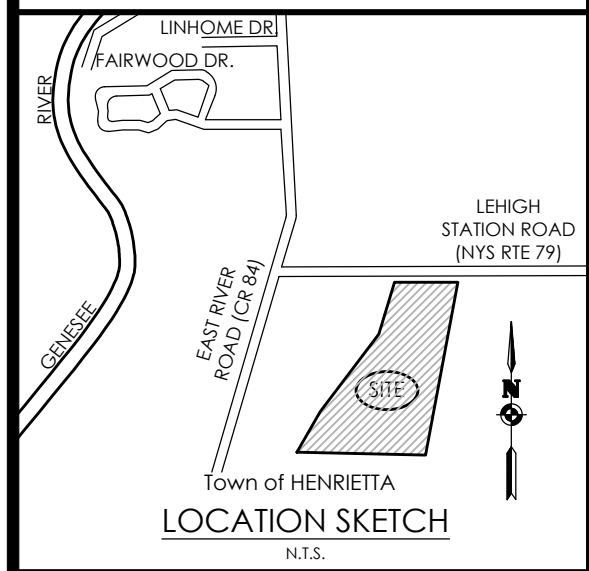


PA
PASSERO ASSOCIATES
engineering architecture



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
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Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions

No.	Date	By	Description

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OVERALL SUBDIVISION PLAN

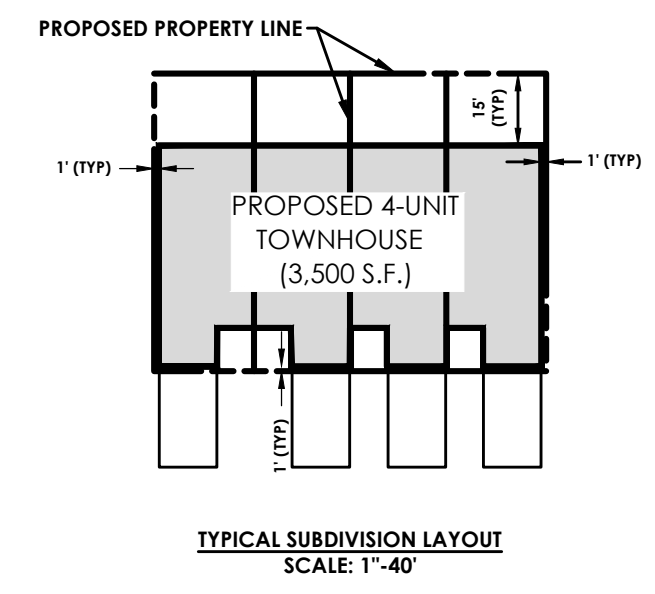
RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

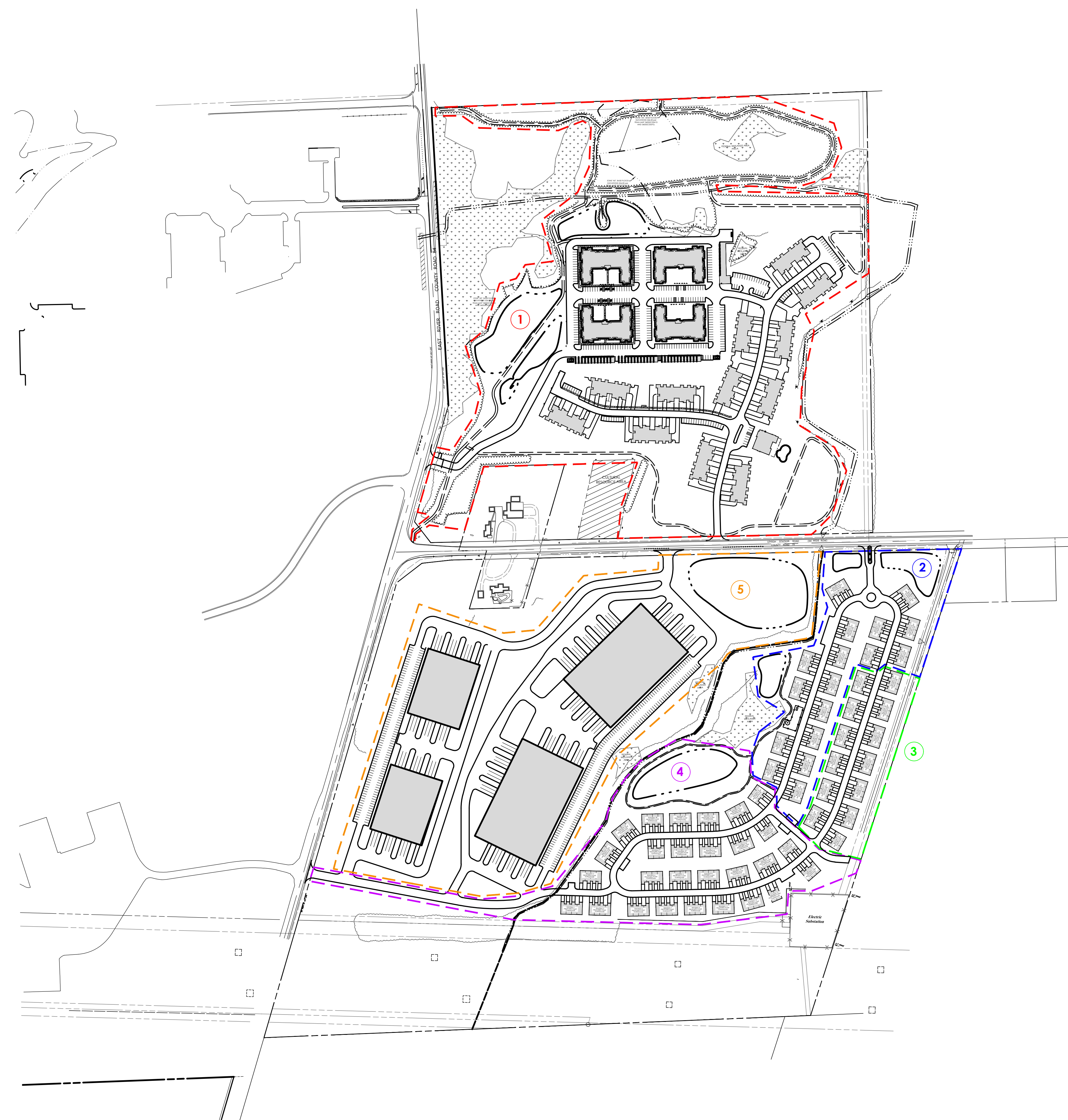
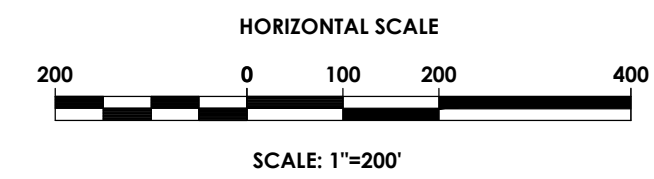
Project No.
20192793.0007

Drawing No. **SUB-1** Sheet No. **1**

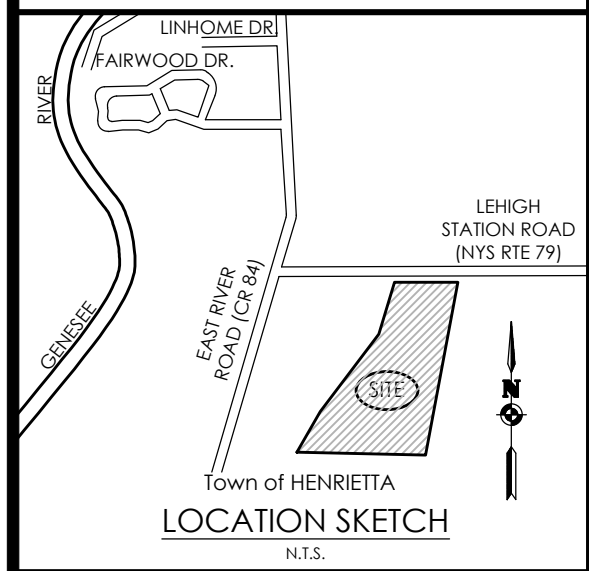
Scale: **1" = 100'**

Date: **JUNE 2023**





- 1 **PHASE 1:**
±350 APARTMENTS
(CURRENTLY IN CONSTRUCTION)
- 2 **PHASE 2:**
±68 TOWNHOME UNITS
(YEAR 1-2)
- 3 **PHASE 3:**
±51 TOWNHOME UNITS
(YEAR 2-3)
- 4 **PHASE 4:**
±105 TOWNHOME UNITS
(YEAR 3-4)
- 5 **PHASE 5:**
±300,000 SF OF INDUSTRIAL SPACE
(TBD)



Client:
 COMMERCIAL STREET PARTNERS
 COMMERCIAL STREET SUITE 401
 ROCHESTER, NY, 14614

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 Principal-in-Charge Jess D. Sudol, PE
 Project Manager Andrew Burns, EIT
 Designed by Briana Mitchell



Revisions			
No.	Date	By	Description
1	04/24/23	SK	LAND USE REVISION
2	05/02/23	SK	UNIT DENSITY REVISION

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PHASING PLAN

LEHIGH STATION & EAST RIVER INDUSTRIAL
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
 TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE
 Town/City: HENRIETTA
 County: MONROE State: NEW YORK

Project No.
20192793.0007

Drawing No. C 101	Sheet No. 1
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Scale: **1" = 200'**

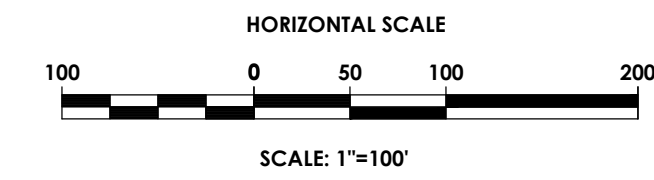
Date: **APRIL 2023**

SCHEMATIC SITE DEVELOPMENT PLANS FOR

RIVERS EDGE

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

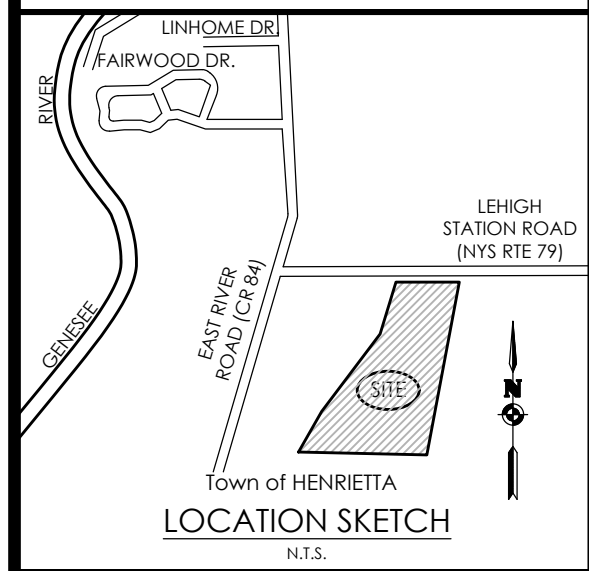
P.N. 20192793.0007



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REMAINING INDUSTRIAL ZONED LAND



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
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Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions			
No.	Date	By	Description

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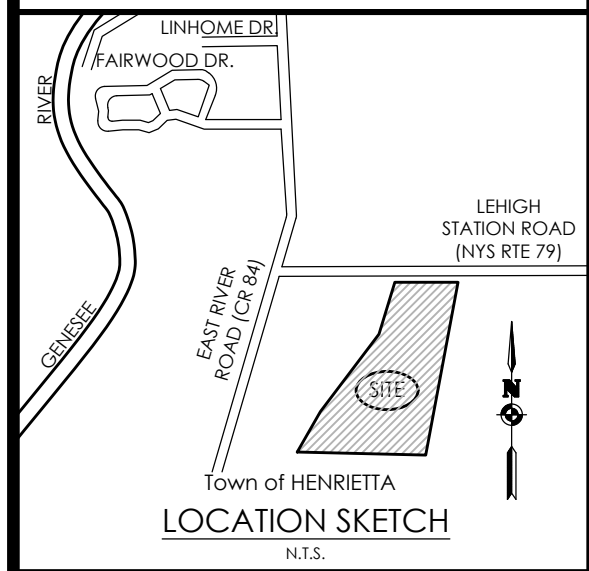
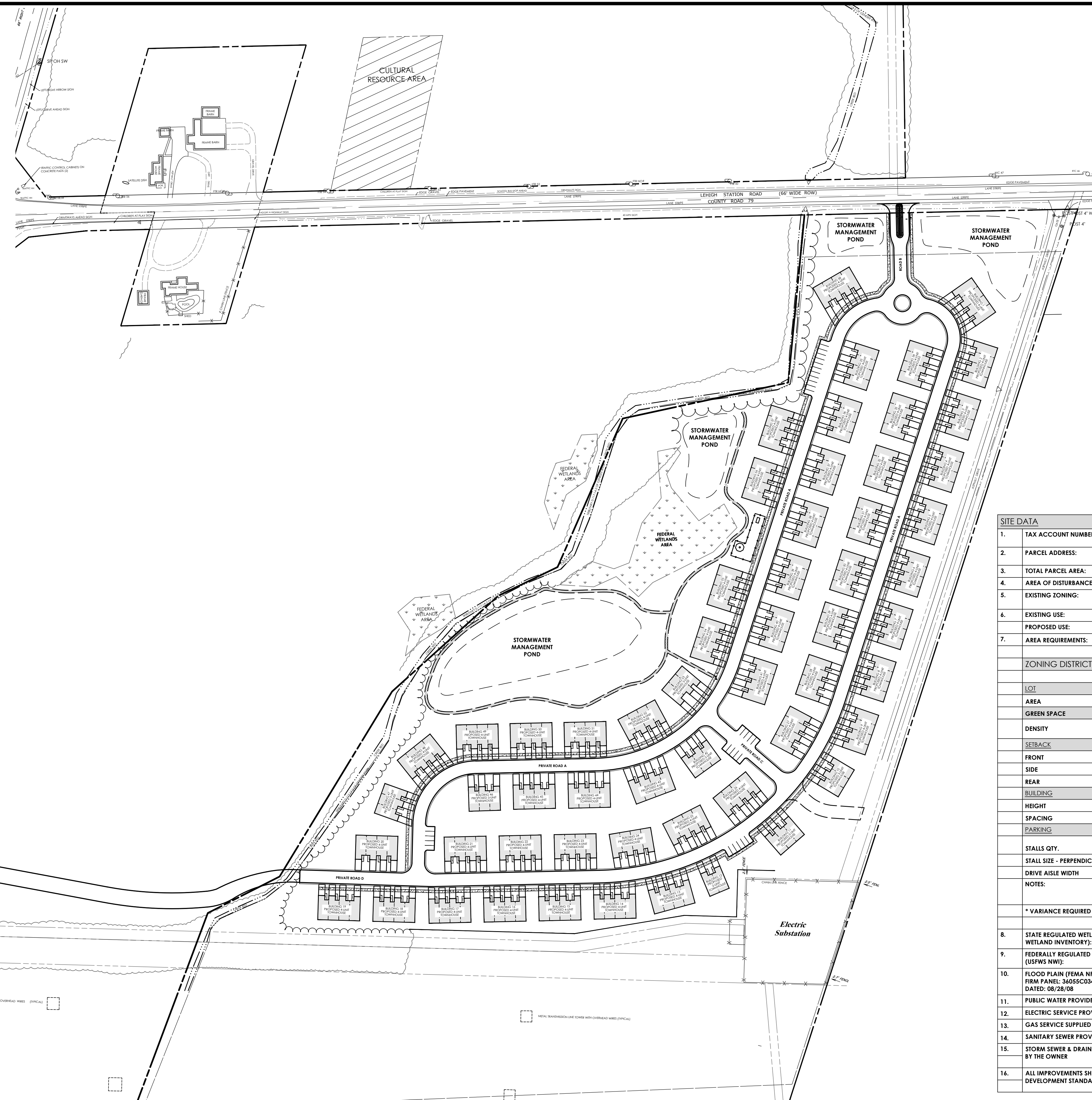
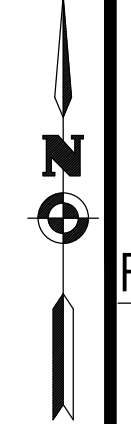
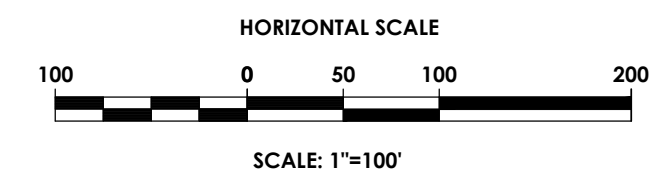
DRAWING INDEX	
C 101	COVER
C 102	OVERALL SITE PLAN
C 103-105	SITE PLAN
C 106-108	EXISTING CONDITIONS AND DEMOLITION PLAN
C 109-111	UTILITY PLAN
C 112-113	SANITARY PROFILES
C 114-116	GRADING & EROSION CONTROL PLAN
C 117-119	ROAD PROFILES
C 120-122	LANDSCAPE & LIGHTING PLAN
C 201	NOTES
C 202-209	DETAILS

COVER	
RIVERS EDGE BEGING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE Town/City: HENRIETTA County: MONROE State: NEW YORK	
Project No: 20192793.0007	
Drawing No. C 101	Sheet No. 1
Scale: 1" = 100'	
Date: JUNE 2023	

NOT FOR CONSTRUCTION

LEGEND - SITE:

- PROPERTY BOUNDARY
- E.O.W. RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED PARKING COUNT
- PROPOSED ACCESS RAMP
- PROPOSED LAND BANKED PARKING
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED STONE DUST TRAIL
- PROPOSED ASPHALT TRAIL
- EXISTING CREEK BED



Client:
EAST RIVER HENRIETTA, LLC
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Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



SITE DATA		
1. TAX ACCOUNT NUMBER:	174.04-1-21.1, 174.04-1-21.2	
2. PARCEL ADDRESS:	85, 135 LEHIGH STATION RD	
3. TOTAL PARCEL AREA:	79.964 ACRES	
4. AREA OF DISTURBANCE:	21.0 ACRES	
5. EXISTING ZONING:	INDUSTRIAL, MURAOD (MIXED USE REDEVELOPMENT AREA OVERLAY DISTRICT)	
6. EXISTING USE:	UNDEVELOPED, UTILITIES	
7. PROPOSED USE:	MIXED - TOWNHOUSES, INDUSTRIAL, CIVIC	
7. AREA REQUIREMENTS:		
ZONING DISTRICT: MURAOD		
	REQUIRED	PROPOSED
LOT		
AREA	1 ACRE	36.5 ACRE
GREEN SPACE	35%	
DENSITY	PER TOWN CODE 295-13 E(1)(a)	9.8 UNITS/ACRE
SETBACK		
FRONT	80'	100.7'
SIDE	5'	63.5'
REAR	60'	395.8'
BUILDING		
HEIGHT	3 STORY / 40' MAX	< 40'
SPACING	N/A	25' MIN
PARKING		
STALLS QTY.	2.5 SPACES/DU*224 DU = 560	448 DRIVEWAY** 33 OFFSTREET*
STALL SIZE - PERPENDICULAR	9'X18'	9'X18'
DRIVE AISLE WIDTH	24'	24'
NOTES:	RESIDENTIAL: 2.5 PER DWELLING UNIT	
* VARIANCE REQUIRED	NO	YES
8. STATE REGULATED WETLANDS (NYSDEC WETLAND INVENTORY):	X	
9. FEDERALLY REGULATED WETLANDS (USFWS NWI):		X
10. FLOOD PLAIN (FEMA NFHL) FIRM PANEL: 36055C0341G DATED: 08/28/08	X	
11. PUBLIC WATER PROVIDED BY:	MCWA	
12. ELECTRIC SERVICE PROVIDED BY:	RG&E	
13. GAS SERVICE PROVIDED BY:	RG&E	
14. SANITARY SEWER PROVIDED BY:	TOWN OF HENRIETTA	
15. STORM SEWER & DRAINAGE FACILITIES WILL BE TBD (PUBLIC/PRIVATE) AND MAINTAINED BY THE OWNER		
16. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY		

Revisions			
No.	Date	By	Description

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OVERALL SITE PLAN

RIVERS EDGE
BENIG PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No:
20192793.0007

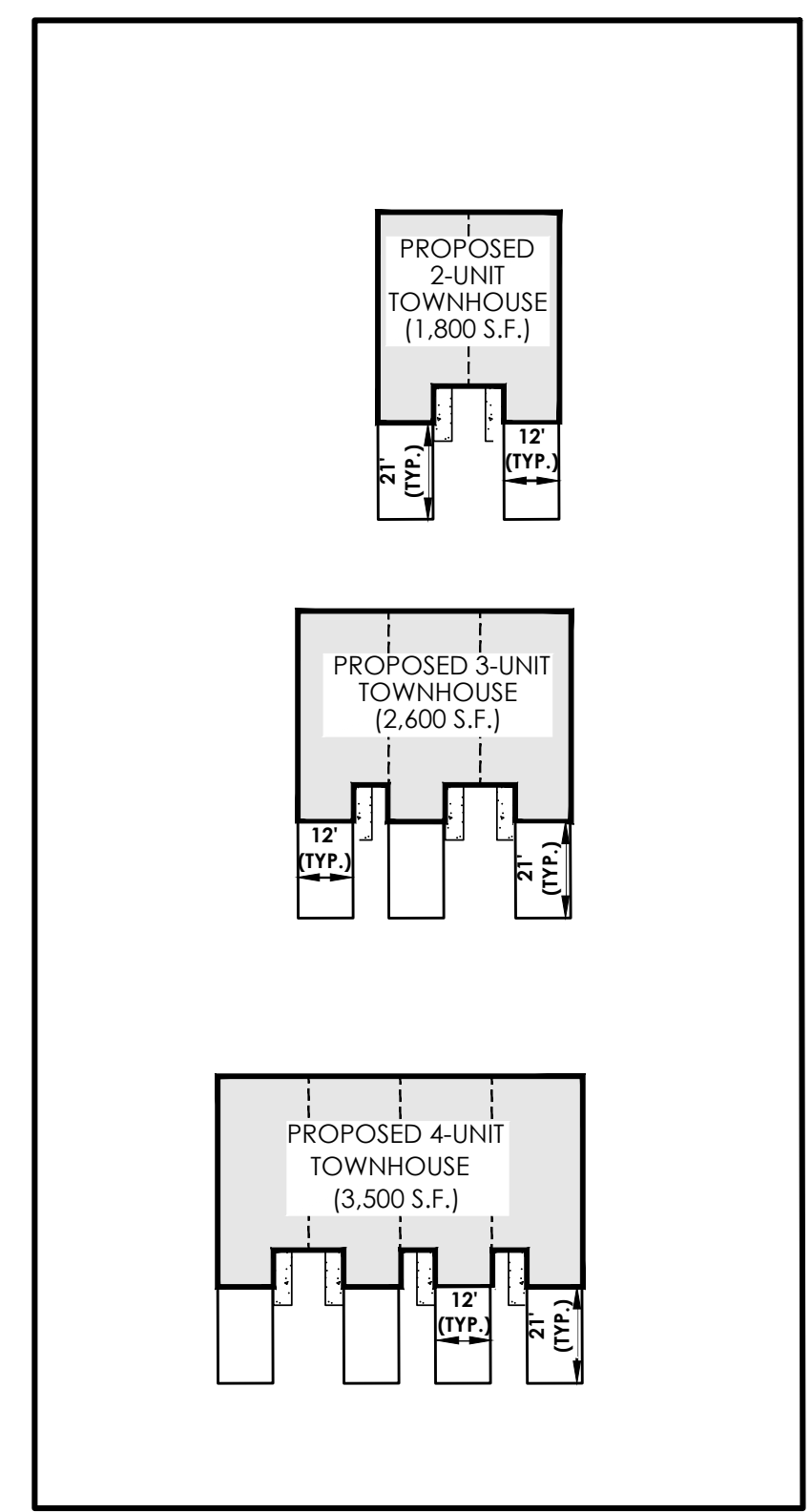
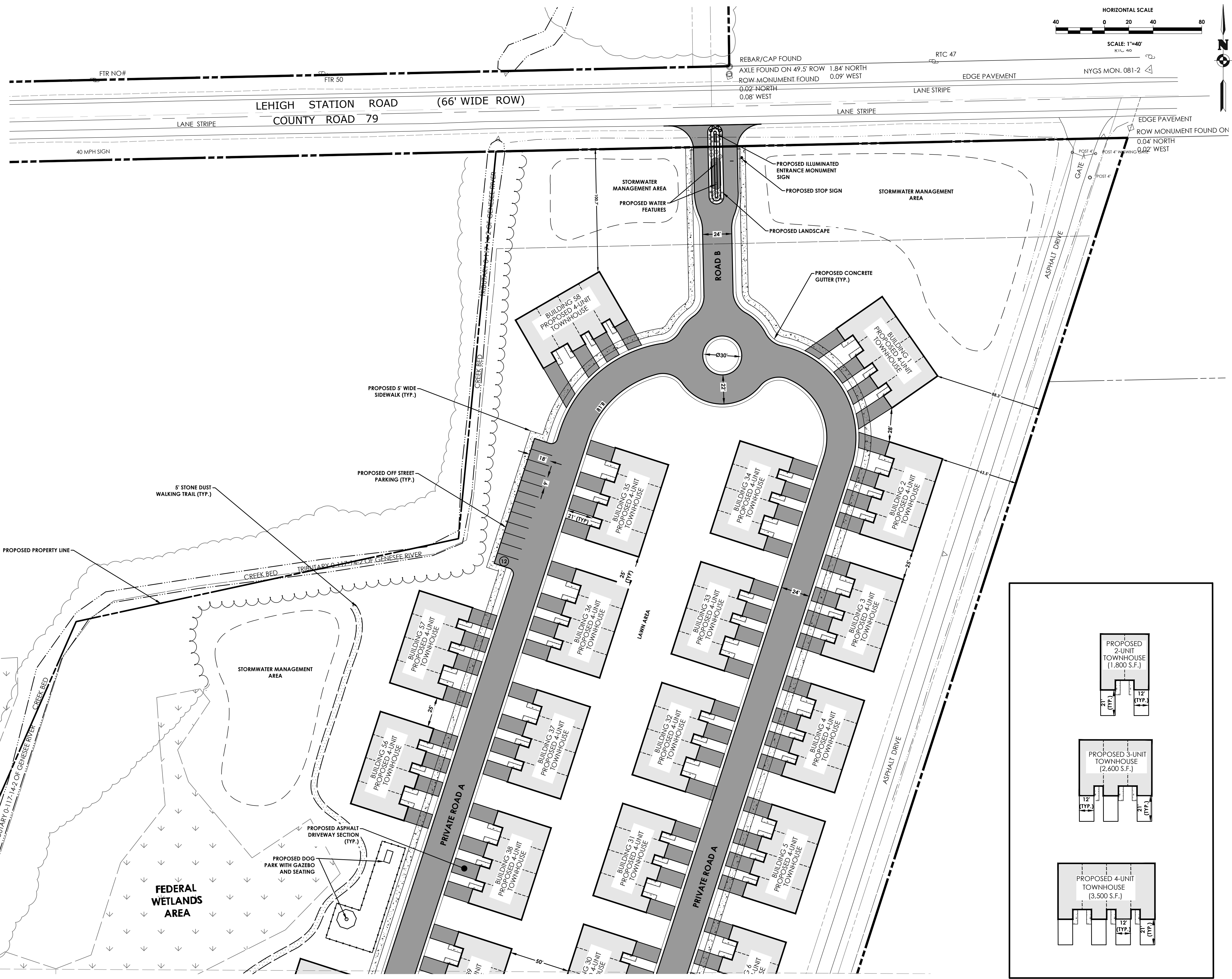
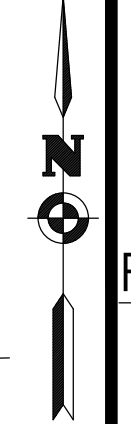
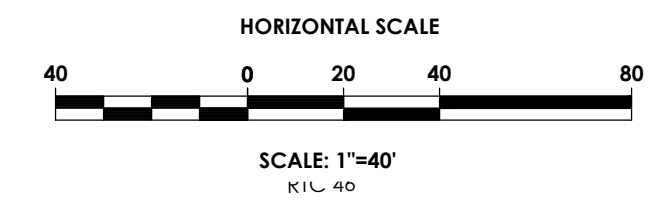
Drawing No. C 102	Sheet No. 2
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1" = 100'

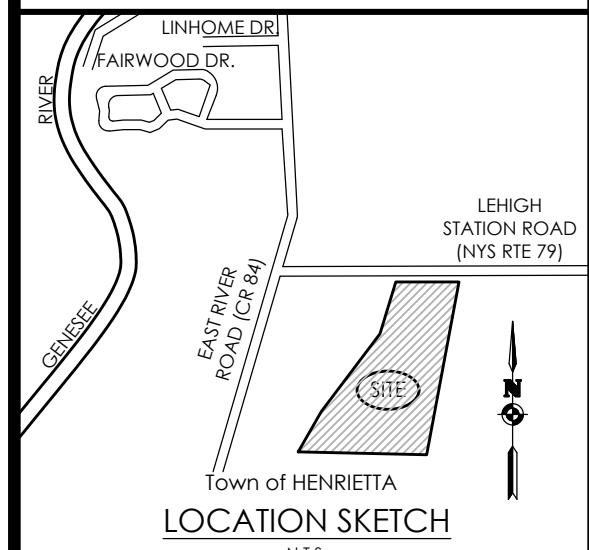
Date:
JUNE 2023

LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED PARKING COUNT
- PROPOSED ACCESS RAMP
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- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED STONE DUST TRAIL
- PROPOSED ASPHALT TRAIL
- EXISTING CREEK BED

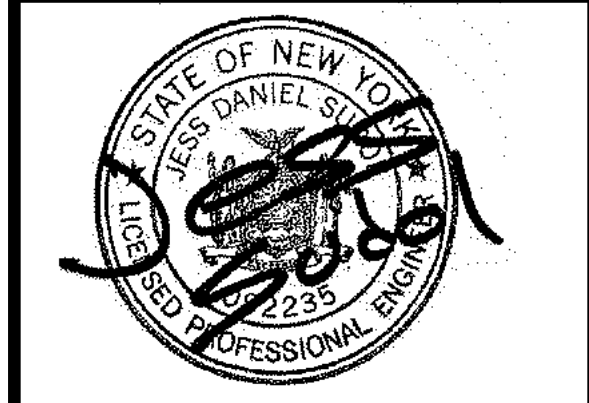


MATCH LINE SEE SHEET 4



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions			
No.	Date	By	Description

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SITE PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

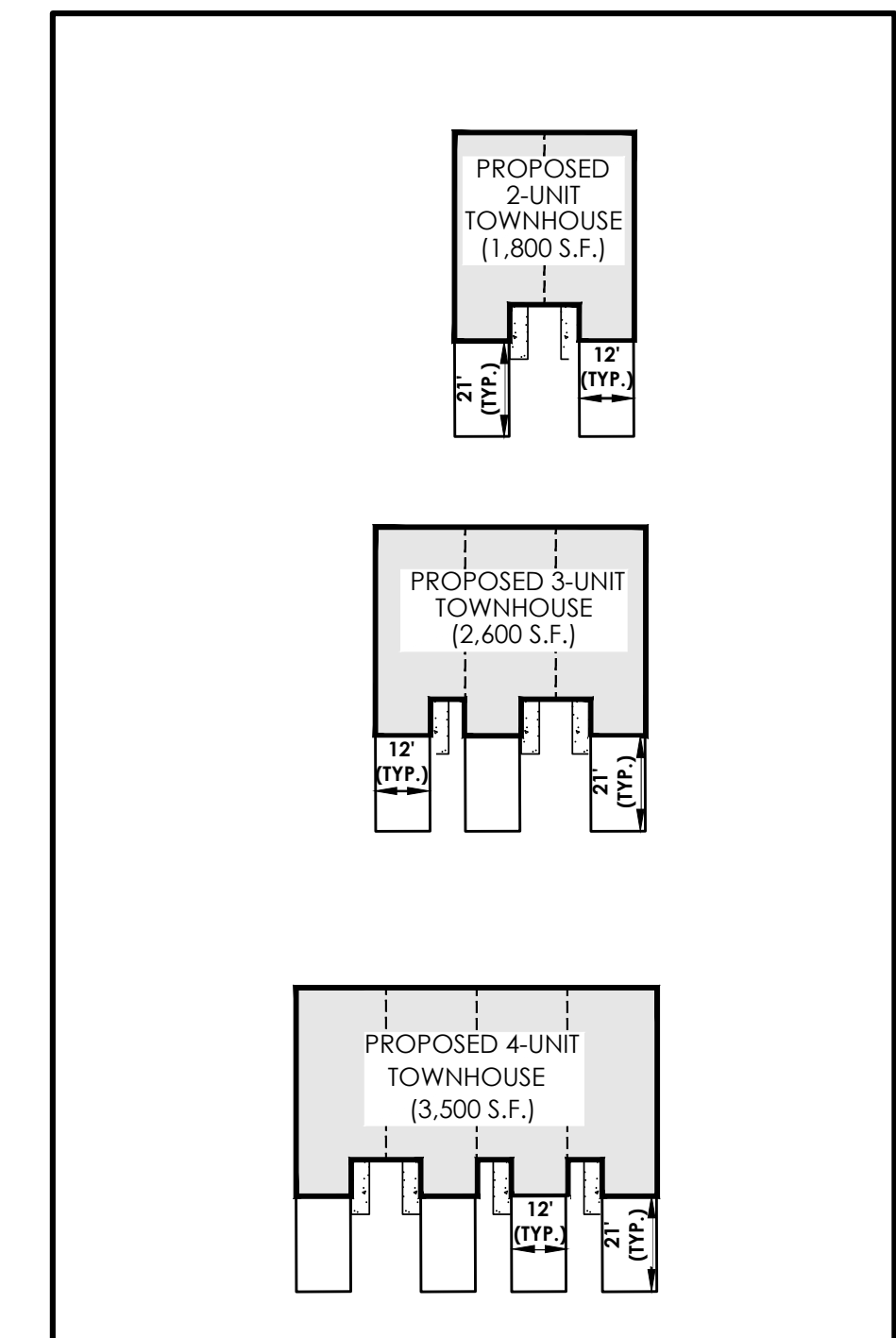
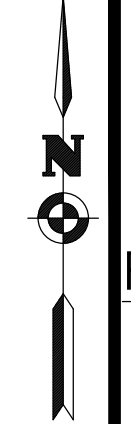
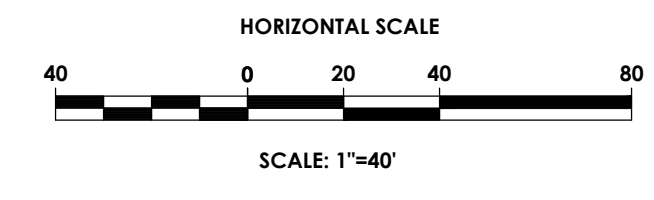
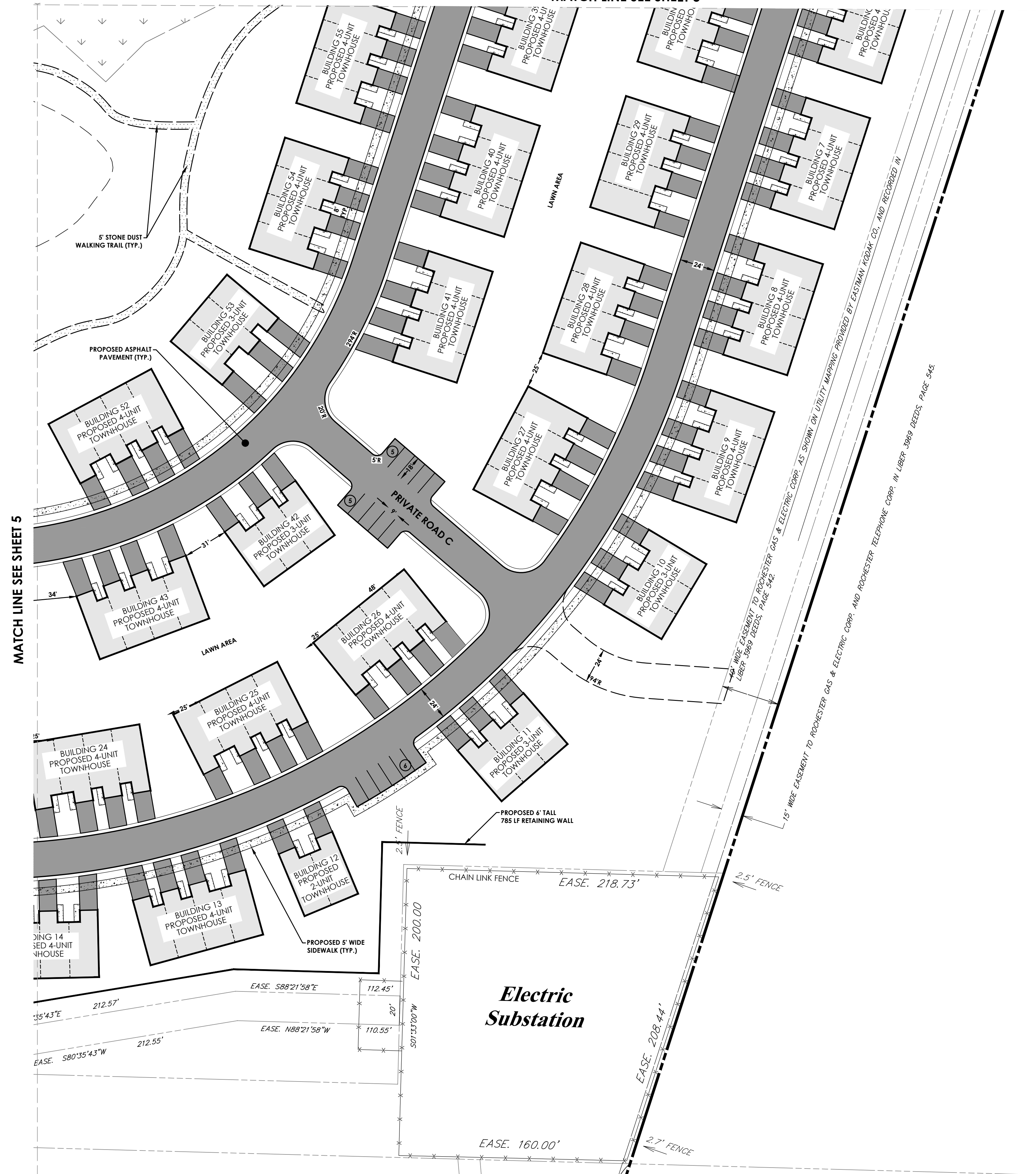
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20192793.0007
Drawing No. **C 103** Sheet No. **3**

Scale: **1" = 40'**

Date: **JUNE 2023**

NOT FOR CONSTRUCTION

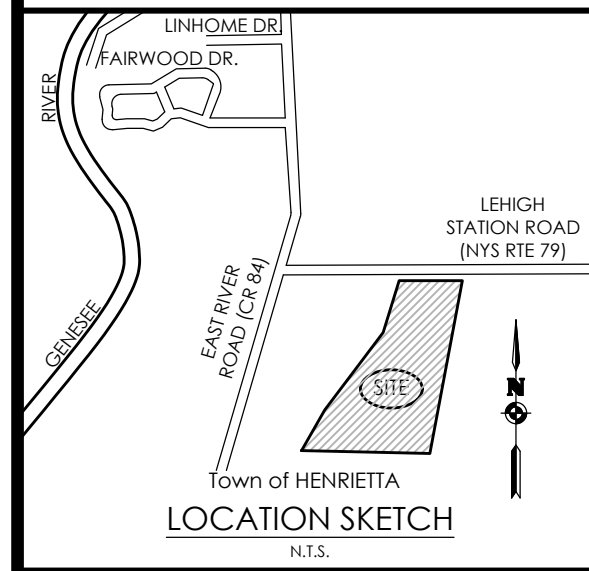
MATCH LINE SEE SHEET 3



TOWNHOUSE DETAIL
SCALE: 1"=40'

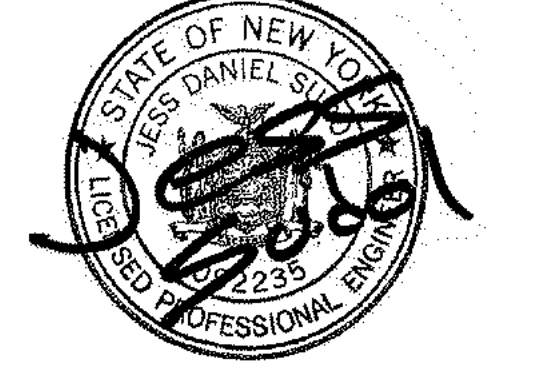
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- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
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- PROPOSED CURB
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED STONE DUST TRAIL
- PROPOSED ASPHALT TRAIL
- EXISTING CREEK BED



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
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PASSERO ASSOCIATES
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(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
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Revisions			
No.	Date	By	Description

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SITE PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No:
20192793.0007

Drawing No. C 104	Sheet No. 4
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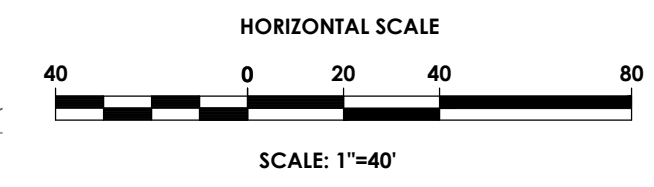
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Date: **JUNE 2023**

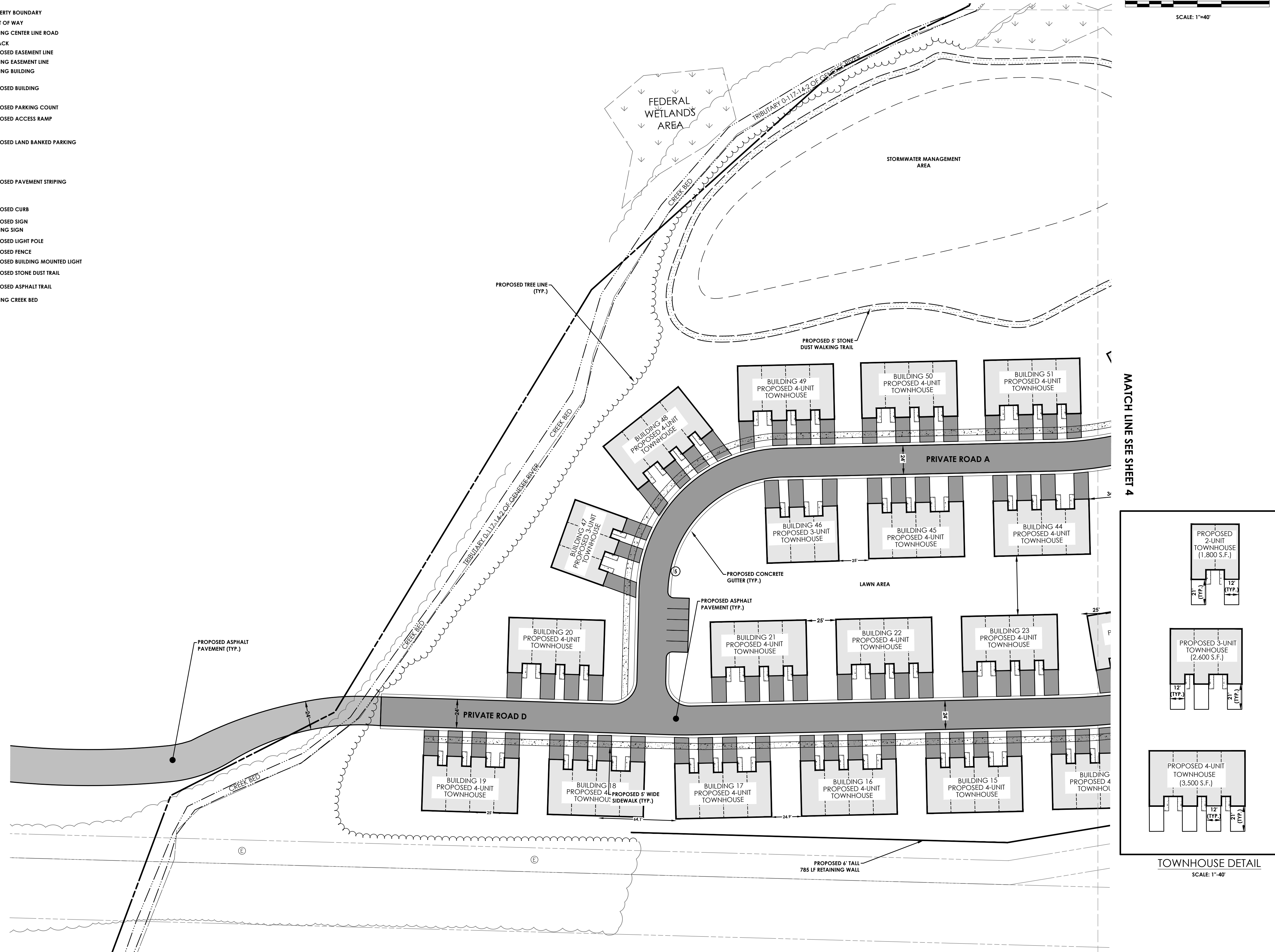
LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED PARKING COUNT
- PROPOSED ACCESS RAMP
- PROPOSED LAND BANKED PARKING
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- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED STONE DUST TRAIL
- PROPOSED ASPHALT TRAIL
- EXISTING CREEK BED

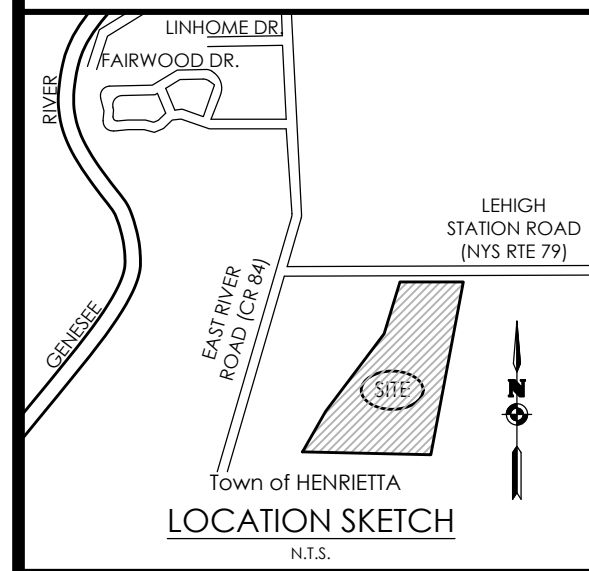
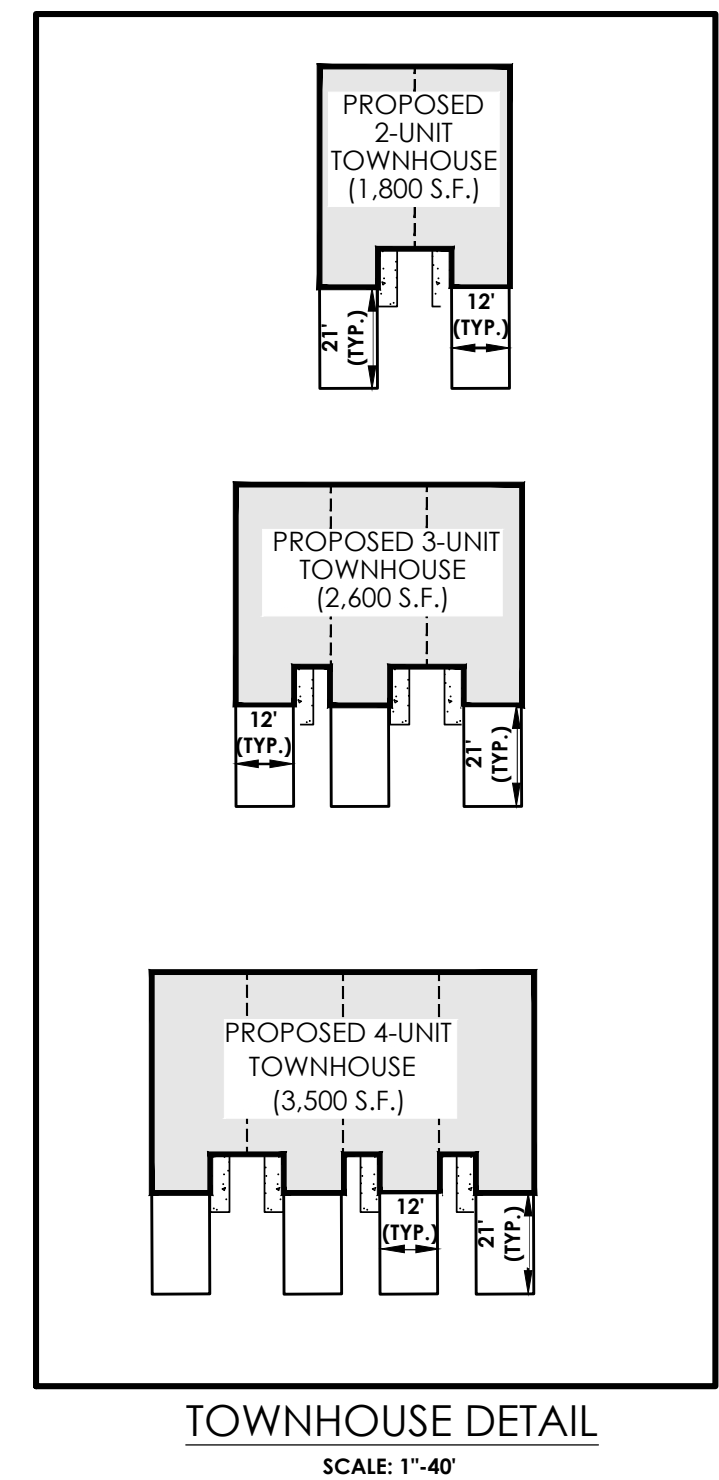
MATCH LINE SEE SHEET 3



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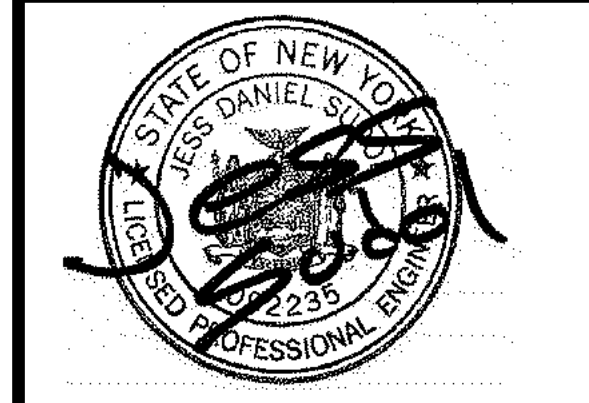


MATCH LINE SEE SHEET 4



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
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ROCHESTER, NY, 14614

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Revisions

No.	Date	By	Description

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SITE PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TROUP'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No:
20192793.0007

Drawing No. C 105	Sheet No. 5
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Scale:
1" = 40'

Date:
JUNE 2023

LEGEND - DEMO:

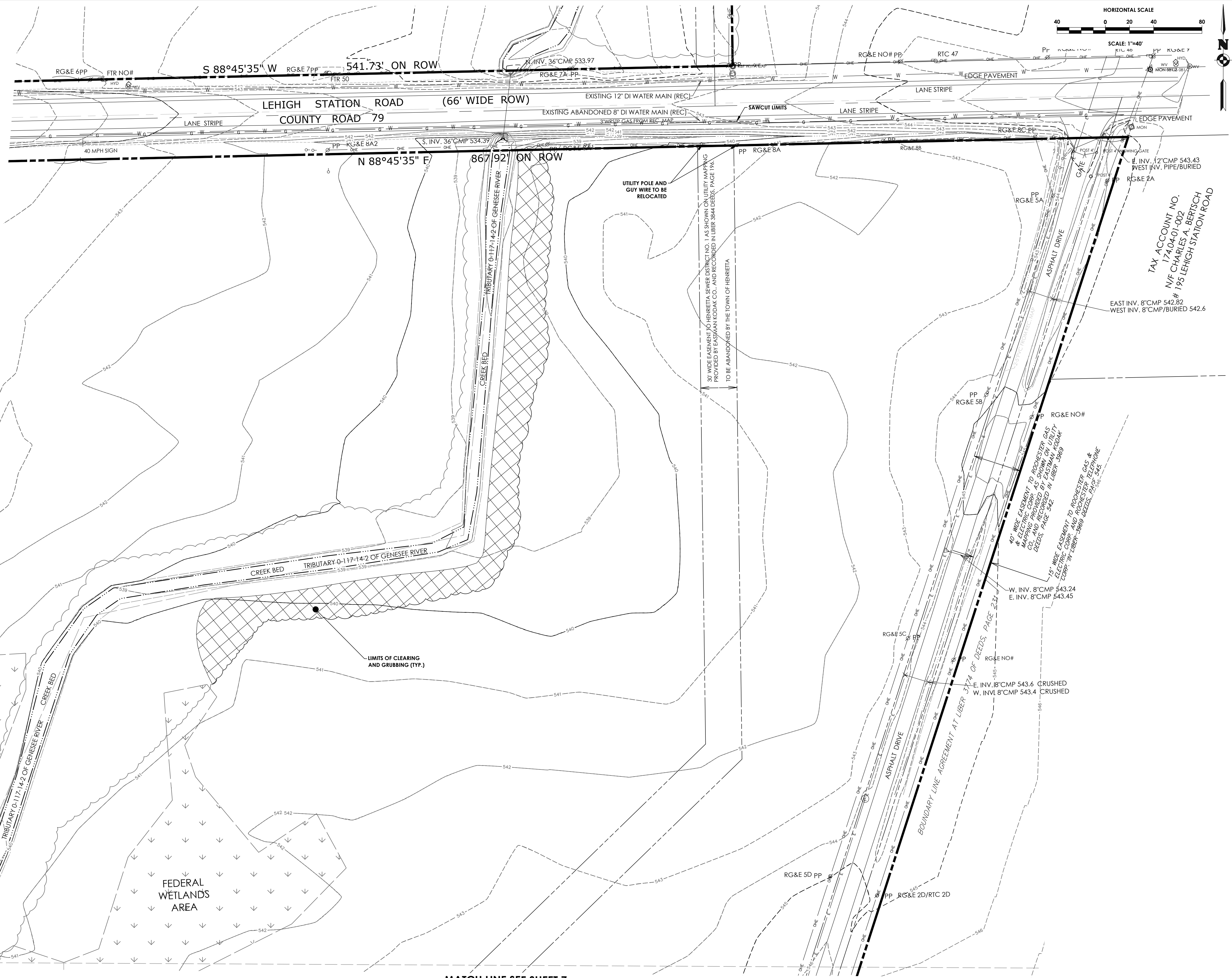
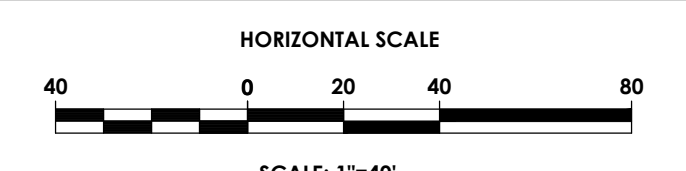
- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

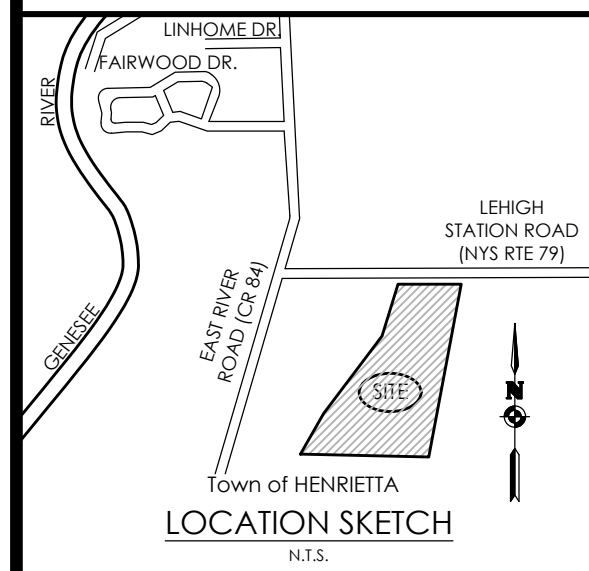
APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



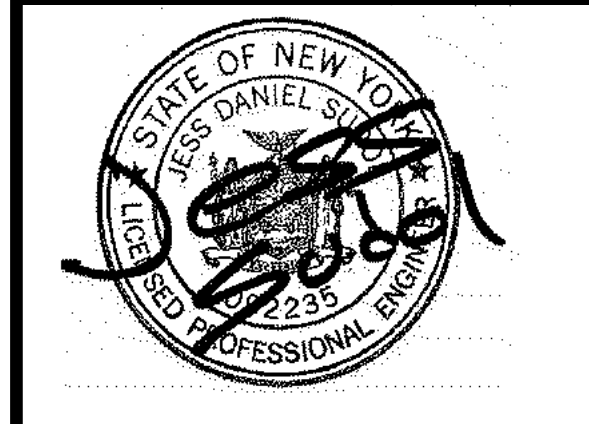
MATCH LINE SEE SHEET 7



Client:

EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

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242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions

No.	Date	By	Description

EXISTING CONDITIONS / DEMOLATION PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TREADER'S & CORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No. **20192793.0007**

Drawing No. **C 106** Sheet No. **6**

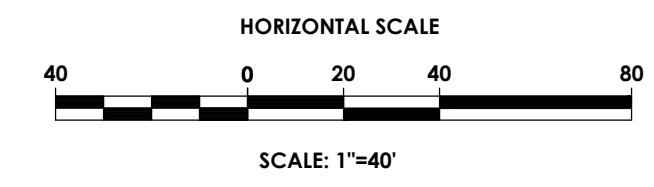
Scale: **1" = 40'**

Date: **JUNE 2023**

NOT FOR CONSTRUCTION

MATCH LINE SEE SHEET 6

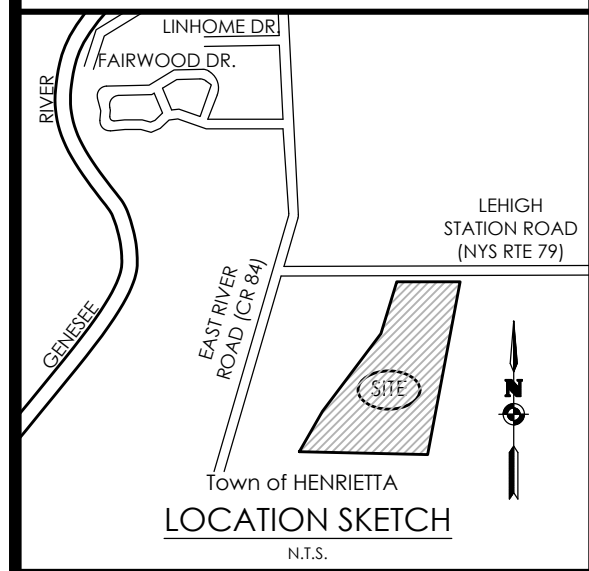
MATCH LINE SEE SHEET 8



LEGEND - DEMO:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED

PASSERO ASSOCIATES
engineering architecture



Client:
EAST RIVER HENRIETTA, LLC
 64 COMMERCIAL STREET
 SUITE 401
 ROCHESTER, NY, 14614

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 Rochester, New York 14614 Fax: (585) 325-1691
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 Project Manager: Andrew Burns, EIT
 Designed by: Briana Mitchell



Revisions			
No.	Date	By	Description

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EXISTING CONDITIONS /DEMOLATION PLAN

RIVERS EDGE
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
 TOWNSHIP 14, RANGE 4, FRIED'S & GORHAM PURCHASE
 Town/City: HENRIETTA
 County: MONROE State: NEW YORK

Project No:
20192793.0007

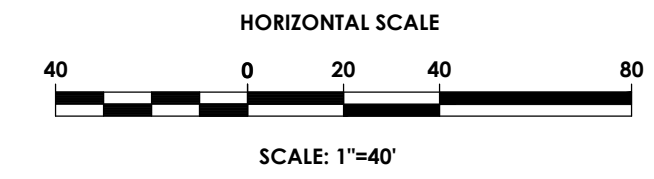
Drawing No. C 107	Sheet No. 7
-----------------------------	-----------------------

Scale: **1" = 40'**

Date: **JUNE 2023**

MATCH LINE SEE SHEET 6

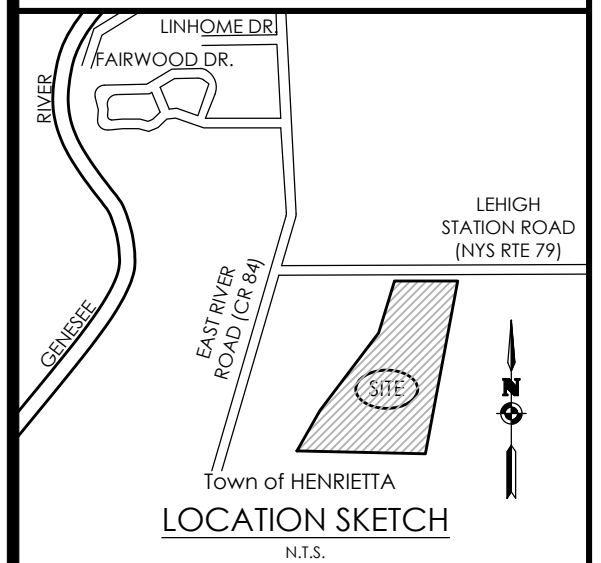
TAX ACCOUNT NO. 174.04-001-021
N/F JAYNES RIVERVIEW LLC
LEHIGH STATION ROAD



LEGEND - DEMO:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED

PA
PASSERO ASSOCIATES
engineering architecture



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100 (585) 325-1000
Rochester, New York 14614 Fax: (585) 325-1891
Principal-in-Charge Jess D. Sudol, PE
Project Manager Andrew Burns, EIT
Designed by Briana Mitchell



Revisions			
No.	Date	By	Description

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EXISTING CONDITIONS /DEMOLITION PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, FRIELT'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

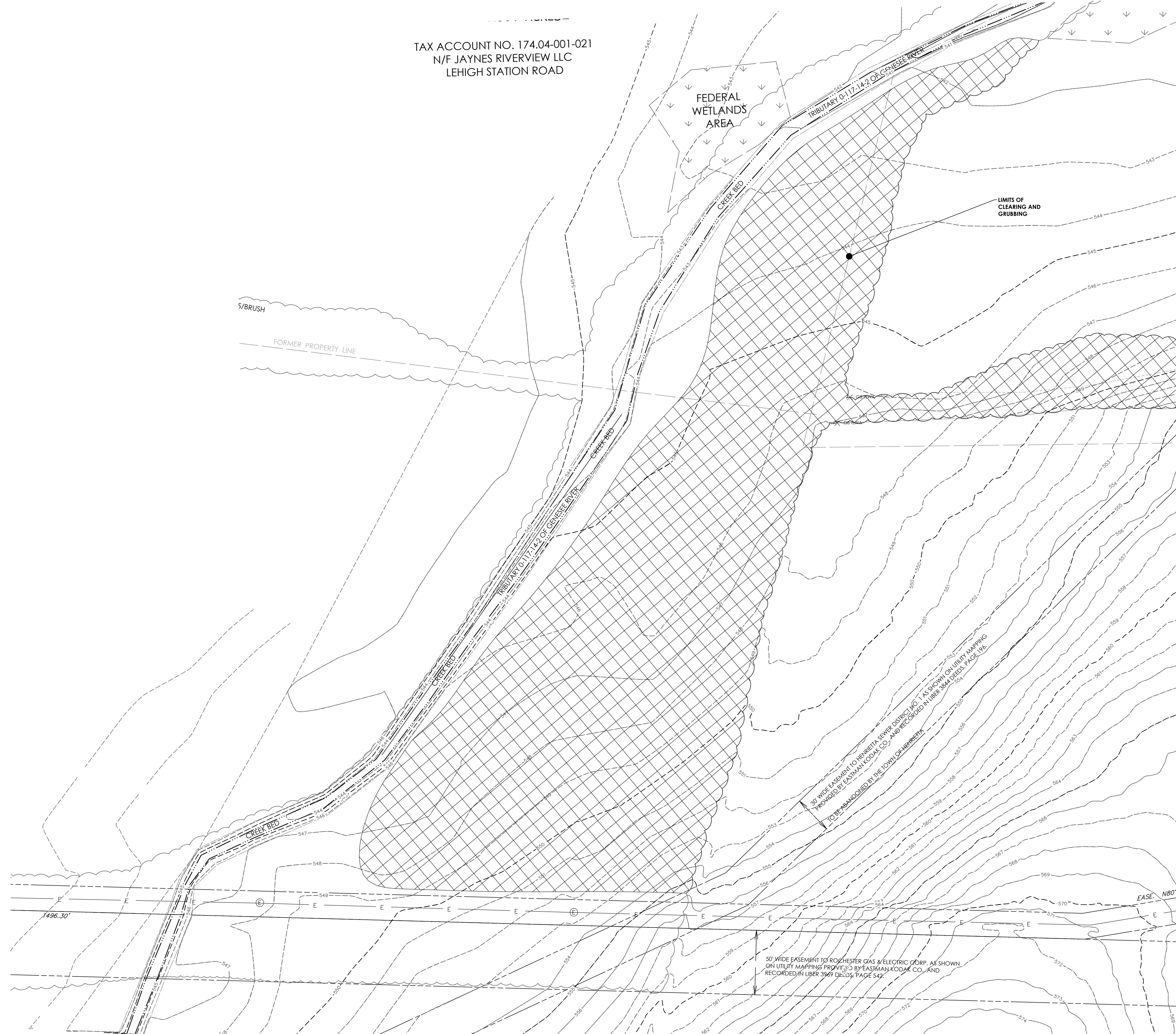
Drawing No. **C 108** Sheet No. **8**

Scale: **1" = 40'**

Date: **JUNE 2023**

NOT FOR CONSTRUCTION

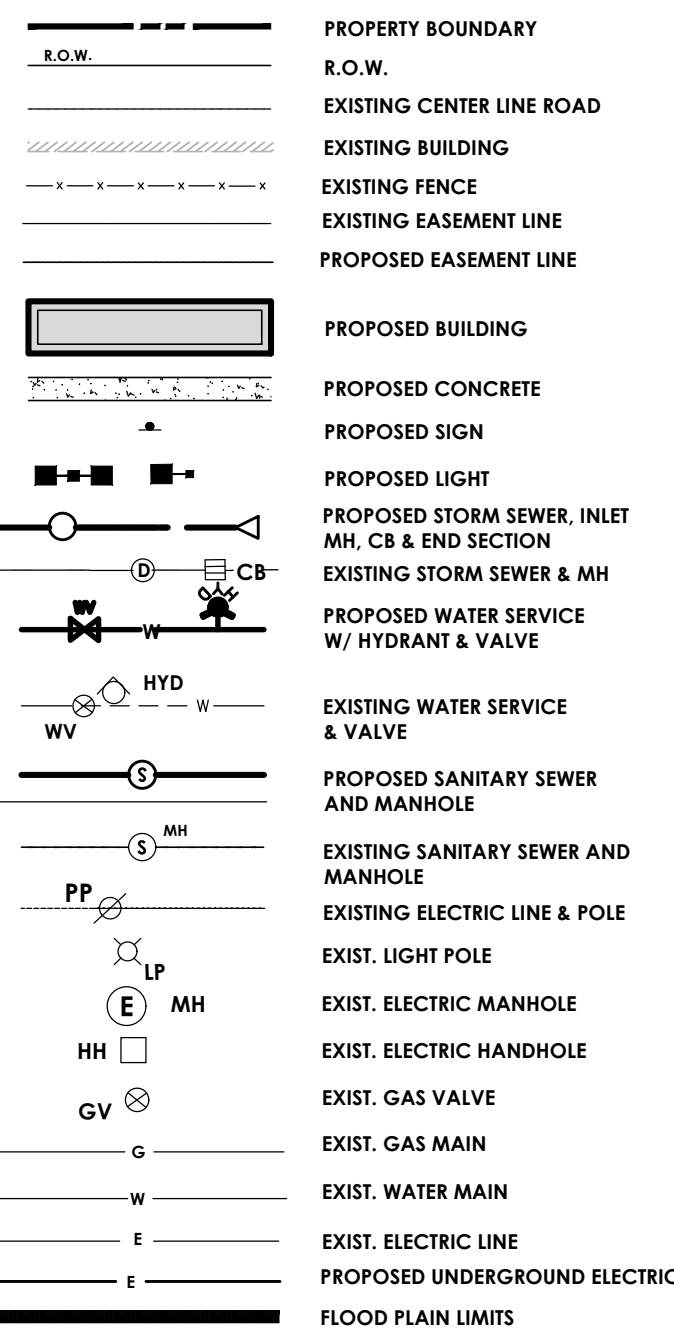
MATCH LINE SEE SHEET 7



50' WIDE EASEMENT TO ROCHESTER GAS & ELECTRIC CORP. AS SHOWN ON UTILITY MAPPING PROVIDED BY EASTMAN KODAK CO. AND RECORDED IN LIBER 3849 DELOS, PAGE 542

1496.30'

LEGEND - UTILITIES:



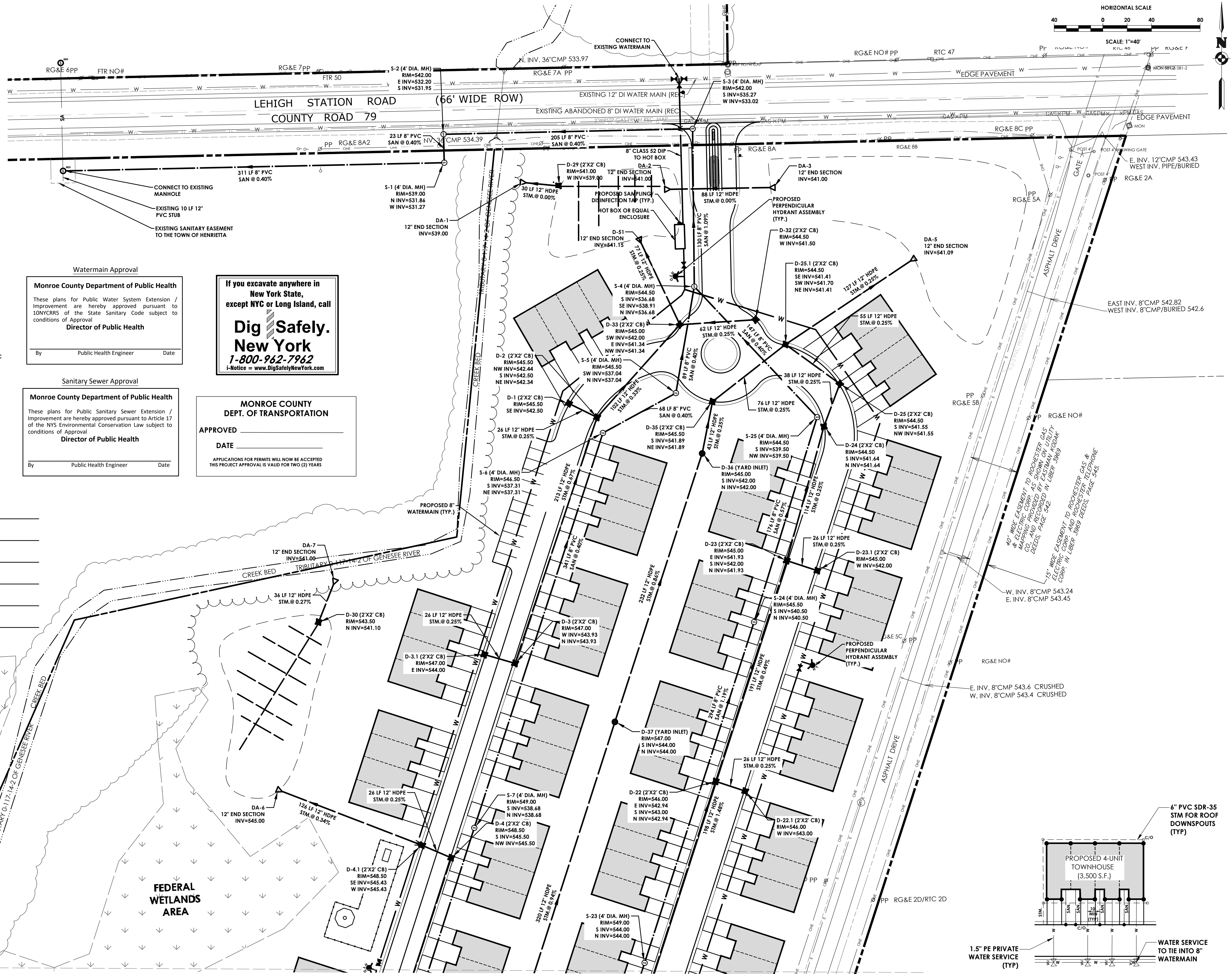
HYDRANT NOTE:

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (526.00').

SUBDIVISION NOTE:

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____



Watermain Approval

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval

Director of Public Health

By _____ Date _____

Dig Safely. New York

1-800-962-7962

Notice = www.DigSafelyNewYork.com

Sanitary Sewer Approval

Monroe County Department of Public Health

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

Director of Public Health

By _____ Date _____

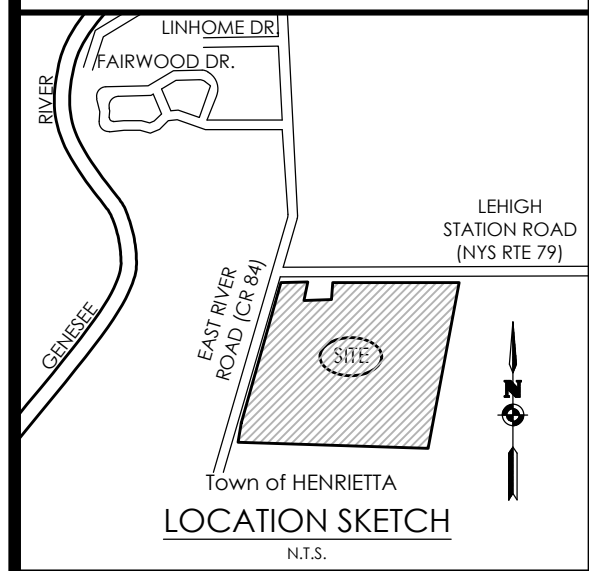
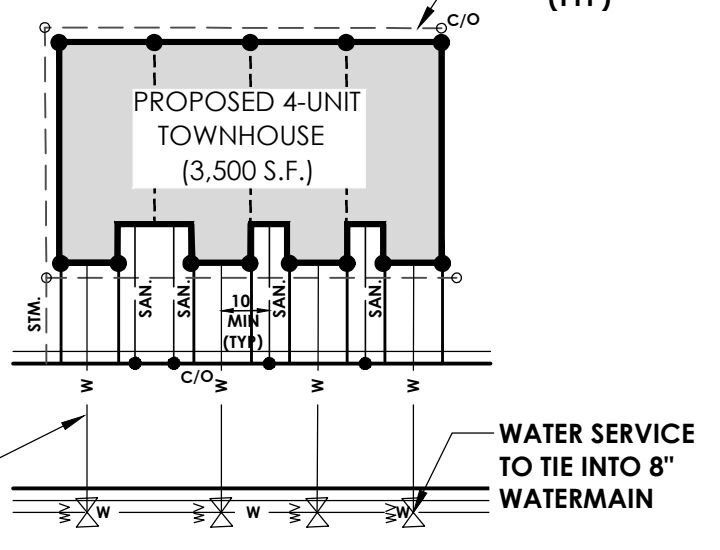
MONROE COUNTY DEPT. OF TRANSPORTATION

APPROVED _____ DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

MATCH LINE SEE SHEET 10

BUILDING LATERAL LAYOUT



Client: COMMERCIAL STREET PARTNERS
64 COMMERCIAL STREET SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: Jess D. Sudol, PE.
Project Manager: Tim Harris, PE.
Designed by: Austin Goodwin



Revisions

No.	Date	By	Description

UTILITY PLAN

LEHIGH STATION & EAST RIVER INDUSTRIAL
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 5 & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

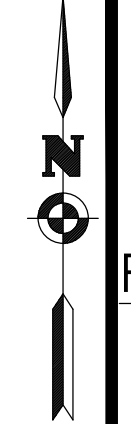
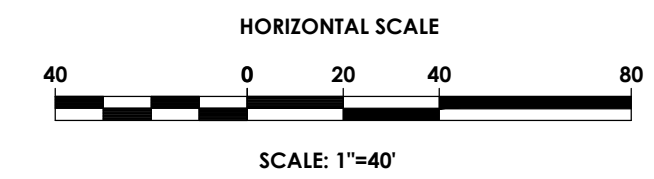
Project No. **20192793.0007**

Drawing No. **C 109** Sheet No. **9**

Scale: **1" = 40'**

Date: **JUNE 2022**

MATCH LINE SEE SHEET 9



LEGEND - UTILITIES:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC
- FLOOD PLAIN LIMITS

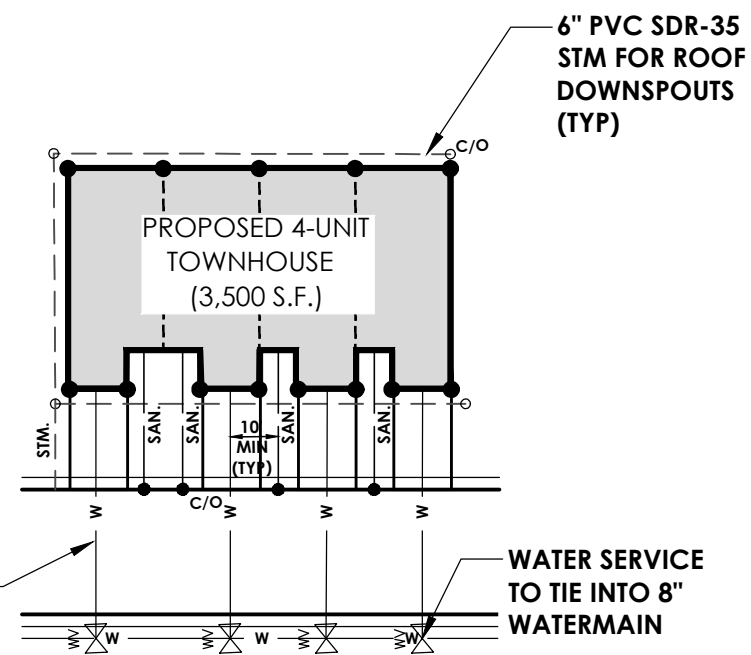
HYDRANT NOTE:

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (528.00').

SUBDIVISION NOTE:

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

MATCH LINE SEE SHEET 11



BUILDING LATERAL LAYOUT
SCALE: 1"=40'

If you excavate anywhere in New York State, except NYC or Long Island, call

Dig Safely. New York
1-800-962-7962
i-Notice = www.DigSafelyNewYork.com

MONROE COUNTY DEPT. OF TRANSPORTATION

APPROVED _____
DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

Watermain Approval

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval

Director of Public Health

By _____ Public Health Engineer Date _____

Sanitary Sewer Approval

Monroe County Department of Public Health

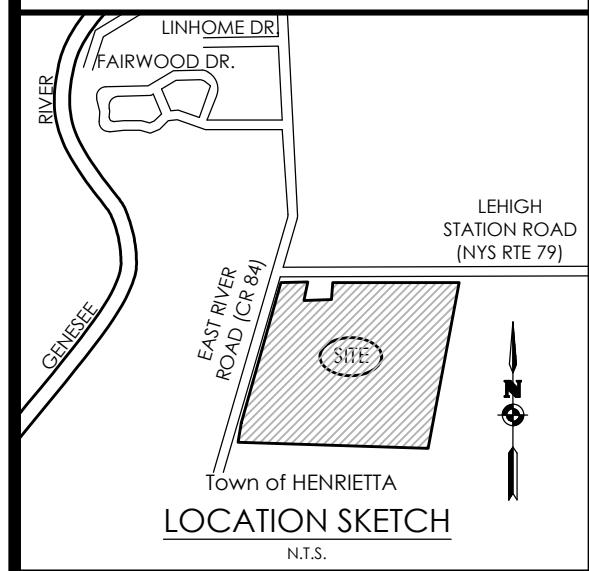
These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

Director of Public Health

By _____ Public Health Engineer Date _____

- APPROVED BY _____ DIRECTOR OF ENGINEERING AND PLANNING DATE _____
- APPROVED BY _____ DIRECTOR OF BUILDING AND FIRE PREVENTION DATE _____
- APPROVED BY _____ COMMISSIONER OF PUBLIC WORKS DATE _____
- APPROVED BY _____ DRAINAGE, SEWERS AND SIDEWALK DEPARTMENT DATE _____
- APPROVED BY _____ MONROE COUNTY WATER AUTHORITY PHASE 1 DATE _____
- APPROVED BY _____ MONROE COUNTY WATER AUTHORITY PHASE 2 DATE _____

PA
PASSERO ASSOCIATES
engineering architecture



Client:
COMMERCIAL STREET PARTNERS
64 COMMERCIAL STREET SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES

242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: **Jess D. Sudol, PE.**
Project Manager: **Tim Harris, PE.**
Designed by: **Austin Goodwin**



Revisions

No.	Date	By	Description

UTILITY PLAN

LEHIGH STATION & EAST RIVER INDUSTRIAL

BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 1 & 2, GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

Drawing No. C 110	Sheet No. 10
-----------------------------	------------------------

Scale: **1" = 40'**

Date
JUNE 2022

NOT FOR CONSTRUCTION

LEGEND - UTILITIES:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXIST. ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC
- FLOOD PLAIN LIMITS

HYDRANT NOTE:

ALL PROPOSED HYDRANTS ARE TO BE AT LEAST ONE FOOT ABOVE THE ESTABLISHED FLOOD PLAIN ELEVATION (526.00').

SUBDIVISION NOTE:

- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING EAST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #1
- ALL PROPOSED UTILITIES AND INFRASTRUCTURE INCLUDING ROADS AND PARKING WEST OF THE PROPERTY LINE IS ASSOCIATED WITH LOT #2

- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____
- APPROVED BY _____ DATE _____

Watermain Approval

Monroe County Department of Public Health

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Director of Public Health

By _____ Public Health Engineer Date _____

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1-800-962-7962

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Sanitary Sewer Approval

Monroe County Department of Public Health

These plans for Public Sanitary Sewer Extension / Improvement are hereby approved pursuant to Article 17 of the NYS Environmental Conservation Law subject to conditions of Approval

Director of Public Health

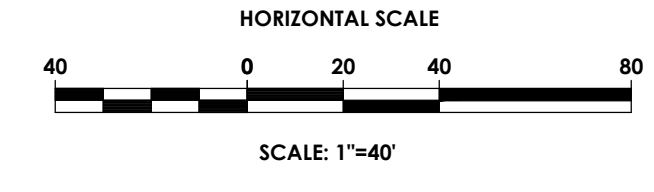
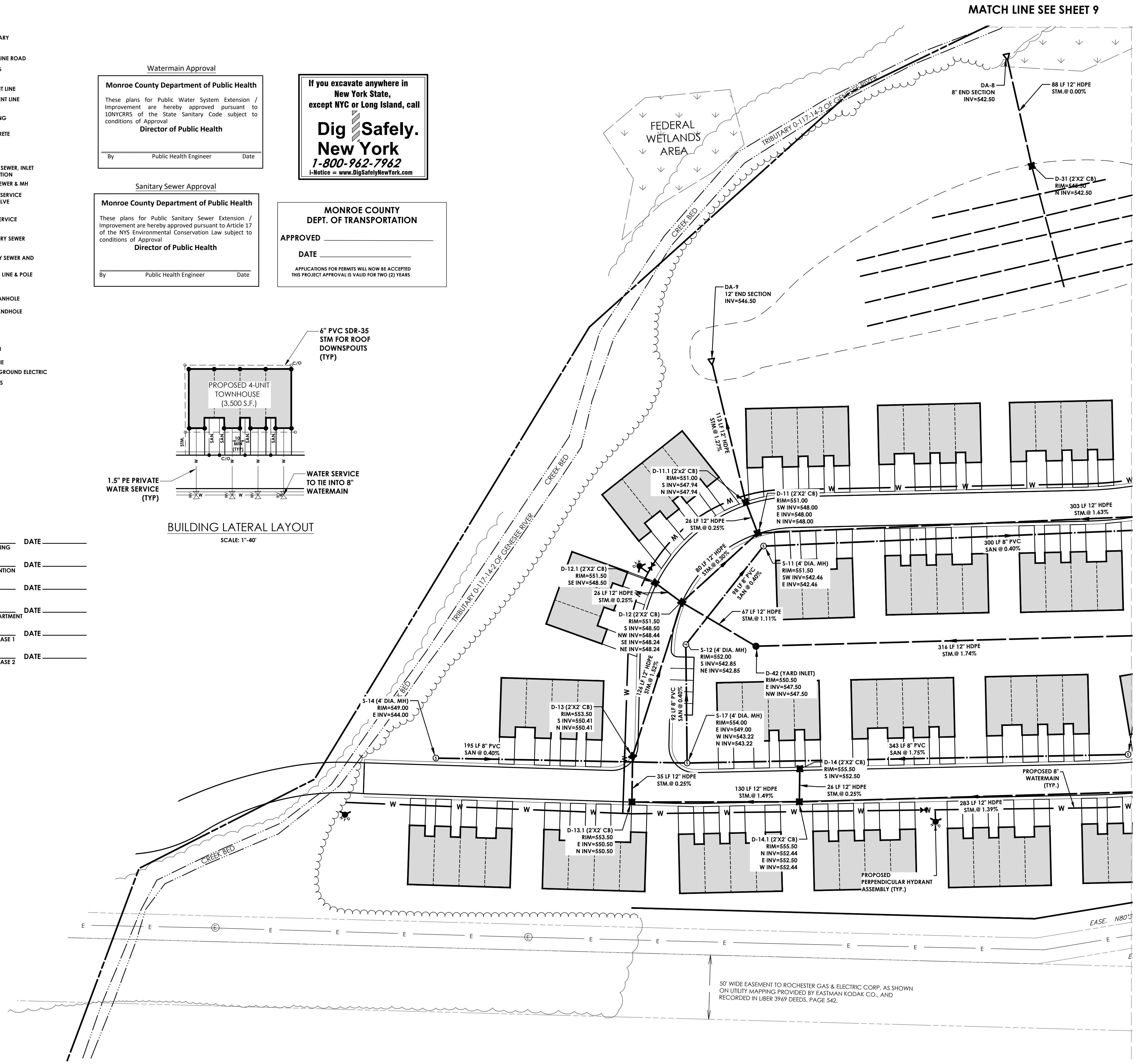
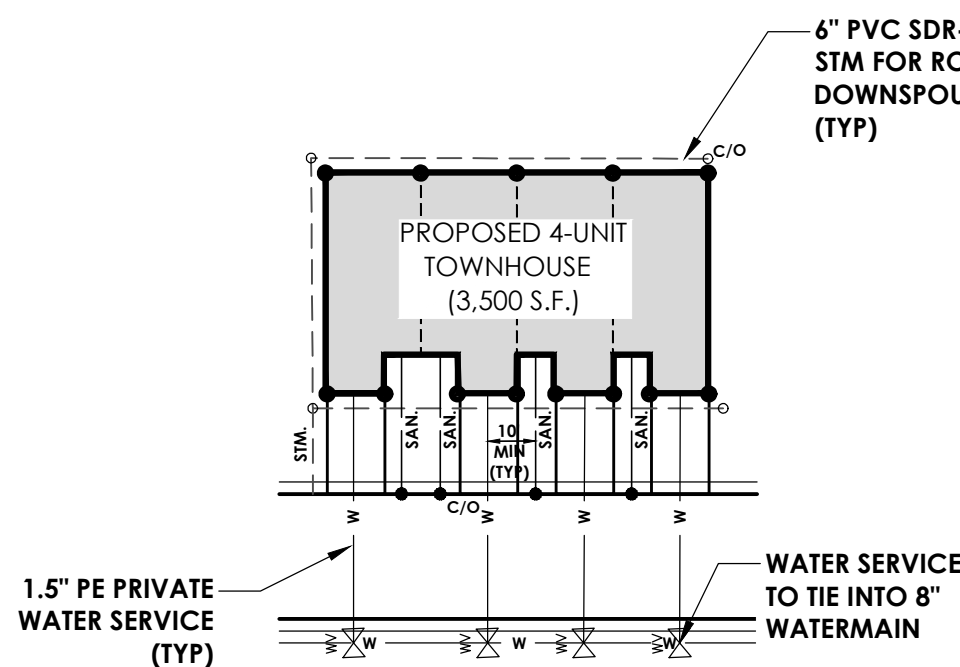
By _____ Public Health Engineer Date _____

MONROE COUNTY DEPT. OF TRANSPORTATION

APPROVED _____

DATE _____

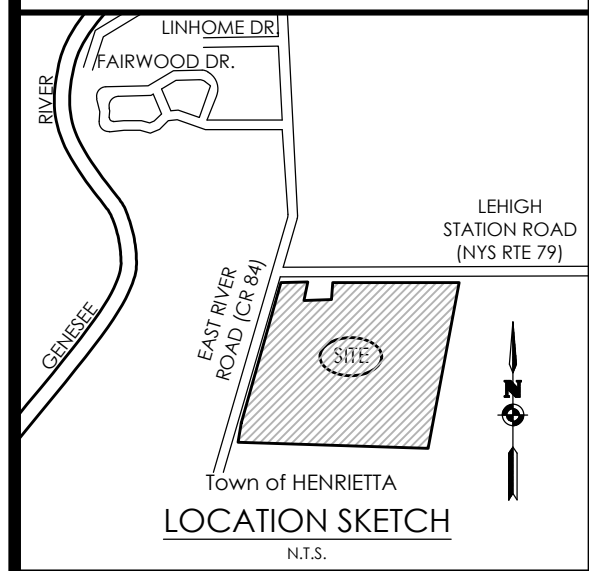
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



PA

PASSERO ASSOCIATES

engineering architecture



Client:

COMMERCIAL STREET PARTNERS

64 COMMERCIAL STREET SUITE 401

ROCHESTER, NY, 14614

PASSERO ASSOCIATES

242 West Main Street Suite 100
Rochester, New York 14614

(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: **Jess D. Sudol, P.E.**

Project Manager: **Tim Harris, P.E.**

Designed by: **Austin Goodwin**



Revisions

No.	Date	By	Description

UTILITY PLAN

LEHIGH STATION & EAST RIVER INDUSTRIAL

BEING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, TIER 5 & GORHAM PURCHASE

Town/City: HENRIETTA

County: MONROE State: NEW YORK

Project No. **20192793.0007**

Drawing No. **C 111** Sheet No. **11**

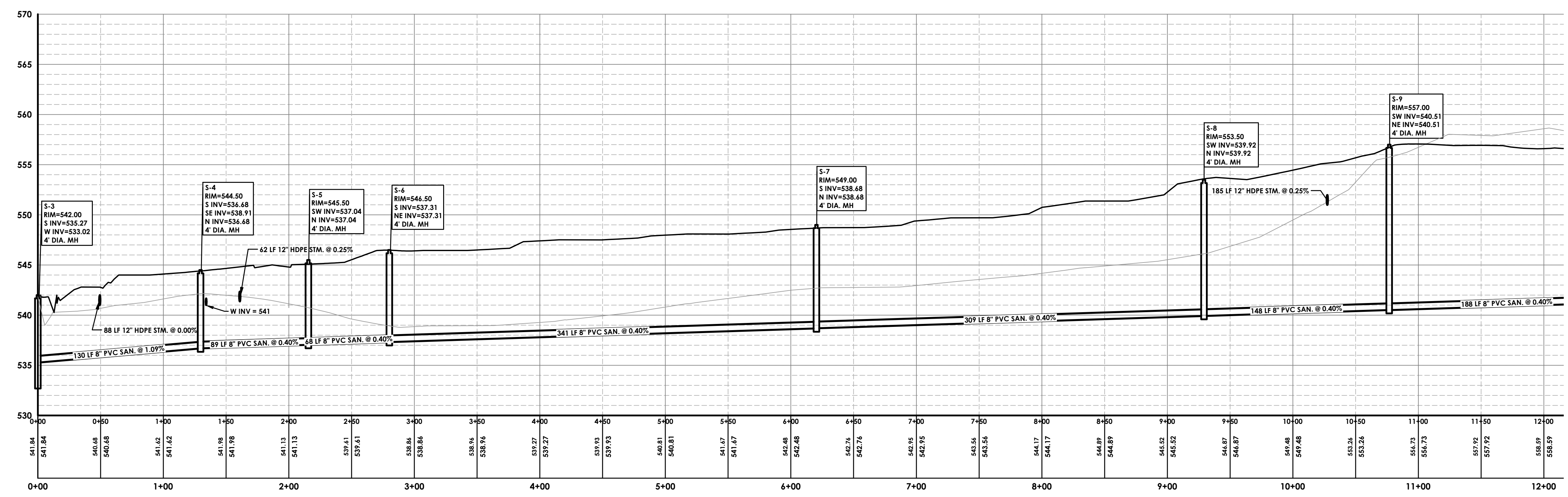
Scale: **1" = 40'**

Date: **JUNE 2022**

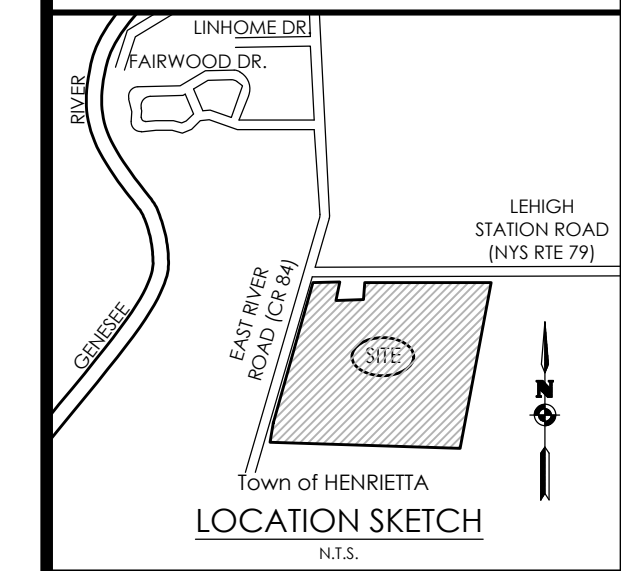
50' WIDE EASEMENT TO ROCHESTER GAS & ELECTRIC CORP. AS SHOWN ON UTILITY MAPPING PROVIDED BY EASTMAN KODAK CO., AND RECORDED IN LIBER 3969 DEEDS, PAGE 542.



PASSERO ASSOCIATES
engineering architecture



Sanitary Alignment 1 PROFILE
SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



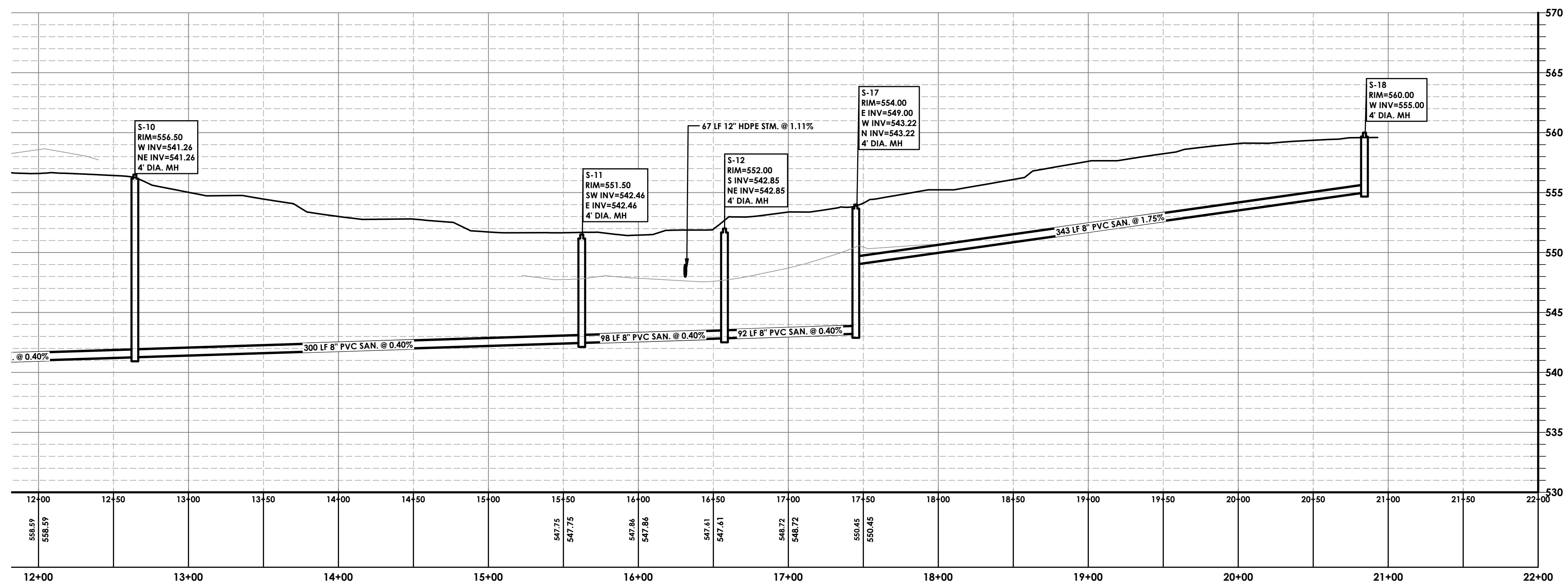
Client:
COMMERCIAL STREET PARTNERS
64 COMMERCIAL STREET SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: Jess D. Sudol, P.E.
Project Manager: Tim Harris, P.E.
Designed by: Austin Goodwin



Revisions			
No.	Date	By	Description

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Sanitary Alignment 1 PROFILE
SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'

- PROFILE NOTES**
- ALL EARTH WORK SHALL BE COMPLETED PRIOR TO SANITARY SEWER AND WATER MAIN INSTALLATIONS.
 - ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
 - ALL LATERALS WITH LESS THAN 4 FEET OF COVER SHALL BE ENCASED IN 3000 P.S.I. CONCRETE.
 - ALL SANITARY AND STORM SEWER MANHOLE SHALL BE 4' DIA. UNLESS OTHERWISE SPECIFIED ON UTILITY PLAN.
 - MANHOLE RIM ELEVATION ARE SHOWN AS PROJECTION FROM CENTERLINE OF ROAD.

UTILITY PROFILES

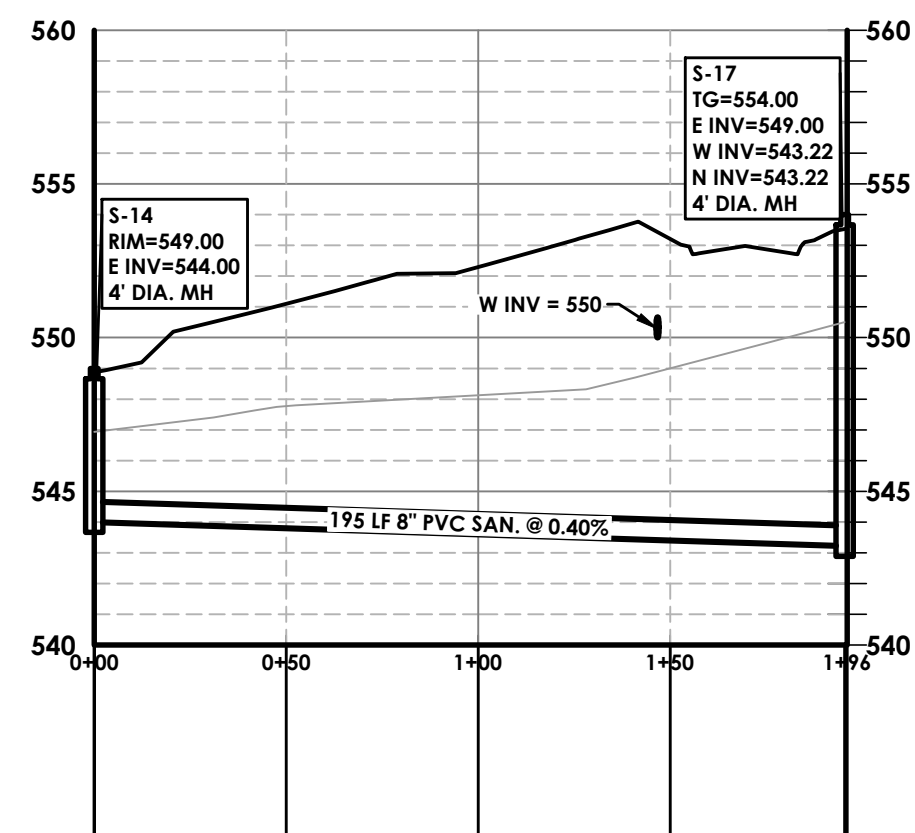
LEHIGH STATION & EAST RIVER INDUSTRIAL
BEING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, PHELPS & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.: **20192793.0007**
Drawing No.: **C 112** Sheet No.: **12**

Scale: **1" = 40'**
Date: **JUNE 2022**

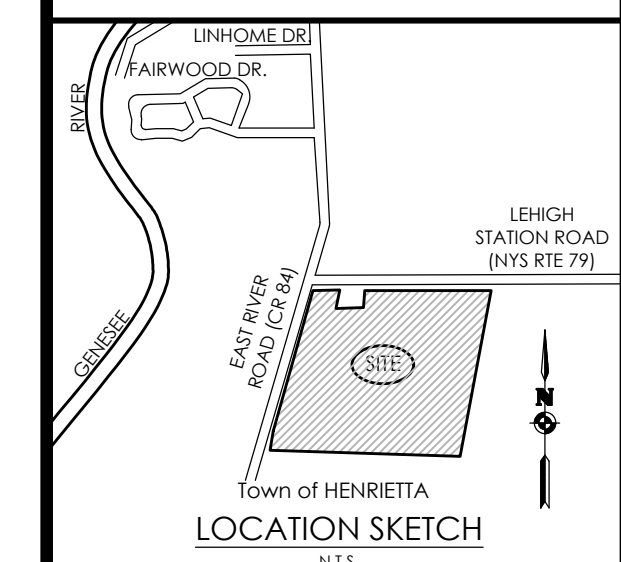


PASSERO ASSOCIATES
engineering architecture



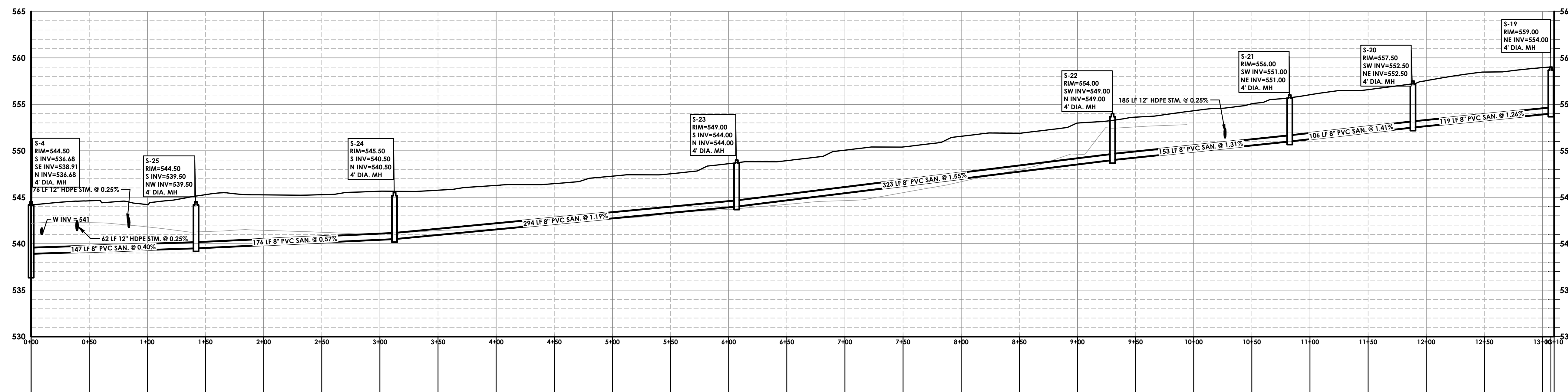
Sanitary Alignment 2 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



Client:
COMMERCIAL STREET PARTNERS
64 COMMERCIAL STREET SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE.
Project Manager: Tim Harris, PE.
Designed by: Austin Goodwin



Sanitary Alignment 3 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'

- PROFILE NOTES**
- ALL EARTH WORK SHALL BE COMPLETED PRIOR TO SANITARY SEWER AND WATER MAIN INSTALLATIONS.
 - ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
 - ALL LATERALS WITH LESS THAN 4 FEET OF COVER SHALL BE ENCASED IN 3000 P.S.I. CONCRETE.
 - ALL SANITARY AND STORM SEWER MANHOLE SHALL BE 4' DIA. UNLESS OTHERWISE SPECIFIED ON UTILITY PLAN.
 - MANHOLE RIM ELEVATION ARE SHOWN AS PROJECTION FROM CENTERLINE OF ROAD.

Revisions			
No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7309 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

UTILITY PROFILES

LEHIGH STATION & EAST RIVER INDUSTRIAL
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 5 & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007
Drawing No. **C 113** Sheet No. **13**
Scale: **1" = 40'**
Date
JUNE 2022

NOT FOR CONSTRUCTION

LEGEND - GRADING:

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED SLOPE STABILIZATION
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
	EXISTING STORM SEWER & MH
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	PROPOSED STONE CHECK DAM
	PROPOSED INLET PROTECTION
	PROPOSED TREE/BRUSH LINE
	EXISTING TREE/BRUSH LINE
	SILT FENCE
	TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
	BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
	PROPOSED PAD ELEVATION
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION

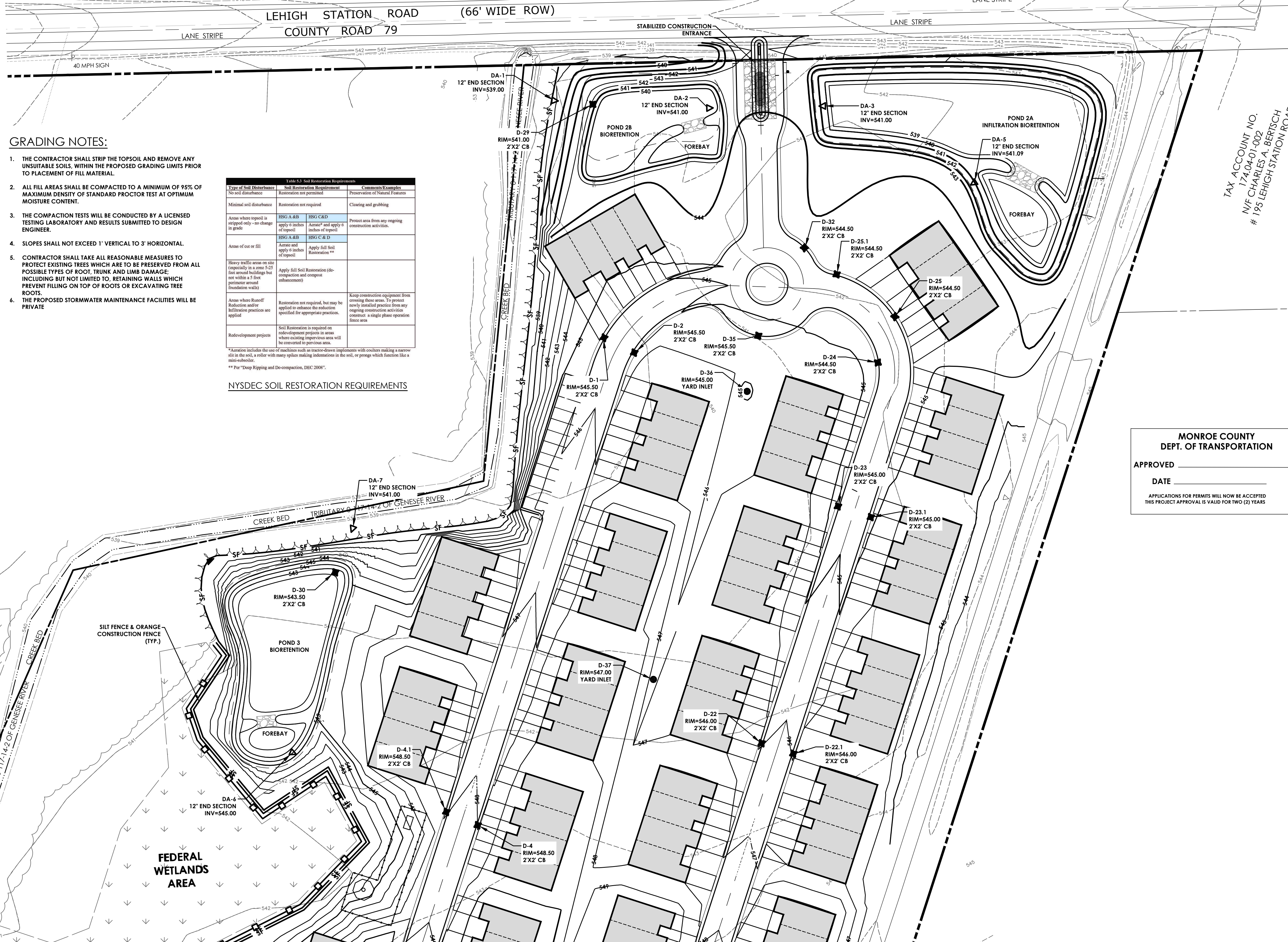
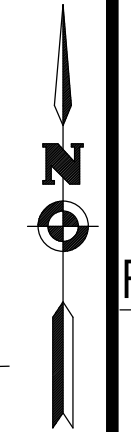
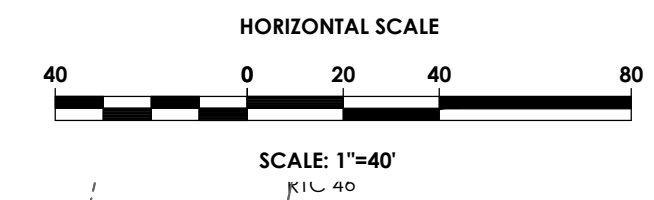
GRADING NOTES:

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
4. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.
5. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
6. THE PROPOSED STORMWATER MAINTENANCE FACILITIES WILL BE PRIVATE.

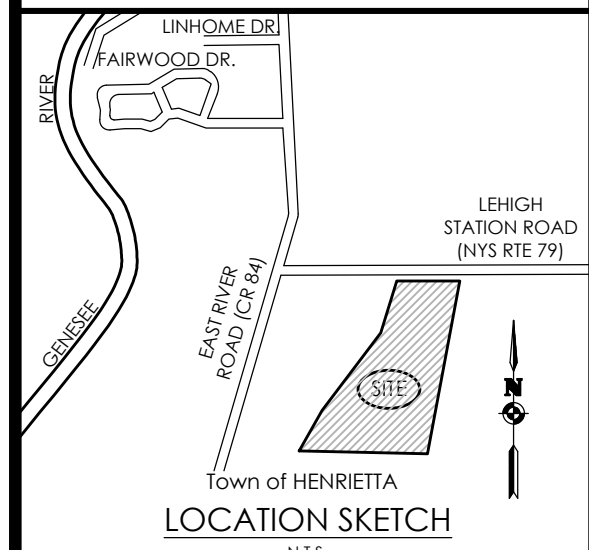
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not required	Preservation of Native Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG: A & B Apply 6 inches of topsoil	HSG: C & D Apply 6 inches of topsoil
Areas of cut or fill	Apply full Soil Restoration**	Apply full Soil Restoration**
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compact subsoilment)	
Areas where Runoff Reduction and/or infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To prevent newly installed practices from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.	

*Action includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, or roller with many spines making indentation in the soil, or prong which function like a mini-subsoiler.
 **For "Deep Ripping and De-compaction, DEC 2008".

NYSDEC SOIL RESTORATION REQUIREMENTS



TAX ACCOUNT NO.
174,04,01-002
N/F CHARLES A. BERTSCH
195 LEHIGH STATION ROAD



If you excavate anywhere in New York State, except NYC or Long Island, call **Dig Safely. New York** 1-800-962-7962
i-Notice = www.DigSafelyNewYork.com

MONROE COUNTY
DEPT. OF TRANSPORTATION
APPROVED _____
DATE _____
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



No.	Date	By	Description

GRADING & EROSION CONTROL

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 1'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

Drawing No. Sheet No.
C 114 14

Scale: **1" = 40'**

Date
JUNE 2023

MATCH LINE SEE SHEET 5

LEGEND - GRADING:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SLOPE STABILIZATION
- 520 EXISTING MAJOR CONTOUR
- 521 EXISTING MINOR CONTOUR
- 520 PROPOSED MAJOR CONTOUR
- 521 PROPOSED MINOR CONTOUR
- SF SILT FENCE
- PROPOSED STORM SEWER, INLET MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SF SILT FENCE
- TC:492.9 BC:492.4 TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- F.P. = 492.9 PROPOSED PAD ELEVATION
- F.F. = 492.9 PROPOSED FINISHED FLOOR ELEVATION
- X 492.7 - 492.7 PROPOSED SPOT ELEVATION
- X 491.5 EXISTING SPOT ELEVATION

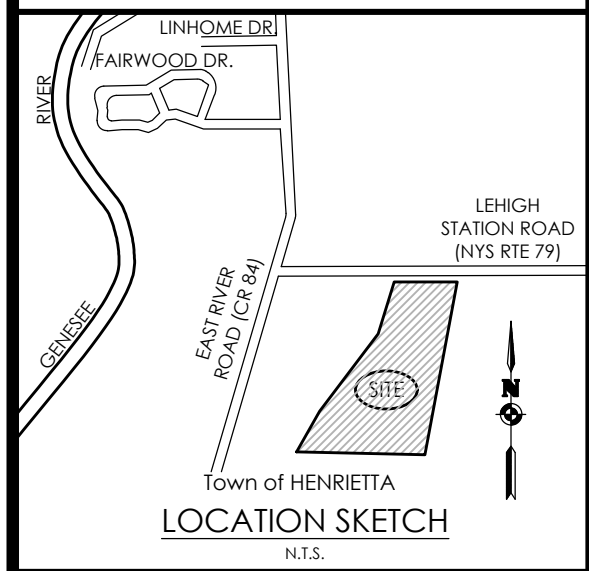
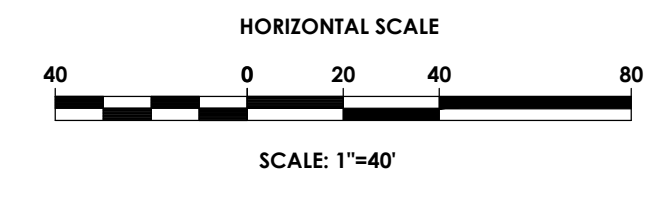
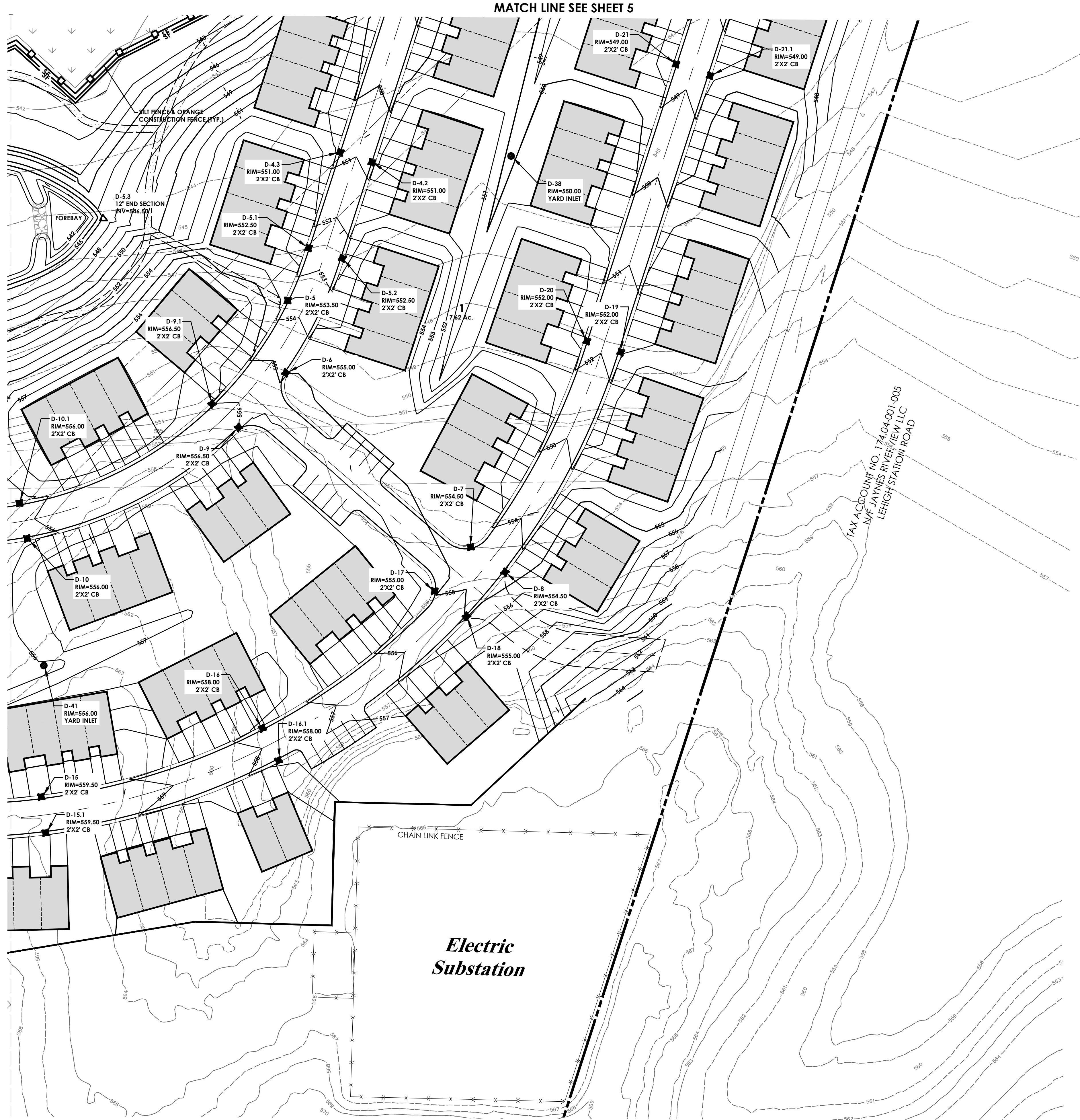
GRADING NOTES:

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
4. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.
5. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
6. THE PROPOSED STORMWATER MAINTENANCE FACILITIES WILL BE PRIVATE.

Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Closing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 6 inches of topsoil	Apply 6 inches of topsoil
Areas of cut or fill	HSG A & B Apply 6 inches of topsoil	Apply 6 inches of topsoil
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5-foot perimeter around foundation walls)	Apply 6 inches of topsoil	Apply 6 inches of topsoil
Areas where runoff reduction and/or infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from covering these areas. To protect newly installed practices from any ongoing construction activities, construct a single-phase operation fence area.
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.	

NYSDEC SOIL RESTORATION REQUIREMENTS

MATCH LINE SEE SHEET 5



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions			
No.	Date	By	Description

GRADING & EROSION CONTROL
RIVERS EDGE
BECOM PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No. 20192793.0007
Drawing No. C 115 Sheet No. 15
Scale: 1" = 40'
Date: JUNE 2023

If you excavate anywhere in New York State, except NYC or Long Island, call
Dig Safely. New York
1-800-962-7962
i-Notice = www.DigSafelyNewYork.com

MONROE COUNTY
DEPT. OF TRANSPORTATION
APPROVED _____
DATE _____
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

LEGEND - GRADING:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SLOPE STABILIZATION
- 520 EXISTING MAJOR CONTOUR
- 521 EXISTING MINOR CONTOUR
- 520 PROPOSED MAJOR CONTOUR
- 521 PROPOSED MINOR CONTOUR
- SF SILT FENCE
- PROPOSED STORM SEWER, INLET
- ⊙ MH, CR & END SECTION
- ⊙ EXISTING STORM SEWER & MH
- ⊙ PROPOSED SANITARY SEWER AND MANHOLE
- ⊙ EXISTING SANITARY SEWER AND MANHOLE
- PP EXISTING ELECTRIC LINE & POLE
- LP EXIST. LIGHT POLE
- ⊙ MH EXIST. ELECTRIC MANHOLE
- HH EXIST. ELECTRIC HANDHOLE
- GV EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SF SILT FENCE
- TC:492.9 BC:492.4 TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R) BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- F.P. = 492.9 PROPOSED PAD ELEVATION
- F.F. = 492.9 PROPOSED FINISHED FLOOR ELEVATION
- X 492.7 - 492.7 PROPOSED SPOT ELEVATION
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MONROE COUNTY DEPT. OF TRANSPORTATION
APPROVED _____
DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

GRADING NOTES:

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No soil disturbance	Restoration not required	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 6 inches of topsoil HSG C & D Acruse* and apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A & B Acruse and apply 6 inches of topsoil HSG C & D Apply full Soil Restoration**	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)	
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction construct a single phase operation fence area	Keep construction equipment from crossing these areas. To prevent newly installed practices from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.	

*Acruse includes the use of machines such as tractor-drawn implements with coolers making a narrow strip in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.
** For "Deep Ripping and De-compaction, DEC 2008".

NYSDEC SOIL RESTORATION REQUIREMENTS

SEDIMENT TRAP CALCULATIONS:

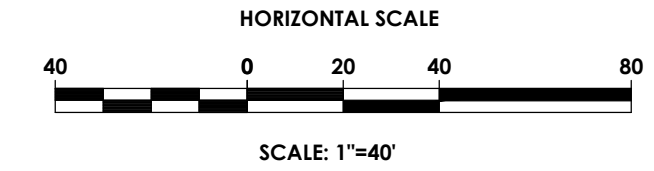
REQUIRED CF = TOTAL DISTURBED ACRES X 3430 CF/ACREA
= 34.2 ACRES (3430 CF/ACRES)
= 131406 CF

PROPOSED CF = 151,927 CF (INCLUDING CATCH BASIN SEDIMENT TRAPS)

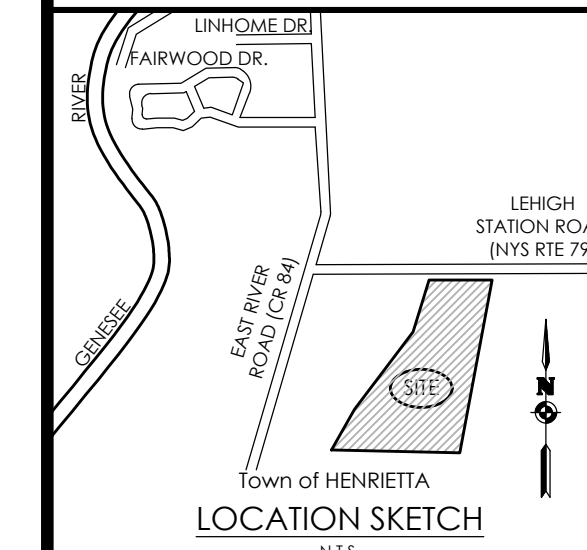
STRUCTURE	DIMENSIONS	VOLUME (CF)
DA-4.5.2	61'X23'X2.8'	3,928
DA	112'X39'X3'	13,440
D-4.9	71'X30'X1.5'	3,195
D-11.2	85'X33'X1.2'	3,364
D	108'X41'X5'	22,140
BIO-1-END	213'X114'X8'	97,128
TEMP. SEDIMENT TRAP	97'X30'3'	8,730

AREA TO RIGHT OF WAY:
3,483,230 SQ. FT.
OR 79.964 ACRES±

TAX ACCOUNT NO. 174.04-001-021
N/F JAYNES RIVERVIEW LLC
LEHIGH STATION ROAD



PA
PASSERO ASSOCIATES
engineering architecture



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
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(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions

No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

GRADING & EROSION CONTROL

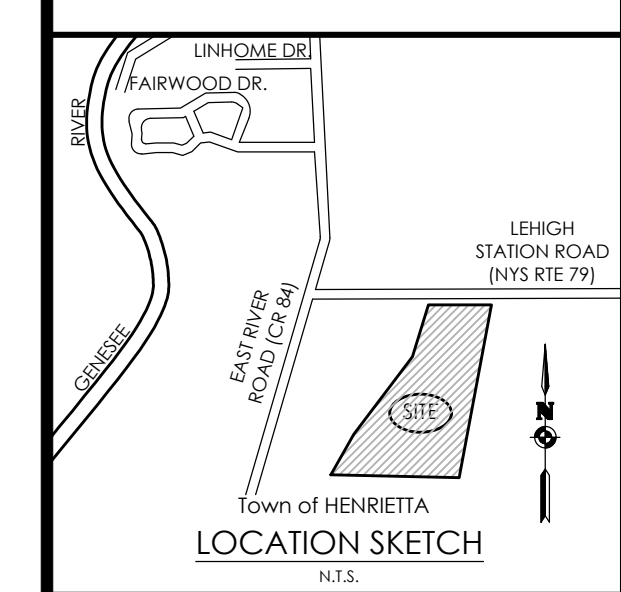
RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No:
20192793.0007
Drawing No. **C 116** Sheet No. **16**
Scale: **1" = 40'**
Date: **JUNE 2023**

NOT FOR CONSTRUCTION



PASSERO ASSOCIATES
engineering architecture



Client:
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64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
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ROAD PROFILES

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 1'S & CORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

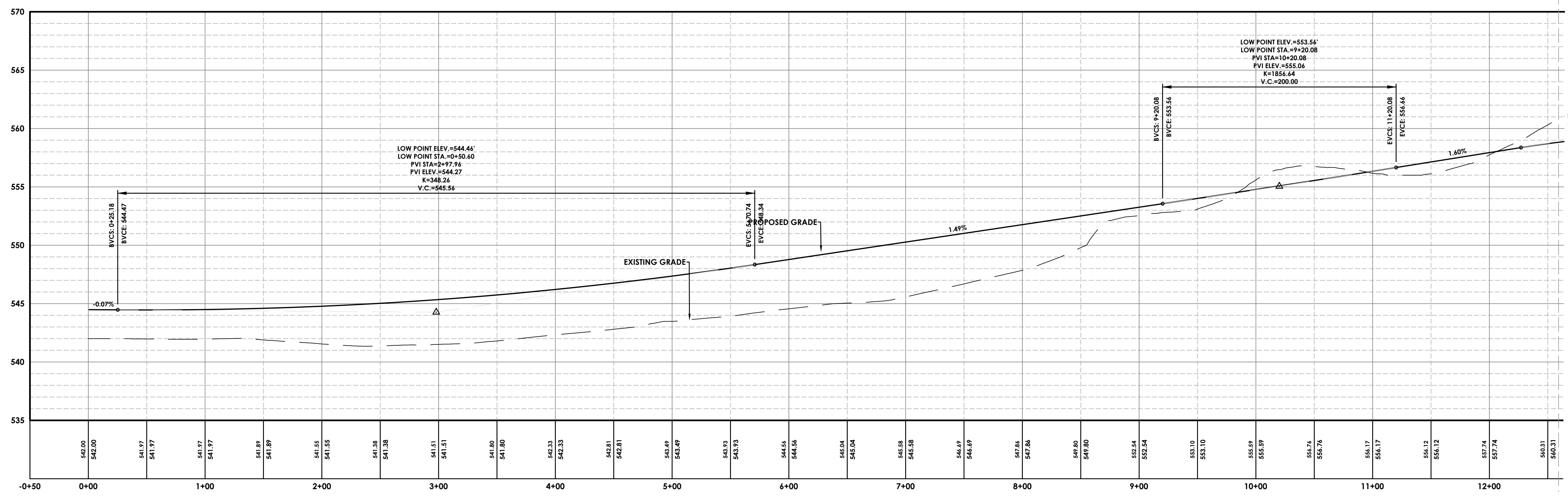
Project No:
20192793.0007

Drawing No. **C 117** Sheet No. **17**

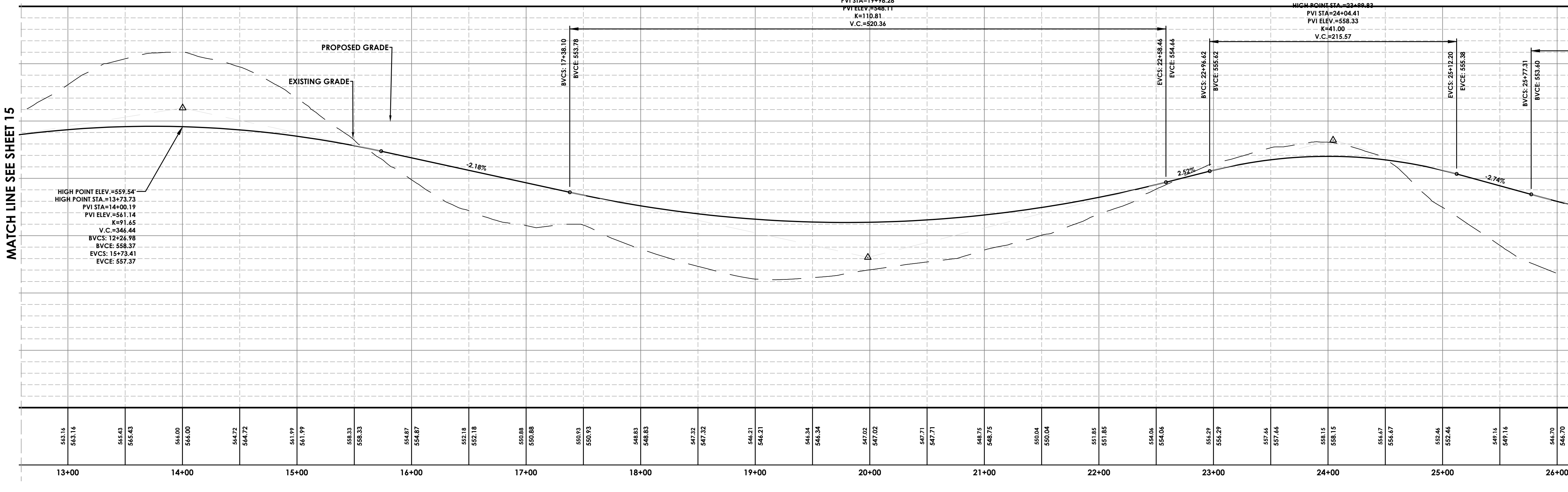
Scale: **1" = 50'**

Date: **JUNE 2023**

NOT FOR CONSTRUCTION



MATCH LINE SEE SHEET 15



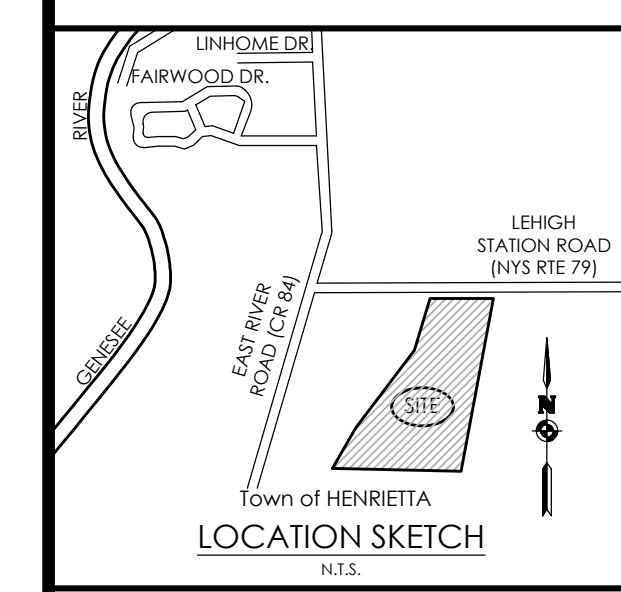
MATCH LINE SEE SHEET 15

MATCH LINE SEE SHEET 16

ROAD A PROFILE
SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'

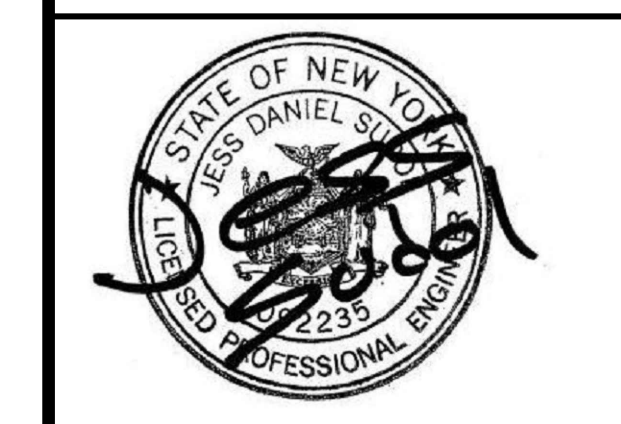


PASSERO ASSOCIATES
engineering architecture



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
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Revisions			
No.	Date	By	Description

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ROAD PROFILES

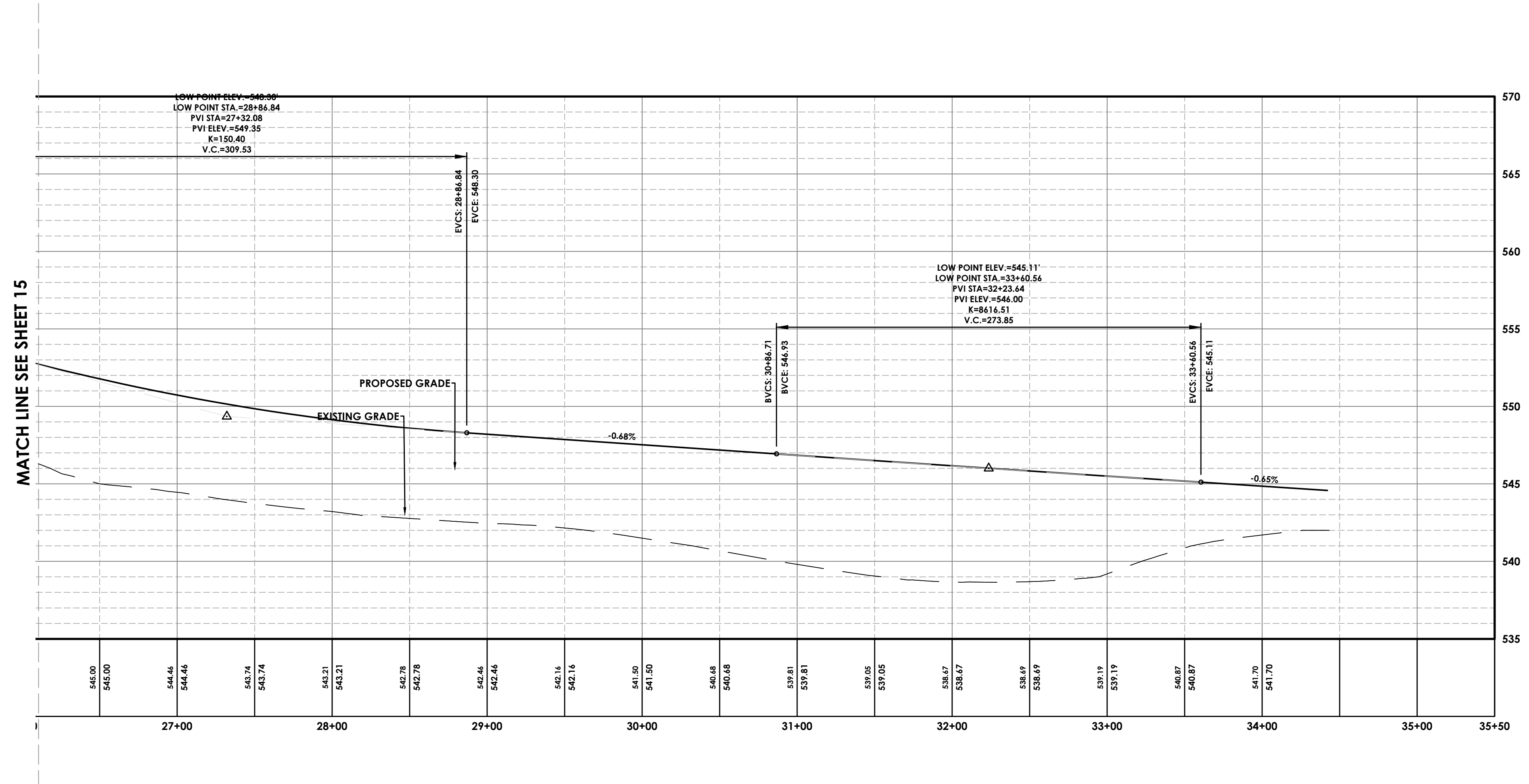
RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, FREED'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

Drawing No. **C 118** Sheet No. **18**

Scale: **1" = 50'**

Date: **JUNE 2023**

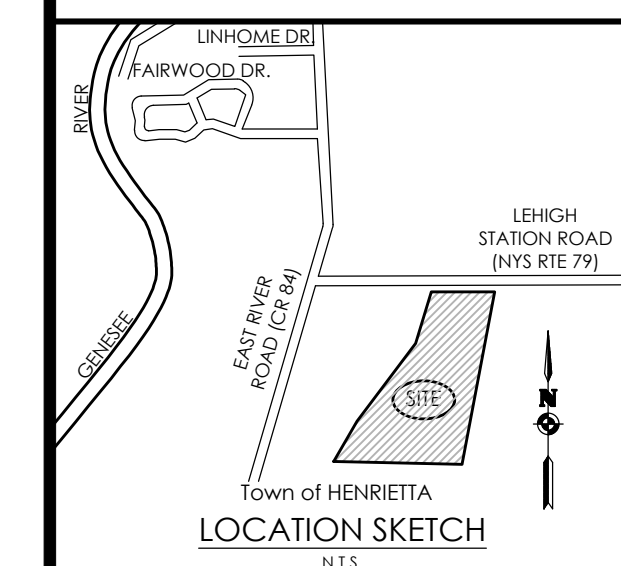


MATCH LINE SEE SHEET 15

NOT FOR CONSTRUCTION



PASSERO ASSOCIATES
engineering architecture



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

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242 West Main Street Suite 100
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Principal-in-Charge: Jess D. Sudol, PE
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Revisions			
No.	Date	By	Description

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ROAD PROFILES

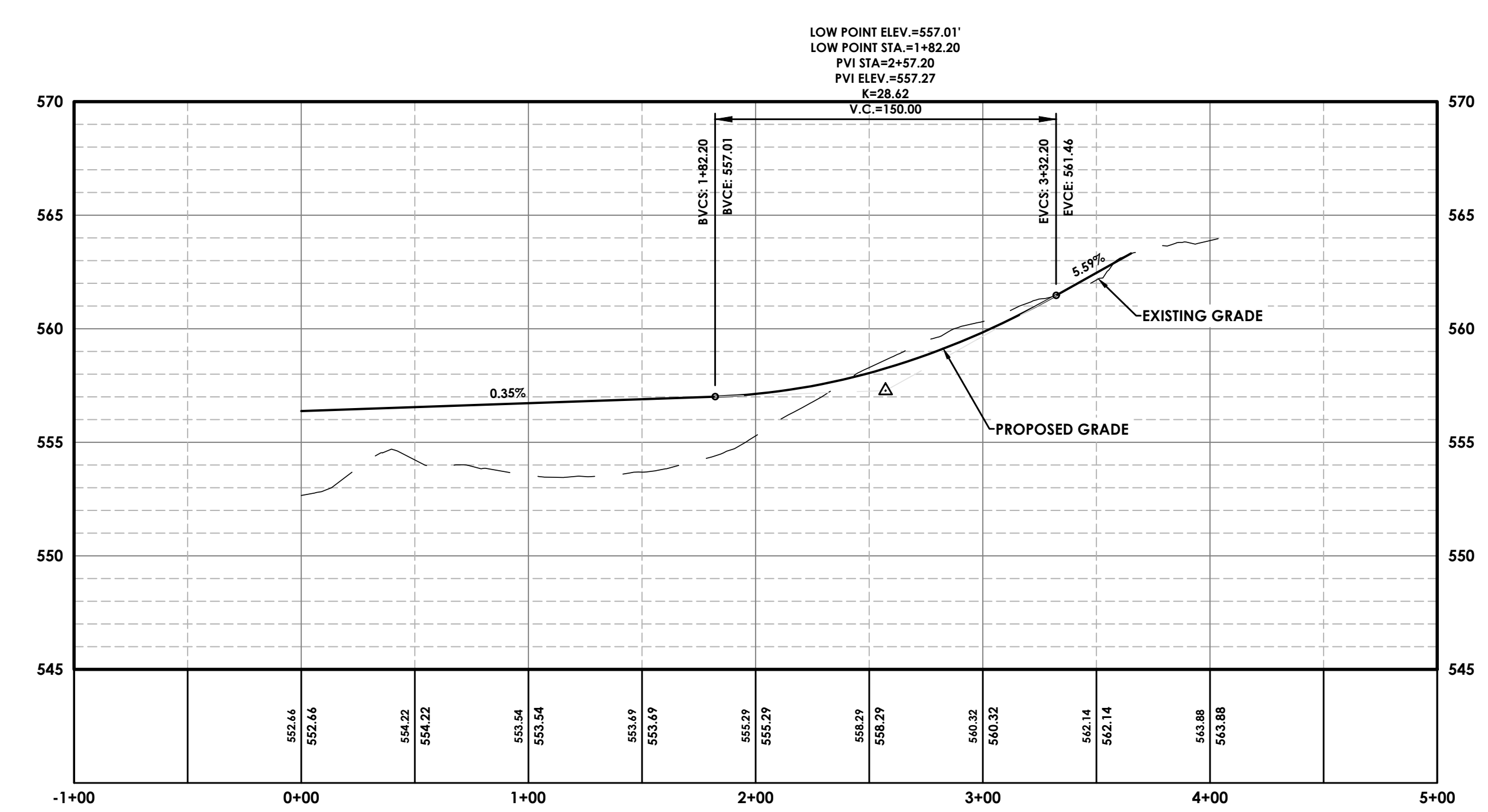
RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, PHELPS & CORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

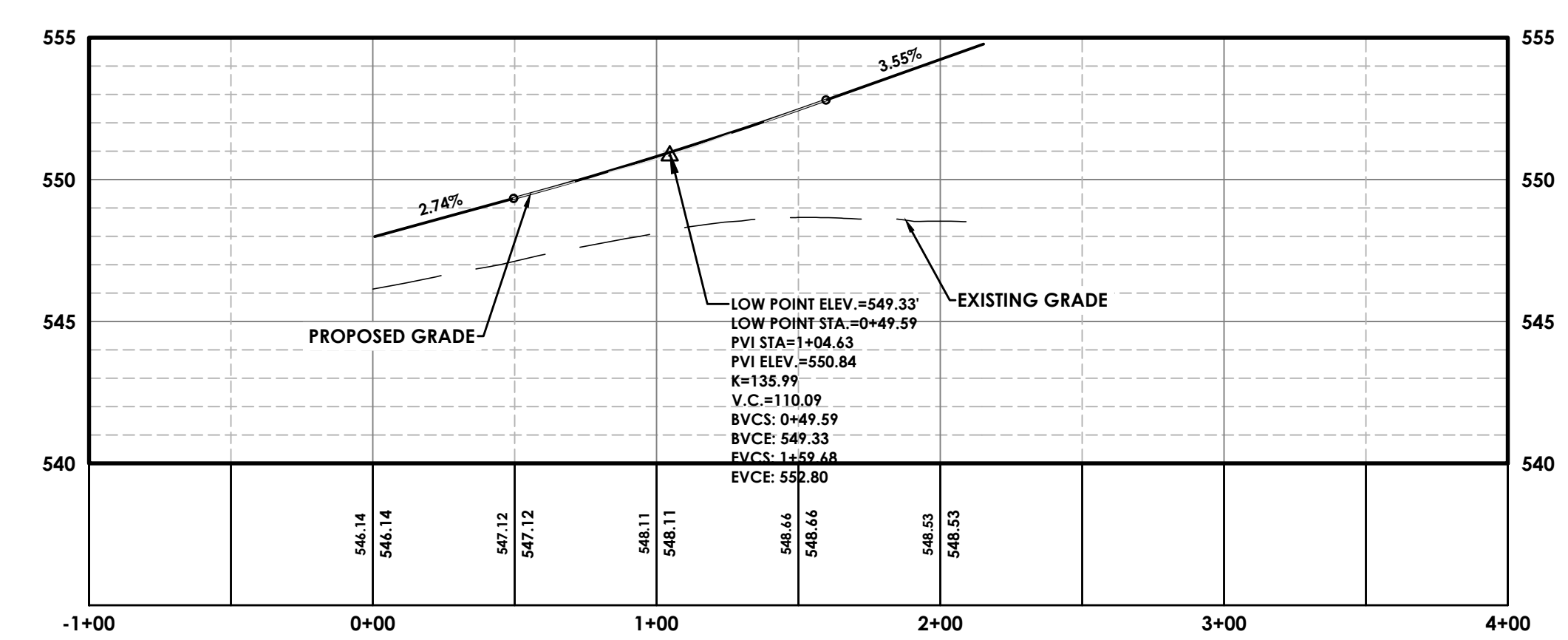
Drawing No. **C 119** Sheet No. **19**

Scale: **1" = 50'**

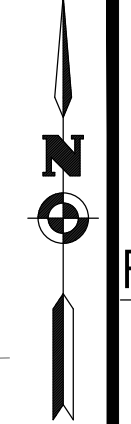
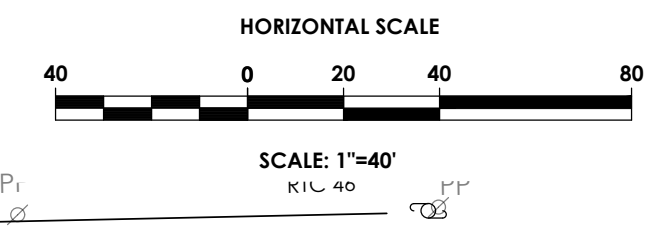
Date: **JUNE 2023**



ROAD C PROFILE
SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'

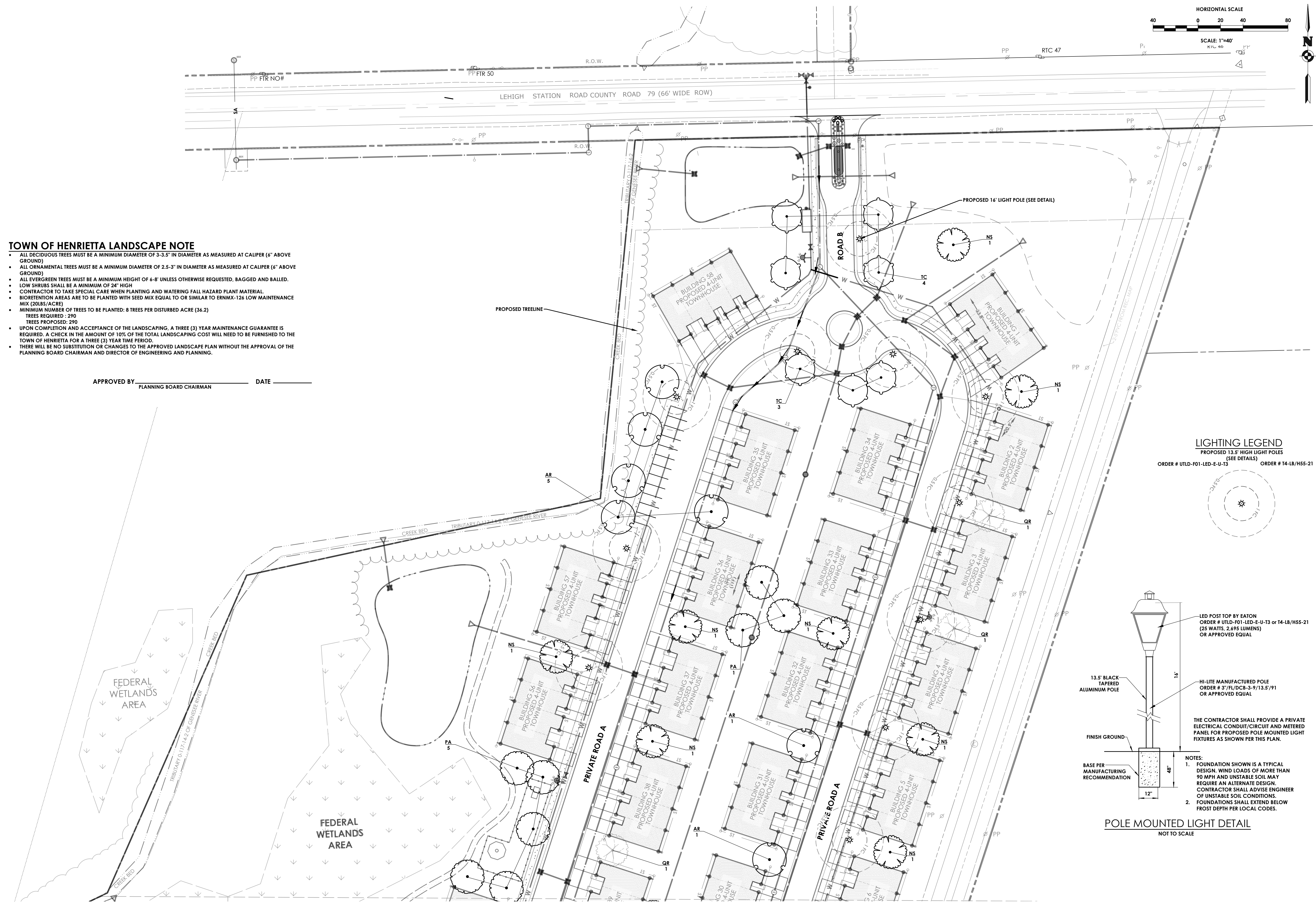


ROAD D PROFILE
SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'

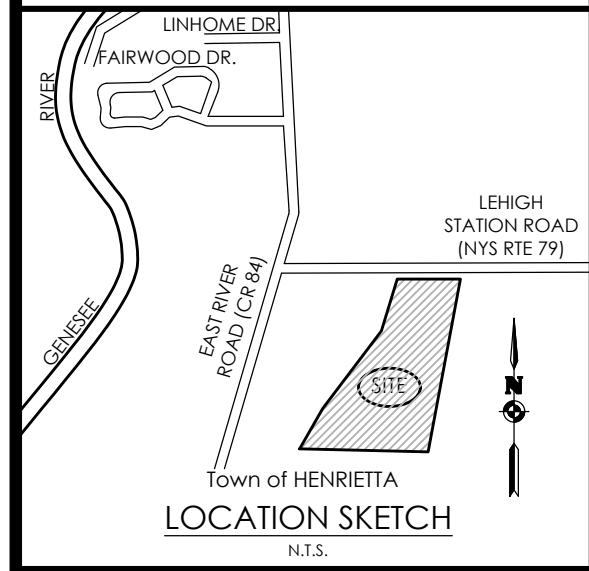
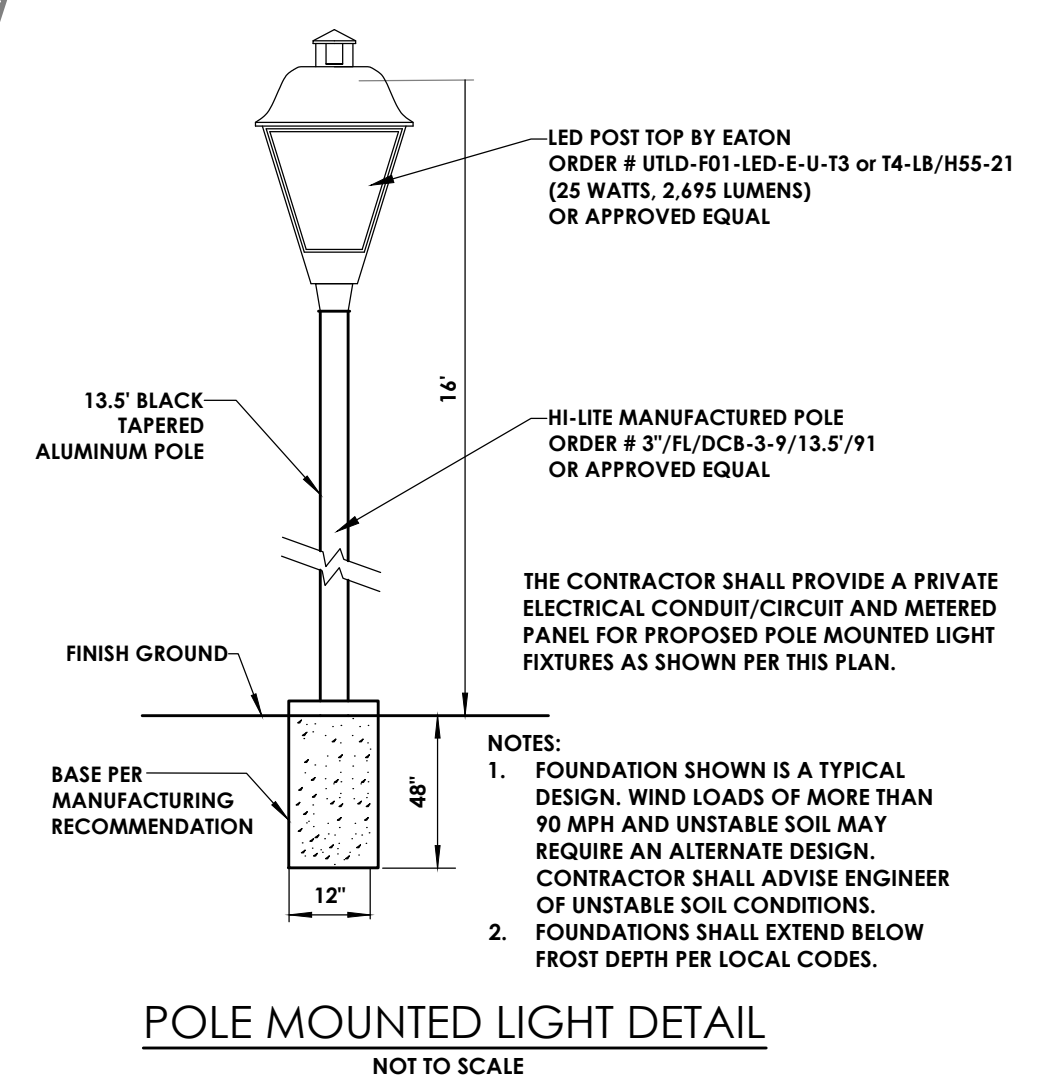


- TOWN OF HENRIETTA LANDSCAPE NOTE**
- ALL DECIDUOUS TREES MUST BE A MINIMUM DIAMETER OF 3-3.5" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
 - ALL ORNAMENTAL TREES MUST BE A MINIMUM DIAMETER OF 2.5-3" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
 - ALL EVERGREEN TREES MUST BE A MINIMUM HEIGHT OF 4-8' UNLESS OTHERWISE REQUESTED, BAGGED AND BALLED.
 - LOW SHRUBS SHALL BE A MINIMUM OF 24" HIGH
 - CONTRACTOR TO TAKE SPECIAL CARE WHEN PLANTING AND WATERING FALL HAZARD PLANT MATERIAL.
 - BIORETENTION AREAS ARE TO BE PLANTED WITH SEED MIX EQUAL TO OR SIMILAR TO ERNMX-126 LOW MAINTENANCE MIX (20LBS/ACRE)
 - MINIMUM NUMBER OF TREES TO BE PLANTED: 8 TREES PER DISTURBED ACRE (36.2)
 - TREES REQUIRED: 290
 - TREES PROPOSED: 290
 - UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA FOR A THREE (3) YEAR TIME PERIOD.
 - THERE WILL BE NO SUBSTITUTION OR CHANGES TO THE APPROVED LANDSCAPE PLAN WITHOUT THE APPROVAL OF THE PLANNING BOARD CHAIRMAN AND DIRECTOR OF ENGINEERING AND PLANNING.

APPROVED BY _____ DATE _____
PLANNING BOARD CHAIRMAN



LIGHTING LEGEND
PROPOSED 13.5' HIGH LIGHT POLES (SEE DETAILS)
ORDER # UTLD-F01-LED-E-U-13 ORDER # 14-LB/H55-21



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York, 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



Revisions

No.	Date	By	Description

LANDSCAPING AND LIGHTING PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, FRELPS & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

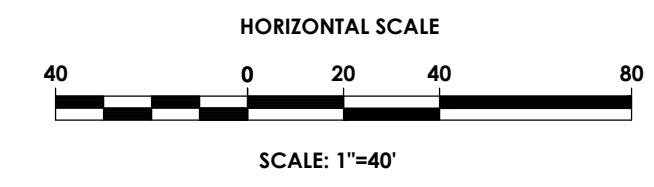
Drawing No. **C 120** Sheet No. **20**

Scale: **1" = 40'**

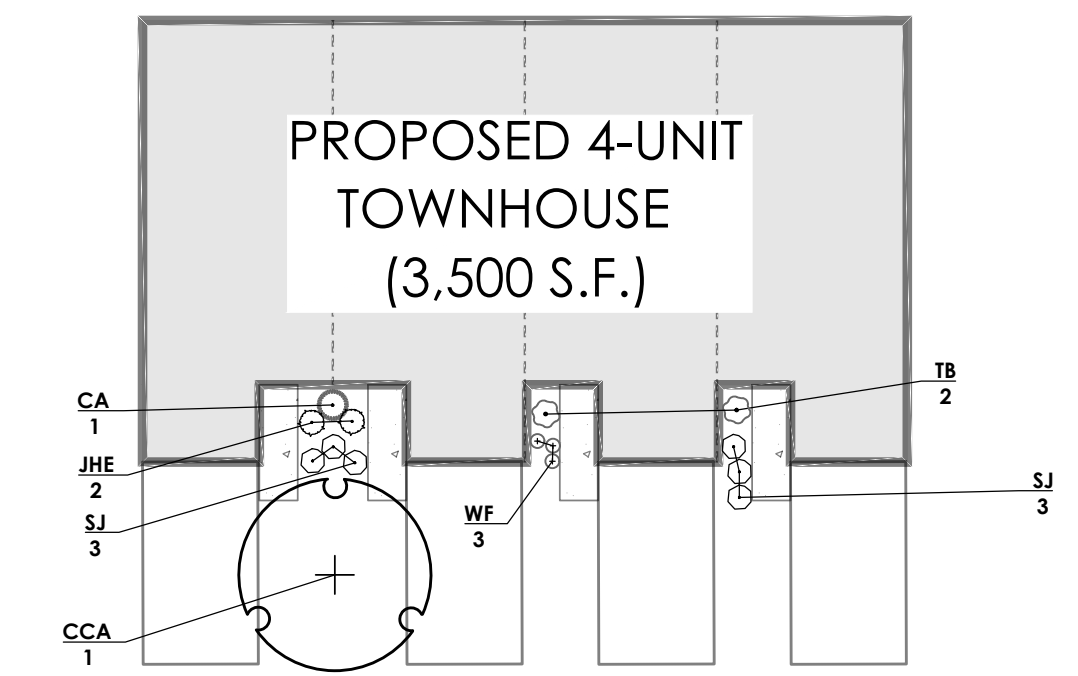
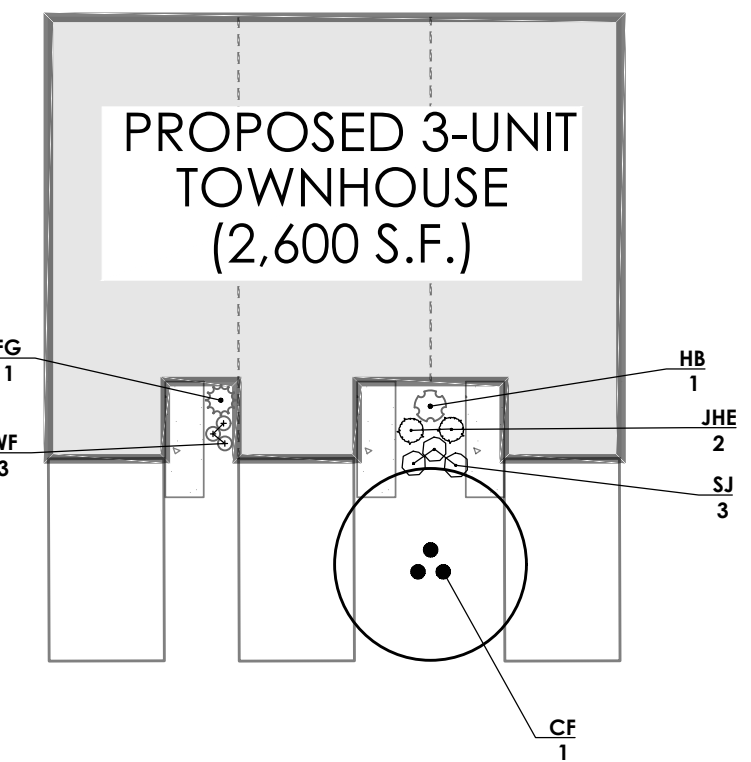
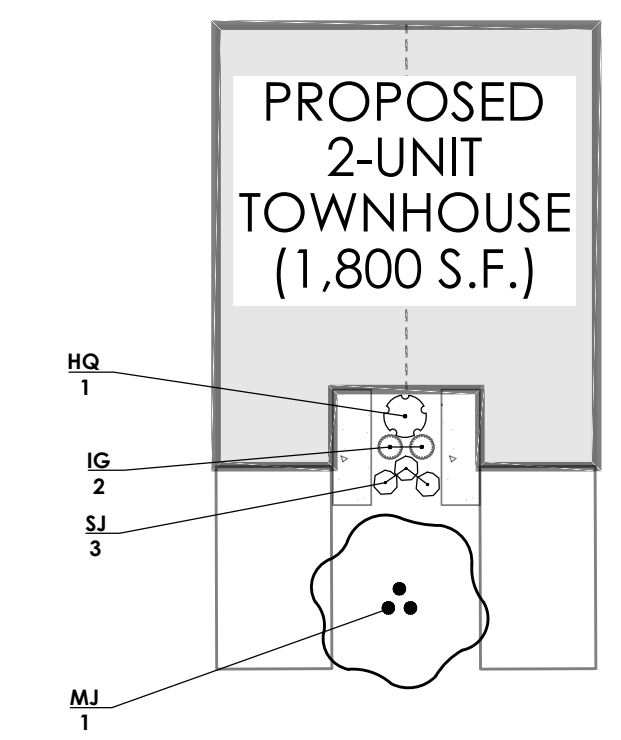
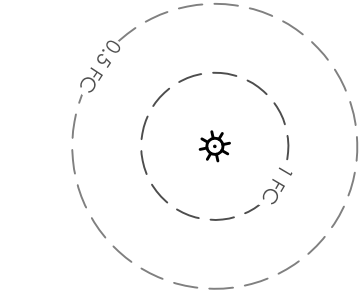
Date: **JUNE 2023**

MATCH LINE SEE SHEET 19

MATCH LINE SEE SHEET 18



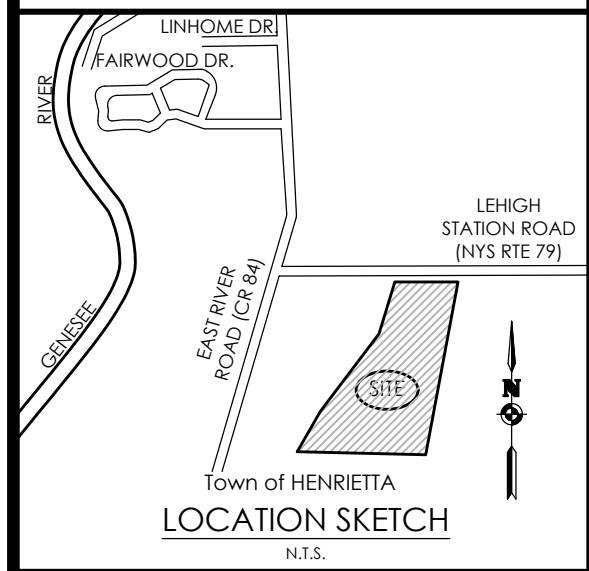
LIGHTING LEGEND
 PROPOSED 13.5' HIGH LIGHT POLES
 (SEE DETAILS) ORDER # UTLD-F01-LED-E-U-13 ORDER # T4-LB/H55-21



TYPICAL TOWNHOUSE PLANTING DETAIL
 SCALE: 1" = 20'

- TOWN OF HENRIETTA LANDSCAPE NOTE**
- ALL DECIDUOUS TREES MUST BE A MINIMUM DIAMETER OF 3-3.5" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
 - ALL ORNAMENTAL TREES MUST BE A MINIMUM DIAMETER OF 2.5-3" IN DIAMETER AS MEASURED AT CALIPER (6" ABOVE GROUND)
 - ALL EVERGREEN TREES MUST BE A MINIMUM HEIGHT OF 6-8' UNLESS OTHERWISE REQUESTED, BAGGED AND BALLED.
 - LOW SHRUBS SHALL BE A MINIMUM OF 24" HIGH
 - CONTRACTOR TO TAKE SPECIAL CARE WHEN PLANTING AND WATERING FALL HAZARD PLANT MATERIAL.
 - BIORETENTION AREAS ARE TO BE PLANTED WITH SEED MIX EQUAL TO OR SIMILAR TO ERNMX-126 LOW MAINTENANCE MIX (20LBS/ACRE)
 - MINIMUM NUMBER OF TREES TO BE PLANTED: 8 TREES PER DISTURBED ACRE (36.2) TREES REQUIRED : 290
 - TREES PROPOSED: 290
 - UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA FOR A THREE (3) YEAR TIME PERIOD.
 - THERE WILL BE NO SUBSTITUTION OR CHANGES TO THE APPROVED LANDSCAPE PLAN WITHOUT THE APPROVAL OF THE PLANNING BOARD CHAIRMAN AND DIRECTOR OF ENGINEERING AND PLANNING.

Electric Substation



Client:
 EAST RIVER HENRIETTA, LLC
 64 COMMERCIAL STREET
 SUITE 401
 ROCHESTER, NY, 14614

PASSERO ASSOCIATES
 242 West Main Street Suite 100 (585) 325-1000
 Rochester, New York 14614 Fax: (585) 325-1691
 Principal-in-Charge Jess D. Sudol, PE
 Project Manager Andrew Burns, EIT
 Designed by Briana Mitchell



Revisions

No.	Date	By	Description

LANDSCAPING AND LIGHTING PLAN

RIVERS EDGE
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
 TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE
 Town/City: HENRIETTA
 County: MONROE State: NEW YORK

Project No:
20192793.0007

Drawing No. **C 121** Sheet No. **21**

Scale: **1" = 40'**

Date: **JUNE 2023**

APPROVED BY: _____ DATE: _____
 PLANNING BOARD CHAIRMAN

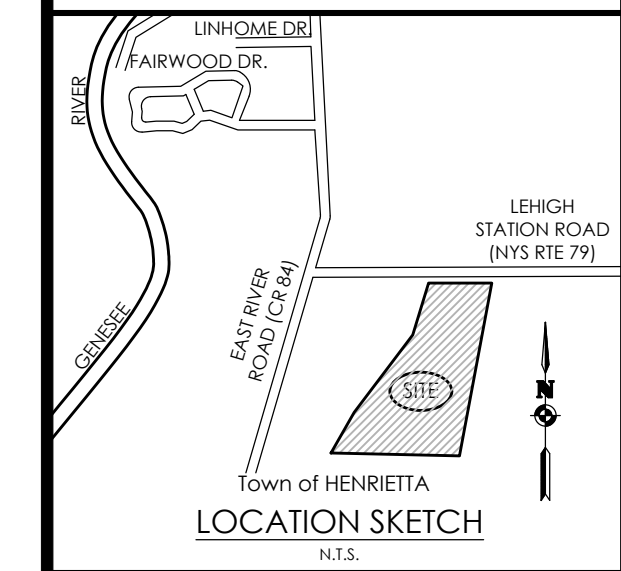
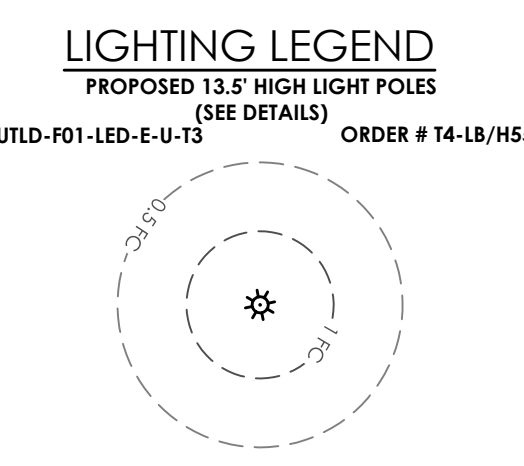
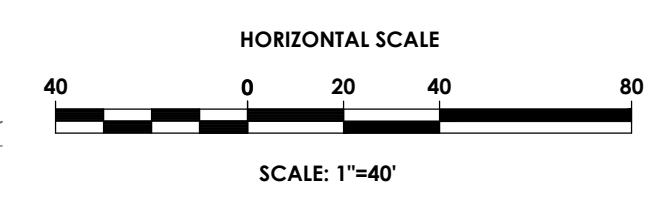
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
AR	20	ACER RUBRUM 'FRANKSRED'	RED MAPLE	CAL. 3-3.5"	B&B	FALL HAZARD	
NS	20	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	CAL. - 3-3.5"	B&B	FALL HAZARD	
PA	20	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	CAL. - 3-3.5"	B&B	FALL HAZARD	
QR	20	QUERCUS RUBRA	RED OAK	CAL. - 3-3.5"	B&B		
TC	20	TILIA CORDATA 'SAMROCK'	SHAMROCK LINDEN	CAL. - 3-3.5"	B&B		
FLOWERING AND ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
AGR	20	AMELANCHIER X GRANDIFLORA 'ROBIN HILL'	ROBIN HILL SERVICEBERRY	CAL. - 2.5-3"	B&B		
CCA	52	CERCIS CANADENSIS 'APPALACHIAN RED'	EASTERN REDBUD	CAL. - 2.5-3"	B&B		
CF	5	CORNUS FLORIDA	FLOWERING DOGWOOD	CAL. - 2.5-3"	B&B		
MJ	1	MAGNOLIA X 'JANE'	MAGNOLIA	CAL. - 2.5-3"	B&B		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
CA	52	CLETHRA ALNIFOLIA	SWEETPEPPERBUSH	24-30"	#3 CONT.		
FG	5	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24-30"			
HB	5	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BIGLEAF HYDRANGEA	24-30"			
HQ	1	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3-4'	#5		
IG	2	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	#5 CONT.		
JHE	114	JUNIPERUS HORIZONTALIS 'EMERALD SPREADER'	CREeping JUNIPER	24-30"	#3		
SJ	336	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	24-30"	#3		
TB	104	THUJA OCCIDENTALIS 'BOBOZAM'	MR. BOWLING BALL ARBORVITAE	24-30"			
WF	171	WEIGELA FLORIDA 'DARK HORSE'	DARK HORSE WEIGELA	24-30"			

TOWN OF HENRIETTA LANDSCAPE NOTE

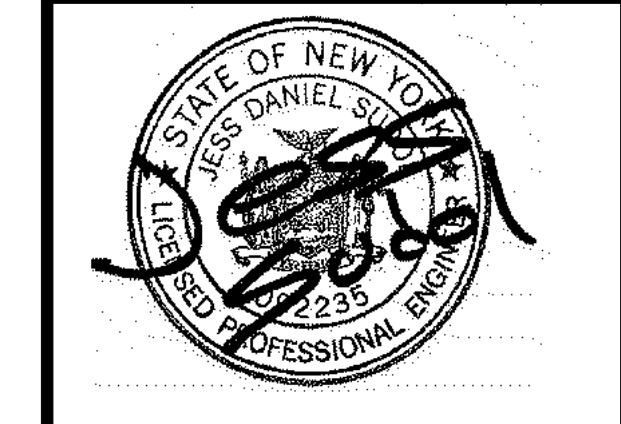
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APPROVED BY _____ DATE _____
PLANNING BOARD CHAIRMAN



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
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PASSERO ASSOCIATES
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Rochester, New York 14614
(585) 325-1000
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Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell



No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

LANDSCAPING AND LIGHTING PLAN

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, FRIEL'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

Drawing No. **C 122** Sheet No. **22**

Scale: **1" = 40'**

Date: **JUNE 2023**

NOT FOR CONSTRUCTION

GENERAL NOTES

1. THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE AND MONROE COUNTY HEALTH DEPARTMENTS.
2. WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY.
3. THE MINIMUM GRADE AT THE HOUSE SHALL BE 1" ABOVE THE EDGE OF THE PAVEMENT.
4. THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
5. ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF THE UTILITY.
6. ANY AND ALL CULVERT LOCATIONS, SIZES OR TYPES, TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
7. ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
8. THIS SUBDIVISION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE COUNTY MONUMENTATION LAW.
9. THE SUBDIVISION IS LESS THAN 1500 FEET FROM THE NEAREST CONTROL MONUMENT AND IS THEREFORE TIED INTO THE MONUMENTATION NETWORK.
10. THIS SUBDIVISION SHALL COMPLY WITH ANY COUNTY OR STATE AGENCIES HAVING JURISDICTION.
11. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF HENRIETTA DATED THE MOST CURRENT REVISION.

EROSION AND SEDIMENT CONTROL NOTES:

(OCTOBER 2017)

1. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTORS INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTORS EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.
2. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN "EROSION AND SEDIMENT CONTROL SUPERVISOR" FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEGINNING EARTHWORK.
3. THE DESIGNATED "EROSION AND SEDIMENT CONTROL SUPERVISOR" SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
4. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIRECTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.

5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.

6. UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NEEDED TO MAINTAIN A CONTINUOUS FACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.

NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND, NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER A WATER BODY OR WETLAND. ANY MATERIAL OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED AND DEPOSITED IN AN UPLAND AREA.

7. THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FILL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. ANY POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILE MATERIAL.

GENERAL EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED, INSTALLED AND MAINTAINED PER THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
2. ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF HENRIETTA.
3. ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN.
4. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
5. ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
6. ALL MASS EARTHWORK SHALL BE COMPLETE PRIOR TO UTILITY INSTALLATION.
7. ALL FILL SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER MODIFIED PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
8. FILL MATERIAL SHALL BE CAPABLE OF 3000 #/SF COMPACTION DENSITY. SELECT FILL CAN BE USED AS 304.02, 304.03, 304.05.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE NYSDEC SPECIFICATIONS FOR DESIGN AND EROSION AND SEDIMENT CONTROL.

CONSTRUCTION SEQUENCE FOR

GENERAL EROSION CONTROL NOTES:

1. INSTALL PERIMETER SILT FENCING.
2. CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS AND PLACE SEDIMENT TRAPS.
3. STRIP TOPSOIL AND STOCKPILE FOR LATER USE.
4. INSTALL STORMWATER CHAMBERS AND UNDERGROUND PIPE STORAGE.
5. GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
6. RELOCATE EXISTING TRIBUTARY PER PLANS. ENSURE THAT BANKS ARE STABILIZED ONCE RELOCATION HAS BEEN COMPLETED.
7. CONSTRUCT DROP INLET PROTECTION DEVICES AFTER STORM STRUCTURE INSTALLATION AS SHOWN ON THIS PLAN.
8. CONSTRUCT TRUCK WASHDOWN AREA
9. REPLACE TOPSOIL AND FINE GRADE
10. HYDRO-SEED ALL DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
11. UPON APPROVAL OF THE TOWN, REMOVE ALL TEMPORARY SITUATION CONTROLS.
12. SLOPES SHALL NOT EXCEED 1" VERTICAL TO 3" HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
13. MINIMUM OF 6" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
14. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE. CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITUATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER RE-VEGETATION HAS BEEN ESTABLISHED.
16. ALL END SECTIONS WILL BE PROVIDED WITH RIP-RAP APRONS.
17. FINALIZE GRADING IN INFILTRATION-BIOTRETENTION AREAS WITH REQUIRED SOIL MIX.
18. ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
19. ALL EROSION CONTROL MEASURES WILL BE REMOVED AFTER APPROVED BY A QUALIFIED PROFESSIONAL.

ARCHITECTURAL NOTE

AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES AND FINISH OF THE BUILDING AS DEPICTED ON THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THE APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

AS-BUILT NOTE

A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
2. WITHIN LIMIT LINES, ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
3. PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
4. CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
5. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
6. ALL EXISTING FEATURES PROPOSED TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
7. CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN, DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
8. ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 6 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
9. ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
10. ALL UTILITIES NOT STATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL AT ALL TIMES. THIS INCLUDES BYPASS PUMPING SLURRY AND SANITARY FLOWS, IF NECESSARY
11. EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
12. AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
13. CONTRACTOR RESPONSIBLE FOR OBTAIN ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.
14. IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.
15. ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.
16. THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.

17. ALL SPILL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE. ANY AND ALL SPILLS OR UNSUITABLE MATERIALS (INCLUDING BUT NOT LIMITED TO, CONCRETE DEBRIS, METAL DEBRIS, WOOD OR TREE DEBRIS) UNCOVERED OR EXCAVATED DURING EXCAVATION OPERATIONS, SHALL BE DISPOSED OF, AT THE CONTRACTORS EXPENSE. VOIDS LEFT BY THIS MATERIAL REMOVAL SHALL BE REPLACED WITH SUITABLE FILL, MEETING NYSDOT SECTION 203 AND THE PROJECTS GEOTECHNICAL REPORT/RECOMMENDATIONS. ALL FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
18. ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE (MEETING NYSDOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.
19. CONTRACTOR TO CONFIRM ELEVATION & EXTENTS OF EXISTING ON SITE AND PRIVATE UTILITIES. THIS UTILITY LOCATING SHALL BE INCLUDED IN THEIR BID. ALL INFORMATION SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO THE START OF WORK. ANY UTILITIES INCLUDING REPAIR, REPLACEMENT OR RELOCATION DUE TO INSTALLATION OF PROPOSED FEATURES, SHALL BE INCLUDED IN THE CONTRACTORS BID.

MCDOT NOTES

1. AFTER MCDOT APPROVES THIS PROJECT, A 134 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
2. ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY.
3. HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE OWNER WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE MONROE COUNTY DIRECTOR OF TRANSPORTATION

4. ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DETAILS IN EFFECT WHEN INSTALLED
5. THE OWNER AGREES TO REMOVE, TRIM AND MAINTAIN VEGETATION IN HIGHWAY RIGHT OF WAY TO PROVIDE ADEQUATE SIGHT DISTANCE.
6. ALL FINAL ENTRANCE/INTERSECTION STRIPING SHALL BE COORDINATED WITH HIGHWAY PLANS PRIOR TO INSTALLATION.

CONSTRUCTION SEQUENCE FOR STEEP SLOPE STABILIZATION / JUTE MESH INSTALLATION FOR SLOPES OF 1:3 OR GREATER:

1. STRIP TOPSOIL ON SLOPE.
2. GRADE SLOPE PER PLAN. CONTRACTOR SHALL TAKE CARE TO NOT OVER EXCAVATE EMBANKMENT.
3. REPLACE TOPSOIL.
4. TRACK TOPSOIL WITH A BULLDOZER IN A DIRECTION PERPENDICULAR TO THE PROPOSED CONTOUR LINES.
5. IMMEDIATELY SEED AND FERTILIZE TOPSOIL PER PLAN.
6. IMMEDIATELY APPLY JUTE MESH BY UNROLLING THE PRODUCT DOWN THE SLOPE. DO NOT STRETCH THE MESH, ALLOWING IT TO FULLY CONTACT THE SOIL.
7. SECURE THE JUTE MESH WITH STAPLES (11 GAUGE - 8"x1"x8") 24" APART THOUGH OUT THE MATTING (APPROXIMATELY 200 STAPLES PER 100 SQ.Y). STAPLES SHOULD BE DRIVEN FLUSH WITH THE GROUND.
8. SECURE BEGINNING AND END OF ROLL BY ANCHORING THE MATTING INTO 6" DEEP SLOTS CUT INTO THE SOIL. THEN STAPLE MATTING AT CHECK SLOTS.

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THIS PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEEMED NECESSARY BY THE TOWN OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN THE STORM SEWER SYSTEM UNTIL THE PROJECT IS DEVELOPED AND APPROVED BY THE TOWN AND OWNER.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STONE FILL. CORRECTIVE ACTIONS, AS IDENTIFIED BY THE DEVELOPER'S QUALIFIED SWPPP MONITOR OR A TOWN REPRESENTATIVE, SHALL BE INITIATED WITHIN 24 HOURS OF BEING REPORTED. THE TOWN MAY REVIEW THE PROJECT SITE AT ANY TIME. REVIEW OF EROSION CONTROL MEASURES BY THE TOWN DOES NOT RELIEVE THE DEVELOPER OF HIS OBLIGATIONS UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITY. (GP-0-20-001).

GRADING NOTES:

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS. WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
4. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FLUSH ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

PAVING NOTES:

1. THE CONTRACTOR SHALL SAW-CUT THE EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS WITH A NEAT, STRAIGHT AND VERTICAL EDGE AT ITS MATCH WITH NEW CONSTRUCTION. NEW PAVEMENT AND SIDEWALK SHALL BE WARPED TO MATCH TO EXISTING IN A SMOOTH TRANSITION. ALL EDGES ON EXISTING PAVEMENT SHALL BE TACK-COATED.
2. ALL EDGES ON EXISTING SIDEWALKS SHALL HAVE A BITUMINOUS EXPANSION JOINT AT THEIR MATCH WITH NEW SIDEWALK.
3. ALL BACKFILL MATERIAL SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-1557.
4. ALL AREAS UNDER ROADWAY PAVEMENT THAT ARE EXCAVATED OR UNDERMINED SHALL BE BACKFILLED WITH CRUSHED STONE, COMPLYING WITH NYSDOT STANDARD SPECIFICATION ITEM NO. 304.12, AND SHALL BE PLACED AND COMPACTED IN 6" LIFTS UP TO THE ROADWAY SECTION SUBBASE ELEVATION.
5. PRIOR TO THE PLACEMENT OF THE ROADWAY STONE SUBBASE COURSE, THE SUBGRADE SHALL BE PROOF-ROLLED TO ENSURE A STABLE CONDITION. CONTRACTOR SHALL REPAIR ANY DEFECT IN THE SUBGRADE CONDITION PRIOR TO PLACEMENT OF THE STONE SUBBASE COURSE. THE CONTRACTOR SHALL ALSO SHAPE THE SUBGRADE TO THE PROPOSED CROSS-SLOPE AND PROFILE PRIOR TO THE PLACEMENT OF ANY SUBBASE COURSE MATERIALS OR PAVEMENT MATERIALS.
6. ALL EXISTING WATER VALVES, GAS VALVES, ELECTRIC/TELEPHONE HANDHOLES, MANHOLES AND ANY OTHER UTILITY SURFACE FEATURES SHALL BE ADJUSTED TO NEW FINISHED GRADE ELEVATION.
7. ALL NEW CURBING SHALL BE BACKED WITH FILL AT A 1:5 SLOPE MINIMUM.

COMPACTION NOTES

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

SOIL RESTORATION NOTES:

1. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
2. ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE CLEANED OFF SITE.
3. APPLY TOPSOIL TO A DEPTH OF 6 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
4. VEGETATE AS REQUIRED BY APPROVED PLAN.

TOPSOIL AND SEEDING NOTES:

1. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPEARDING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS (BEDS AND ISLANDS).
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
3. REMOVE ALL EXISTING VEGETATION DURING GRADING PROCESS.
4. APPLY MINIMUM OF SIX (6) INCHES OF CLEAN TOPSOIL (IMPORTED OR SCREEN ON - SITE) AND FINE GRADE, LEAVING TOPSOIL IN A LOOSE AND FRIABLE CONDITION FOR SEEDING.
5. LIME SOIL OR ADD OTHER ORGANIC AMENDMENTS AS NECESSARY TO ACHIEVE A SOIL pH BETWEEN 5.5 - 7.0.
6. LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
7. SEEDING SHOULD BE DONE IMMEDIATELY UPON COMPLETION OF FINE GRADING. SEED SHOULD BE PRESSED INTO THE SOIL TO CREATE GOOD SEED-TO-SOIL CONTACT, NO DEEPER THAN THE THICKNESS OF THE SEED.
8. FERTILIZING, APPLY 10-10-10 FERTILIZER EVENLY AT THE RATE OF 20 POUNDS PER 1000 SQ. FT. NO FERTILIZER CONTAINING PHOSPHORUS IS PERMITTED ON SITE.
9. SEED SHOULD BE APPLIED EITHER BY HAND BROADCASTING OR HYDRO SEEDING. TWO PASSES SHALL BE MADE IN PERPENDICULAR DIRECTIONS TO INSURE PROPER COVERAGE.
10. LAWN SEED MIX
MIX A: SEEDING RATE: 6 LBS./1,000 SQ.FT
LOW MAINTENANCE FESCUE LAWN
PREFERRED SEED : LOW MAINTENANCE GRASS SEED MIX OR APPROVED EQUAL
25% FIRELY HARD FESCUE
25% BIG HORN GT HARD/SHEEP
20% INTRIGUE CHEWINGS FESCUE
20% QUAIRO SHEEP FESCUE
10% MINOTAUR HARD FESCUE
MIX B: SEEDING RATE: 4LBS./1,000 SQ.FT
OCCASIONAL WET - WET LOCATIONS:
20% RED TOP
20% KALKHI GRASS
10% AUTUMN BENTGRASS
20% VIRGINIA WILD RYEGRASS
20% F3 SEEDS
10% FOWL BLUEGRASS

11. DRY APPLICATION MULCH
A. STRAW MULCH SHOULD BE APPLIED TO NEWLY SEEDD AREAS WITHIN 12 HOURS IF HYDRO MULCH IS NOT UTILIZED.
B. DRY APPLICATION, STRAW, STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEEDS. WEIGHT SHALL BE BASED ON A 15 PERCENT MOISTURE CONTENT.
C. DRY APPLICATION: WITHIN ONE DAY AFTER SEEDING, COVER THE SEEDD AREAS WITH A UNIFORM BLANKET OF STRAW MULCH AT THE RATE OF 100 POUNDS PER 1000 SQFT OF SEEDD AREA.
12. HYDRO APPLICATION: APPLY APPROVED MULCH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDED RATES OF APPLICATION, APPLY SEEDING MATERIALS WITH AN APPROVED HYDRO SEEDER.
A. COLORED WOOD CELLULOSE FIBER PRODUCT SPECIFICALLY DESIGNED FOR USE AS A HYDRO-MECHANICAL APPLIED MULCH. ACCEPTABLE PRODUCT: CONWED HYDRO MULCH, CONWED FIBERS, 231 4TH STREET SW, HICKORY, NC

13. FILL TANK WITH WATER AND AGITATE WHILE ADDING SEEDING MATERIALS. USE SUFFICIENT FERTILIZER, MULCH, AND SEED TO OBTAIN THE SPECIFIED APPLICATION RATE. ADD SEED TO THE TANK AFTER THE FERTILIZER AND MULCH HAVE BEEN ADDED. MAINTAIN CONSTANT AGITATION TO KEEP CONTENTS IN HOMOGENEOUS SUSPENSION. PROLONGED DELAYS IN APPLICATION OR AGITATION THAT MAY BE INJURIOUS TO THE SEED WILL BE THE BASIS OF REJECTION OF MATERIAL REMAINING IN TANK.
14. DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

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SEEDING NOTES:

ALL AREAS OF THE PROJECT SITE THAT INVOLVE SOIL DISTURBING ACTIVITIES ARE REQUIRED TO PROVIDE THE FOLLOWING SEED MIXTURES DURING CONSTRUCTION:

- ADD 4" TOPSOIL & TEMPORARY SEEDING: RYEGRASS (ANNUAL OR PERENNIAL) @ 30LBS. PER ACRE OR 0.7 LBS. PER 1000 SQUARE FEET.
- ADD 4" TOPSOIL & PERMANENT SEEDING: 65% KENTUCKY BLUEGRASS BLEND @ 85LBS. PER ACRES OR 2.0-2.6 LBS. PER 1000 SQUARE FEET 20% PERENNIAL RYEGRASS @ 26-35 LBS. PER ACRE OR 0.6-0.8 LBS. PER 1000 SQUARE FEET 15% FINE FESCUE @ 19-26 LBS. PER ACRE OR 0.4-0.6 LBS. PER 1000 SQUARE FEET.

FOR ALL SEEDING & STABILIZATION MEASURES IT IS THE RESPONSIBILITY OF THE OWNER & DEVELOPER TO ENSURE THAT FINAL STABILIZATION OCCURS AS REQUIRED BY THE NYSDEC. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN(S).

*ALL SEED MIXTURES USED SHALL FOLLOW THE RECOMMENDATIONS OF THE NYS SEDIMENT AND EROSION CONTROL HANDBOOK.

LANDSCAPING NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN OF HENRIETTA, AND STATE DESIGN STANDARDS AND CODES.
2. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID. SUBMITTAL TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
3. STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS DELIVERED AND INSTALLED ON THIS PROJECT.
4. ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
5. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY IN THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
6. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AND MEET SIZE REQUIREMENTS AS INDICATED ON THE PLANT LIST.
7. ALL TREES MUST BE STRAIGHT-TRUNKED, INJURY FREE, HAVE A FULL, SYMMETRICAL CROWN (HEAD) AND MEET ALL REQUIREMENTS SPECIFIED (E.G. SINGLE STEM, MULTI-STEM, HEAVY BRANCHED, ETC.).
8. CRABAPPLE AND PEAR VARIETIES ARE CONSIDERED A FALL PLANTING HAZARD. THE CONTRACTOR SHALL TAKE SPECIAL CARE IN PLANTING AND WATERING THESE PLANTS.
9. ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS. THE BID PRICE SUBMITTED WILL ASSUME THAT ALL PLANT MATERIALS DELINEATED WILL BE SUPPLIED AND INSTALLED. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR DESIGN LANDSCAPE ARCHITECT (OWNER'S REPRESENTATIVE) PRIOR TO COMPLETING A BID PRICE.
11. ALL GRADING AND UTILITY WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
12. THE FINAL LOCATION OF TREES AND OTHER LANDSCAPING SHALL BE DETERMINED IN THE FIELD BASED ON UTILITY STAKEOUT AND SHALL NOT CONFLICT WITH TRAFFIC SIGNS AND/OR UTILITIES. STAKE OUT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
13. ANY CONCERNS RELATED TO SITE CONDITIONS AND/OR PLANT LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
14. PLANTED BACKFILL MIXTURE: 4 PARTS TOPSOIL (ON-SITE OR IMPORTED), 1 PART PEAT MOSS, 1/2 PART ROTTED MANURE AND 10 LBS. 5-0-5
15. PLANTING FERTILIZER, MIXED THOROUGHLY PER CUBIC YARD.
16. MULCH ALL PLANT BEDS, AND INDIVIDUAL TREES IN LAWN AREAS WITH SHREDED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES UNLESS OTHERWISE SPECIFIED ON PLANTING DETAILS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT DUE TO SITE CONDITIONS.
17. ANY PLANT WHICH TURNS BROWN, DEFOLIATES OR DIES PRIOR TO FINAL ACCEPTANCE BY THE OWNER, OR DESIGN LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE (LIST).
18. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIALS AND LAWN AREAS UNTIL THE PROJECT HAS BEEN FINISHED TO THE OWNER'S SATISFACTION. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: WATERING, MULCHING, FERTILIZING, SPRAYING (FUNGICIDE, PESTICIDE, ANTI-DESICANT), AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING.
19. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, THE LANDSCAPE MATERIALS SHALL BE GUARANTEED FOR THREE (3) YEARS. THE GUARANTEE SHALL BE INCLUSIVE OF ALL MATERIAL AND LABOR COSTS. AT THE END OF THE GUARANTEE PERIOD, THE OWNER'S REPRESENTATIVE WILL INSPECT ALL PLANT MATERIALS. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REQUIRED REPLACEMENTS WITH PLANT MATERIALS MEETING THE SPECIFICATIONS (E.G. SPECIES, SIZE AND CHARACTER).
20. ALL AREAS DISTURBED BY SITE GRADING AND/OR UTILITY INSTALLATION SHALL RECEIVE APPROVED TOPSOIL (BASED ON APPROVED SAMPLES SUBMITTED BY THE CONTRACTOR) AND SPREAD TO A DEPTH NOT LESS THAN SIX (6) INCHES AFTER COMPACTION. TOPSOIL PLACED FOR LAWNS SHALL BE FINE GRADED, SEEDD, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. THIS IS EXCLUDING FOUNDATION PLANTS, BEDS, AND ENTRANCE AREAS.
21. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE SITE PLAN ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE USED AS A REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO CALL FOR A UTILITY STAKEOUT PRIOR TO COMMENCING PLANT INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES WHICH OCCURS AS A RESULT OF LANDSCAPE INSTALLATION OPERATIONS.
22. EXISTING TREES INDICATED TO BE REMOVED SHALL OCCUR UNDER THE SITE CONTRACT FOR THIS PROJECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANTINGS OR RESTORATION OF THE DISTURBED AREA (LAWNS, PLANT BEDS, ISLANDS).
23. PRE-EMERGENT HERBICIDES SHALL BE USED UNDER MULCH IN ALL TREE AND PLANT BED AREAS.
24. ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.

ELECTRIC & GAS SERVICE COORDINATION NOTES:

1. ELECTRIC AND PLUMBING CONTRACTORS SHALL COORDINATE WITH EACH OTHER AND DIRECTLY WITH ROCHESTER GAS & ELECTRIC (RG&E) ELECTRIC AND GAS DEPARTMENTS FOR METER AND SERVICE LOCATIONS PRIOR TO INSTALLATION.
2. ELECTRIC AND PLUMBING CONTRACTORS SHALL ALLOW FOR THE NECESSARY PROVISIONS WHEN INSTALLING METERS AND SERVICES IN ACCORDANCE WITH RG&E DESIGN AND INSTALLATION GUIDELINES.
3. ELECTRIC AND PLUMBING CONTRACTORS SHALL DIRECTLY COORDINATE WITH EACH OTHER AND DIRECTLY WITH RG&E FOR ELECTRIC AND GAS START-UP.

PUBLIC WATER SERVICE LINE NOTES (4" & GREATER):

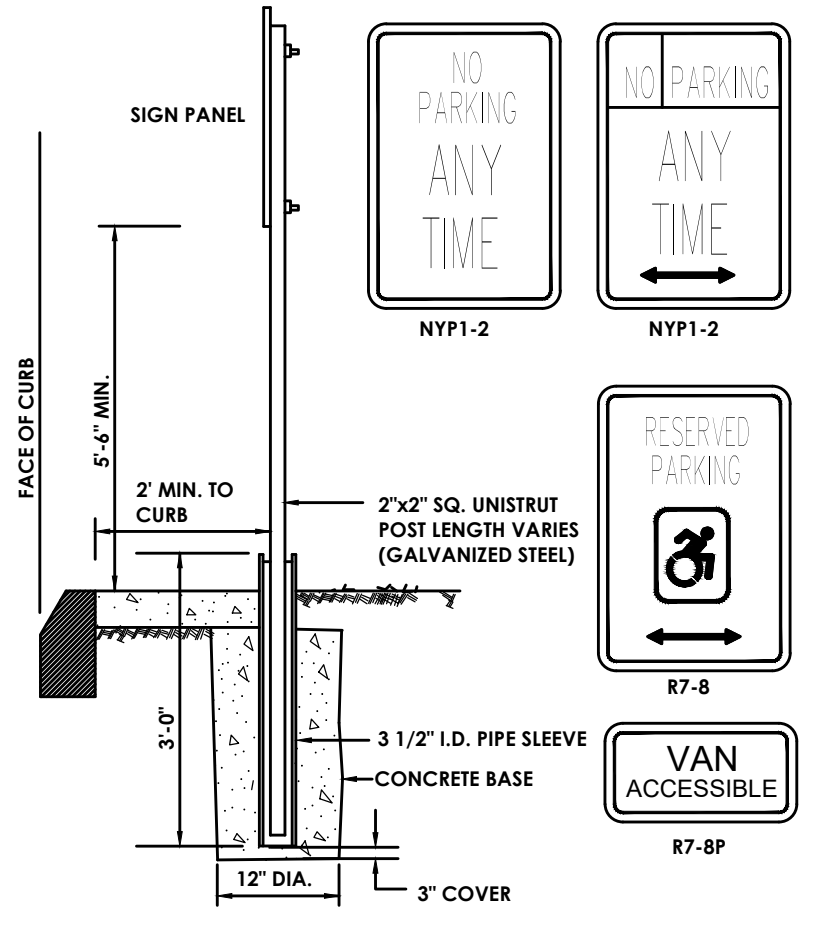
1. WATER SERVICE (2) LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATION AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
2. WATER SERVICE (2) LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET COVER FROM FINISHED GRADE IN PAVED AREAS.
3. WATER SERVICE (2) LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
4. WATER SERVICE LINES SHALL BE AS IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL (a) TYPE (b)	DEPTH (c)
MCWA PORTION - FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	8"	PVC	CMB
PRIVATE PORTION - FROM THE CONTROL VALVE TO THE #2	8"	PVC	CMB

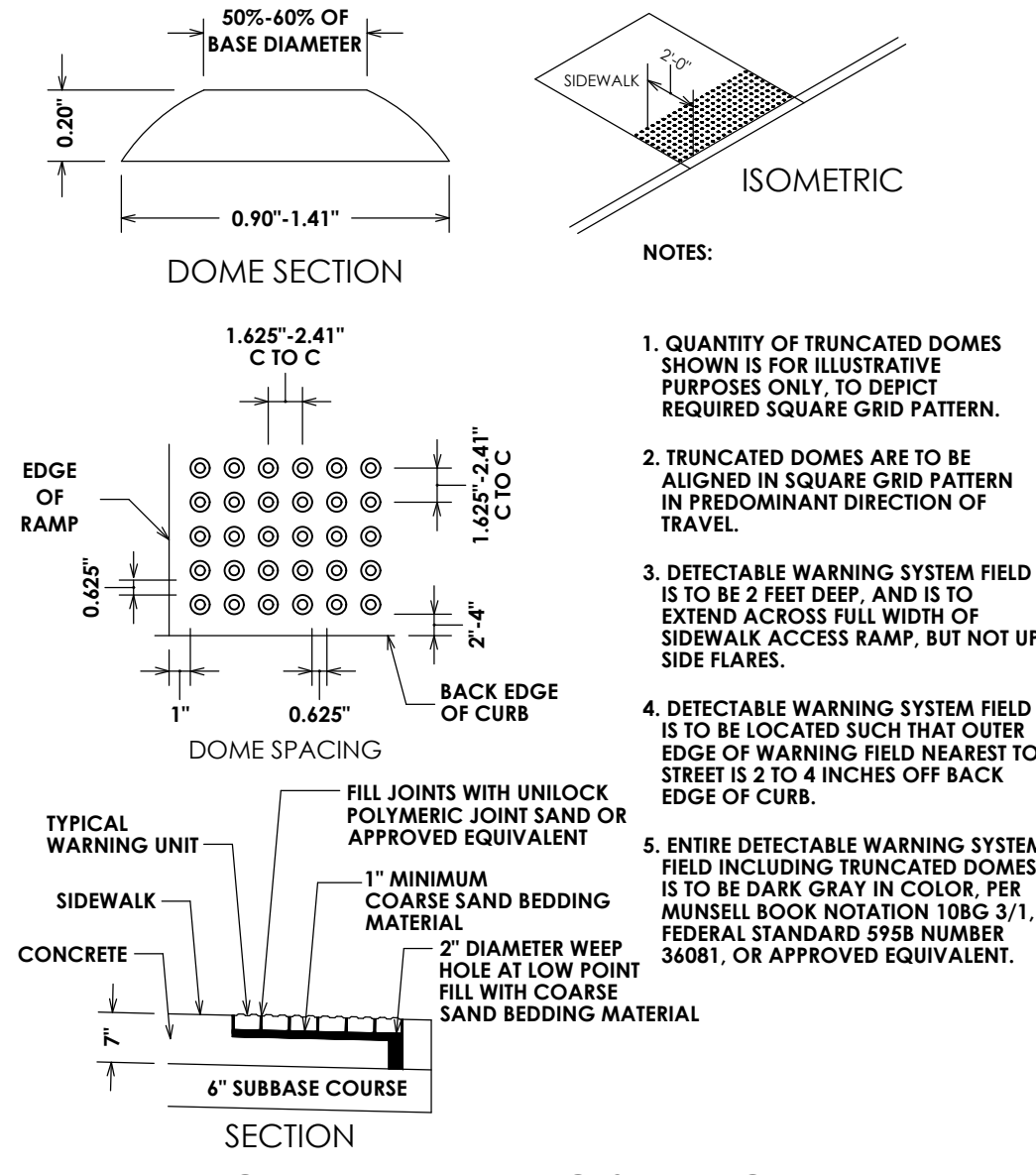
- (a) ACCEPTABLE MATERIAL IS "CLASS 52 CEMENT MORTAR LINER DUCTILE IRON PIPE
- (b) SERVICE TYPES INCLUDE: DOMESTIC - D5, FIRE = FS, OR COMBINED = CMB
- (c) THE MCWA PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED TO THE PRIVATE PORTION OF THE SERVICE LINE.
6. WATER METERS) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). RESIDENTIAL SERVICES: A BY-PASS ASSEMBLY IS NOT REQUIRED UNTIL THE INSTALLATION OF 8 INCH THROUGH 2-INCH METERS. NON-RESIDENTIAL SERVICES: THE INSTALLATION OF AN 1 1/2 INCH OR LARGER requires a BY-PASS ASSEMBLY ABOVE THE METER.
7. WATER SERVICE LINES SIZED 4-INCHES OR GREATER SHALL BE "PRESSURE TESTED TO 200 PSI IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
- "DISINFECTED" USING THE CONTINUOUS FEE METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS, AFTER FLUSHING AND DISINFECTING THE SERVICE LINE. WATER SAMPLES SHALL BE COLLECTED BY THE MONROE COUNTY DEPARTMENT OF HEALTH. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE LATERAL IS PLACED IN SERVICE.

STORM NOTES

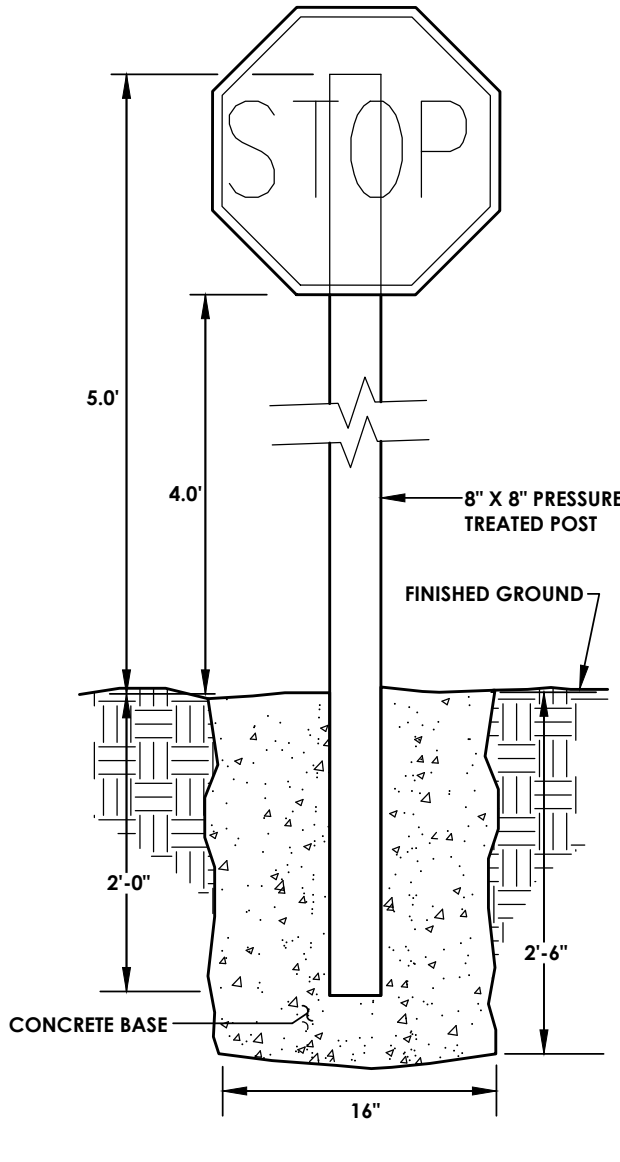
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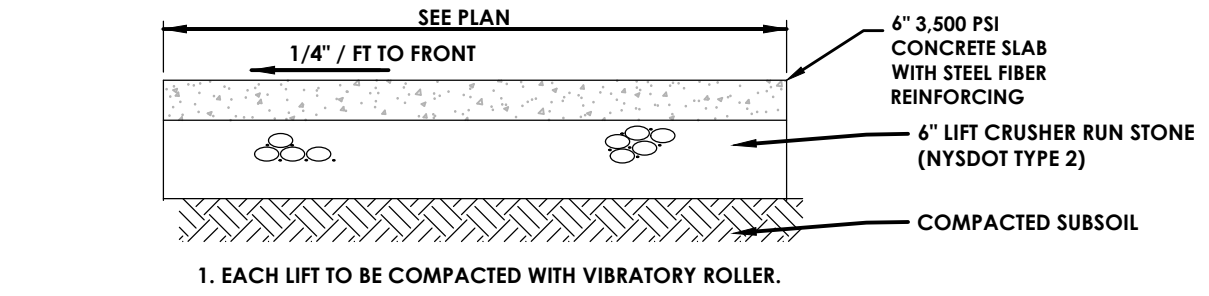
TYPICAL POST MOUNT HANDICAP SIGN INSTALLATION
(SIGN IN LANDSCAPE AREA OR SIDEWALK)
N.T.S.



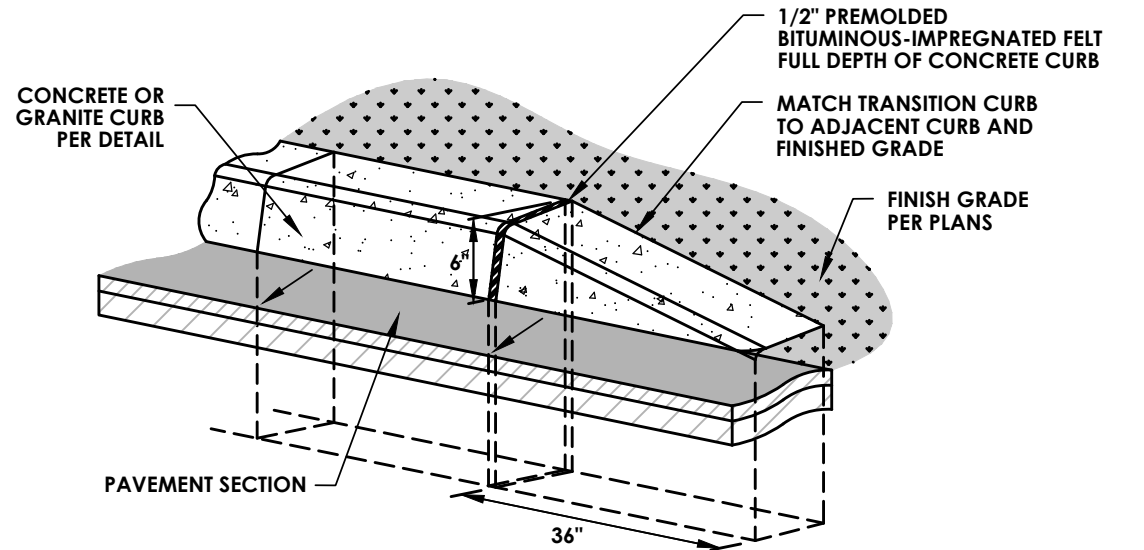
DETECTABLE WARNING SURFACE DETAIL
N.T.S.



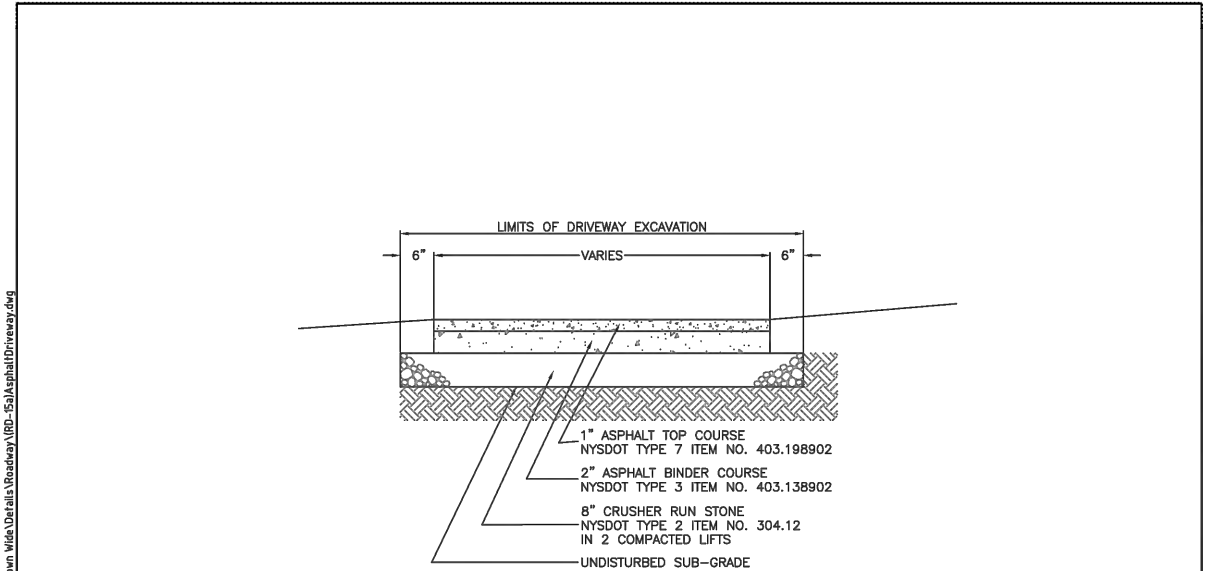
TIMBER SIGN POST
N.T.S.



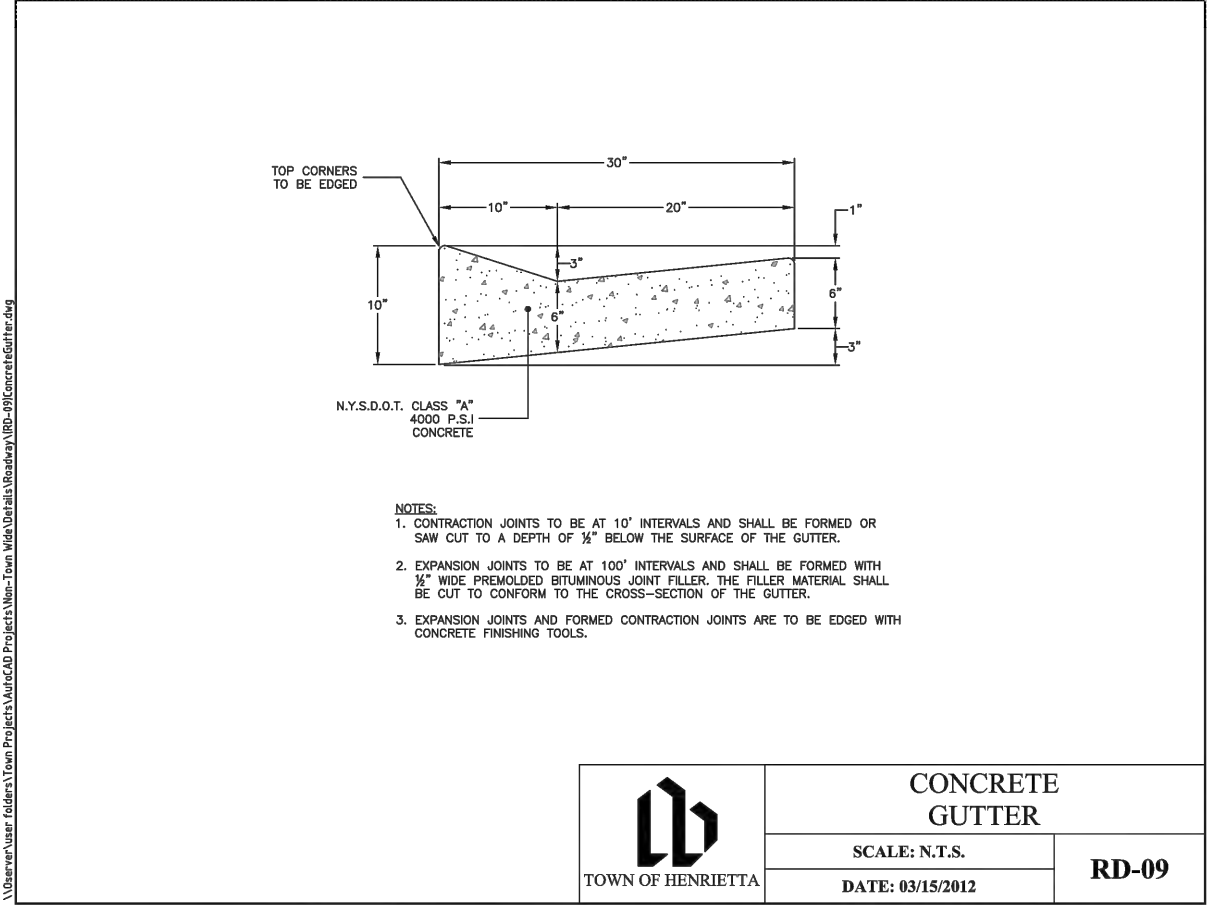
CONCRETE SECTION



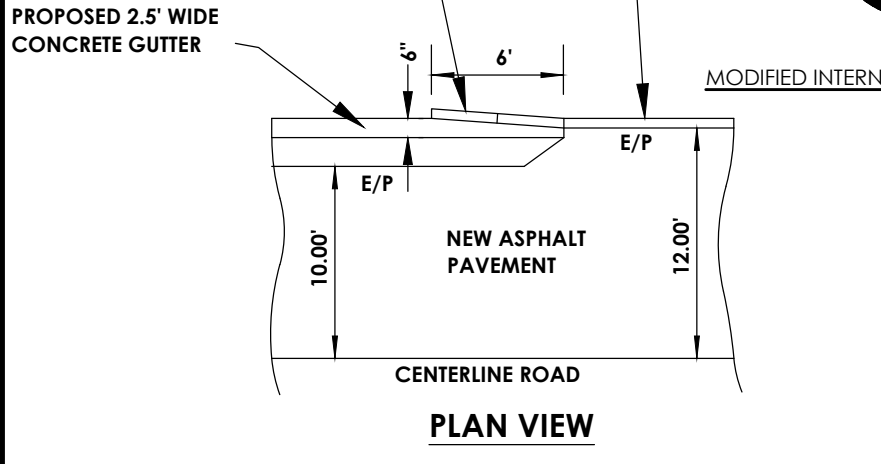
TRANSITION CURB TO GRADE
N.T.S.



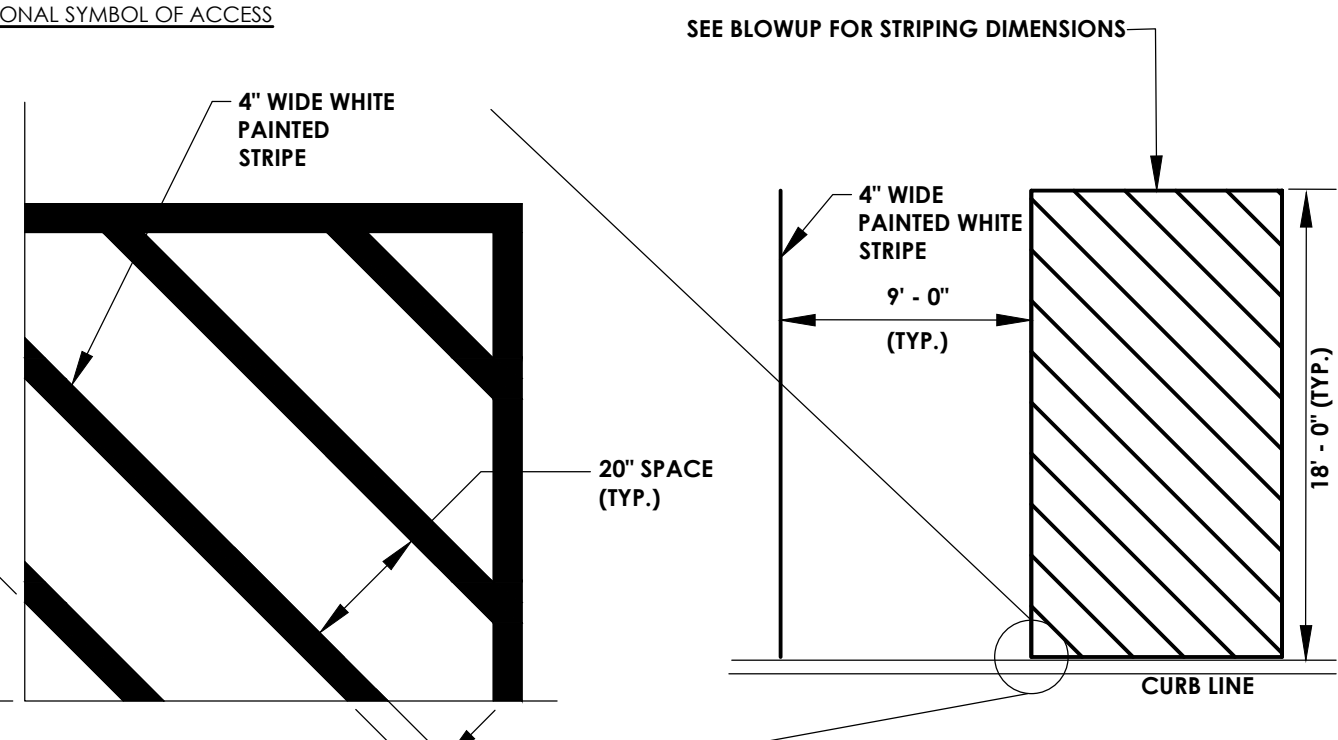
TYPICAL ASPHALT DRIVEWAY
SCALE: N.T.S.
DATE: 03/14/2012
RD-15a



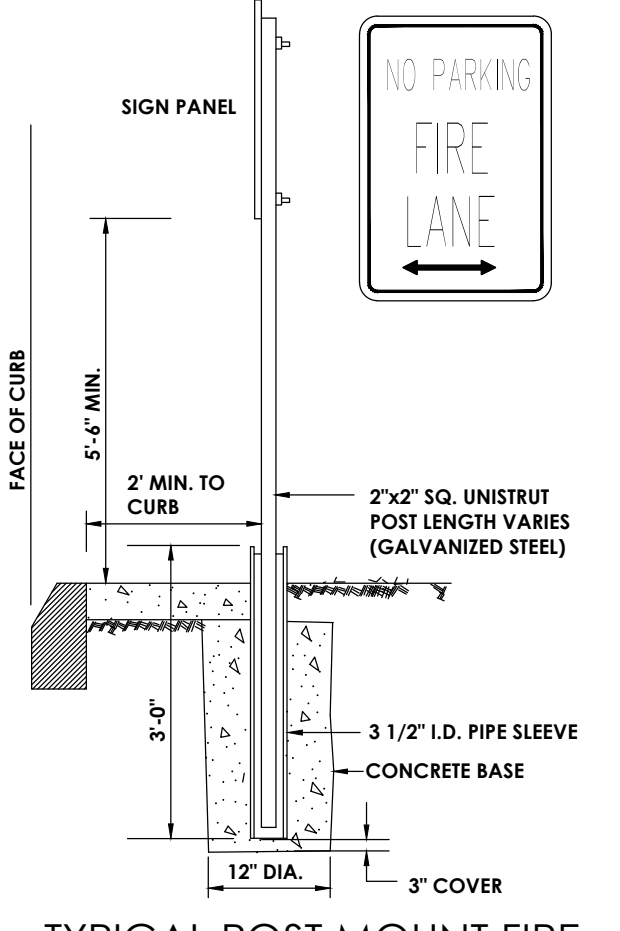
CONCRETE GUTTER
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DATE: 03/15/2012
RD-09



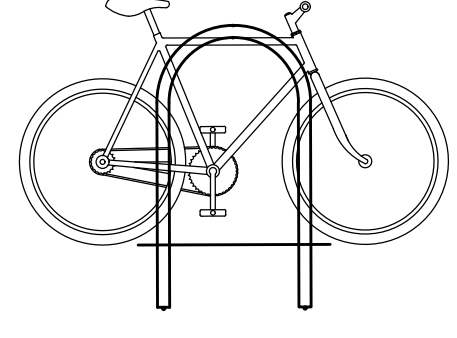
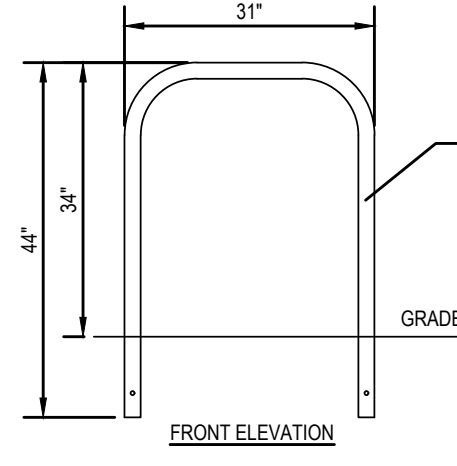
GUTTER CONNECTION TO CURBING
N.T.S.



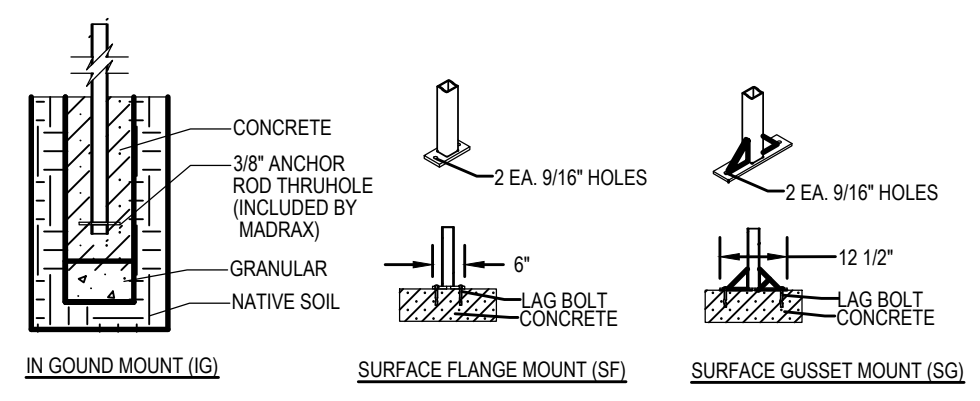
TYPICAL PARKING PAVEMENT MARKING LAYOUT
N.T.S.



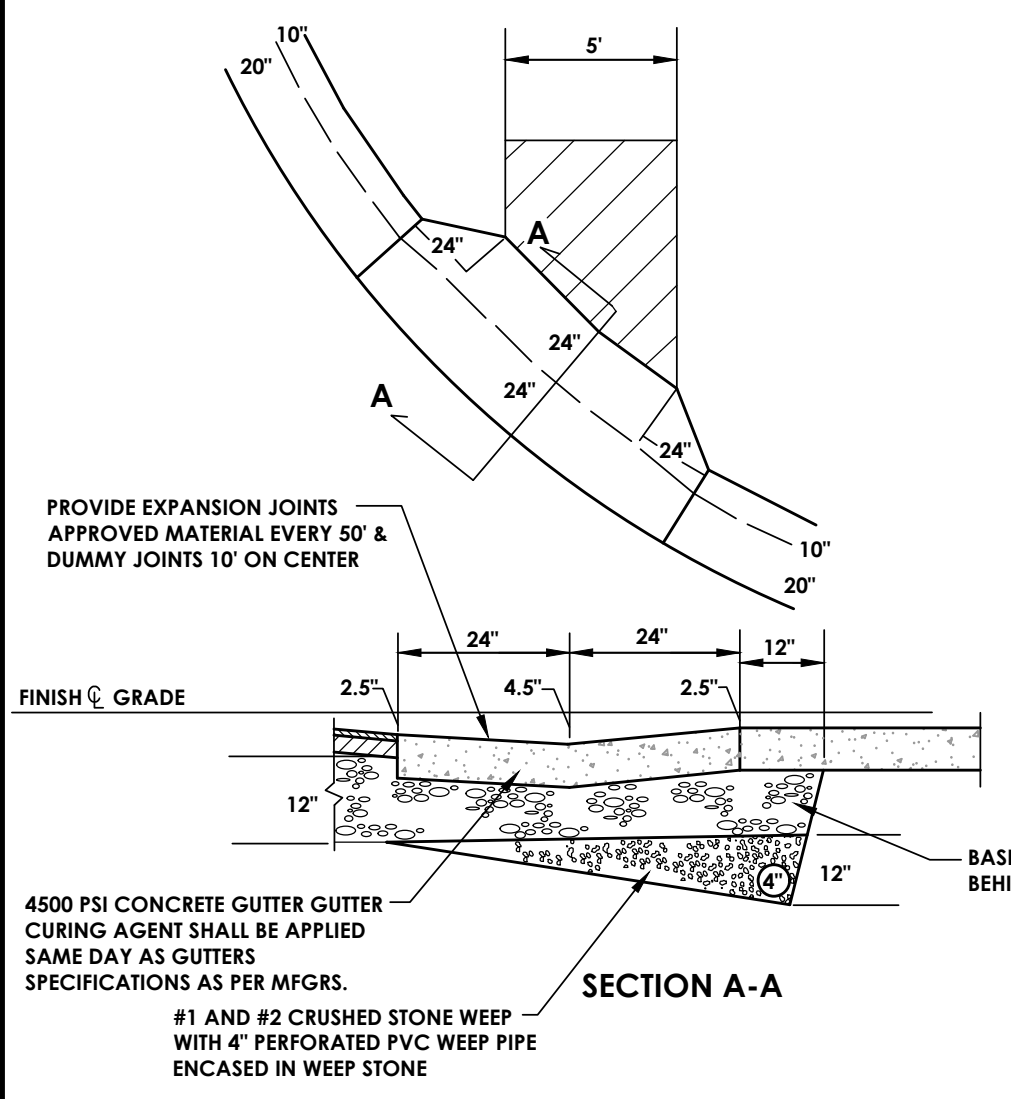
TYPICAL POST MOUNT FIRE LANE SIGN INSTALLATION
(SIGN IN LANDSCAPE AREA OR SIDEWALK)
N.T.S.



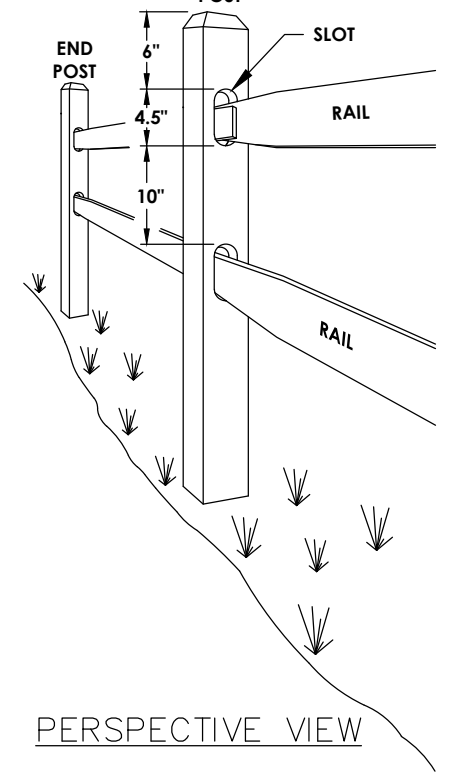
BIKE RACK DETAIL
N.T.S.



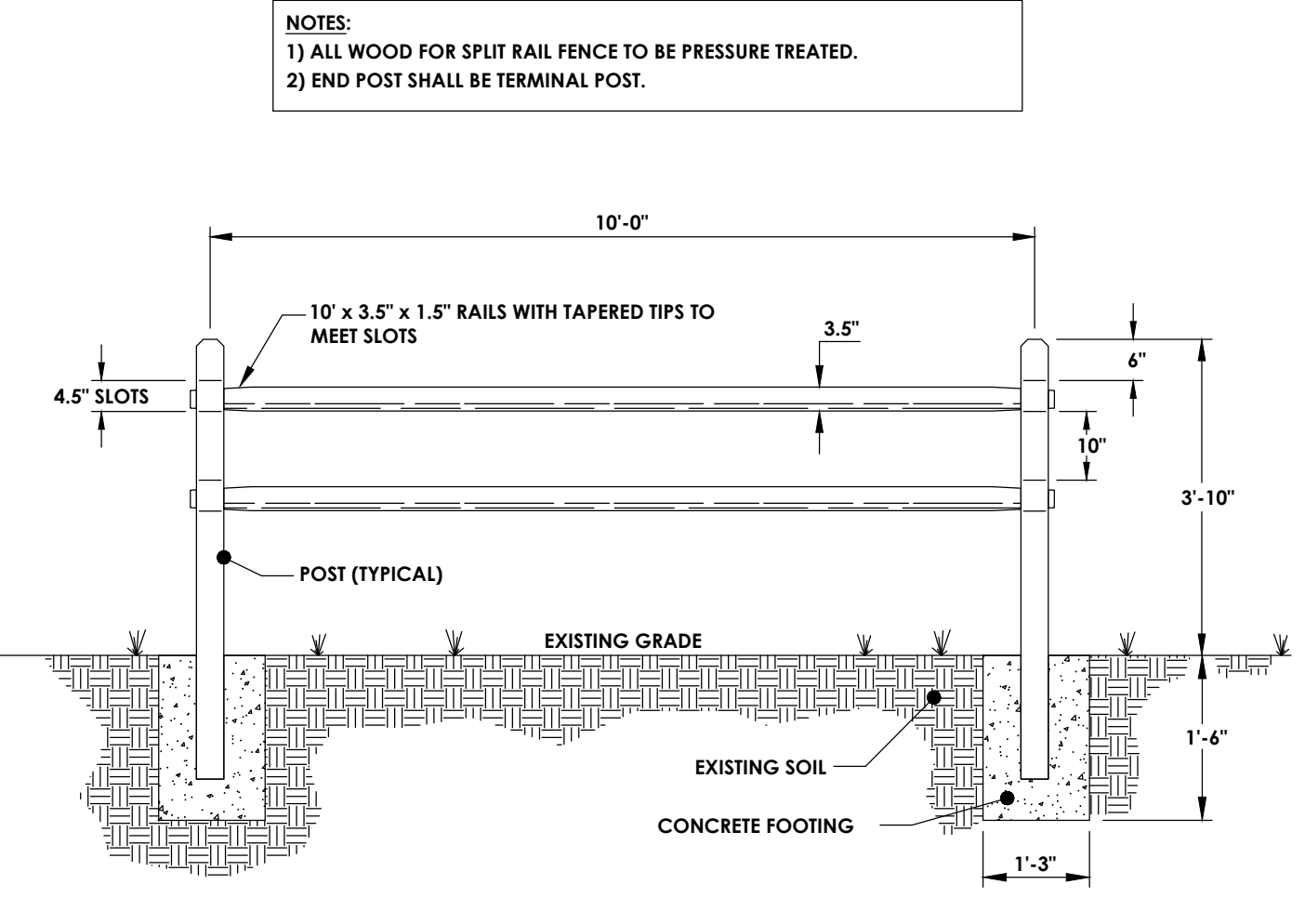
BIKE RACK DETAIL
N.T.S.



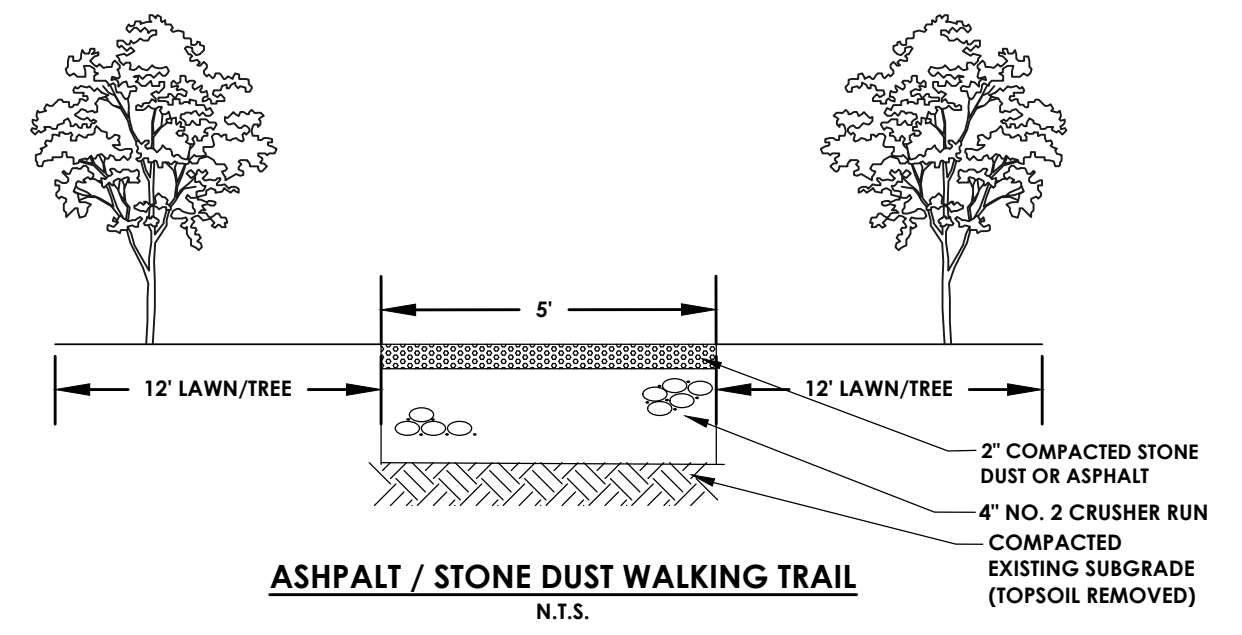
ACCESSIBLE SIDEWALK GUTTER
N.T.S.



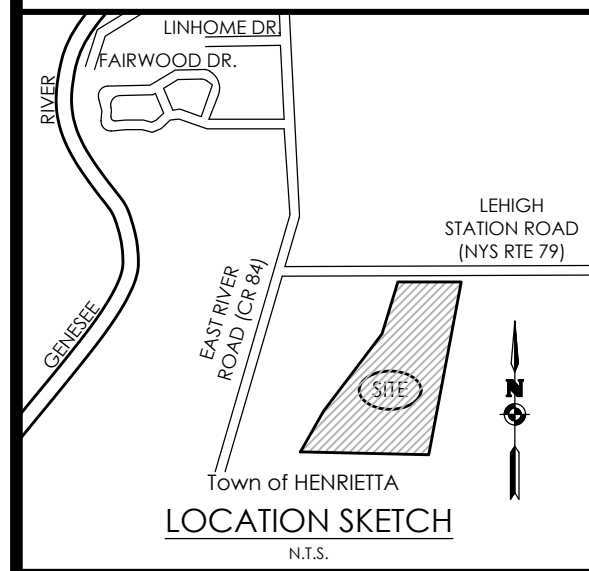
PERSPECTIVE VIEW



STANDARD SPLIT-RAIL FENCE
N.T.S.

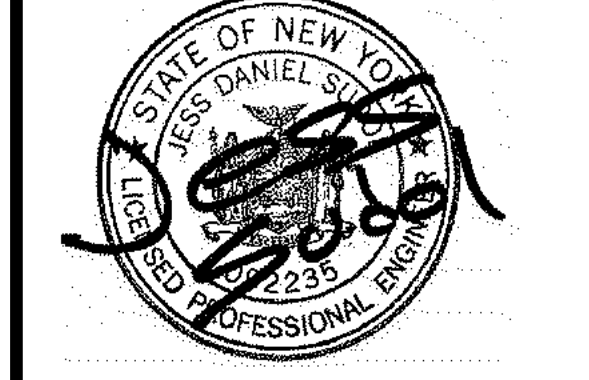


ASHPALT / STONE DUST WALKING TRAIL
N.T.S.



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell

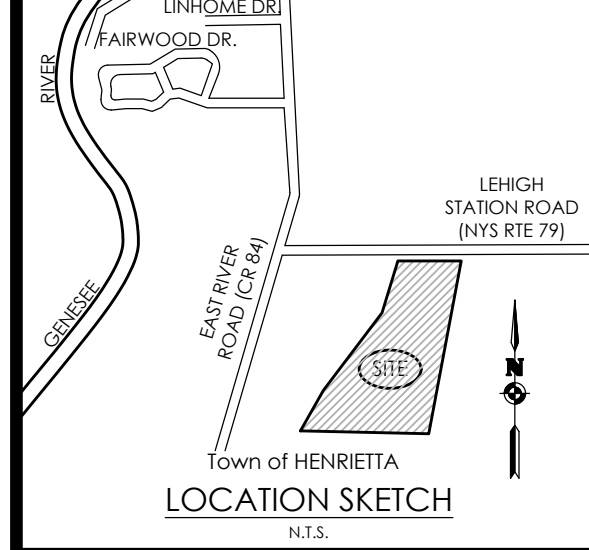
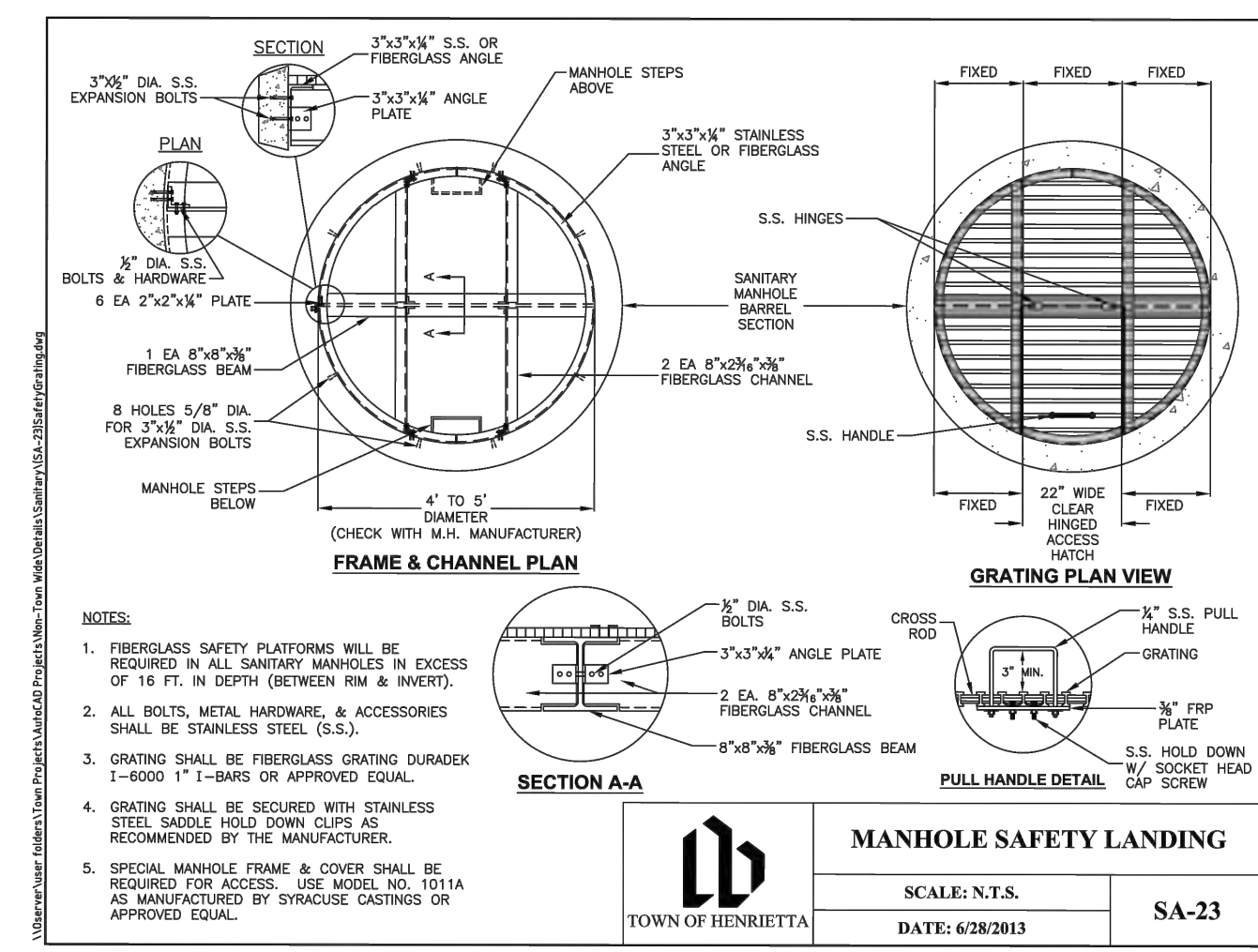
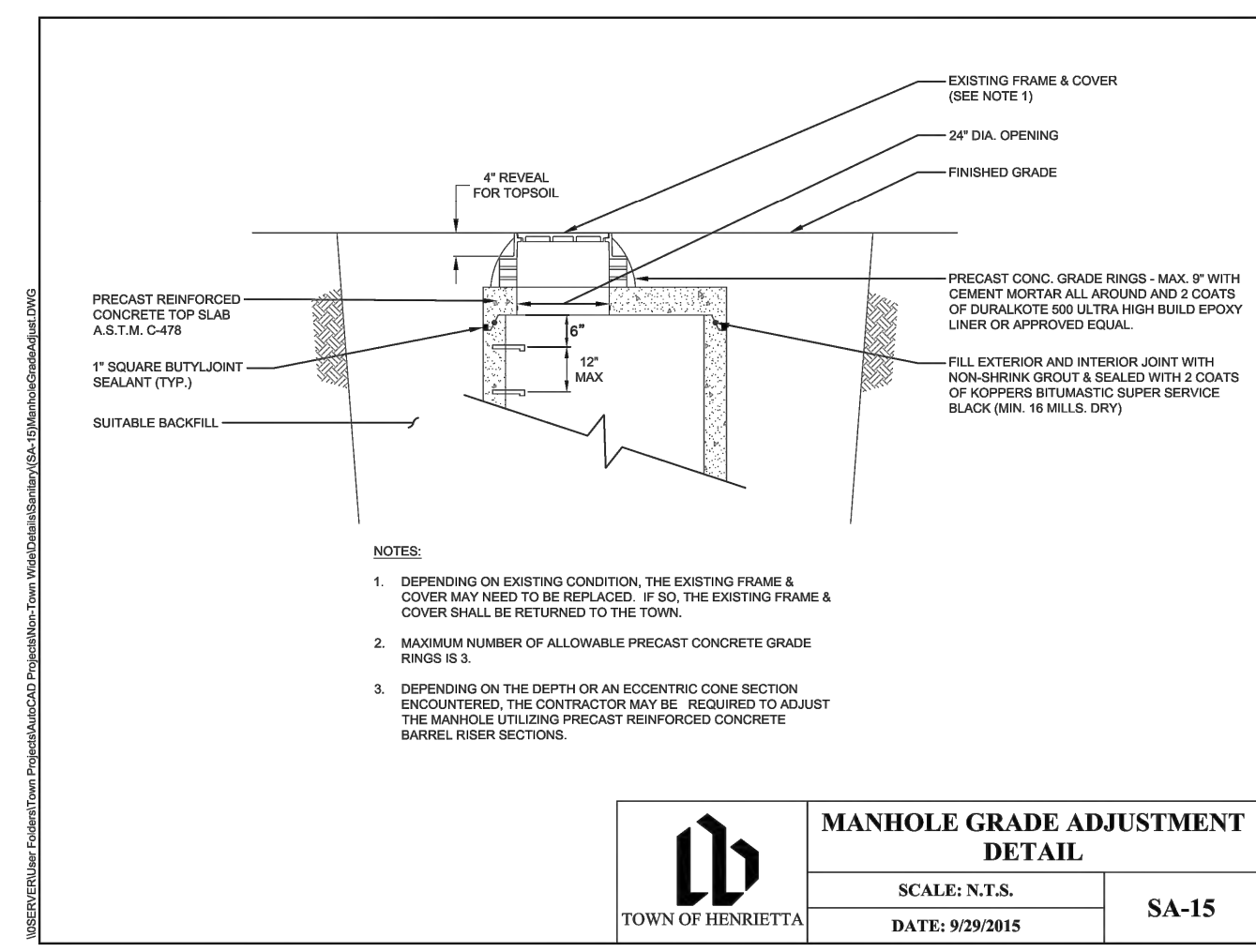
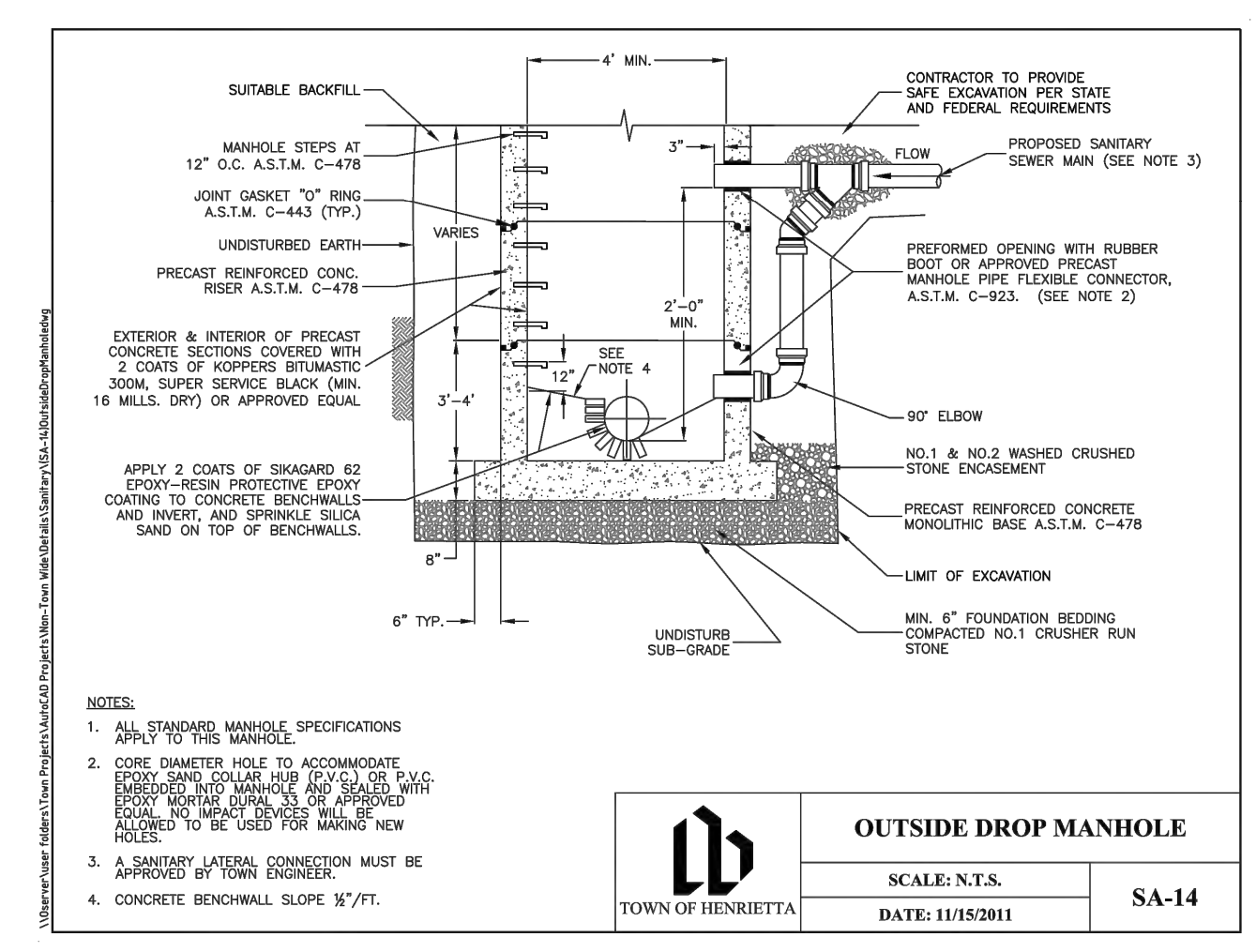
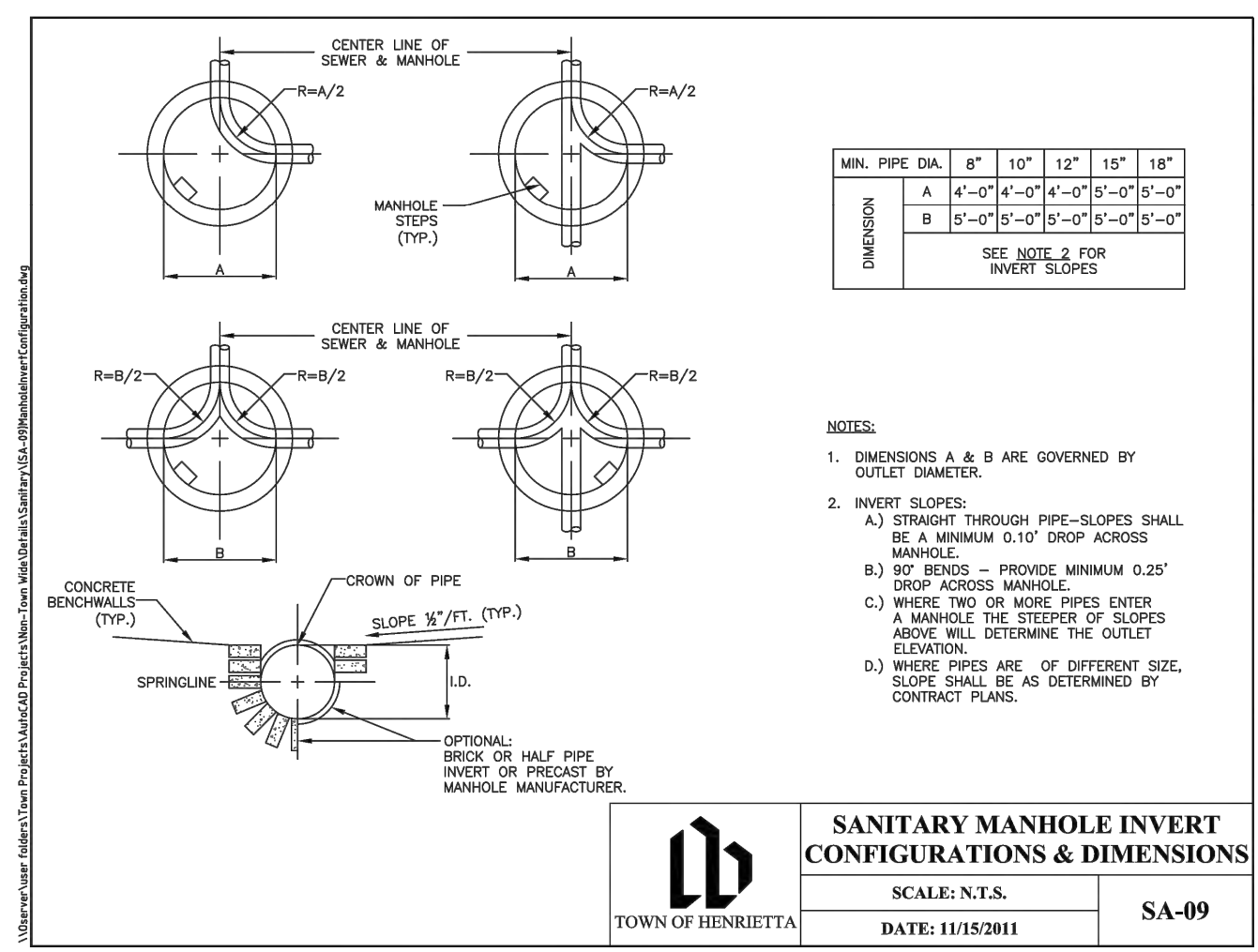
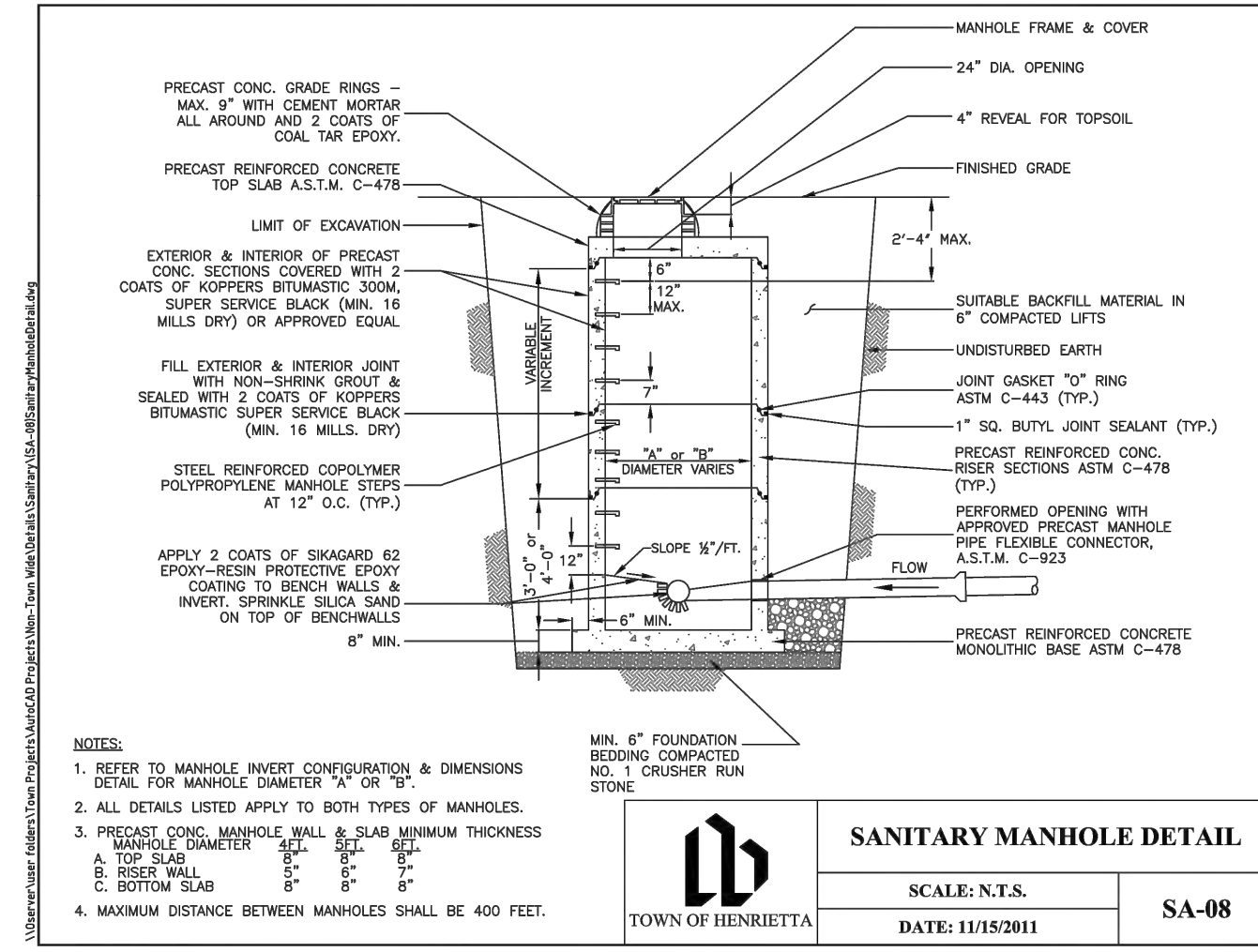
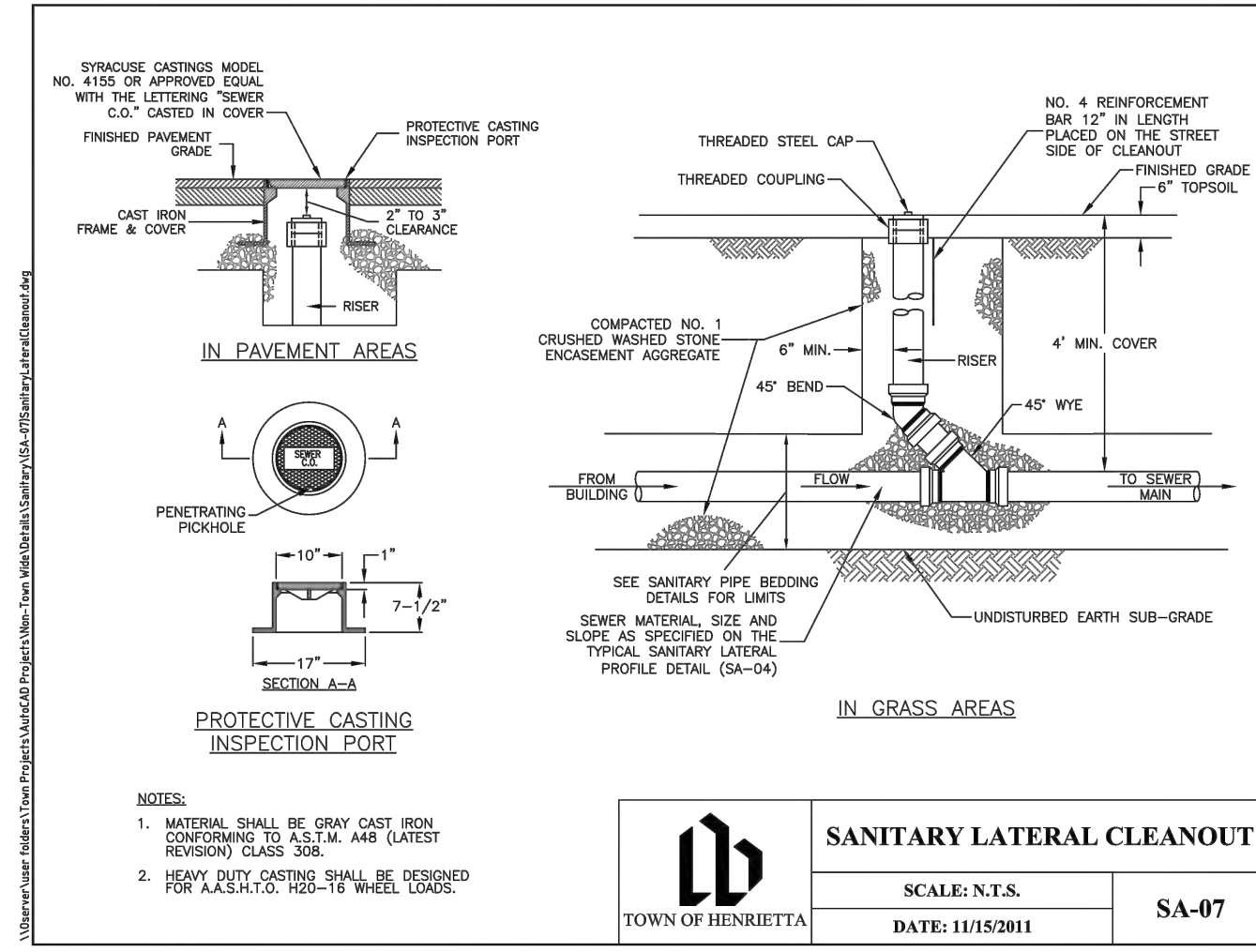
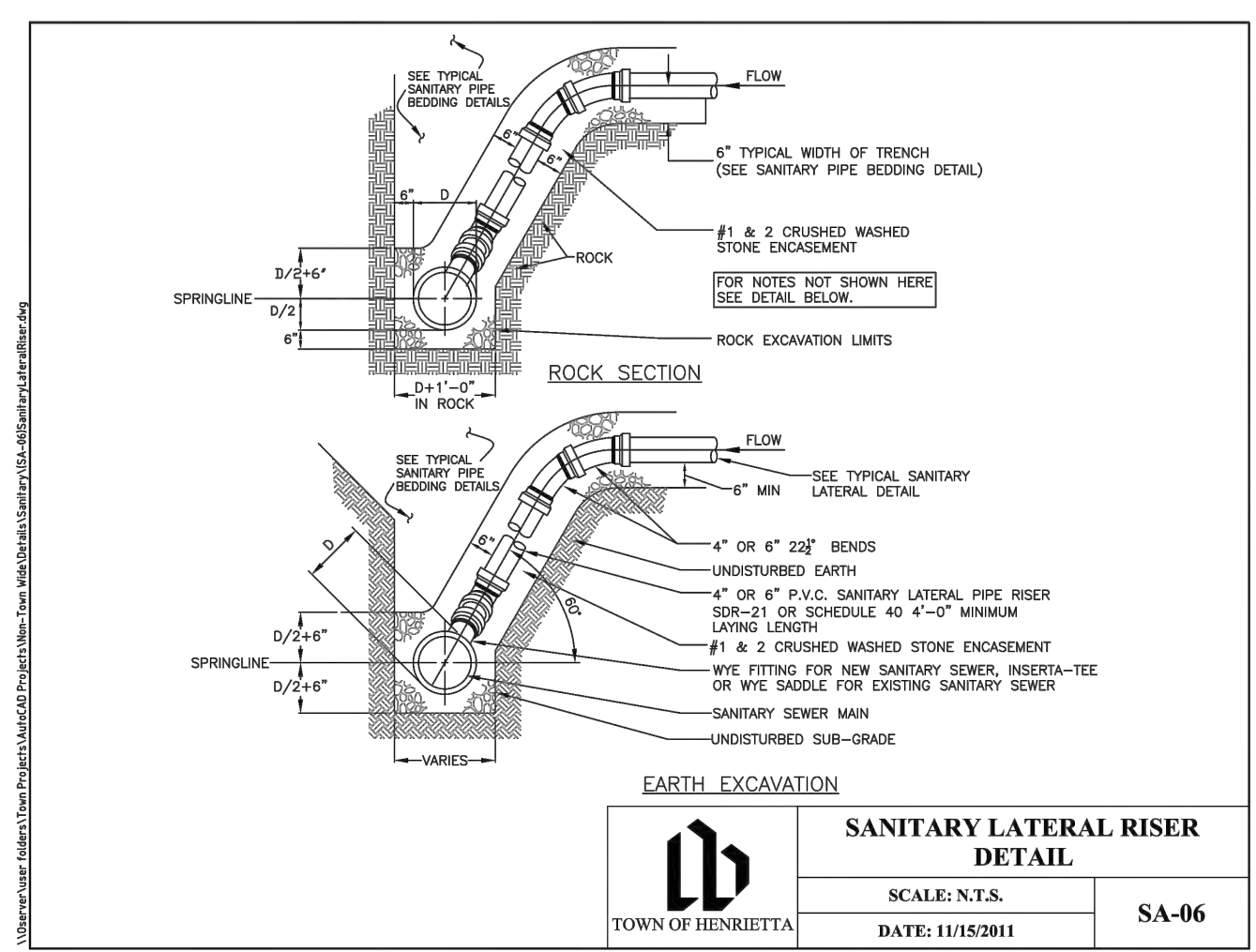
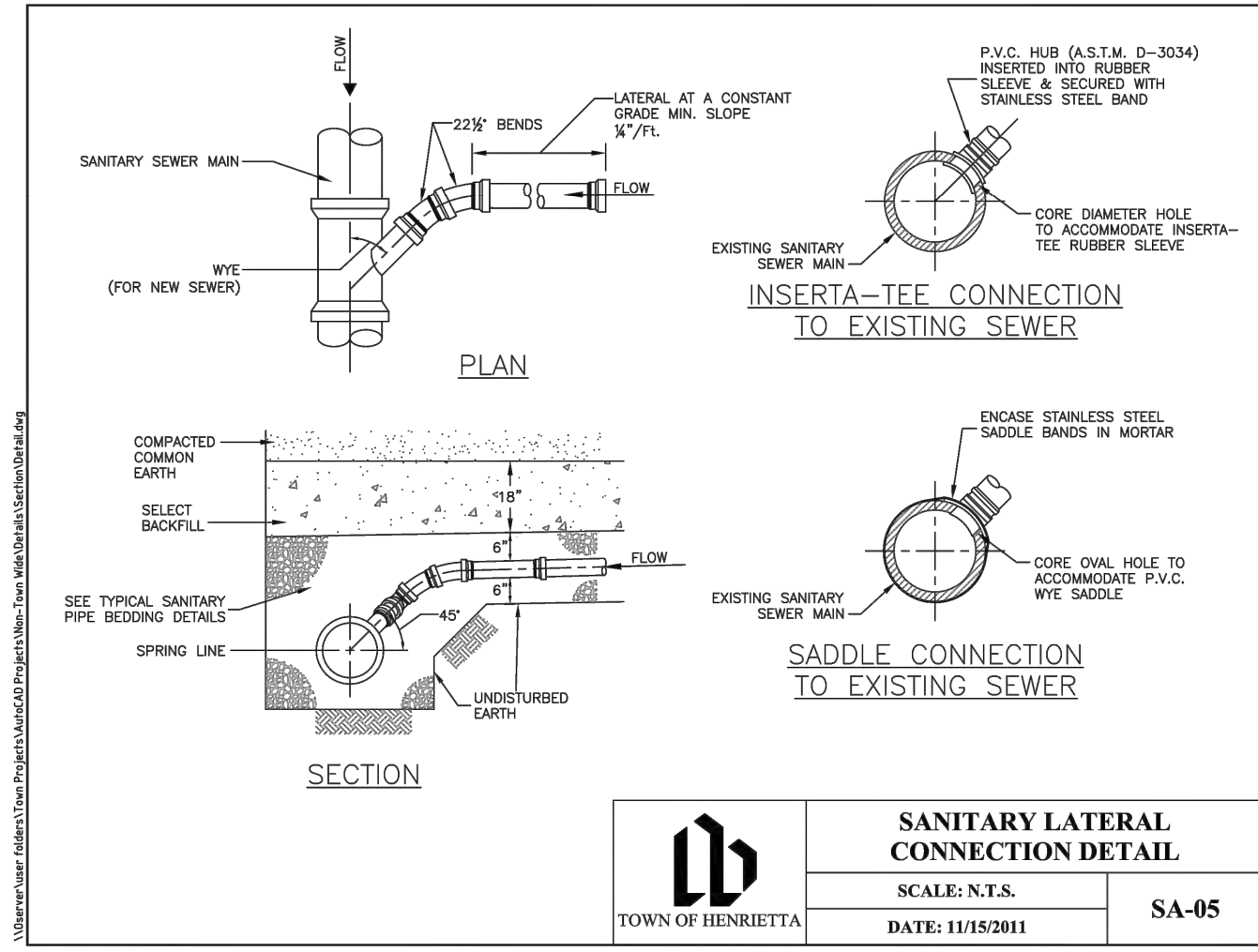
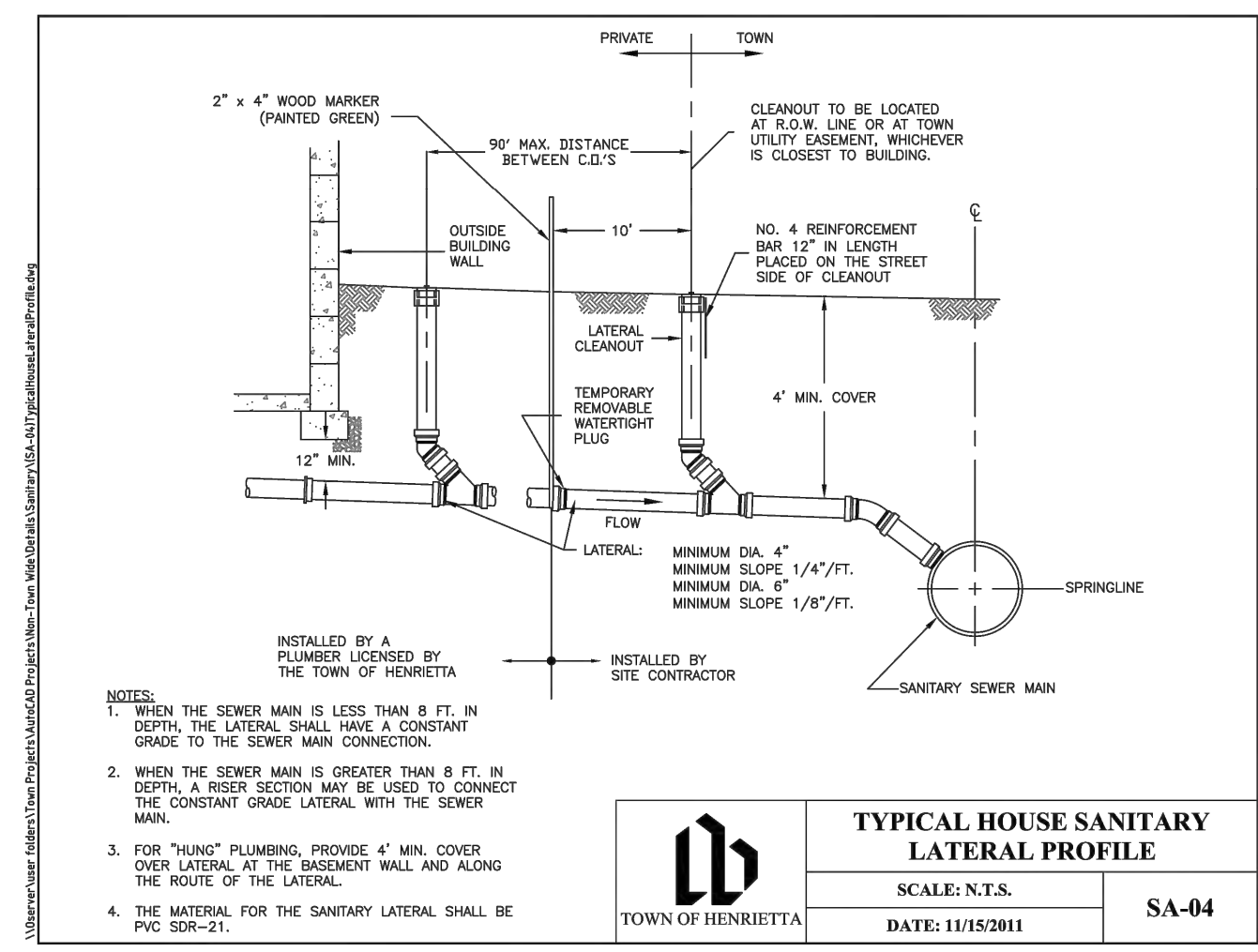
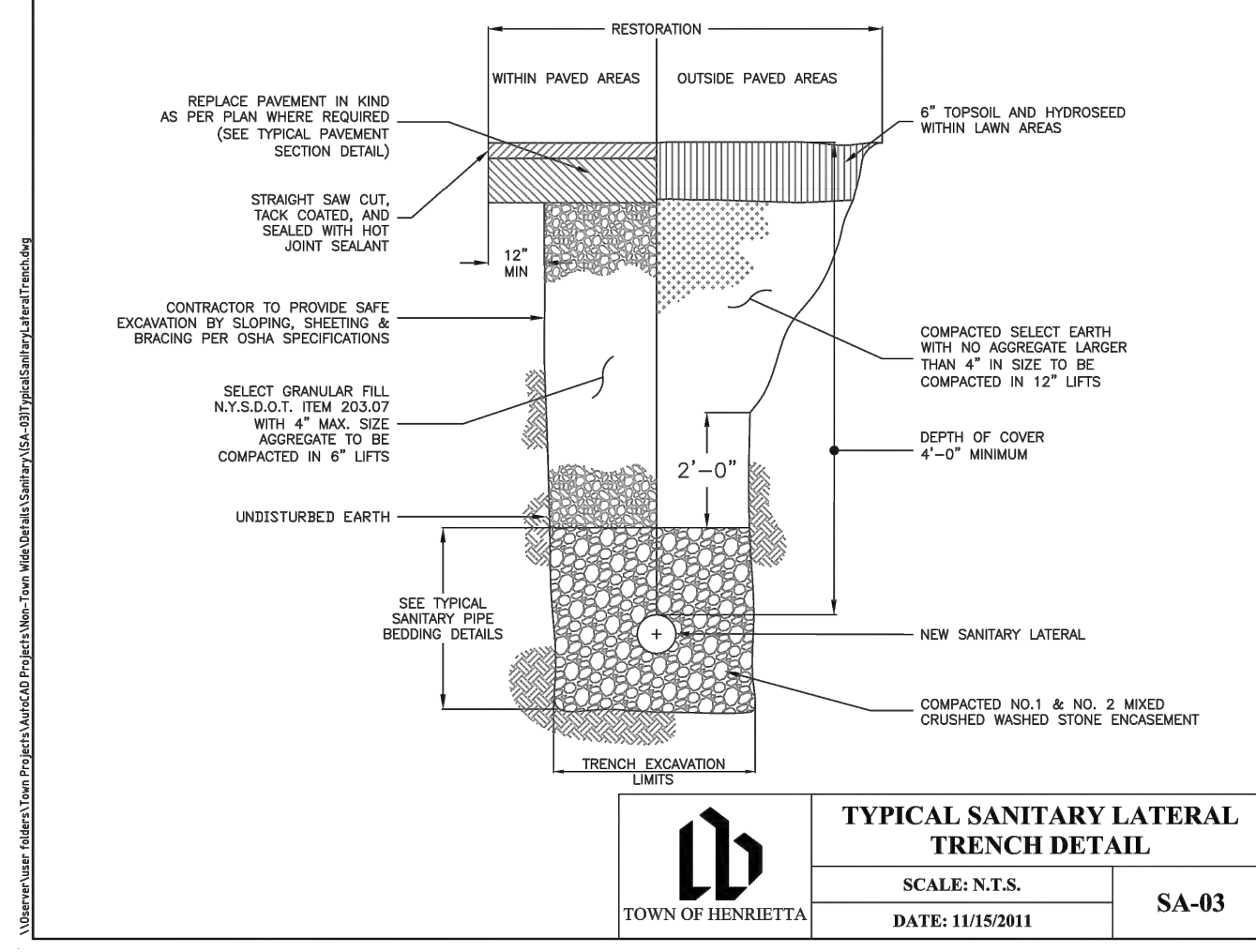
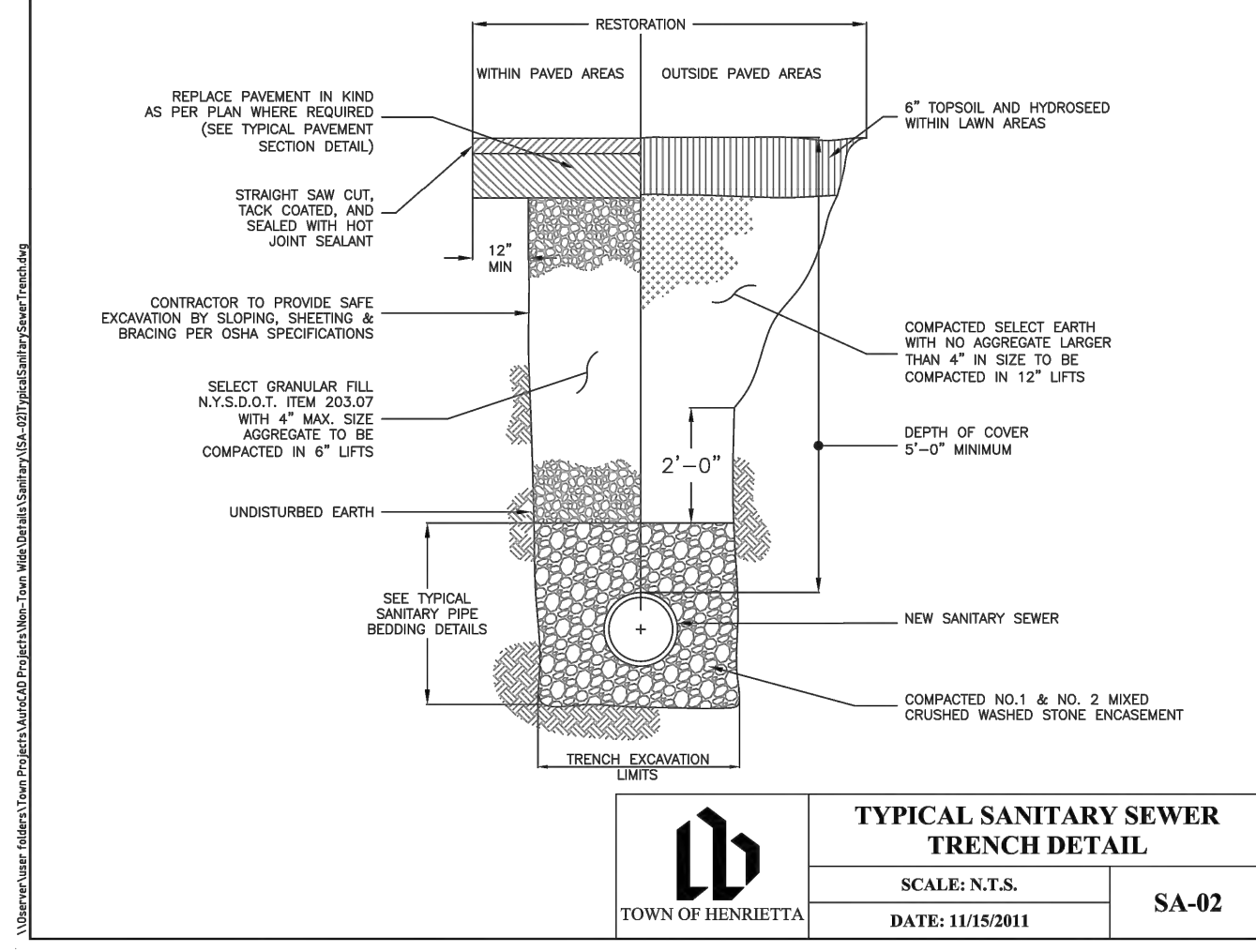
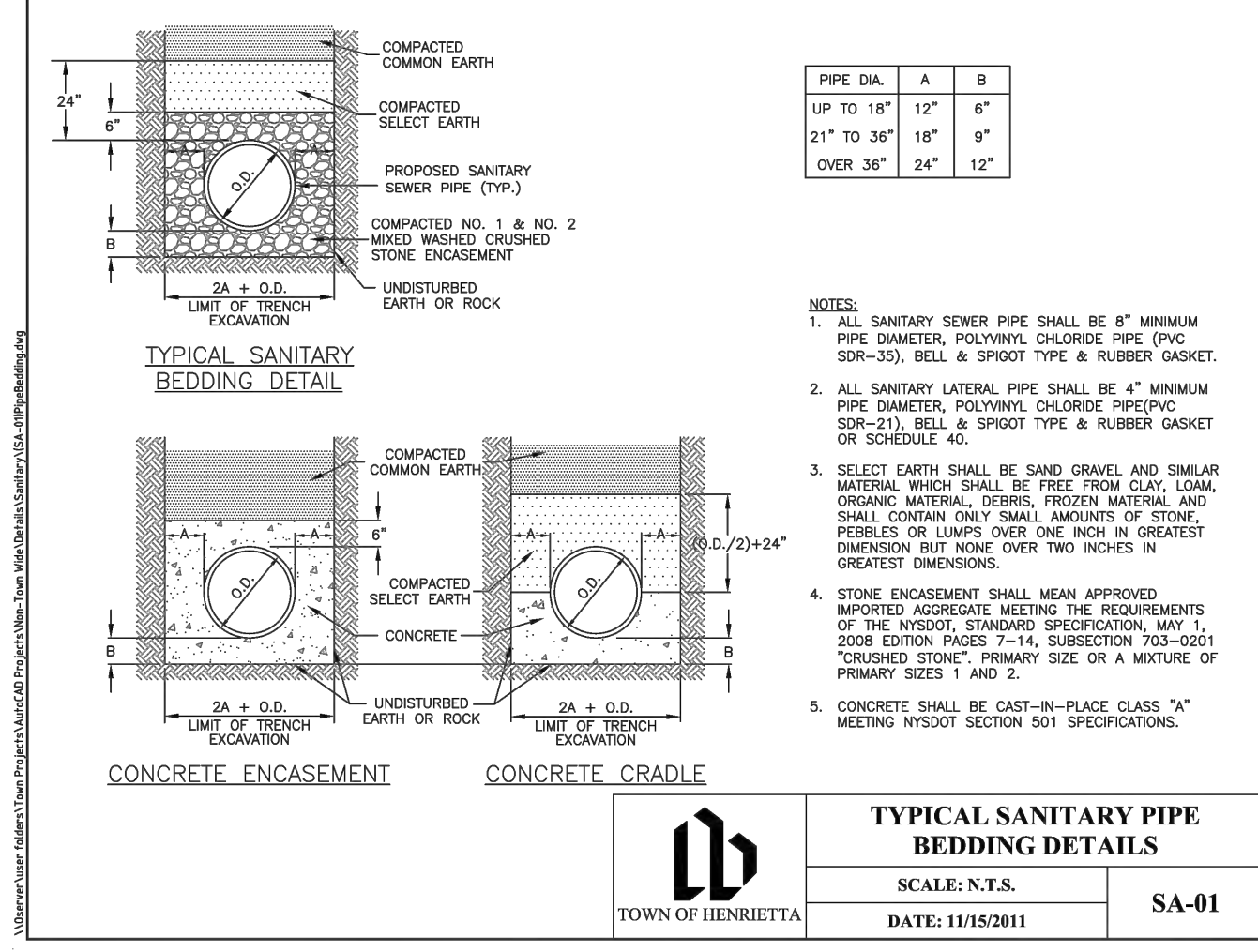


Revisions			
No.	Date	By	Description

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DETAILS
RIVERS EDGE
BEING PART OF TOWN LOIS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TREADP'S & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

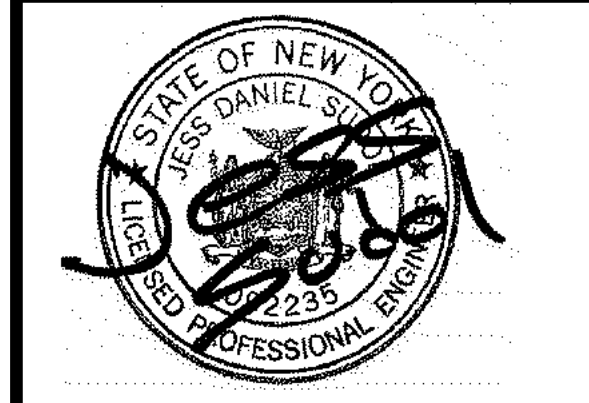
Project No:
20192793.0007
Drawing No. **C 202** Sheet No. **24**
Scale: **AS SHOWN**
Date: **JUNE 2023**



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
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(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: **Jess D. Sudol, PE**
Project Manager: **Andrew Burns, EIT**
Designed by: **Briana Mitchell**



Revisions

No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

DETAILS

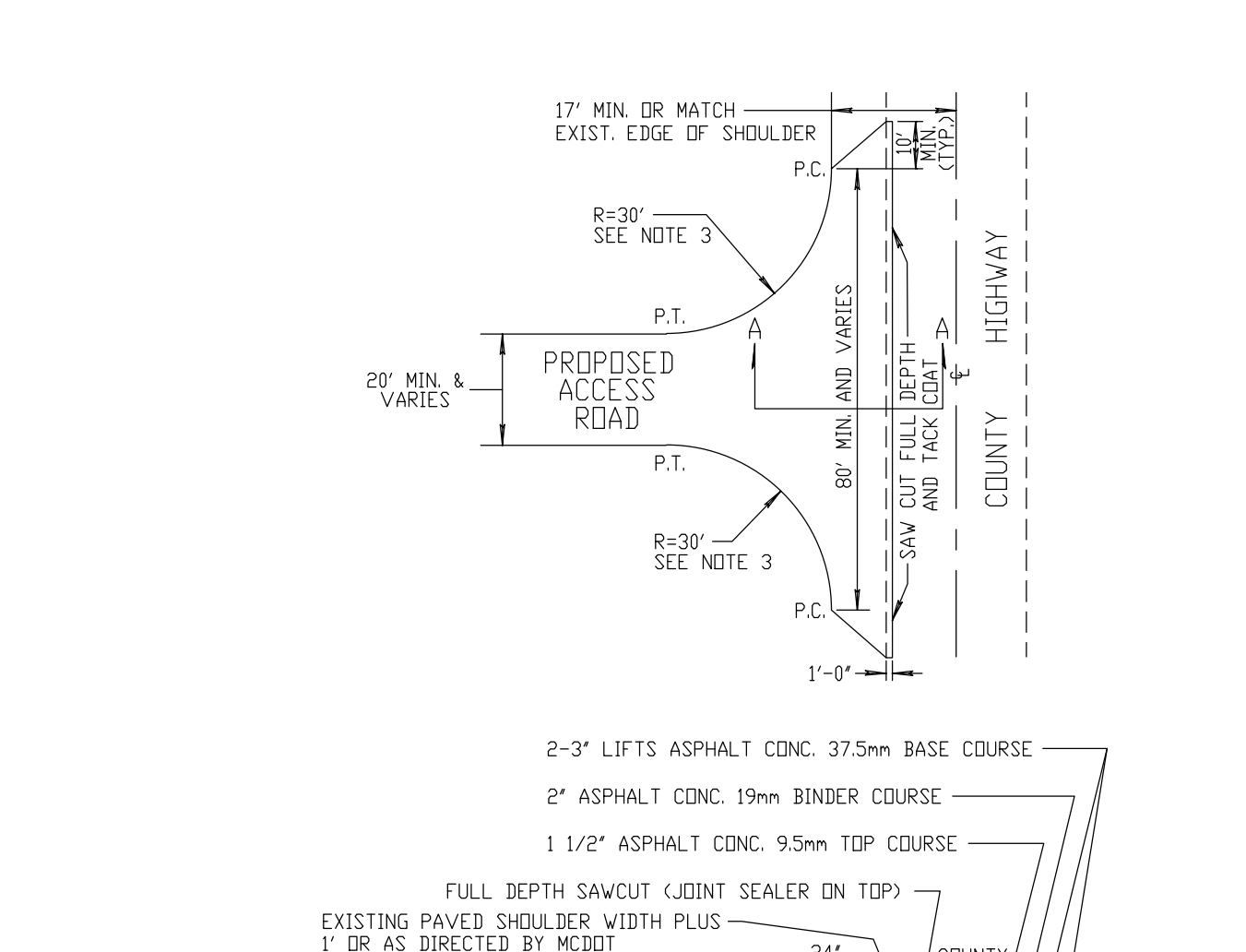
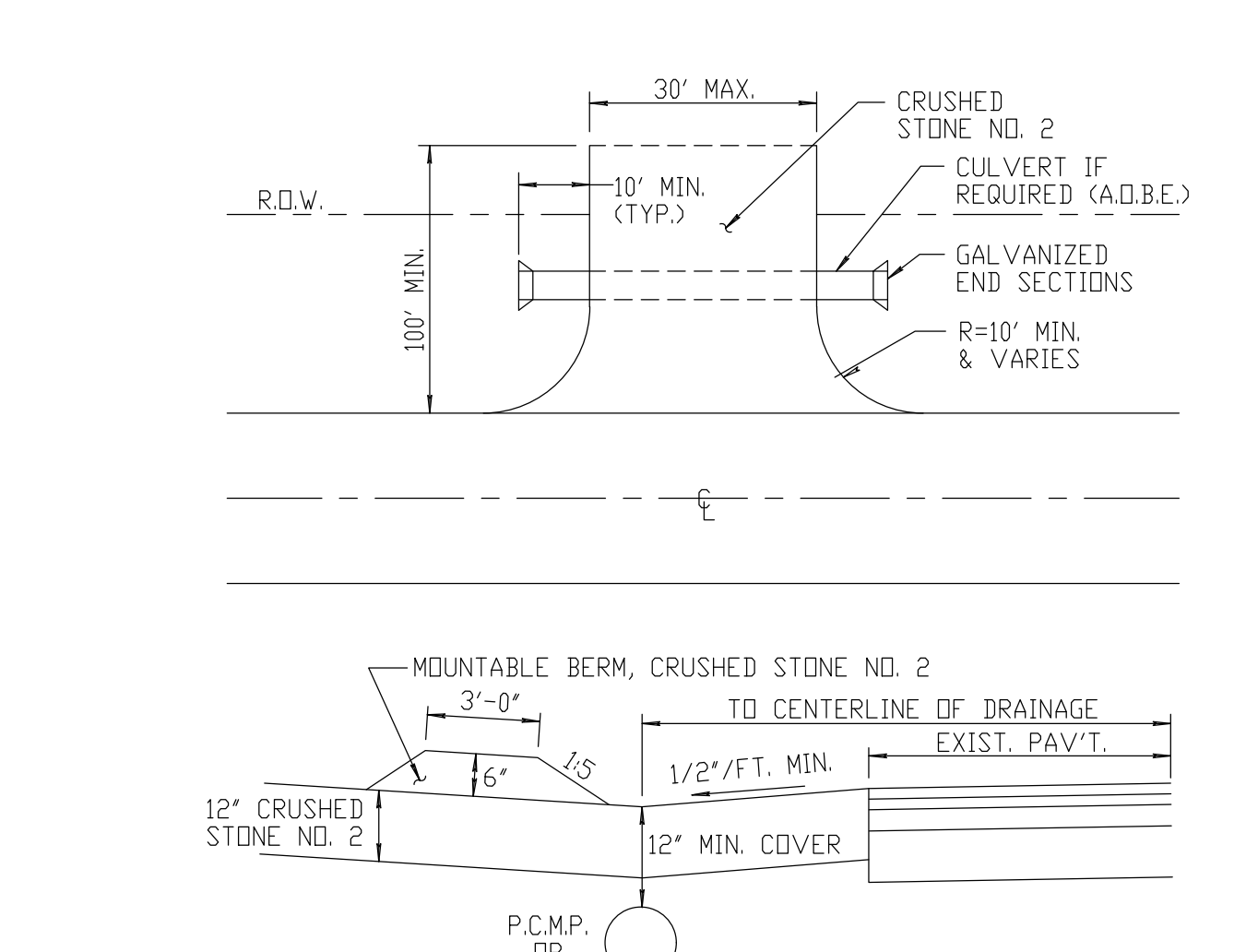
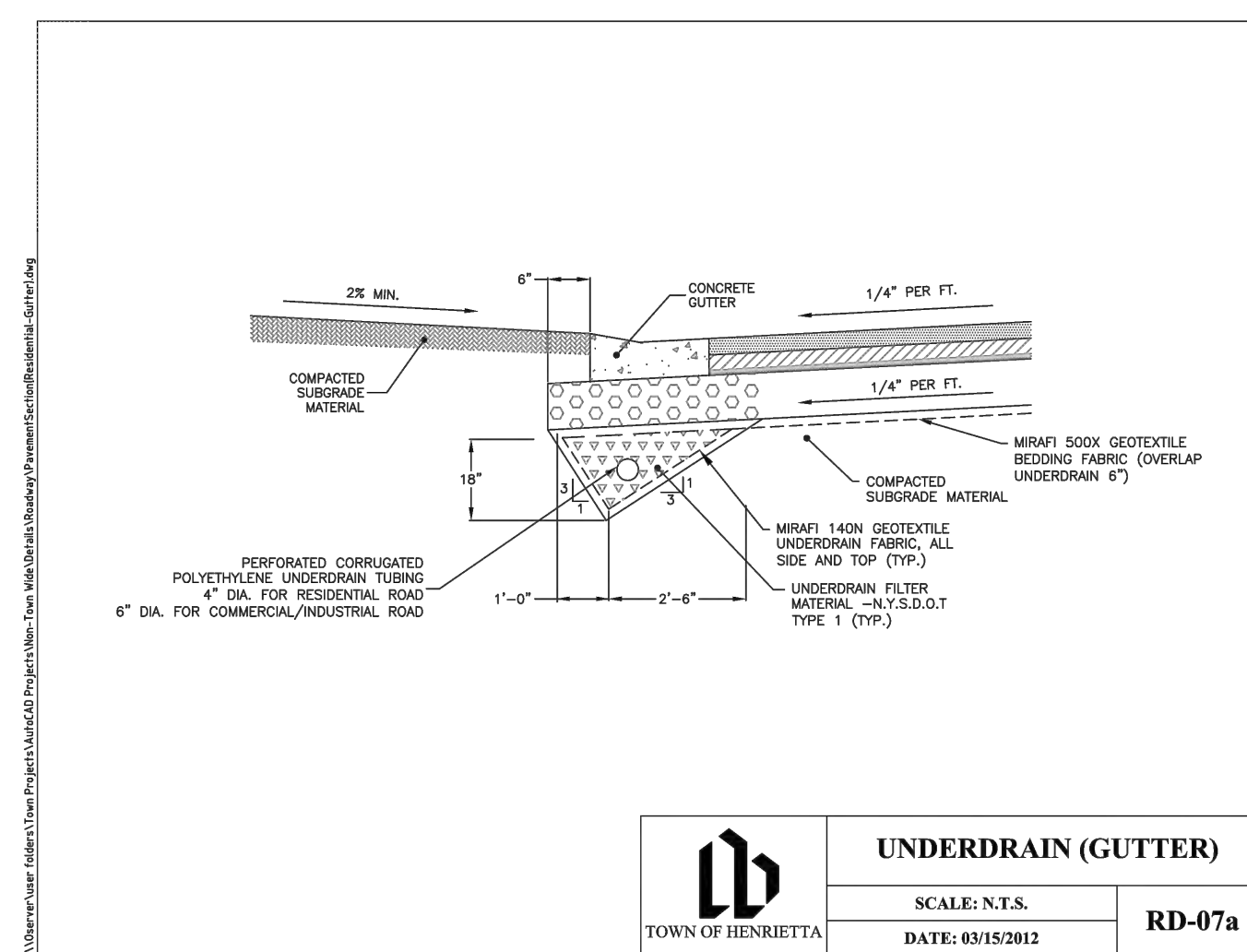
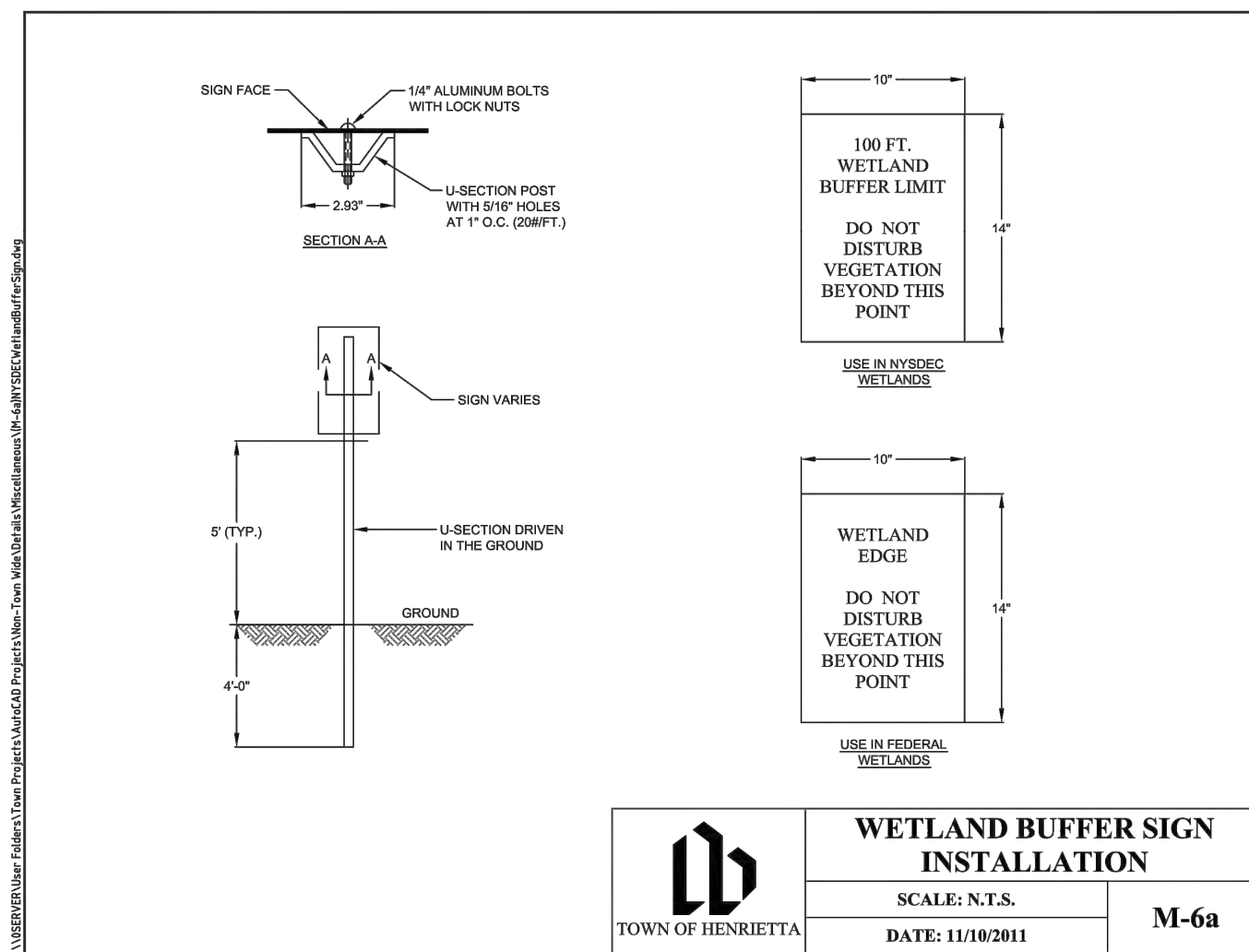
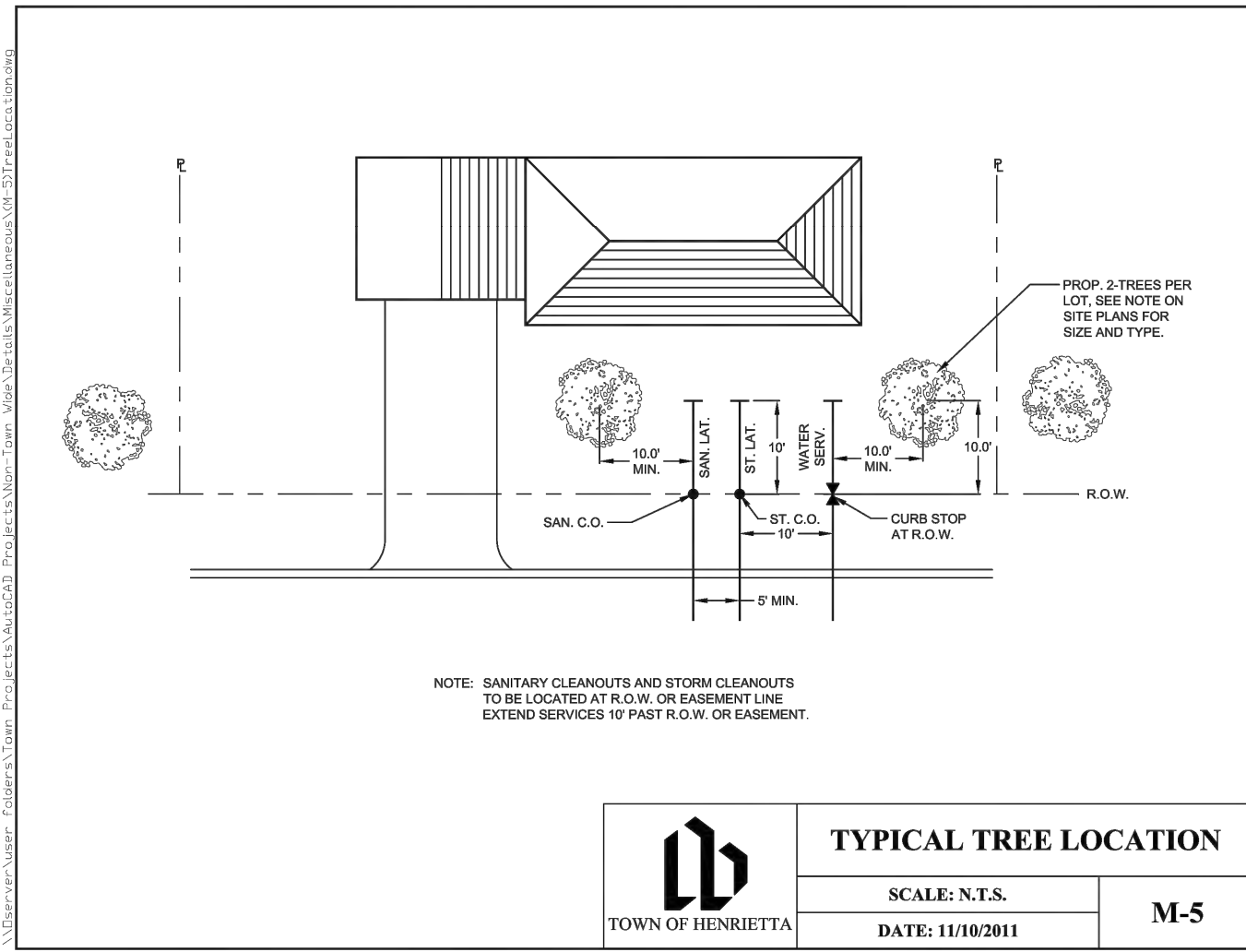
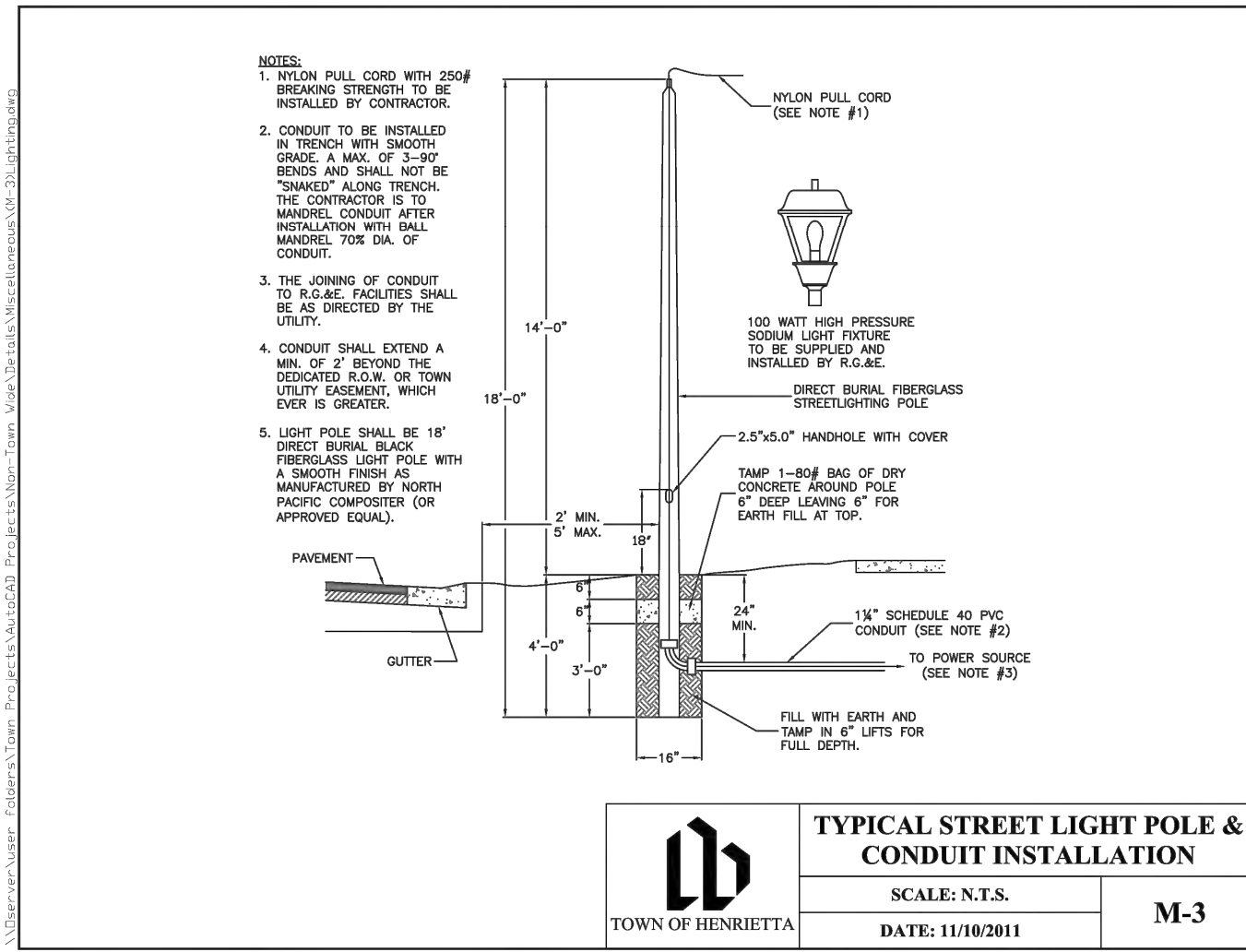
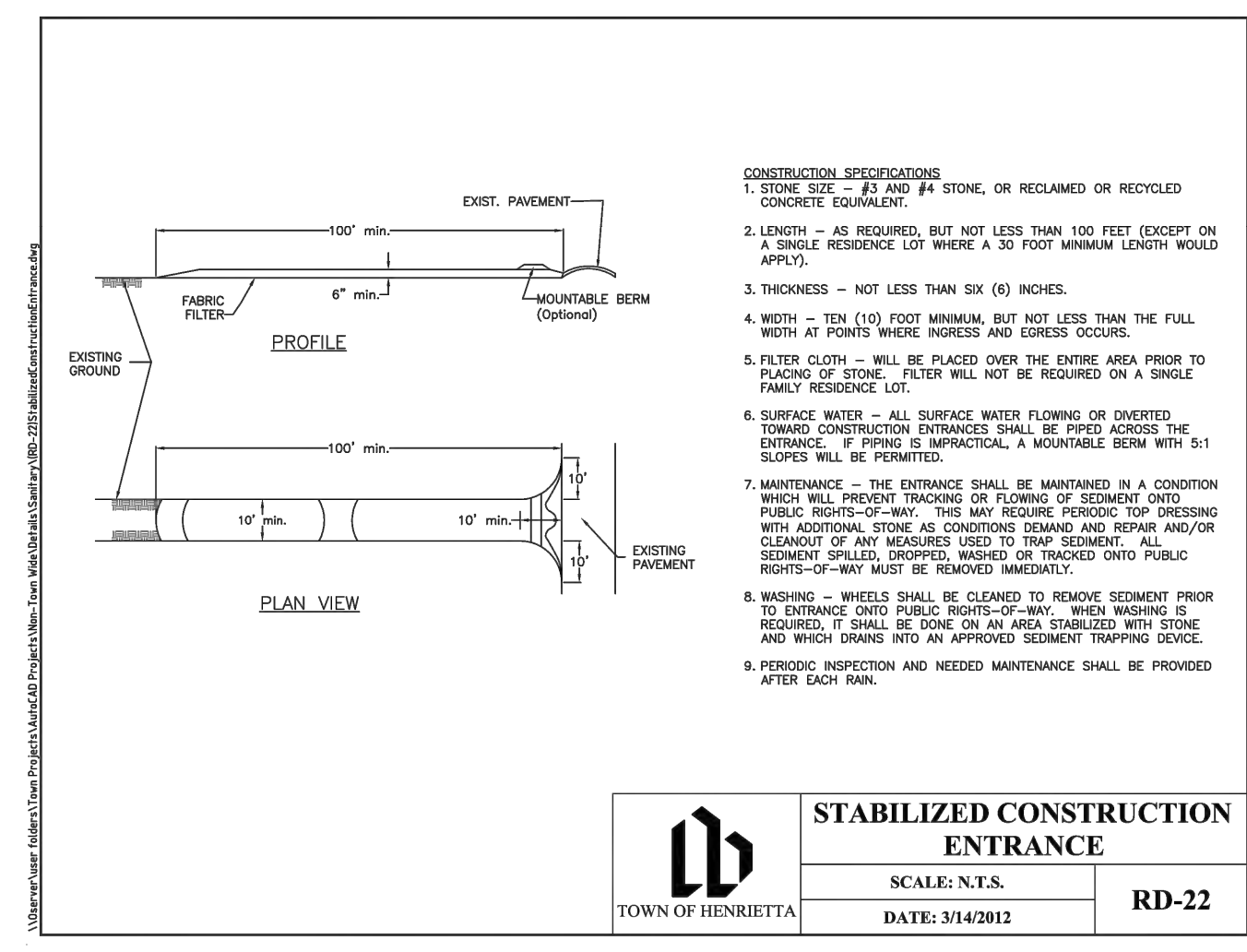
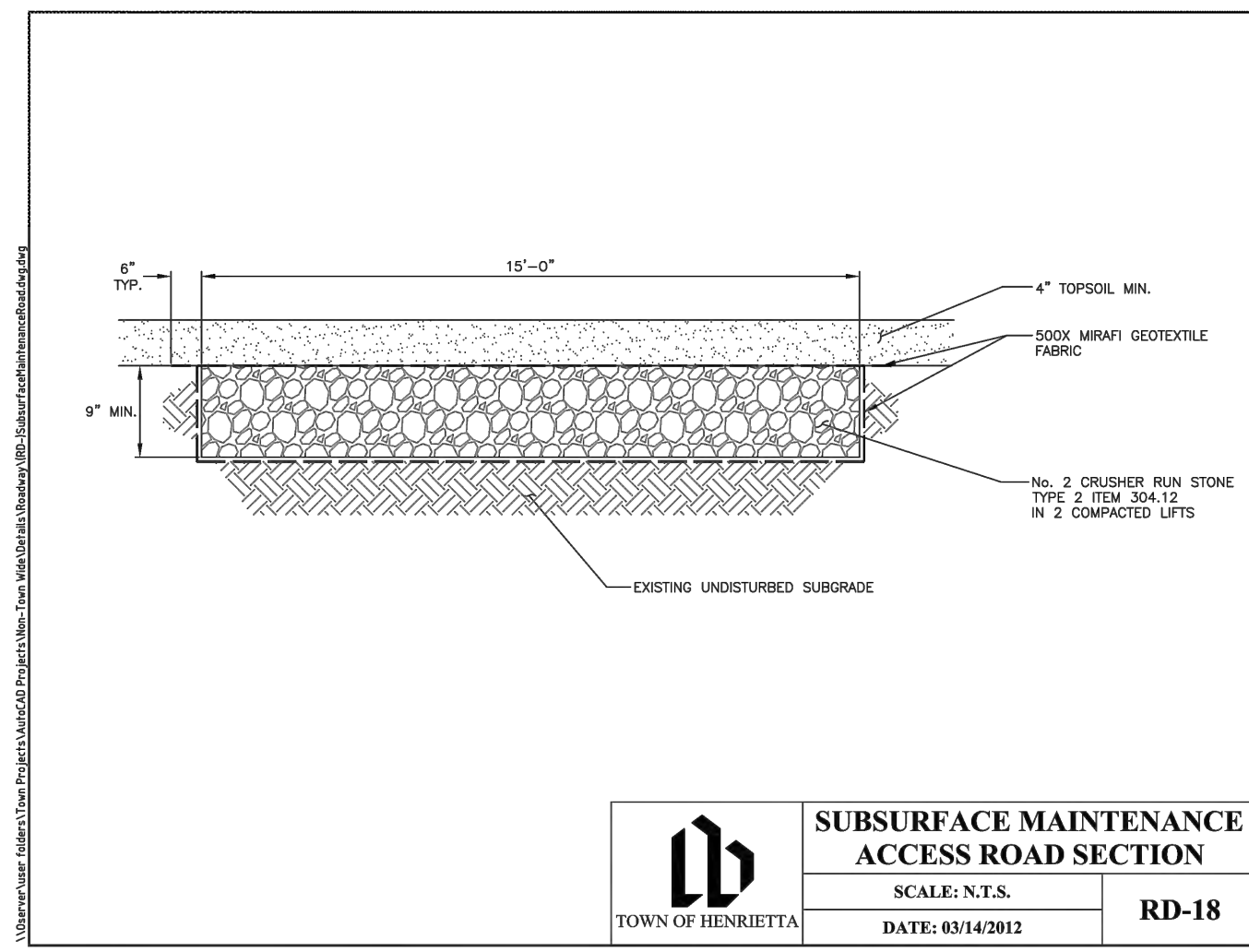
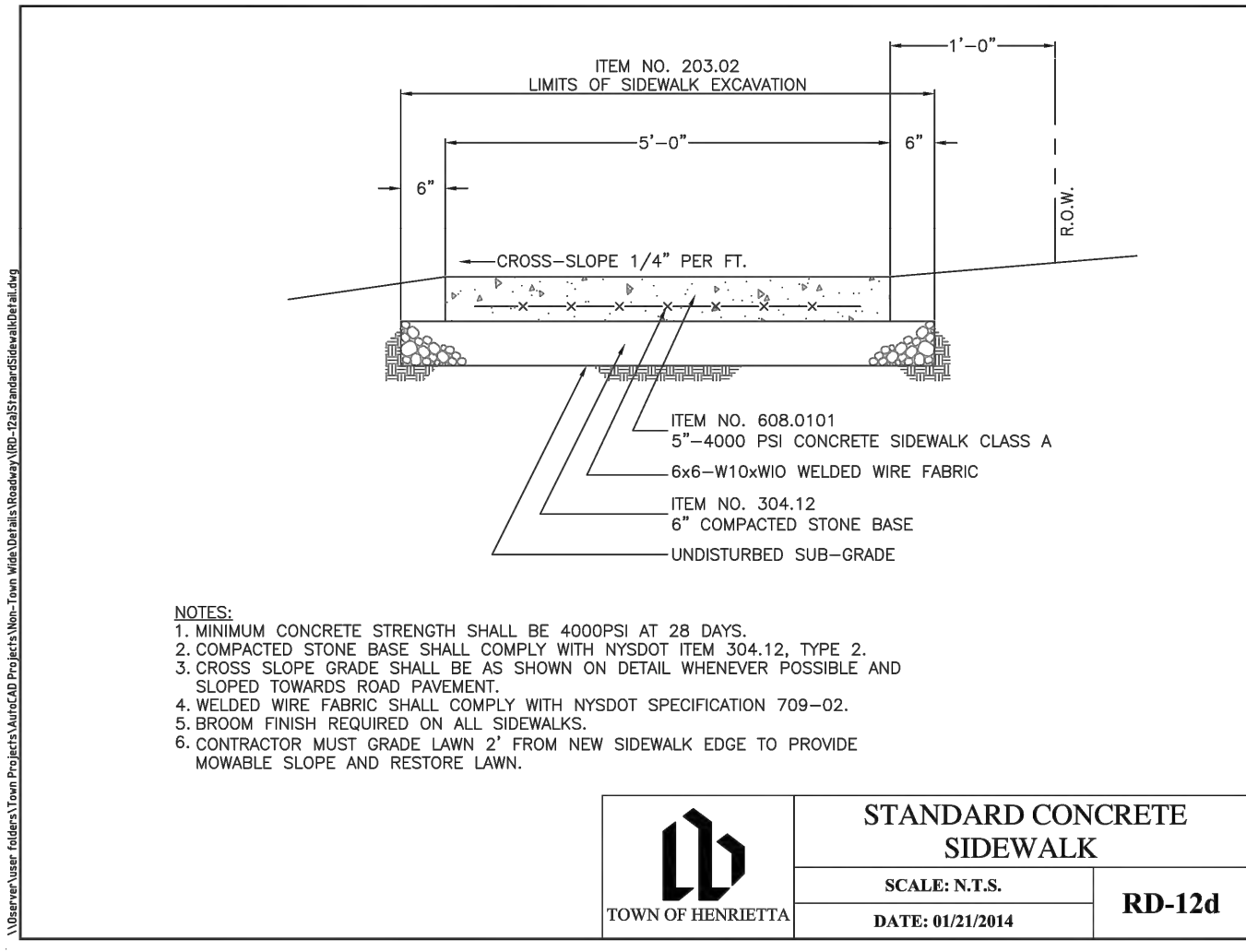
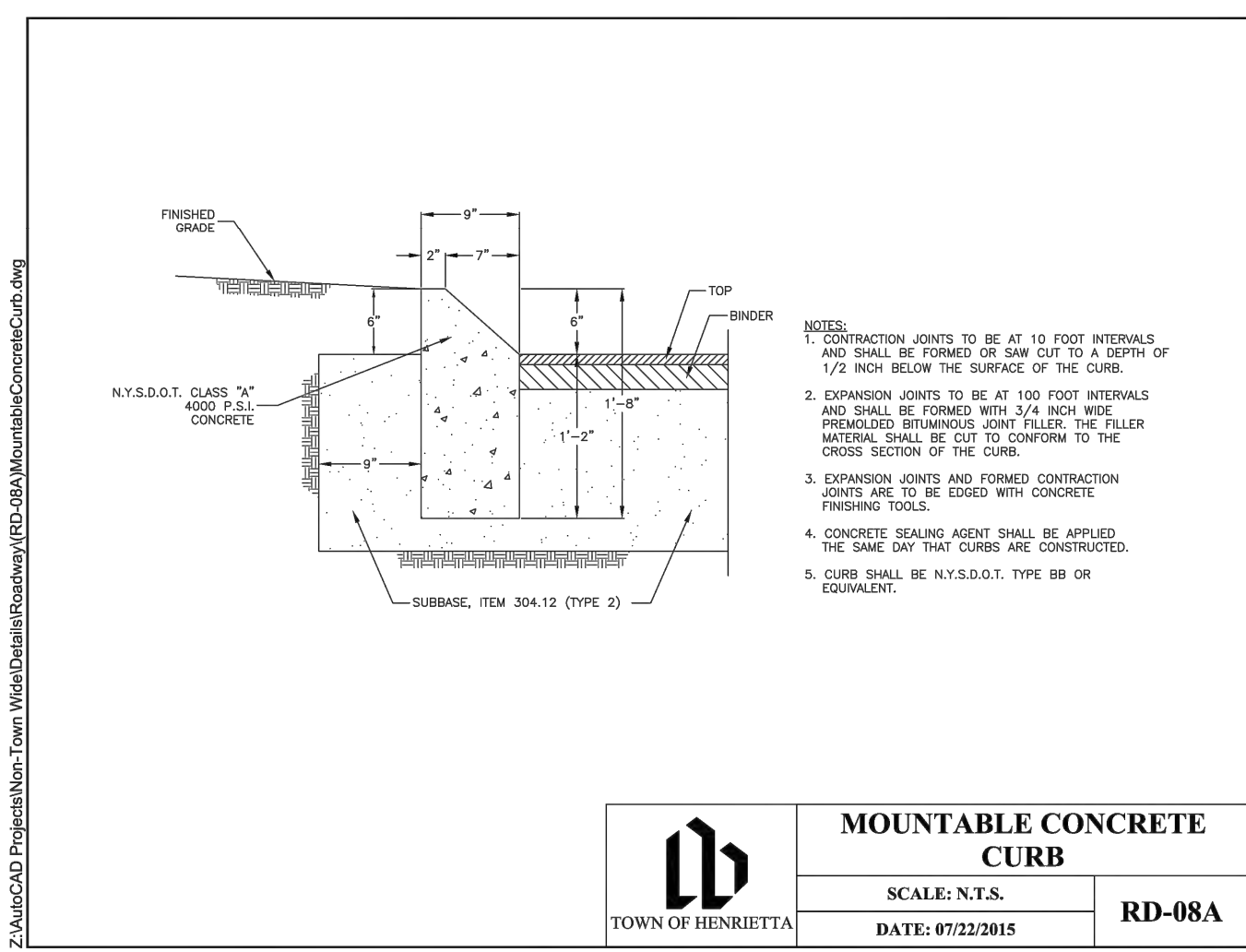
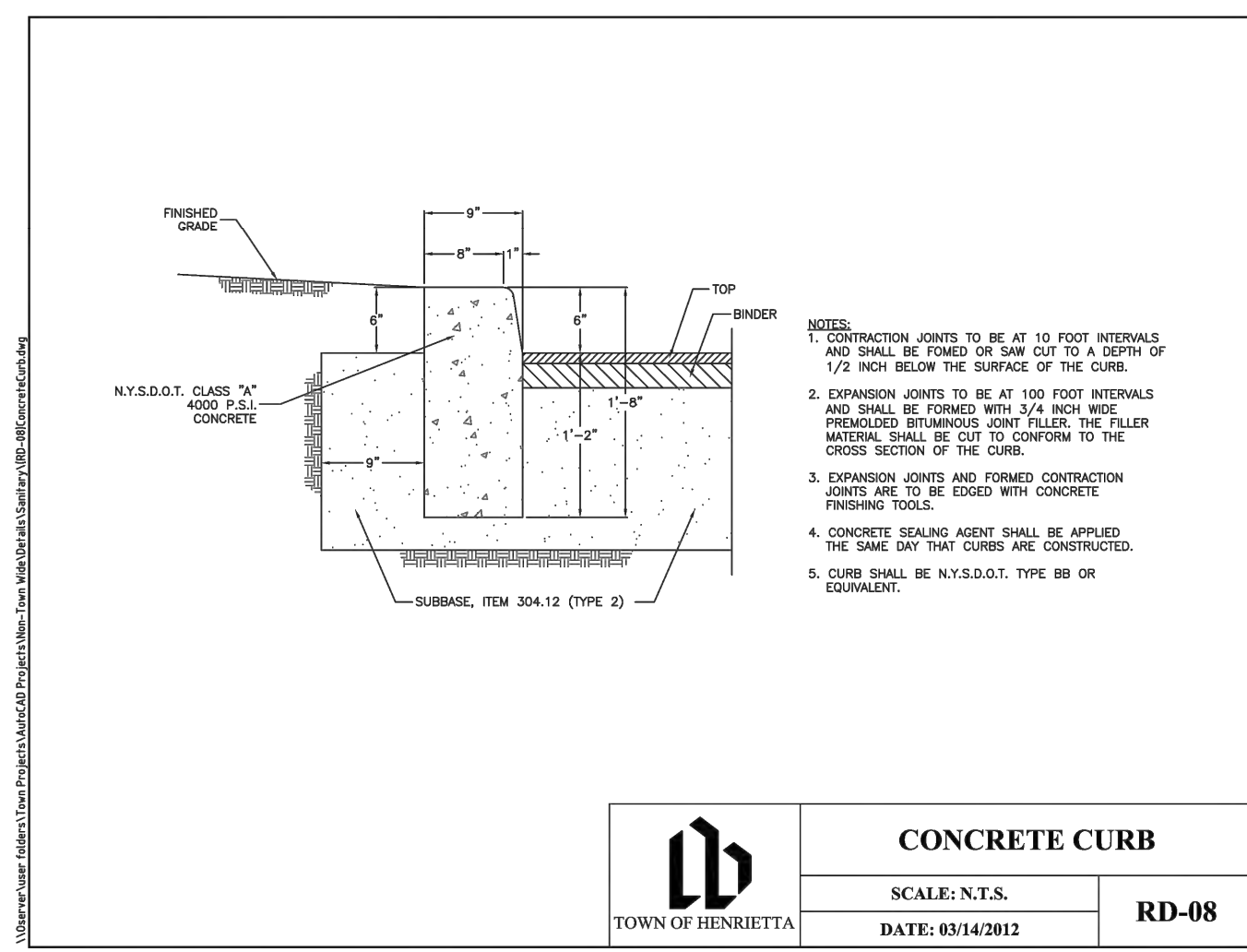
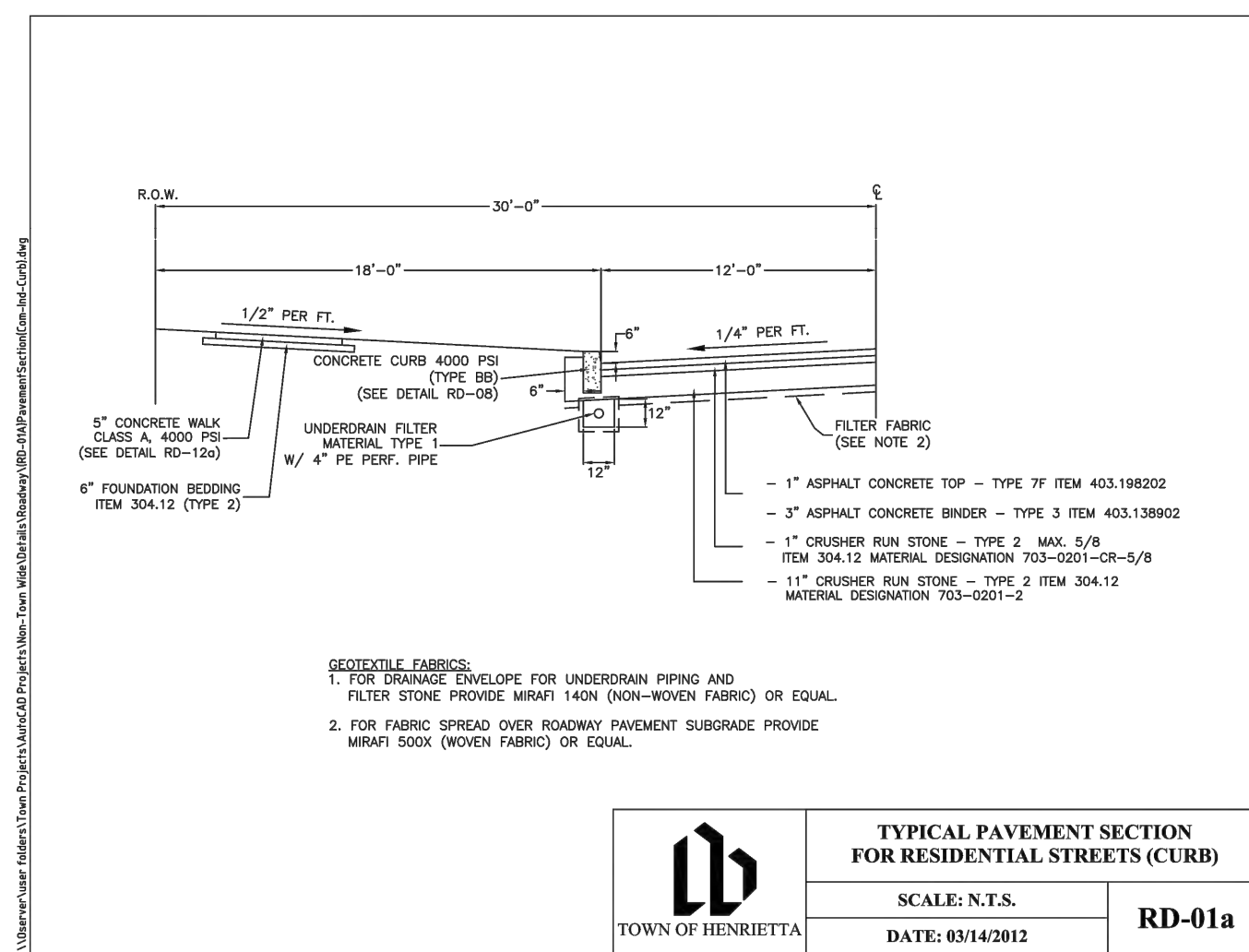
RIVERS EDGE
BEING PART OF TOWN LOIS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, TOWNSHIP & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.: **20192793.0007**

Drawing No. **C 204** Sheet No. **26**

Scale: **AS SHOWN**

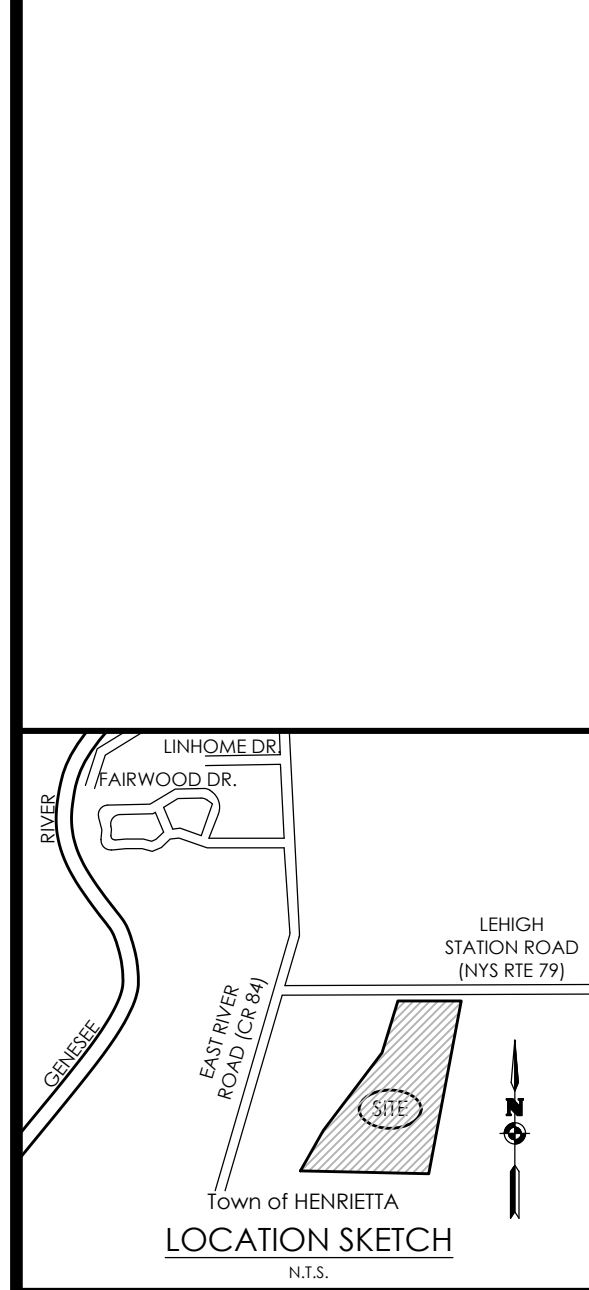
Date: **JUNE 2023**



MONROE COUNTY DEPT. OF TRANSPORTATION

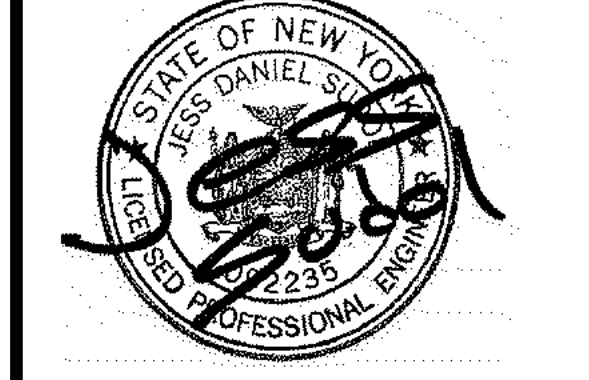
APPROVED _____ DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



PASSERO ASSOCIATES
 242 West Main Street Suite 100 Rochester, New York 14614 (585) 325-1000 Fax: (585) 325-1691

Principal-in-Charge: Jess D. Sudol, PE
 Project Manager: Andrew Burns, EIT
 Designed by: Briana Mitchell



Revisions

No.	Date	By	Description

DETAILS

RIVERS EDGE
 BEING PART OF TOWN LOTS 1 & 2, SECTION 13, TOWNSHIP 14, RANGE 4, TOWNSHIP 4, GORHAM PURCHASE
 Town/City: HENRIETTA County: MONROE State: NEW YORK

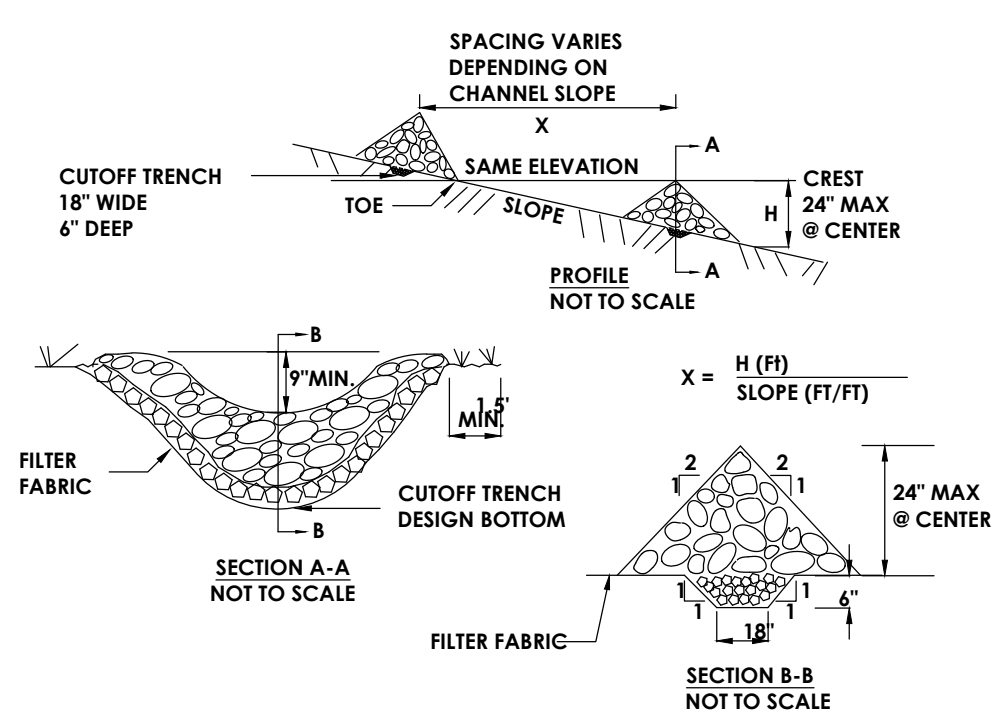
Project No: **20192793.0007**

Drawing No: **C 205** Sheet No: **27**

Scale: **AS SHOWN**

Date: **JUNE 2023**

NOT FOR CONSTRUCTION

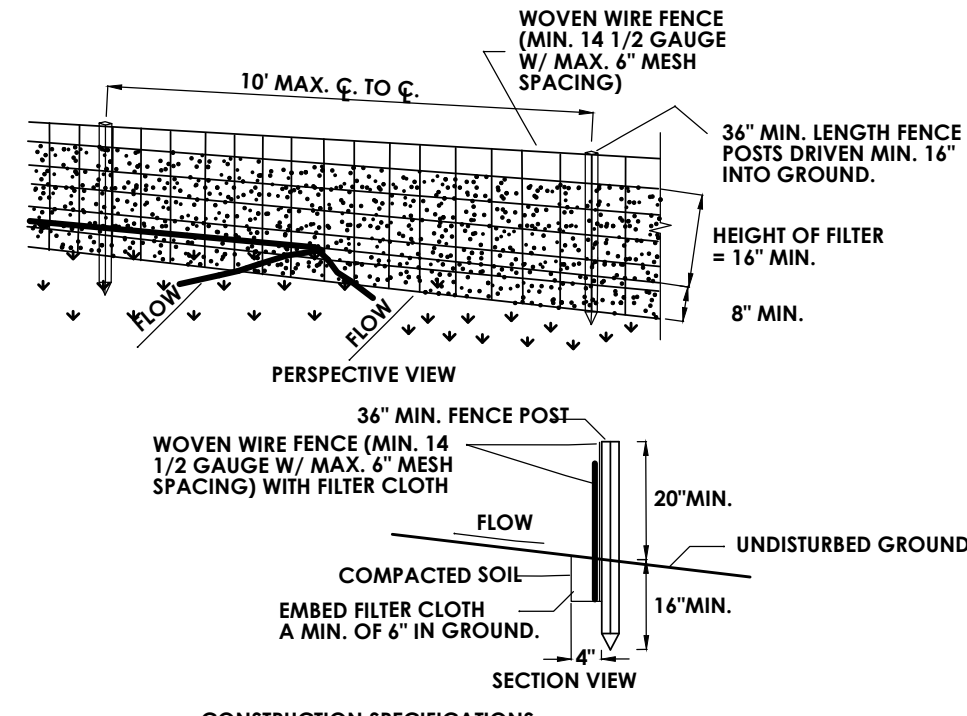


CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

STONE CHECK DAM

N.T.S.

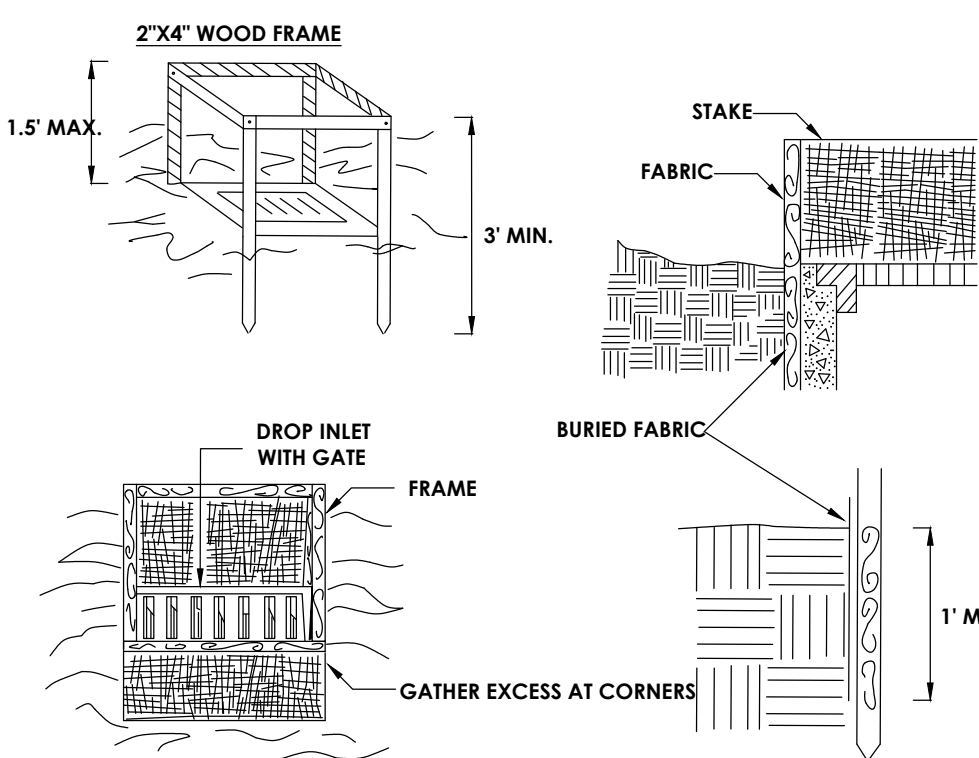


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL

N.T.S.



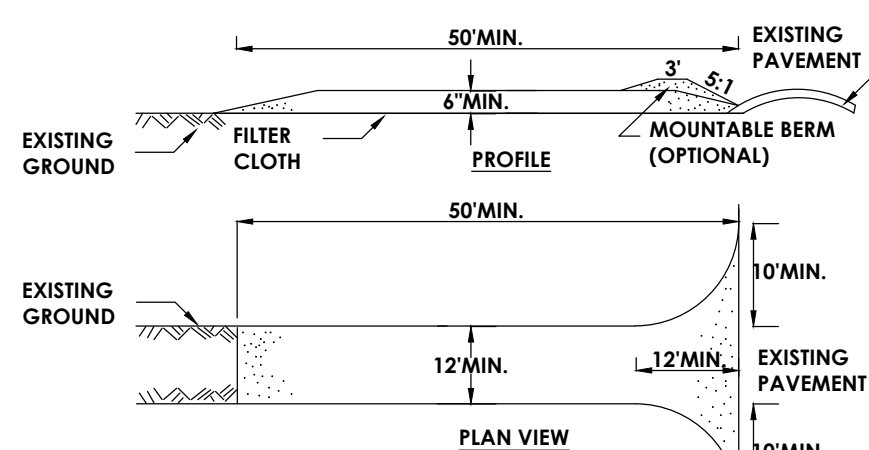
CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION

N.T.S.

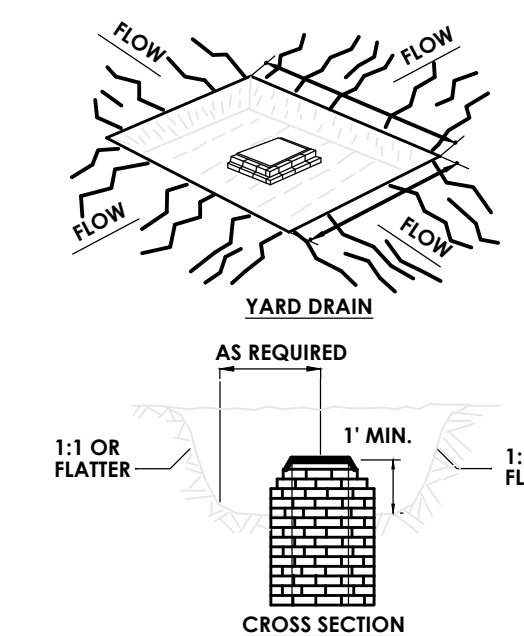


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



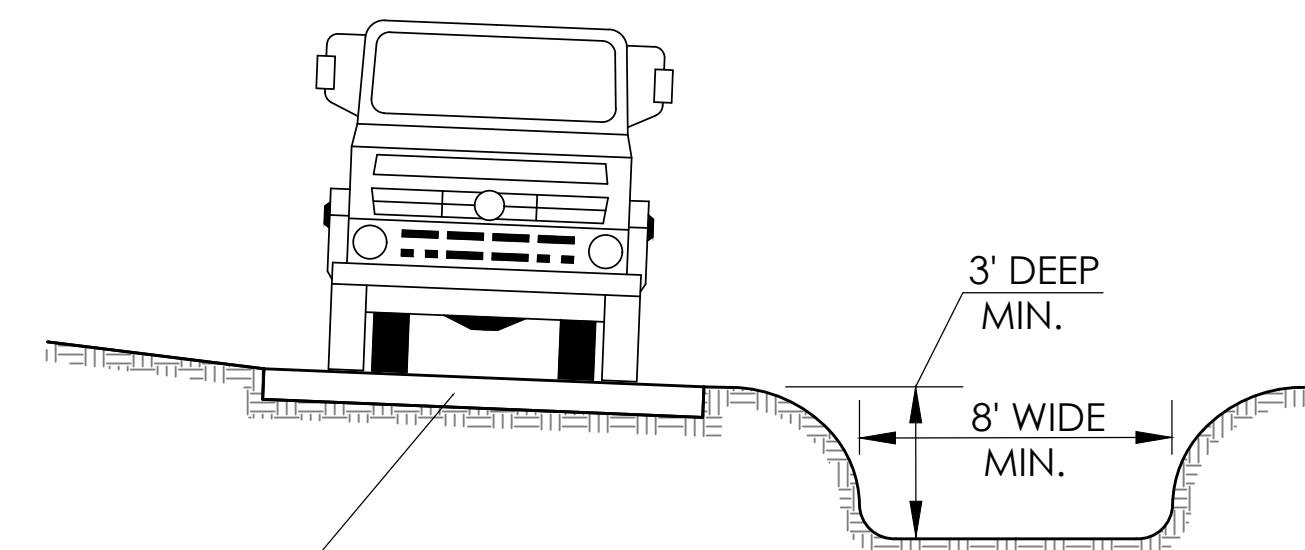
CONSTRUCTION SPECIFICATIONS

- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

MAXIMUM DRAINAGE AREA: 3 ACRES

CATCH BASIN SEDIMENT TRAP

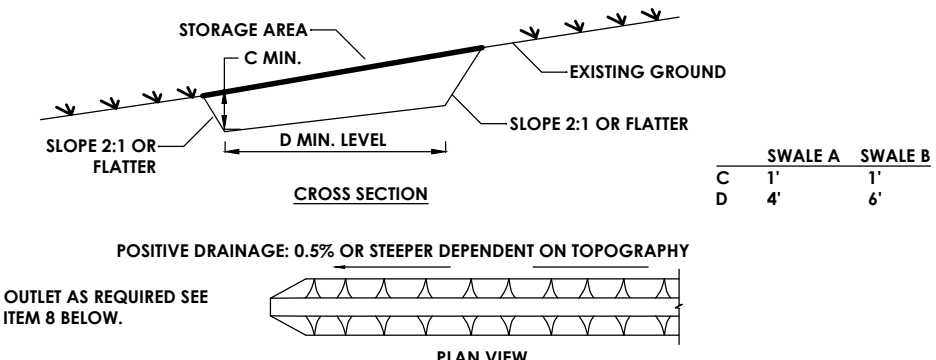
N.T.S.



PROVIDE 8" THICK STONE BASE WITH 2% MIN. CROSS SLOPE

TRUCK WASHDOWN AREA

N.T.S.

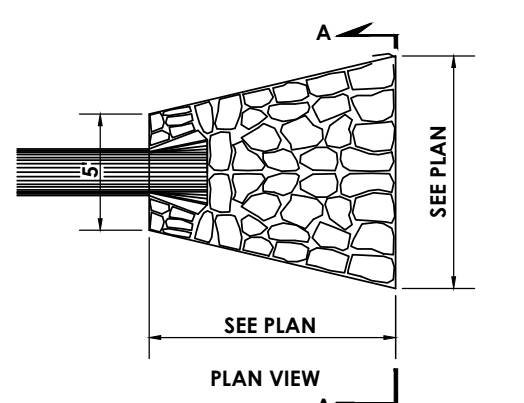


CONSTRUCTION SPECIFICATIONS

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVERTED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHARPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

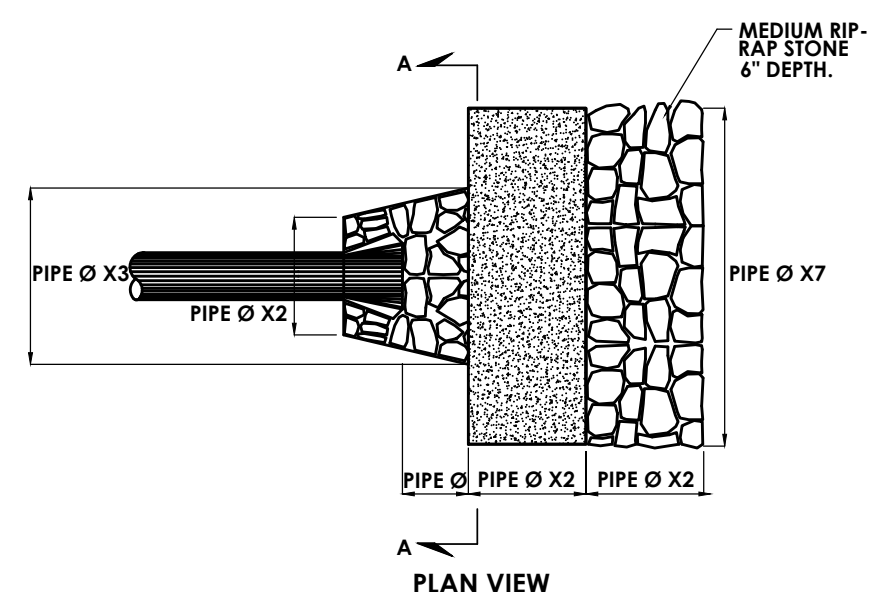
TEMPORARY SWALE DETAIL

N.T.S.



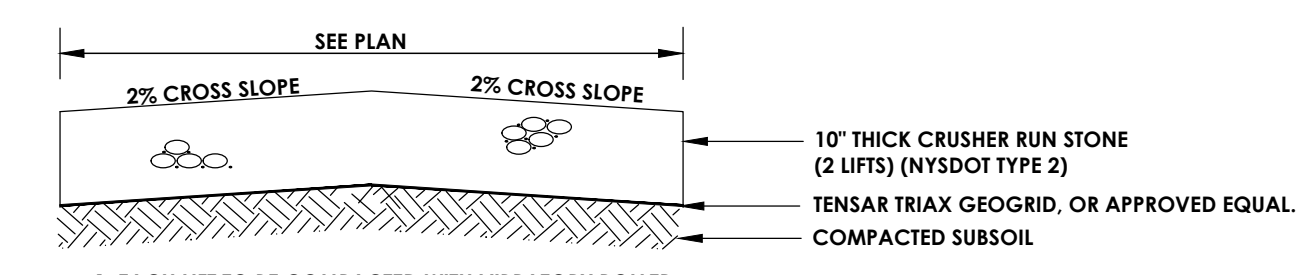
RIP-RAP DETAIL

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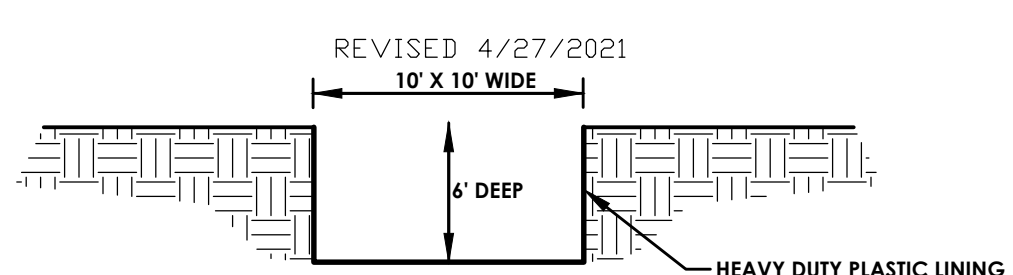
CONCRETE LEVEL SPREADER DETAIL

N.T.S.



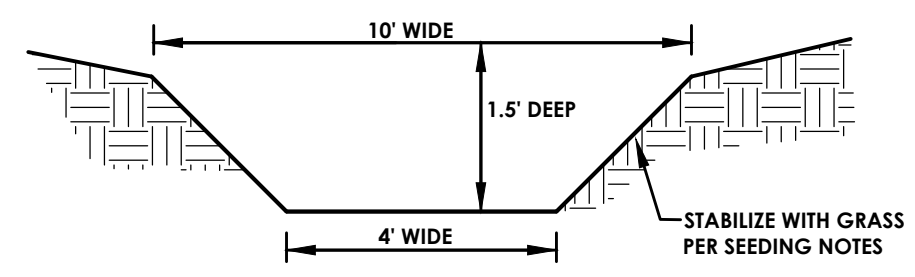
STORMWATER ACCESS ROAD

N.T.S.



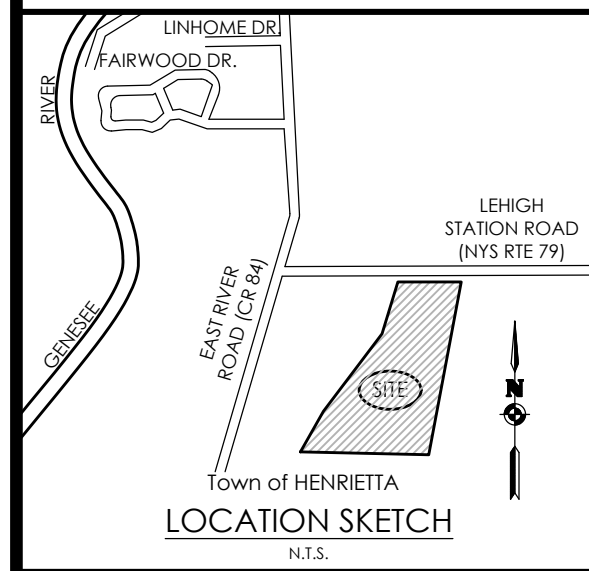
CONCRETE WASH OUT AREA

N.T.S.



GRASS DRAINAGE SWALE DETAIL

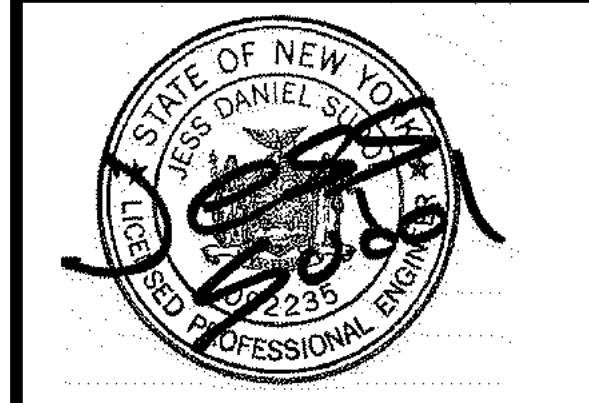
N.T.S.



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
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PASSERO ASSOCIATES

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Revisions			
No.	Date	By	Description

DETAILS

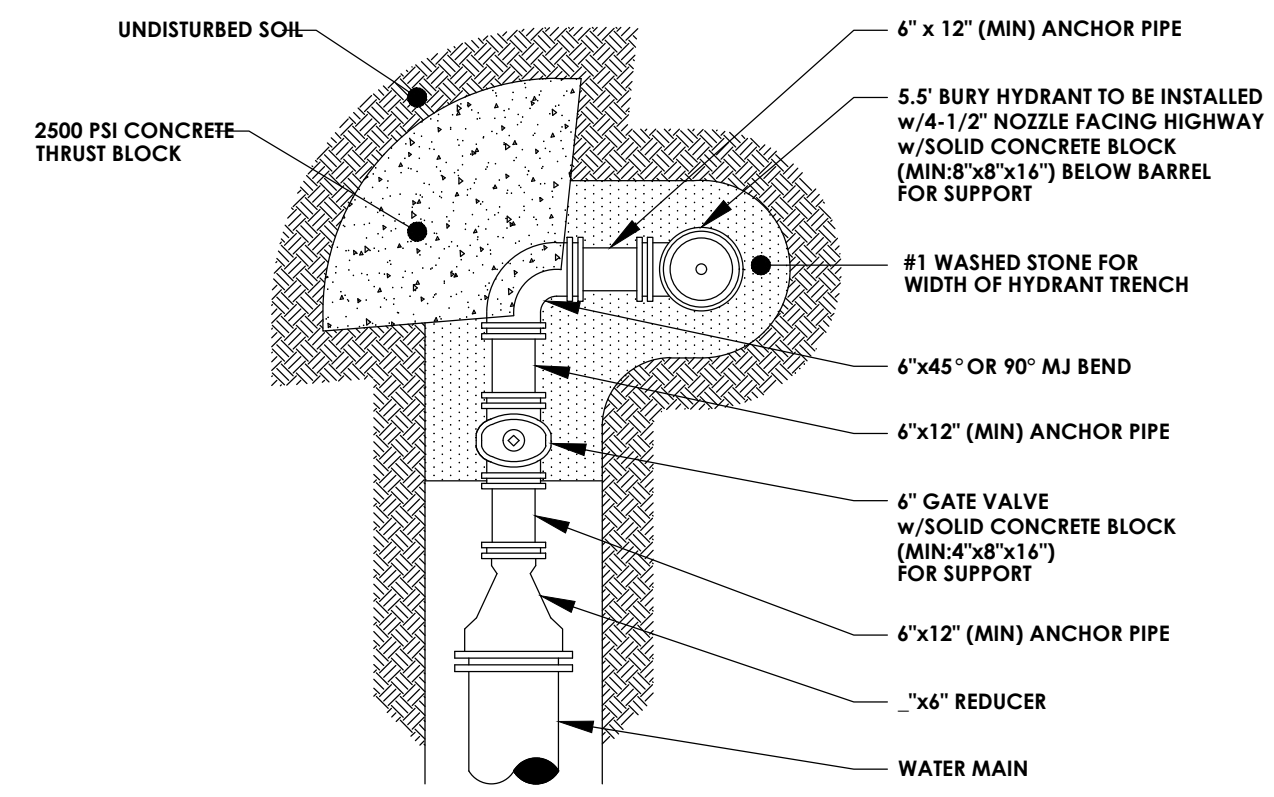
RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TRENDS & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No.
20192793.0007

Drawing No. **C 206** Sheet No. **28**

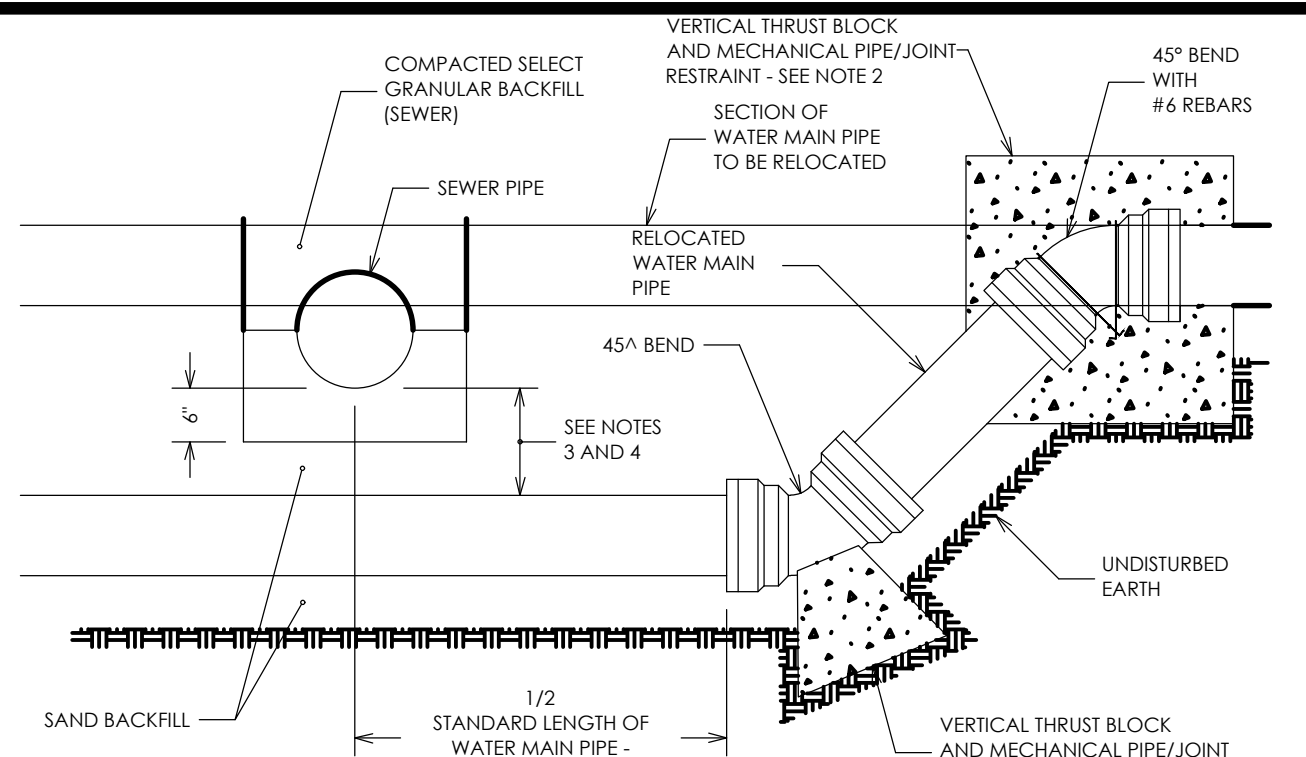
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Date: **JUNE 2023**



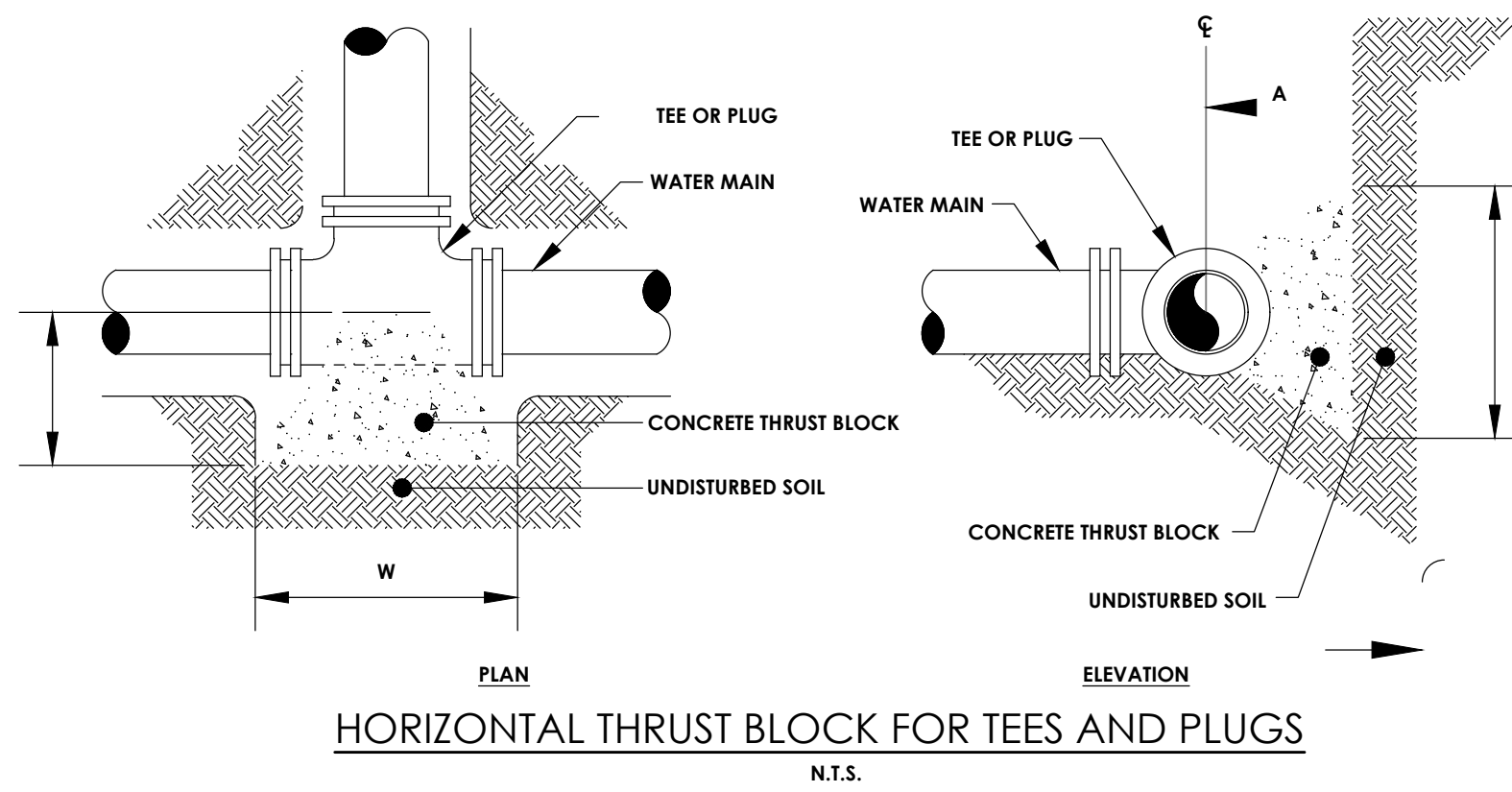
NOTE: TO BE USED WHEN WATER MAIN WILL NOT BE EXTENDED.

DEAD END PERPENDICULAR HYDRANT ASSEMBLY
N.T.S.

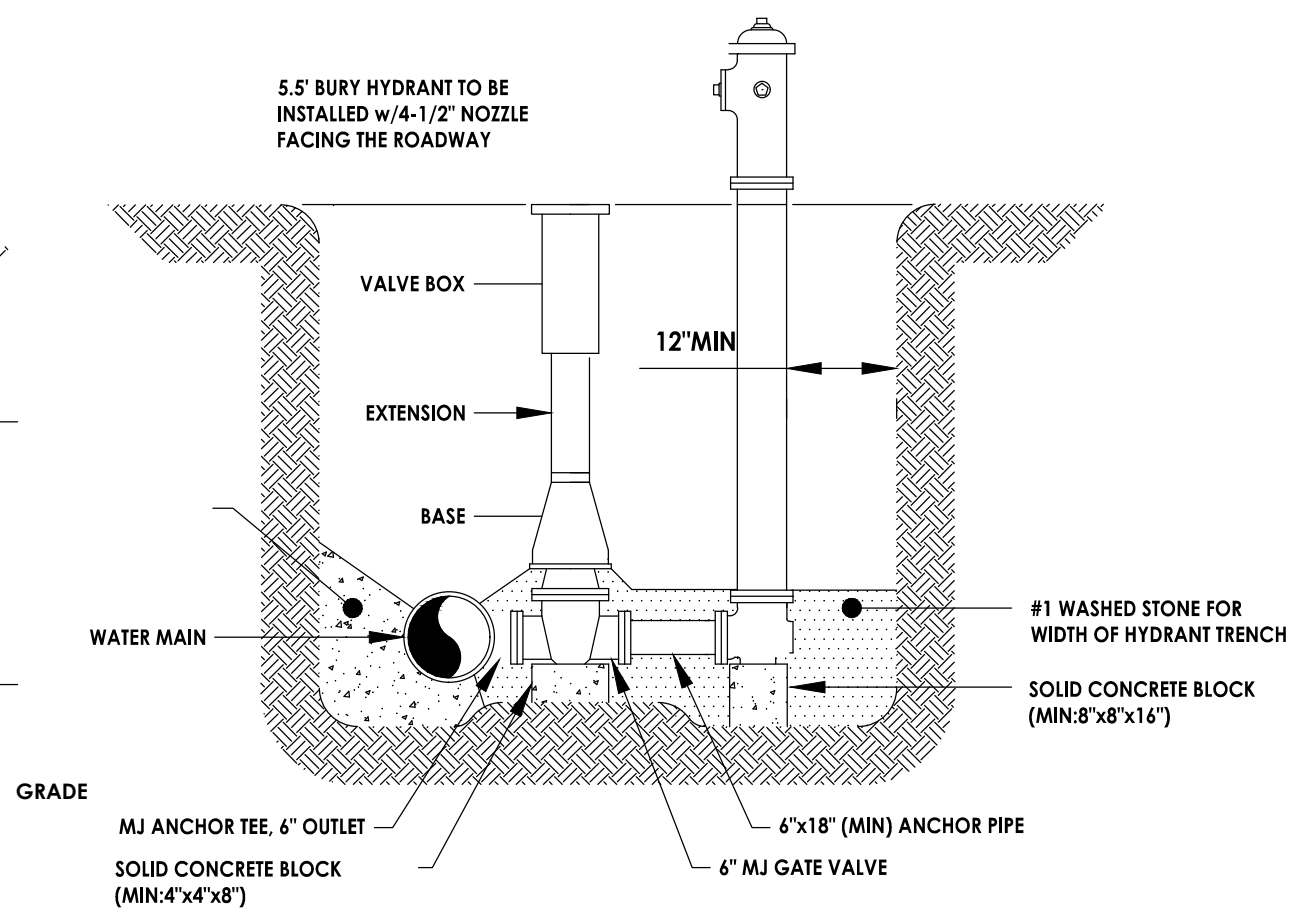


- NOTES:**
- ONE STANDARD FULL LENGTH OF WATER MAIN PIPE IS TO BE CENTERED ON SEWER PIPE SO THAT BOTH JOINTS OF WATER MAIN PIPE WILL BE AS FAR FROM SEWER PIPE AS POSSIBLE.
 - THRUST BLOCKS AND PIPE/Joint RESTRAINT ARE TO BE PROVIDED AT ALL BENDS.
 - WHERE WATER MAIN PIPE PASSES UNDER SEWER PIPE THERE IS TO BE MINIMUM 18 INCHES OF VERTICAL SEPARATION BETWEEN WATER MAIN PIPE AND SEWER PIPE.
 - WHERE VERTICAL SEPARATION IS LESS THAN MINIMUM 18 INCHES DESIRED, WATER MAIN PIPE JOINTS LOCATED WITHIN 18 FEET OF BOTH SIDES OF SEWER PIPE MUST BE ENCASED WITHIN CONTROLLED DENSITY FILL MATERIAL OR SEWER PIPE CONSTRUCTED WITH WATER MAIN STANDARD PIPE AND TESTED TO 150 PSI.
 - WHERE WATER MAIN PIPE PASSES UNDER SEWER PIPE THERE IS TO BE MINIMUM OF 6 INCHES OF CLASS K CONCRETE OR CRUSHED STONE BEDDING MATERIAL FOR SEWER PIPE.

WATERMAIN/SEWER CROSSING DETAIL

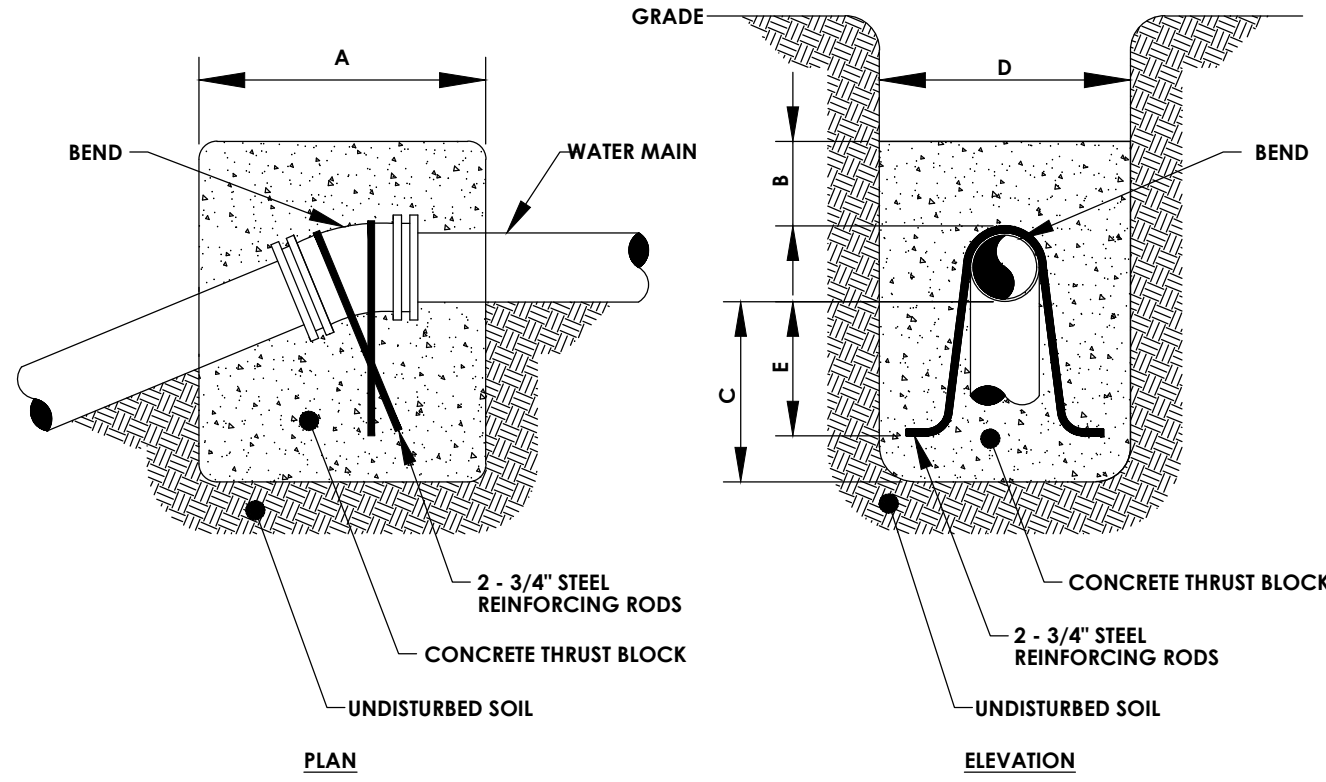


HORIZONTAL THRUST BLOCK FOR TEES AND PLUGS
N.T.S.



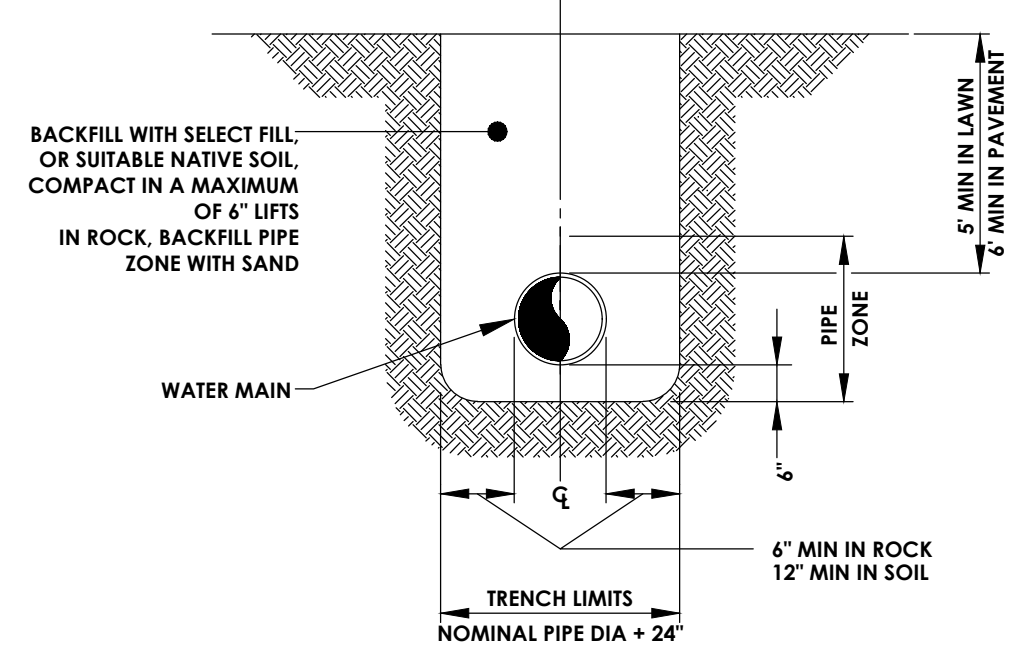
PERPENDICULAR HYDRANT ASSEMBLY
NOT TO SCALE

NOTE: ALL PRIVATE HYDRANTS (DOWNSTREAM OF THE MASTER METER) SHALL BE PAINTED "SAFETY RED"

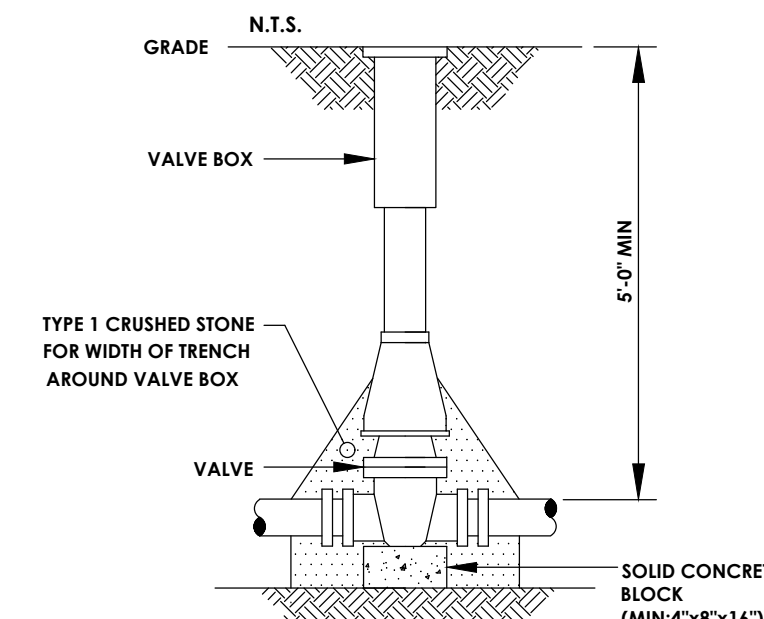


BEND *	MINIMUM VOLUME OF CONCRETE	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
8" x 11-1/4"	0.35 C.Y.	1.0	2.5	1.0	2.0	0.5
8" x 22-1/2"	0.70 C.Y.	1.5	2.5	1.5	2.0	1.0
8" x 45"	1.40 C.Y.	1.5	2.5	1.5	2.5	1.5

VERTICAL THRUST BLOCK
N.T.S.

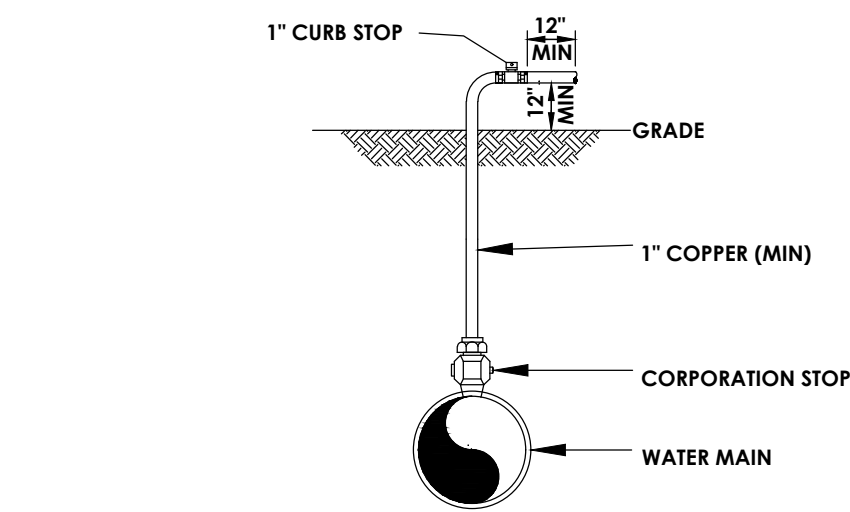


WATERMAIN TRENCH
N.T.S.



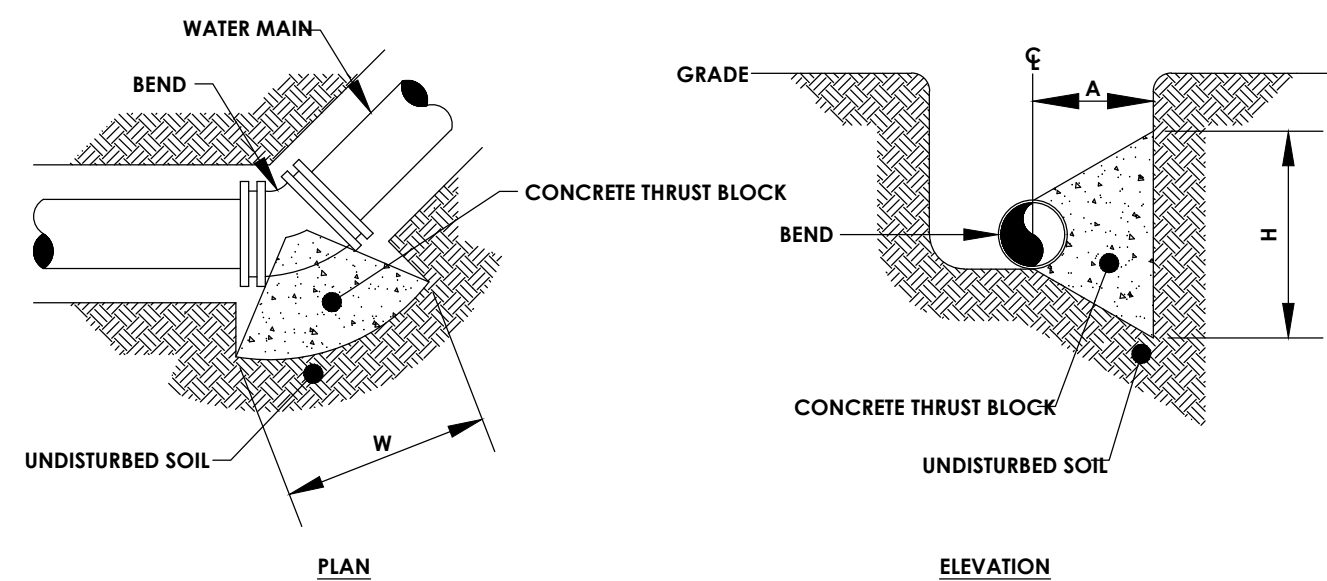
- NOTE:**
- VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
 - VALVE SHALL NOT SUPPORT VALVE BOX.
 - ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
 - ALL VALVES SHALL BE OPEN RIGHT.

WATER VALVE
N.T.S.



- NOTE:** IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN IN SERVICE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS. PLACEMENT OF THREADED BRASS PLUG MUST BE WITNESSED BY A MCWA REPRESENTATIVE.

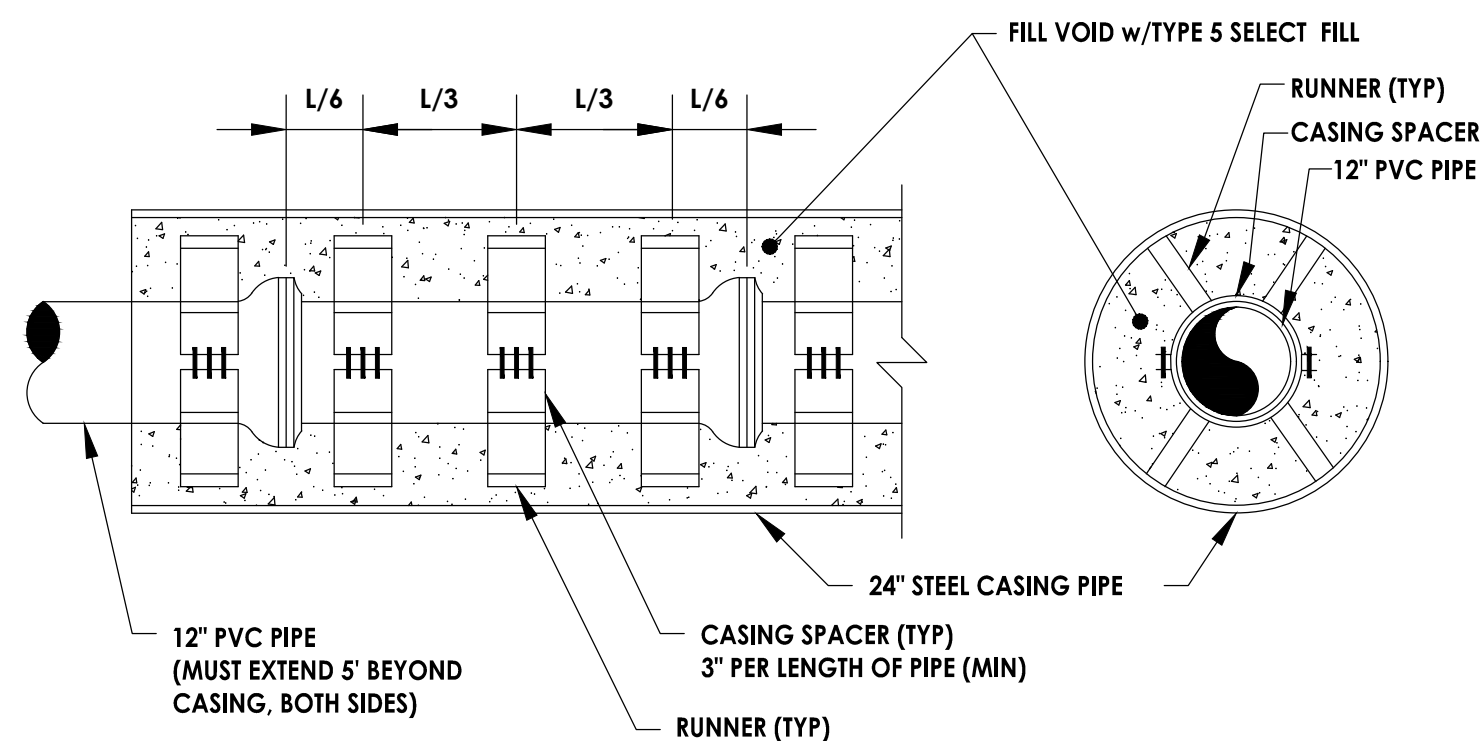
DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.



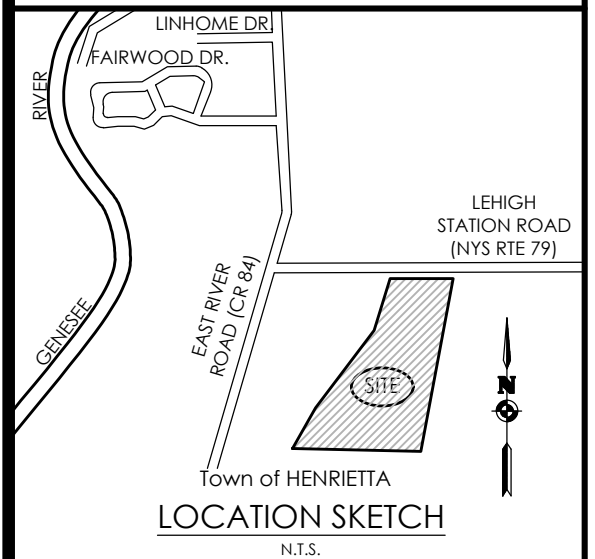
MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL			
FITTING	H	W	A
8" x 11-1/4" BEND	1.0	2.0	1.5
8" x 22-1/2" BEND	1.5	3.0	1.5
8" x 45" BEND	2.0	4.0	2.0
8" x 90" BEND	3.0	6.0	2.5
8" TEE OR PLUG	2.5	5.0	2.0

NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).

HORIZONTAL THRUST BLOCK FOR BENDS
N.T.S.

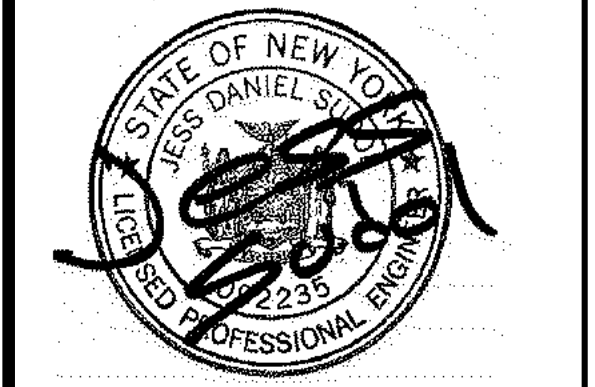


CASING PIPE
NOT TO SCALE



Client:
EAST RIVER HENRIETTA, LLC
64 COMMERCIAL STREET
SUITE 401
ROCHESTER, NY, 14614

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, PE
Project Manager: Andrew Burns, EIT
Designed by: Briana Mitchell

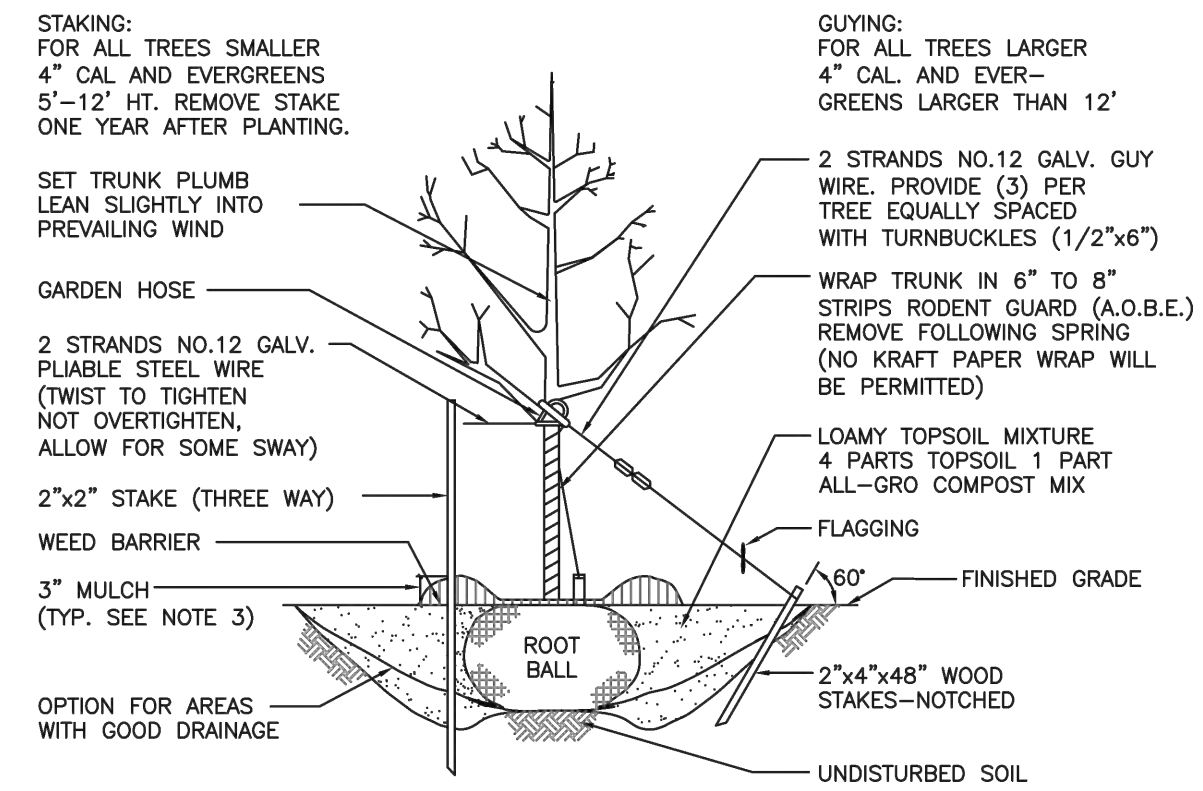


Revisions			
No.	Date	By	Description

DETAILS

RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
TOWNSHIP 14, RANGE 4, TIER 5 & GORHAM PURCHASE
Town/City: HENRIETTA
County: MONROE State: NEW YORK

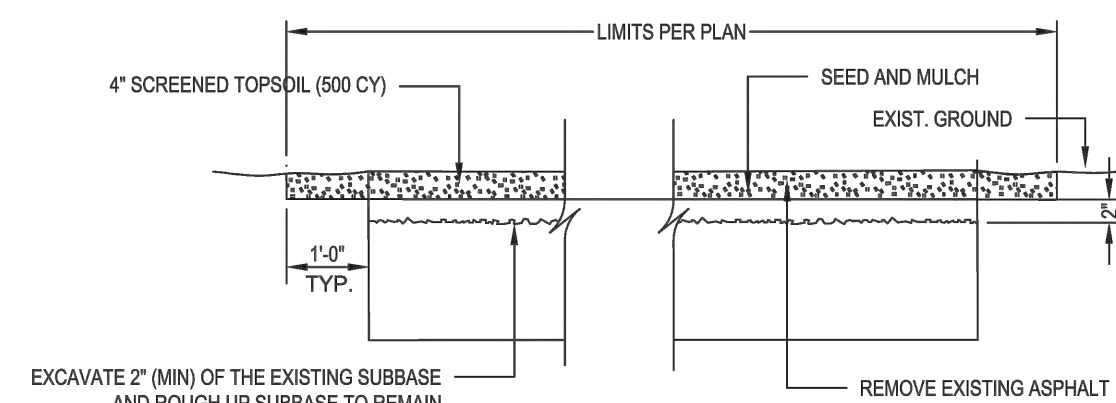
Project No.
20192793.0007
Drawing No. **C 207** Sheet No. **29**
Scale: **AS SHOWN**
Date: **JUNE 2023**



- NOTES:**
- USE 8" STAKES—DRIVE 48" BELOW GROUND.
 - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
 - MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
 - MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.

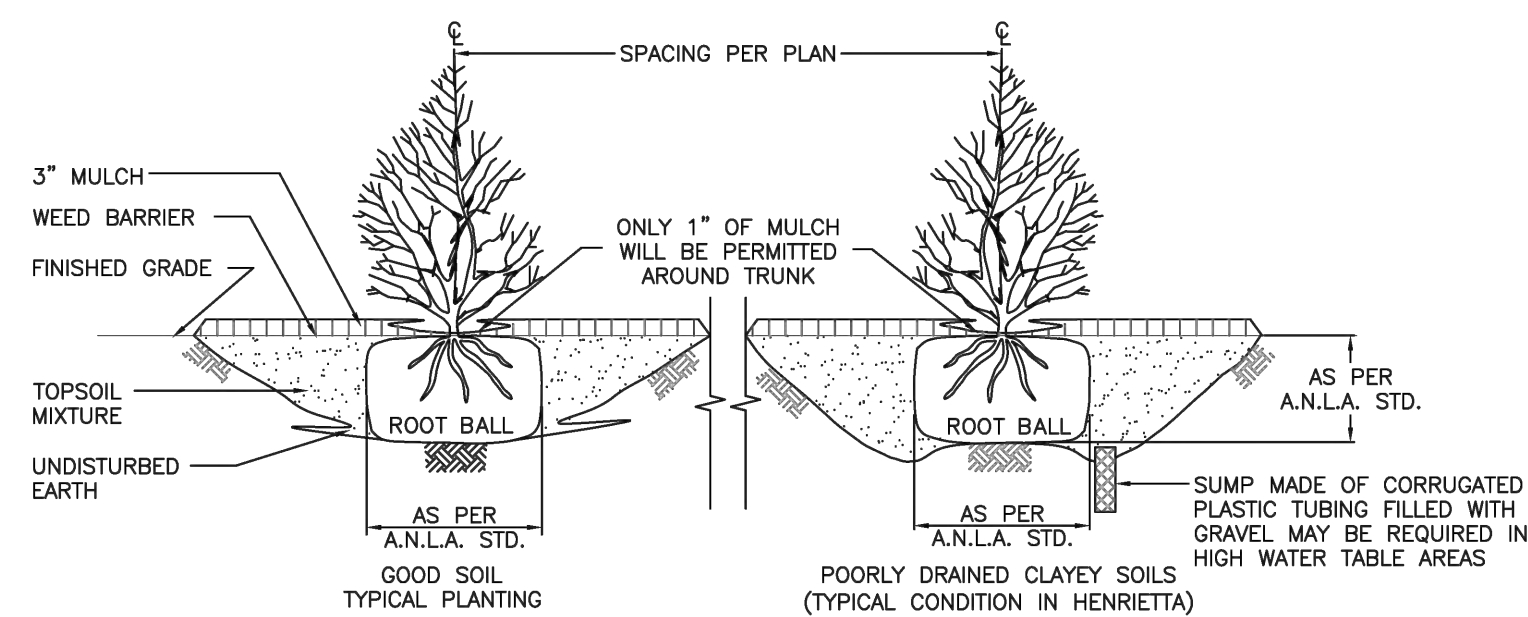
TREE PLANTING DETAIL
N.T.S.

<p>TOWN OF HENRIETTA</p>	TYPICAL TREE PLANTING DETAIL	
	SCALE: N.T.S.	DATE: 11/10/2011
	M-4b	



LAWN RESTORATION
N.T.S.

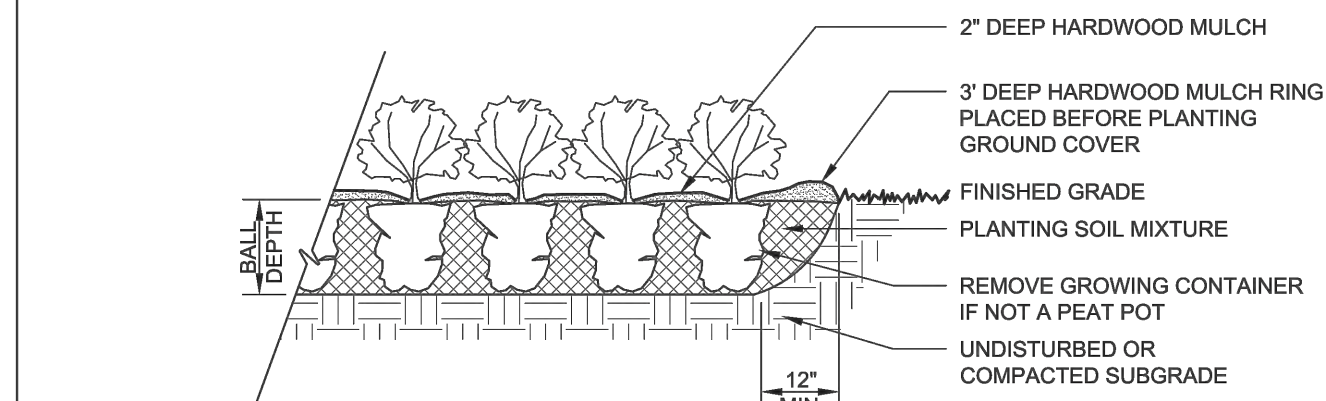
<p>TOWN OF HENRIETTA</p>	TYPICAL SHRUB PLANTING DETAIL	
	SCALE: N.T.S.	DATE: 10/9/2012
	M-4a	



- NOTES:**
- IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/3 OF THE BURLAP.
 - PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.

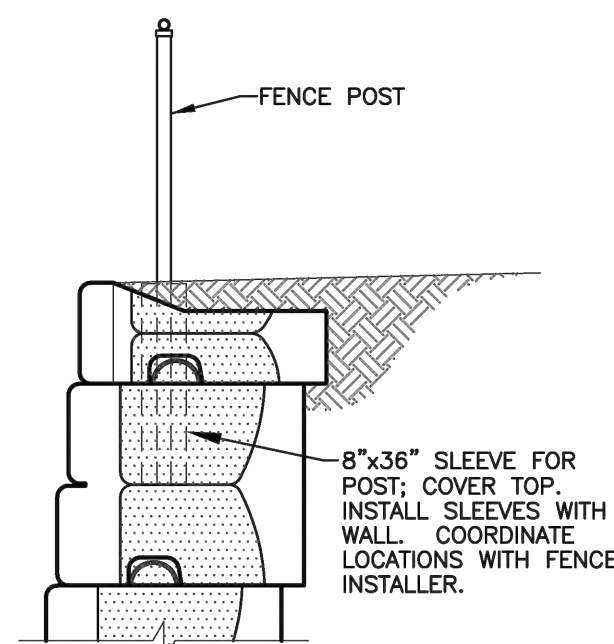
SHRUB PLANTING DETAIL
N.T.S.

<p>TOWN OF HENRIETTA</p>	TYPICAL SHRUB PLANTING DETAIL	
	SCALE: N.T.S.	DATE: 10/9/2012
	M-4a	



PERENNIAL AND GROUND COVER PLANTING
N.T.S.

<p>TOWN OF HENRIETTA</p>	TYPICAL SHRUB PLANTING DETAIL	
	SCALE: N.T.S.	DATE: 10/9/2012
	M-4a	

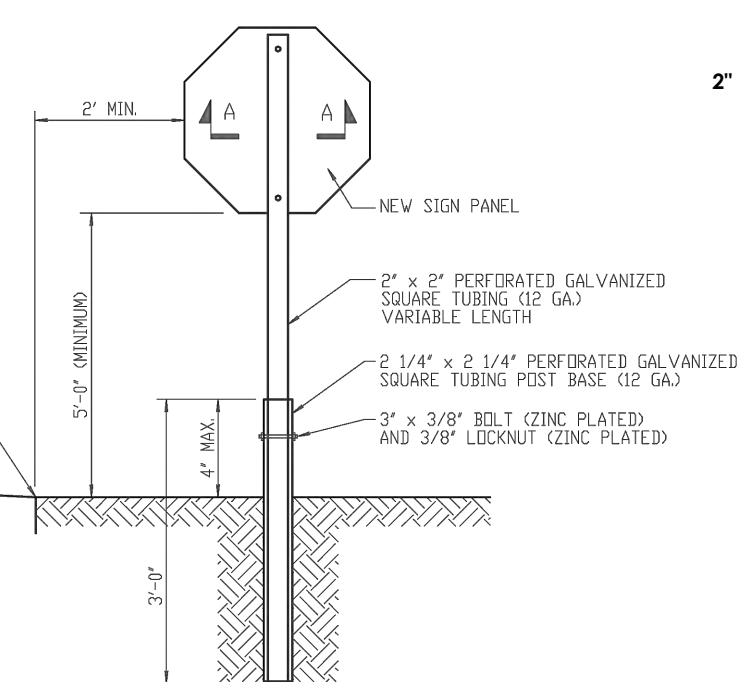
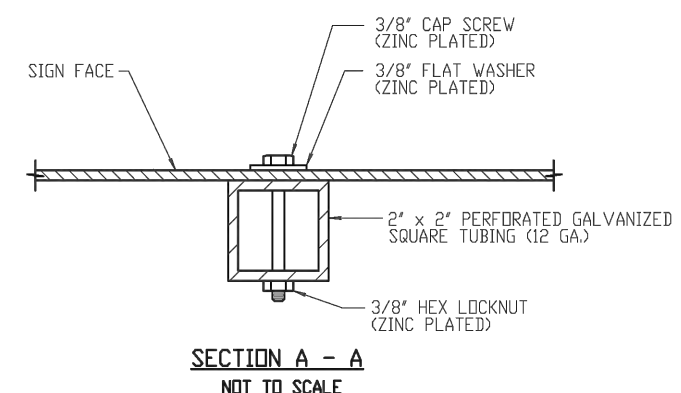


FENCE SLEEVE
N.T.S.

DISCLAIMER:
These typical details are preliminary and conceptual in nature. They are provided for general information purposes only. Anyone making use of these details and related information does so at their own risk and assumes all liability for such use. Site specific design should be performed by a licensed Professional Engineer based on actual site conditions, materials, and local practices.

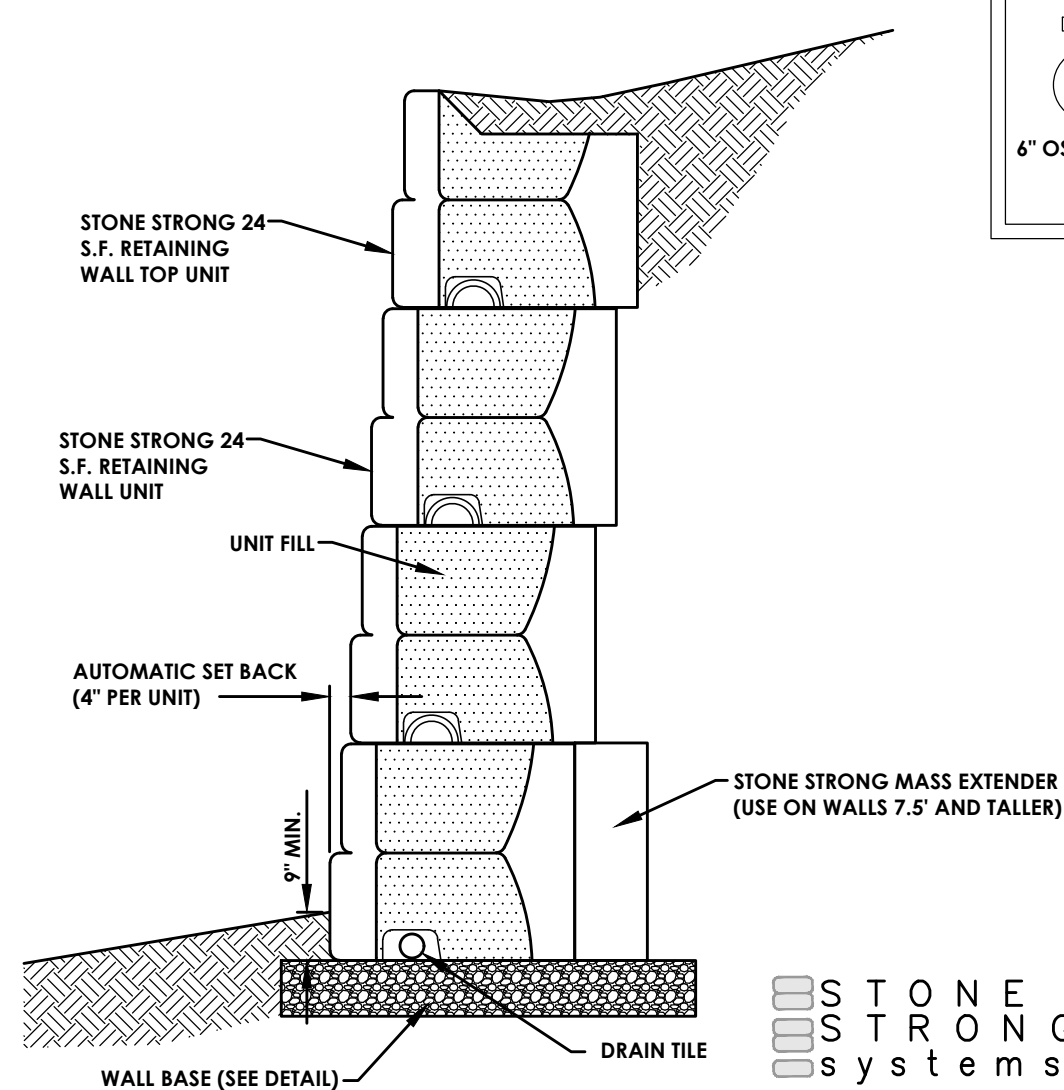
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<p>STONE STRONG SYSTEMS</p>	TYPICAL DETAILS	
	SCALE: N.T.S.	DATE: 6/29/18
	MCDOT SIGN INSTALLATION DETAIL	



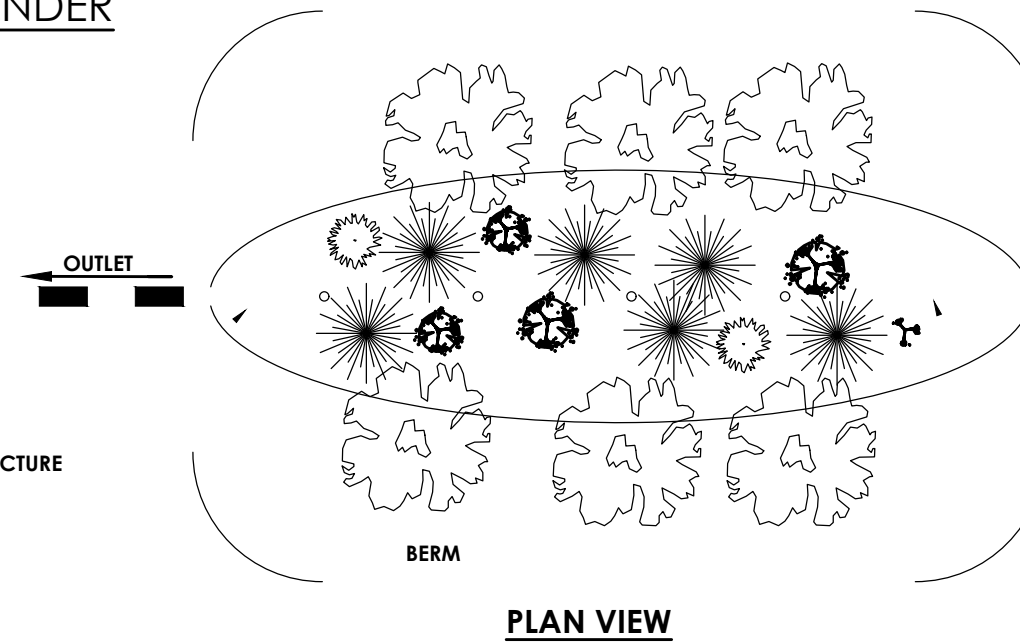
MCDOT SIGN INSTALLATION DETAIL
N.T.S.

12/12/13
REVISED

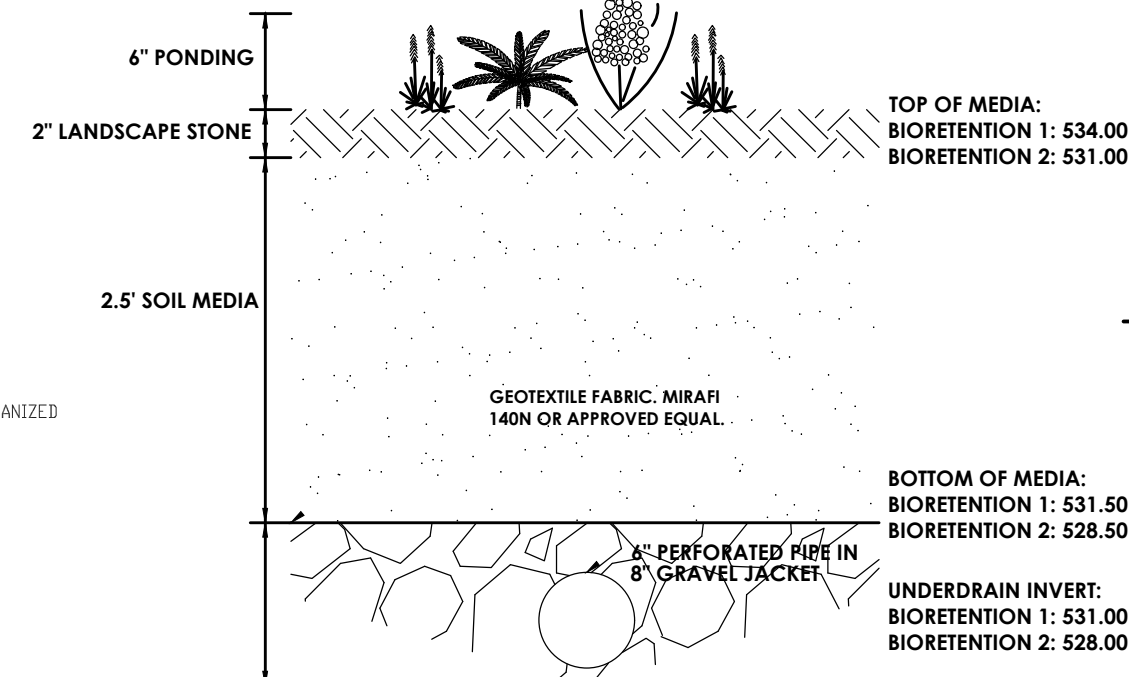


24 S.F. GRAVITY WALL
CROSS SECTION W/ MASS EXTENDER
N.T.S.

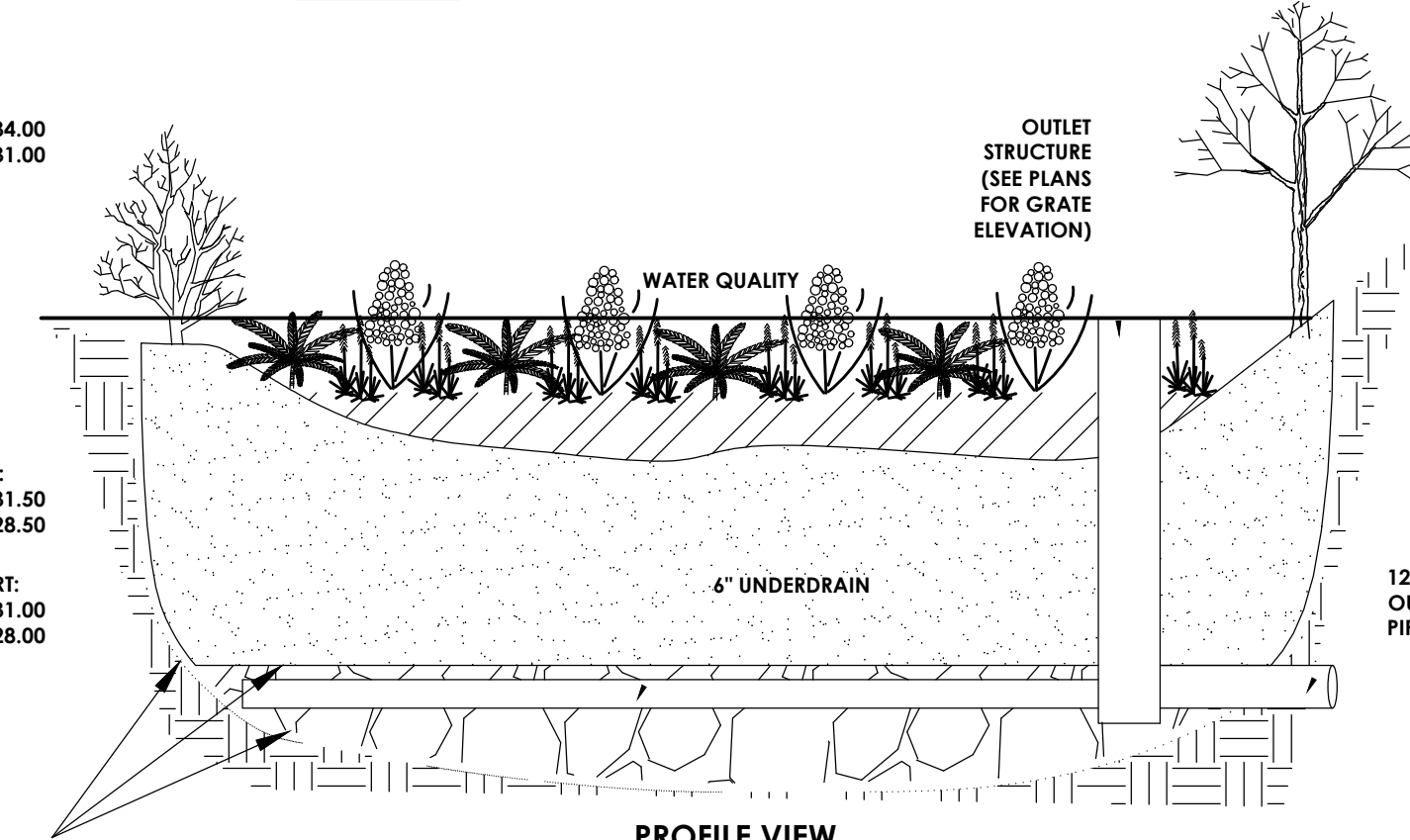
STONE STRONG SYSTEMS



PLAN VIEW

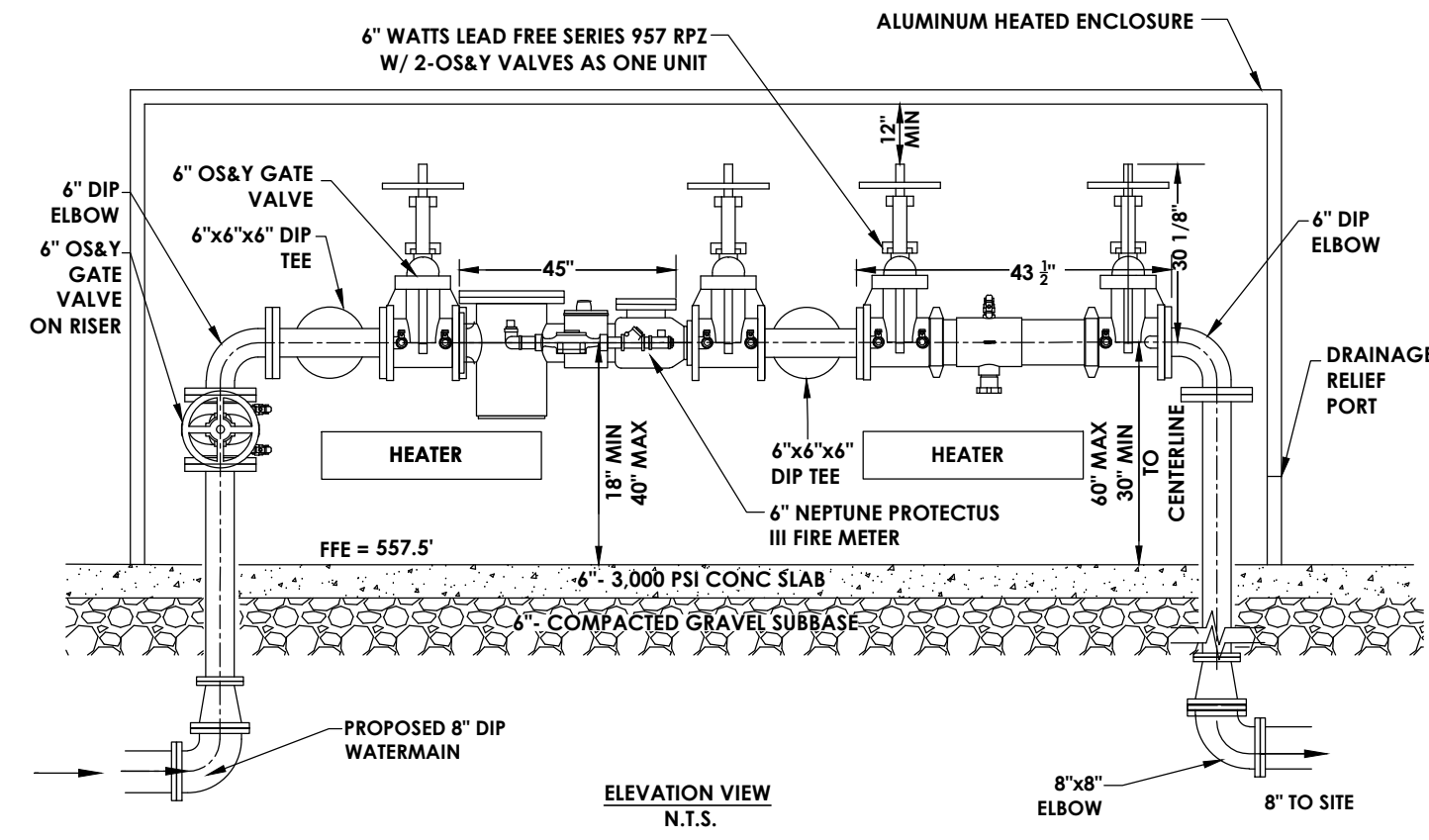


SECTION VIEW

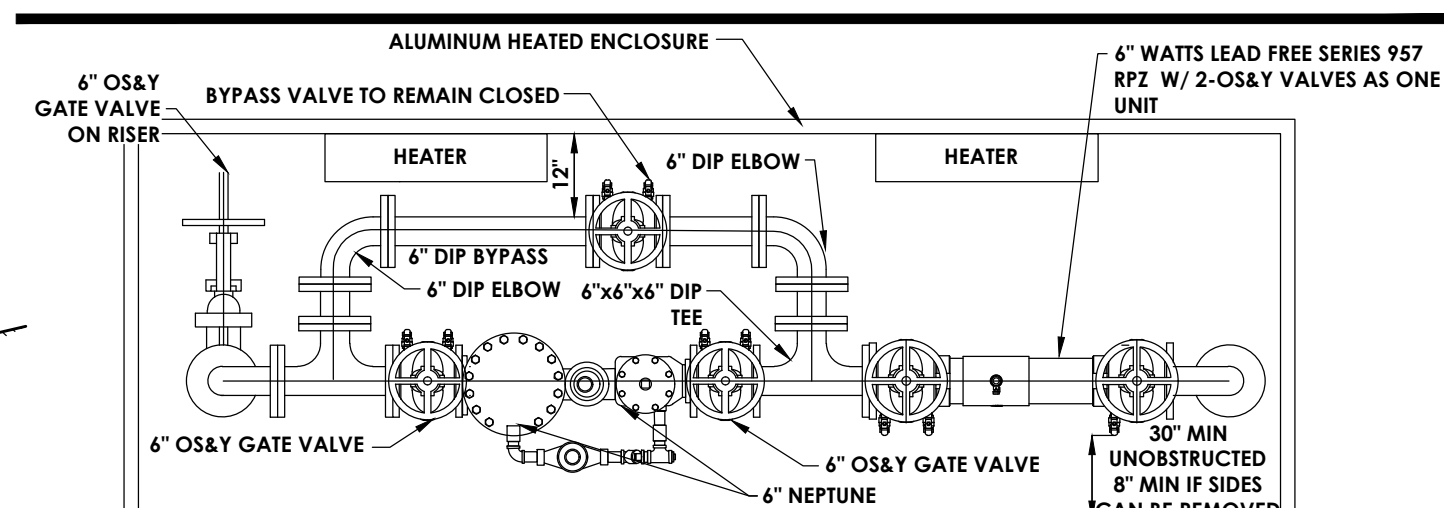


PROFILE VIEW

BIORETENTION AREA DETAIL
N.T.S.



ELEVATION VIEW
N.T.S.



PLAN VIEW
N.T.S.

R.P.Z. DESIGN

BACKFLOW APPROVAL STAMP

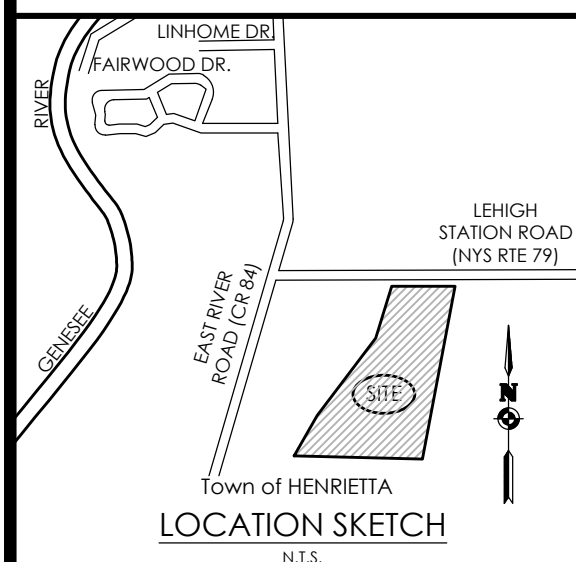
Monroe County Department of Public Health
These plans for the installation of backflow prevention device(s) are hereby approved pursuant to 10NVCRR5 of the State Sanitary Code subject to the conditions of Approval.

Director of Public Health

By: Public Health Engineer Date:

Monroe County Department of Public Health
Note: Approval granted with the understanding that said plans are subject to review and reapproval after two years from date hereon, if installation is not completed by that time.

- INSTALLATION NOTES:**
- ANY DEVIATION FROM THESE PLANS SHALL REQUIRE RE-APPROVAL BY ENGINEER.
 - ALL DIMENSIONS ARE MINIMUM.
 - ALL LOCAL & STATE CODES SHALL GOVERN.
 - THIS PLAN MAY BE NOTATED FOR OPPOSITE INSTALLATION.
 - VALVES WITH RPZ SHALL BE AS ONE UNIT.
 - RPZ SHALL BE LOCATED IN A LIGHTED AND HEATED AREA.
 - ALL NECESSARY PIPE & EQUIPMENT SUPPORT SHALL BE PROVIDED.
 - AIR GAP FITTINGS ARE NOT ALLOWED.
 - ALL PIPING BEFORE THE BACKFLOW PREVENTER(S) TO BE BRASS, COPPER OR CEMENT LINED DUCTILE IRON.
 - VITALLIC FITTINGS ARE NOT ALLOWED BEFORE THE BACKFLOW PREVENTERS.
 - BACKFLOW PREVENTERS ARE TO BE INSTALLED SO THAT TEST PORTS ARE ON TOP OR FRONT SIDE OF DEVICE.

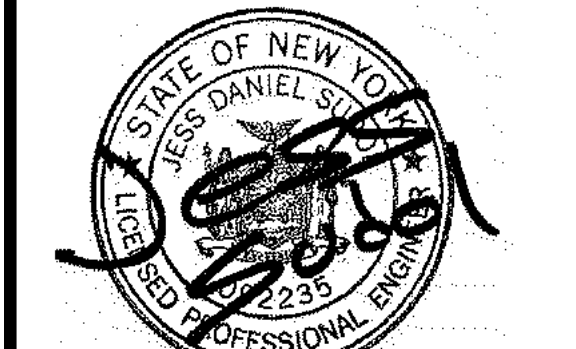


LOCATION SKETCH
N.T.S.

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RIVERS EDGE
BEING PART OF TOWN LOTS 1 & 2, SECTION 13,
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Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No:
20192793.0007

Drawing No. **C 208** Sheet No. **30**

Scale: **AS SHOWN**

Date: **JUNE 2023**