



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 07/12/2023

I (we) Ric Carley of Nichols Construction Team
Name of Applicant / Business Business Address (Number & Street)

75 Highpower Rd Rochester NY 14623 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 200 Park Centre Dr
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

A proposed a 28,200 SF addition on the north side of the existing building, a sidewalk extension on the West side of the existing building, a new overhead door entrance and concrete pad on the East side of the existing building, and an expansion of the existing paved area at the Northeast of the site to facilitate truck turning movements.

Applicant: Ric Carley

Address: 75 Highpower Rd

Rochester NY 14623

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: Orafol Precision

Address: 1100 Orafol Pkwy

Black Creek GA 31308

Phone #: _____

Email: _____

Applicant Signature: 

Engineer/Architect: Matt Tomlinson

Address: Marathon Engineering

39 Cascade Dr Roch NY 14614

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: _____

Address: _____

Phone #: _____

Email: _____

Print Name: Ric Carley

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

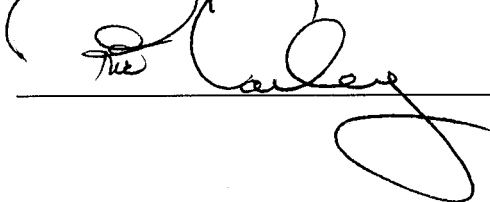
- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Ric Carley

By: THE NICHOLS TEAM, INC

Title: PRESIDENT

Dated: 7/12/2023

Signed: 

Owner: _____

By: _____

Title: _____

Dated: _____

Signed: _____



39 Cascade Drive / Rochester, NY 14614 / Phone (585) 458-7770

July 12, 2023

Mr. Christopher Martin
Town of Henrietta
475 Calkins Rd
Rochester NY 14623

Re: Preliminary/Final Site Plan Approval
ORAFOL Precision Expansion Project
200 Park Centre Drive
Town of Henrietta, County of Monroe, State of New York

Dear Chris,

On behalf of our clients, Nichols Construction Team and ORAFOL Precision Technology Solutions (ORAFOL Precision), we are submitting materials for the above-referenced project and ask that this application for Preliminary/Final Site Plan Approval be placed on the agendas for the Planning Board meeting of August 15, 2023, and the Conservation Board meeting of August 1, 2023.

ORAFOL Precision is seeking to improve their operations at the 9.0± acre site, which is located on the east side of Park Centre Drive, approximately 725 feet south of Bailey Road. The parcel is zoned Industrial (Mixed-Use Employment Center Overlay); there is no change in the proposed use, which is an allowed use in that district. No variances are required for this project.

A 28,200± Sf addition on the north side of the existing building that will contain both manufacturing and office space. Other proposed site improvements include a sidewalk extension on the west side of the existing building, a new overhead door entrance and concrete pad on the east side of the existing building, and an expansion of the existing paved area at the northeast of the site to facilitate truck turning movements.

No additional parking spaces will be constructed; the existing parking is sufficient for their current and projected operational needs. Parking sufficient to satisfy the code requirements is shown as Future Parking on the Site Plan. It is acknowledged that should any additional parking be needed in the future, approval from the Town will be required prior to construction.

Enclosed with this submission is the following information to aid in your review:

- 12 copies of this Letter of Intent
- 1 copy of the Site Plan Application
- 1 copy of the Site Plan Checklist
- 1 copy of the of the Short Environmental Assessment Form (SEAF) Part 1
- 2 copies of the Drainage Report
- 14 copies of the Site Plan Set (full-size)

Going the distance for you.

Preliminary/Final Site Plan Approval
ORAFOL Precision Expansion Project
200 Park Centre Dr, Town of Perinton
07/12/2023

- 14 copies of architectural floor plans and elevations (full-size)
- A check in the amount of \$150 for the Application Fee
- A check in the amount of \$700 for the Engineering Plan Review Charge

In addition, we are sending an electronic copy of the submission materials to drawings@henrietta.org

We look forward to discussing this project with the Planning Board and the Conservation Board. In the meantime, if you have any questions, or require additional information, please do not hesitate to contact our office.

Respectfully submitted,



John Schell
Marathon Engineering

cc: Ric Carley, Nichols Construction Team

Short Environmental Assessment Form

Part 1 - Project Information

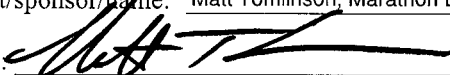
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Orafol Precision Expansion			
Project Location (describe, and attach a location map): 200 Park Centre Dr, Henrietta NY			
Brief Description of Proposed Action: A proposed a 28,200 SF addition on the north side of the existing building, a sidewalk extension on the West side of the existing building, a new overhead door entrance and concrete pad on the East side of the existing building, and an expansion of the existing paved area at the Northeast of the site to facilitate truck turning movements.			
Name of Applicant or Sponsor: Ric Carley		Telephone: [REDACTED] E-Mail: [REDACTED]	
Address: 75 Highpower Rd			
City/PO: Rochester		State: NY	Zip Code: 14623
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 9.05 acres b. Total acreage to be physically disturbed? _____ 0.99 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 9.05 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____		
Existing stormwater management facility _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Matt Tomlinson, Marathon Engineering, as Agent</u> Date: <u>7/12/23</u>		
Signature: <u></u> Title: <u>Project Manager</u>		

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



SITE PLAN CHECKLIST

PROJECT NAME: Orafol

APPLICATION No. _____

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-
- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
- a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - N/A d. Landscape Plan *EXISTING LANDSCAPING PRESERVED*
 - N/A e. Lighting Plan *EXISTING LIGHTING PRESERVED*
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
- a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- N/A 8 By plan note, list all variances and special permits accompanied by Application Number and approval date. *NO VARIANCES OR SPECIAL PERMITS REQUIRED*
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: Orafol

APPLICATION No. _____

-
-
- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
- N/A* 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction. *NO MONUMENTS ON SITE*
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums: *NO LANDSCAPING PLAN; EXISTING LANDSCAPING PRESERVED*
- N/A* a. To scale plot of proposed trees and/or shrubs *PRESERVED*
- N/A* b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
- N/A* c. Enlargement details for areas of proposal that are not legible at the plan scale.
- N/A* d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
- N/A* e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
- N/A* f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
- N/A* g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: Orafol

APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- N/A 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
EXISTING LIGHTING WILL BE PRESERVED
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
*NO DRAINAGE TO OR FROM OFFSITE FOR WORK AREA SO
CONTOURS NOT CARRIED 100 FT OFFSITE*
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
SHOWN ON PLAN NOT PROFILE.
- N/A 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- N/A 30 Show wetland and buffer zone limits (when applicable).
- N/A 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
SHOWN ON PLAN NOT PROFILE.
- N/A 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe
NO PROPOSED SANITARY SEWERS



SITE PLAN CHECKLIST

PROJECT NAME: Orafol

APPLICATION No. _____

sizes, and details of any water crossings.

- N/A 34 Show location and size of proposed water services and/or watermains including shutoff valves. *NO PROPOSED WATER SERVICES OR MAINS*
- 35 Show location of fire protection systems components.
FIRE PROTECTION SYSTEM WILL BE SUBMITTED WITH BUILDING PERMIT
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- N/A 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- N/A 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan. *NO MATERIALS TO BE BURIED*
- N/A 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix. *NO NEW ENTRANCE DRIVES OR CHANGES TO SITE CIRCULATION ARE PROPOSED.*
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
- a. Environmental Assessment Form (one copy)
(Short Form or Part 1 Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: Orafol

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- N/A* 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).
NOT TYPE I

Prepared for: Ric Carley
Name of Developer

7/12/2023
Date

Nichols Construction
Company Name

75 Highpower Rd
Street Address

Rochester NY 14623
City, State, Zip



SITE PLAN CHECKLIST

PROJECT NAME: Orafol

APPLICATION No. _____

Telephone Number

Prepared by: Matt Tomlinson
Name of Consultant

7/12/2023
Date

Marathon Engineering
Company Name

9 Cascade Dr
Street Address

Rochester NY 14614
City, State, Zip

[REDACTED]
Telephone Number

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual Ric Carley
Responsible Firm The Nichols Team
Street Address _____
City, State, Zip Code _____
Telephone Number ()

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual _____
Responsible Firm _____
Street Address _____
City, State, Zip Code _____
Telephone Number ()

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By _____
Address _____
City, State Zip _____
Telephone Number ()



July 18th, 2023

Letter of Authorization

ORAFOL Precision Technology Solutions
200 Park Center Dr.
West Henrietta, NY 14586

Letter of Authorization stating Marathon Engineering and Nichols Construction Team to apply as well as represent ORAFOL Precision Technology Solutions in the Planning Board Submission Process for the addition to the existing building at 200 Park Center Dr., West Henrietta, NY 14586.

A handwritten signature in black ink, appearing to read "David Jacob", written over a horizontal line.

David Jacob
Managing Director

David Jacob
Managing Director



Website: www.orafol.com



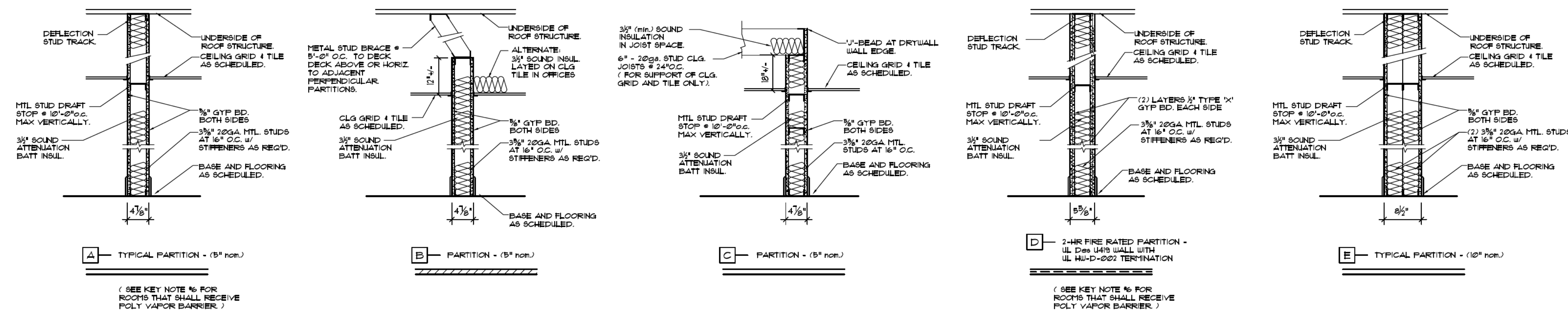
Orafol Americas, NY
200 Park Centre Drive, West Henrietta NY 14586

FIRST FLOOR PLAN GENERAL NOTES:

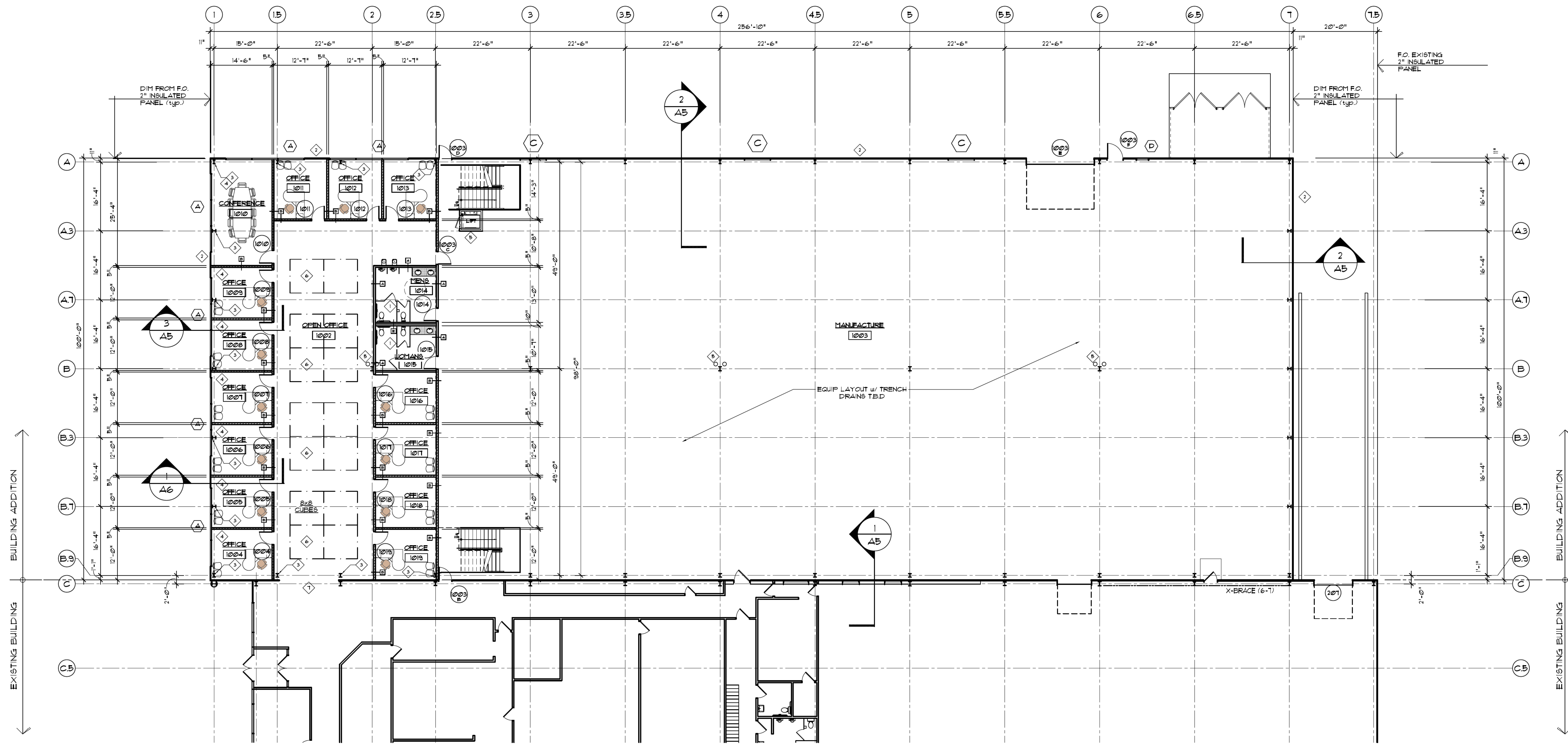
1. **F.E.C. 1** FIRE EXTINGUISHER CABINET (OR WALL HUNG EXTINGUISHER) LOCATION, MOUNTING HEIGHT TO THE TOP OF THE CABINET SHALL BE APPROX. 40" AFF. COORDINATED WITH SELECTED UNIT. GC SHALL REVIEW FINAL LOCATIONS WITH FIRE MARSHAL PRIOR TO EXTINGUISHER MOUNTING INSTALLATION.
2. ALL MILLWORK SHALL BE REVIEWED AND DETERMINED BY OWNER. PROVIDE BLOCKING FOR MILLWORK ANCHORING.
3. REFER TO ELECTRICAL DRAWINGS FOR ALL FIRE ALARM TYPES AND LOCATIONS, EXIT SIGNAGE AND EMERGENCY LIGHTING LAYOUTS.
4. PARTITION TYPE TAG DESIGNATION. REFERENCE DRAWING 3/44 FOR PARTITION TYPE DETAILS AND NOTING INFORMATION.

FLOOR PLAN KEY NOTES:

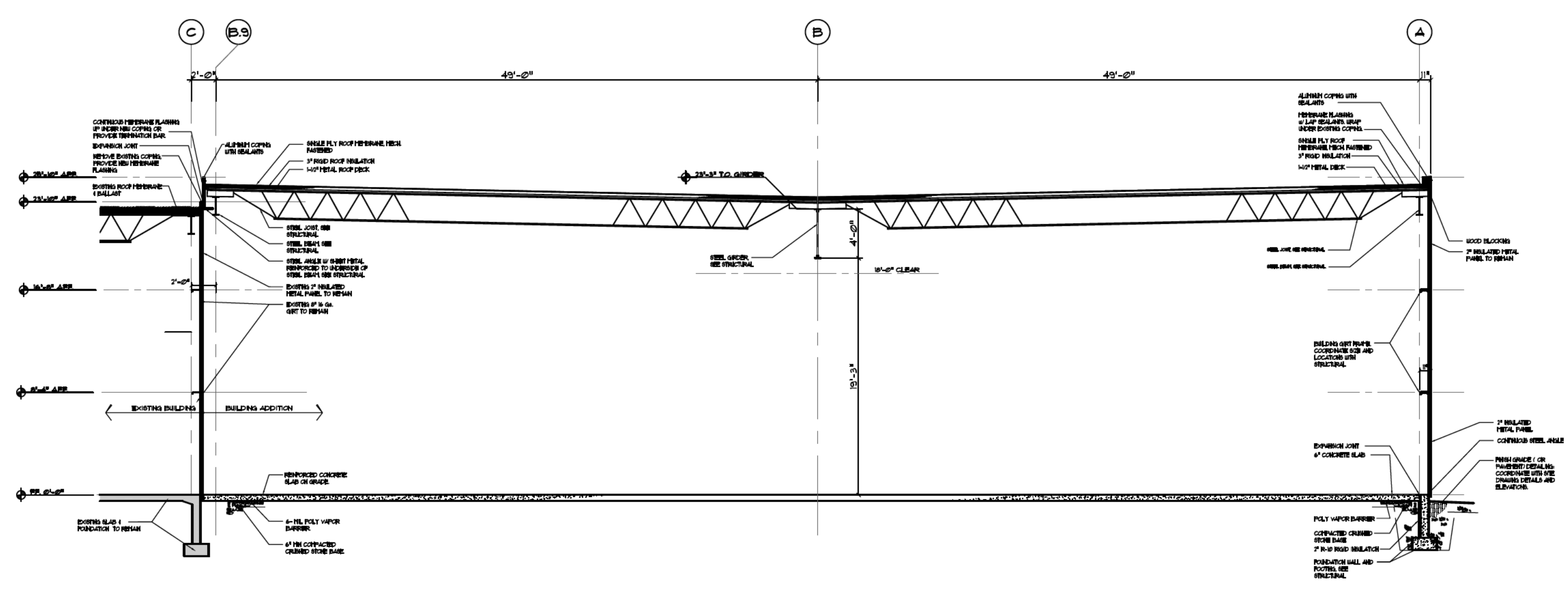
1. TOILET STALL AND URINAL PARTITIONS, MATERIAL AS SPECIFIED BY GC, COLOR SELECTION BY OWNER.
2. EXISTING METAL SIDING PANELS SHALL REMAIN AS FINAL WALL MATERIAL ALONG NORTH WALL, UNLESS OTHERWISE NOTED. (EXTERIOR OF EXISTING BUILDING) SURFACES TO BE CLEANED AND PREP'D TO RECEIVE NEW PAINT FINISH.
3. WRAP METAL STUD FRAME (OR FURRING) TIGHT TO BUILDING COLUMNS. PROVIDE 3/8" GUEB FINISH.
4. EXPOSED TUBE AND BUILDING STEEL FRAME THAT IS TO BE LEFT EXPOSED SHALL BE PAINTED. REVIEW EACH LOCATION w/ OWNER. PROVIDE ALT TO CONCEAL WITH METAL STUD FRAME 4 GUB. (TYPICAL ALONG WEST WALL).
5. ROOF LEADER 4 OVERFLOW DRAIN DROPS TO BE COORDINATED WITH PLUMBING ENGINEER. FINAL LOCATION TO BE REVIEWED.
6. ALL WORK AREA STATIONS 4 TABLES IN THROUGHOUT LAB AREAS SHALL BE BY OWNER 4 OWNER'S VENDOR. w/ COORDINATION OF INSTALL BY OWNER, VENDOR AND GC. REFERENCE EQUIPMENT 4 FIXTURE PLAN 1/43 FLOOR PLAN 4 EQUIPMENT SCHEDULES.
7. NEW OPENING IN EXISTING WALL FOR EQUIPMENT RELATED PASS-THRU, TO BE DETERMINED. ALL DETAILS SHALL BE PROVIDED BY OWNER, INCLUDING OPENING SIZE AND PLACEMENT ALONG THE WALL.



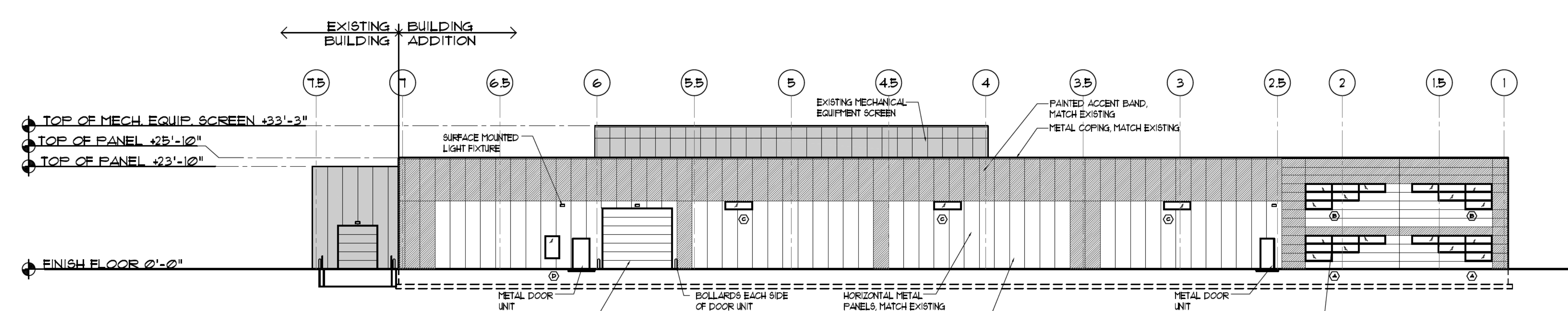
PARTITION TYPES
SCALE: 3/4" = 1'-0"



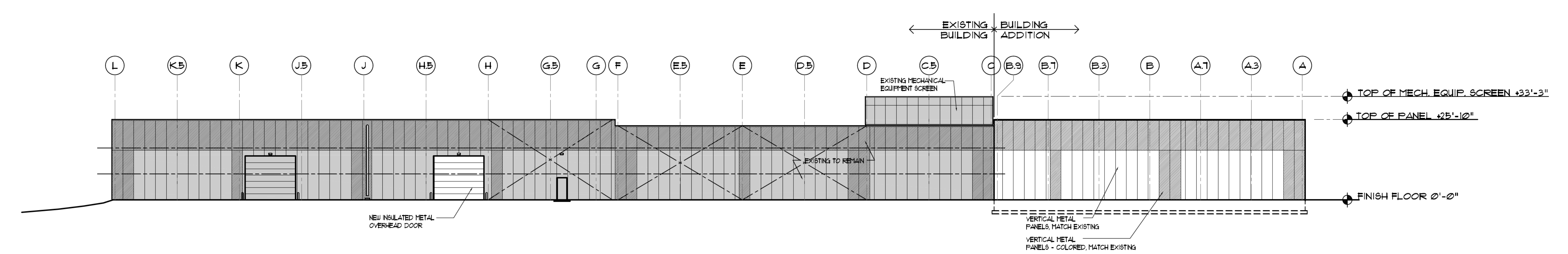
FLOOR PLAN
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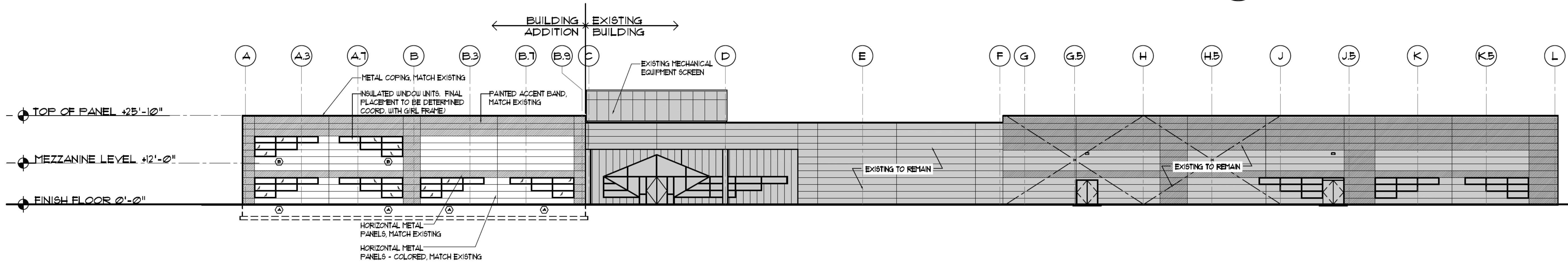
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A4 BUILDING SECTION
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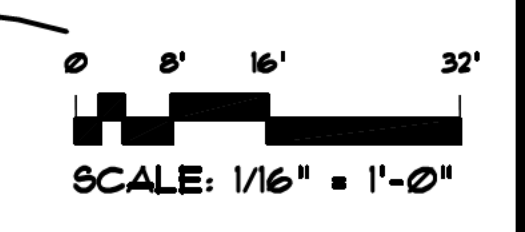
3
A4 OVERALL NORTH ELEVATION
 SCALE: 1/16" = 1'-0"



2
A4 OVERALL EAST ELEVATION
 SCALE: 1/16" = 1'-0"



1
A4 OVERALL WEST ELEVATION
 SCALE: 1/16" = 1'-0"

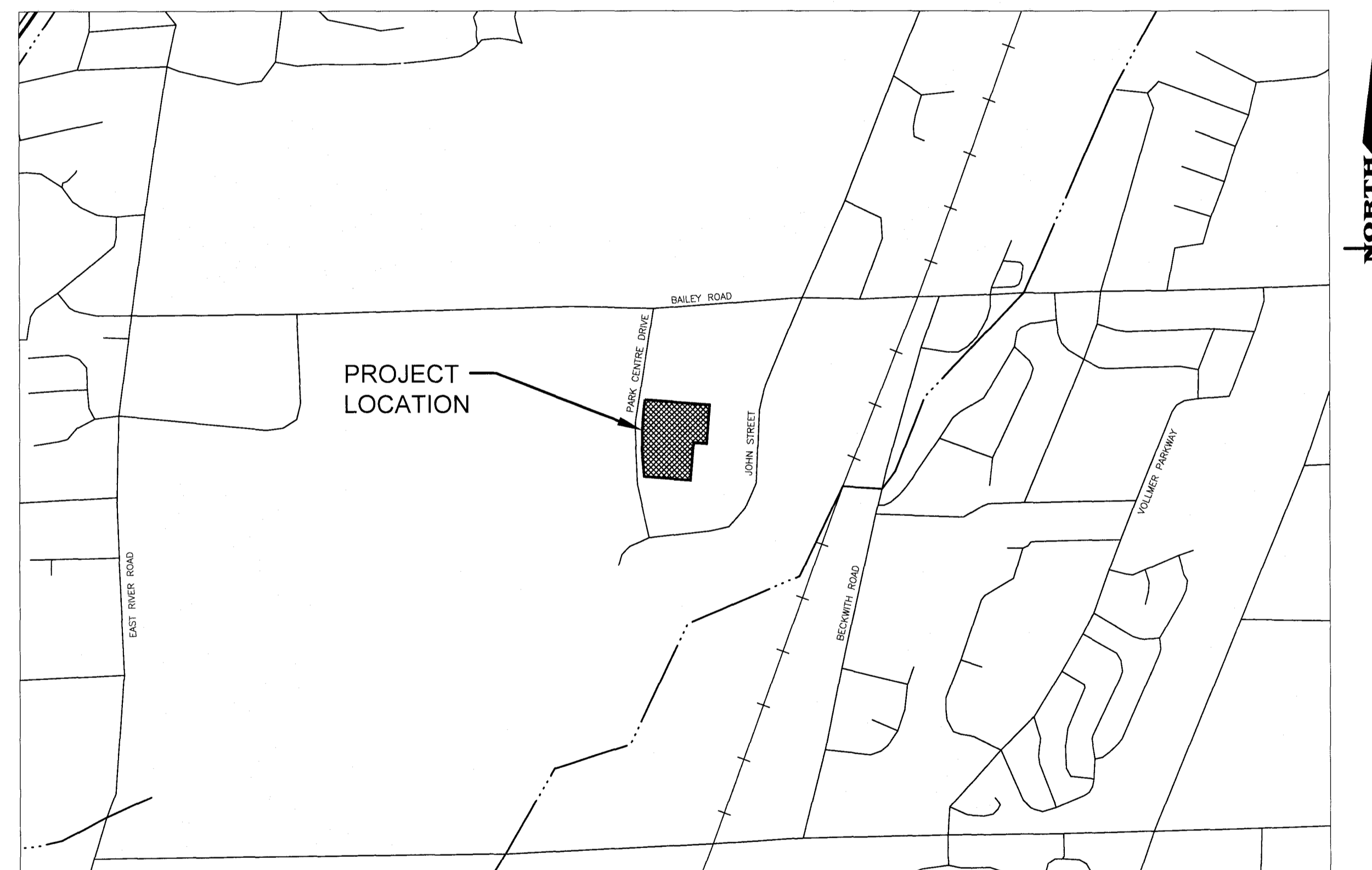


PRELIMINARY / FINAL SITE PLANS for ORAFOL PRECISION EXPANSION

200 PARK CENTRE DRIVE

SITUATE IN:

TOWN OF HENRIETTA - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

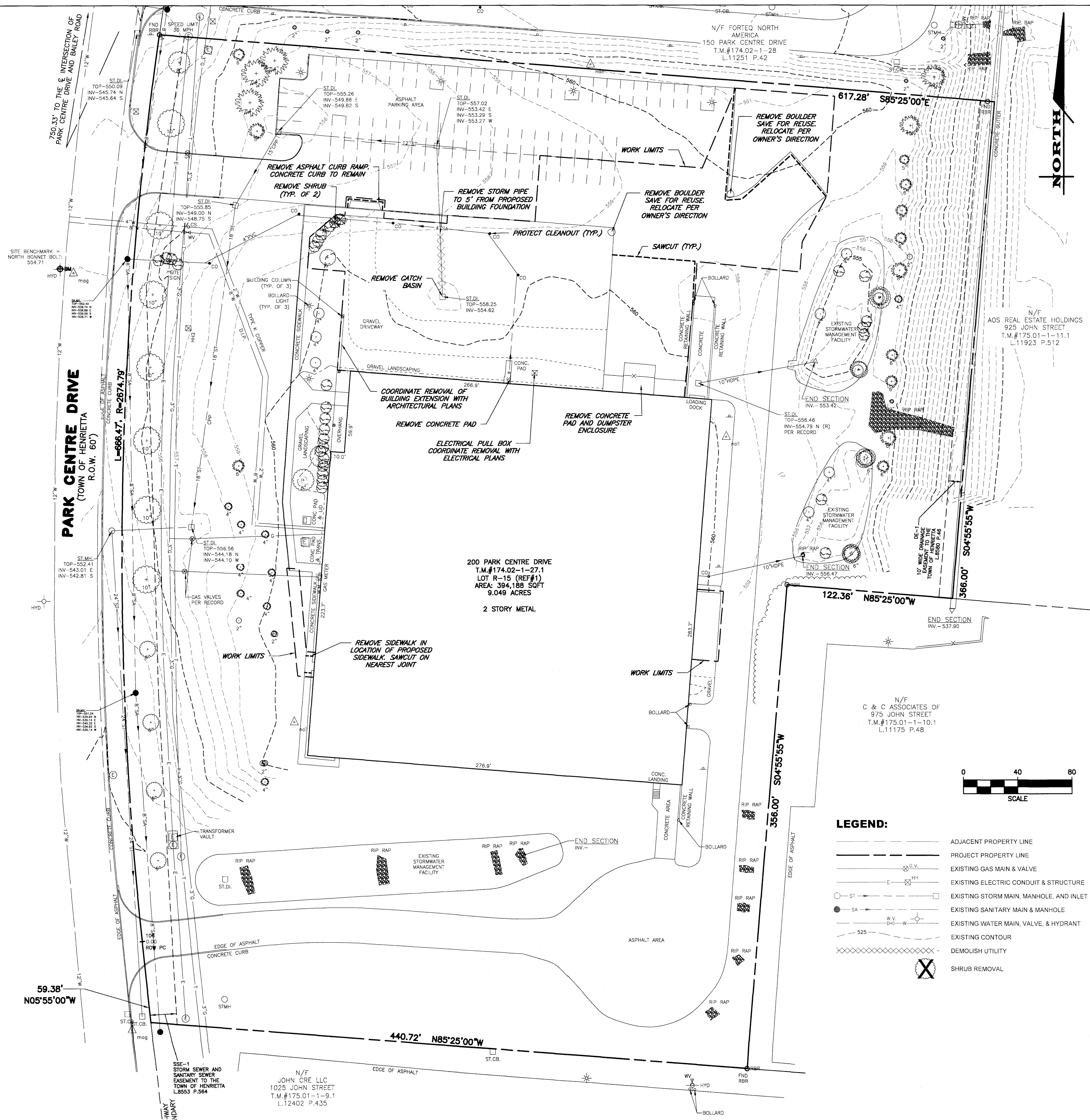
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ITHACA LOCATION
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LIST OF DRAWINGS

No.	Code	Description
1	C0.0	COVER SHEET
2	V1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
3	C1.0	LAYOUT PLAN
4	C2.0	GRADING EROSION CONTROL AND UTILITY PLAN
5	C3.0	CONSTRUCTION DETAILS
6	C3.1	CONSTRUCTION DETAILS



SURVEY NOTES

1. THE HORIZONTAL DATUM (NAD 1983, 2011 ad) TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM, BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. COORDINATES SHOWN HEREON ARE GRID. ELEVATIONS SHOWN HEREON ARE NAVD83 (GEOID 12A)
2. SURVEY WORK TO ESTABLISH EXISTING FEATURES FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER
3. NO STATE, COUNTY, OR TOWN SURVEY MONUMENTS ARE ON OR WITHIN 100 FEET OF THE SITE.
4. THIS INSTRUMENT SURVEY WAS PREPARED USING THE CURRENT NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS CODE OF PRACTICE AND THE GENESEE VALLEY LAND SURVEYORS ASSOCIATION - MONROE COUNTY BAR ASSOCIATION STANDARDS.

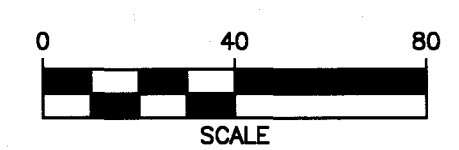
SPECIAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY THAT ALL UTILITIES TO BE REMOVED DO NOT HAVE ANY IN SERVICE LATERALS OR SERVICES CONNECTED TO THEM. ANY LATERALS/ SERVICES THAT ARE STILL IN SERVICE SHALL BE RECONNECTED AND THE OWNER'S ON-SITE REPRESENTATIVE AND DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
2. IT IS INTENDED TO LIMIT DISTURBANCE AS MUCH AS POSSIBLE. THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE DEMOLITION SCHEDULE, PHASING, PEDESTRIAN SAFETY, PARKING AND VEHICULAR CIRCULATION. STOCKPILE LOCATIONS AND SECURITY FENCING WITH OWNERS ON-SITE REPRESENTATIVE. ANY DISTURBANCE OUTSIDE THE WORK LIMIT LINE SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.

EASEMENT TABLE	
LABEL	EASEMENT DESCRIPTION
SSE-1	10' WIDE DRAINAGE EASEMENT TO THE TOWN OF HENRIETTA
DE-1	STORM SEWER AND SANITARY SEWER EASEMENT TO THE TOWN OF HENRIETTA

WE, MARATHON ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON 07/03/23 AND FROM THE REFERENCES LISTED HEREON, SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049957



- LEGEND:**
- ADJACENT PROPERTY LINE
 - - - PROJECT PROPERTY LINE
 - G.V. — EXISTING GAS MAIN & VALVE
 - E — EXISTING ELECTRIC CONDUIT & STRUCTURE
 - ST — EXISTING STORM MAIN, MANHOLE, AND INLET
 - SA — EXISTING SANITARY MAIN & MANHOLE
 - W.V. — EXISTING WATER MAIN, VALVE, & HYDRANT
 - 525 — EXISTING CONTOUR
 - X — DEMOLISH UTILITY
 - X — SHRUB REMOVAL

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 for
ORAFOL PRECISION EXPANSION
 200 PARK CENTRE DRIVE
 MONROE COUNTY
 TOWN OF HENRIETTA
 STATE OF NEW YORK

JOB NO: 1617-23
 SCALE: 1"=40'
 DRAWN: JWS
 DESIGNED: RJT/JWS
 DATE: 07/12/2023

REVISIONS

DATE	BY	REVISION

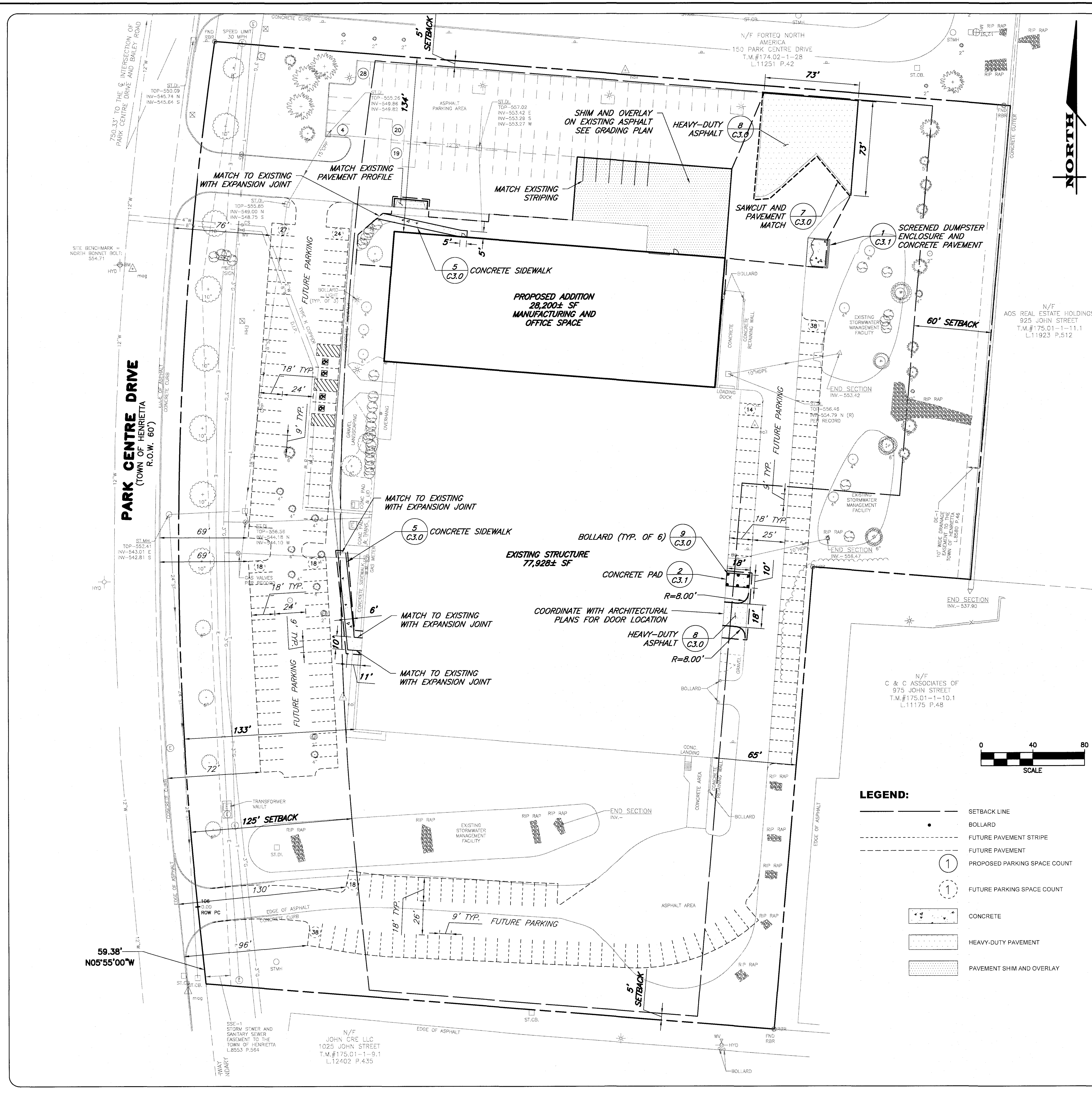
STATE OF NEW YORK
 DOUGLAS W. MAGDE
 LICENSED LAND SURVEYOR
 049957
 DOUGLAS W. MAGDE

DRAWING TITLE:
 EXISTING CONDITIONS AND DEMOLITION PLAN

2 of 6
 SHEET No: **V1.0**

1617-23
 JOB No: DRAWING No:

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PROJECT INFORMATION:

- PARCEL DATA:**
 - 1.1. PARCEL TAX NUMBERS: 174.02-1-27.1
 - 1.2. OWNER: ORAFOL PRECISION
 - 1.3. ADDRESS: 200 PARK CENTRE DRIVE
 - 1.4. AREA: 9.049 ACRES
- ZONING:**
 - 2.1. ZONING DISTRICT: INDUSTRIAL (MIXED-USE EMPLOYMENT CENTER OVERLAY)
 - 2.2. EXISTING USE: INDUSTRIAL
 - 2.3. PROPOSED USE: INDUSTRIAL

*THIS PROJECT WILL BE CONSTRUCTED PER THE INDUSTRIAL ZONING DISTRICT AND NOT THE MIXED USE EMPLOYMENT CENTER OVERLAY. PER §295-34.1 "A PARCEL WITHIN A MIXED-USE OVERLAY DISTRICT MAY BE DEVELOPED EITHER AS A MIXED USE IN ACCORDANCE WITH THIS ARTICLE, OR OTHERWISE IN ACCORDANCE WITH THE UNDERLYING ZONING DISTRICT REGULATIONS, BUT NOT BOTH."
- BUILDING HEIGHT:**
 - 3.1. MAXIMUM (§295-28): 40 FT
 - 3.2. PROVIDED: FT
- SETBACKS:**

REQUIRED (§295-28)	PROVIDED
4.1. FRONT: 125 FT	133 FT
4.2. REAR: 60 FT	65 FT
4.3. SIDE: 5 FT	134 FT
- PARKING:**
 - 5.1. REQUIRED (§295-44): (1 SPACE / 400 SF) x 106,128 SF = 266 PARKING SPACES
 - 5.2. PROVIDED: 266 PARKING SPACES*

*THE PARKING MINIMUM IS SATISFIED WITH 71 EXISTING SPACES AND 195 FUTURE SPACES. CONSTRUCTING FUTURE SPACES IS NOT PROPOSED AS PART OF THIS PROJECT. IF PARKING EXPANSION IS PROPOSED IN THE FUTURE ADDITIONAL STORMWATER MANAGEMENT MAY BE REQUIRED BY THE TOWN OF HENRIETTA.

GENERAL

- APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-662-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMITS** (PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
- INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ARCHITECTURAL TREATMENT** - AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

CONSTRUCTION

- STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S), DATED , WERE PROVIDED BY (NAME OF FIRM) DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS.
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING REDLINES FOR RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

LEGEND:

- SETBACK LINE
- BOLLARD
- FUTURE PAVEMENT STRIPE
- FUTURE PAVEMENT
- PROPOSED PARKING SPACE COUNT
- FUTURE PARKING SPACE COUNT
- CONCRETE
- HEAVY-DUTY PAVEMENT
- PAVEMENT SHIM AND OVERLAY

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 TOWN OF HENRIETTA
 STATE OF NEW YORK

JOB NO:	1617-23
SCALE:	1"=40'
DRAWN:	JWS
DESIGNED:	RJT/JWS
DATE:	07/12/2023

REVISIONS

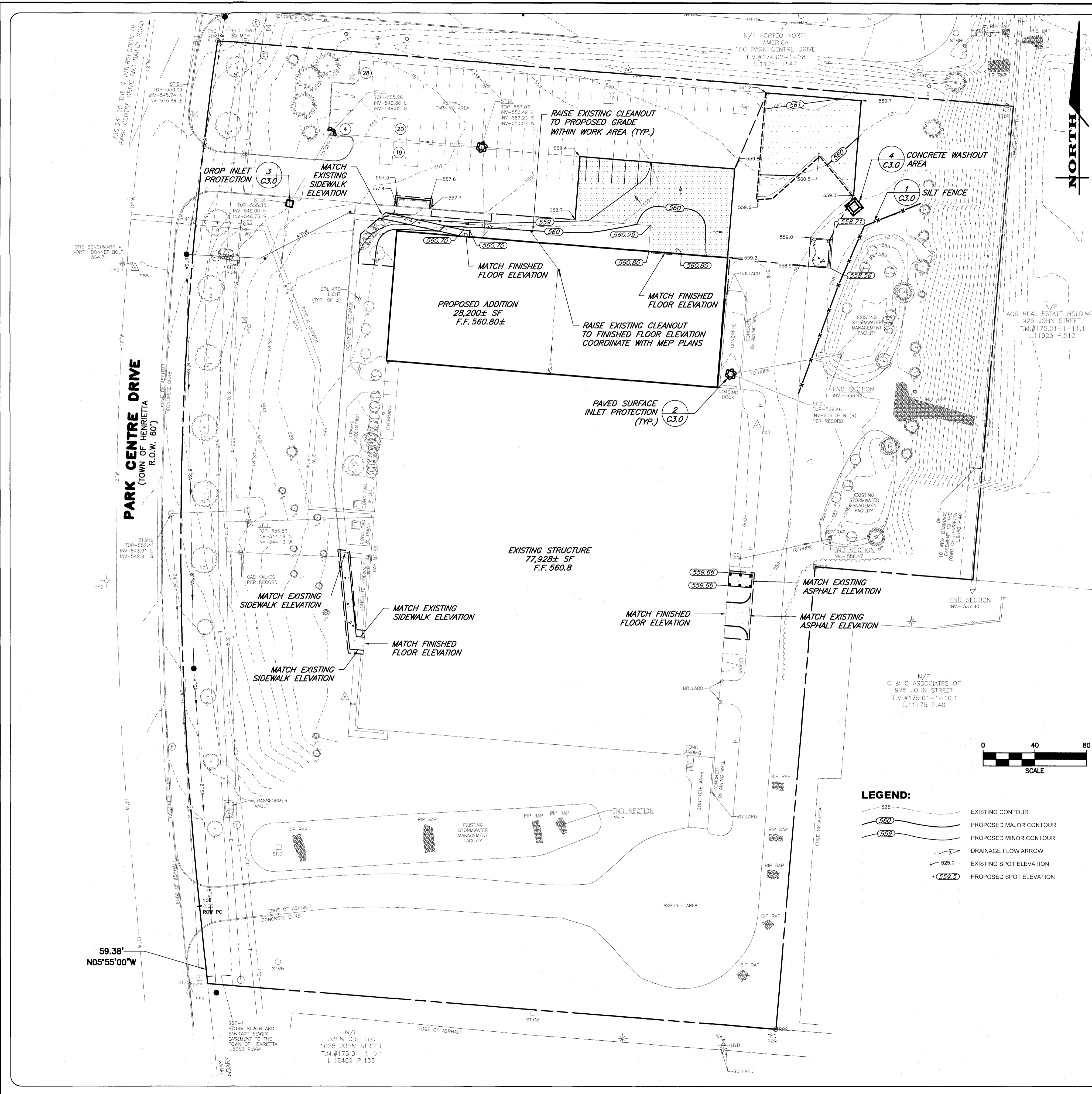
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STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 068924
 ROBERT P. BRINGLEY

DRAWING TITLE:
LAYOUT PLAN

3 of 6
 SHEET No. **C1.0**

1617-23
 JOB No. DRAWING No.



EARTHWORK

- PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS.
 - SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, TREES, BRUSH, STUMPS, ETC.
 - TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
 - ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT ARE INTERCHANGEABLE.
 - CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557.
 - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - 85% IN REMAINING AREAS

THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

- LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
- PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

EROSION CONTROL

- INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, AND OWNER'S REPRESENTATIVE IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES.
- WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
- WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS 'BLUE BOOK' SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
- SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (5.1.6) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION REQUIREMENTS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP D AND SHALL BE RESTORED AS SPECIFIED.
- SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING.
 - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - PROTECT VEGETATION TO REMAIN.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

RESTORATION AND LANDSCAPING

- GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- TOPSOIL** - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF SCREENED TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- SEED** - LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.

SPECIAL GRADING NOTES

- ACCESSIBILITY** - ALL ADA ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A 2% MAXIMUM CROSS SLOPE.
- SIDEWALK MATCH** - ALL SIDEWALK MATCH POINTS SHALL HAVE ELEVATIONS AND SLOPES CHECKED PRIOR TO POURING AND DISCREPANCIES REPORTED TO THE DESIGN ENGINEER FOR CLARIFICATION.

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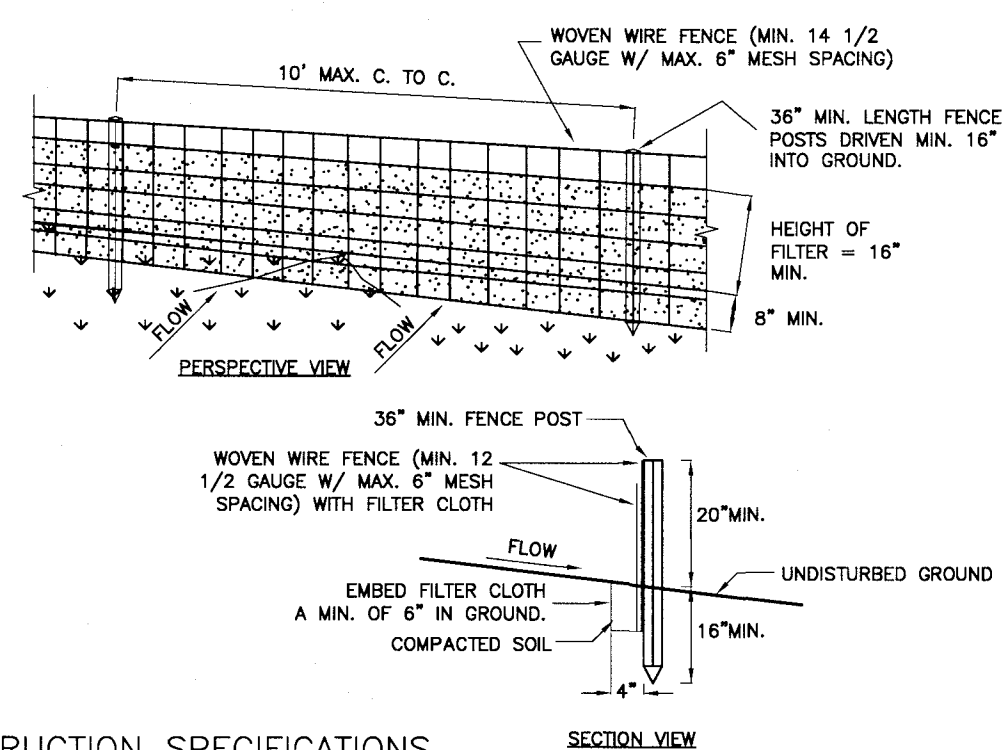
STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 066924
 ROBERT P. BRINGLEY

DRAWING TITLE:
GRADING EROSION CONTROL AND UTILITY PLAN

4 of 6
 SHEET No: **C2.0**

1617-23
 JOB No: DRAWING No:

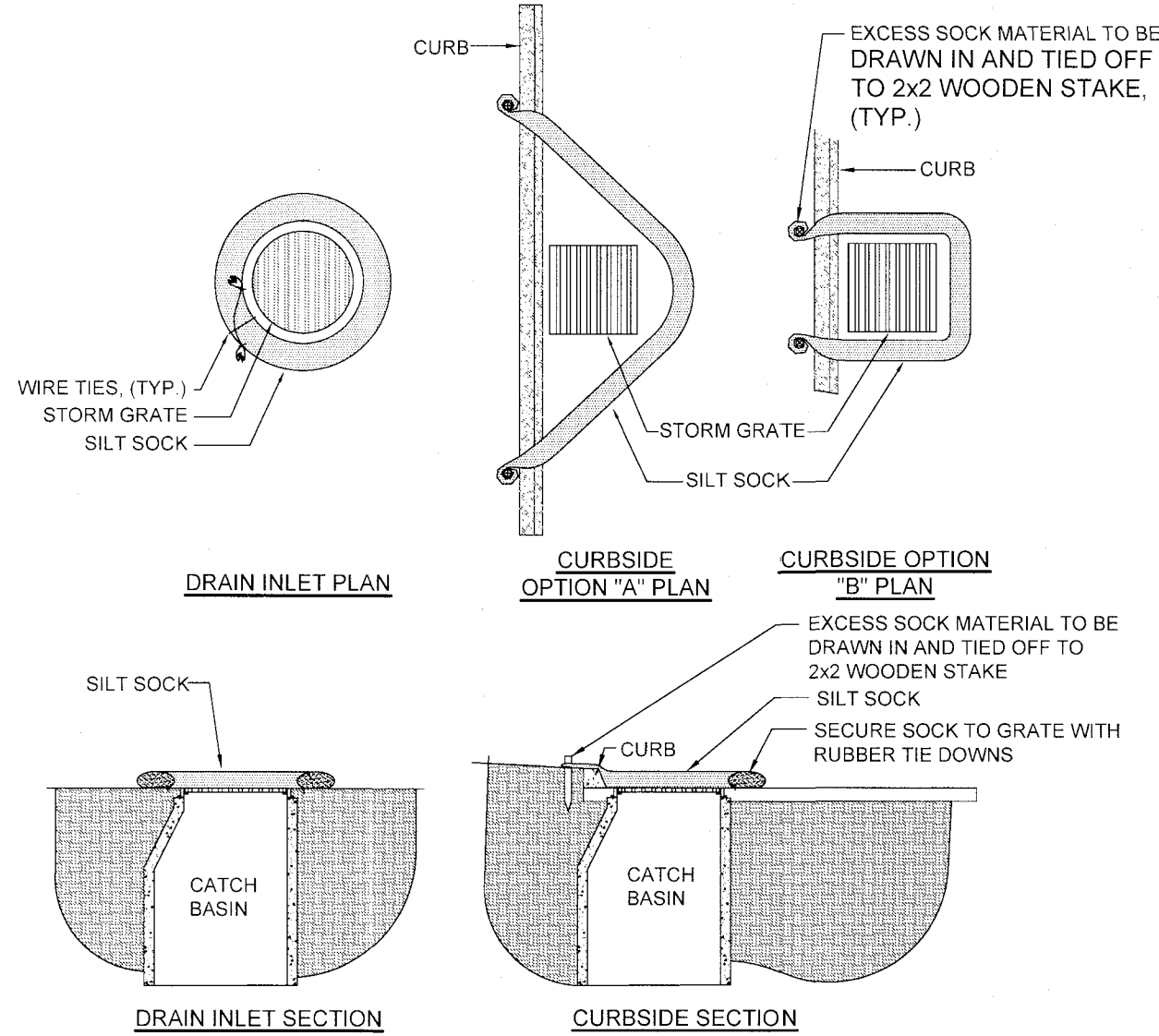
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CONSTRUCTION SPECIFICATIONS

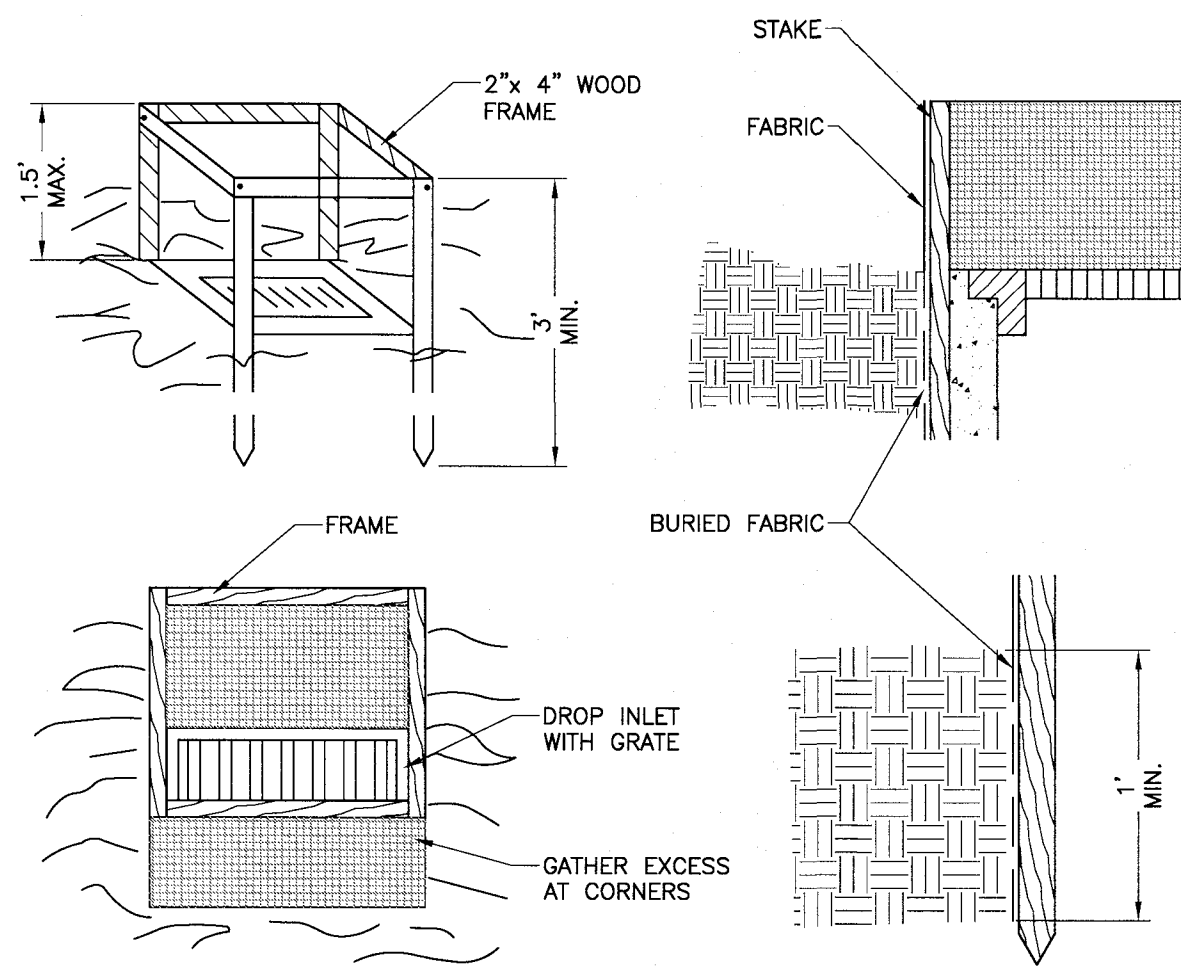
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES, POSTS SHALL BE STEEL "I" OF "U" TYPE OF HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED, FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- ENVIRO-FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

1 SILT FENCE
SCALE: N.T.S.



- NOTES:**
- USE FILTREXX® SILT SOCK™ OR APPROVED EQUAL.
 - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

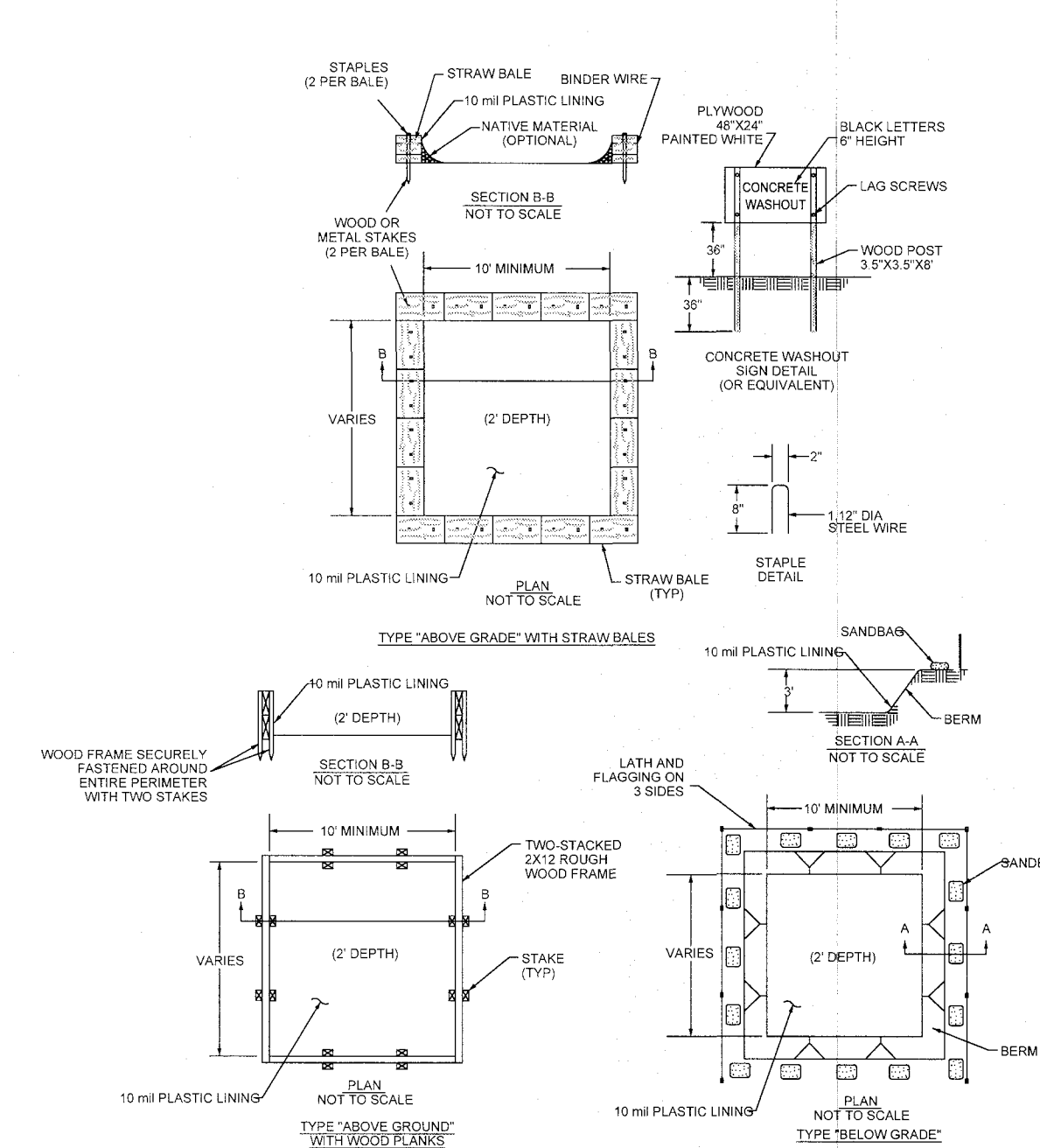
2 PAVED SURFACE INLET PROTECTION
SCALE: N.T.S.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

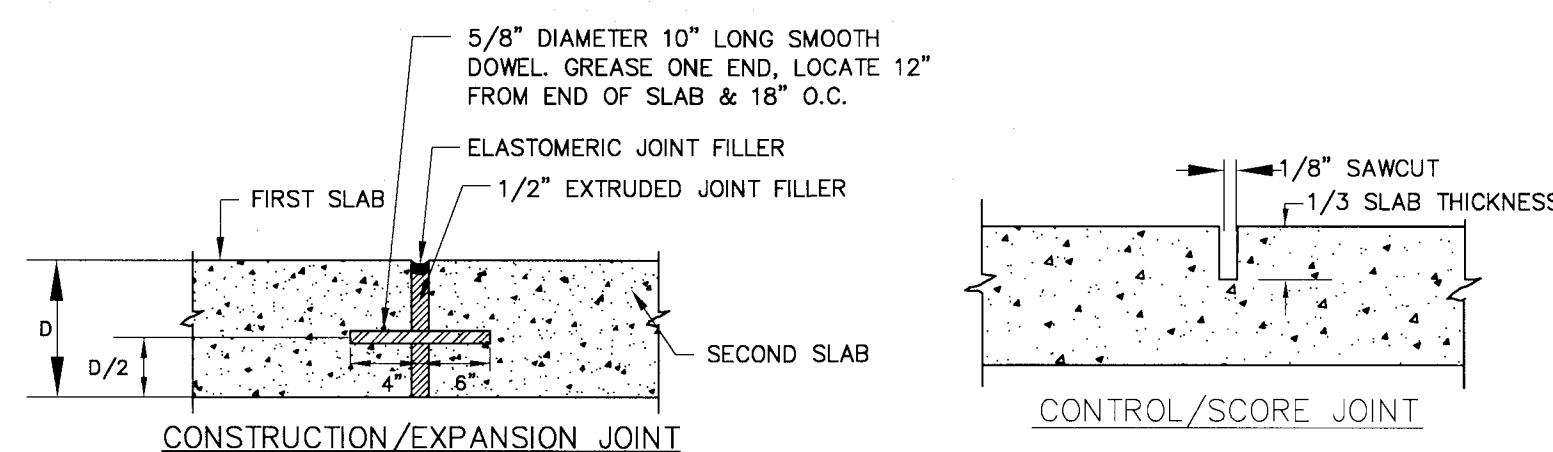
3 DROP INLET PROTECTION
SCALE: N.T.S.



NOTES:

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- Holes, depressions or other ground disturbance caused by the removal of the temporary concrete washout facilities shall be backfilled, repaired, and stabilized to prevent erosion.

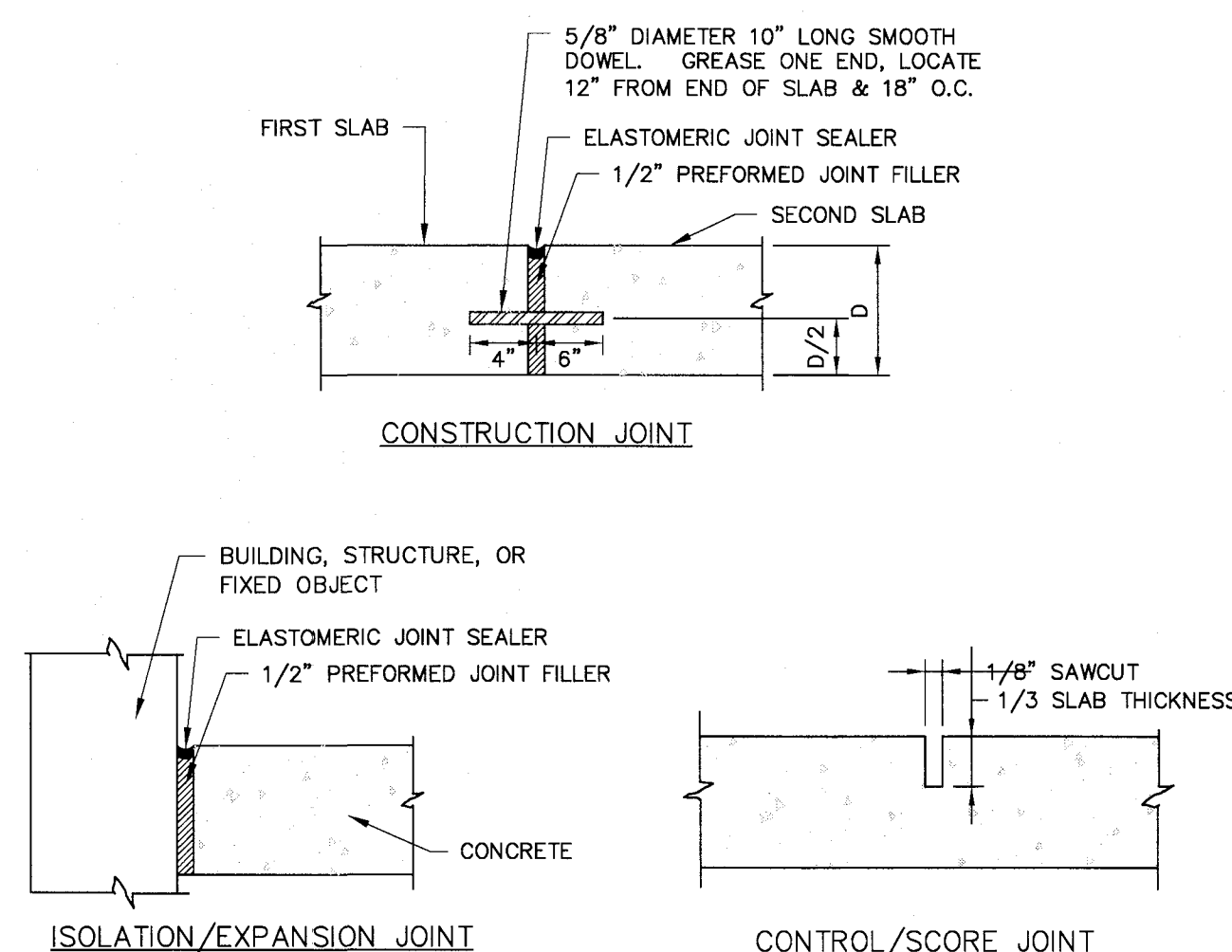
4 CONCRETE WASHOUT AREA



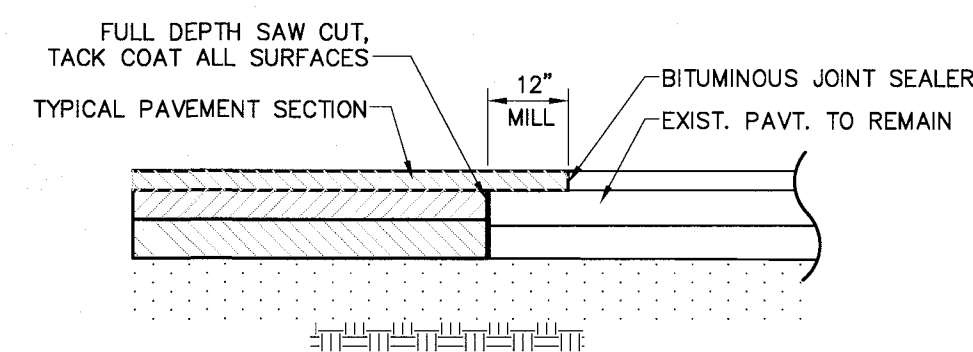
NOTES:

- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
- CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
- EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 50' ALONG THE SIDEWALK.
- CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS AND CONCRETE CURBS.
- CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- SCORE PATTERN - SCORING PATTERN SHALL BE 5' X 5' SQUARE, MAY VARY IN CERTAIN AREAS-COORDINATE WITH OWNERS ONSITE REP PRIOR TO SCORING SIDEWALKS.
- SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
- "SNAP-CAP" OR EQUAL SHALL BE USED FOR SHAPING EXPANSION JOINTS.

5 CONCRETE SIDEWALK

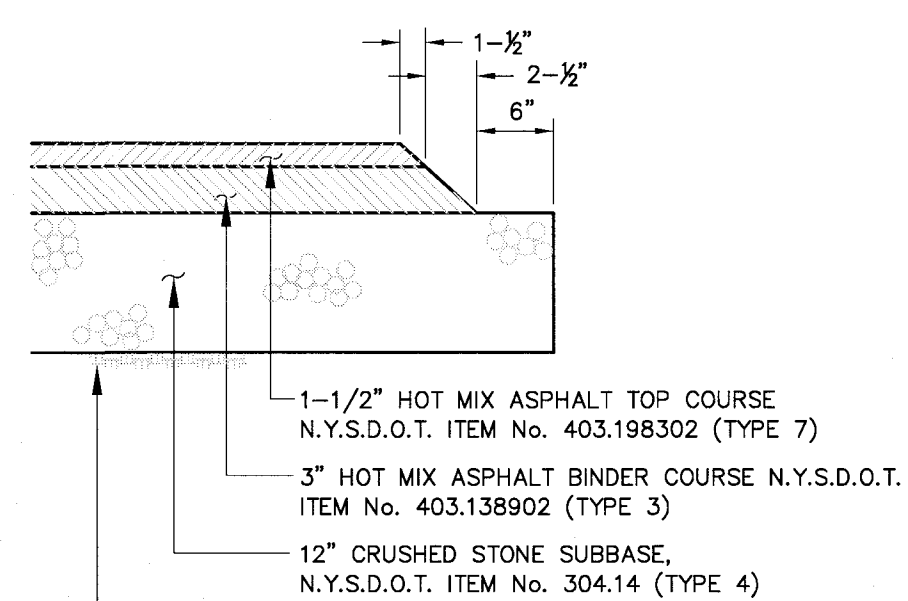


6 CONCRETE SIDEWALK AND PAVEMENT JOINTS



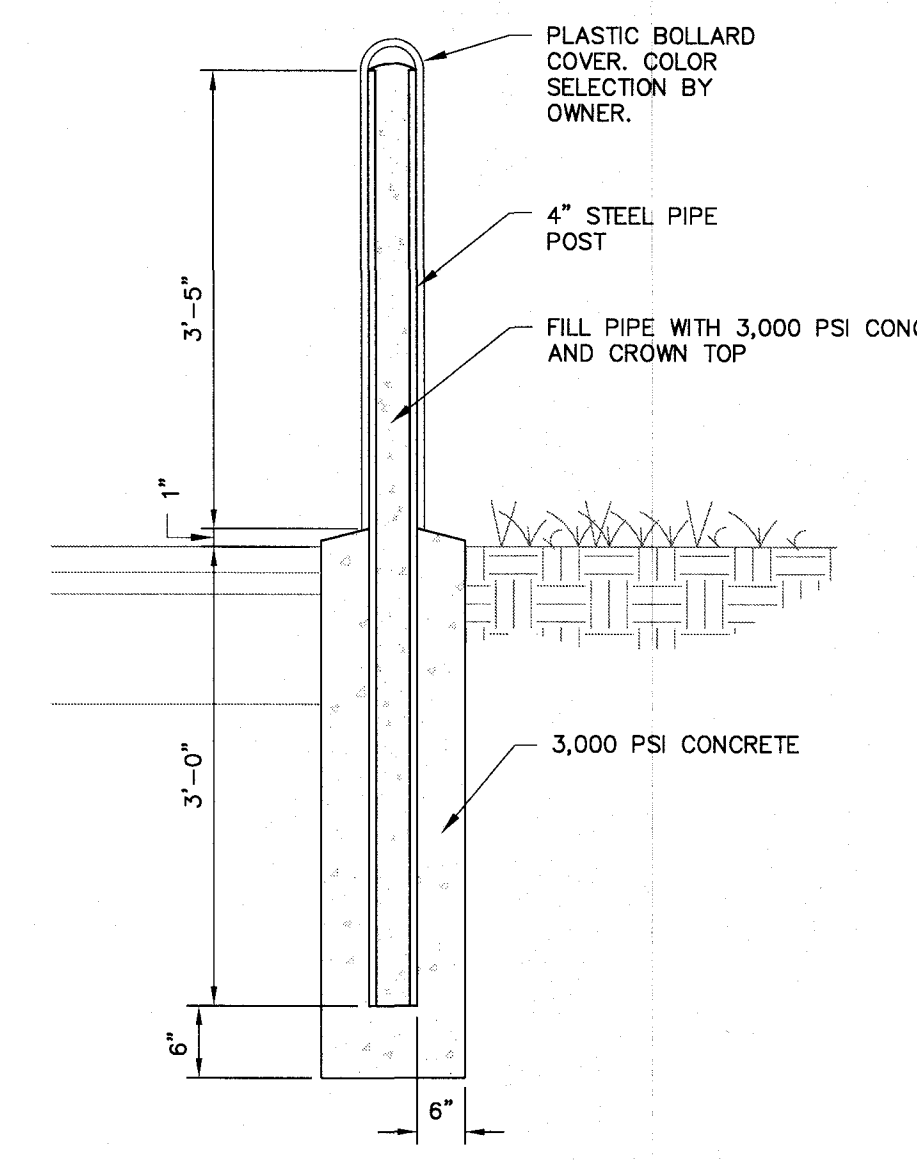
PAVEMENT MATCH

7 PAVEMENT MATCH



- NOTES:**
- CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK

8 HEAVY DUTY PAVEMENT SECTION



NOTE: PROVIDE POLYETHYLENE COVER (COLOR BY OWNER)

9 STEEL BOLLARD

PRELIMINARY / FINAL SITE PLANS
for
ORAFOL PRECISION EXPANSION

STATE OF NEW YORK
MONROE COUNTY
TOWN OF HENRIETTA
200 PARK CENTRE DRIVE

JOB NO: 1617-23
SCALE: 1"=40'
DRAWN: JWS
DESIGNED: RJT/JWS
DATE: 07/12/2023

REVISIONS

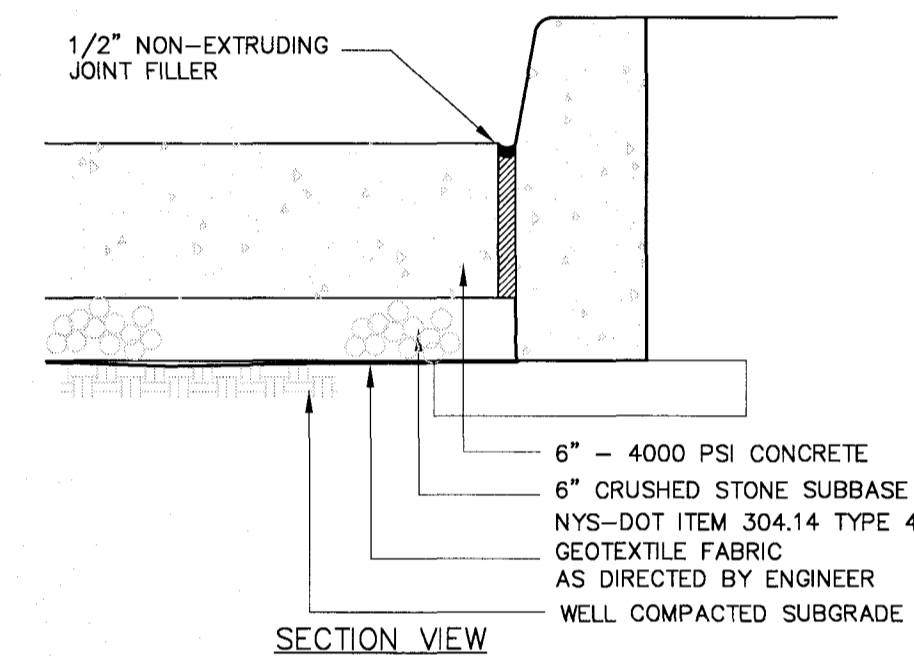
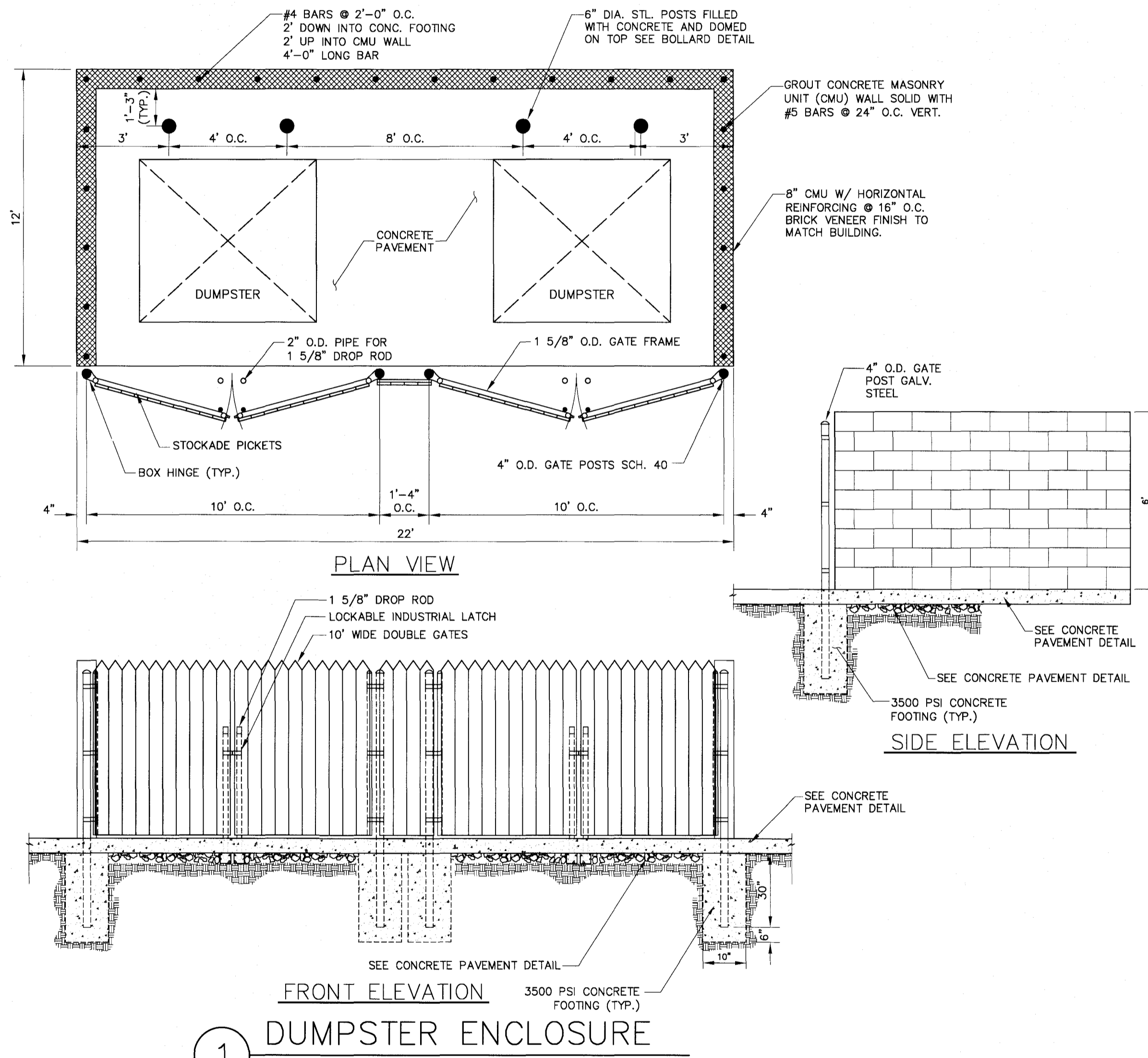
DATE	BY	REVISION

ROBERT P. BRINGLEY
LICENSED PROFESSIONAL ENGINEER
NO. 066924

DRAWING TITLE:
CONSTRUCTION DETAILS

5 of 6 SHEET No: **C3.0**
1617-23 JOB No: DRAWING No:

File: Z:\Engineering\Job Files\1617-23\Drawings\Sheets\C4.0.dwg, Last saved: 7/10/2023, Plot Date: 7/11/2023, By: JOHN SCHELL, Plot Style: MARATHON STANDARD.CTB



- CONCRETE PAVEMENT NOTES:**
- ISOLATION JOINTS TO BE CONSTRUCTED AT BUILDING, CURBING, AND FIXED OBJECTS.
 - CONTROL JOINTS TO BE MADE EVERY 12 FEET ON CENTER.
 - THE LARGER DIMENSION OF ANY PANEL SHALL NOT EXCEED 125% OF THE SMALLER DIMENSION.
 - SAW CUT CONTROL JOINTS TO 1/3 SLAB THICKNESS WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 - ALL EXPOSED CONCRETE SURFACES TO RECEIVE A BROOM FINISH.
 - ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF MEMBRANE FORMING SEALER.
 - CONCRETE SHALL ACHIEVE 4000 PSI COMPRESSIVE MINIMUM STRENGTH AT 28 DAYS.
 - CONCRETE SHALL HAVE AN AIR CONTENT OF 6.0 PERCENT \pm 1.5 PERCENT.
 - CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES.
 - SEE JOINTS DETAIL (THIS SHEET).

2 CONCRETE PAVEMENT

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PRELIMINARY / FINAL SITE PLANS
 for
ORAFOL PRECISION EXPANSION
 200 PARK CENTRE DRIVE
 MONROE COUNTY
 STATE OF NEW YORK
 TOWN OF HENRIETTA

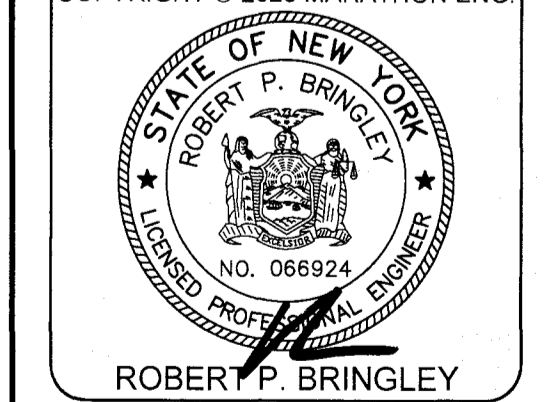
JOB NO: 1617-23
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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 2006 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER, WITHOUT BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF ANY ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL FILE TO THE STATE SEAL AND THE REASON FOR THE ALTERATION BY FILING WITH THE BOARD AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER

DRAWING TITLE:
 CONSTRUCTION DETAILS

6 of 6 SHEET No: **C3.1**
 1617-23 JOB No: DRAWING No:

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- ### RESTORATION AND LANDSCAPING
- 1. GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
 - 2. TOPSOIL** - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
 - 3. SEED** - LAWN AREAS SHALL BE HYDROSEED WITH AN APPROVED SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
 - 4. PLANTINGS** - NO NEW TREE OR SHRUB PLANTINGS ARE PROPOSED AS PART OF THIS PROJECT.

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STATE OF NEW YORK
 ROBERT P. BRINGLEY
 NO. 066924
 LICENSED PROFESSIONAL ENGINEER

ROBERT P. BRINGLEY

DRAWING TITLE:
LANDSCAPING PLAN

7 of 7
 SHEET No. **L1.0**
 JOB No. 1617-23
 DRAWING No.