEPTEMBER 2023**

- TOWN OF HENRIETTA LANDSCAPE NOTE**
- ALL DECIDUOUS TREES MUST BE A MINIMUM DIAMETER OF 3-3.5" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
  - ALL ORNAMENTAL TREES MUST BE A MINIMUM DIAMETER OF 2.5-3" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
  - ALL EVERGREEN TREES MUST BE A MINIMUM HEIGHT OF 6-8' UNLESS OTHERWISE REQUESTED, BAGGED AND BALLED.
  - LOW SHRUBS SHALL BE A MINIMUM OF 24" HIGH
  - CONTRACTOR TO TAKE SPECIAL CARE WHEN PLANTING AND WATERING FALL HAZARD PLANT MATERIAL.
  - BIORETENTION AREAS ARE TO BE PLANTED WITH SEED MIX EQUAL TO OR SIMILAR TO ERNMX-126 LOW MAINTENANCE MIX (20LBS/ACRE)
  - MINIMUM NUMBER OF TREES TO BE PLANTED: 8 TREES PER DISTURBED ACRE (36.2) TREES REQUIRED : 290
  - TREES PROPOSED: 290
  - UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA FOR A THREE (3) YEAR TIME PERIOD.
  - THERE WILL BE NO SUBSTITUTION OR CHANGES TO THE APPROVED LANDSCAPE PLAN WITHOUT THE APPROVAL OF THE PLANNING BOARD CHAIRMAN AND DIRECTOR OF ENGINEERING AND PLANNING.



**TYPICAL TOWNHOUSE PLANTING DETAIL**  
SCALE: 1" - 20'

NOTE: PLANT SCHEDULE LOCATED ON C124

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

**PLANT SCHEDULE**

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	NATIVE
	AR	21	ACER RUBRUM 'FRANKSRED'	RED MAPLE	CAL. 3-3.5"	B&B	FALL HAZARD	YES
	NS	21	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	CAL. - 3-3.5"	B&B	FALL HAZARD	YES
	PA	21	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	CAL. - 3-3.5"	B&B	FALL HAZARD	
	QR	19	QUERCUS RUBRA	RED OAK	CAL. - 3-3.5"	B&B		YES
	TC	20	TILIA CORDATA 'SAMROCK'	SHAMROCK LINDEN	CAL. - 3-3.5"	B&B		
FLOWERING AND ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	NATIVE
	AGR	20	AMELANCHIER X GRANDIFLORA 'ROBIN HILL'	ROBIN HILL SERVICEBERRY	CAL. - 2.5-3"	B&B		YES
	CCA	52	CERCIS CANADENSIS 'APPALACHIAN RED'	EASTERN REDBUD	CAL. - 2.5-3"	B&B		YES
	CF	5	CORNUS FLORIDA	FLOWERING DOGWOOD	CAL. - 2.5-3"	B&B		
	MJ	1	MAGNOLIA X 'JANE'	MAGNOLIA	CAL. - 2.5-3"	B&B		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	NATIVE
	CA	52	CLETHRA ALNIFOLIA	SWEETPEPPERBUSH	24-30"	#3 CONT.		
	FG	5	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24-30"			
	HB	5	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BIGLEAF HYDRANGEA	24-30"			
	HQ	1	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3-4'	#5		
	IG	2	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	#5 CONT.		
	JHE	114	JUNIPERUS HORIZONTALIS 'EMERALD SPREADER'	CREeping JUNIPER	24-30"	#3		
	SJ	336	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	24-30"	#3		
	TB	104	THUJA OCCIDENTALIS 'BOBOZAM'	MR. BOWLING BALL ARBORVITAE	24-30"			
	WF	171	WEIGELA FLORIDA 'DARK HORSE'	DARK HORSE WEIGELA	24-30"			

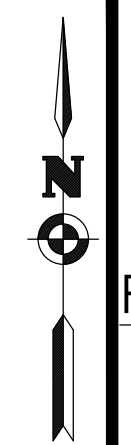
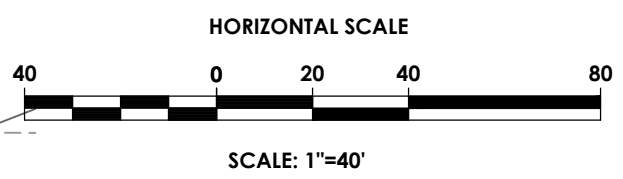
**TOWN OF HENRIETTA LANDSCAPE NOTE**

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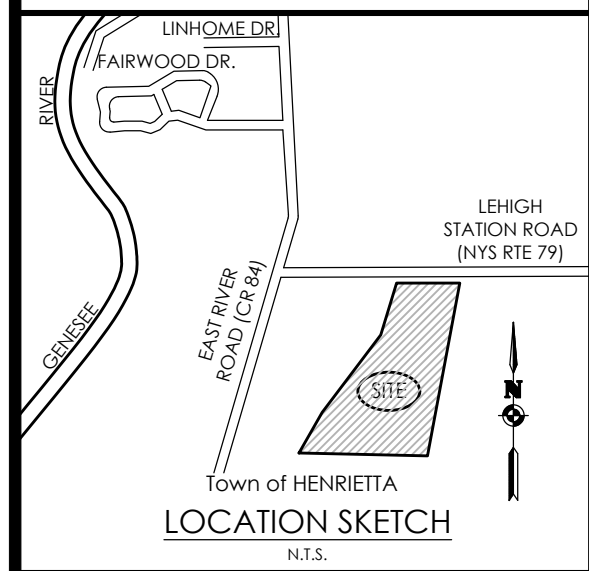
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
PLANNING BOARD CHAIRMAN



MATCH LINE SEE SHEET 22



MATCH LINE SEE SHEET 23



Client:  
EAST RIVER HENRIETTA, LLC  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100 (585) 325-1000  
Rochester, New York 14614 Fax: (585) 325-1691  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

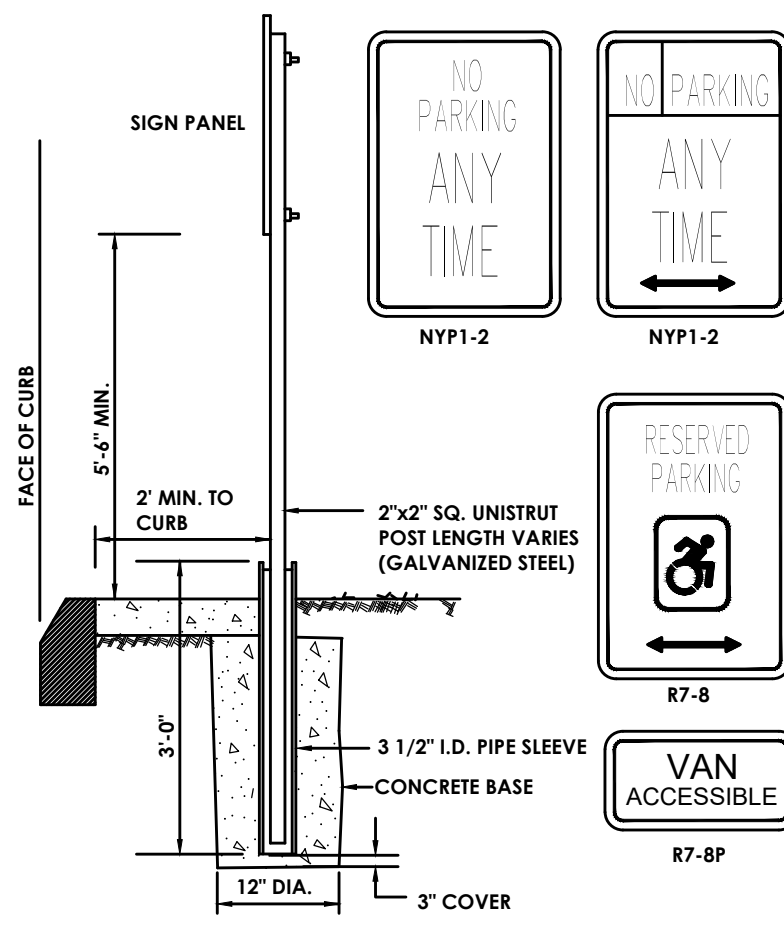
**LANDSCAPING AND LIGHTING PLAN**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIERCE'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**  
Drawing No. Sheet No.  
**C 124 24**  
Scale: **1" = 40'**  
Date  
**SEPTEMBER 2023**



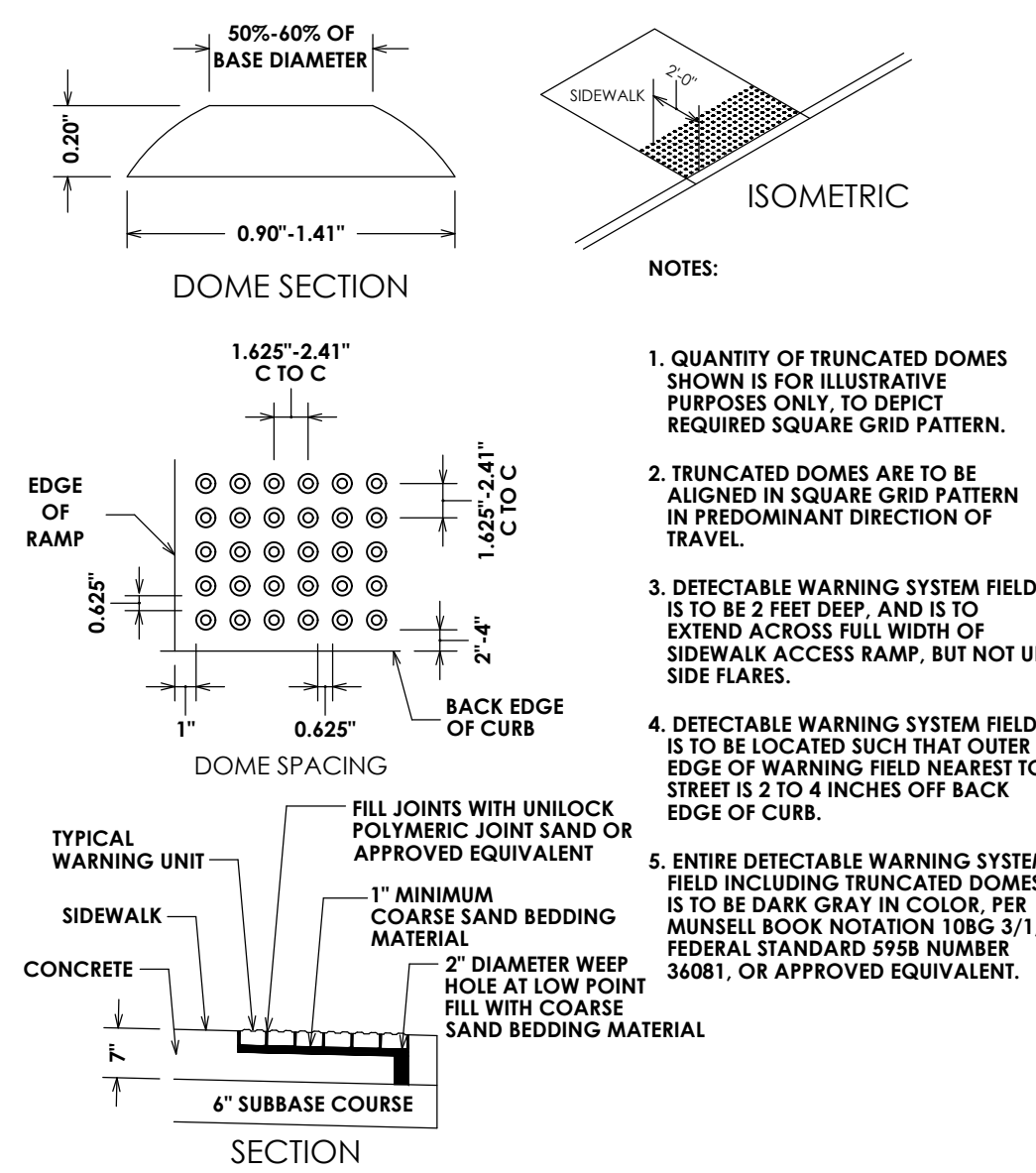




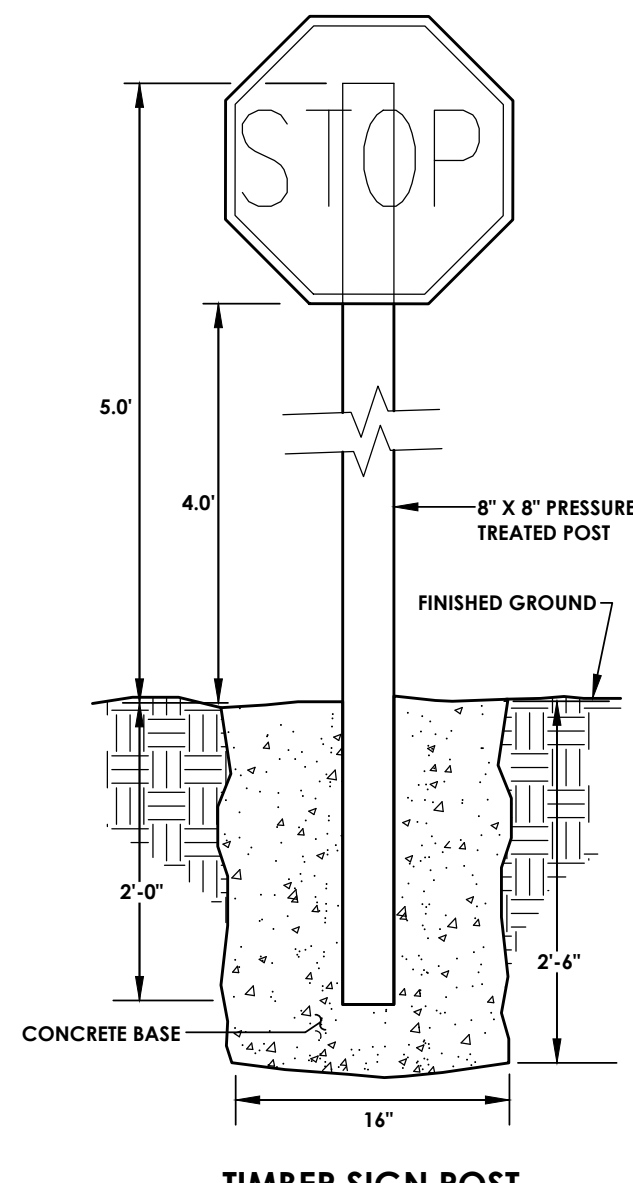
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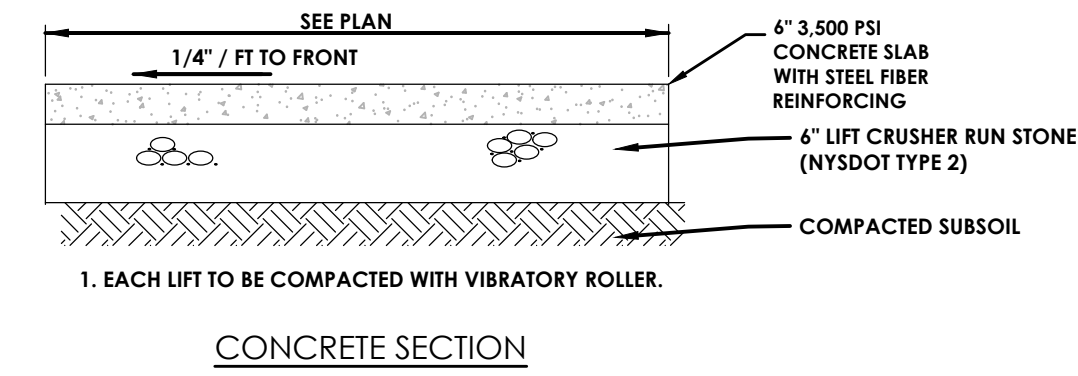
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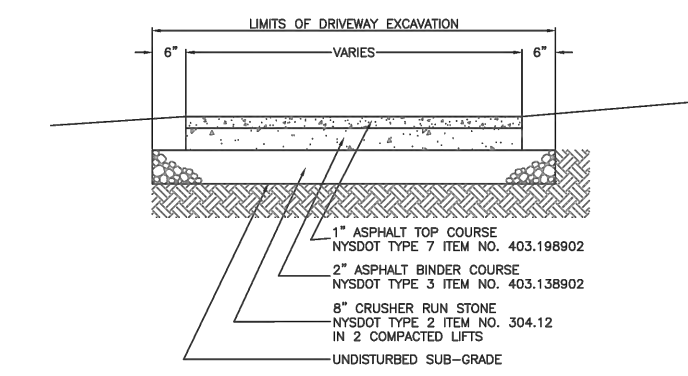
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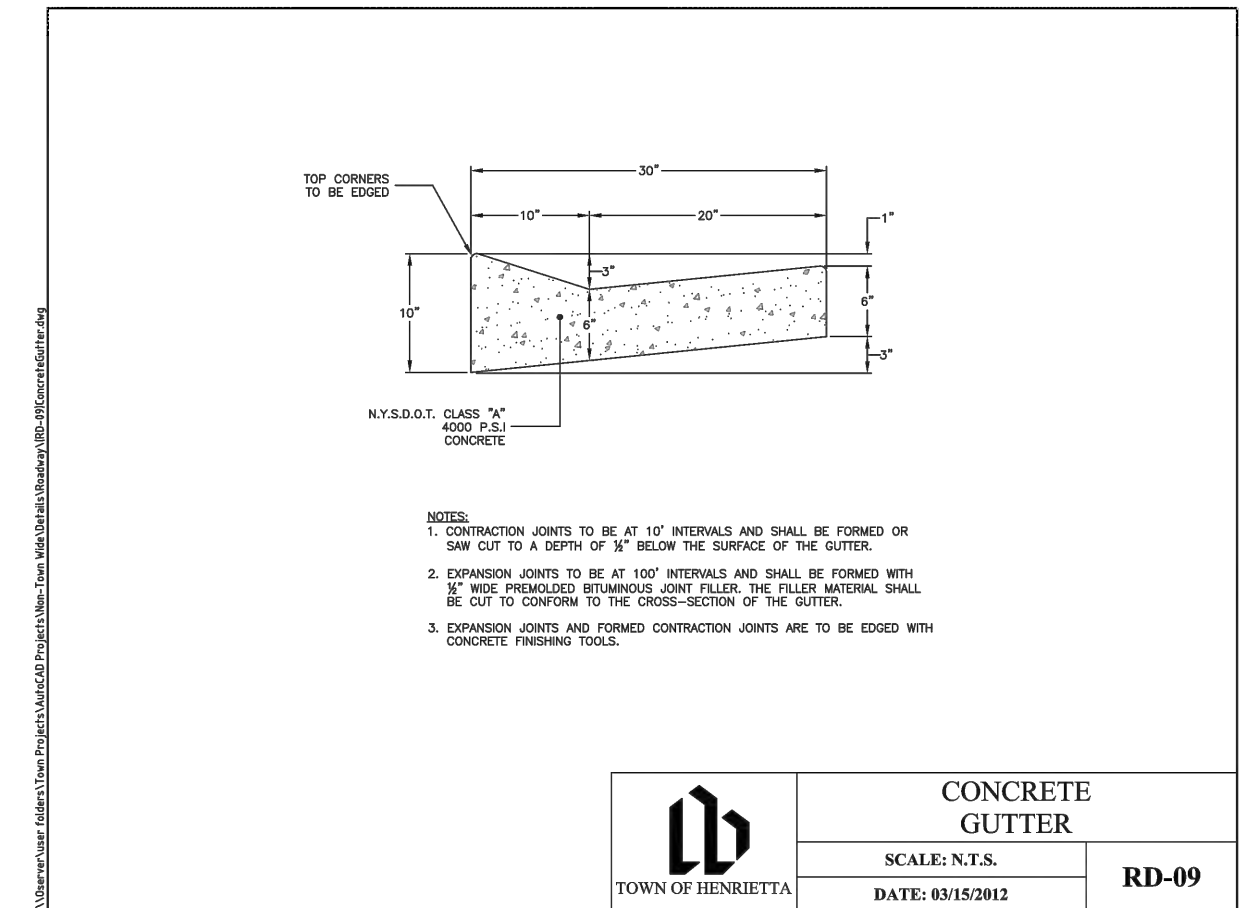
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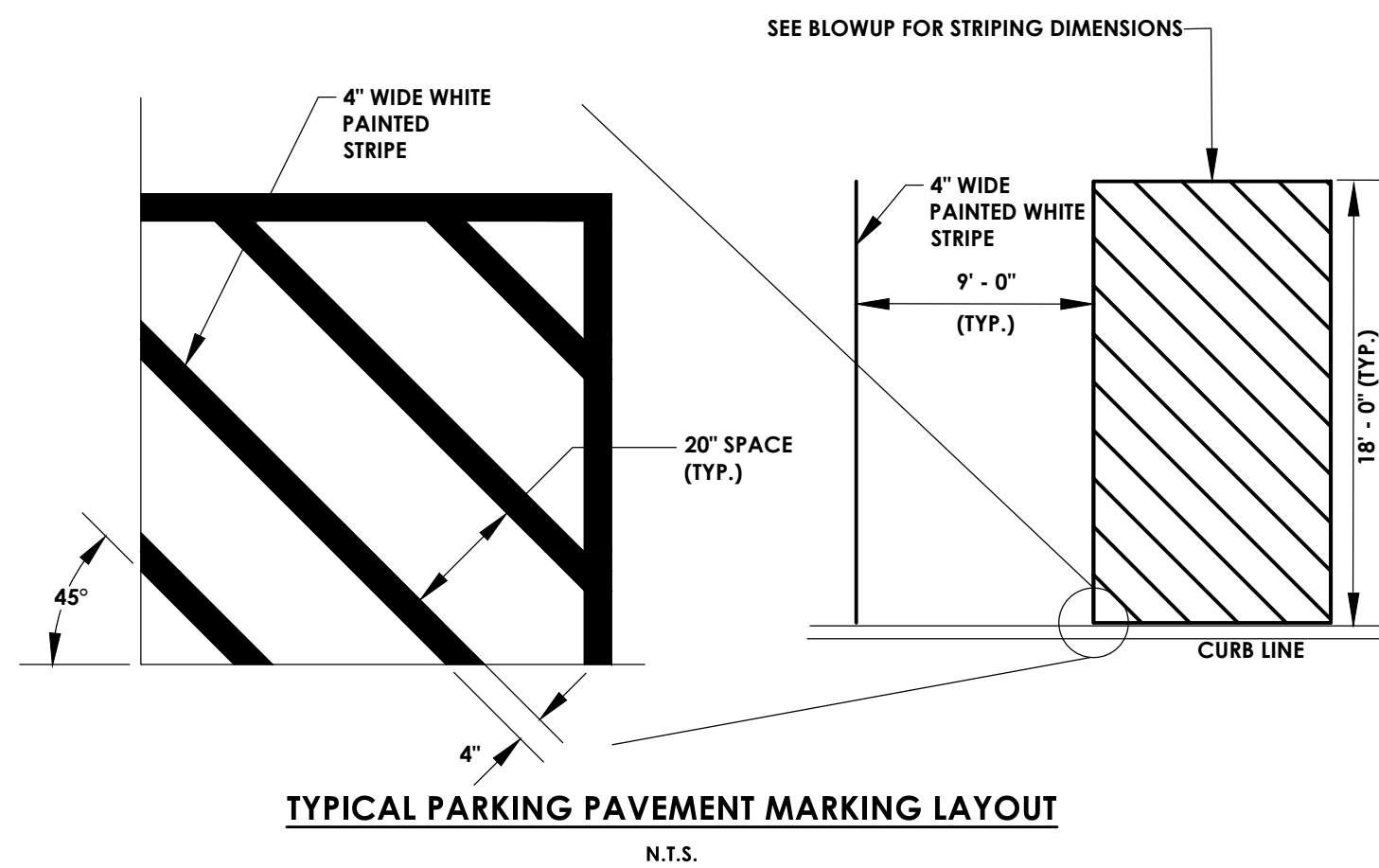
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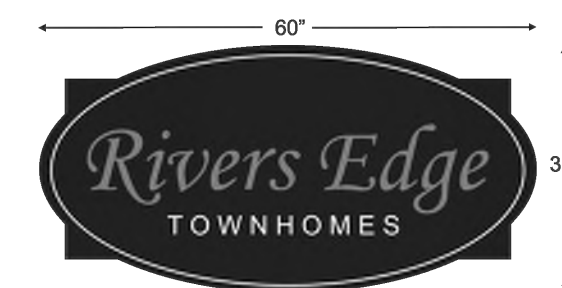
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DATE: 03/14/2012  
RD-15a



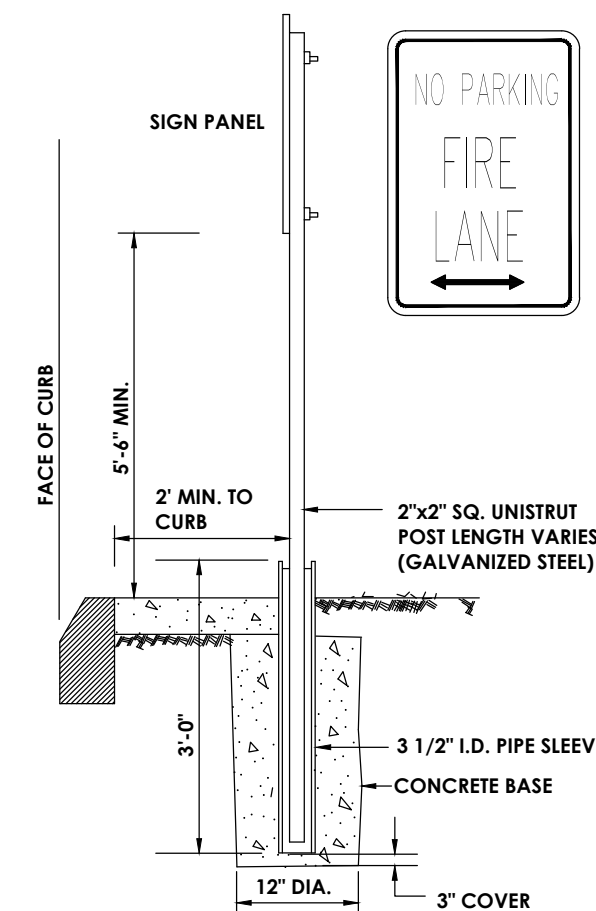
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RD-09



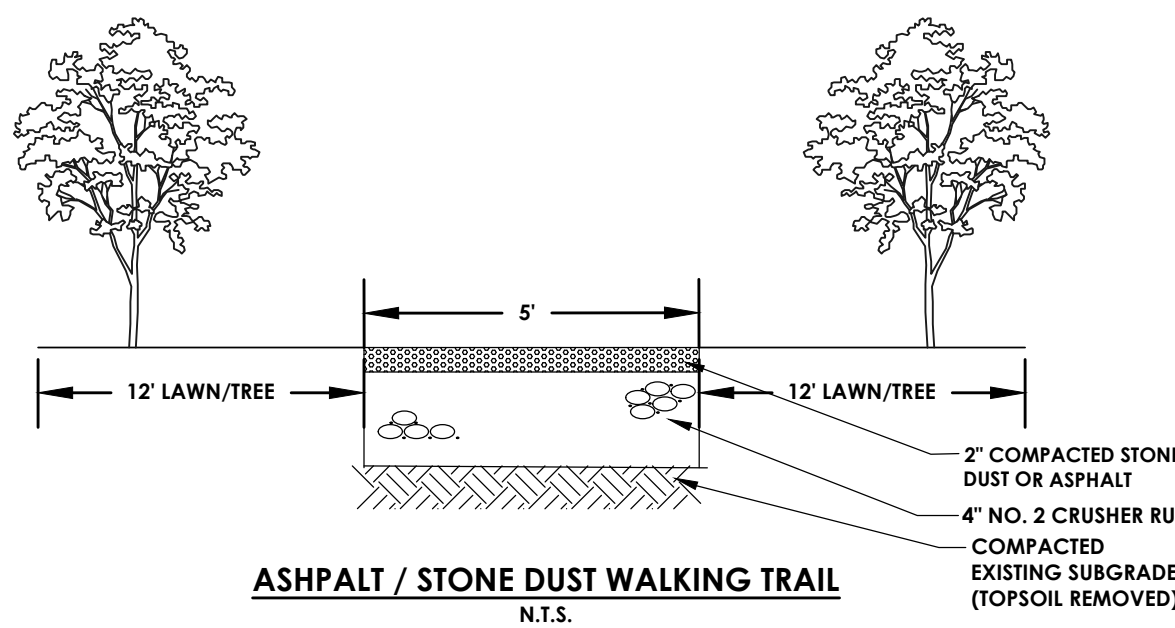
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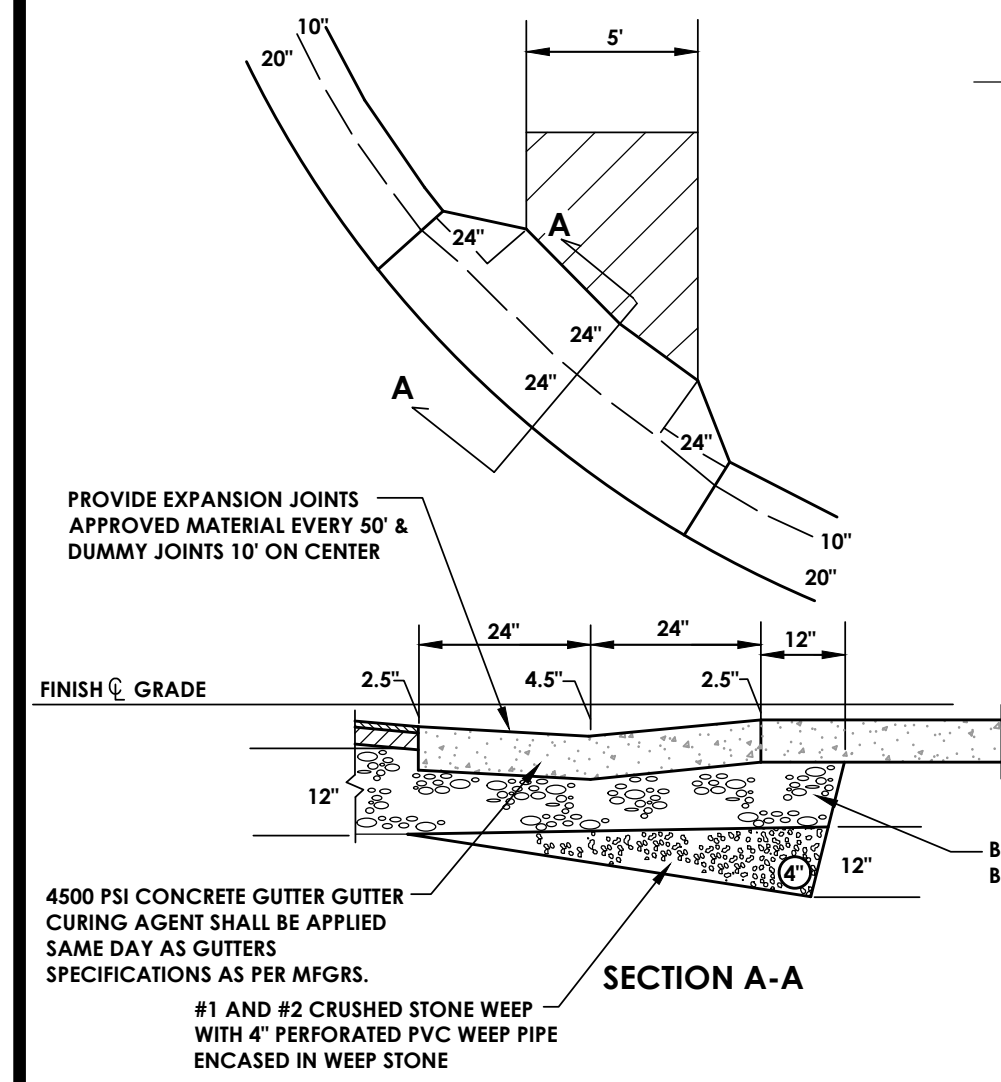
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**TYPICAL POST MOUNT FIRE LANE SIGN INSTALLATION**  
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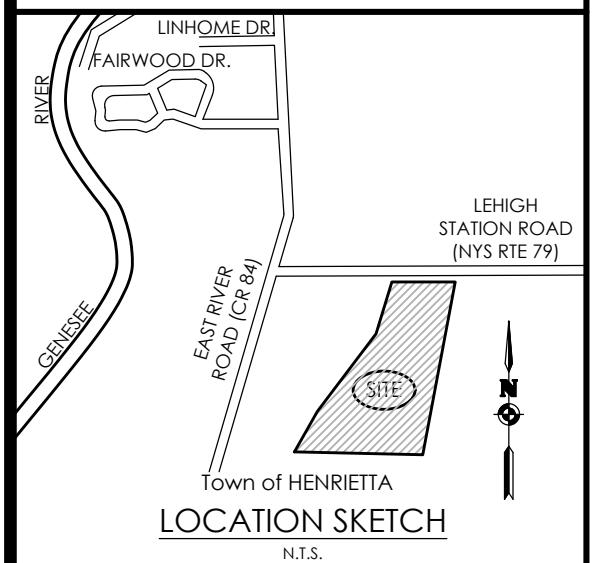


**ASPHALT / STONE DUST WALKING TRAIL**  
N.T.S.



- NOTES:
1. BASE SHALL BE COMPACTED WITH A VIBRATORY ROLLER CAPABLE OF PRODUCING A MIN. DYNAMIC FORCE OF 27,000 LBS. OR A 3 WHEEL 10-12 TON ROLLER.
  2. ALL TOP SOIL, ROOT OR OTHER ORGANIC MATERIAL SHALL BE REMOVED PRIOR TO PLACING FILL OR SHAPING ROAD BOX.
  3. MAXIMUM SIDE SLOPE SHALL BE 1:12.
  4. SURFACE OF SIDEWALK RAMP IS TO BE STABLE, FIRM AND SLIP RESISTANT. (COARSE BROOM FINISH PERPENDICULAR TO SLOPE IS ACCEPTABLE.)
  5. SIDEWALK RAMP AND LANDING PAD IS TO BE 5" THICK.

**ACCESSIBLE SIDEWALK GUTTER**  
N.T.S.



Client:  
**EAST RIVER HENRIETTA, LLC**  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

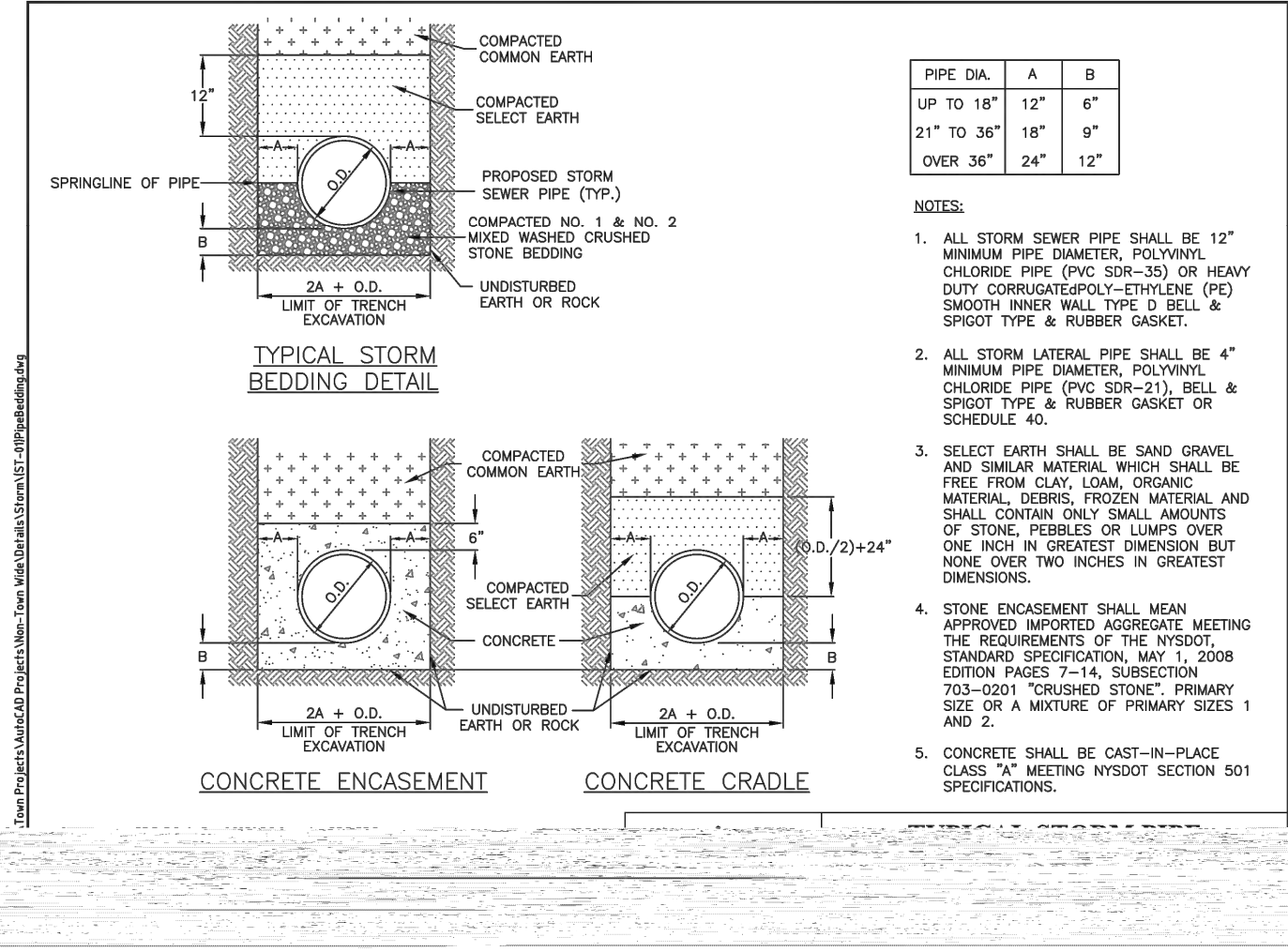
**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



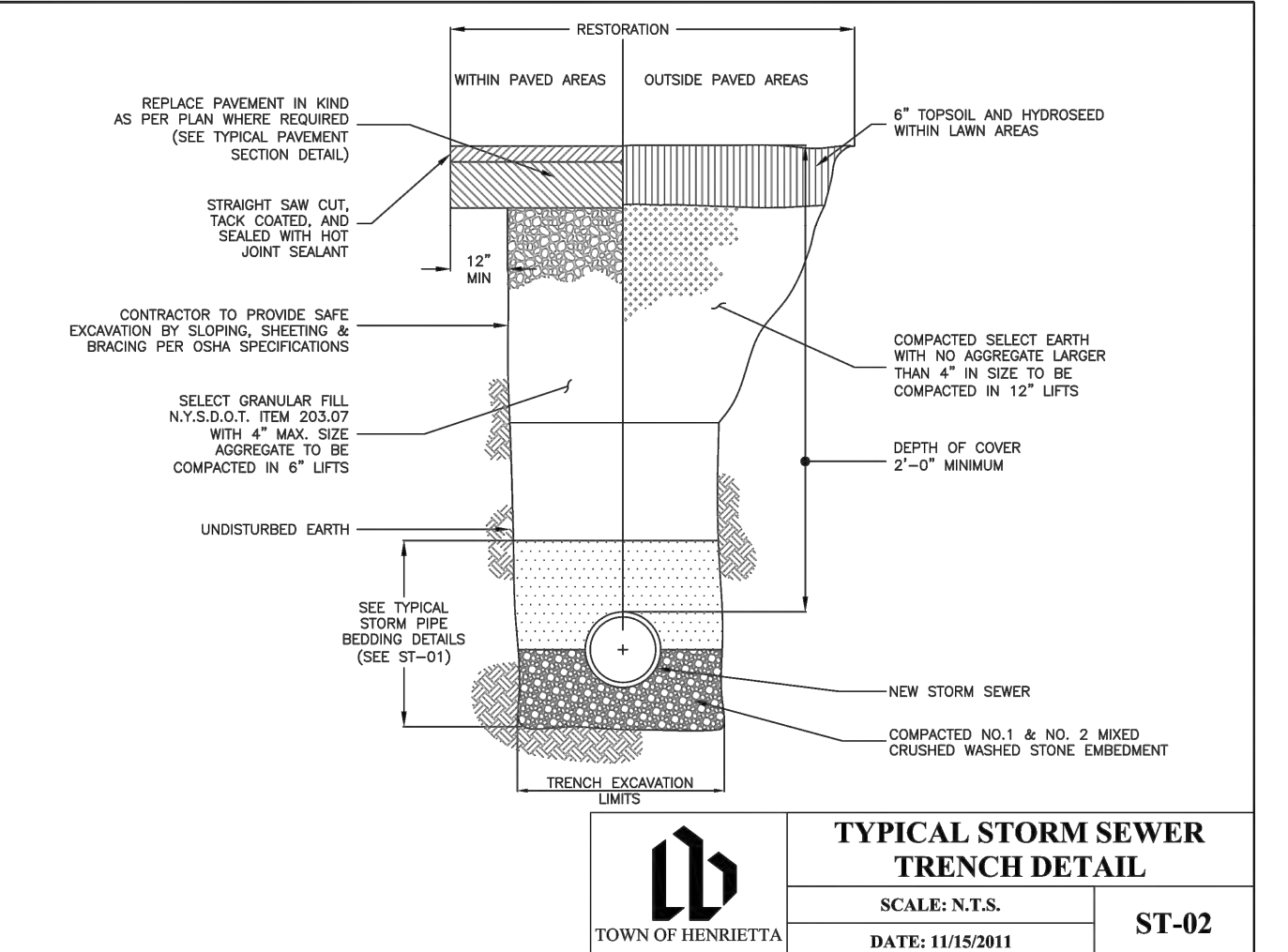
Revisions			
No.	Date	By	Description

**DETAILS**  
**RIVERS EDGE**  
BEING PART OF TOWN LOIS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TREADP & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

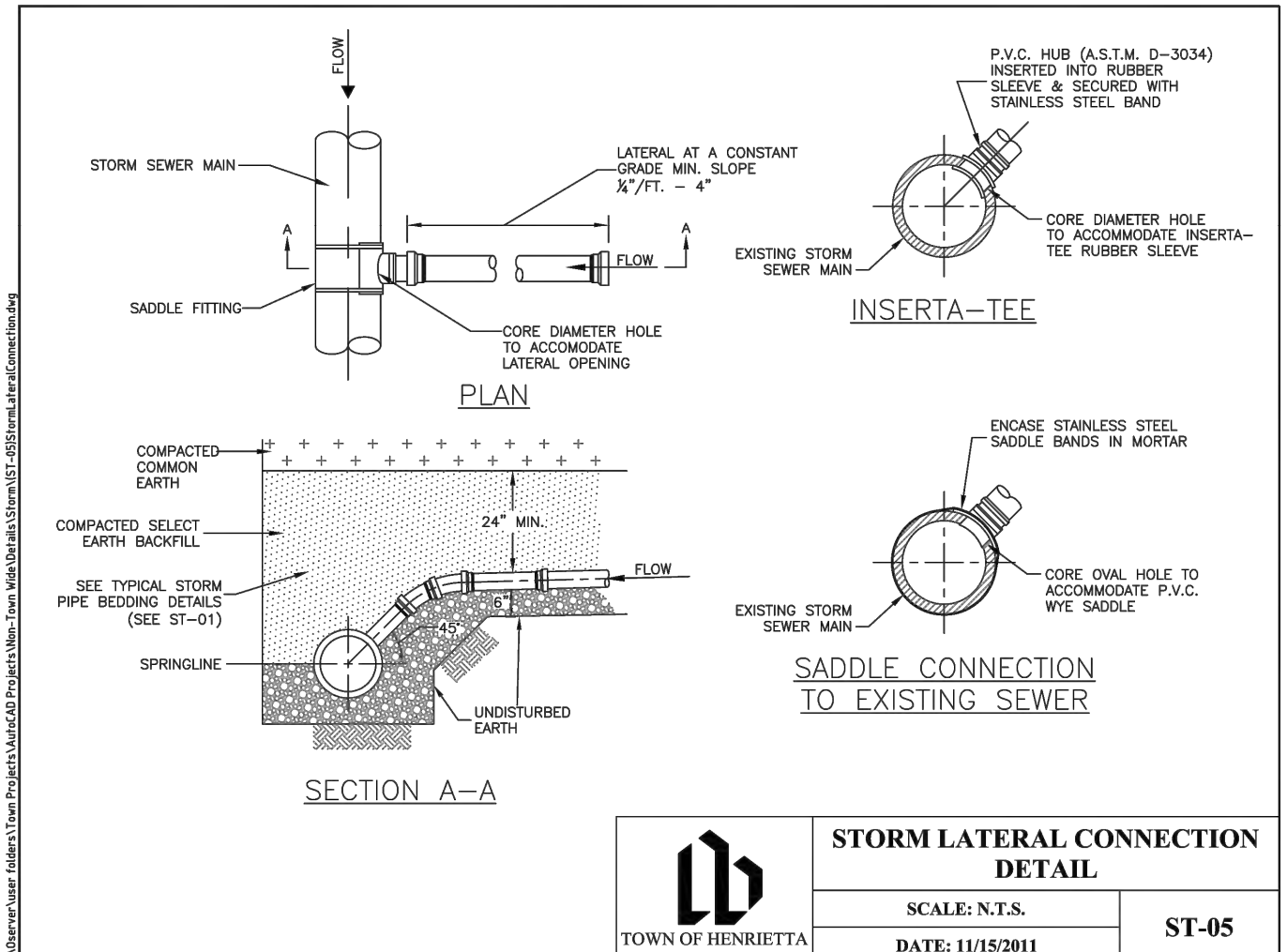
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Date: <b>SEPTEMBER 2023</b>



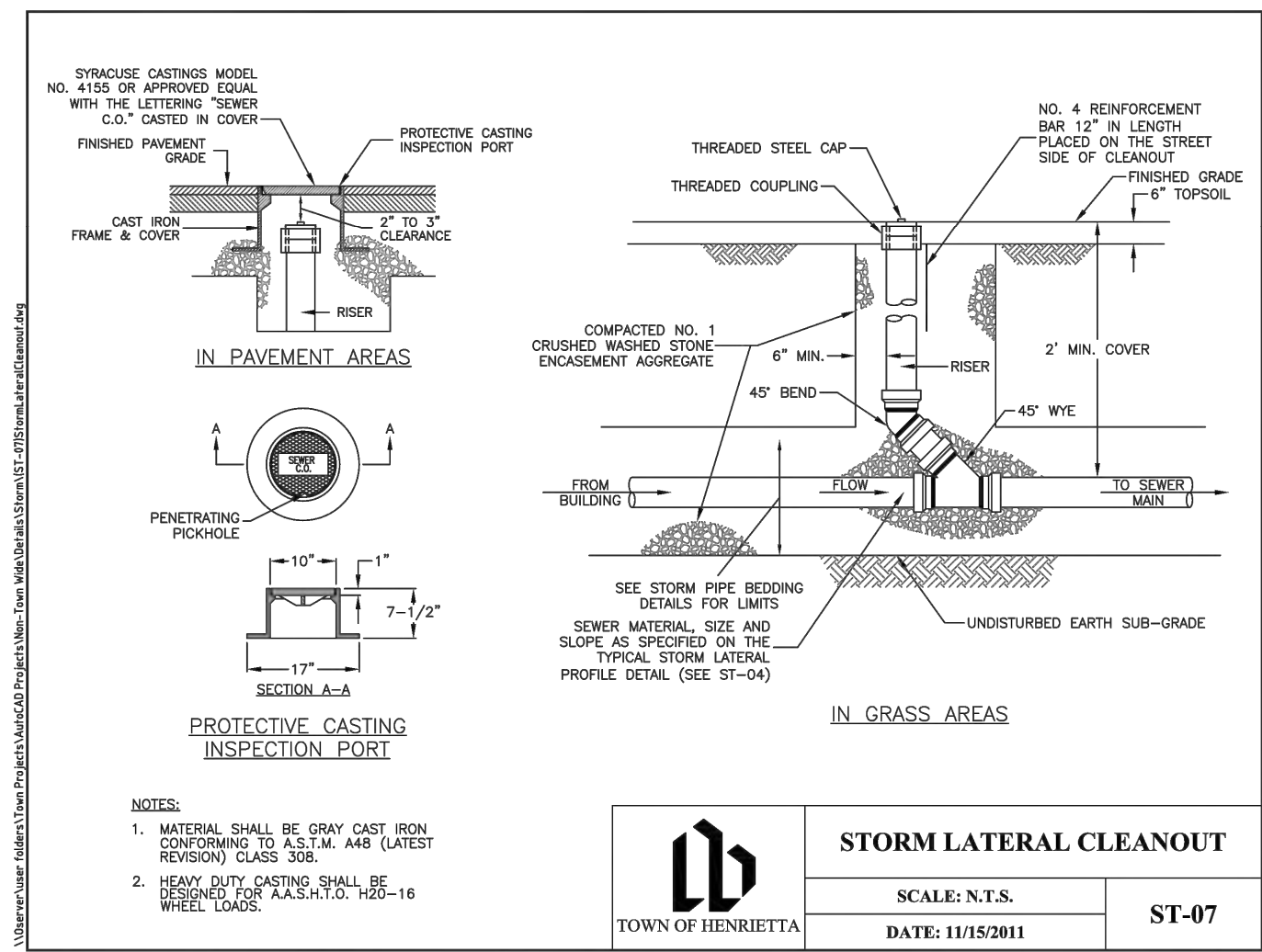
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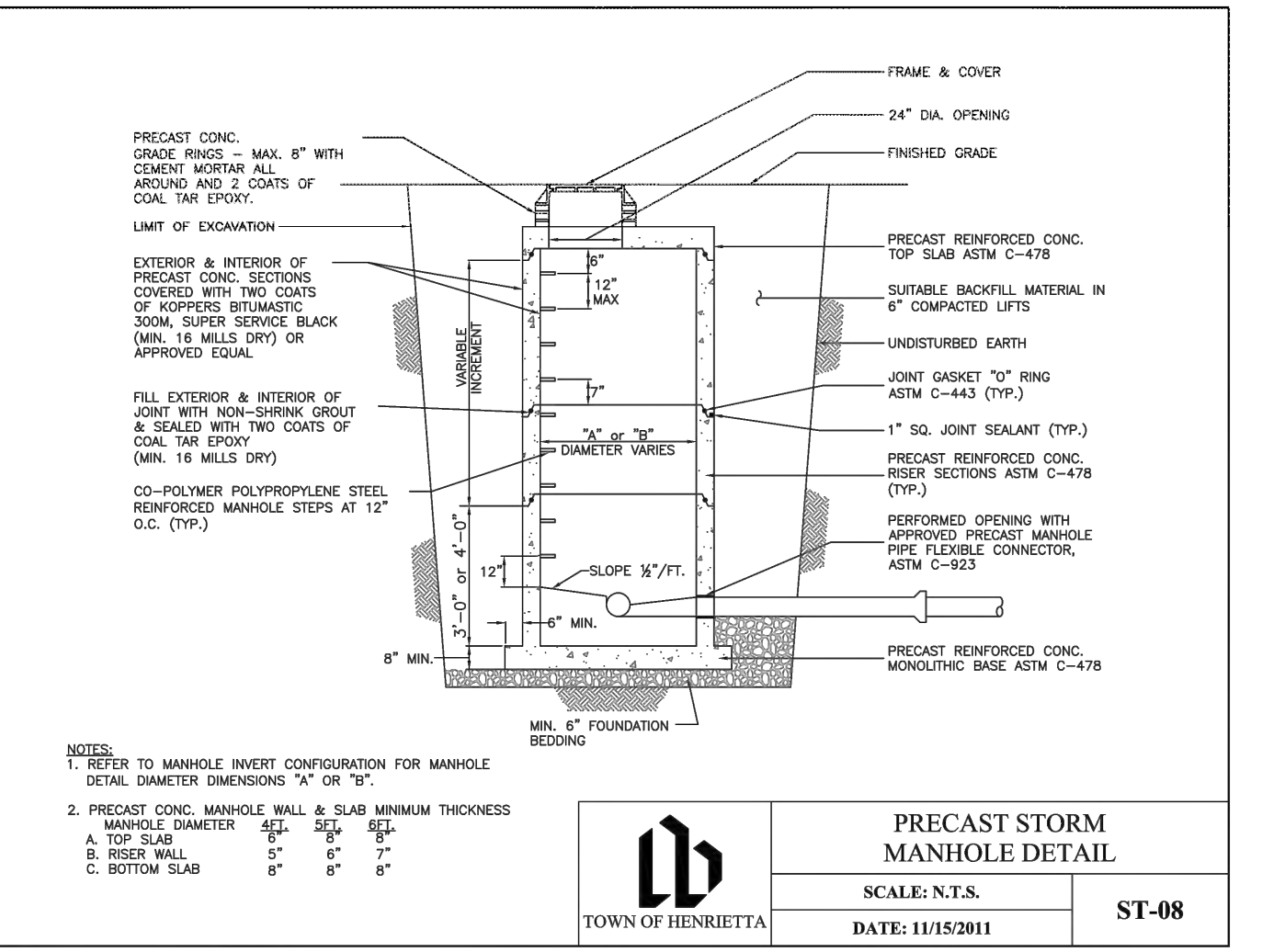
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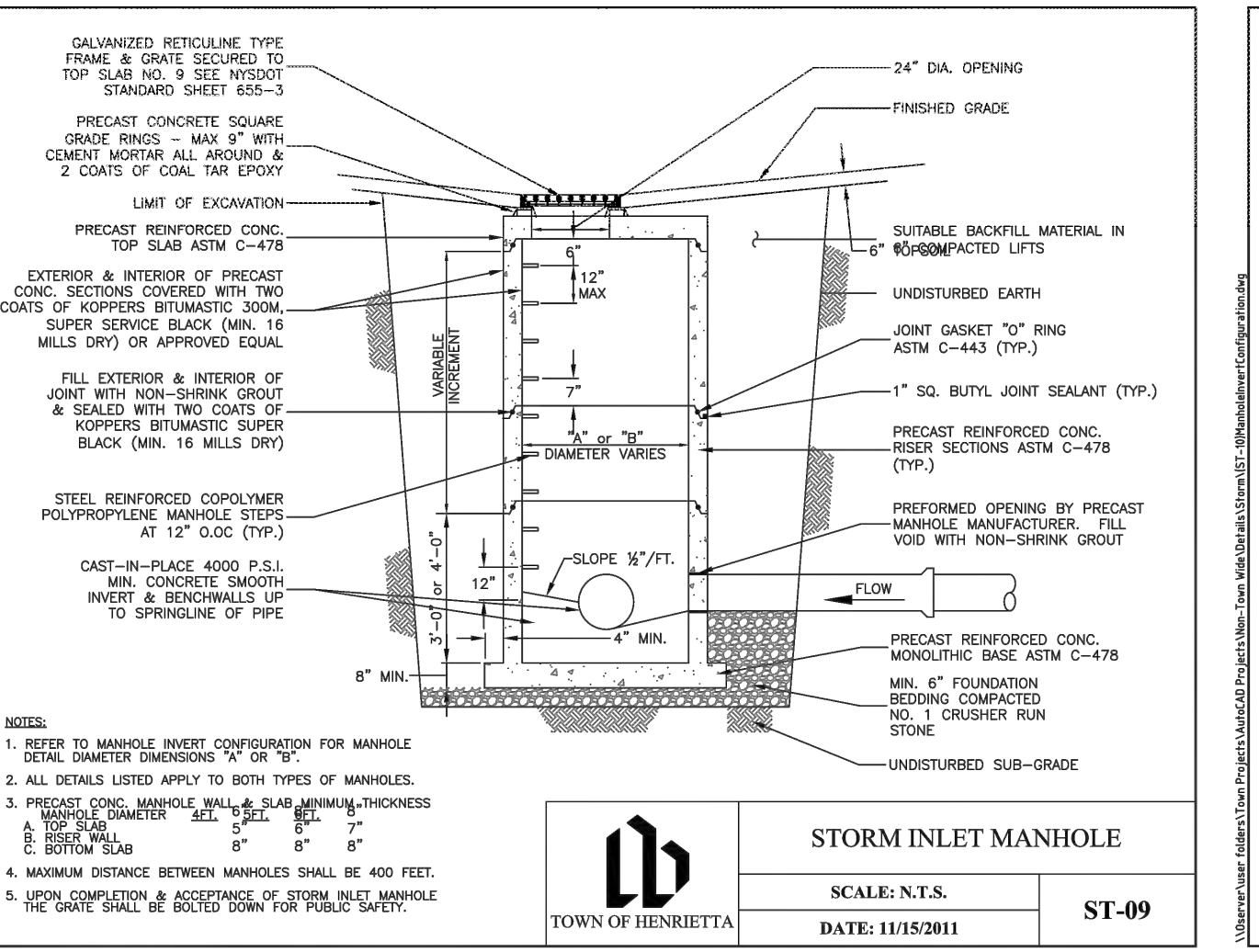
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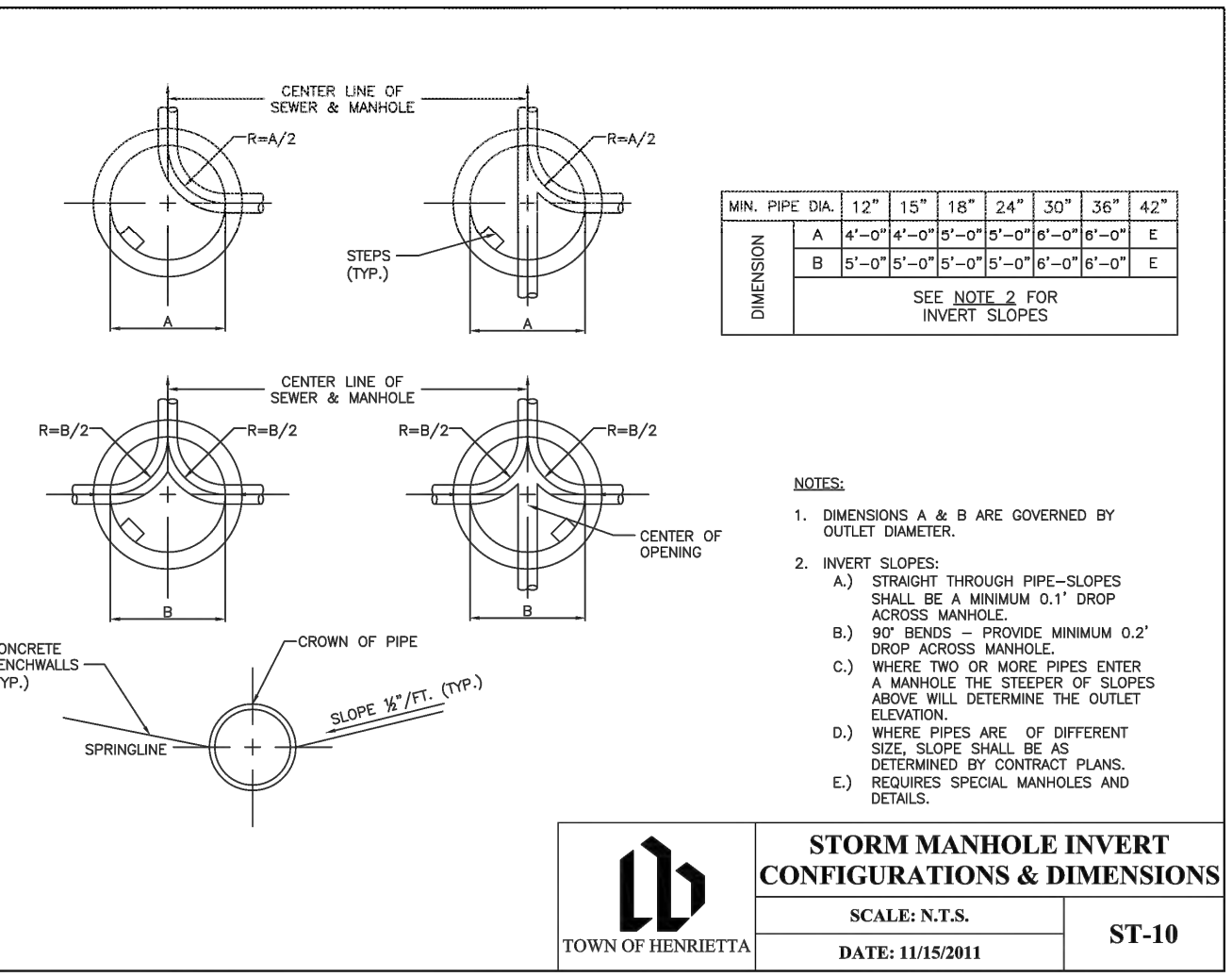
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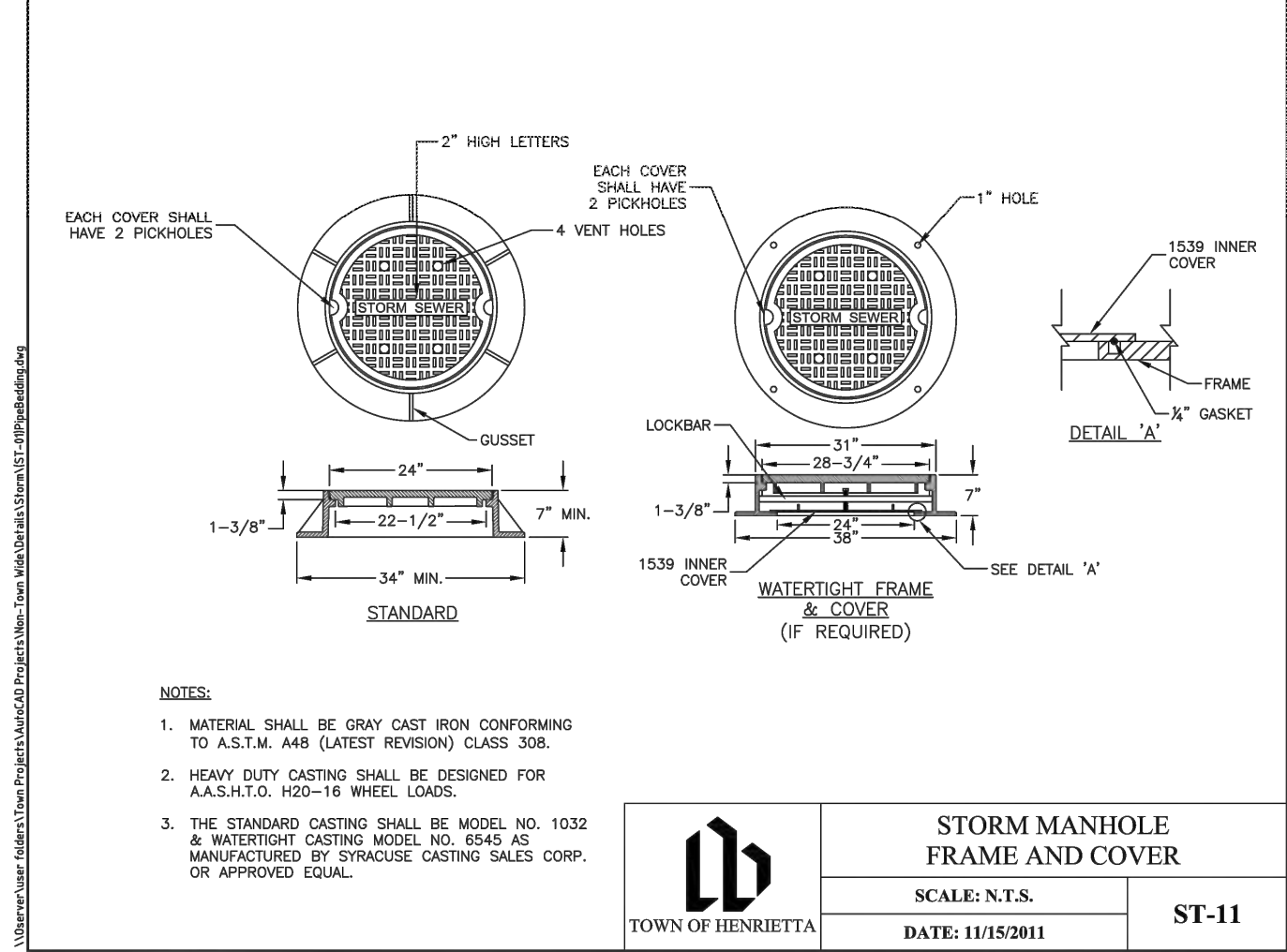
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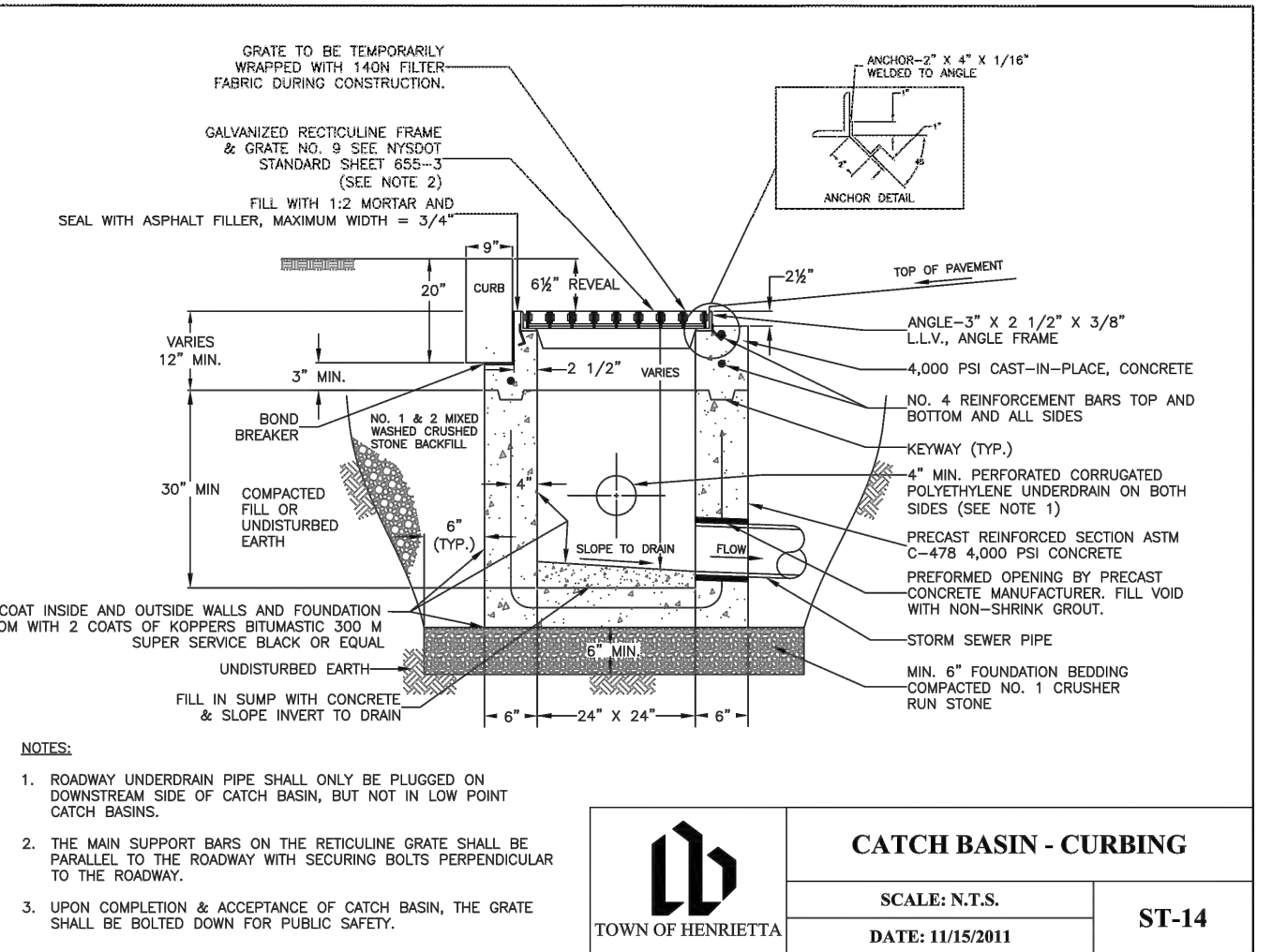
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**ST-09**



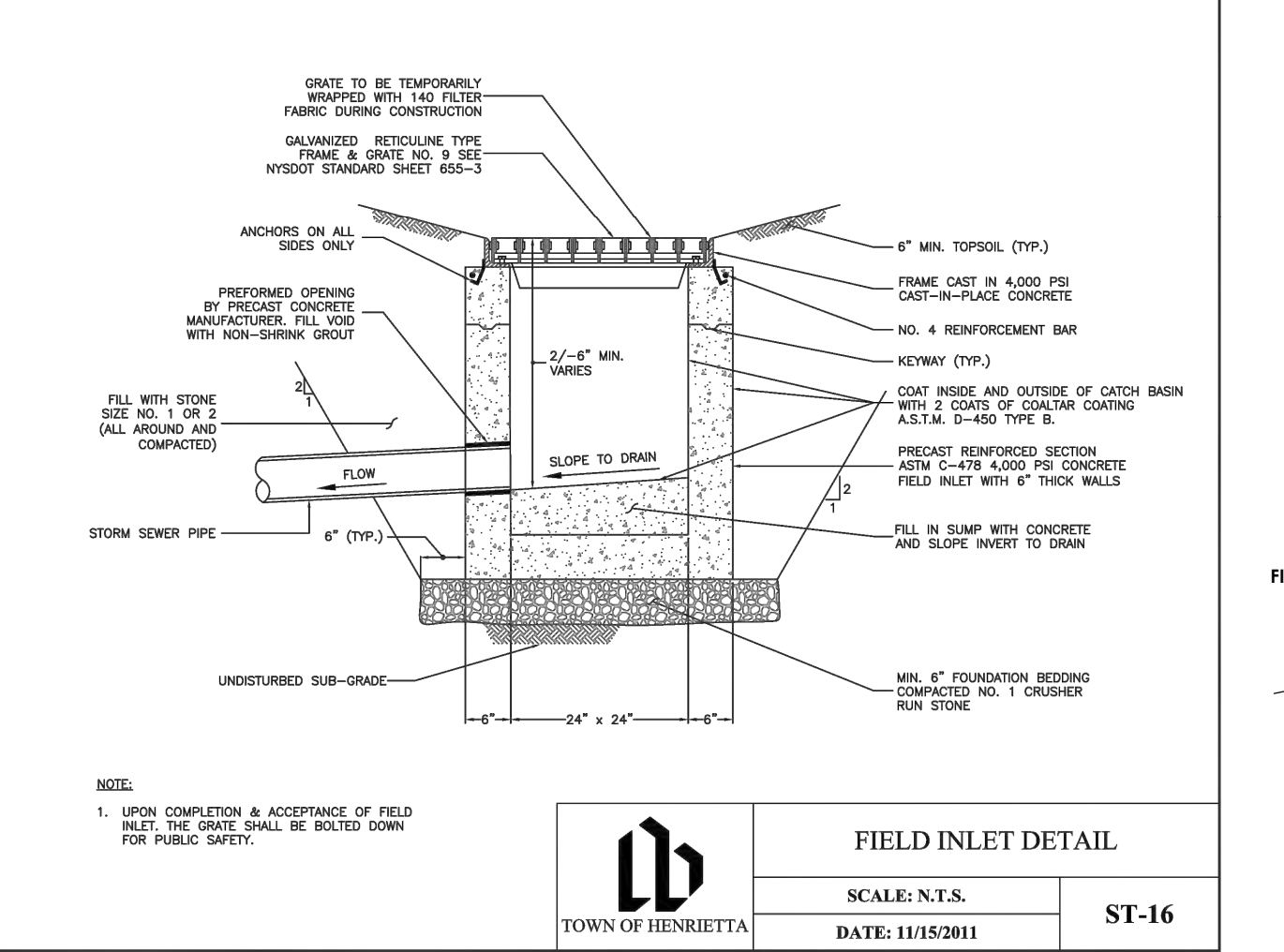
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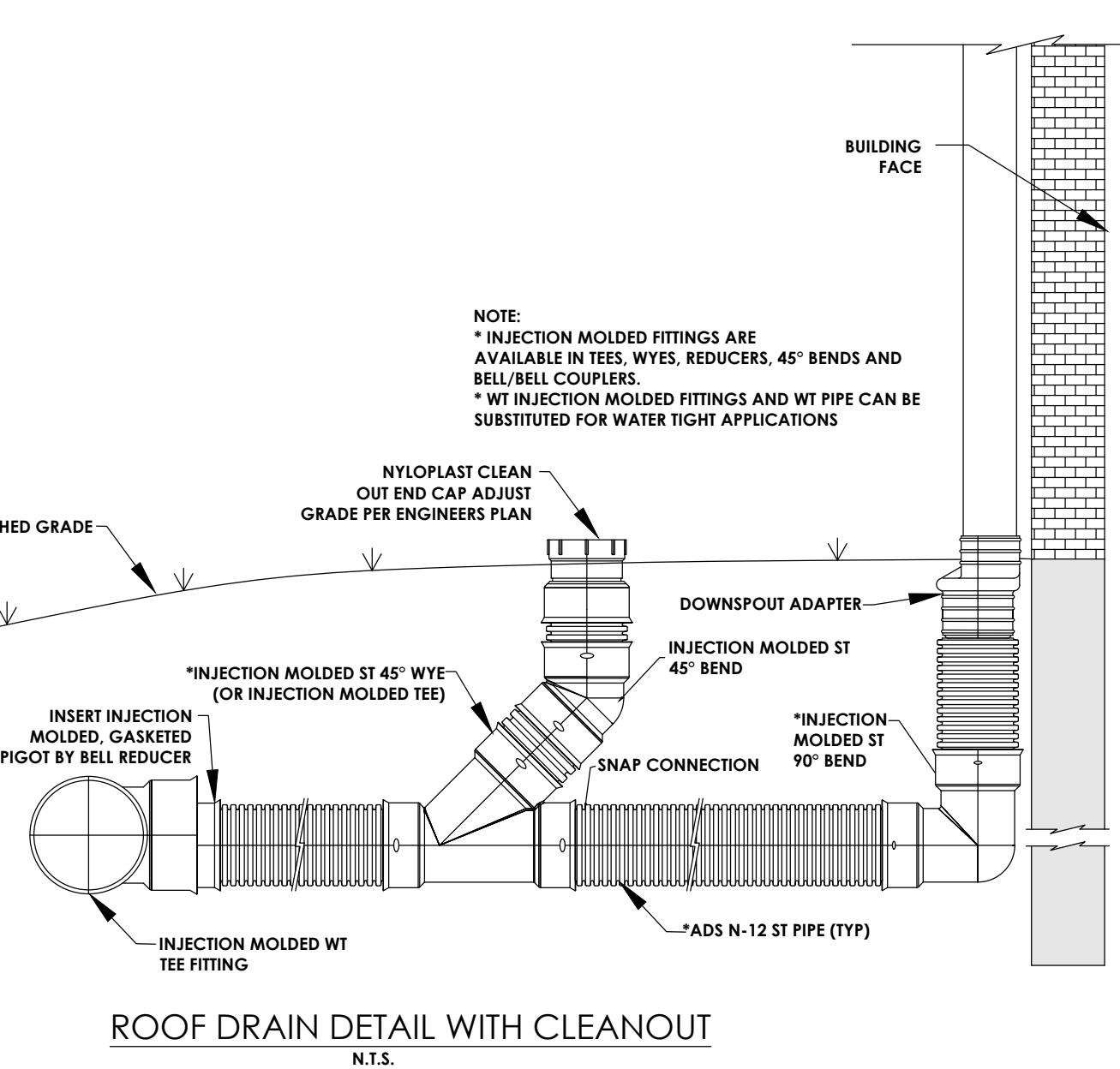
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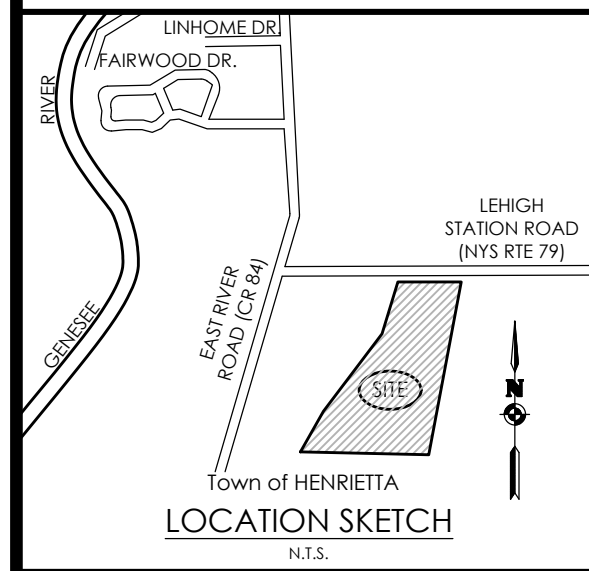
**TOWN OF HENRIETTA**  
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DATE: 11/15/2011  
**ST-14**



**TOWN OF HENRIETTA**  
SCALE: N.T.S.  
DATE: 11/15/2011  
**ST-16**



**TOWN OF HENRIETTA**  
SCALE: N.T.S.  
**ST-17**



Client:  
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**PASSERO ASSOCIATES**  
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(585) 325-1000  
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Principal-in-Charge: **Jess D. Sudol, PE**  
Project Manager: **Andrew Burns, EIT**  
Designed by: **Shari Kleit**



Revisions

No.	Date	By	Description

**DETAILS**

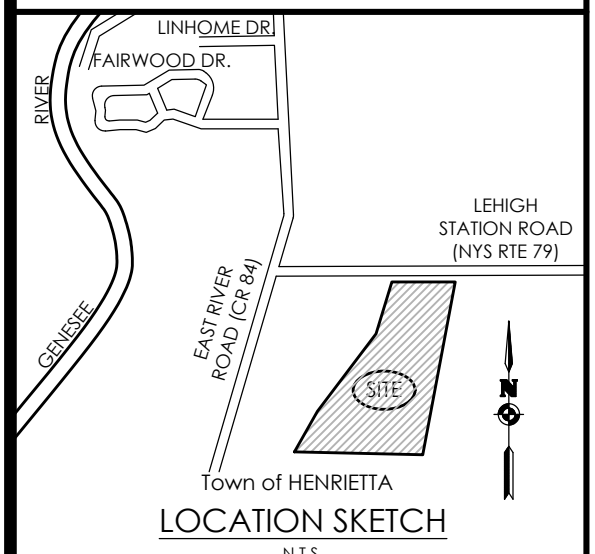
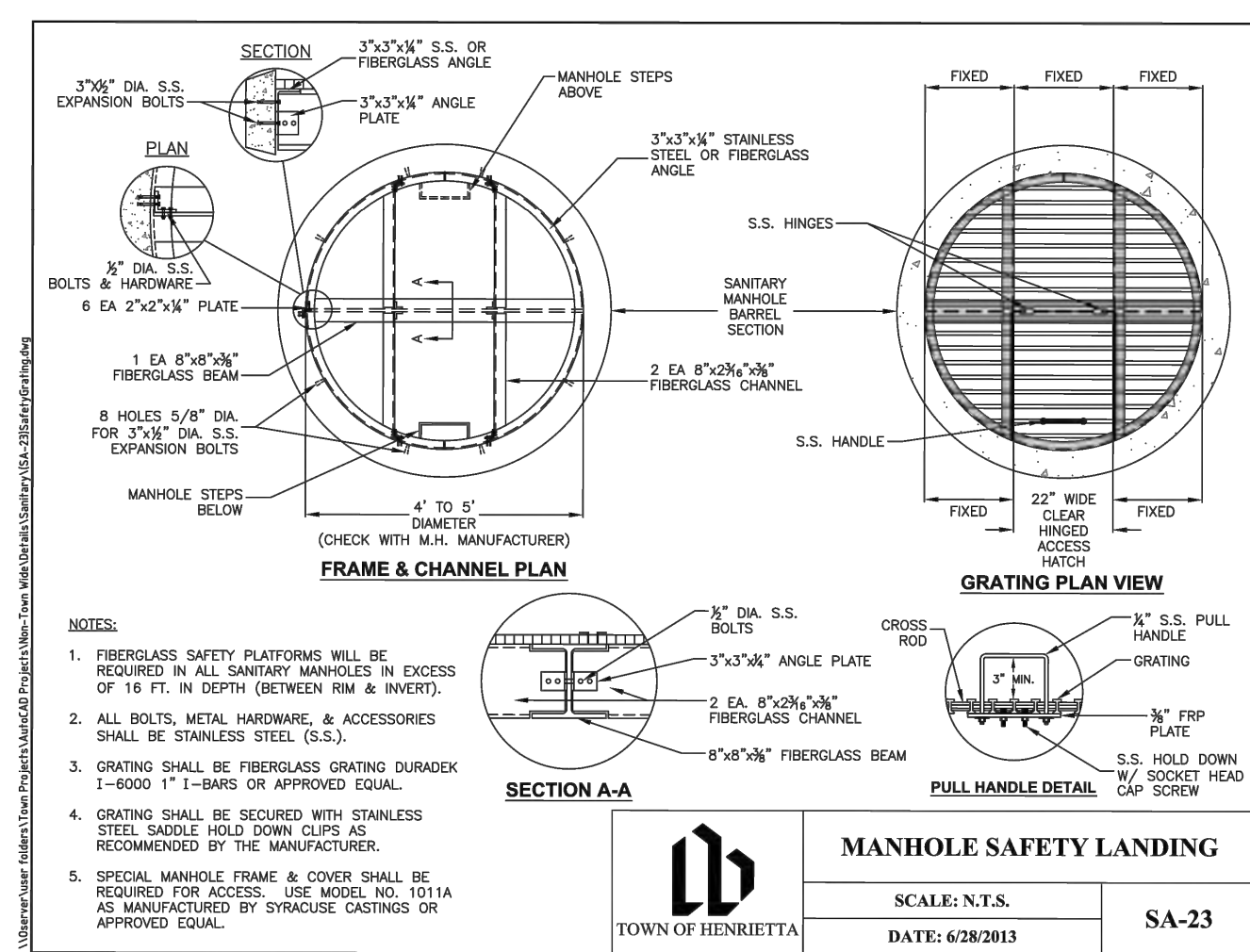
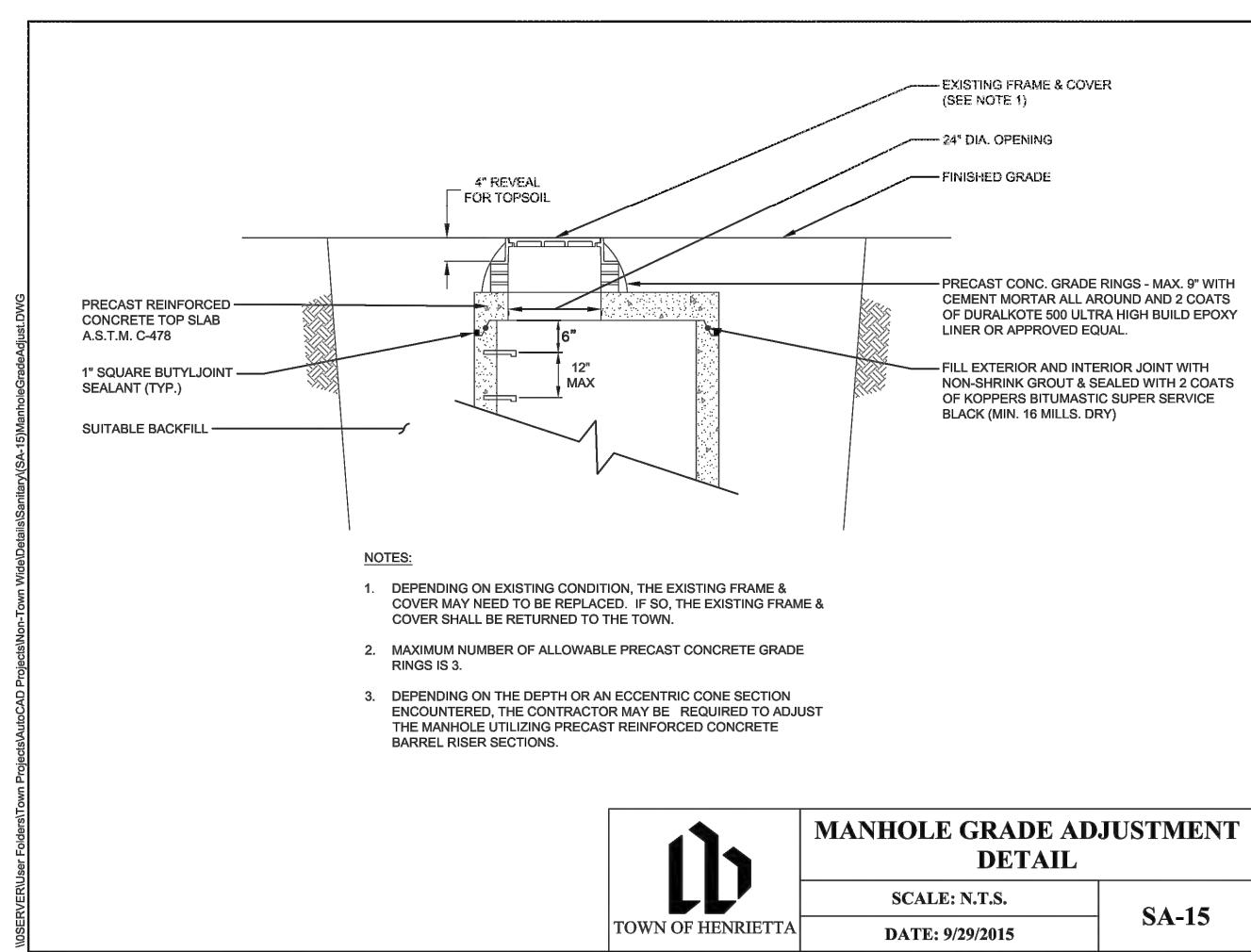
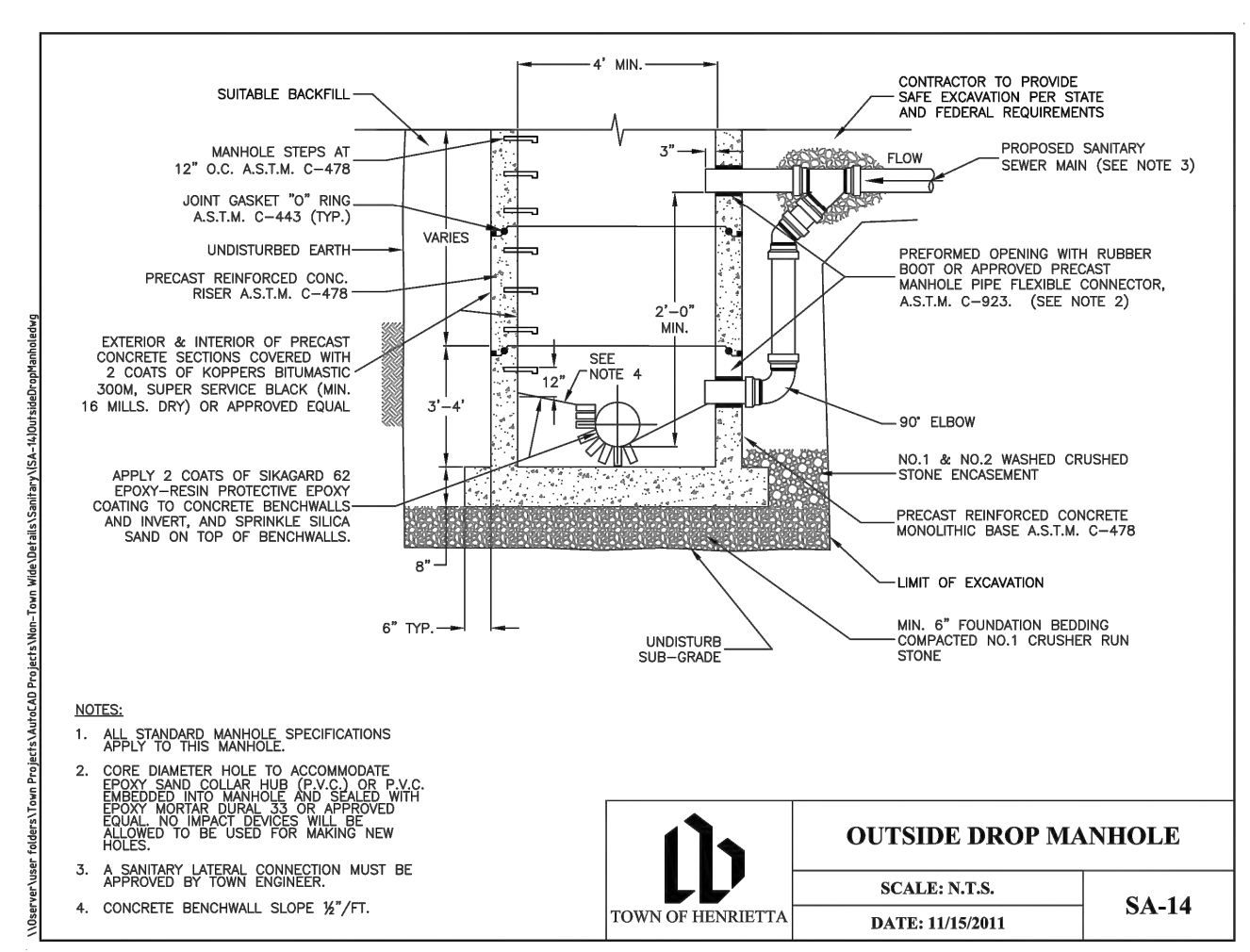
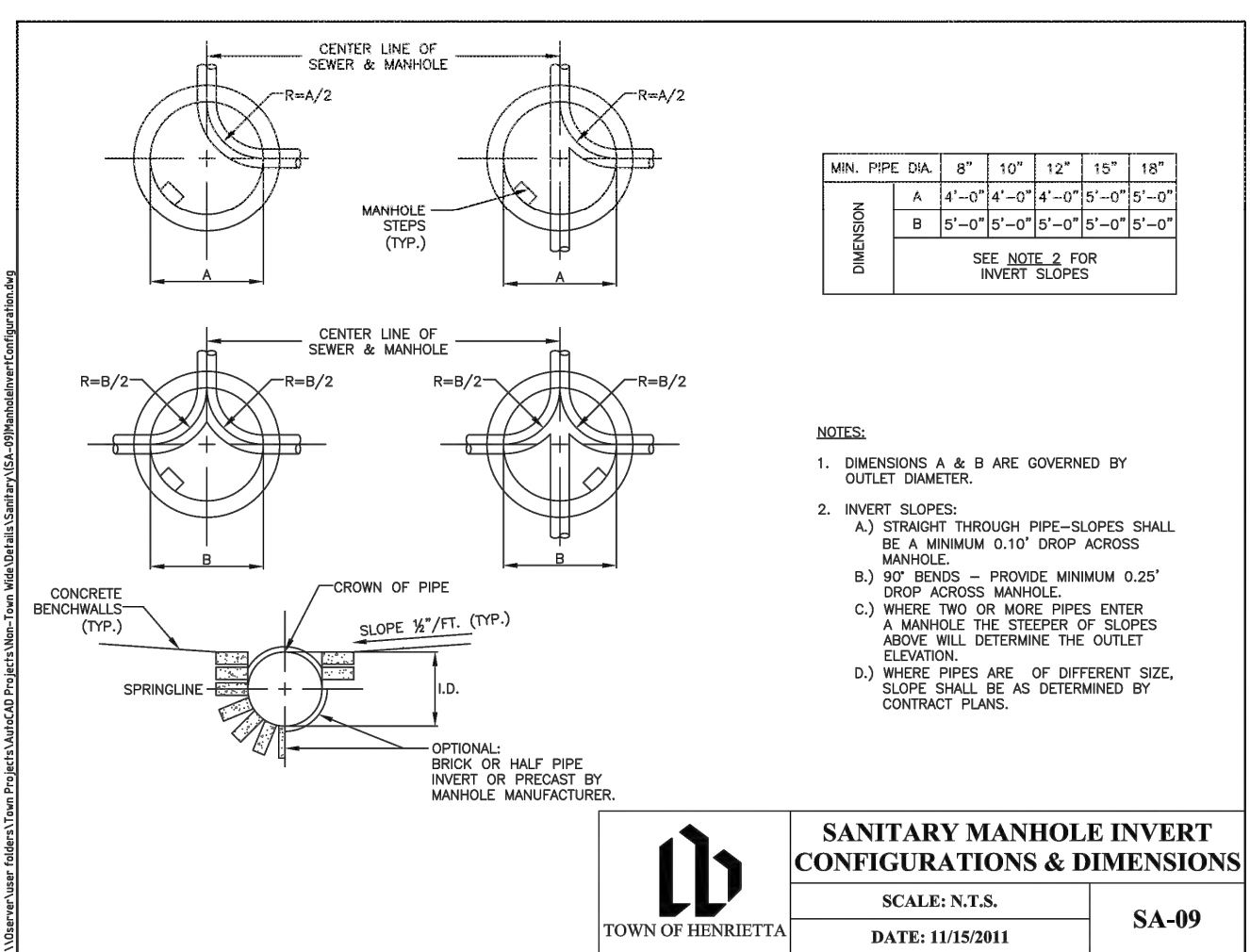
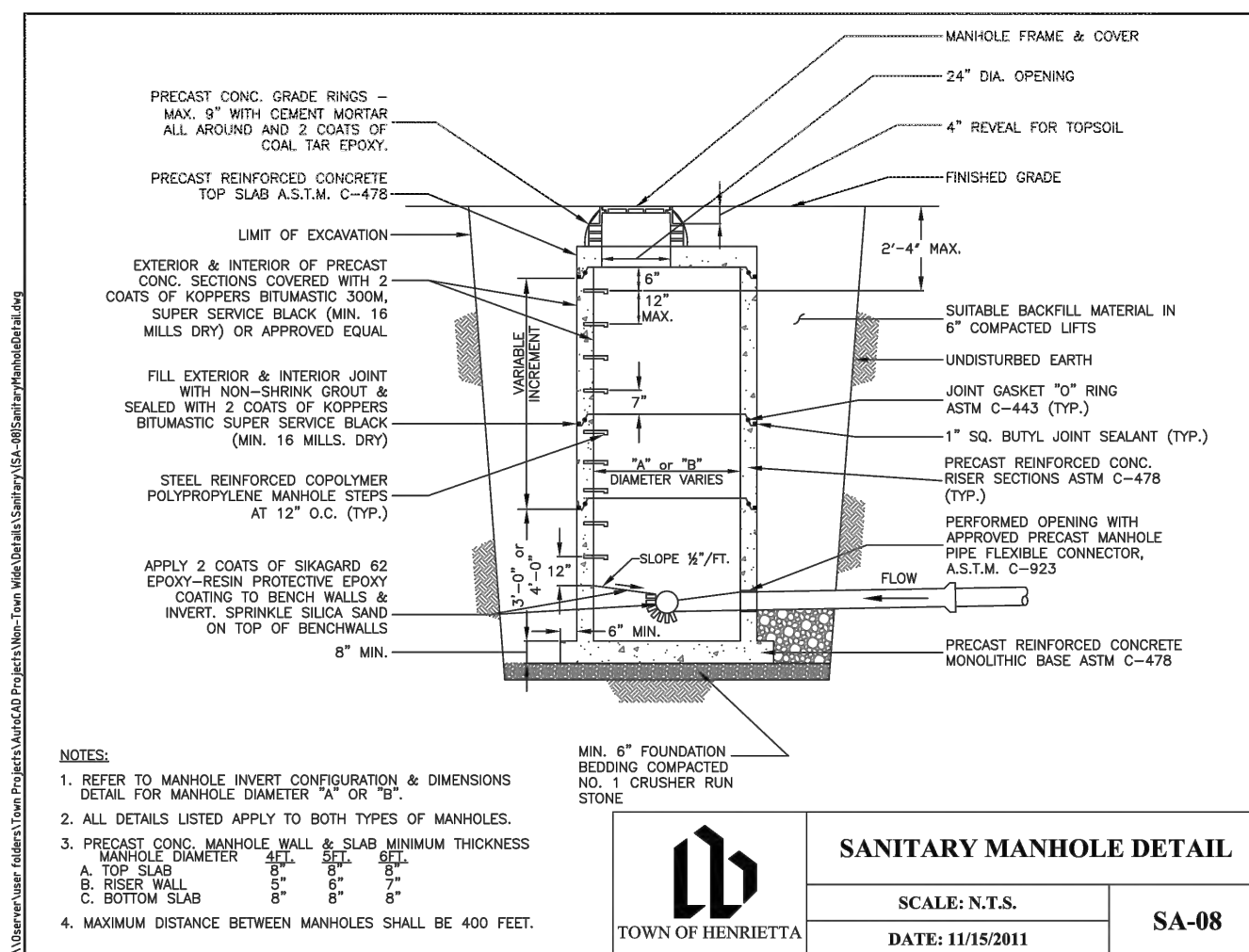
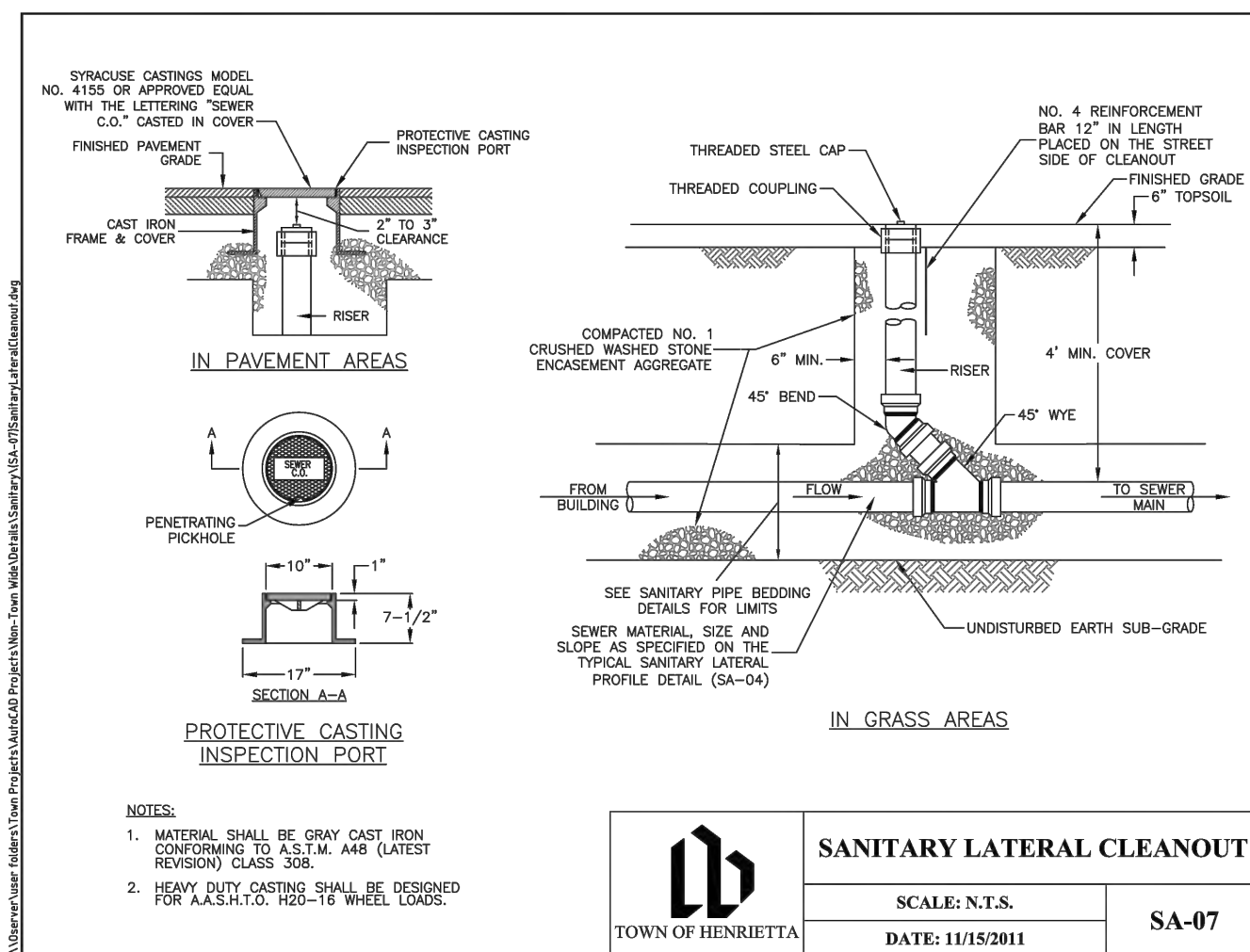
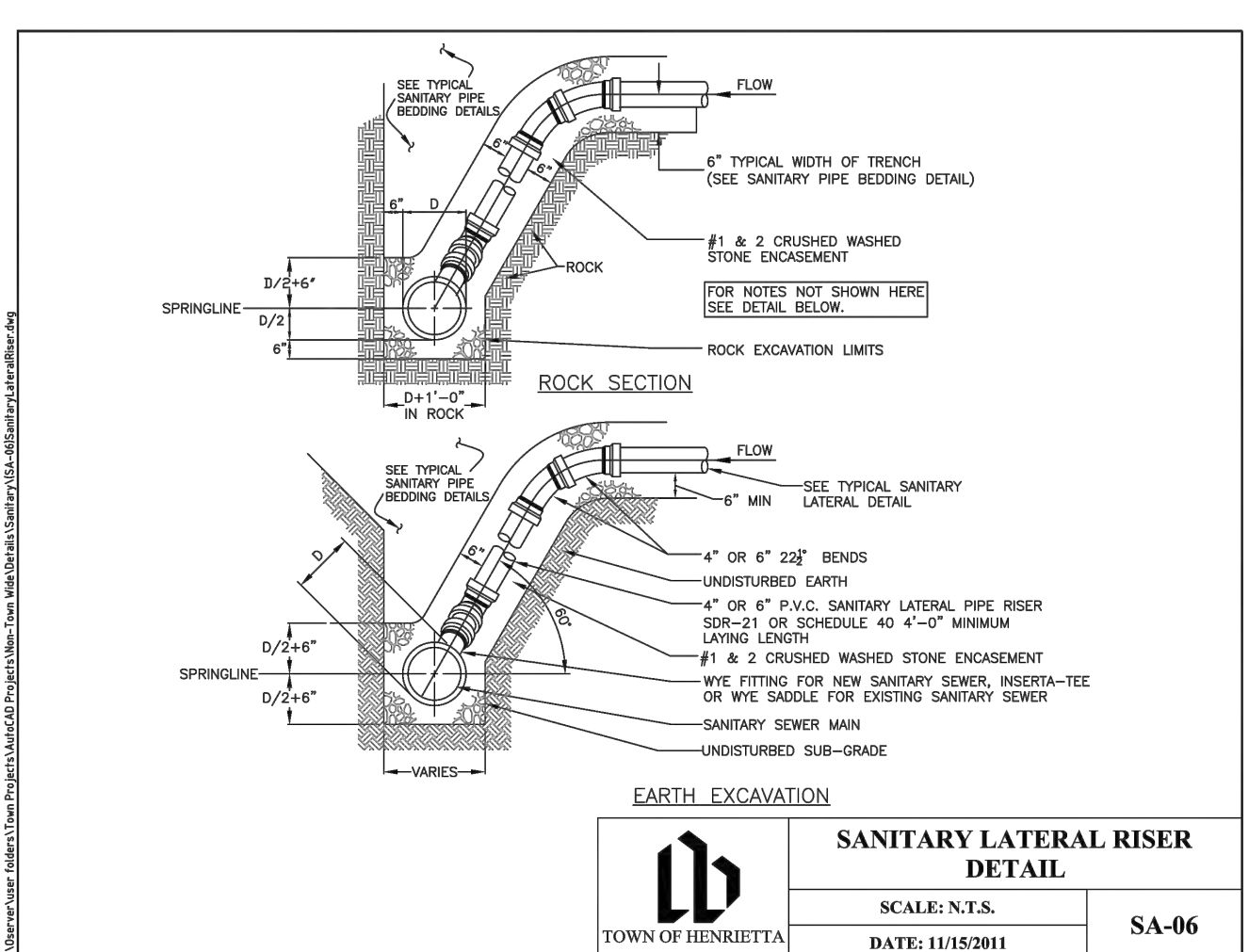
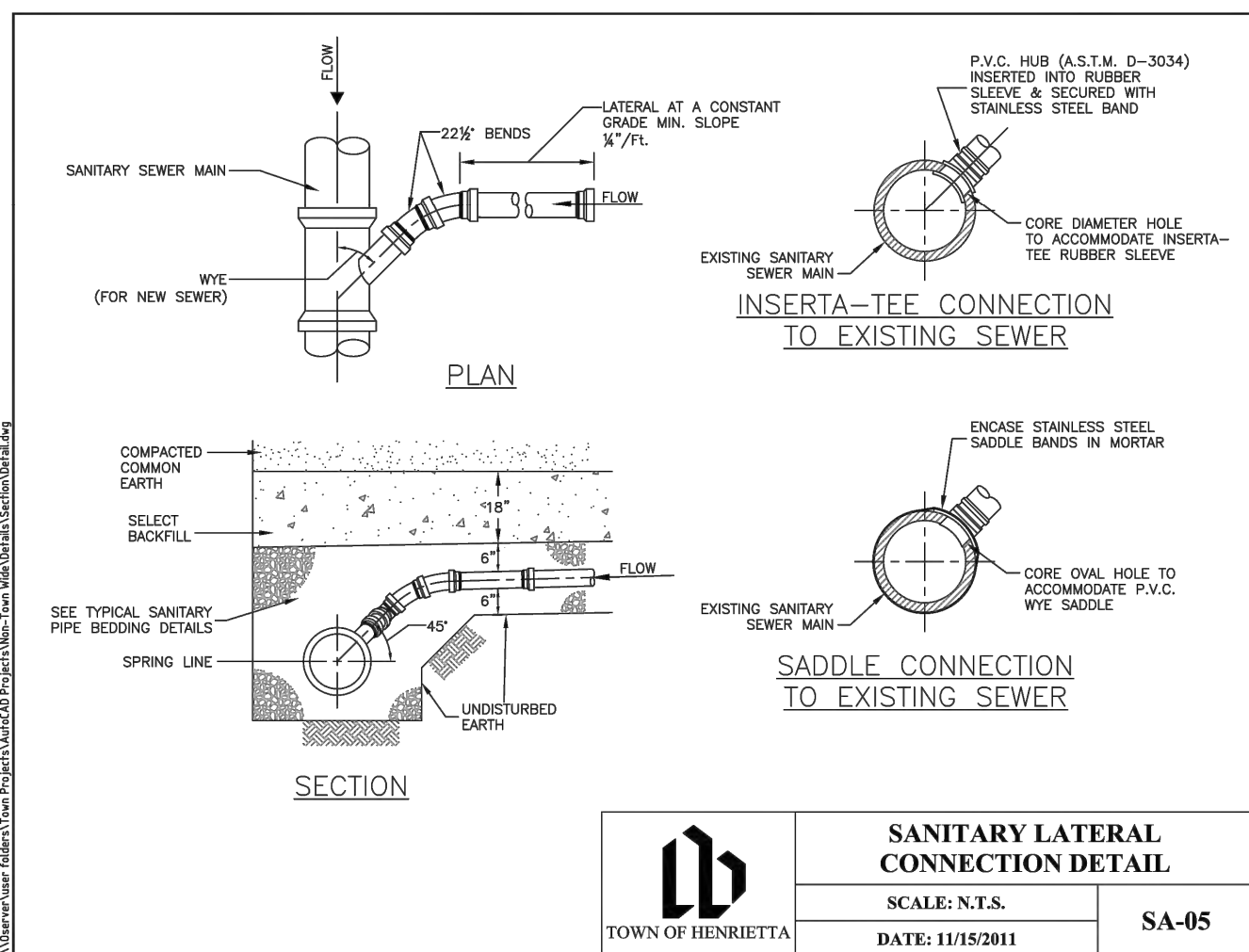
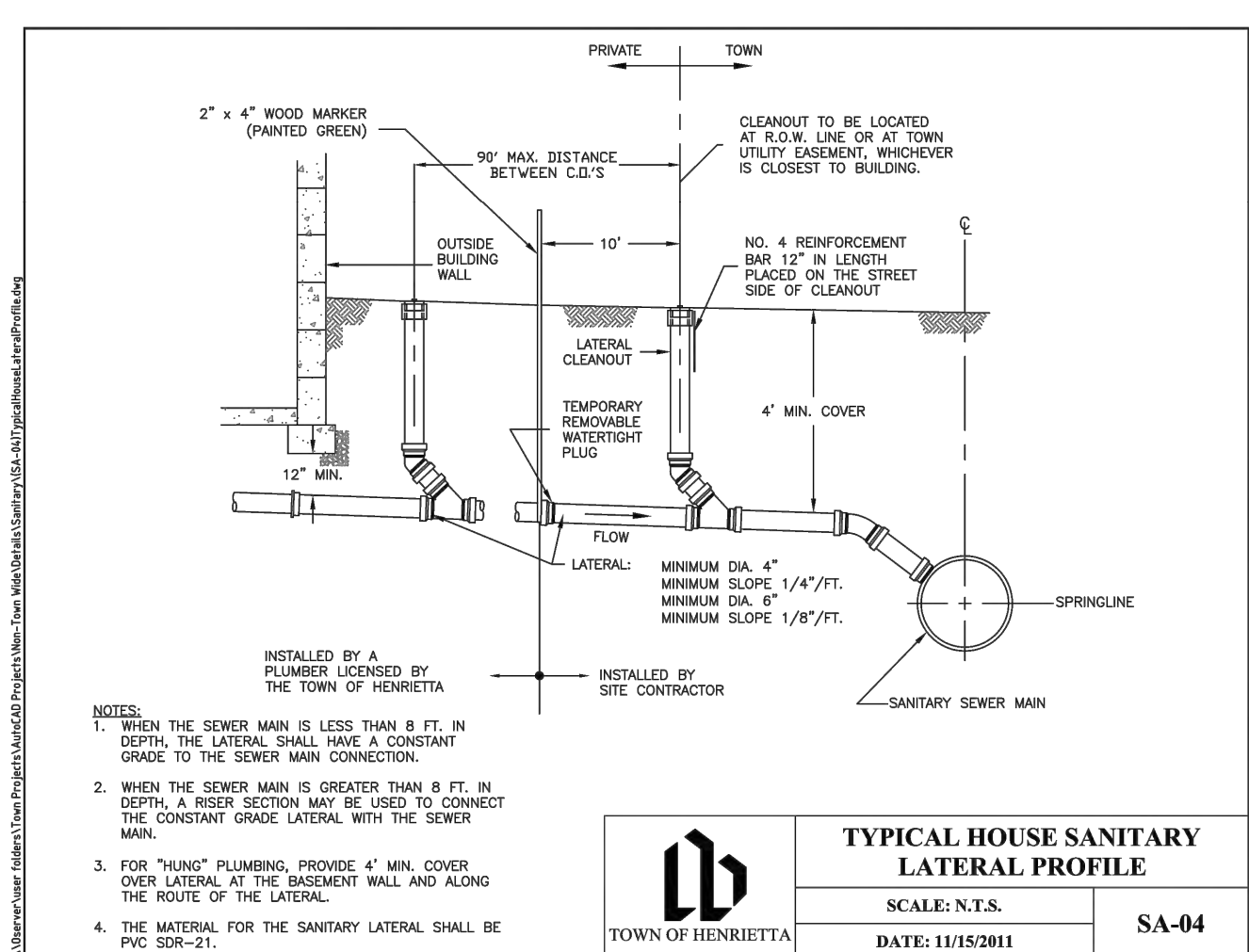
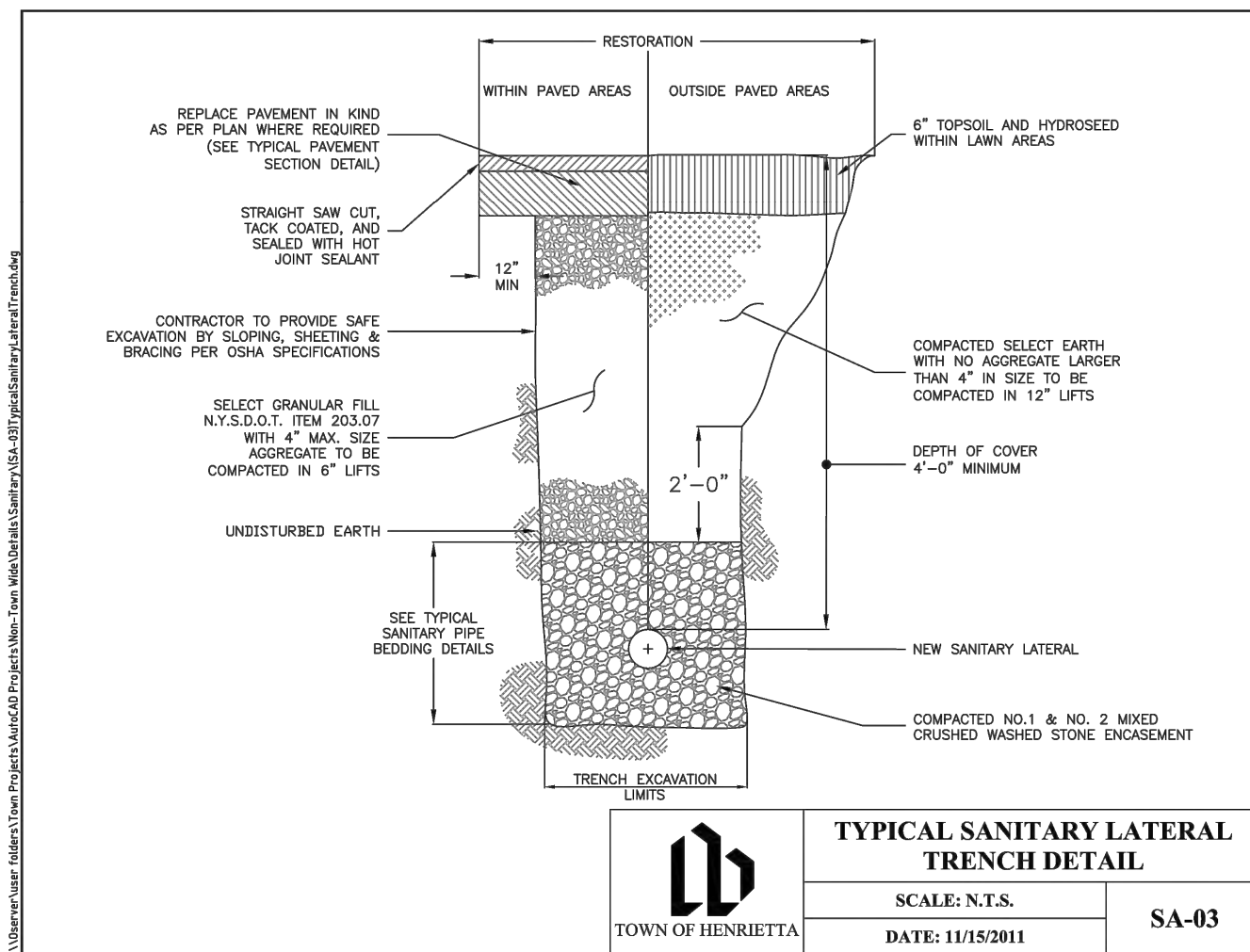
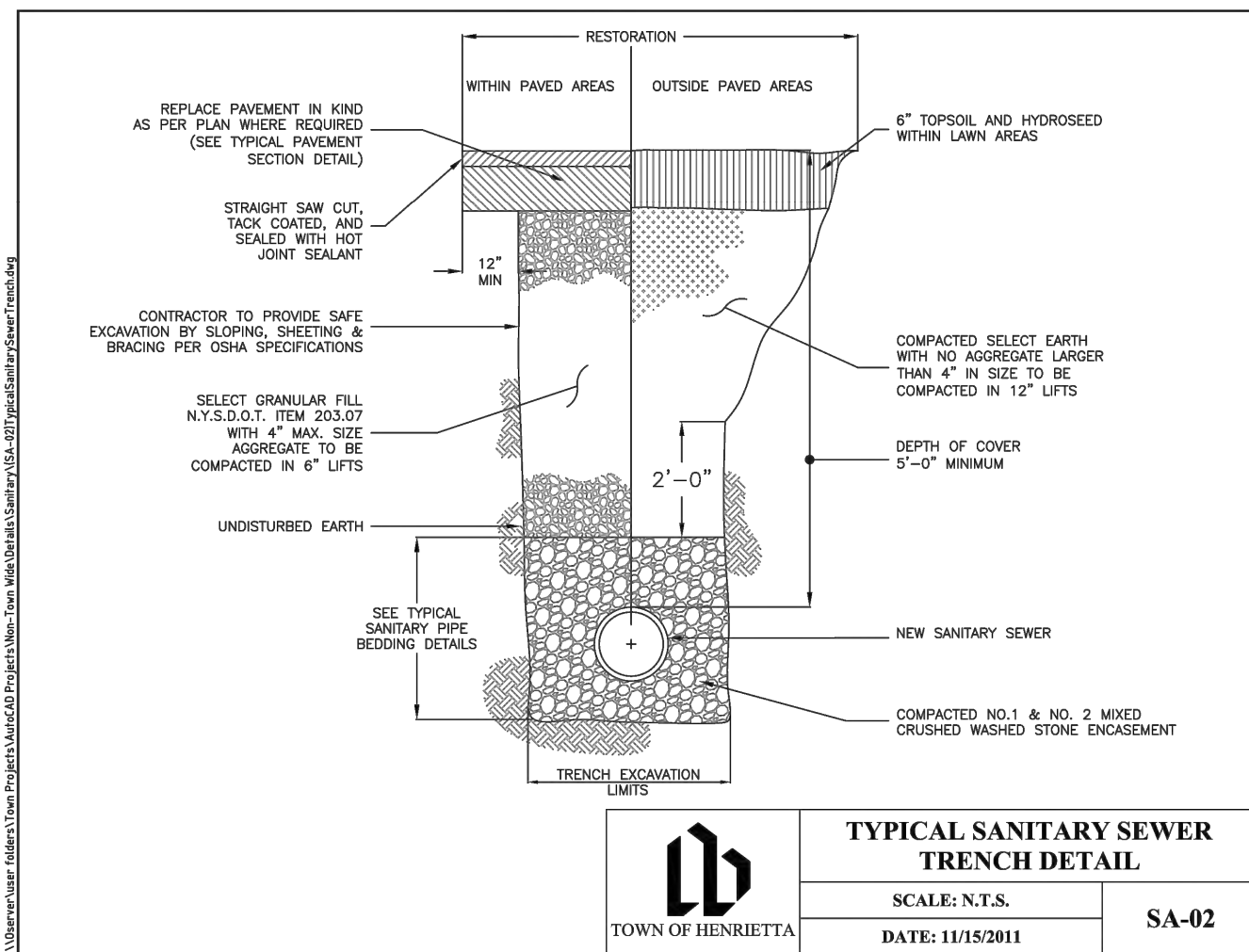
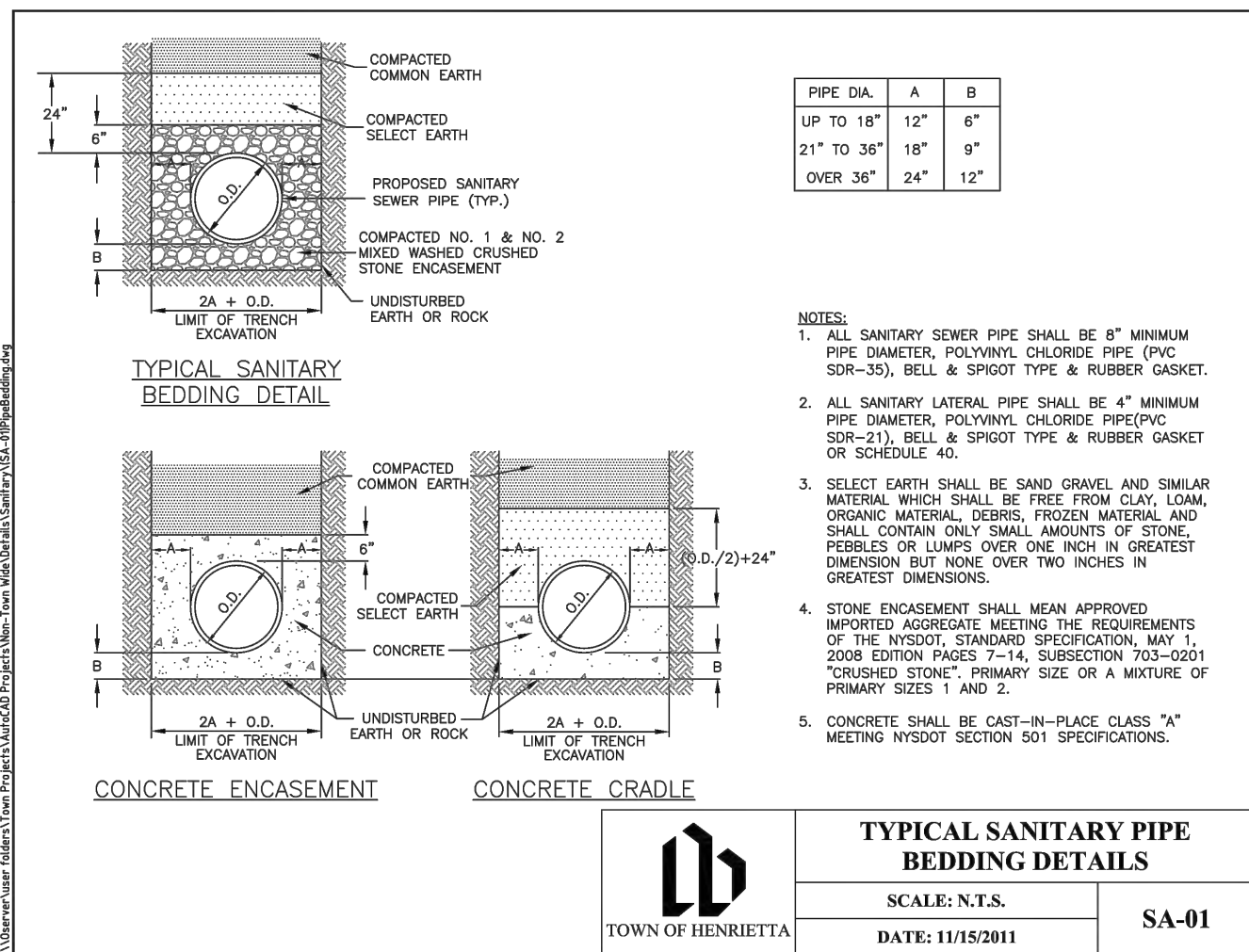
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TOWNSHIP 14, RANGE 4, TOWNSHIP & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. **C 203** Sheet No. **32**

Scale: **AS SHOWN**

Date: **SEPTEMBER 2023**



Client:  
**EAST RIVER HENRIETTA, LLC**  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
Principal-in-Charge: **Jess D. Sudol, PE**  
Project Manager: **Andrew Burns, EIT**  
Designed by: **Shari Klein**



No.	Date	By	Description

**DETAILS**

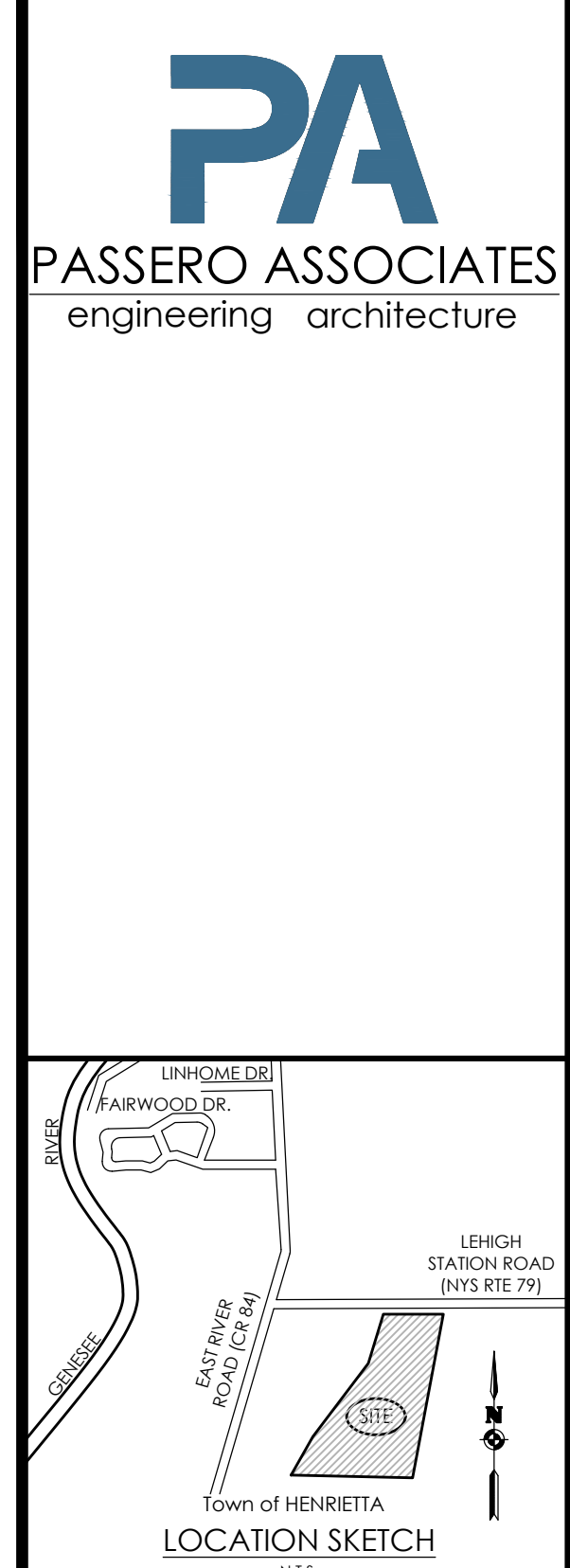
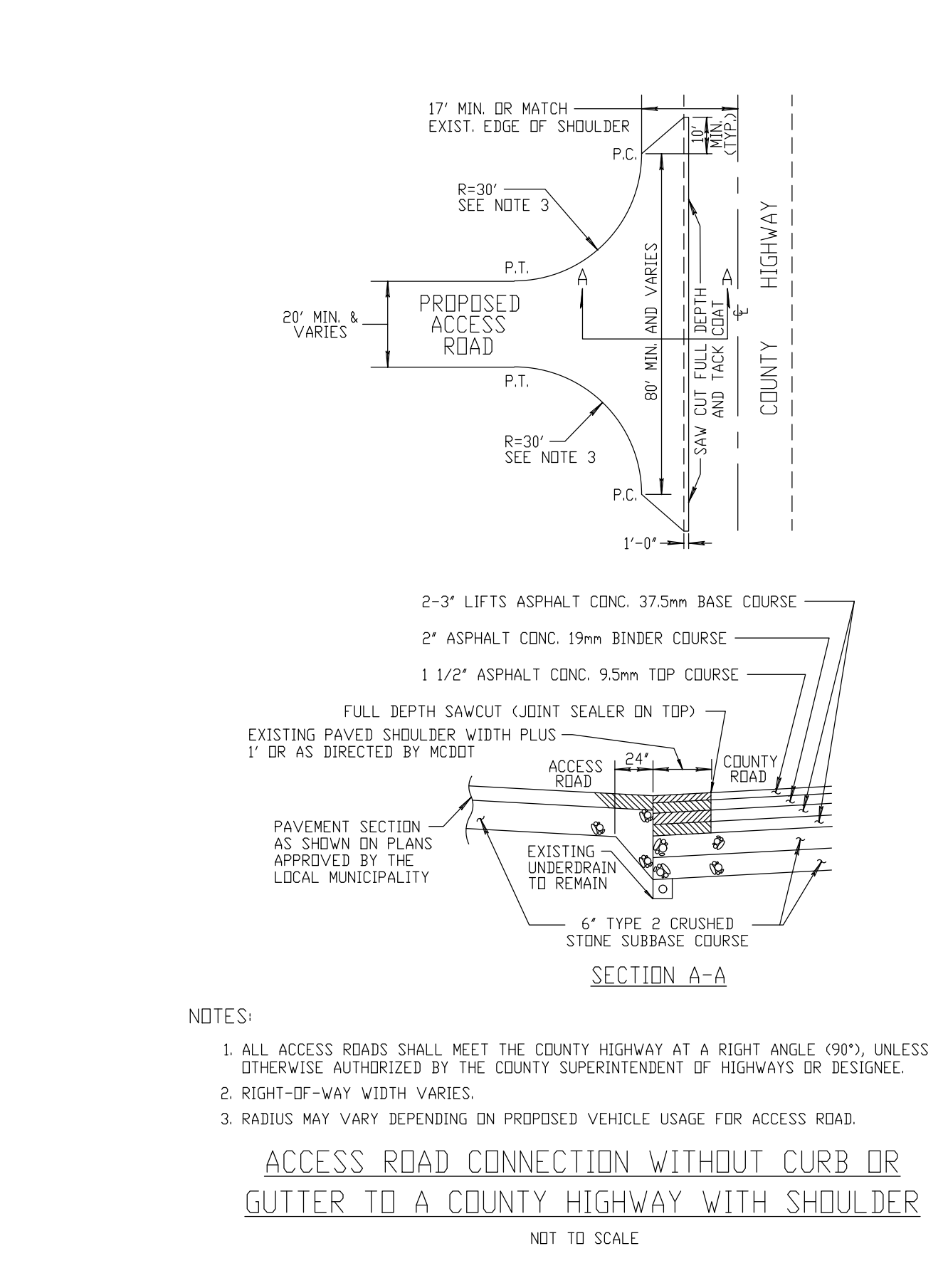
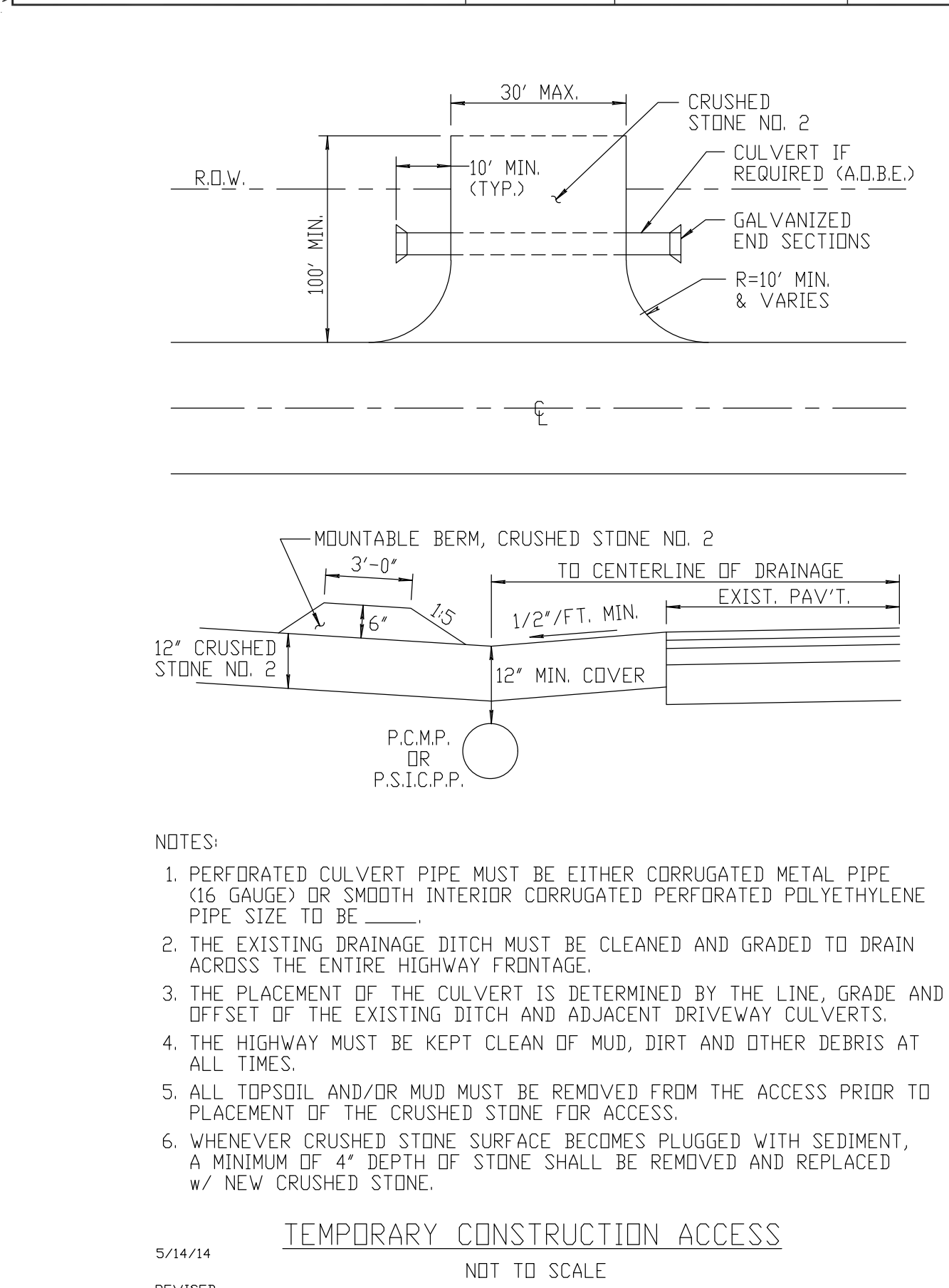
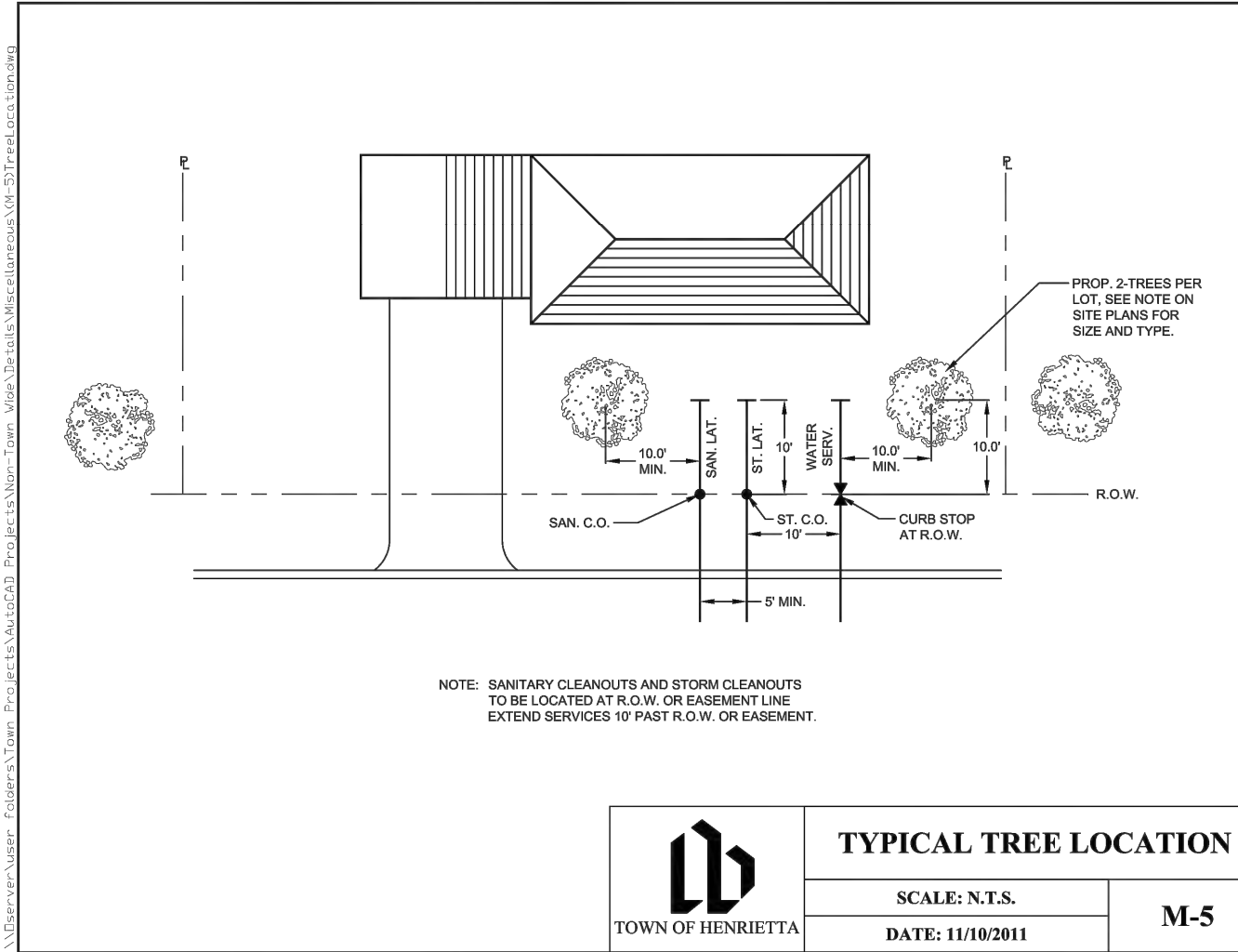
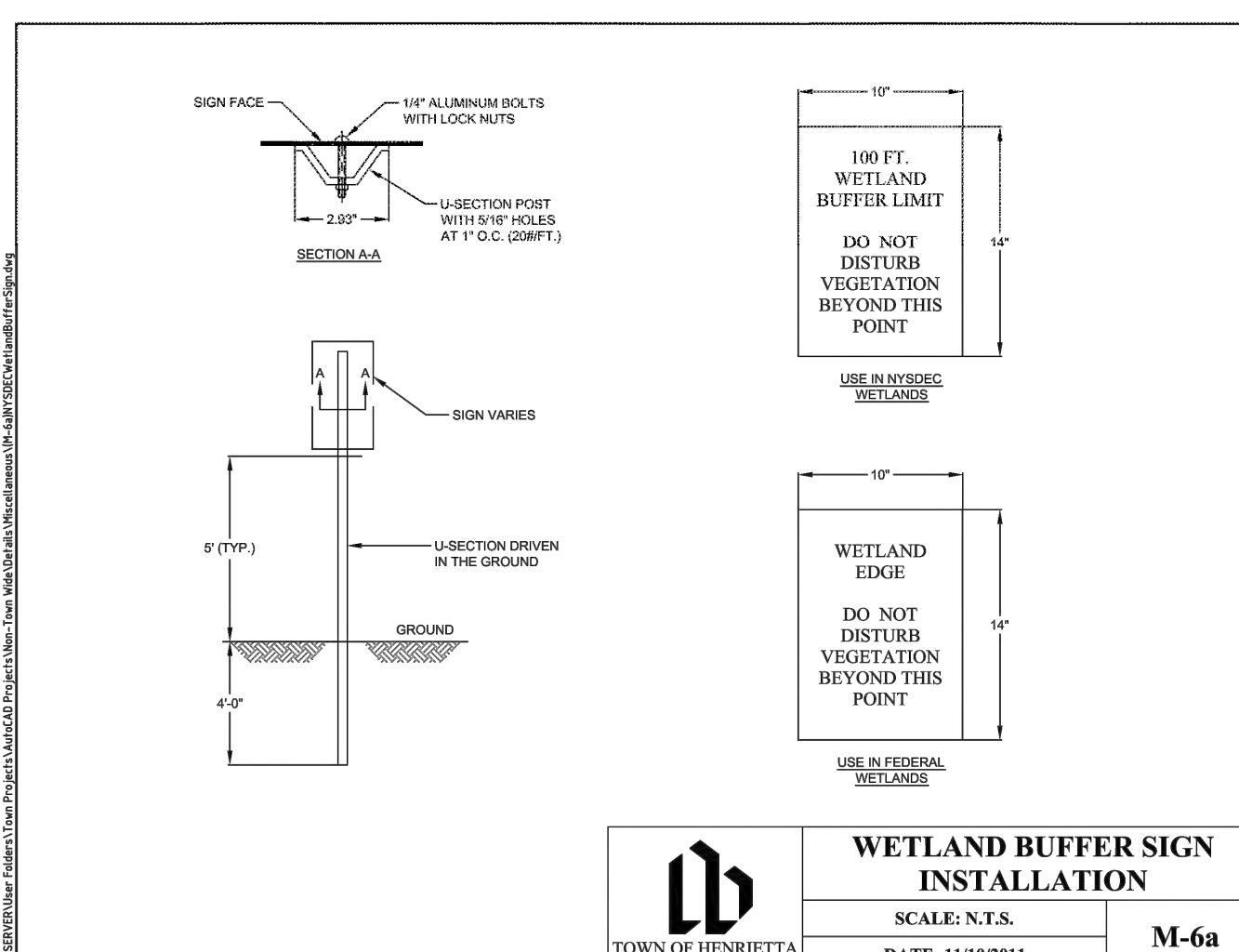
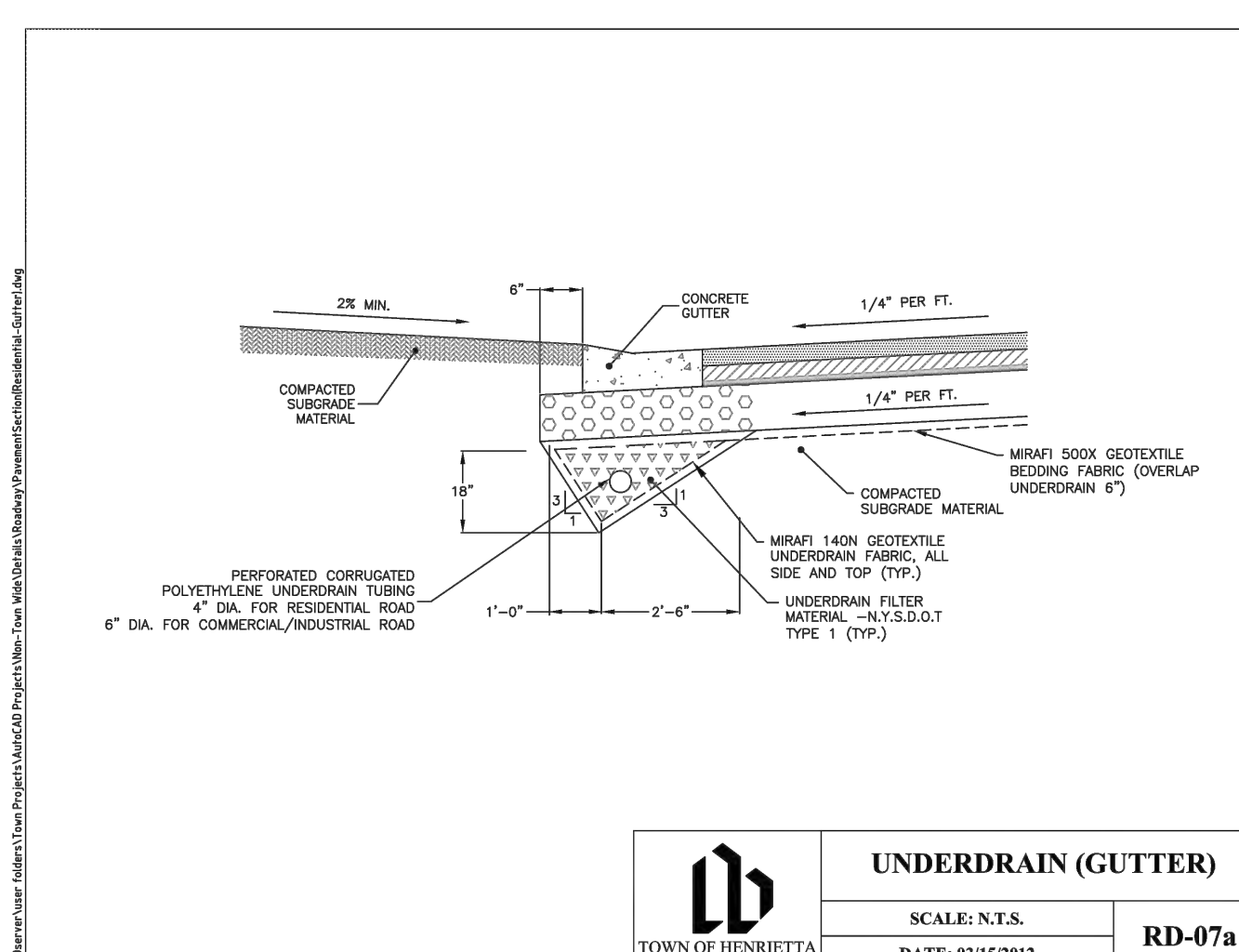
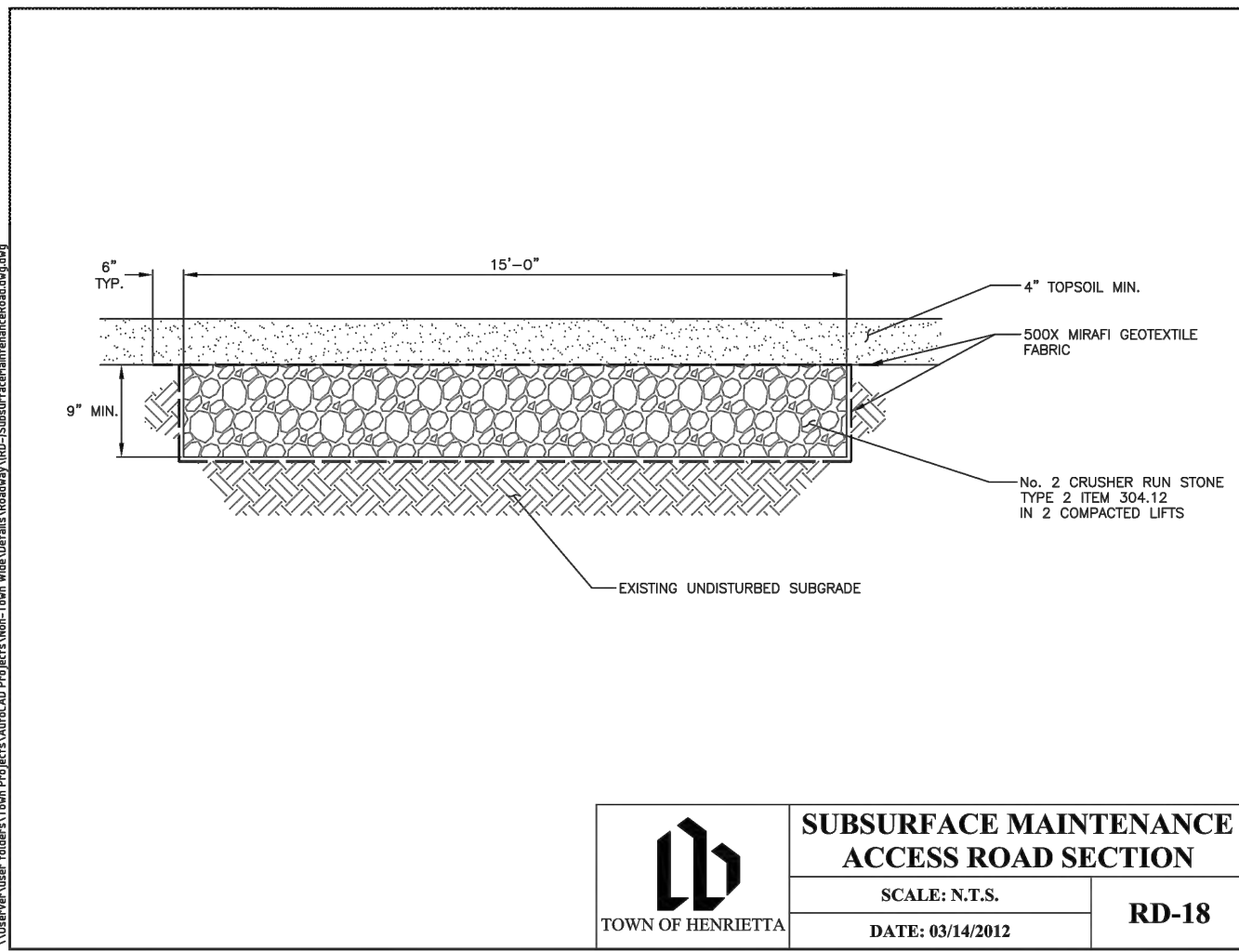
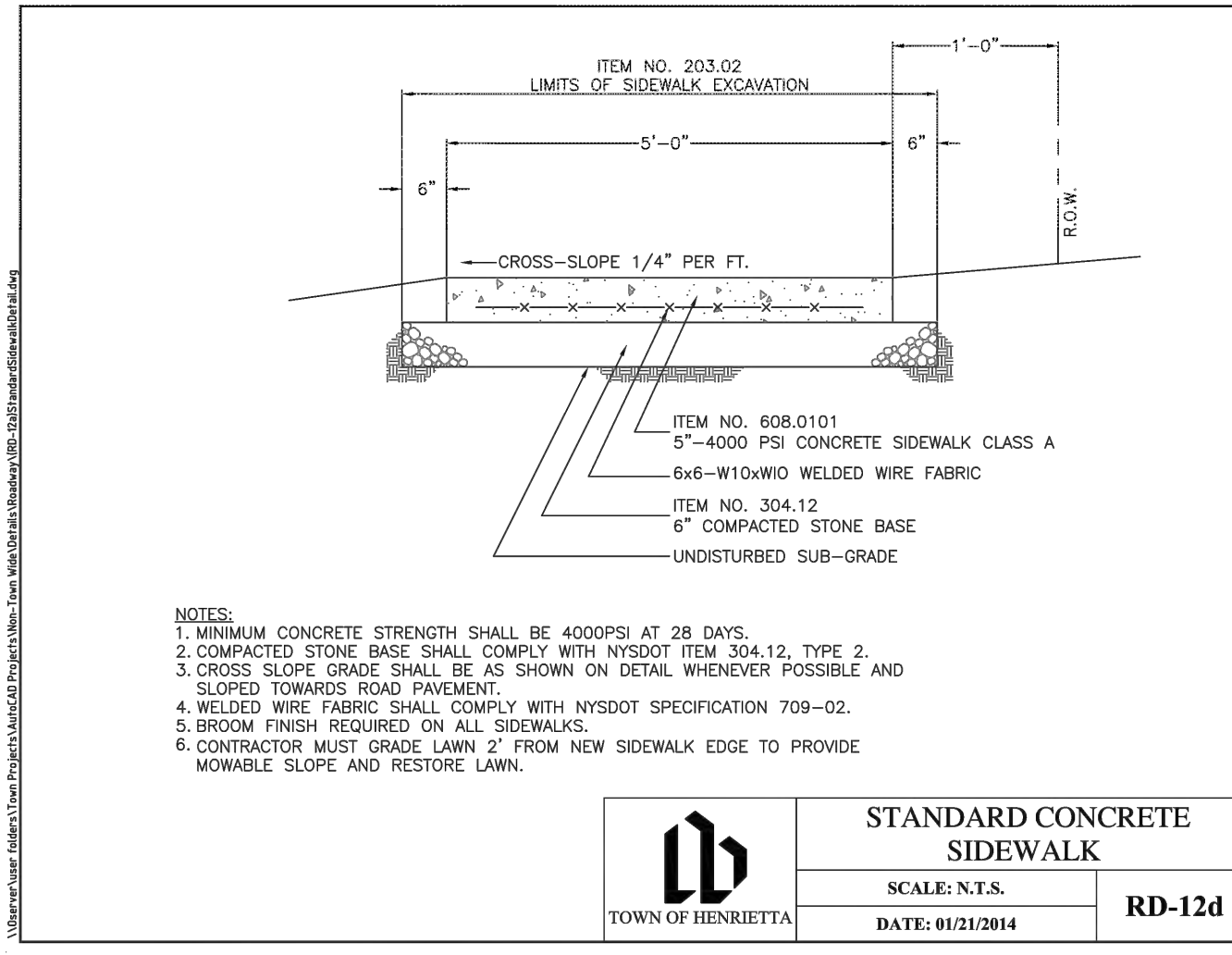
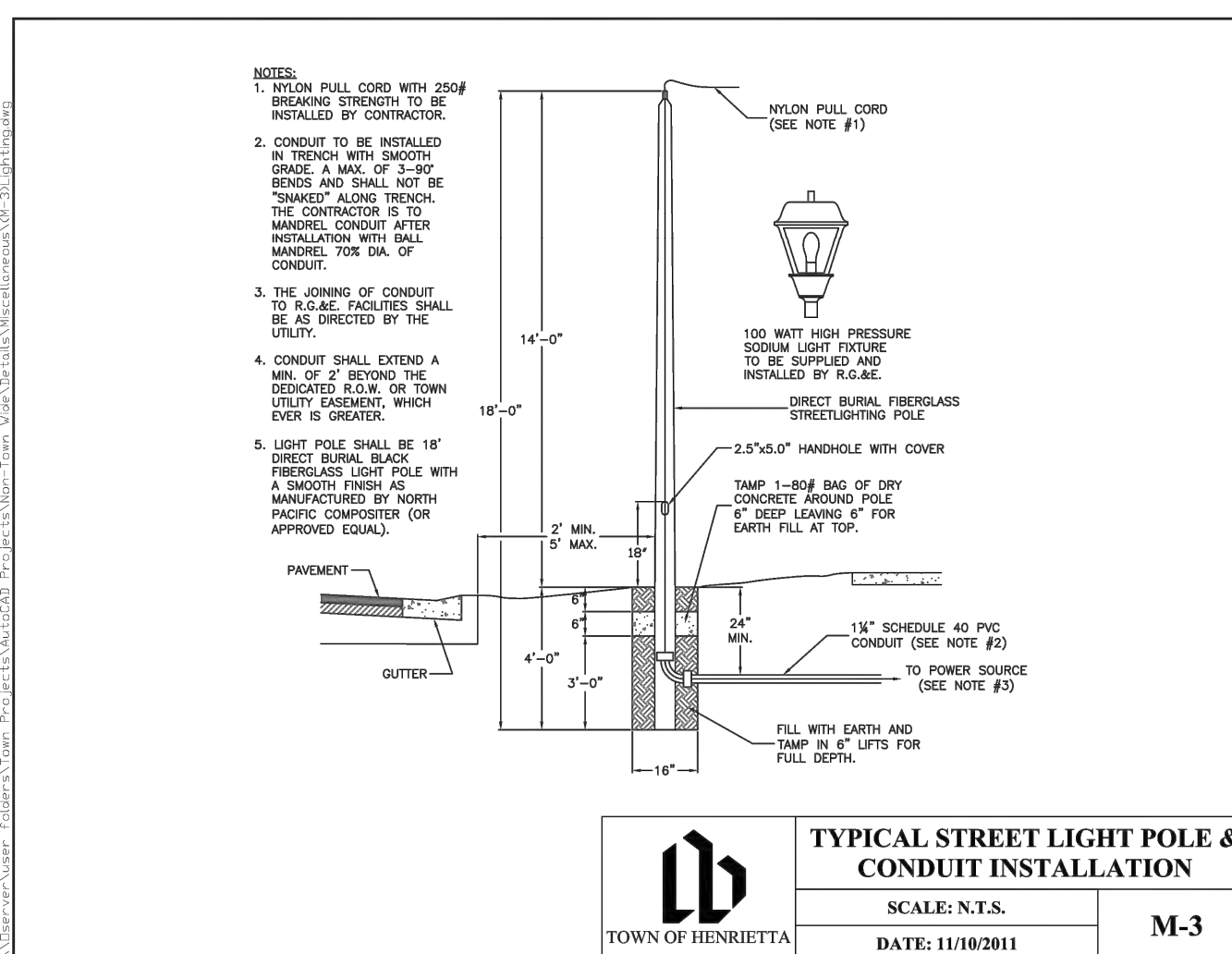
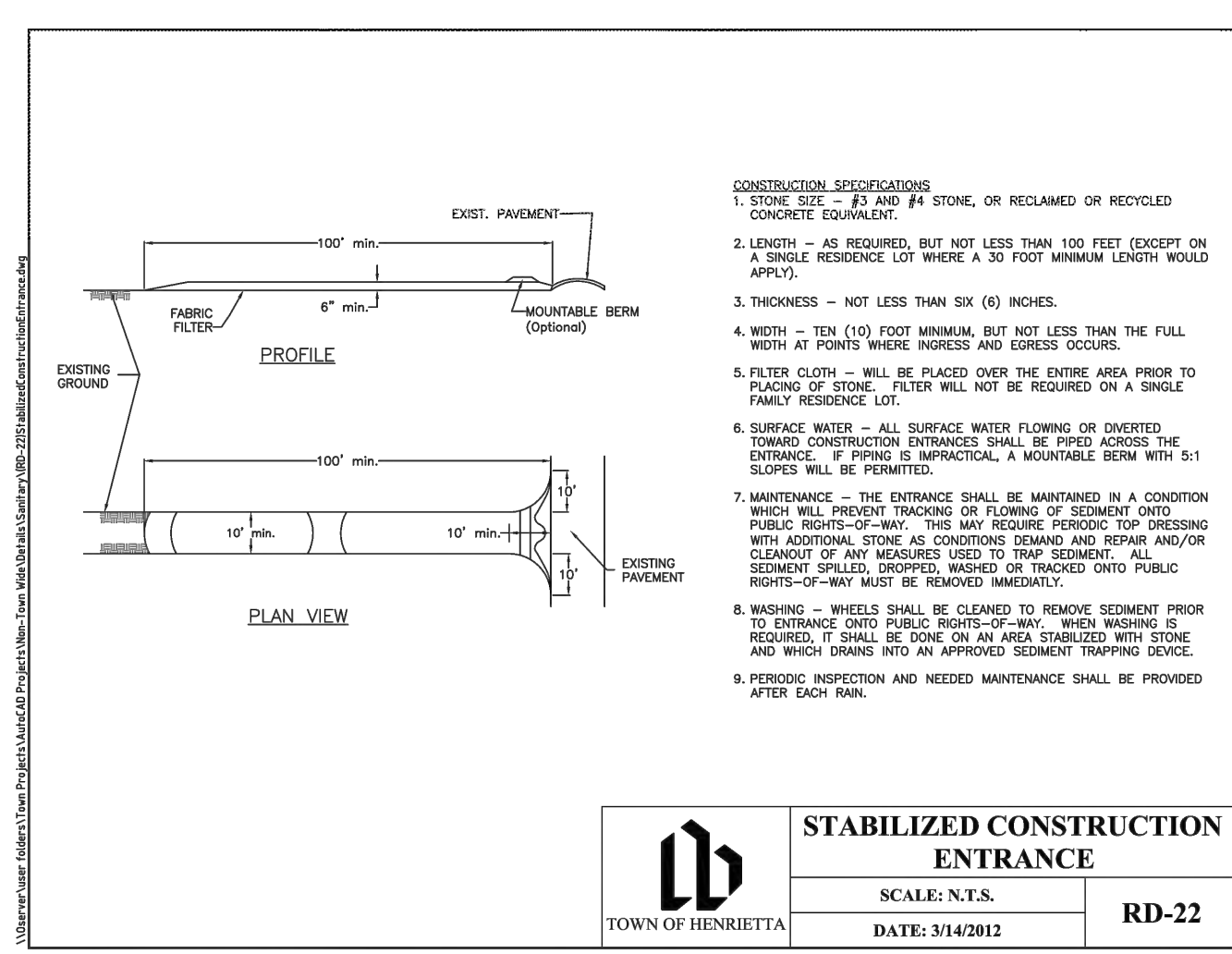
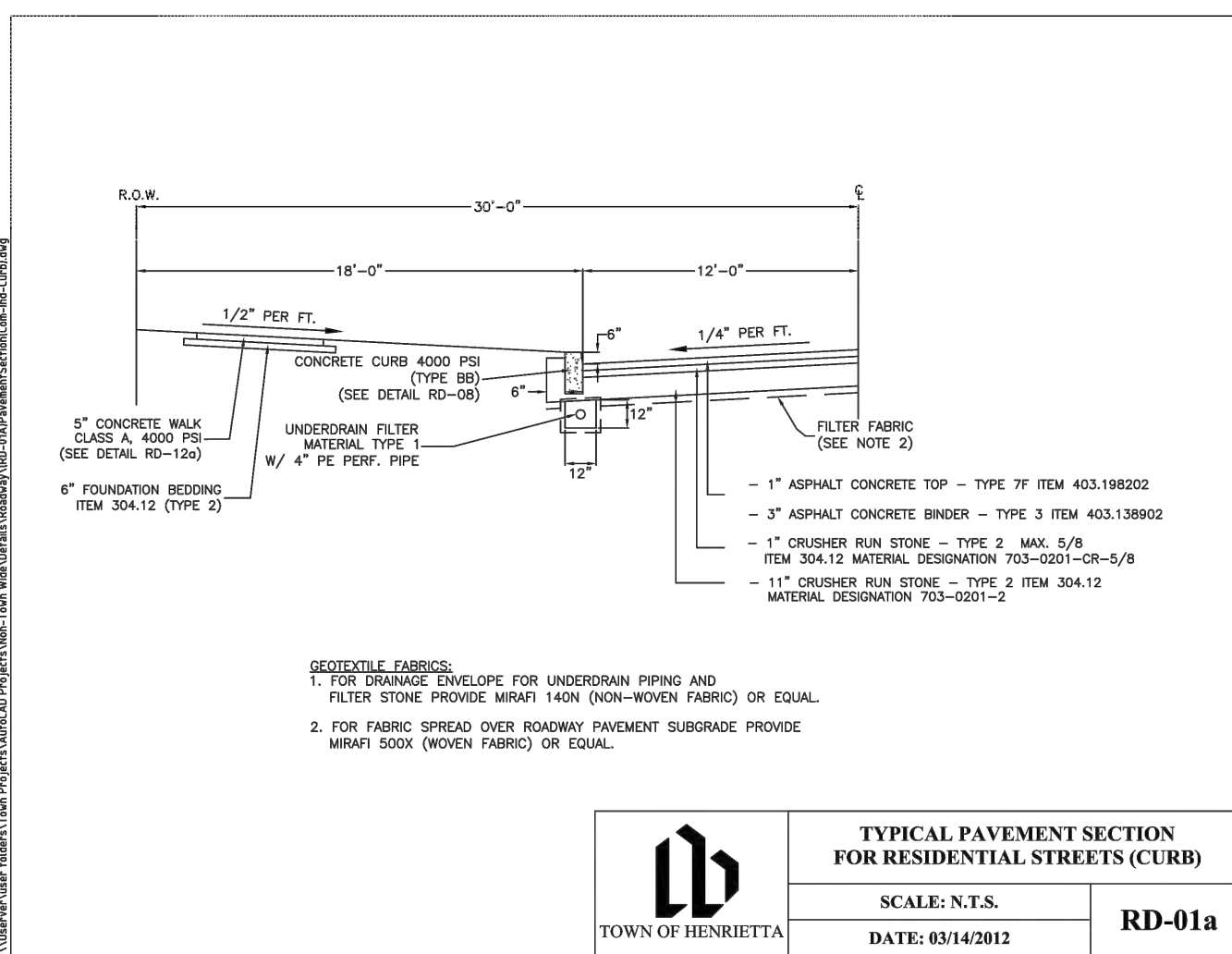
**RIVERS EDGE**  
BEING PART OF TOWN LOIS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TOWNSHIP 4, GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. **C 204** Sheet No. **33**

Scale: **AS SHOWN**

Date: **SEPTEMBER 2023**



Client:  
**EAST RIVER HENRIETTA, LLC**  
 64 COMMERCIAL STREET  
 SUITE 401  
 ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
 242 West Main Street Suite 100  
 Rochester, New York 14614 (585) 325-1000  
 Fax: (585) 325-1691

Principal-in-Charge: **Jess D. Sudol, PE**  
 Project Manager: **Andrew Burns, EIT**  
 Designed by: **Shari Kleis**



Revisions			
No.	Date	By	Description

**DETAILS**

**RIVERS EDGE**  
 BEING PART OF TOWN LOIS 1 & 2, SECTION 13,  
 TOWNSHIP 14, RANGE 4, TOWNSHIP & GORHAM PURCHASE  
 Town/City: HENRIETTA  
 County: MONROE State: NEW YORK

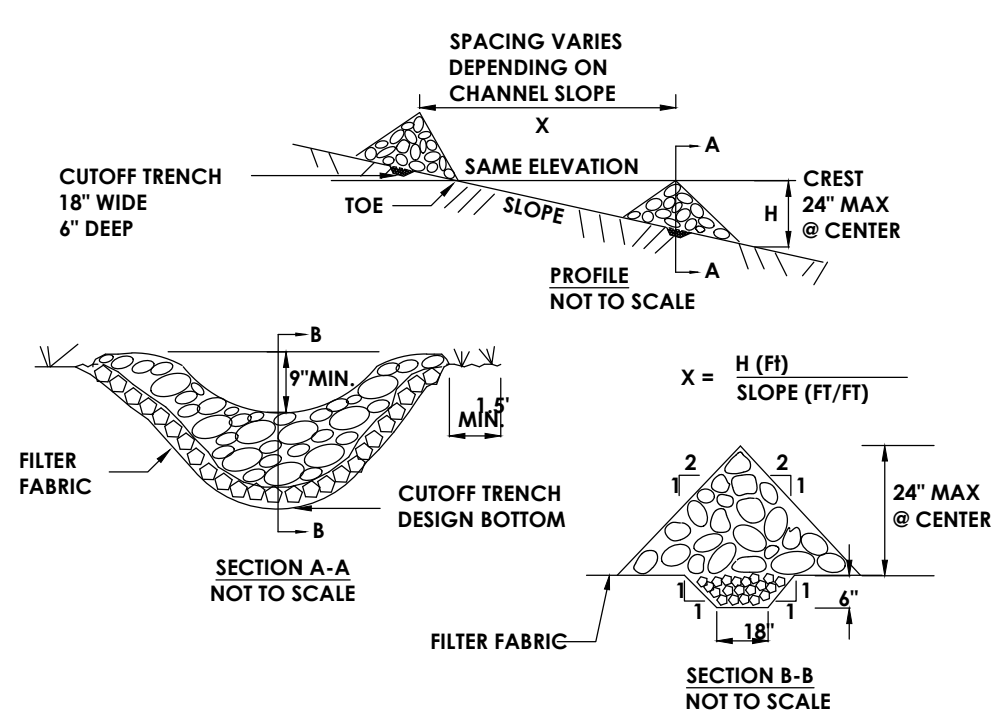
Project No.: **20192793.0007**

Drawing No.	Sheet No.
<b>C 205</b>	<b>34</b>

Scale: **AS SHOWN**

Date: **SEPTEMBER 2023**

NOT FOR CONSTRUCTION

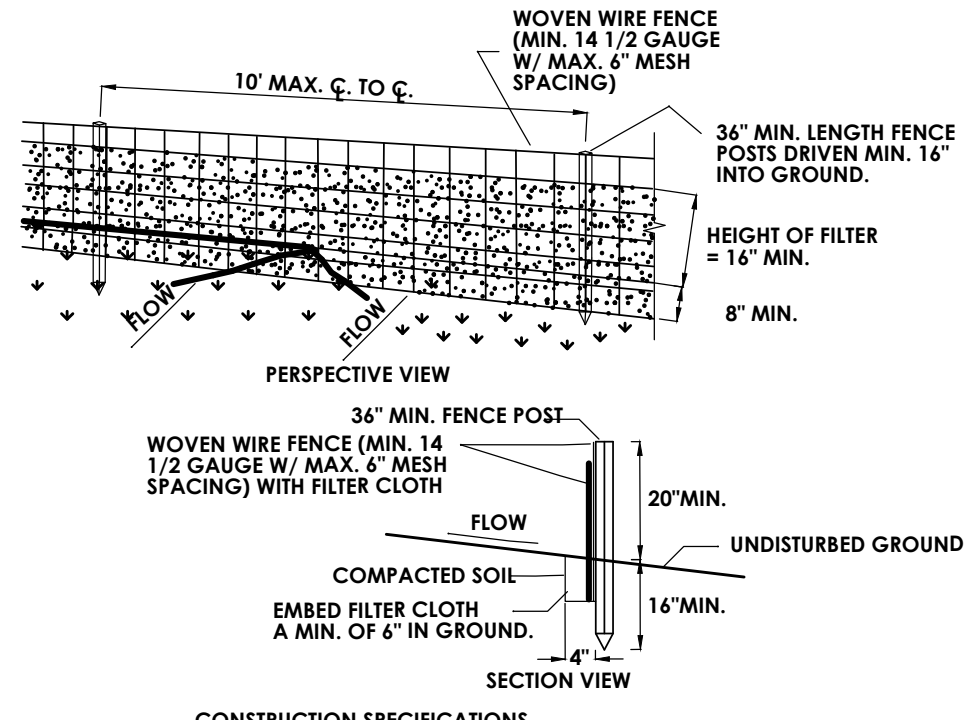


**CONSTRUCTION SPECIFICATIONS**

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

**STONE CHECK DAM**

N.T.S.

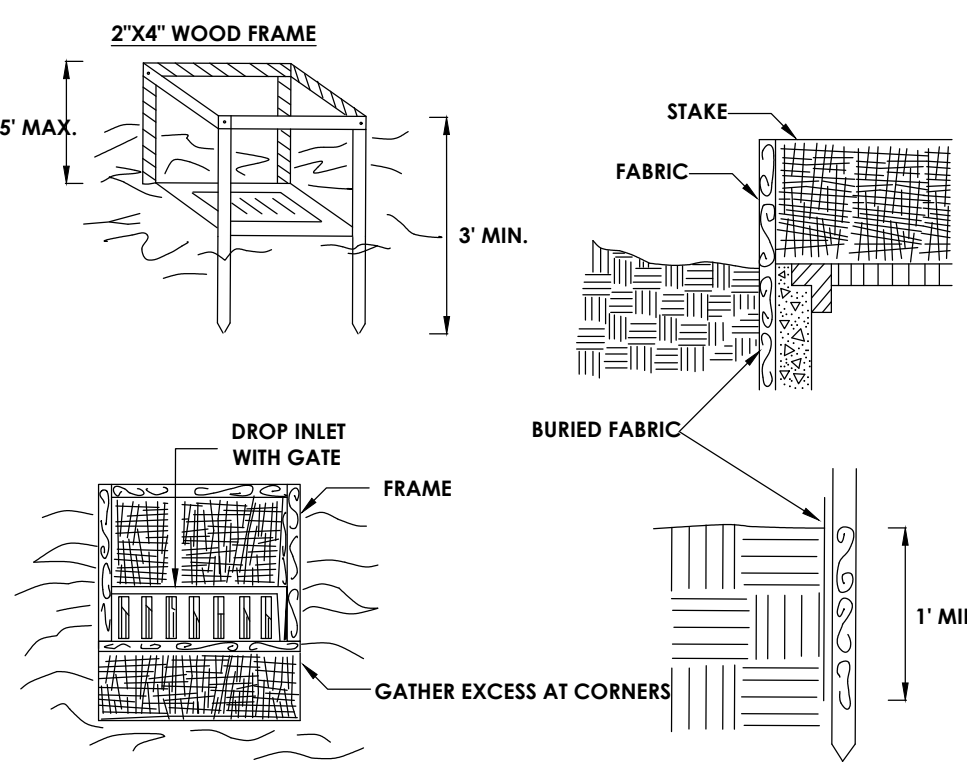


**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**

N.T.S.



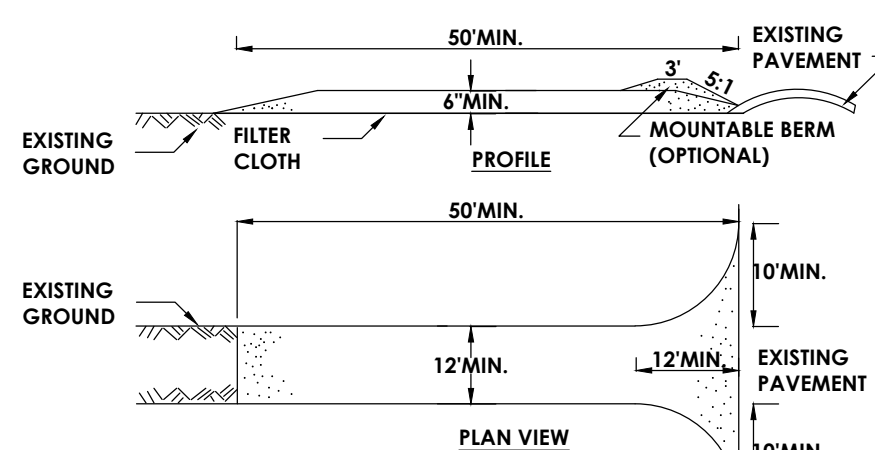
**CONSTRUCTION SPECIFICATIONS**

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

**FILTER FABRIC DROP INLET PROTECTION**

N.T.S.

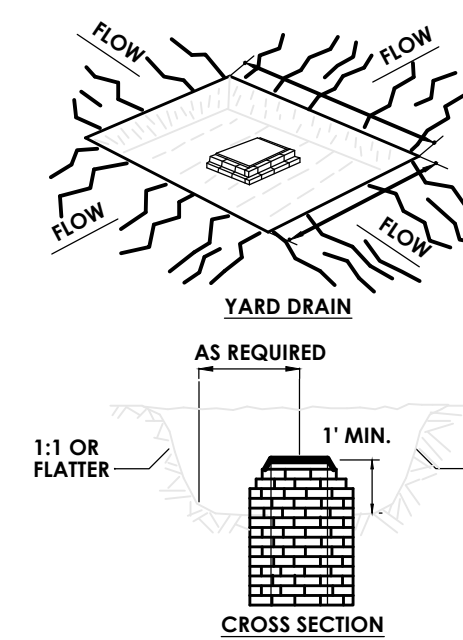


**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

**STABILIZED CONSTRUCTION ENTRANCE**

N.T.S.



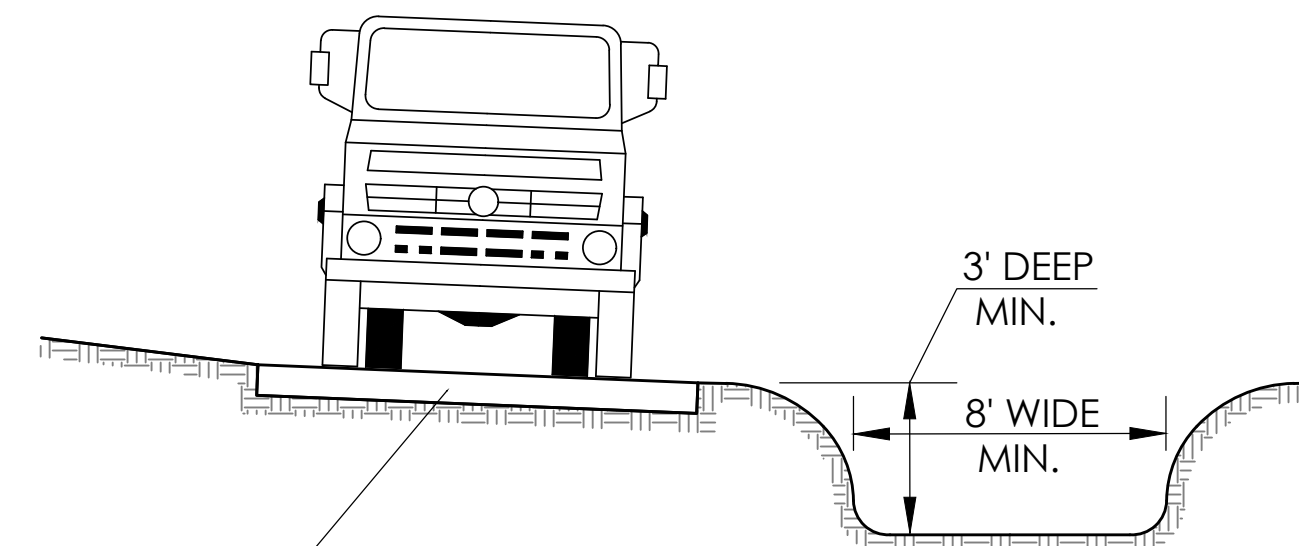
**CONSTRUCTION SPECIFICATIONS**

- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

MAXIMUM DRAINAGE AREA: 3 ACRES

**CATCH BASIN SEDIMENT TRAP**

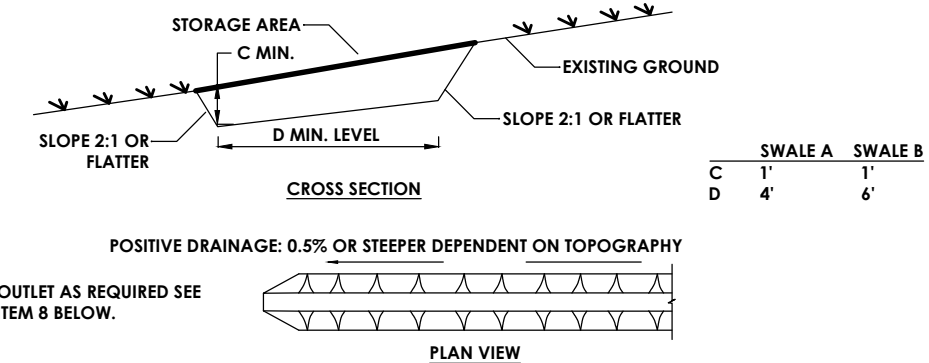
N.T.S.



PROVIDE 8" THICK STONE BASE WITH 2% MIN. CROSS SLOPE

**TRUCK WASHDOWN AREA**

N.T.S.

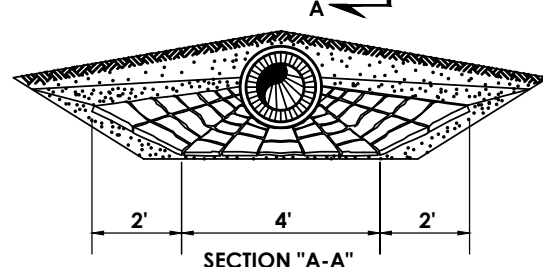
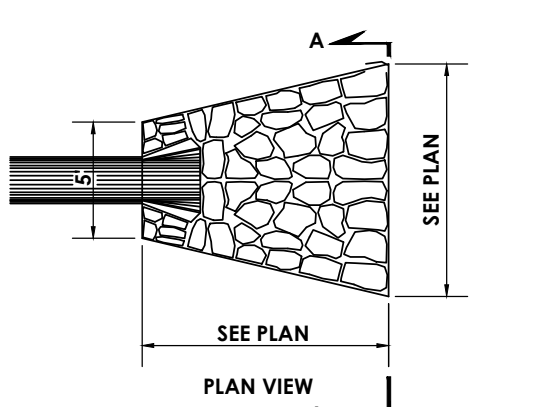


**CONSTRUCTION SPECIFICATIONS**

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVERTED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHARPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

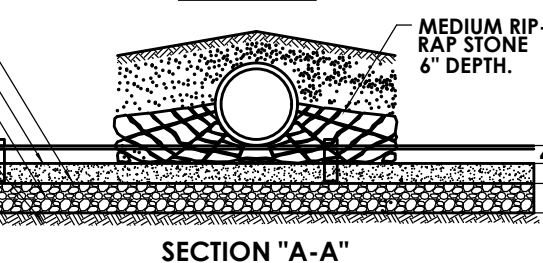
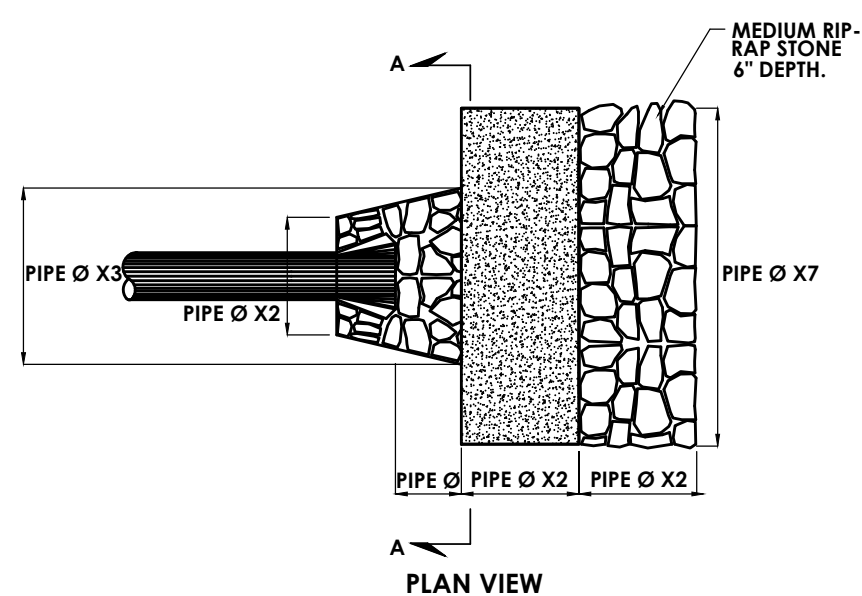
**TEMPORARY SWALE DETAIL**

N.T.S.



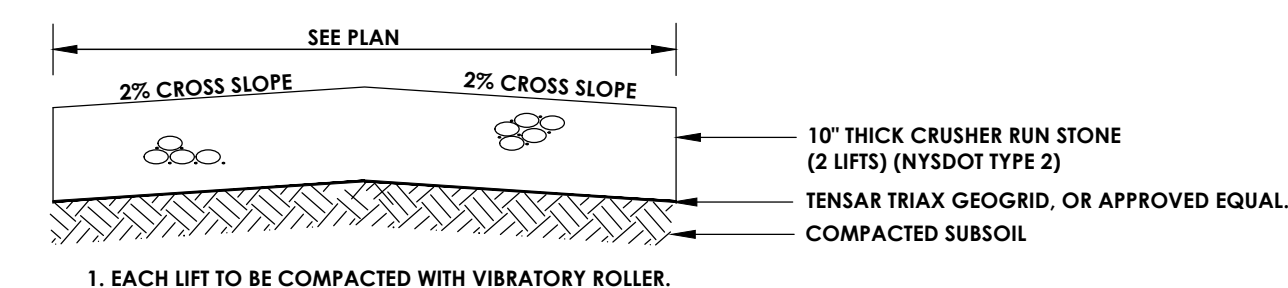
**RIP-RAP DETAIL**

N.T.S.



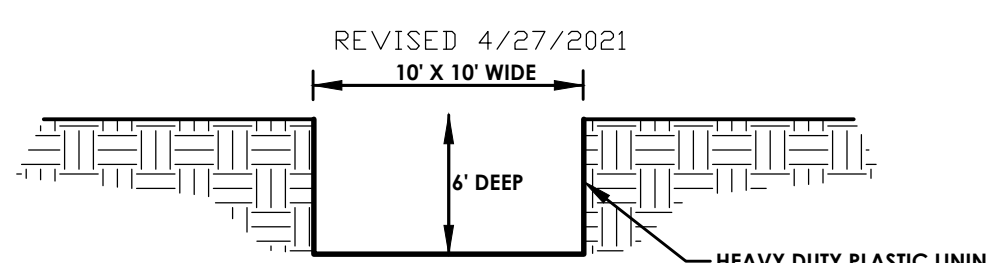
**CONCRETE LEVEL SPREADER DETAIL**

N.T.S.



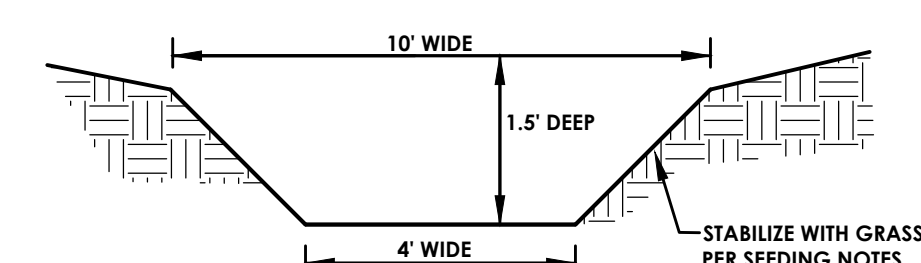
**STORMWATER ACCESS ROAD**

N.T.S.



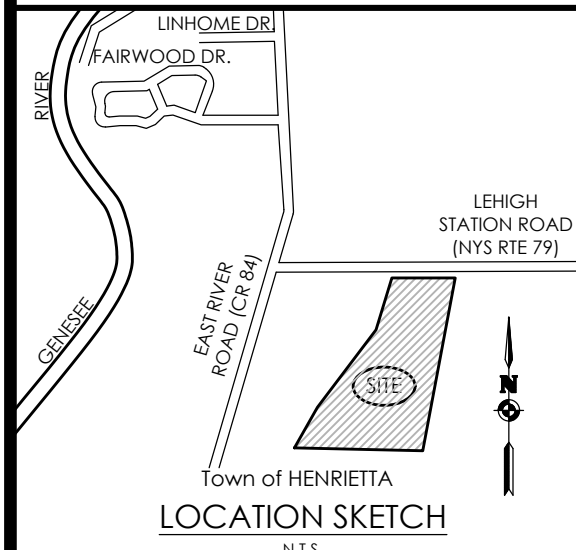
**CONCRETE WASH OUT AREA**

N.T.S.



**GRASS DRAINAGE SWALE DETAIL**

N.T.S.



Client:  
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Principal-in-Charge: **Jess D. Sudol, PE**  
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Designed by: **Shari Kleis**



**Revisions**

No.	Date	By	Description

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**DETAILS**

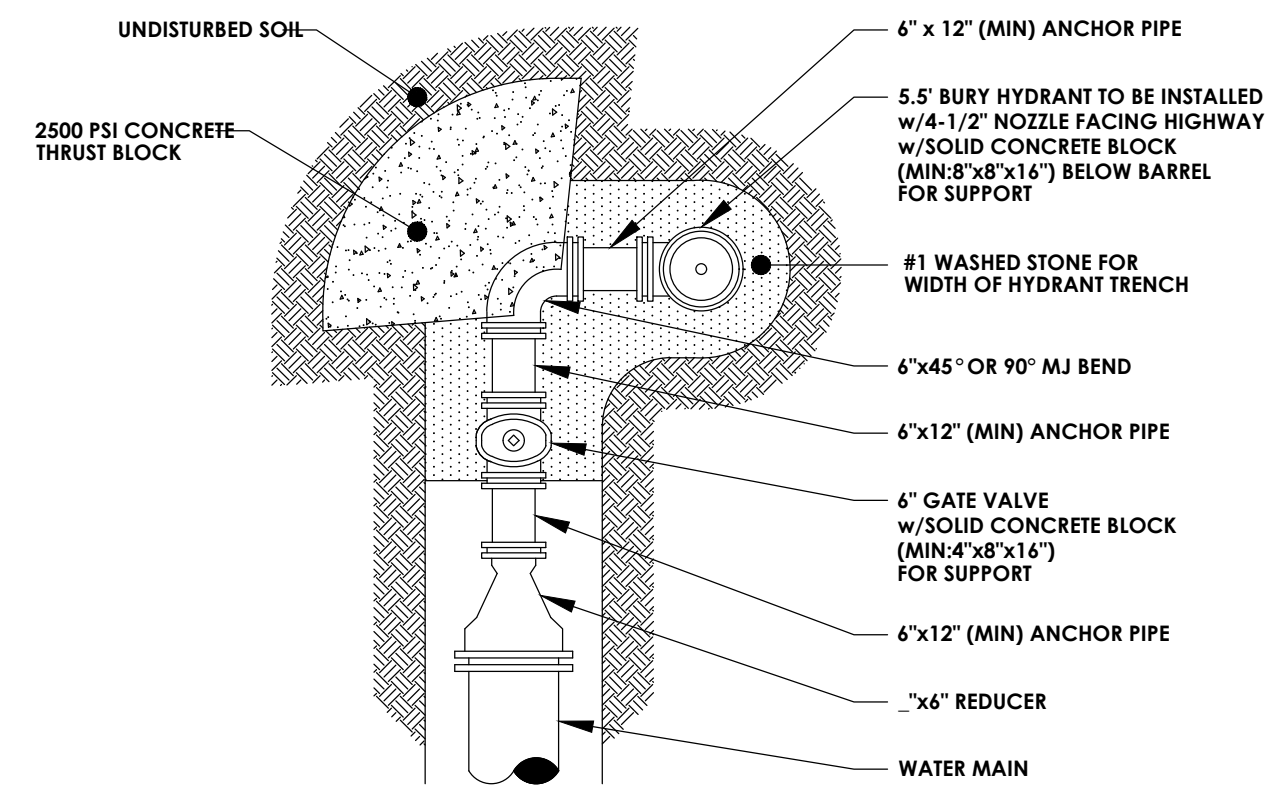
**RIVERS EDGE**  
BEING PART OF TOWN LOIS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TOWNSHIP 8 GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. **C 206** Sheet No. **35**

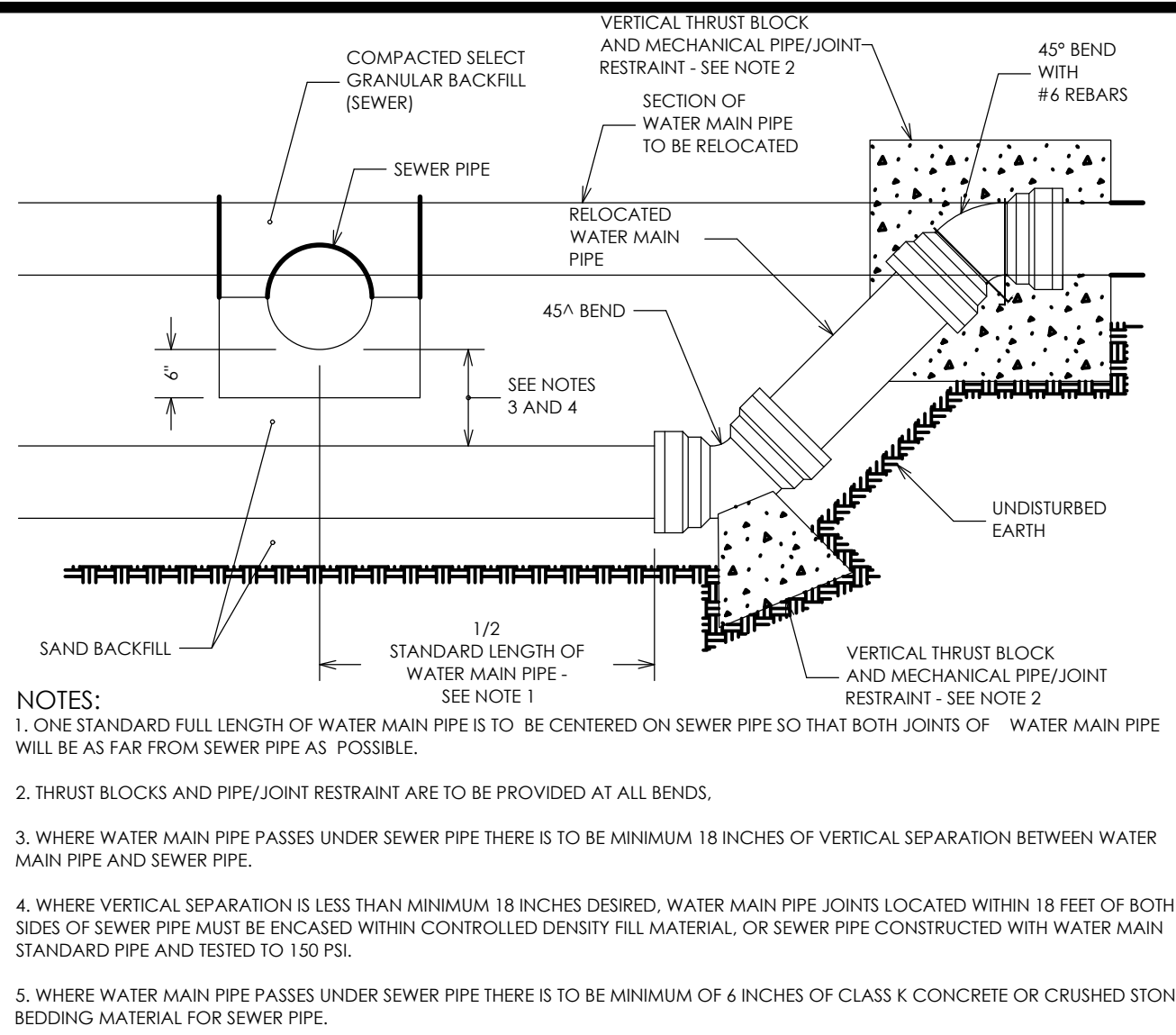
Scale: **AS SHOWN**

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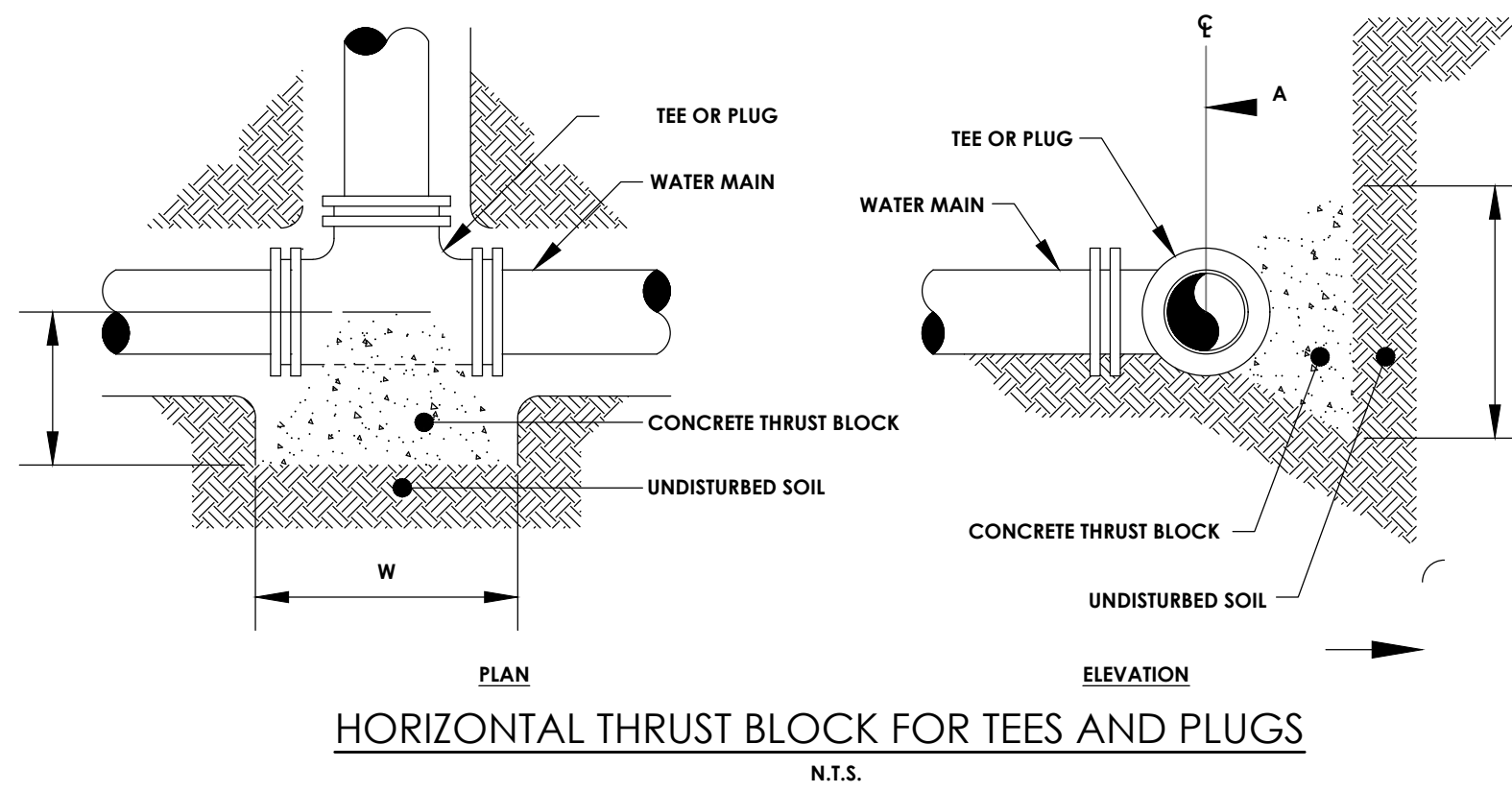
NOTE: TO BE USED WHEN WATER MAIN WILL NOT BE EXTENDED.

**DEAD END PERPENDICULAR HYDRANT ASSEMBLY**  
N.T.S.

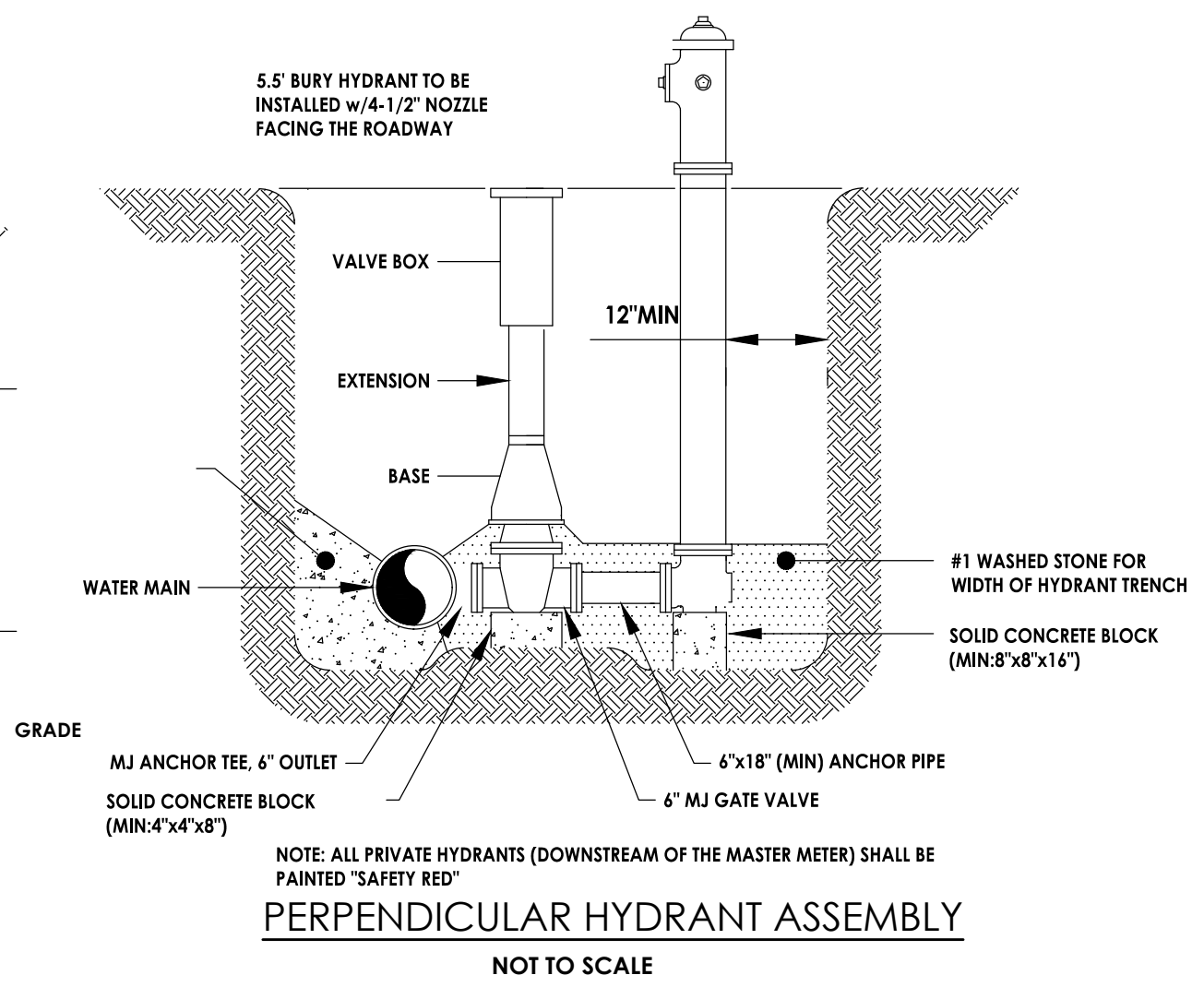


- NOTES:**
- ONE STANDARD FULL LENGTH OF WATER MAIN PIPE IS TO BE CENTERED ON SEWER PIPE SO THAT BOTH JOINTS OF WATER MAIN PIPE WILL BE AS FAR FROM SEWER PIPE AS POSSIBLE.
  - THRUST BLOCKS AND PIPE/Joint RESTRAINT ARE TO BE PROVIDED AT ALL BENDS.
  - WHERE WATER MAIN PIPE PASSES UNDER SEWER PIPE THERE IS TO BE MINIMUM 18 INCHES OF VERTICAL SEPARATION BETWEEN WATER MAIN PIPE AND SEWER PIPE.
  - WHERE VERTICAL SEPARATION IS LESS THAN MINIMUM 18 INCHES DESIRED, WATER MAIN PIPE JOINTS LOCATED WITHIN 18 FEET OF BOTH SIDES OF SEWER PIPE MUST BE ENCASED WITHIN CONTROLLED DENSITY FILL MATERIAL OR SEWER PIPE CONSTRUCTED WITH WATER MAIN STANDARD PIPE AND TESTED TO 150 PSI.
  - WHERE WATER MAIN PIPE PASSES UNDER SEWER PIPE THERE IS TO BE MINIMUM OF 6 INCHES OF CLASS K CONCRETE OR CRUSHED STONE BEDDING MATERIAL FOR SEWER PIPE.

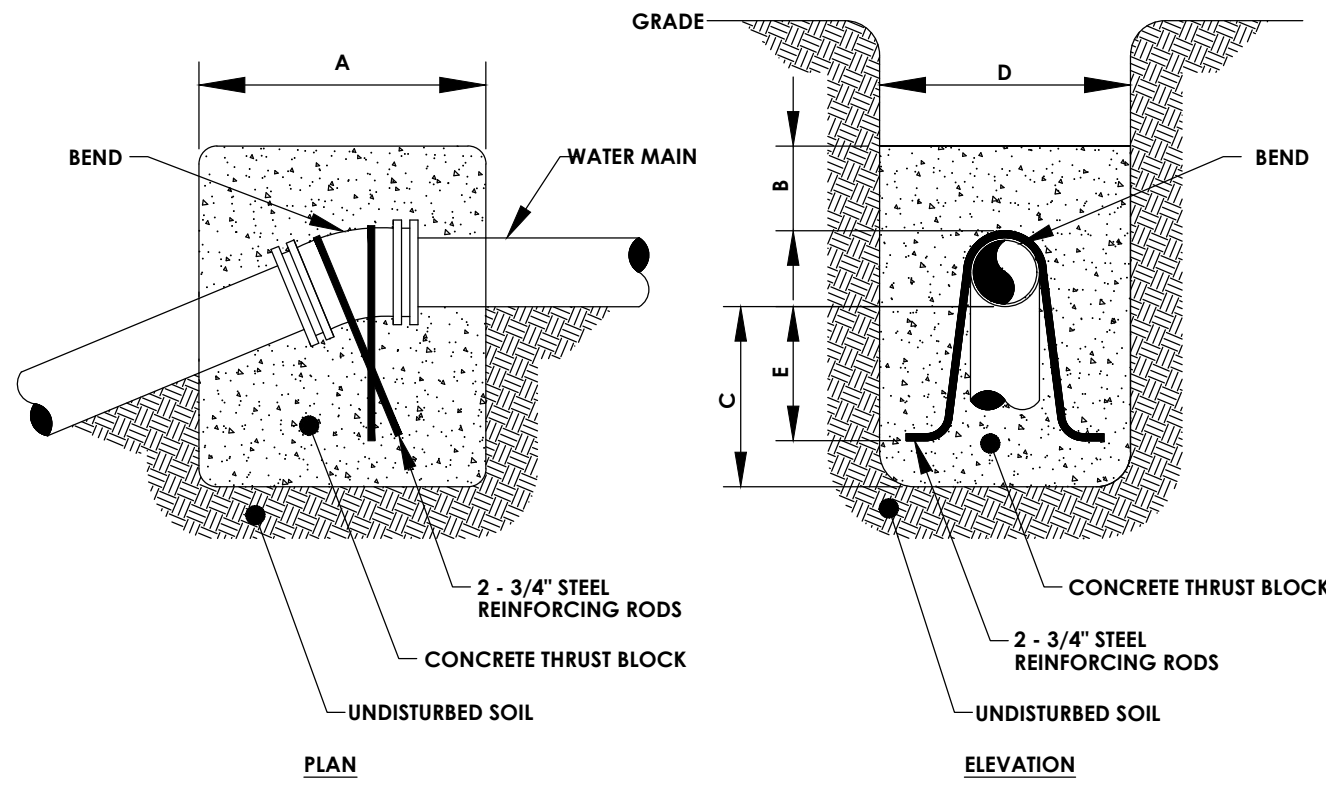
**WATERMAIN/SEWER CROSSING DETAIL**



**HORIZONTAL THRUST BLOCK FOR TEES AND PLUGS**  
N.T.S.

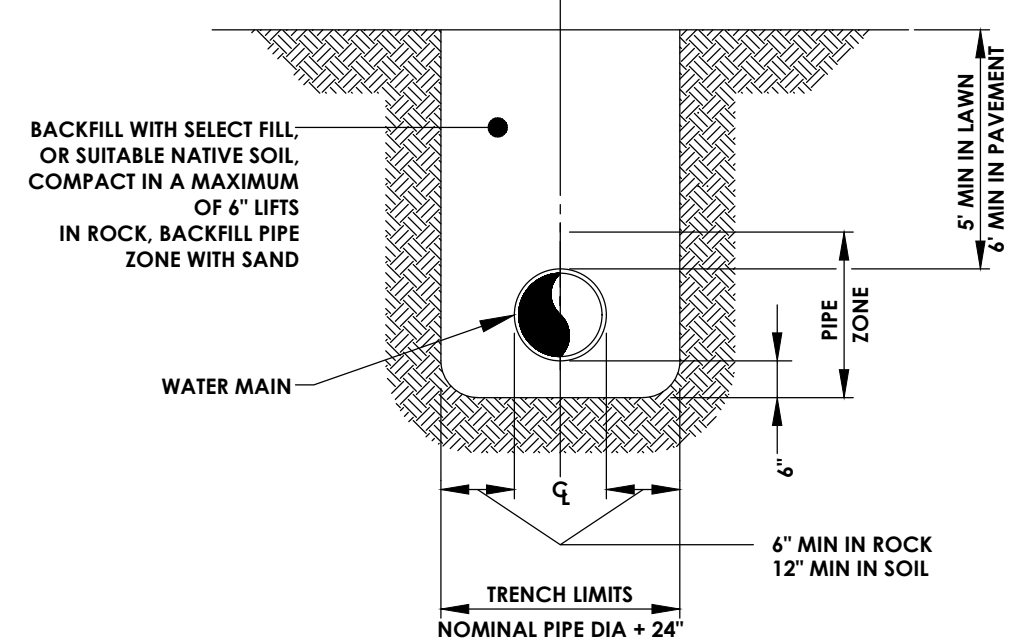


**PERPENDICULAR HYDRANT ASSEMBLY**  
NOT TO SCALE

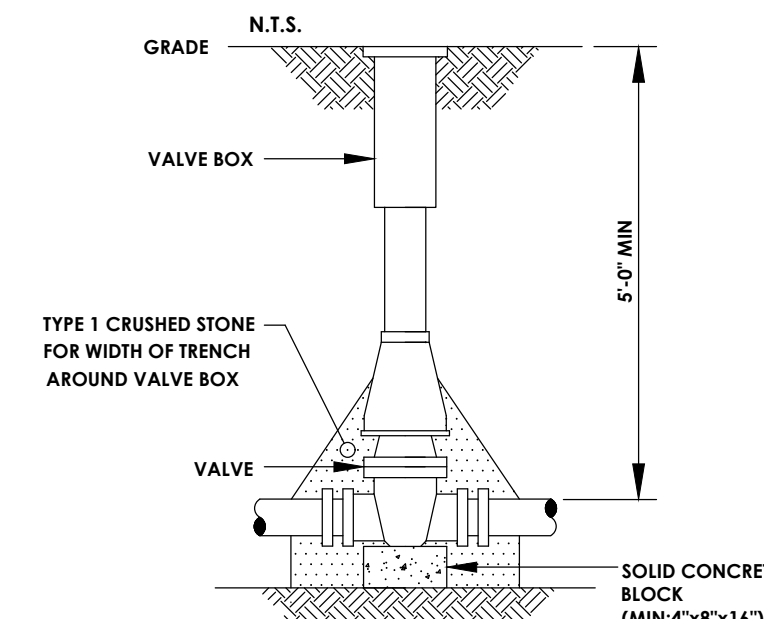


BEND *	MINIMUM VOLUME OF CONCRETE	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
8" x 11-1/4"	0.35 C.Y.	1.0	2.5	1.0	2.0	0.5
8" x 22-1/2"	0.70 C.Y.	1.5	2.5	1.5	2.0	1.0
8" x 45"	1.40 C.Y.	1.5	2.5	1.5	2.5	1.5

**VERTICAL THRUST BLOCK**  
N.T.S.

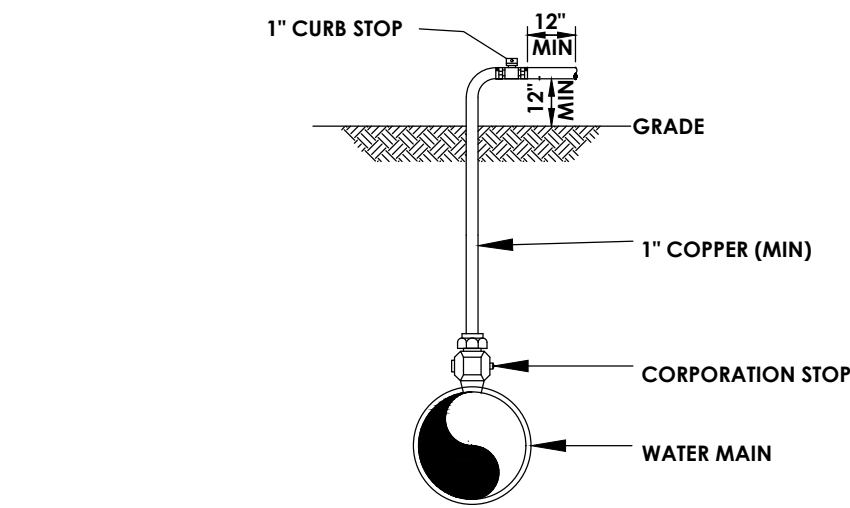


**WATERMAIN TRENCH**  
N.T.S.



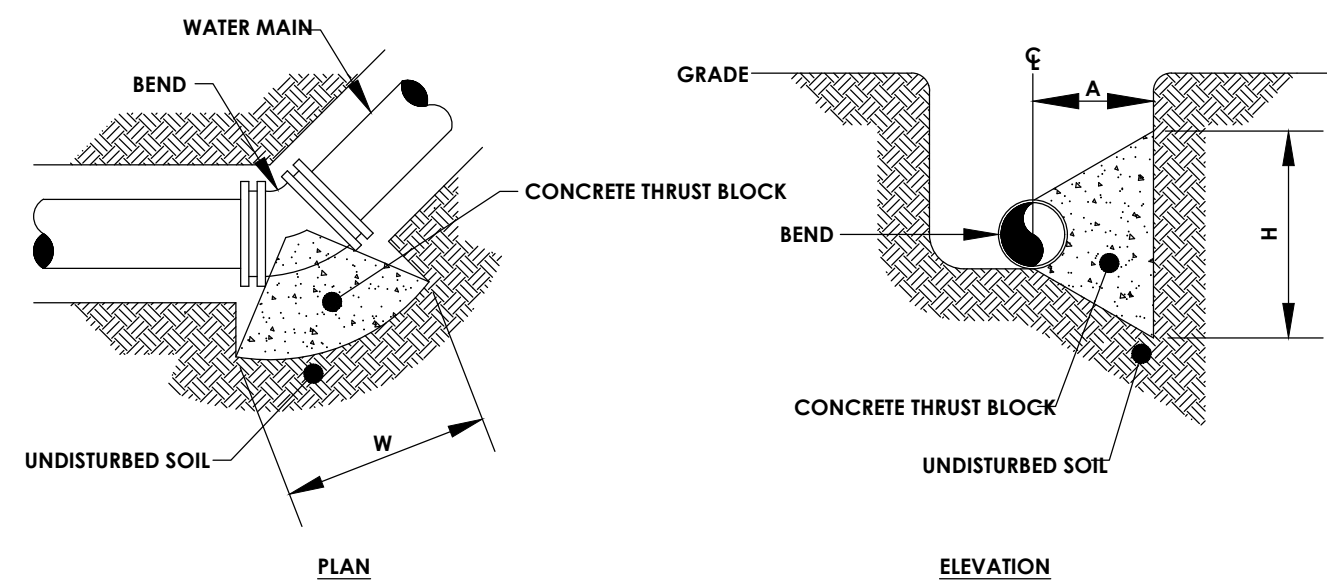
- NOTE:**
- VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
  - VALVE SHALL NOT SUPPORT VALVE BOX.
  - ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
  - ALL VALVES SHALL BE OPEN RIGHT.

**WATER VALVE**  
N.T.S.



- NOTE:** IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN IN SERVICE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS. PLACEMENT OF THREADED BRASS PLUG MUST BE WITNESSED BY A MCWA REPRESENTATIVE.

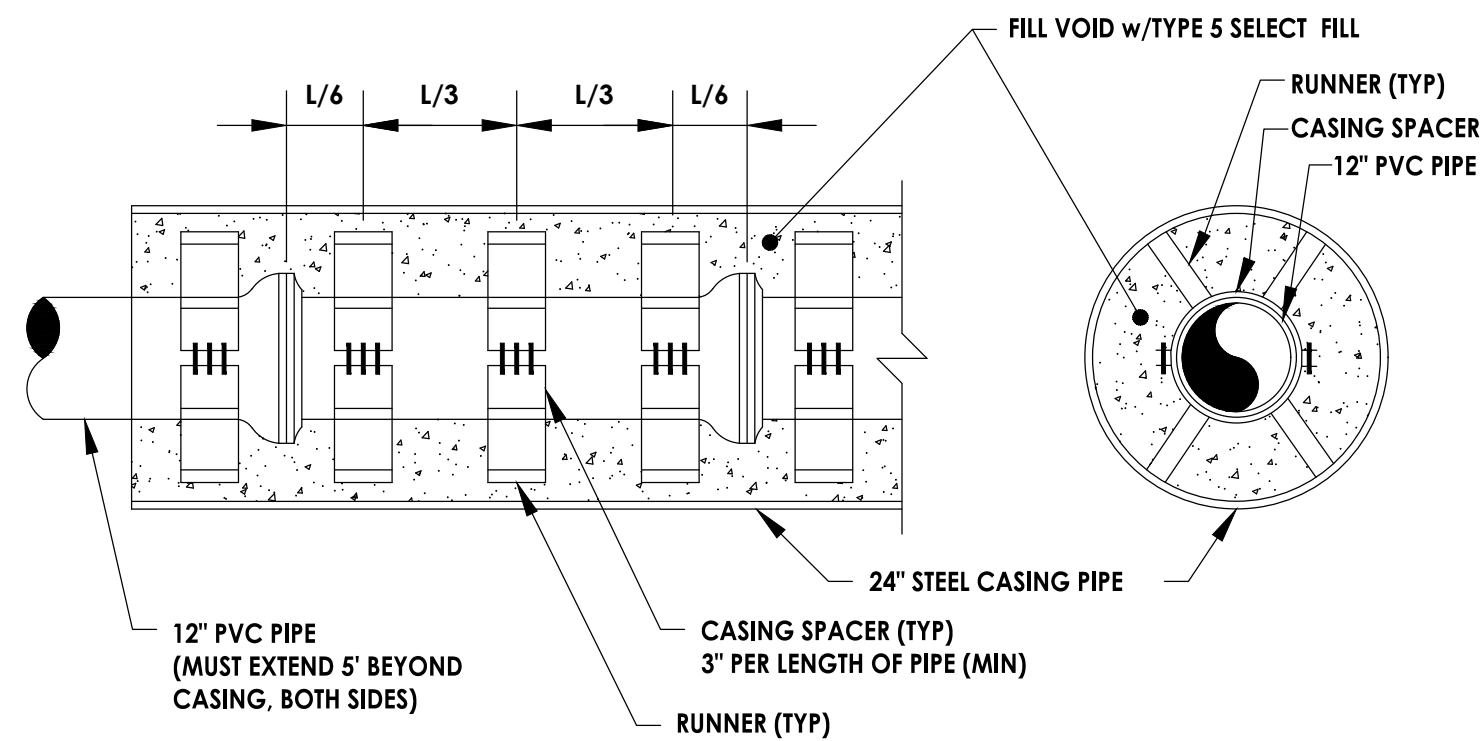
**DISINFECTION/BLOW-OFF/SAMPLING TAP**  
N.T.S.



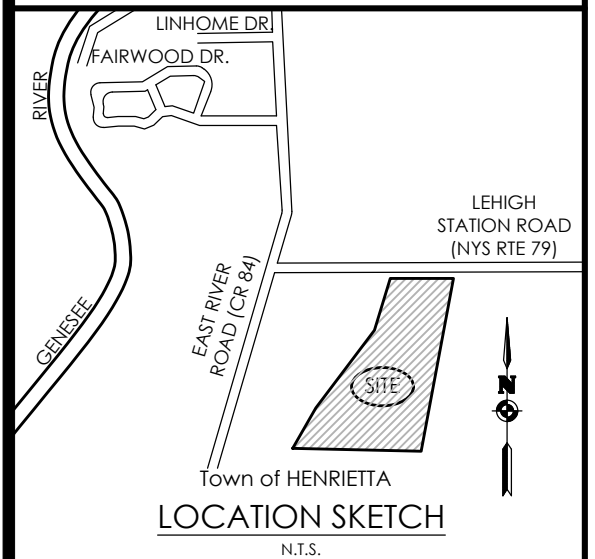
FITTING	MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL		
	H	W	A
8" x 11-1/4" BEND	1.0	2.0	1.5
8" x 22-1/2" BEND	1.5	3.0	1.5
8" x 45" BEND	2.0	4.0	2.0
8" x 90" BEND	3.0	6.0	2.5
8" TEE OR PLUG	2.5	5.0	2.0

NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).

**HORIZONTAL THRUST BLOCK FOR BENDS**  
N.T.S.



**CASING PIPE**  
NOT TO SCALE



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Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

**DETAILS**

**RIVERS EDGE**  
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,  
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

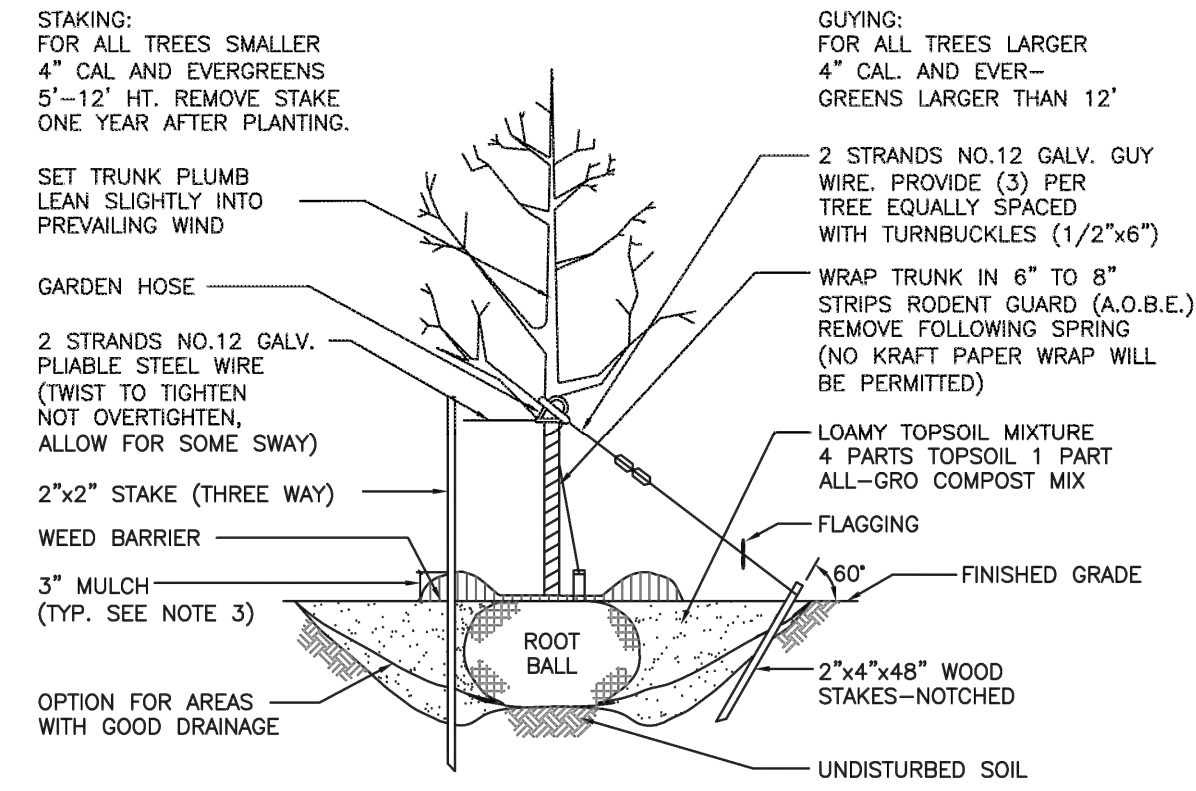
Project No.  
**20192793.0007**

Drawing No. **C 207** Sheet No. **36**

Scale: **AS SHOWN**

Date: **SEPTEMBER 2023**

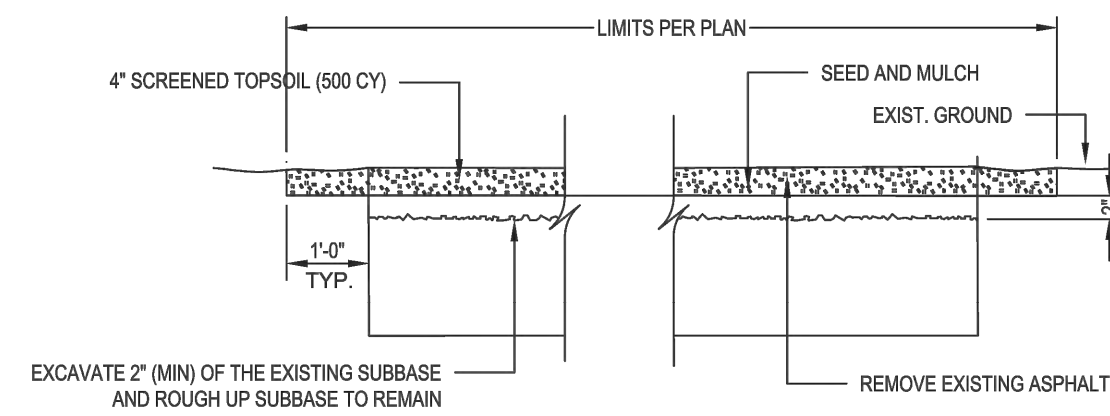
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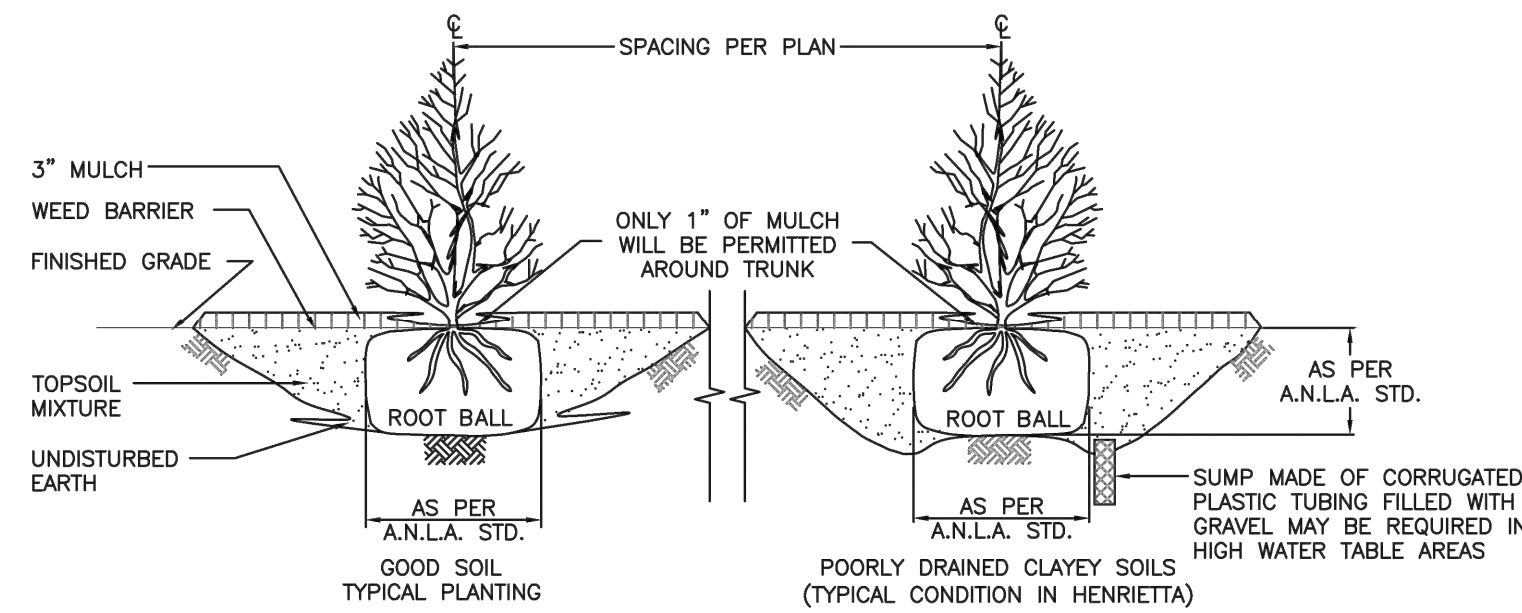
- NOTES:**
1. USE 8" STAKES—DRIVE 48" BELOW GROUND.
  2. ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
  3. MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
  4. MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.

**TREE PLANTING DETAIL**  
N.T.S.

<p>TOWN OF HENRIETTA</p>	<b>TYPICAL TREE PLANTING DETAIL</b>	
	SCALE: N.T.S.	<b>M-4b</b>
	DATE: 11/10/2011	



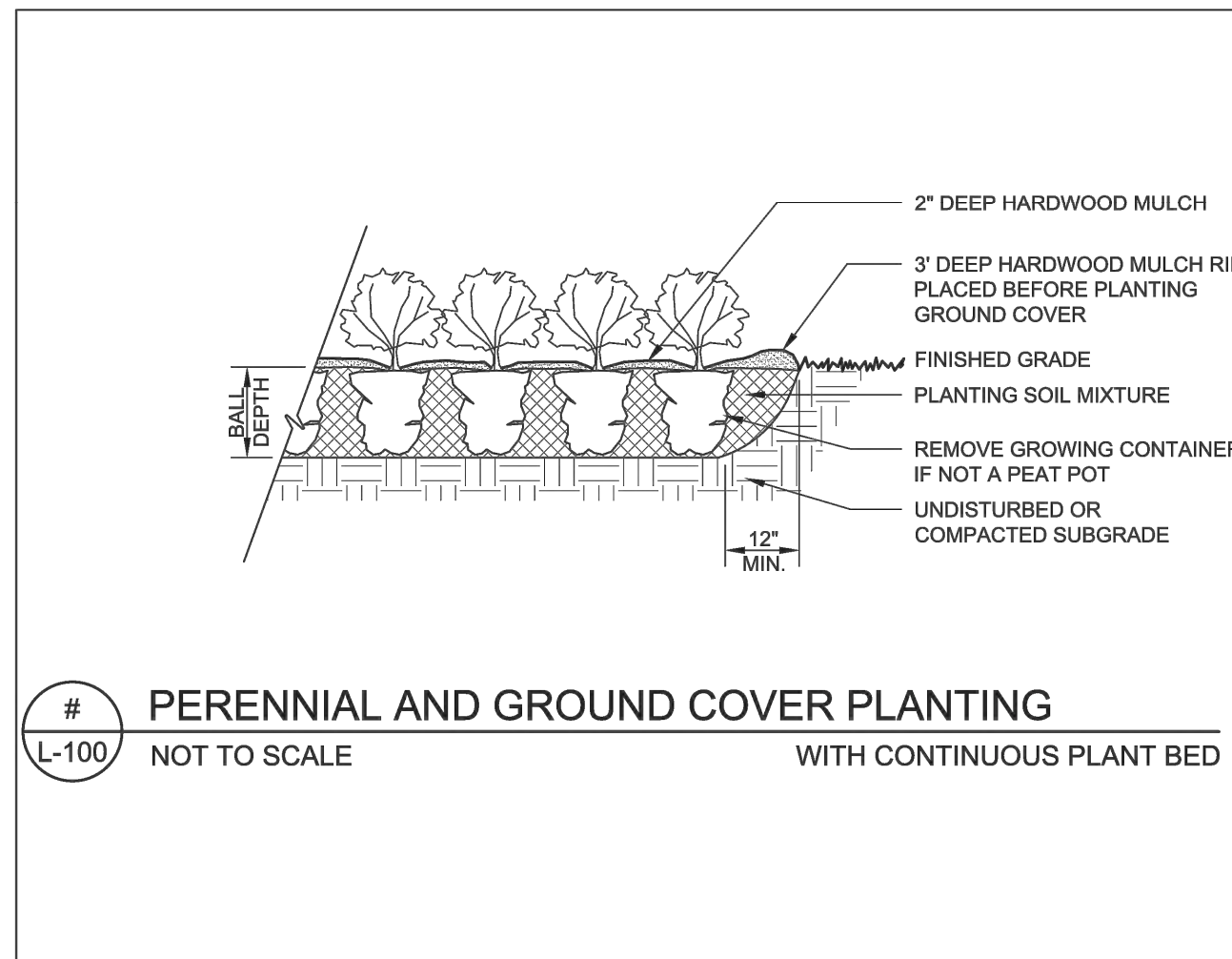
**# L-100 LAWN RESTORATION**  
NOT TO SCALE



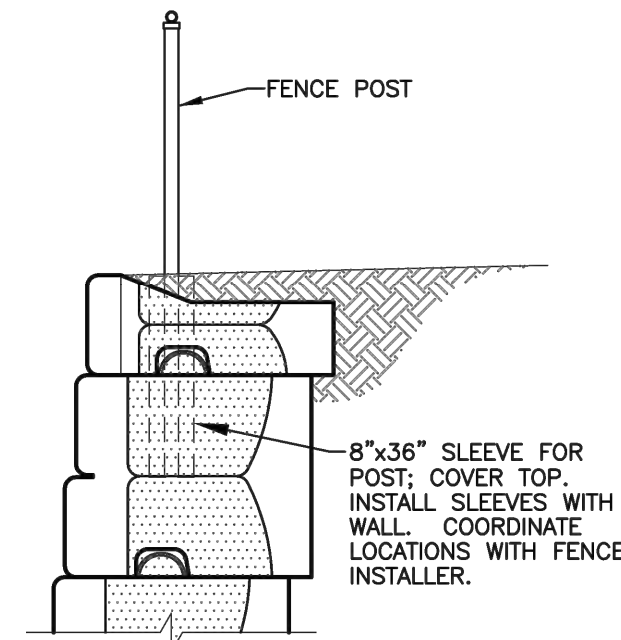
- NOTES:**
1. IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/3 OF THE BURLAP.
  2. PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.

**SHRUB PLANTING DETAIL**  
N.T.S.

<p>TOWN OF HENRIETTA</p>	<b>TYPICAL SHRUB PLANTING DETAIL</b>	
	SCALE: N.T.S.	<b>M-4a</b>
	DATE: 10/9/2012	



**# L-100 PERENNIAL AND GROUND COVER PLANTING**  
NOT TO SCALE WITH CONTINUOUS PLANT BED

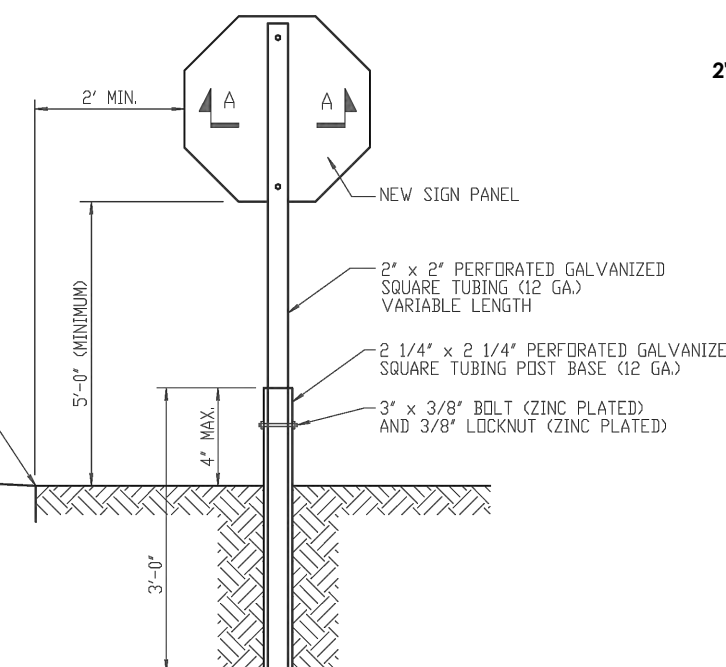
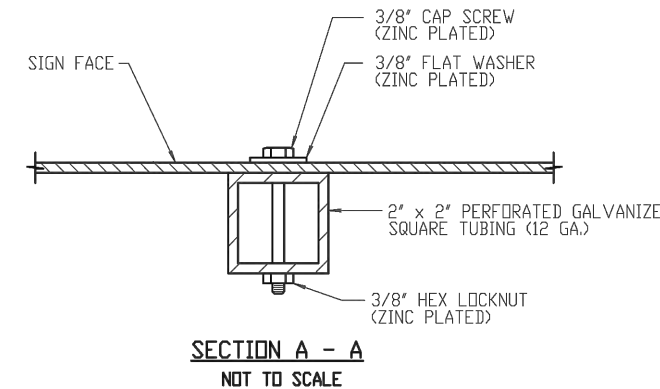


**FENCE SLEEVE**  
NOT TO SCALE

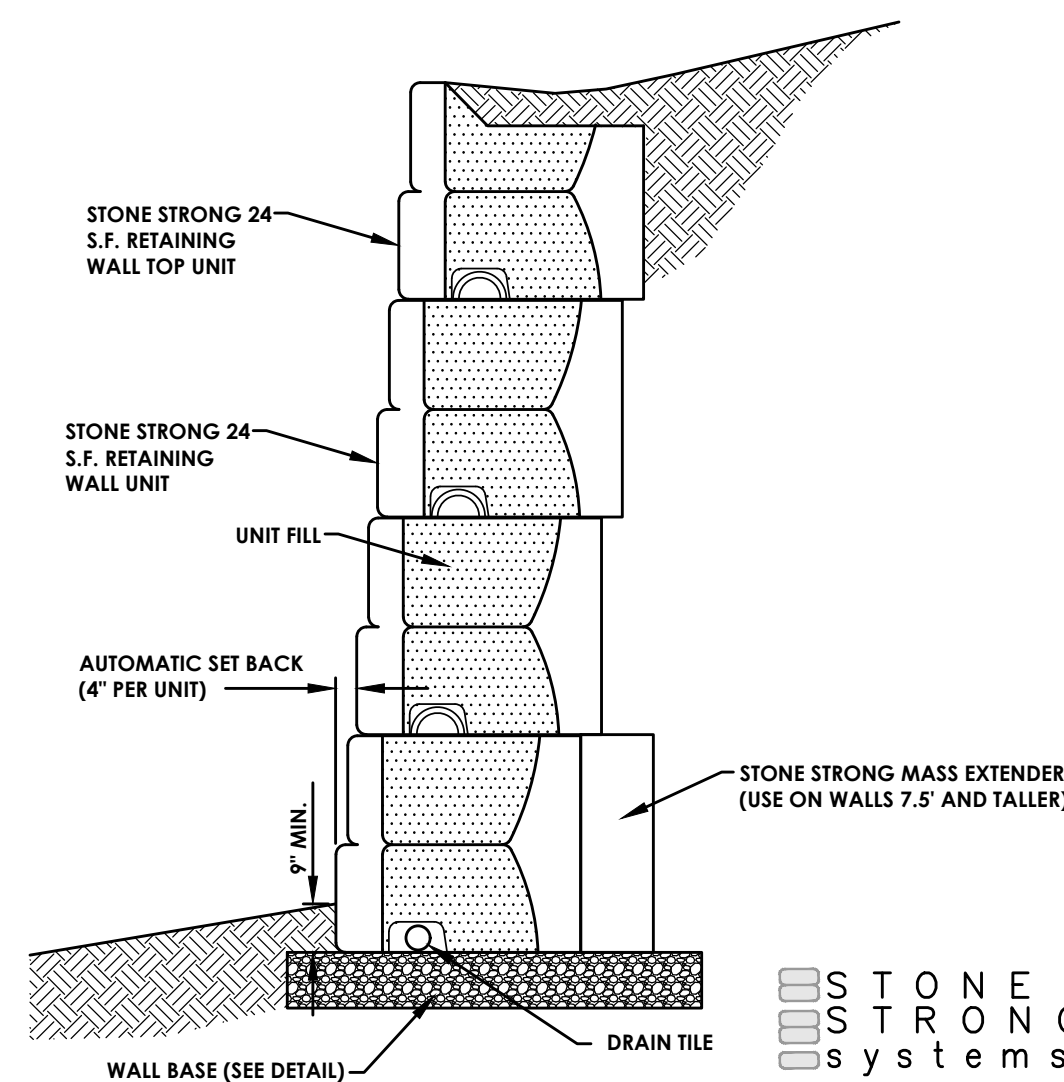
**DISCLAIMER:**  
These typical details are preliminary and conceptual in nature. They are provided for general information purposes only. Anyone making use of these details and related information does so at their own risk and assumes all liability for such use. Site specific design should be performed by a licensed Professional Engineer based on actual site conditions, materials, and local practices.

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<p>www.stonestrong.com</p>	<b>PROJECT</b>	
	<b>TYPICAL DETAILS STONE STRONG SYSTEMS</b>	
	DATE: 6/29/18   FILE: 33_Gef.FenceSleeve	

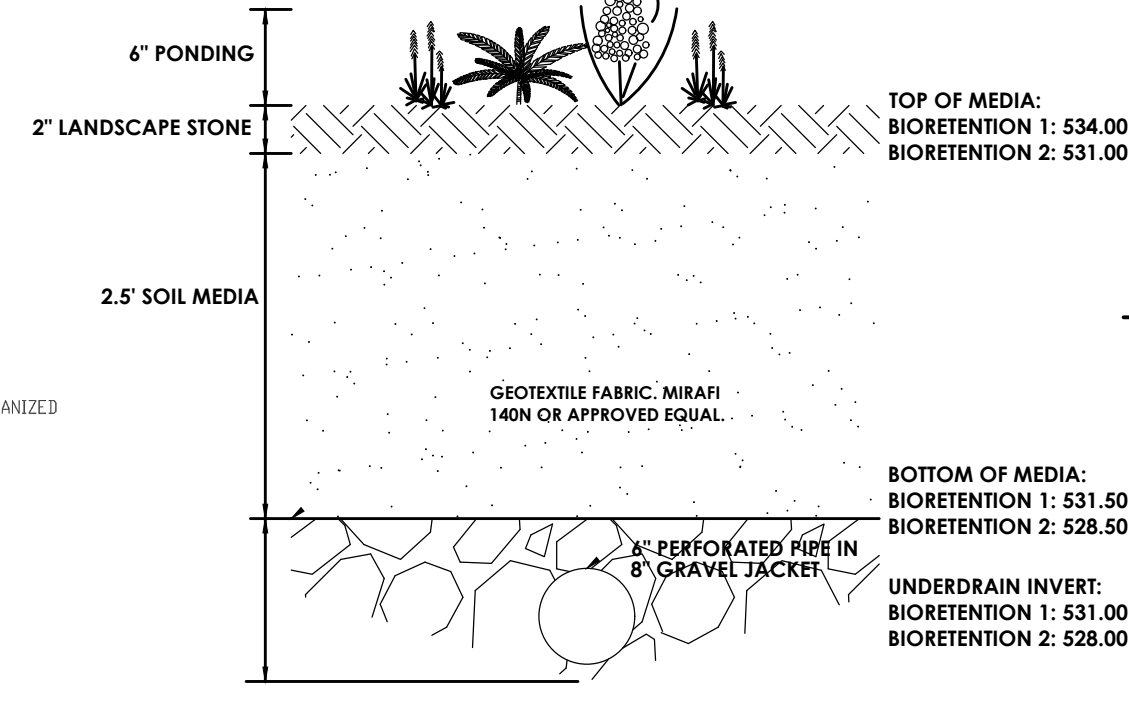
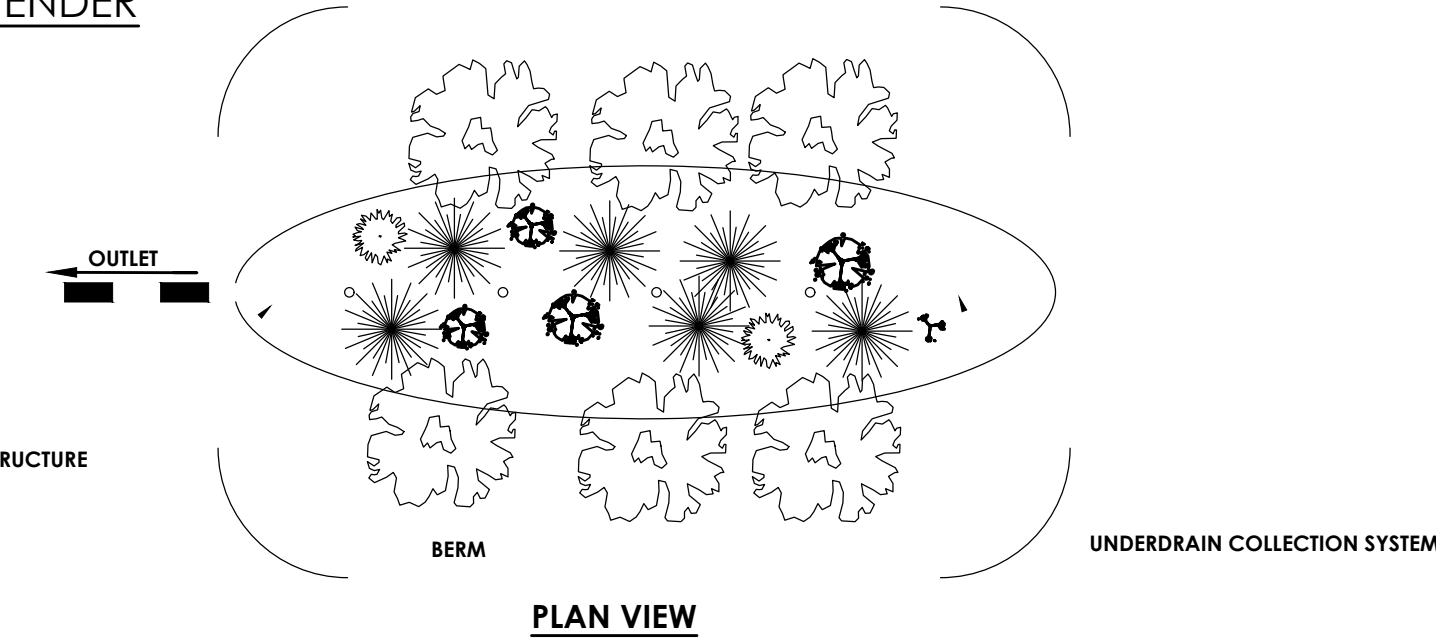


**POST MOUNTED SIGN INSTALLATION  
IN SOIL WITHOUT CURB OR GUTTER**  
NOT TO SCALE  
12/12/13  
REVISED  
**MCDOT SIGN INSTALLATION DETAIL**

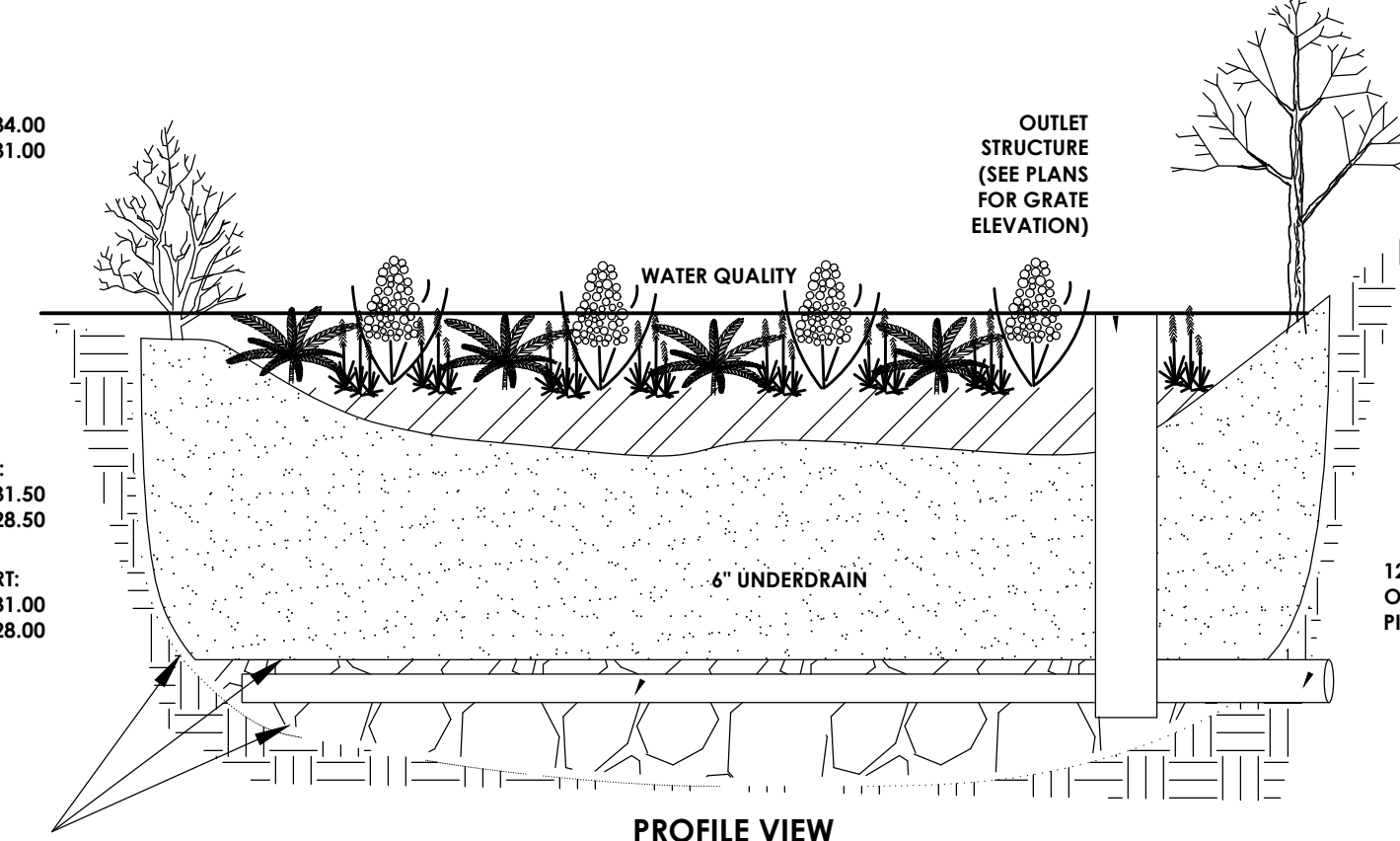


**24 S.F. GRAVITY WALL  
CROSS SECTION W/ MASS EXTENDER**  
N.T.S.

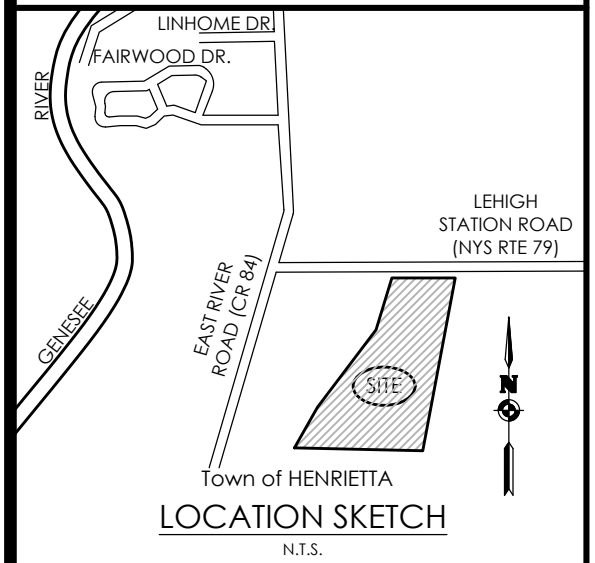
**STONE STRONG**  
systems



**SECTION VIEW**



**BIORETENTION AREA DETAIL**  
N.T.S.



Client:  
**EAST RIVER HENRIETTA, LLC**  
64 COMMERCIAL STREET  
SUITE 401  
ROCHESTER, NY, 14614

**PASSERO ASSOCIATES**  
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Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess D. Sudol, PE  
Project Manager: Andrew Burns, EIT  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description

**DETAILS**

**RIVERS EDGE**  
BEING PART OF TOWN LOIS 1 & 2, SECTION 13,  
TOWNSHIP, 14, RANGE 4, TREADWELL'S GORHAM PURCHASE  
Town/City: HENRIETTA  
County: MONROE State: NEW YORK

Project No.  
**20192793.0007**

Drawing No. <b>C 208</b>	Sheet No. <b>37</b>
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Scale: **AS SHOWN**

Date: **SEPTEMBER 2023**

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