

CENTRAL BARK OF ROCHESTER

COMMERCIAL TENANT FIT OUT AND FIRST FLOOR BUILDING ENHANCEMENTS

DRAWING LIST:

- T1 TITLE SHEET AND SYMBOLS
- S1 SITE PLAN AND BULK REQUIREMENTS
- G1 GENERAL REQUIREMENTS, SPECIFICATION, CODE REVIEW SUMMARY & DETAIL
- A0 EXISTING & DEMOLITION FIRST FLOOR PLAN
- A1 LIFE SAFETY FIRST FLOOR PLAN
- A2 PROPOSED FIRST FLOOR PLAN
- A3 EXTERIOR ELEVATIONS, SOUTH, WEST & EAST

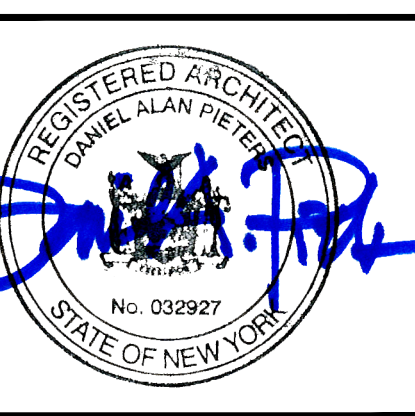
PROPERTY ADDRESS:

65 SAGINAW DRIVE
HENRIETTA, NEW YORK 14623

ARCHITECT CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE STATE ENERGY CONSTRUCTION CODE.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



Daniel Alan Peter

LIST OF ABBREVIATIONS

AFF ABOVE FINISHED FLOOR	CM CONSTRUCTION MANAGER	ENTR ENTRANCE	HORIZ HORIZONTAL	MEZZ MEZZANINE	QTB QUARRY TILE BASE	T&G TONGUE & GROOVE
AP ACCESS PANEL	CW COLD WATER	EQ EQUIP	HD HOSE BIBB	MM MILLIMETER	RAO RADIUS	T&B TOP & BOTTOM
ACOUS ACOUSTICAL	CMF COLD FORMED MET FRAMING	EST ESTIMATE(D)	HW HOT WATER	MIN MINIMUM	RECP RECEPTACLE	TOEA TOP OF EDGE ANGLE
ADJ ADJACENT	CMU CONCRETE MASONRY UNIT	EXP ESTIMATE(D)	HR HOUR	MISC MISCELLANEOUS	REF REFERENCE	TOS TOP OF SLAB/STEEL
ACT ACOUSTICAL CEILING TILE	COL COLUMN	EXST EXHAUST	INCAND INCANDESCENT	MR MOISTURE RESISTANT	REFR REFRIGERATOR	TOW TOP OF WALL
AMP ACOUSTICAL WALL PANEL	CONC CONCRETE	EXIST EXISTING	IN INCH	MTD MOUNTED	REFER REFER TO	T,TR TREAD
A/C AIR CONDITIONING	COND CONDUCTOR	EXP EXPANSION	INCL INCLUDING	NA NOT APPLICABLE	REIN REINFORCED(ING)	TD TRENCH DRAIN
ALT ALTERNATE	CONN CONNECTION	EXP JT EXPANSION JOINT	ID INSIDE DIAMETER	NAT NATURAL	REQ'D REQUIR(ED)	TYP TYPICAL
ALUM ALUMINUM	CONST CONSTRUCTION	ETR EXISTING TO REMAIN	INSUL INSULATION	NRC NOISE REDUCTION COEF.	RVT RESILIENT VINYL TILE	UL UNDERWRITERS LAB
AB ANCHOR BOLT	CJT CONSTRUCTION JOINT		INT INTERIOR	NOM NOMINAL	REV REVISED	UNFIN UNFINISHED
< ANGLE	CONT CONTINUOUS		INTERM INTERMEDIATE	N NORTH	RCWB REINFORCED GYPSUM WALL BOARD	UNO UNLESS NOTED OTHERWISE
ANOD ANODIZED	CONTR CONTRACTOR		INV INVERT	NIC NOT IN CONTRACT	RH RIGHT HAND	U URINAL
APPROX APPROXIMATE	CONTR CONTROL JOINT		IP IRON PIPE	NTS NOT TO SCALE	R RISER	
ARCH ARCHITECT, ARCHITECTURAL	CORR CORRUGATED		JAN JANITOR	NO, # NUMBER	RD ROOF DRAIN	VEND VENDOR
AD AREA DRAIN	COURSE COURSE		JN JANITOR SNK	OC ON CENTER	RM ROOM	VEN VENEER
@ AT	CFT CUBIC FOOT		JS JOINT	OPNG OD OUTSIDE DIAMETER	RO ROUGH OPENING	VF VERIFY IN FIELD
AUTO AUTOMATIC	CYD CUBIC YARD		KT KITCHEN	OH OVERHEAD	ROB RUN-OF-BANK	VERT VERTICAL
					RW RESCUE WINDOW	VEST VESTIBULE
BSMT BASEMENT	DP DAMP PROOFING		KW KILOWATT	PTD PAINTED	SC SANITARY	VN VINYL
BM BEAM	DL DEAD LOAD		KWH KILOWATT HOUR	SAN SANITARY	SCHED SCHEDULE	VB VINYL BASE
BP BEARING PLATE	DB DECEBEL		K KIP	SCHED SCHEDULE	SCC SCHEDULE	VCT VINYL COMPOSITION TILE
BM BENCH MARK	DEMO DEMOLISH		KIT KITCHEN	SECT SECTION	SECT SECTION	VF VINYL FABRIC
BTUM BITUMINOUS	DEPT DEPARTMENT			SHIT SHEET	SHIT SHEET	VWC VINYL WALL COVERING
BLKG BLOCKING	DET,DTL DETAIL		LBL LABEL	SIM SIMILAR	SC SOUND CORE	VOL VOLUME
BLK BLOCK	DIA DIAMETER		LAB LABORATORY	SC SOUTH	STC SOUND TRANSMISSION COEFFICIENT	WH WALL HUNG
BD BOARD	DIM DIMENSION		LAM LAMINATE(ED)	SCS SPECIAL COATING SYSTEM	SOUTH SOUTH	W WATER
BO BY OWNER	DISP DISPENSER		LAV LAVATORY	SPEC SPECIFICATION	SS STAINLESS STEEL	WC WATER CLOSET
BOT BOTTOM	DSP DISPOSAL		LAV LAVATORY	SQ SQUARE	STD STANDARD	WR WATER RESILIENT/RESISTANT
BRK BRICK	DO DITTO, REPEAT, SAME		LAV LAVATORY	SS STAINLESS STEEL	STL STEEL	WT WEIGHT
BLDG BUILDING	DR DOOR		LDR LEADER	STD STANDARD	STOR STORAGE	WWF WELDED WIRE FABRIC
BN BULLNOSE	DBL DOUBLE		LB LEFT HAND	STRUC STRUCTURAL	STRUC STRUCTURAL	WMM WELDED WIRE MESH
CAB CABINET	DN DOWN		LIB LIBRARY	STGL STRUCTURAL GLAZED	STGL STRUCTURAL GLAZED	WND WINDOW
CI CAST IRON	DS DOWNSPOUT		LT LIGHT	ST,STL STRUCTURAL STEEL	SUSP SUSPENDED	W/ W/
CPT CARPET(ED)	DT DRAIN TILE		LW LIGHT WEIGHT	SAT SUSPENDED ACOUSTICAL TILE	SUSP SUSPENDED	W/O WITHOUT
CSMT CASEMENT	DWR DRAWER		LL LIVE LOAD	TEL TELEPHONE	SAT SUSPENDED	WD WOOD
CB CATCH BASIN	DWG DRAWING			TR TOILET ROOM	SAT SUSPENDED	WI WROUGHT IRON
CLG CEILING	DWF DRINKING FOUNTAIN					
CLG HT CEILING HEIGHT	DF DRYWALL CHANNEL					
CEM CEMENT	EA EACH					
CL CENTER LINE	EF EACH FACE					
CM CENTIMETER	EW EACH WAY					
CER CERAMIC	E EAST					
CT CERAMIC TILE	ELEC ELECTRICAL					
CB CHALK BOARD	ELEV ELEVATION					
CIRC CIRCUMFERENCE	ELV ELEVATOR					
CO CLEAN OUT	EMER EMERGENCY					
CLR CLEAR	ENCL ENCLOSURE					
CLOS CLOSET						



CENTRAL BARK
OF ROCHESTER
COMMERCIAL / FIT-OUT
ENHANCEMENTS
65 SAGINAW DRIVE
HENRIETTA, NY 14623

MATERIAL SYMBOLS

GRAPHIC SYMBOLS

	EARTH		BRICK		GROUT/MORTAR		RIGID INSULATION		COLUMN CENTERLINE A		PARTITION TYPE 3(1 HR RATED)		PROPERTY LINE
	ROCK		STEEL/MISC. METAL		NON-FERROUS (TYPE AS NOTED)		ACoustical TILE		DETAIL #3 ON SHEET A201		REVISION NO. 1		EXISTING TREE TO REMAIN
	GRAVEL TYPE 1 (ENGINEERED FILL)		STONE		ROUGH WOOD / BLOCKING		FINISH WOOD / TRIM, MILLWORK		BUILDING SECTION (NO.) OR WALL SECTION (LETTER) ON SHEET A201		EXISTING SPOT ELEVATION		EXISTING TREE TO BE REMOVED
	PRECAST CONCRETE		TERRAZZO		WOOD, FINISHED WOODWORK		PLYWOOD (LARGE SCALE)		ROOM NUMBER 109		FINISHED SPOT ELEVATION		BENCHMARKS, FLOOR ELEV. OR OTHER VERTICAL ELEV.
	CRUSHED STONE		MARBLE		GYPSUM BOARD				ELEVATION #2, 4 ON SHEET A201		EXISTING CONTOURS		ACCESSORIES SYMBOL (LETTER) EQUIPMENT SYMBOL (NUMBER)
	CONCRETE MASONRY UNIT		CERAMIC TILE						DOOR NUMBER 109		EXISTING CONTOURS		KEYNOTE SYMBOL - DEMOLITION AND NEW CONSTRUCTION

DATE	DRAWN	CHECKED
09/07/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE

TITLE SHEET

PROJECT NUMBER

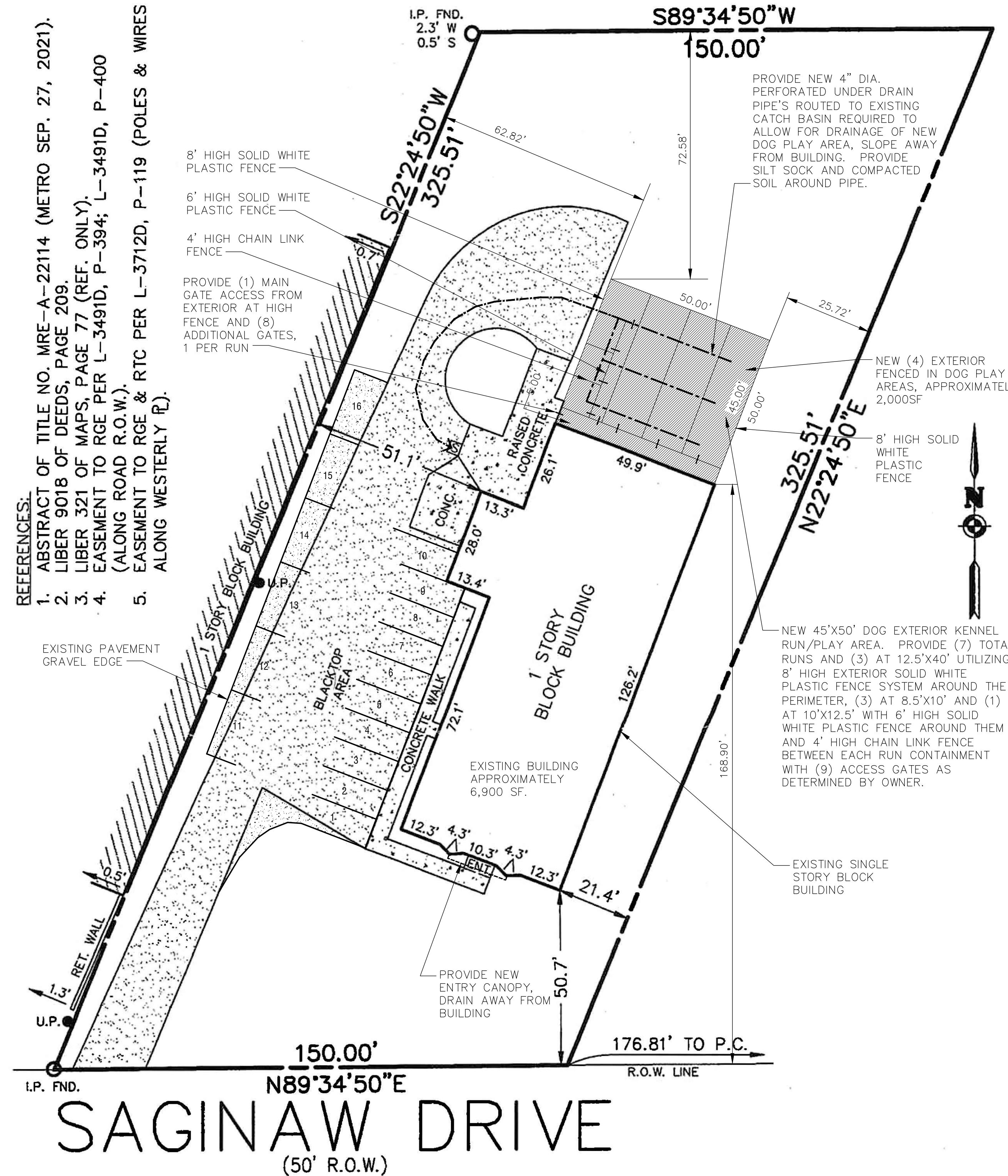
T1

DRAWING NUMBER

INSTRUMENT SURVEY

Client _____ Tax ID 162.110-01-017
 Street 65 SAGINAW DRIVE Town HENRIETTA, COUNTY OF MONROE, N.Y.
 Lot No. PT. T.L. 5 Subdivision TOWNSHIP 12, RANGE 7

- REFERENCES:
1. ABSTRACT OF TITLE NO. MRE-A-22114 (METRO SEP. 27, 2021).
 2. LIBER 9018 OF DEEDS, PAGE 209.
 3. LIBER 321 OF MAPS, PAGE 77 (REF. ONLY).
 4. EASEMENT TO RGE PER L-3491D, P-394; L-3491D, P-400 (ALONG ROAD R.O.W.).
 5. EASEMENT TO RGE & RTC PER L-3712D, P-119 (POLES & WIRES ALONG WESTERLY R).



NOTES:

EXISTING SIDEWALKS/TREES/BUSHES NOT SHOWN FOR CLARITY.

ALL DOWNSPOUTS ARE TO BE CONNECTED TO UNDERGROUND DRAINAGE ROUTED TO THE NORTH OF THE PROPERTY TOWARDS LOWER ELEVATION.

CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. RE-ROUTE AS REQUIRED TO ACCOMMODATE FOR NEW DOG PLAY KENNEL.

CONTRACTOR TO ADJUST GRADING AS REQUIRED TO ALLOW FOR PROPER CONNECTION AND SLOPE FOR DOG PLAY KENNEL AND ACCESS IN AND OUT OF EXISTING STRUCTURE FLOOR ELEVATION.

16 NYCRR PART 753
 REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK

Dig Safely. New York
 www.digsafelynewyork.com
 1-800-962-7962



- LEGEND:
- [Hatched Box] NEW EXTERIOR DOG KENNEL RUNS/PLAY AREA
 - [Dotted Box] EXISTING PAVEMENT/GRAVEL

BULK REQUIREMENTS:

TOWN OF HENRIETTA, NY
 ZONE: I - INDUSTRIAL DISTRICT

LOT SIZE (FOR PERMITTED USES IN INDUSTRIAL DISTRICT)

SITE AREA:	45,016 SQUARE FEET PROVIDED
WIDTH:	-NA-
FRONTAGE:	-NA-

REQUIRED SETBACKS
 PRINCIPAL BUILDING:

FRONT:	125 FEET 168.9' PROVIDED
REAR:	60 FEET - 35.60 FEET PROVIDED (CAN REDUCE TO 30' FOR NON-LOADING)
SIDE:	5 FEET (NON-COMBUSTIBLE @ 0')
	25.72 / 36.72 FEET PROVIDED
	MIN. 60' BETWEEN ADJACENT BUILDINGS

MAXIMUM HEIGHT OF STRUCTURES:
 40 FEET - 17'-8" PROVIDED

MAXIMUM BUILDING COVERAGE ON LOT (ZONING DISTRICT I - INDUSTRIAL)
 ASSESSMENT OF THE TOWN OF HENRIETTA ZONING DEPARTMENT
 CURRENT LOT IS 45,016 SQUARE FEET

REVISIONS NO.	DATE	BY	CHKD	DESCRIPTION



CENTRAL BARK OF ROCHESTER
 COMMERCIAL / FIT-OUT ENHANCEMENTS
 65 SAGINAW DRIVE
 HENRIETTA, NY 14623

DATE	DRAWN	CHECKED
09/07/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE
 SITE PLAN & BULK REQUIREMENTS

PROJECT NUMBER

S1

DRAWING NUMBER

1 SITE PLAN
 SCALE: 1" = 20'

NORTH

CODE REVIEW SUMMARY - B OCCUPANCY

Code Utilized is the 2020 International Building Code (implemented November 2019).

Building Summary
 Building Area per Floor (within surrounding exterior walls not including the exterior walls)

Conceptual Approach to Building/Code
 Use and Occupancy Classification Groups:
B (Business Group) – 6,316 square feet (excluding exterior walls)
 First Floor – 6,690 square feet (including exterior walls)

Construction Type: **V-B**
 Height: **One Story and no Basement (scope is first floor only)**
 Sprinkler System: **Not - Provided at B.**
 Allowable Floor Area: **7,000 SF** (without a sprinkler) Allowable Number of Stories: **3 Stories** (without a sprinkler)

Code Summary
 2020 International Building Code

STORIES
 Actual Height – 1 floor above grade – 17'-6" ave. grade to roof edge.

USE AND OCCUPANCY CLASSIFICATION – IBC, CHAPTER 3

Item	Requirement	Code Reference
Occupancy Groups	1. B (Business) Whole Building	IBC, 304.1

GENERAL BUILDING HEIGHTS AND AREA – IBC, CHAPTER 5

Item	Requirement	Code Reference
Construction Type	Type II-B	IBC, 602.2
Allowable Area	B – 23,000 SF (non-sprinklered)	IBC, Table 506.2
Frontage Area increase	NA Area not calculated	IBC, 506.2.4
Total Allowable Floor Area	7,000 SF	
Allowable Height	B – 2 Stories – 40' High non-sprinklered	IBC, Table 504.3 & 504.4

TYPES OF CONSTRUCTION- IBC, CHAPTER 6

Item	Requirement	Code Reference
Construction type	Type II-B	IBC, Table 601
Fire Resistance rating Building elements		
Structural frame	0 hr	IBC, Table 601
Bearing walls		
Ext.	1 hr (less than 5' from property line)	IBC, Table 601
Int.	0 hr	IBC, Table 601
Nonbearing walls		
Ext.	1 hr (less than 5' from property line)	IBC, Table 601
Int.	0 hr	IBC, Table 601
Floor construction	0 hr	IBC, Table 601
Roof construction	0 hr	IBC, Table 601

FIRE – RESISTANCE-RATED CONSTRUCTION – IBC, CHAPTER 7

Item	Requirement	Code Reference
Exterior Walls		
Opening Vertical Separation	0 hr (three stories or less)	IBC, 705.8.5
Openings Adjacent roof	N/A	IBC, 705.8.6
Fire Walls		
Separation of Buildings	3 hrs.	IBC, Table 706.4
Fire Barriers		
Vertical exit enclosure	2 hr (4 stories or more) NA	IBC, 1023.2
1 hr (less than 4 stories)		IBC, 1023.2
Incidental Use:		
Furnace >400k Btu/Hr	1 hr or Sprinkler System	BCNYS, Table 509
Boiler >15 psi&10 HP	1 hr or Sprinkler System	BCNYS, Table 509
Laundry rooms >100 SF	1 hr or Sprinkler System	BCNYS, Table 509
Storage rooms >100 SF	1 hr or Sprinkler System	BCNYS, Table 509
Shaft Enclosures:		
Connecting 4 or more Stories	2 hr (not less than floor assembly)	BCNYS, 713.4
Connecting Less than 4 Stories	1 hr (not less than floor assembly)	BCNYS, 713.4
Required Separation of Occupancies		
Separated Occupancy Use	Between Occupancies 2 hrs, but none exist	IBC, Table 508.4
Fire Partitions		
Fire-resistance rating	1 hr	IBC, 708.3
Fire-resistance rating	1/2 hr corridor walls	IBC, 708.3
1/2 hr sleeping units		IBC, 708.3
Smoke Barriers		
Fire-resistance rating	1 hr	IBC, 709.3
INTERIOR FINISHES – BCNYS, CHAPTER 8		
Item	Requirement	Code Reference
Interior Exits, Stairs and Exit Passageways	B – Class A non sprinklered	IBC, Table 803.13
Exit access corridor and Other Exitways, Ramps	B – Class B non sprinklered	IBC, Table 803.13
Rooms and enclosed Spaces	B – Class C non sprinklered	IBC, Table 803.13
FIRE PROTECTION SYSTEMS – BCNYS, CHAPTER 9		
Item	Requirement	Code Reference
Fire Protection		
Group B	Not Required	IBC, 903
Standpipe system	Not Required (under 4 stories)	IBC, 905.3.1
Portable Fire Ext.	Required - 75' travel distance	IBC, 906.1
Fire Alarm	Provided	IBC, 907.2
MEANS OF EGRESS – BCNYS, Chapter 10		
Item	Requirement	Code Reference
Occupancy per floor based on floor area		
Occupant load		
B (Business Group) –	6,316sf/150 per occ = 42.1 or 43 occ.	IBC, Table 1004.5
Calculated Egress Widths		
Stairs:	B 43 occ. x .3 inches per occ = 12.9"	IBC, 1005.3.1


Corridor Space

Item	Requirement	Code Reference
Height	7'-6" Minimum	IBC, 1003.2
Width	3'-8" Minimum/3'-0" if less than 50 occ.	IBC, Table 1020.2
Dead Ends	50'-0" Max. 1 hr (w/out Sprinkler System) **0 hr. if sprinkler system is provided	IBC, Table 1020.1 IBC, 1020.4
Doors Sizes		
Width Clear	2'-8"/32" Min. (3'-0" leaf)	IBC, 1010.1.1
Leaf size	4'-0" Maximum	IBC, 1010.1.1
Height	6'-8" Minimum	IBC, 1010.1.1
Swing	50 or more occupants -direction of egress	IBC, 1010.1.2.1
Exit Access		
Travel Distance	200' B , (w/o Sprinkler System)	IBC, Table 1017.2
Two Exits	Required if more than 49 occupants o common path is greater than 75'	IBC, Table 1006.2.1
Common Path of Travel	75' (less than 50 occ.)	IBC, 1029.8
Exits		
Number of exits based on occupants	1-500 occupants = (2) exits	IBC, Table 1006.3.2
ACCESSIBILITY – BCNYS, CHAPTER 11		
Item	Requirement	Code Reference
Accessible Route		
Within a Site	1 Minimum	IBC, 1104.2
Connected Space	1 Minimum	IBC, 1104.3
Multilevel Buildings	1 Minimum	IBC, 1104.4
Accessible Entrances	60% Min.	IBC, 1105.1
Parking and Passenger Loading Facilities		
Accessible Parking Spaces	Up to 25 spaces, 1 to be accessible 26 to 50 spaces, 2 to be accessible 51 to 75 spaces, 3 to be accessible	IBC, Table 1106.1
Other Features and Facilities		
Toilet and bathing room	Accessible required	IBC, 1109.2
Signage	Signage Required for B group	IBC, 1111.1
INTERIOR ENVIRONMENT – BCNYS, CHAPTER 12		
Item	Requirement	Code Reference
Ventilation		
Natural or mechanical ventilation in habitable space		
Bathroom exhaust	4% of floor area (natural) Required (mechanically)	IBC, 1202.1 IBC, 1202.5.2.1
Temperature Control		
	68 deg F / occupied spaces (heat at 3'-0" A.F.F.)	IBC, 1203.1
Light		
Natural or artificial light in habitable space	8% of floor area (natural) 10 ft.-candles min. (artificial at 2'-8" A.F.F.)	IBC, 1204.2 IBC, 1204.3
Room Width		
Habitable Space	7'-0" Minimum clear	IBC, 1207.1

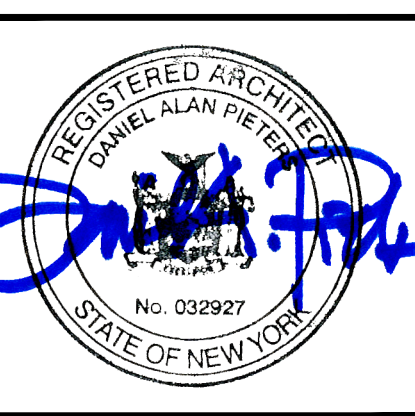
Ceiling Heights

Item	Requirement	Code Reference
Occupied Space	7'-6"	IBC, 1207.2
Habitable Space	7'-6"	IBC, 1207.2
Corridor Space	7'-6"	IBC, 1207.2
Bathrooms, kitchens, storage, and laundry	7'-0"	IBC, 1207.2
Room Area		
Habitable spaces	70 SF Minimum	IBC, 1207.3
Access to Unoccupied spaces		
Attic Space	20"x30" access (30" clear headroom)	IBC, 1208.2
ENERGY EFFICIENCY – IBC, CHAPTER 13		
International Energy Conservation Code		
STRUCTURAL DESIGN – BCNYS, CHAPTER 16		
Deflection limits		IBC, Table 1604.3
Load Requirements	not part of these documents	IBC, Table 1607.1
Snow loads		IBC, Table 1608.2
Wind loads		IBC, 1609
Plumbing systems – BCNYS, CHAPTER 29		
Item	Requirement	Code Reference
Required Plumbing facilities	43 total occupants (21 male/22 female)	
Water closets	Male - 1 per 100 = 1 Required	IBC, Table 2902.1
	Female - 1 per 100 = 1 Required	IBC, Table 2902.1
Lavatories	1 per 100 = 1 Required	IBC, Table 2902.1
Showers	not required	IBC, Table 2902.1
Other	1 Service Sink 1 Drinking Fountain	IBC, table 2902.1 IBC, table 2902.1

SPECIFICATIONS/GENERAL NOTES:
 UNLESS OTHERWISE NOTED THE BELOW NOTES ARE TO BE UTILIZED AS PART OF THE SCOPE WHEN THAT SCOPE ITEM IS PART OF THE CONTRACT.

- IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
- ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.
- TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE DRAWINGS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

 Date: 09/07/2023
 Daniel A. Pieters
- COPYRIGHTS: THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE DETAILS OF THE BUILDING SHOWN AVAILABLE TO THE CLIENT AND TO THE CONTRACTOR CONSTRUCTING THIS PROJECT. ANY REPRODUCTION OF THIS DESIGN, IN WHOLE OR IN PART, IS PROHIBITED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.
- DESIGN LOADS:**
 FLOOR: 50 P.S.F. LIVE LOAD ROOF: 50 P.S.F. LIVE LOAD
 20 P.S.F. DEAD LOAD 20 P.S.F. DEAD LOAD
- SOIL PRESSURE:** ASSUMED TO BE 3000 P.S.F. (GEOTECH. DATA NOT THE RESPONSIBILITY OF THE ARCHITECT). FINAL SUB-SURFACE SITE DETAIL IS UNKNOWN BY THIS ARCHITECT.
- CONCRETE:**
 a. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3500 P.S.I. 5" CONCRETE SLAB (28 DAY COMPRESSIVE STRENGTH) OVER A 6 MIL. POLYETHYLENE VAPOR BARRIER ON 8" POROUS GRAVEL REINFORCING SHALL BE 6X6 – W1.4 X W1.4 WELDED WIRE MESH.
 b. PROVIDE #5 BAR @ 4'-0" OC. BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN ALL LOCATIONS EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 2" OF RIGID INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL.
- FOUNDATIONS:**
 a. FOUNDATION FOOTINGS SHALL REST UPON UNDISTURBED (ORIGINAL) SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0"
 b. CONCRETE BLOCK WALLS (CMU) SHALL BE CONSTRUCTED WITH:
 i. GRADE 'N', TYPE I, HOLLOW LOAD BEARING CONCRETE MASONRY UNITS WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 P.S.I.
 ii. TYPE 'S' MORTAR.
 iii. HORIZONTAL RE-INFORCING: "DUR-O-WAL" TRUSS TYPE RE-INFORCING, CONTINUOUS THROUGHOUT EVERY OTHER BLOCK COURSE.
 iv. VERTICAL RE-INFORCING: RE-INFORCE WALLS OF EXCAVATED AREA WITH NO. 7 VERTICAL REBARS AT 4'-0" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF ANY OPENINGS IN THE FOUNDATION WALL(S).
 v. PLACE 5/8" DIAMETER BY 16" LONG SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 32" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF OPENINGS IN THE FOUNDATION WALL(S).
 c. WATERPROOF WALLS OF EXCAVATED AREAS WITH TROWLED ON CEMENT, TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING AND "WRAP AND DRAIN" WATERPROOFING SYSTEM.
 d. PROVIDE 4" DIAMETER PERFORATED DRAINAGE TILE AT THE PERIMETER OF ALL FOUNDATION FOOTINGS IN EXCAVATED AREAS. COVER THE JOINTS IN THE DRAIN TILE WITH GEOTEXTILE FABRIC. COVER THE JOINTS IN THE DRAIN TILE WITH A MINIMUM OF 18" POROUS GRAVEL FILL. WRAP THE ENTIRE TILE/FILL ASSEMBLY IN GEOTEXTILE FABRIC WITH LAP SEAMS A MINIMUM OF 8".
- STRUCTURAL STEEL:**
 a. ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM SPECIFICATION A-36.
 b. UNLESS OTHERWISE NOTED, PROVIDE A P.T. 2 BY PLATE BOLTED TO THE TOP FLANGE OF ALL BEAMS WITH 1/2" DIA. ANCHOR BOLTS STAGGERED AT 2'-0" O.C. RIGIDLY FASTEN ALL CONNECTING RAFTERS/JOISTS A MINIMUM OF 8".
- CARPENTRY:**
 a. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUG-FIR, CONSTRUCTION GRADE. BEAMS, HEADERS AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.
 b. UNLESS OTHERWISE NOTED PROVIDE:
 i. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.
 ii. DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING AND UNDER TUB, SHOWER AND TOILET.
 iii. TRIPLE 2 X 10 HEADERS WITH 1/2" HIGH 'R' BETWEEN ALL DOOR AND WINDOW OPENINGS.
 iv. TWO ROWS OF SOLID 2X10 BLOCK BRIDGING PER JOIST SPAN.
 v. FLOOR CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH SHEATHING, GLUE AND SCREW ADVANTECH TO FLOOR JOISTS.
 vi. USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILING IN ALL BATH AND TOILET AREAS, AND USE MARINE GRADE PLYWOOD IN THESE AREAS.
 vii. EXTERIOR WALL SHEATHING: 7/16" X 48" X 96" EXTERIOR GRADE OSB.
 viii. ALL NON-RATED INTERIOR WALLS AND CEILING SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. PROVIDE METAL CORNER RE-INFORCING AT ALL EXTERIOR CORNERS. TAPE, FLOAT AND SAND A MINIMUM OF THREE COATS. RATED CEILING USE TYPE C AND WALLS TYPE X.
 ix. ROOF CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH SHEATHING, GLUE AND SCREW ADVANTECH TO ROOF JOISTS/TRUSSES.
 c. WOOD TRUSSES SHALL BE DESIGNED BY AN ARCHITECT OR ENGINEER, OTHER THAN LICENSEE OF THESE DRAWINGS, LICENSED TO PRACTICE WITHIN THE STATE OF NEW YORK. STRUCTURAL AND INSTALLATION BRACING SHALL BE DESIGNED BY THE MANUFACTURER OF THE TRUSSES.
 d. INTERIOR TRIM AND FINISHES ARE SELECTED BY THE OWNER AND PROVIDED BY THE CONTRACTOR AS PART OF THESE DOCUMENTS.
 e. UTILIZE THE SPECIFIER'S GUIDELINES FOR ALL MANUFACTURED LUMBER COMPONENTS FOR ANY DETAILING ON REQUIRED FRAMING TECHNIQUES.
- MISCELLANEOUS:** UNLESS OTHERWISE NOTED, PROVIDE:
 a. R-21 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-30 FIBERGLASS BATT INSULATION IN ALL FLOORS AND R-38 BATT FIBERGLASS INSULATION IN ALL CEILING, ROOFS OR TRUSSES ADJACENT TO THE EXTERIOR OR UNHEATED INTERIOR SPACES. SPRAYED FOAM INSULATION MAY ALSO BE USED PER MANUF. RECOM.
 b. 1" OF RIGID INSULATION SHELTER-SHEATH AGAINST THE INTERIOR SIDE OF THE EXTERIOR CONCRETE BLOCK WALLS ALLOWING 1/2" OF AIR SPACE BETWEEN CMU AND RIGID INSUL., TAPE ALL SEAMS FOR VAPOR BARRIER.
 c. PROVIDE KRAFT FACE INSULATION FOR ALL BATT INSULATION TO ASSIST AS A VAPOR BARRIER ON THE INTERIOR SIDE OF ALL THERMAL INSULATION, PRIOR TO APPLYING FINISH.
 d. INSULATING GLAZING AT ALL EXTERIOR GLASS AREAS AND TEMPERED GLAZING IN ALL GLAZED OPENINGS LESS THAN 30" ABOVE FINISH FLOOR.
 e. CAULKING AT ALL PERIMETERS OF WINDOWS, DOORS AND BOTTOM PLATES.
- SITE INSPECTIONS SHALL BE MADE BY THIS ARCHITECT, ALTHOUGH THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP. MATERIAL SUBSTITUTIONS SHALL BE MADE ONLY IF APPROVED BY THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL CODES THAT GOVERN CONSTRUCTION AND VARIATIONS FROM THESE PLANS. CONTRACTOR RESPONSIBLE FOR PERMITTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS PROJECT.
- THE CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION AND DEMOLITION AS REQUIRED TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE PROJECT, PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP THE NECESSARY FOUNDATION SOIL REQUIRED TO SUSTAIN THE LOADS OF THE DESIGN OF THE 2.5 TONS PER SQUARE FOOT AND TO HIRE A SOILS ENGINEER TO IMPACT AND VERIFY SOIL CONDITIONS PRIOR TO THE POURING OF FOUNDATIONS.
- THE CONTRACTOR SHALL REQUEST THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ALL CONSTRUCTION INCLUDING SEPTIC SYSTEM.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THE OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY AND ALL CLAIMS ARISING FROM INJURY DURING CONSTRUCTION, INCLUDING FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH "OSHA" STANDARDS.
- THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS, ARE TO BE ANALYZED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR SIZING AND REPLACEMENT FOR HEATING, COOLING & VENTILATION.
- DECK FRAMING, GUARD POSTS, RAILINGS & GUARDS SHALL BE PROVIDED PER THE 2013 AMERICAN WOOD COUNCIL DCA-9 PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE.
- SMOKE AND CARBON MONOXIDE ALARMS ARE TO BE PROVIDED PER SECTION J602 OF THE 2020 BUILDING CODE OF NEW YORK STATE.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



CENTRAL BARK OF ROCHESTER COMMERCIAL / FIT-OUT ENHANCEMENTS
 65 SAGINAW DRIVE
 HENRIETTA, NY 14623

DATE	DRAWN	CHECKED
08/28/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE
 GENERAL REQ./ SPECIFICATIONS, CODE REVIEW SUMMARY & DETAIL

PROJECT NUMBER

G1

DRAWING NUMBER

GENERAL DEMOLITION NOTES:

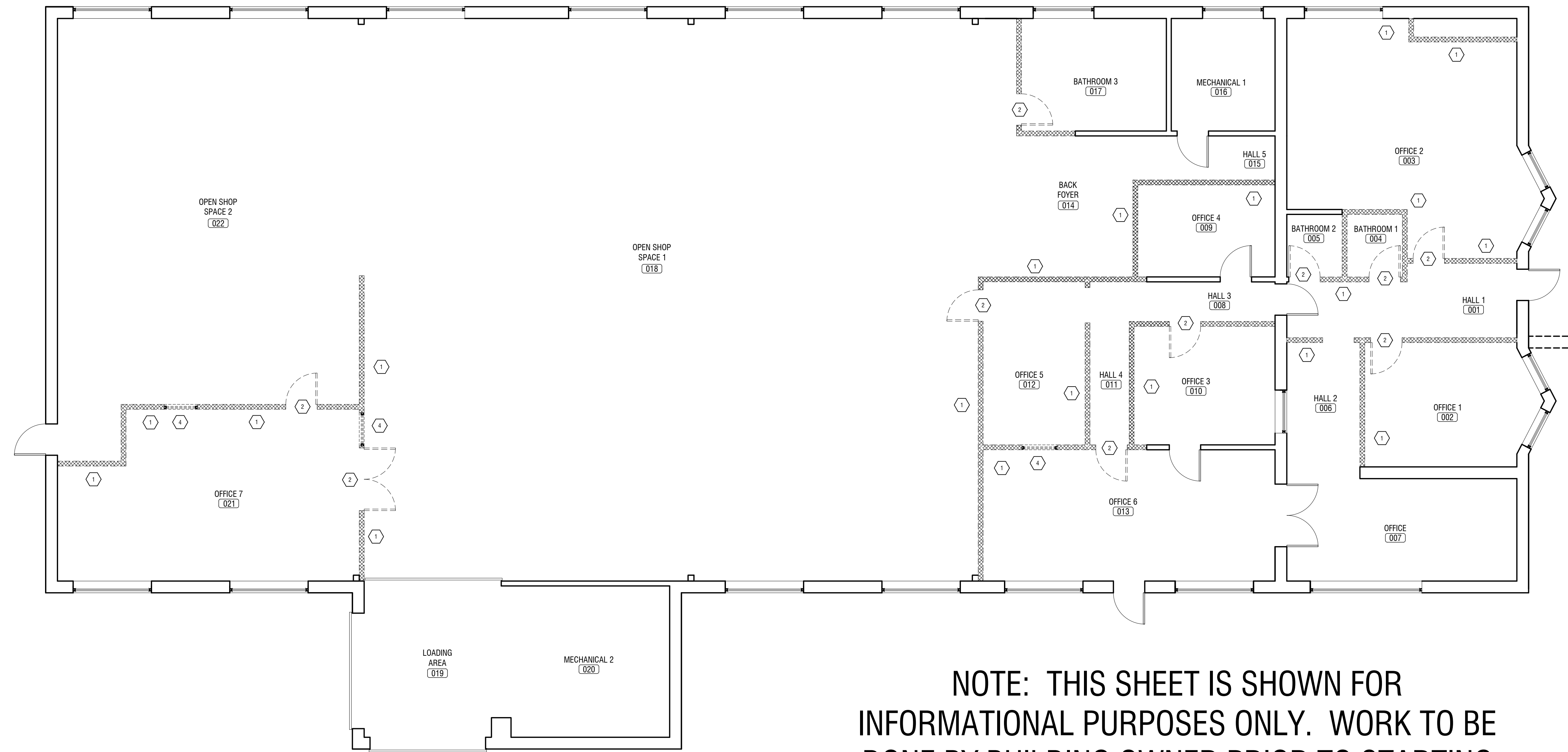
1. ALL CONSTRUCTION SCHEDULED FOR REMOVAL SHALL BE DISPOSED OF LEGALLY OFF SITE.
2. CONTRACTOR SHALL PATCH WALLS TO MATCH EXISTING WHERE DEMOLITION WORK IS SHOWN ON WALLS TO REMAIN. CONTRACTOR SHALL PATCH FASTENER HOLES IN ALL EXISTING WALLS TO REMAIN AT DEMOLITION WORK AREAS AND PAINT WALLS.
3. AT ALL AREAS WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, PATCH ALL DAMAGED ADJACENT AREAS TO BE FLUSH AND MATCH EXISTING.
4. COORDINATE ALL WORK WITH OTHER PRIME CONTRACTORS. SEE CIVIL, STRUCTURAL, HAZARDOUS MATERIAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION SCHEDULED FOR DEMOLITION TO DETERMINE ALL QUANTITIES AND EXISTING CONDITIONS PRIOR TO BID. NOTIFY ARCHITECT OF INCONSISTENCIES/INADEQUATE DESCRIPTIONS OF WORK PRIOR TO BID.
6. SECURITY, WEATHERPROOFING, DUST CONTROL AND SAFETY TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
7. CONTRACTOR TO PROVIDE SHORING NECESSARY TO SUPPORT EXISTING WALL, INTERIOR WALLS AND CEILING STRUCTURE. DURING DEMOLITION AND NEW CONSTRUCTION AS REQUIRED.
8. PRIOR TO DEMOLITION, CONTRACTOR TO SECURE TEMPORARY CUTOFFS AND/OR CAPPING OF ANY ASSOCIATED UTILITIES/FIXTURES AS REQUIRED.

DEMOLITION LEGEND:

SYMBOL	DESCRIPTION
-----	EXISTING CONSTRUCTION TO BE REMOVED.
=====	EXISTING CONSTRUCTION TO REMAIN.
--- ---	EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE TO BE REMOVED. SEE DEMOLITION NOTES
---	EXISTING DOOR TO REMAIN.
== ==	EXISTING WINDOW TO BE REMOVED.

- DEMOLITION KEY NOTES:**
- 1 REMOVE EXISTING WOOD/METAL STUD WALLS AND ALL ASSOCIATED ASSEMBLY COMPONENTS.
 - 2 REMOVE EXISTING DOOR UNIT IN ITS ENTIRETY.
 - 3 REMOVE EXISTING WALL SECTION TO ACCOMMODATE NEW WINDOW UNITS. REFER TO NEW CONSTRUCTION PLANS FOR DIMENSIONS.
 - 4 REMOVE EXISTING WINDOW UNIT IN ITS ENTIRETY.
 - 5 REMOVE EXISTING INTERIOR WALLS, EXTERIOR WALL FINISH PANELS, DOOR UNITS, WOOD FLOOR DECKING AND CEILINGS.
 - 6 REMOVE EXISTING INTERIOR FULL AND HALF WALLS, STAIRS, EXTERIOR WALL COVERING, UPPER AND BASE CABINETS, COUNTERTOPS AND SINK.
 - 7 REMOVE EXISTING CEILING DROP SYSTEMS, TRACKS, HANGERS AND ALL ASSOCIATED SYSTEMS. TO ACCOMMODATE NEW CEILINGS.
 - 8 REMOVE EXISTING INTERIOR WALLS, STAIRS, WALL FINISH PANELS, AND CEILINGS.
 - 9 REMOVE EXISTING ENTRY DOOR, CANOPY AND SUPPORTING BRACKETS.
 - 10 REMOVE EXISTING CONCRETE APRON AT OVERHEAD DOOR LOCATION.

NOTE: EXISTING WALL CONSTRUCTION AND MATERIAL TYPES LISTED FOR REFERENCE ONLY. FIELD VERIFY ALL WALL CONSTRUCTION AND MATERIAL TYPES PRIOR TO BID AND DEMOLITION. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES



NOTE: THIS SHEET IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. WORK TO BE DONE BY BUILDING OWNER PRIOR TO STARTING CONSTRUCTION.

EXISTING & DEMOLITION FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 SQUARE FEET TOTALS W/ EXTERIOR WALLS: 6,690 SQUARE FEET
 SQUARE FEET TOTAL FIRST FLOOR: 6,690 SQUARE FEET
 DEMOLISH EXISTING STUD WALLS
 EXISTING WALLS TO REMAIN

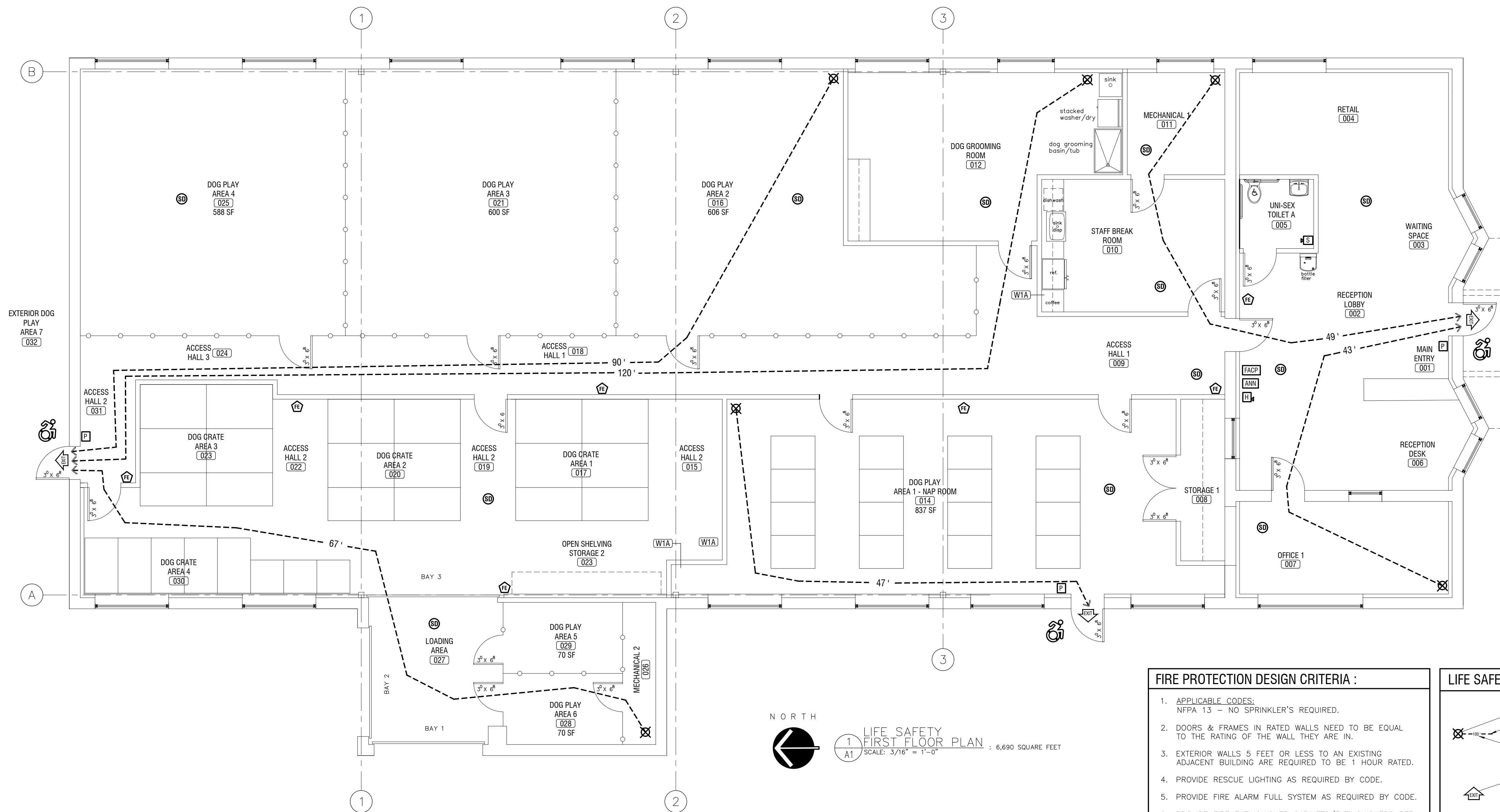
REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



CENTRAL BARK OF ROCHESTER COMMERCIAL / FIT-OUT ENHANCEMENTS
 65 SAGINAW DRIVE
 HENRIETTA, NY 14623

DATE	DRAWN	CHECKED
09/07/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
EXISTING & DEMOLITION FIRST FLOOR PLAN		

PROJECT NUMBER
 A0
 DRAWING NUMBER



1 LIFE SAFETY FIRST FLOOR PLAN : 6,690 SQUARE FEET
SCALE: 3/16" = 1'-0"

- FIRE PROTECTION DESIGN CRITERIA :**
1. APPLICABLE CODES:
NFPA 13 - NO SPRINKLER'S REQUIRED.
 2. DOORS & FRAMES IN RATED WALLS NEED TO BE EQUAL TO THE RATING OF THE WALL THEY ARE IN.
 3. EXTERIOR WALLS 5 FEET OR LESS TO AN EXISTING ADJACENT BUILDING ARE REQUIRED TO BE 1 HOUR RATED.
 4. PROVIDE RESCUE LIGHTING AS REQUIRED BY CODE.
 5. PROVIDE FIRE ALARM FULL SYSTEM AS REQUIRED BY CODE.
 6. PROVIDE FIRE EXTINGUISHER CABINETS/EXTINGUISHERS PER CODE.

- FIRE ALARM KEY :**
- PULL STATION
 - STROBE
 - HORN
 - ANNUNCIATOR
 - FIRE ALARM CONTROL PANEL

- LIFE SAFETY LEGEND :**
- EXIT TRAVEL DISTANCE
 - MOST REMOTE POINT
 - LOGICAL TRAVEL PATH
 - LENGTH OF EXIT TRAVEL DISTANCE IN FEET - IBC/TABLE 1017.2
 - PROVIDE EXIT SIGN LOCATION / EXIT ACCESS DOORWAY
 - CAPACITY OF EXIT BASED ON 15'/1000' TABLE 1006.3
 - NOTE: IF BLANK, THE ELEMENT EXCEEDED THE CAPACITY OF THE EXIT OR EXIT ACCESS CORRIDOR IT SERVES. REFER TO COLLECTOR ELEMENT FOR CAPACITY.
 - INDICATES ACCESSIBLE ROUTE
 - R.W. PROVIDE EGRESS WINDOW
 - PROVIDE FIRE EXTINGUISHER CABINET (MAXIMUM TRAVEL DISTANCE OF 75')
 - PROVIDE SMOKE & CO DETECTOR
 - VEST 1 102
 - SPACE/ROOM # DESIGNATION
 - 2 HOUR RATED WALL PARTITION
 - EX 1 HR 1 HOUR RATED EXTERIOR WALL PARTITION
 - 1/2 HOUR RATED WALL PARTITION

NOTE:
ALL EXTERIOR BUILDING WALLS ARE CONSTRUCTED OF 2X6 @ 16" O.C. WOOD STUD WALLS WITH 1/2" SILL PLATE AND 5/8" TYPE "X" GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED & 1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED LOCATIONS. PRIME AND PAINT. SEE DESIGN CRITERIA FOR RATING REQUIREMENTS.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

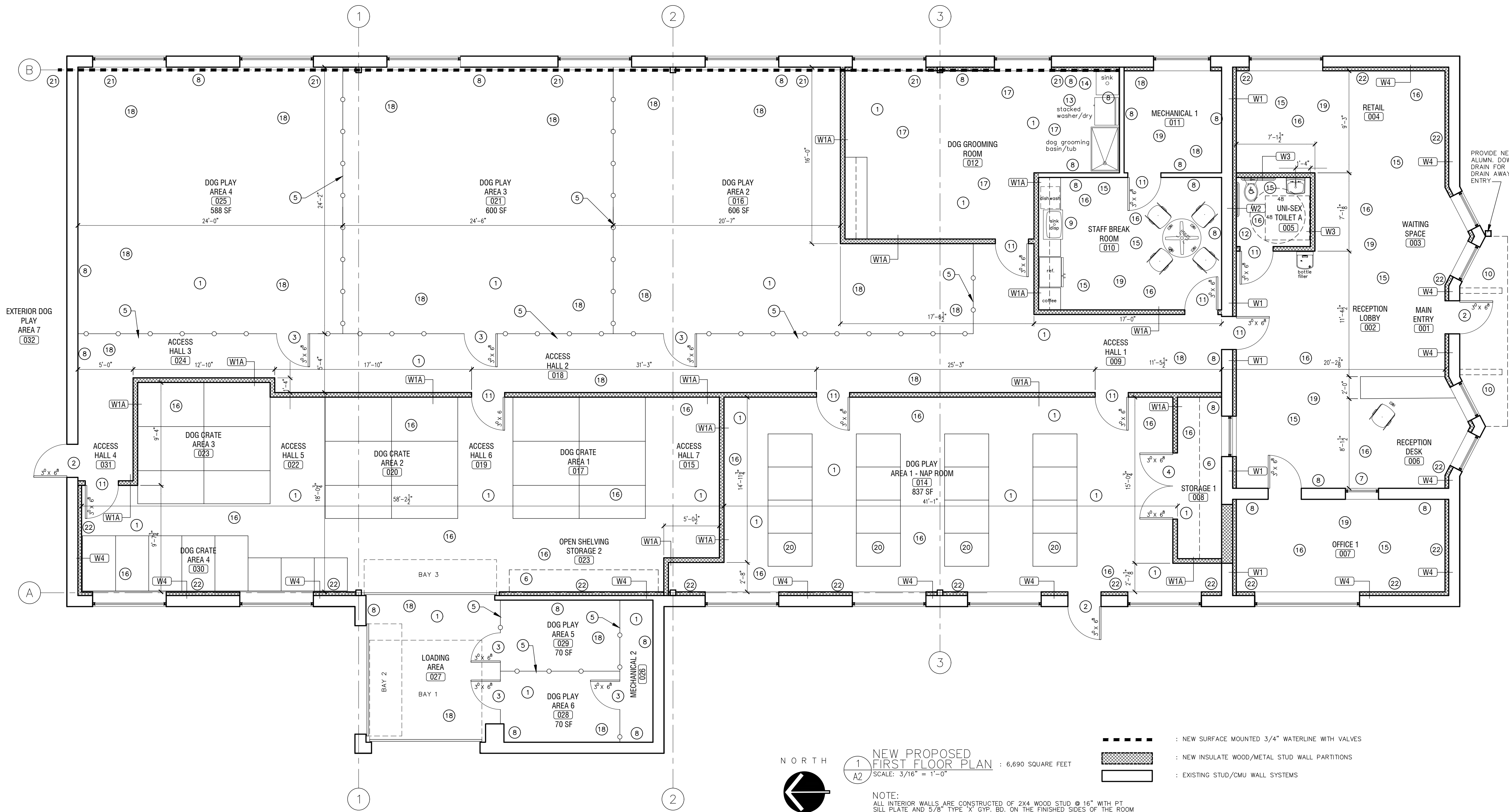


CENTRAL BARK OF ROCHESTER COMMERCIAL / FIT-OUT ENHANCEMENTS
65 SAGINAW DRIVE
HENRIETTA, NY 14623

DATE	DRAWN	CHECKED
09/07/23	DAP	DAP

SCALE AS NOTED
SHEET TITLE
LIFE SAFETY FIRST FLOOR PLAN

PROJECT NUMBER
A1
DRAWING NUMBER



NEW PROPOSED FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 : 6,690 SQUARE FEET

NOTE:
 ALL INTERIOR WALLS ARE CONSTRUCTED OF 2X4 WOOD STUD @ 16" OC WITH PT SILL PLATE AND 5/8" TYPE 'X' GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED & 1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF SIDES OF THE ROOM @ NON-RATED LOCATIONS. PRIME AND PAINT.
 SQUARE FEET TOTALS W/ EXTERIOR WALLS : 6,690 SQUARE FEET TOTAL FIRST FLOOR

- : NEW SURFACE MOUNTED 3/4" WATERLINE WITH VALVES
- ▨ : NEW INSULATE WOOD/METAL STUD WALL PARTITIONS
- ▭ : EXISTING STUD/CMU WALL SYSTEMS

- GENERAL CONSTRUCTION NOTES:**
- ALL NEW WORK SHALL CONFORM TO THE BUILDING CODES OF N.Y.S. ENERGY CODE, NATIONAL BUILDING CODE, LOCAL/TOWN CODES AND NFPA.
 - ALL NEW WORK TO BE INSTALLED PROPERLY AND IN ACCORDANCE W/ MANUFACTURERS INSTRUCTIONS/REQUIREMENTS.
 - REPAIR ALL EXISTING WALLS/FLOORS/CEILING AS AFFECTED BY THE DEMOLITION OR WHERE DAMAGED OCCURRED BY ANY NEW CONSTRUCTION.
 - ALL FINISH COLOR SELECTIONS AND MATERIALS (FLOORING, TILE, COUNTERTOPS, BASE CABINETS ETC) ARE TO BE BY OWNER.
 - INSTALL FAN/VENTS IN TOILET AREAS AND LAUNDRY, DUCTED DIRECTLY TO THE OUTSIDE PER CODE.
 - FINAL GROOMING LAYOUT DESIGN AND EQUIPMENT SELECTIONS BY OTHERS.
 - CEILING AND WALL AREAS TO HAVE 5/8" GYPSUM BOARD (PRIMED/PAINTED) MOISTURE RESISTANT GYPSUM BOARD IN ALL WET LOCATIONS.
 - MODIFY EXISTING FRONT ENTRY AS NECESSARY TO ACCOMMODATE NEW CANOPY SYSTEM.
 - PROVIDE HIGH STRENGTH GROUT/FLOOR LEVELER AT ALL FLOOR VOIDS PRIOR TO ANY NEW FLOOR FINISH AT ALL FLOOR LOCATIONS.
 - FLOORING FINISH TYPES TBD, BY OWNER.

- NEW CONSTRUCTION FLOOR PLAN AND CEILING PLAN KEYNOTES:**
- FILL ALL VOIDS AND REMOVE ANY STEEL MACHINE ANCHORS IN FLOOR, CLEAN. "PROTECT ALL" FLOORING SYSTEM BY OTHERS.
 - 3'-0" X 6'-8" INSULATED STEEL EXTERIOR ENTRY DOOR UNIT, PROVIDE LOCKSET/HARDWARE AND WEATHER STRIPPING.
 - 4' HIGH X 3' WIDE DOG GATE DOOR SYSTEM BY OTHERS.
 - (2) 3'-0"x6'-8" SWING DOOR UNIT, PROVIDE LOCKING HARDWARE.
 - 4' HIGH FENCING/GATE AND FENCING ANCHOR SYSTEM. PROVIDE POLES AT 10'-0" OC AND AT EACH GATE EDGE, BY OTHERS.
 - STORAGE SHELVING WITH-IN STORAGE ROOM; MIN (4) FOUR SHELVES.
 - 3'-0"x4'-0" NEW ALUMINUM WINDOW UNIT W/ ASSOCIATED TRIM.
 - PRIME AND PAINT ALL EXISTING WALLS TO REMAIN. PATCH ANY DAMAGED AREAS TO TIE IN NEW WALLS.
 - 2'-0" SINK BASE CABINET UNIT.
 - PROVIDE NEW EXTERIOR WATERPROOF AND FLASHED CANOPY SYSTEM WITH 6" ALUMINUM DOWNSPOUT, 6" BRACKET SUPPORTS AND ASSOCIATED DRAINAGE DOWN THE WALL AND AWAY FROM THE DOOR/SIDEWALK, PROVIDE UNDER CANOPY LIGHTING TO APPROPRIATELY LIGHT ENTRY. PROVIDE \$15,000 ALLOWANCE.
 - PROVIDE NEW 3'-0"x6'-8" SWING DOOR UNIT, PRIVACY HARDWARE.
 - PROVIDE ADA REQUIRED TOILET ROOM ACCESSORIES AND HARDWARE.
 - INSTALL NEW STACKED WASHER/DRYER (FURNISHED BY OWNER).
 - INSTALL NEW 24" UTILITY SINK (FURNISHED BY OWNER).
 - VINYL WOOD LOOK LOCKING/FLOATING FLOOR SYSTEM WITH INTEGRAL BASE.
 - NEW 2X2 ACOUSTICAL DROP CEILING SYSTEM. PROVIDE NEW ARMSTRONG REGULAR 2X2 CEILING TILES, GRID AND LIGHTS TO ADEQUATELY LIGHT THE SPACE.
 - NEW GYPSUM BOARD ACOUSTICAL CEILING SYSTEM. PROVIDE 2x6 @ 16" OC FRAMING SYSTEM, BRACING, CABLES, ANCHOR SYSTEMS, AND LIGHTS TO ADEQUATELY LIGHT THE SPACE. INSULATE WITH R19 BATT, ABOVE CEILING, PRIME AND PAINT CEILING.
 - OPEN CEILING SYSTEM WITH EXPOSED ROOF JOISTS, CONDUIT, EQUIPMENT AND PIPING. PRIME AND PAINT ENTIRE CEILING AREA, JOISTS, DECK, CONDUIT AND EQUIPMENT. PROTECT ALL FIRE ALARM/DETECTION DEVICES.
 - FILL ALL VOIDS AND REMOVE ANY STEEL MACHINE ANCHORS IN FLOOR, CLEAN AND SEAL EXISTING CONCRETE FLOOR SLAB.
 - ALL DOG NAP ROOM GRATES TO BE SUPPLIED BY OWNER.
 - NEW INTERIOR WALL MOUNTED WATER LINE ON THE EXTERIOR WALL, INSULATED 2" WATER LINE FROM THE MOP SINK TO THE EXTERIOR ON THE NORTH SIDE WITH A NON FREEZE HOSE BIB ON THE EXTERIOR.
 - NEW R13 BATT, INSULATED WOOD STUD WALLS @ 16" OC W/ 1/2" FRP PANEL UP TO 4' ABOVE FINISH FLOOR AND MOISTURE RESISTANT GYPSUM FROM 4' TO 8'-6", PRIME/PAINT.

- WALL TYPE KEYNOTES: STUDS COULD BE WOOD OR METAL.**
- W1 2X4 WOOD/MTL STUDS @ 16" OC, W/ 1/2" GYPSUM BOARD ONE SIDE TO 6" ABOVE CEILING, FULL HEIGHT WALL STUDS TO UNDERSIDE OF DECK, ROUGHLY 12" HIGH, R13 BATT, INSULATION IN WALL CAVITY.
 - W1A 2X6 WOOD/MTL STUDS @ 16" OC, W/ 1/2" GYPSUM BOARD BOTH SIDES, PROVIDE SOUND INSULATION. 16" HIGH WALL STUDS GO FULL HT., GYPSUM BOARD GOES 6" ABOVE CEILING, APPROX. 8'-6" ON NAP AND CRATE ROOMS AND FULL HT. GYP ON PLAY AREA SIDE, PRIME/PAINT.
 - W2 2X6 WOOD STUDS @ 16" OC, W/ 1/2" MOISTURE RESISTANT GYPSUM BD. ON BATHROOM SIDE, PROVIDE SOUND INSULATION. 16" HIGH WALL, GYPSUM BOARD GOES TO 6" ABOVE CEILING, APPROX. 8'-6".
 - W3 2X6 WOOD/MTL STUDS @ 16" OC, W/ 1/2" MOISTURE RESISTANT GYPSUM BOARD ON TOILET SIDES, 1/2" GYPSUM OF NON-TOILET ROOM SIDE PROVIDE SOUND INSULATION. STUDS GO TO UNDERSIDE OF DECK AND GYP. BD. TO 6" ABOVE CEILINGS.
 - W4 2X4 WOOD/MTL STUDS @ 16" OC, W/ 1/2" MOISTURE RESISTANT GYPSUM BOARD ON INSIDE FACE, PROVIDE R13 BATT, INSULATION. STUDS GO TO UNDERSIDE OF DECK AND GYP. BD. TO 6" ABOVE CEILINGS.

REVISIONS NO.	DATE	BY	CHKD	DESCRIPTION



CENTRAL BARK OF ROCHESTER
COMMERCIAL / FIT-OUT ENHANCEMENTS
 65 SAGINAW DRIVE
 HENRIETTA, NY 14623

DATE	DRAWN	CHECKED
09/03/23	DAP	DAP

SCALE AS NOTED

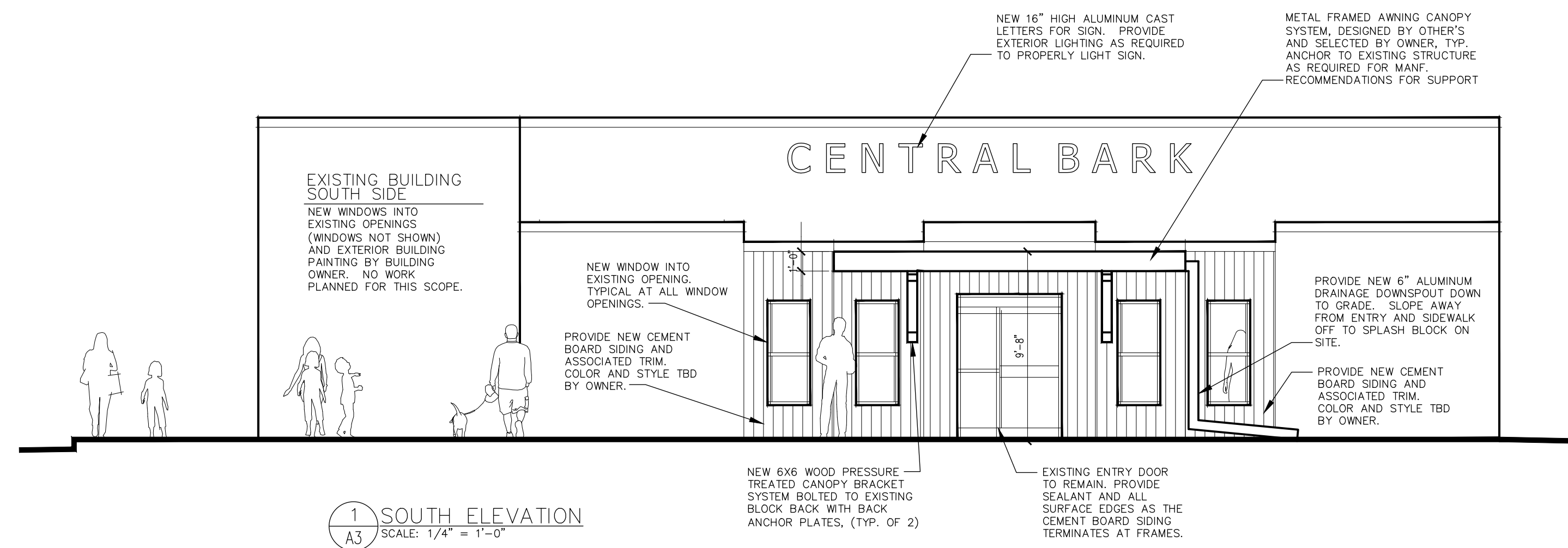
SHEET TITLE

FIRST FLOOR PLAN

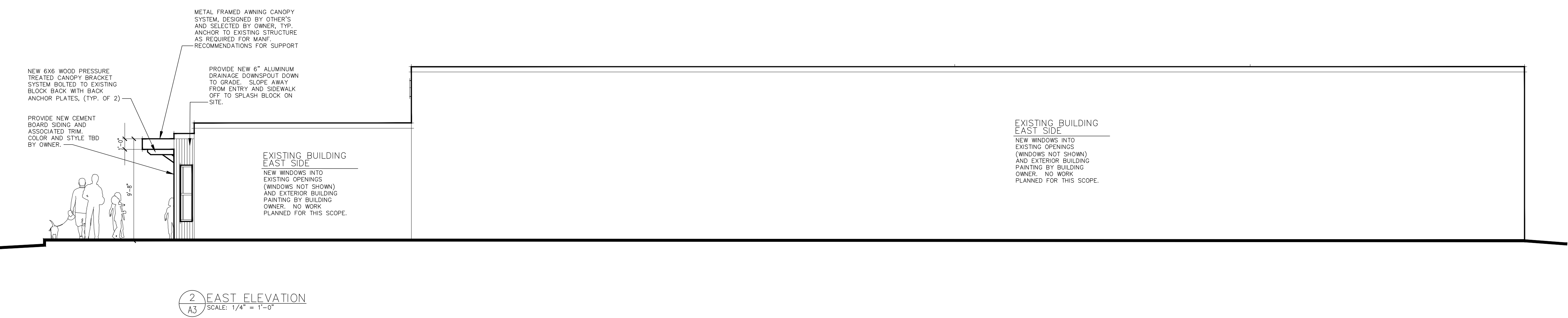
PROJECT NUMBER

A2

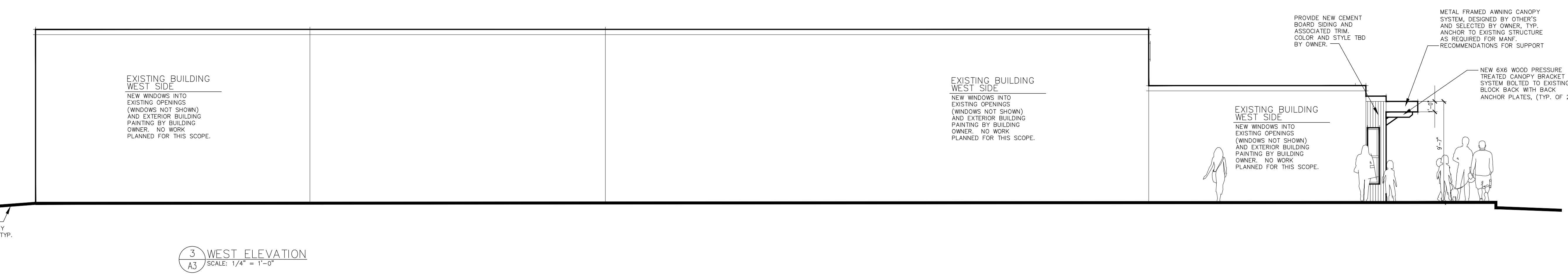
DRAWING NUMBER



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



CENTRAL BARK OF ROCHESTER
COMMERCIAL / FIT-OUT ENHANCEMENTS
 65 SAGINAW DRIVE
 HENRIETTA, NY 14623

DATE	DRAWN	CHECKED
09/07/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
EXTERIOR ELEVATIONS		

PROJECT NUMBER

A3
 DRAWING NUMBER