

TOWN OF HENRIETTA Site Plan Application

APPLICATION	I NO			
PLANNING BOARD 🗸		OR ADMINISTRATIVE		
DATE:				
I (we) A.R.	Building Company	of 310 Seven F	ields Blvd, Suite 350	
	Name of Applicant / Business	Business A	ddress (Number & Street)	
Seven Field	ds, PA 16046 Town, State, Zip	hereb	y apply to the Planning Board for	
Site Plan Rev	riew OR Other: N/A			
on property l	ocated at 2160 E Henrietta Rd / 2132 E Hen (Street & Number)	rietta Rd Comm	nercial B-2, 162.18-2-2 & 162.18-2-4.1	
оп рторого, т	(Street & Number)	(Zonii	ng District & Tax Account No.)	
Previous Rev	iews, if any, Date: N/A	Number: N/	Α	
Proposed c	N OF PROPOSAL: onstruction of two (2) apartment bu			
	complex will be titled, "Henrietta Ap	·		
•	A.R. Building Company		Civil & Environmental Consultants of New York, Inc	
Applicant:		_ Engineer/Arc	chitect:	
Address:	310 Seven Fields Blvd, Suite 350	Address:	908 Niagara Falls Boulevard	
	Seven Fields, PA 16046	-	North Tonawanda, NY 14120	
Phone #:		Phone #:		
Email:		Email:		
Property Ow	vner: A.R. Building Company	_ Business Ow	ner:	
Address:	310 Seven Fields Blvd, Suite 350) Address:		
	Seven Fields, PA 16046	_		
Phone #:		_ Phone #:		
Email:		_ Email:		
Applicant Sigr	nature:	_ Print Name:	Jeremy Starr	



Project Narrative / Letter of Intent

A.R. Building company is proposing the land development of a vacant plot of land located at 2160 E. Henrietta Street and 2132 East Henrietta Road designated as 263200 162.18-2-4.1 and 263200 162.18-2-2 tax parcels respectively. The subject property is approximately 8.46 acres located in the Commercial B-2 zoning district within the Mixed Use Redevelopment Corridor Overlay District.

The applicant is proposing the development of two (2) multifamily apartment buildings along with associated site improvements including but not limited to private drive paths, resident parking, utilities and stormwater management facilities. The proposed multifamily buildings will be four (4) stories with a mean height of forty-five (45) to forty-seven (47) feet above grade. One building will include twenty-seven (27) one-bedroom apartments the other will include twenty-six (26) one-bedroom apartments and both buildings will include twenty-four (24) two- bedroom apartments totaling one hundred and one (101) units resulting in a density of 11.94 dwelling units per acre. Also included in the proposed development is the construction of a private clubhouse and pool facility for residents of the property. Under the Mixed Use Redevelopment Corridor Overlay District Multi-Family dwellings are permitted with a special use permit.

Grading efforts for site preparation will be minimal due to the lack of existing topography and is designed to balance on-site, therefore it is not anticipated a need to haul material on or off-site. Design efforts have been taken to minimize disturbance to existing vegetation and will maintain a large percentage of existing growth and supplementing vegetation is part of the proposed development. There is a non-jurisdictional delineated wetland measuring 0.02 acres located on site that has also been taken into consideration during the minimize disturbance design approach that will not be impacted.

Utilities to service the development will be coordinated with local service providers. It is anticipated that connection to Water and Electric will be with service laterals from existing lines located on the Eastern side of E. Henrietta St. Sanitary sewer will be conveyed through an existing easement located on the South Eastern corner of the property to an existing line along Rodlea Circle. Stormwater will be managed at a rate and volume not to exceed the ordinance requirement through an acceptable management facility and conveyed through an existing easement located on the North East of the property to an existing line along Lalanne Road.

SITE PLAN CHECKLIST

HENRIETTA APARTMENTS PROJECT NAME: APPLICATION No. M Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar. Except in the simplest form of site plan application, the proposal package should contain at least the following drawings: **XXXXXXXX** a. Site Plan b. Utility Plan c. Grading Plan d. Landscape Plan e. Lighting Plan f. Profiles and Construction Details g. Building Elevations The Title Block should contain the following: X X X a. Proposed Name of Development b. Location of Development c. Name, Address, and Telephone Number of Developer or Applicant M d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor M Show General Location Map (sketch). North should be located at the top of the drawing. X A scale of not more than fifty feet to the inch is to be used. 5 Show names and tax account numbers of adjacent lands. 6 M Indicate zoning by note. If more than one area, delineate the zoning on the plan view. 7 M By plan note, list all variances and special permits accompanied by Application Number and approval date. M Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres M 10 Show a tie distance from the proposed site to nearest road intersection M Show location width and type of all existing and/or proposed easements on the plan. Also, 11

tabulate all of the easements on the plan and key by identifying numbers.

SITE PLAN CHECKLIST

PROJECT NAME: HENRIETTA APARTMENTS APPLICATION No. M 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor. 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction. M 14 List the names of existing streets, their legal width, and jurisdiction. M 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road. X Show planned use for the proposed structure (i.e. office etc). X Show proposed and/or existing setbacks. 17 18 Show parking requirements (indicate the proposed and required). X 19 Show the fire lanes. The Landscaping Plan must be of the same scale as the Site Plan and contain the 20 following minimums: X X X X a. To scale plot of proposed trees and/or shrubs b. The plan must contain a table of quantities. See Appendix for proper requirements. c. Enlargement details for areas of proposal that are not legible at the plan scale. d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional. e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman. f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth. g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.) M All architecture plans must include elevation drawings of the proposed structure and be

fully dimensioned, horizontally and vertically.

D

M

SITE PLAN CHECKLIST

APPLICATION No. PROJECT NAME: HENRIETTA APARTMENTS M 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis. M Please plan to bring samples of the proposed architectural materials to the meeting. M The following statement should appear on all Site Plans: "As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board." M A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix. M 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer by supplied. M 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite. M 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department. 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans. Show wetland and buffer zone limits (when applicable). Show floodplain and floodway limits (when applicable). M In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.

In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe

SITE PLAN CHECKLIST

PROJEC	CT NA	ME: HENRIETTA APARTMENTS APPLICATION No.
		sizes, and details of any water crossings.
×	34	Show location and size of proposed water services and/or watermains including shutoff valves.
	35	Show location of fire protection systems components.
×	36	Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
	37	Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
×	38	The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
	39	If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
×	40	Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
	41	Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
×	42	Required supporting data and/or Reports: a. Environmental Assessment Form (one copy) (Short Form or Part 1 Long Form) b. Drainage Report (two copies) c. Traffic Report if required (twelve copies) d. Lighting catalog cuts (copy with each set of plans) e. Architectural Renderings

f. Letter of Credit Estimate (one copy).

g. Engineering Review Charge and Engineering Site Inspection Charge Form.

SITE PLAN CHECKLIST

PROJEC	CT NA	ME: HENRIETTA APARTMENTS	APPLICATION No.		
		See Appendix.			
	43	Thirty (30) sets of folded plans will be required			
	44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).				
D	16	Jeremy Starr	00/40/0000		
Prepared	a ior:	Name of Developer	08/16/2023 Date		
		A.R. Building Company			
		Company Name			
		310 Seven Fields Blvd, Suite 350 Street Address			
		Seven Fields, PA 16046	<u></u>		
		City, State, Zip			



SITE PLAN CHECKLIST

PROJECT NA	AME: HENRIETTA APARTMENTS	APPLICATION No.
	Telephone Number	
Prepared by:	Brad Simmons	08/16/2023
	Name of Consultant Civil and Environmental Consultants Inc. Company Name	Date _
	700 Cherrington Parkway Street Address	_
	Moon Township, PA 15108 City, State, Zip	_
	Telephone Number	

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

Application Number:	
TPP TO THE TOTAL STATE OF THE TRANSPORT	

Site Plan and Subdivision Application Engineering Review Charges

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	Jeremy Starr
Responsible Firm	A.R. Building Company
Street Address	310 Seven Fields Blvd, Suite 350
City, State, Zip Code	Seven Fields, PA 16046
Telephone Number	

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	Jeremy Starr
Responsible Firm	A.R. Building Company
Street Address	310 Seven Fields Blvd, Suite 350
City, State, Zip Code	Seven Fields, PA 16046
Telephone Number	

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By	Brad Simmons / CEC
Address	700 Cherrington Parkway
City, State Zip	Moon Township, PA 15108
Telephone Number	

Full Environmental Assessment Form Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Henrietta Apartment Buildings		
Project Location (describe, and attach a general location map):		
2160 E Henrietta Road, Rochester, NY 14623		
Brief Description of Proposed Action (include purpose or need):		
Applicant is proposing the construction of two (2) four (4) story apartment buildings with a clu limited to public utilities, private roadways and stormwater management facilities.	bhouse, and associated site improve	ements including but not
Name of Applicant/Sponsor:	Telephone:	
A.R. Building Company	E-Mail:	
Address: 310 Seven Fields Blvd, Suite 350		
City/PO: Seven Fields	State: PA	Zip Code: 16046
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	
Jeremy Starr	E-Mail	
Address:		
310 Seven Fields Blvd, Suite 350		
City/PO:	State:	Zip Code:
Seven Fields	PA	16046
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:	,	
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)					
Government Entity	If Yes: Identify Agency and Approval(s) Required	Applicati (Actual or			
a. City Counsel, Town Board, ✓ Yes☐ No or Village Board of Trustees	Town of Henreitta	03/01/2023			
b. City, Town or Village ✓ Yes No Planning Board or Commission	Town of Henreitta	12/14/2022			
c. City, Town or ✓Yes□No Village Zoning Board of Appeals	Town of Henrietta	03/01/2023			
d. Other local agencies ☐Yes ☑No					
e. County agencies ☐Yes ✔No					
f. Regional agencies ☐Yes ☑No					
g. State agencies ✓Yes□No	NYSDOT	09/20/2022			
h. Federal agencies ☐Yes ☑No					
i. Coastal Resources. i. Is the project site within a Coastal Area, of	or the waterfront area of a Designated Inland W	/aterway?	□Yes Z No		
ii. Is the project site located in a communityiii. Is the project site within a Coastal Erosion	with an approved Local Waterfront Revitalizan Hazard Area?	tion Program?	□ Yes ✓ No □ Yes ✓ No		
C. Planning and Zoning					
C.1. Planning and zoning actions.					
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ■ If Yes, complete sections C, F and G. ■ If No, proceed to question C.2 and complete all remaining sections and questions in Part 1					
C.2. Adopted land use plans.					
a. Do any municipally- adopted (city, town, vil where the proposed action would be located?) include the site	✓Yes□No		
	If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action Yes \square No				
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) If Yes, identify the plan(s): NYS Heritage Areas:West Erie Canal Corridor ✓ Yes □ No ✓ Yes □ No					
c. Is the proposed action located wholly or part or an adopted municipal farmland protection If Yes, identify the plan(s):		ipal open space plan,	□Yes ✓No		

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? B-2 Commercial within the Mixed-Use Redevelopment Corridor Overlay District	∠ Yes□No
b. Is the use permitted or allowed by a special or conditional use permit?	∠ Yes N o
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site?	□Yes☑No
C.4. Existing community services.	
a. In what school district is the project site located? Rush-Henrietta Central School District	
b. What police or other public protection forces serve the project site? Monroe County Sherrif Department, NY State Troopers - Henrietta	
c. Which fire protection and emergency medical services serve the project site? Henrietta Fire District	
d. What parks serve the project site? Andrews, Park, Belmanor Park, Breese Park, Henrietta Dog Park at Lookup Park, Hoskins Park, Lookup Park, Martin Road Park, Ti Veterans Memorial Park	nker Nature Park and
D. Project Details	
D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, components)? Commercial in the form of Residential Apartments	include all
b. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 8.46 acres 8.46 acres 8.46 acres	
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, square feet)? % Units:	☐ Yes No housing units,
square feet)? % Units: d. Is the proposed action a subdivision, or does it include a subdivision?	□Yes ☑ No
If Yes, <i>i</i> . Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)	
ii. Is a cluster/conservation layout proposed?iii. Number of lots proposed?iv. Minimum and maximum proposed lot sizes? Minimum Maximum	□Yes ☑ No
e. Will the proposed action be constructed in multiple phases? i. If No, anticipated period of construction: ii. If Yes: Total number of phases anticipated Anticipated commencement date of phase 1 (including demolition) Anticipated completion date of final phase Generally describe connections or relationships among phases, including any contingencies where progres determine timing or duration of future phases:	

	ct include new resid				Z Yes∏No
If Yes, show nun	nbers of units propo One Family	sed. <u>Two Family</u>	Three Family	Multiple Family (four or more)	
* 1.1 1.51	One ranniy	1 wo ranniy	Tinee Family	- · · · · · · · · · · · · · · · · · · ·	
Initial Phase At completion				101	
of all phases				101	
•					
	osed action include	new non-residentia	al construction (inclu	ading expansions)?	✓ Yes No
If Yes,	r of structures	1			
<i>ii.</i> Dimensions ((in feet) of largest p	oposed structure:	15 height:	31 width; and73 length	
iii. Approximate	e extent of building s	space to be heated	or cooled:	3075 square feet	
				l result in the impoundment of any	□Yes☑No
liquids, such a	s creation of a water	r supply, reservoir	, pond, lake, waste la	agoon or other storage?	
If Yes,					
i. Purpose of the	e impoundment:	-:1 £41	atam [☐ Ground water ☐ Surface water strea	
ii. If a water imp	oundment, the princ	cipal source of the	water:	Ground water Surface water stream	ms Uotner specify:
iii. If other than v	water, identify the ty	pe of impounded/	contained liquids an	d their source.	
iv. Approximate	size of the proposed	d impoundment.	Volume:	million gallons; surface area:height;length	acres
v. Dimensions o	of the proposed dam method/materials f	or impounding su or the proposed da	ucture: m or impounding st	neignt; length ructure (e.g., earth fill, rock, wood, con	crete):
vi. Construction	method/materials 1	or the proposed da	in or impounding st	ructure (e.g., cartii iiii, rock, wood, con	cicic).
D.2. Project Op	erations				
a. Does the propo	osed action include	any excavation, mi	ning, or dredging, d	uring construction, operations, or both	Yes ✓ No
		ition, grading or in	stallation of utilities	or foundations where all excavated	
materials will i	remain onsite)				
If Yes:		Pomiobomb no moit			
i. What is the pt	urpose of the excava	uion or areaging?	e etc) is proposed t	o be removed from the site?	
Volume	(specify tons or cul	oic vards):	s, etc.) is proposed t	o be removed from the site:	
Over wh	nat duration of time?	?			
iii. Describe natu	re and characteristic	es of materials to b	e excavated or dred	ged, and plans to use, manage or dispos	se of them.
iv Will there be	e onsite dewatering of	or processing of ex	cavated materials?		☐Yes ✓ No
If yes, descri		or processing or ex			1 63 110
v. What is the to	otal area to be dredg	ed or excavated?		acres	
vi. What is the m	naximum area to be	worked at any one	time?	acres	
			or dredging?	feet	
	avation require blast				□Yes ⁄ No
ix. Summarize si	te reclamation goals	and plan:			
b. Would the pro	posed action cause	or result in alteration	on of, increase or de	crease in size of, or encroachment	✓ Yes No
	ing wetland, waterbo				
If Yes:					
<i>i.</i> Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Site Grading activities may come in proximity of a 0.029 acre delineated wetland that has been determined by NYS DEC currently is					
description):	Site Grading activities not near or in mapped	may come in proximi NYS Freshwater We	ιy οτ a υ.υ29 acre delin tlands or a requlated 1	leated wetland that has been determined by 00-foot adjacent area.	NYS DEC currently is
	- Hole a se		. 3	•	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placemalteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square	
iii. Will the proposed action cause or result in disturbance to bottom sediments? If Yes, describe:	∐Yes ℤ No
<i>iv.</i> Will the proposed action cause or result in the destruction or removal of aquatic vegetation?	☐ Yes ✓ No
If Yes:	
acres of aquatic vegetation proposed to be removed:	
expected acreage of aquatic vegetation remaining after project completion:	
• purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):	
• proposed method of plant removal:	
if chemical/herbicide treatment will be used, specify product(s): v. Describe any proposed reclamation/mitigation following disturbance:	
v. Describe any proposed reciamation/initigation following disturbance.	
c. Will the proposed action use, or create a new demand for water?	✓ Yes □No
If Yes:	V 1 es INO
i. Total anticipated water usage/demand per day: 11,220 gallons/day	
ii. Will the proposed action obtain water from an existing public water supply?	Z Yes □No
If Yes:	
Name of district or service area: Monroe County Water Authority	
Does the existing public water supply have capacity to serve the proposal?	✓ Yes No
• Is the project site in the existing district?	✓ Yes ☐ No
• Is expansion of the district needed?	☐ Yes No
• Do existing lines serve the project site?	✓ Yes No
iii. Will line extension within an existing district be necessary to supply the project?	□Yes Z No
If Yes:	_
Describe extensions or capacity expansions proposed to serve this project:	
• Source(s) of supply for the district:	
<i>iv</i> . Is a new water supply district or service area proposed to be formed to serve the project site? If, Yes:	☐ Yes ✓No
• Applicant/sponsor for new district:	
Date application submitted or anticipated:	
Proposed source(s) of supply for new district:	
Proposed source(s) of supply for new district: v. If a public water supply will not be used, describe plans to provide water supply for the project:	
vi. If water supply will be from wells (public or private), what is the maximum pumping capacity:	gallons/minute.
d. Will the proposed action generate liquid wastes?	✓ Yes □No
If Yes:	
i. Total anticipated liquid waste generation per day: gallons/day	
ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe a	
approximate volumes or proportions of each):	
iii. Will the proposed action use any existing public wastewater treatment facilities? If Yes:	∠ Yes □No
Name of wastewater treatment plant to be used:	
Name of district:	
Does the existing wastewater treatment plant have capacity to serve the project?	Z Yes □No
• Is the project site in the existing district?	✓ Yes □No
• Is expansion of the district needed?	☐ Yes Z No
•	— —

 Do existing sewer lines serve the project site? 	✓ Yes □ No
 Will a line extension within an existing district be necessary to serve the project? 	□Yes ☑ No
If Yes:	
Describe extensions or capacity expansions proposed to serve this project:	
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?If Yes:	□Yes ☑ No
Applicant/sponsor for new district:	
Applicant/sponsor for new district: Date application submitted or anticipated:	
• What is the receiving water for the wastewater discharge?	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including spec receiving water (name and classification if surface discharge or describe subsurface disposal plans):	ifying proposed
vi. Describe any plans or designs to capture, recycle or reuse liquid waste:	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point	✓ Yes □ No
sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?	
If Yes:	
<i>i.</i> How much impervious surface will the project create in relation to total size of project parcel?	
Square feet or _ 2.30 acres (impervious surface)	
Square feet or _ 8.46 acres (parcel size)	
ii. Describe types of new point sources. Surface Runoff	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent p	raparties
groundwater, on-site surface water or off-site surface waters)?	roperues,
On-Site Stormwater Management Facility	
If to surface waters, identify receiving water bodies or wetlands:	
• Will stormwater runoff flow to adjacent properties?	□ Yes ☑ No ☑ Yes□ No
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?	□Yes Z No
If Yes, identify:	
<i>i</i> . Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)	
ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)	
iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit,	□Yes Z No
or Federal Clean Air Act Title IV or Title V Permit? If Yes:	_
<i>i.</i> Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet	□Yes ☑ No
ambient air quality standards for all or some parts of the year)	_
ii. In addition to emissions as calculated in the application, the project will generate:	
•Tons/year (short tons) of Carbon Dioxide (CO ₂)	
•Tons/year (short tons) of Nitrous Oxide (N ₂ O)	
•Tons/year (short tons) of Perfluorocarbons (PFCs)	
•Tons/year (short tons) of Sulfur Hexafluoride (SF ₆)	
•Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs) •Tons/year (short tons) of Hazardous Air Pollutants (HAPs)	
• LOBS/VERT (SHORT LOBS) OF HAZARGOUS AIR POLITIENTS (HAPS)	

h. Will the proposed action generate or emit methane (includent landfills, composting facilities)? If Yes: i. Estimate methane generation in tons/year (metric): ii. Describe any methane capture, control or elimination methane.	easures included in project design (e.g., combustion to g	Yes No
electricity, flaring):		
i. Will the proposed action result in the release of air pollutar quarry or landfill operations? If Yes: Describe operations and nature of emissions (e.g., displayed).		∐Yes ∕ ⁄⁄ No
j. Will the proposed action result in a substantial increase in new demand for transportation facilities or services? If Yes: i. When is the peak traffic expected (Check all that apply) Randomly between hours of to to ti. For commercial activities only, projected number of true	n: ☑ Morning ☑ Evening ☑ Weekend	✓ Yes No
 iii. Parking spaces: Existing	Proposed 153 Net increase/decrease g? sting roads, creation of new roads or change in existing available within ½ mile of the proposed site? ortation or accommodations for use of hybrid, electric	☐Yes ☑No access, describe: ☑Yes ☐ No ☑Yes ☐ No
 viii. Will the proposed action include plans for pedestrian or pedestrian or bicycle routes? k. Will the proposed action (for commercial or industrial prefor energy? If Yes: i. Estimate annual electricity demand during operation of the 	ojects only) generate new or additional demand	□Yes☑No ☑Yes□No
Approximately 918, kWh per year ii. Anticipated sources/suppliers of electricity for the project other): Grid / Local Utility from Rochester Gas & Electric Corporation		
 iii. Will the proposed action require a new, or an upgrade, to 1. Hours of operation. Answer all items which apply. i. During Construction: Monday - Friday: Saturday: Sunday: Holidays: 	ii. During Operations: Monday - Friday: Saturday: Sunday: Holidays:	

If y	Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? /es: Provide details including sources, time of day and duration: pment associated with standard construction during the Town of Henrietta approved hours of operation	☑ Yes □No
ii.	Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Describe: A portion of the existing vegetation will be removed during construction	✓ Yes □ No
If i.	Will the proposed action have outdoor lighting? yes: Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: ing and building lighting is proposed and will be designed to minimize the footprint of light emissions	∠ Yes □No
	Will proposed action remove existing natural barriers that could act as a light barrier or screen? Describe: A portion of the existing vegetation will be removed during construction	✓ Yes □No
o.]	Does the proposed action have the potential to produce odors for more than one hour per day? If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:	☐ Yes 🗹 No
If N i. ii.	Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes: Product(s) to be stored Volume(s) per unit time (e.g., month, year) Generally, describe the proposed storage facilities:	☐ Yes Ø No
If	Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes: Describe proposed treatment(s):	☐ Yes ☑ No
r. V	Will the proposed action use Integrated Pest Management Practices? Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes: Describe any solid waste(s) to be generated during construction or operation of the facility: Construction:	
iii.	Operation: Proposed disposal methods/facilities for solid waste generated on-site: Construction:	
	• Operation:	

s. Does the proposed action include construction or modi	fication of a solid waste ma	anagement facility?	☐ Yes 🗹 No	
If Yes: i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or				
other disposal activities):	for the site (e.g., recycling	or transfer station, composting	5, ianami, or	
<i>ii.</i> Anticipated rate of disposal/processing:				
• Tons/month, if transfer or other non-c	combustion/thermal treatme	ent, or		
• Tons/hour, if combustion or thermal t				
	years			
t. Will the proposed action at the site involve the commer	cial generation, treatment,	storage, or disposal of hazard	ous □Yes ☑ No	
waste?				
If Yes: i. Name(s) of all hazardous wastes or constituents to be	generated handled or man	naged at facility:		
i. Ivame(s) of all hazardous wastes of constituents to be	generated, nandred or mar	laged at facility.		
ii. Generally describe processes or activities involving h	azardous wastes or constitu	uents:		
-				
iii. Specify amount to be handled or generatedto	ons/month		_	
iv. Describe any proposals for on-site minimization, rec	ycling or reuse of hazardou	us constituents:		
W'll 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	CC : 1 1 1	114 0	□Yes ☑ No	
v. Will any hazardous wastes be disposed at an existing If Yes: provide name and location of facility:				
11 Tes. provide name and location of facility.				
If No: describe proposed management of any hazardous v	wastes which will not be se	ent to a hazardous waste facilit	y:	
<u> </u>				
E. Site and Setting of Proposed Action				
E.1. Land uses on and surrounding the project site				
a. Existing land uses.				
i. Check all uses that occur on, adjoining and near the	project site.	1 (
☐ Urban ☐ Industrial ☑ Commercial ☑ Resid ☐ Forest ☐ Agriculture ☐ Aquatic ☑ Other	ential (suburban)			
ii. If mix of uses, generally describe:	(specify). Subject property is	s currently vacant		
I I I I I I I I I I I I I I I I I I I				
- 				
b. Land uses and covertypes on the project site.				
Land use or	Current	Acreage After	Change	
Covertype	Acreage	Project Completion	(Acres +/-)	
Roads, buildings, and other paved or impervious	0.27	2.30	+2.30	
surfaces				
Forested	6.29	3.53	-2.76	
Meadows, grasslands or brushlands (non-	1.88	2.61	+0.73	
agricultural, including abandoned agricultural)				
Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0	
Surface water features				
(lakes, ponds, streams, rivers, etc.)	0	0	0	
Wetlands (freshwater or tidal)	0.02	0.02	0	
Non-vegetated (bare rock, earth or fill)		3102	<u> </u>	
Other Describe:				
Describe.				

day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: Down height:	c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain:	□Yes☑No
If Yes: i. Dimensions of the dam and impoundment: • Dam length: • Dam length: • Dam length: • Dam length: • Surface area: • Volume impounded: ii. Dam's existing hazard classification: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Bas the facility been formally closed? iii. Has the facility been formally closed? iii. Describe in location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: iii. Describe any development constraints due to the prior solid waste activities: iii. Press: i. Describe wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: if Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: iii. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: Yes = Spills Incidents database Provide DEC ID number(s): Yes = Spills Incidents database Provide DEC ID number(s): Yes = Spills Incidents database Provide DEC ID number(s): Yes = Invironmental Site Remediation database Provide DEC ID number	If Yes,	∏Yes Z No
If Yes: i. Dimensions of the dam and impoundment: • Dam length: • Dam length: • Dam length: • Dam length: • Surface area: • Volume impounded: ii. Dam's existing hazard classification: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Bas the facility been formally closed? iii. Has the facility been formally closed? iii. Describe in location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: iii. Describe any development constraints due to the prior solid waste activities: iii. Press: i. Describe wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: if Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: iii. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: Yes = Spills Incidents database Provide DEC ID number(s): Yes = Spills Incidents database Provide DEC ID number(s): Yes = Spills Incidents database Provide DEC ID number(s): Yes = Invironmental Site Remediation database Provide DEC ID number		
Dam length: Dam length: Dam length: Sufface area: Sufface	If Yes:	□Yes✔No
Surface area: Volume impounded: gallons OR acre-feet ii. Dam's existing hazard classification: iii. Provide date and summarize results of last inspection: f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility,		
Surface area: Volume impounded: gallons OR acre-feet ii. Dam's existing hazard classification: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Bush the project site ever been used as a municipal, commercial or industrial solid waste management facility. If Yes. i. Has the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes. i. Has the facility been formally closed? If Yes. i. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes. i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: iii. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: iii. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Yes. Disli Incidents database Provide DEC ID number(s): Yes. Environmental Site Remediation database Provide DEC ID number(s): Yes. Environmental Site Remediation database Provide DEC ID number(s): Wes. Environmental Site Remediation database? Yes. No lif yes, provide DEC ID number(s): Wes. Environmental Site Remediation database? Yes. No lif yes, provide DEC ID number(s): Wes. Environmental Site Remediation database? Wes. In the NYSDEC Environmental Site Remediation database? Wes. In the NYSDEC Environmental Site Remediation database? Wes. In the NYSDEC Environmental Site Remediation database?	• Dam length: feet	
ii. Dan's existing hazard classification: iii. Provide date and summarize results of last inspection: f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? iii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: if Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: if Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Provide DEC ID number(s): yes No Remediation database? Check all that apply: yes — Spills Incidents database Provide DEC ID number(s): yes — In If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If Yes Don's If yes to (i), (ii) or (iii) above, describe current status of site(s): leaded at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene	• Surface area: acres	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed?	Volume impounded: gallons OR acre-feet	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility,		
or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? • If yes, cite sources/documentation: ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	iii. Provide date and summarize results of last inspection:	
or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? • If yes, cite sources/documentation: ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		
or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? • If yes, cite sources/documentation: ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Yes No Remediation database? Check all that apply: Yes = Spills Incidents database Provide DEC ID number(s): Yes = Environmental Site Remediation database Provide DEC ID number(s): Neither database Provide DEC ID number(s): Yes No If yes, provide DEC ID number(s): Average Yes No If yes, provide DEC ID number(s): Average Yes No If yes to (i), (ii) or (iii) above, describe current status of site(s): Nemediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Errichlorethane, tetrachlorethene		
ii. Has the facility been formally closed? If yes, cite sources/documentation: iii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iiii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		
• If yes, cite sources/documentation: ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Provide DEC ID number(s): Yes – Spills Incidents database Provide DEC ID number(s): Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If Yes provide DEC ID number(s): Aii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If Yes provide DEC ID number(s): If yes, provide DEC ID number(s): Aii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): Aii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): Aii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes to (i), (ii) or (iii) above, describe current status of site(s):		☐ Yes ✓ No
iii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	·	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Provide DEC ID number(s): Yes – Spills Incidents database Provide DEC ID number(s): Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes to (i), (ii) or (iii) above, describe current status of site(s): Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethene, Tetrachlorethene		
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	in Beserve the reduction of the project site relative to the boundaries of the solid waste management facility.	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		 -
property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		
property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes:	☐ Yes ✓ No
remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	i. Describe waste(s) handled and waste management activities, including approximate time when activities occurr	ed:
remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		
remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site		
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	* *	☐Yes No
 ☐ Yes – Environmental Site Remediation database ☐ Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☑ Yes ☐ No If yes, provide DEC ID number(s): 828152 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene 	i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site	□Yes□No
Yes - Environmental Site Remediation database Provide DEC ID number(s): Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ✓ Yes No No If yes, provide DEC ID number(s): 828152 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene		
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ✓ Yes No If yes, provide DEC ID number(s): 828152 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene 	Yes – Environmental Site Remediation database Provide DEC ID number(s):	
If yes, provide DEC ID number(s): 828152 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene	ii. If site has been subject of RCRA corrective activities, describe control measures:	
Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene	<i>iii.</i> Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): 828152	✓ Yes□No
Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene		
and Vinyl Chloride in soil and groundwater. The site is subject to ongoing monitoring pursuant to Site Manage Plan		e, tetrachlorethene

v. Is the project site subject to an institutional control		□Yes ☑ No
If yes, DEC site ID number:	1 1	
 Describe the type of institutional control (e.g.) Describe any use limitations: 	, deed restriction or easement):	
Describe any use limitations:Describe any engineering controls:		
Will the project affect the institutional or eng	ineering controls in place?	☐Yes Z No
• Explain:		
E.2. Natural Resources On or Near Project Site		
a. What is the average depth to bedrock on the project	site?	eet
b. Are there bedrock outcroppings on the project site?		☐ Yes / No
If Yes, what proportion of the site is comprised of bedi	ock outcroppings?	
c. Predominant soil type(s) present on project site:	Hilton Loam	65_%
	Ontario Loam	<u>25</u> %
		10_%
d. What is the average depth to the water table on the p	roject site? Average: NA feet	
e. Drainage status of project site soils: Well Drainec		
	Vell Drained: 100 % of site	
☐ Poorly Drain		
f. Approximate proportion of proposed action site with		90 % of site
	10-13%: 15% or greater:	% of site
g. Are there any unique geologic features on the project		Yes √ No
If Yes, describe:		103
h. Surface water features.		
i. Does any portion of the project site contain wetland	s or other waterbodies (including strear	ns, rivers, ☐Yes ✓No
ponds or lakes)?		
ii. Do any wetlands or other waterbodies adjoin the pr	oject site?	□Yes ∠ No
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	disining the project site regulated by an	y federal, □Yes ☑ No
<i>iii.</i> Are any of the wetlands or waterbodies within or a state or local agency?	ajoining the project site regulated by an	y lederal, restriction
<i>iv.</i> For each identified regulated wetland and waterbook	ly on the project site, provide the follow	ring information:
		assification
Lakes or Ponds: Name	Cla	assification
Wetlands: NameWetland No. (if regulated by DEC)	Ap	proximate Size
v. Are any of the above water bodies listed in the most	recent compilation of NYS water qual	ty-impaired Yes V No
waterbodies?	•	
If yes, name of impaired water body/bodies and basis f	or listing as impaired:	
i. Is the project site in a designated Floodway?		□Yes ✓ No
j. Is the project site in the 100-year Floodplain?		□Yes ⁄ No
k. Is the project site in the 500-year Floodplain?		□Yes Z No
1. Is the project site located over, or immediately adjoin If Yes:	ing, a primary, principal or sole source	aquifer?
<i>i.</i> Name of aquifer:		
<u> </u>		

m. Identify the predominant wildlife species that occupy or use the project site:	
n. Does the project site contain a designated significant natural community?	☐Yes No
If Yes: i. Describe the habitat/community (composition, function, and basis for designation):	
ii. Source(s) of description or evaluation:	
iii. Extent of community/habitat:Currently:acres	
 Following completion of project as proposed: acres Gain or loss (indicate + or -): acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened spec	☐ Yes ☑ No
If Yes:	
i. Species and listing (endangered or threatened):	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?	□Yes ☑ No
If Yes: i. Species and listing:	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use:	□Yes / No
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/number:	□Yes Z No
b. Are agricultural lands consisting of highly productive soils present? i. If Yes: acreage(s) on project site? ii. Source(s) of soil rating(s):	□Yes Z No
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National	Yes Z No
Natural Landmark? If Yes:	
 i. Nature of the natural landmark:	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? If Yes:	□Yes☑No
i. CEA name: ii. Basis for designation:	
iii. Designating agency and date:	

e. Does the project site contain, or is it substantially contiguous to, a bu which is listed on the National or State Register of Historic Places, or Office of Parks, Recreation and Historic Preservation to be eligible for	that has been determined by the Commission listing on the State Register of Historic Pla	
i. Nature of historic/archaeological resource: ☐ Archaeological Siteii. Name:iii. Brief description of attributes on which listing is based:	☐Historic Building or District	
f. Is the project site, or any portion of it, located in or adjacent to an are archaeological sites on the NY State Historic Preservation Office (SH		✓ Yes No
g. Have additional archaeological or historic site(s) or resources been idIf Yes:i. Describe possible resource(s):		□Yes ☑ No
ii. Basis for identification:		
h. Is the project site within fives miles of any officially designated and pascenic or aesthetic resource? If Yes:		☐ Yes Z No
i. Identify resource:ii. Nature of, or basis for, designation (e.g., established highway overleetc.):		scenic byway,
etc.):	niles.	
Program 6 NYCRR 666? If Yes:		☐ Yes No
i. Identify the name of the river and its designation:ii. Is the activity consistent with development restrictions contained in	6NYCRR Part 666?	☐ Yes Z No
F. Additional Information Attach any additional information which may be needed to clarify you If you have identified any adverse impacts which could be associated measures which you propose to avoid or minimize them.		pacts plus any
G. Verification I certify that the information provided is true to the best of my knowled	edge.	
Applicant/Sponsor Name Jeremy Starr	Date 08/01/2023	
Signature	Title_Associate	



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



No
No
Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
NYS Heritage Areas:West Erie Canal Corridor
Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Yes
828152
No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

<u>Statement of Applicant and Owner with Respect to Reimbursement</u> of Professional and Consulting Fees

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant:	A.R. Building Company
Ву:	Jeremy Starr
Title:	Associate
Dated:	08/14/2023
Signed:	THE SAME THOSE
Owner:	
Ву:	
Title:	
Dated:	
Signed:	

August 14, 2023

To whom it may concern,

(I)(We) hereby authorize Civil & Environmental Consultants of New York to represent A.R. Building Company for the development of a project located at 2160 E. Henrietta St. designated as 263200 118-2-4-1 and 263200 162.18-2-2 tax parcels including permits, applications and communications for the project and the Town of Henrietta, NY.

Owner: A.R. Building Company

By: Jeremy Starr

Title: <u>Associate</u>

Dated: 08/14/2023

Signed:

December 16, 2022

Town of Henrietta 475 Calkins Rd Rochester, NY 14623

RE: A.R. Building Company/2160 E Henreitta Rd

To whom it may concern,

On behalf of East Henrietta Commons, LLC, the owner of the property located in the Town of Henrietta, County of Monroe, State of New York, and is described as follows:

Approximately 7 acres of land, located in the County of Monroe, State of New York, identified as Tax Parcel ID No. 263200-162-180-0002-004-1000000 and as more particularly described in deed recorded with the Monroe County Registry of Deeds in Book 1050 at Page 390.

This will confirm that A.R. Building Company and their representatives ae authorized to file and process applications for development approvals (including, without limitations, rezoning, special use permit, and site plan approvals) for the property described above.

East Henrietta Commons, LLC

By: George Bethlendy

By:

George Bethlendy, Owner

DATE 7/21/23	BUYER: A.R. BUILDING COMPANY, INC. BY Daniel J. Mancosh President
	SELLER: MAGIC GARDEN FLORIST LLC
DATE 07/20/23	By Dawn Maier - Authorized Signatory
DATE07/20/23	Dawn Maier, Member By Jared Maier Jared Maier, Member

A.R. BUILDING COMPANY

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK TOWN BOARD APPLICATION AUGUST 16, 2023

PROJECT TEAM

OWNER

310 SEVEN FIELDS BLVD., SUITE 350 SEVEN FIELDS, PA 16046 CONTACT: JEREMY STARR

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC. 700 CHERRINGTON PARKWAY CONTACT: CHRISTOPHER J. REMLEY, P.E.

SURVEYOR

CIVIL & ENVIRONMENTAL CONSULTANTS, INC. 227 S. MAIN STREET ATHENS, PA 18810 CONTACT: TODD M. BABCOCK, L.S.

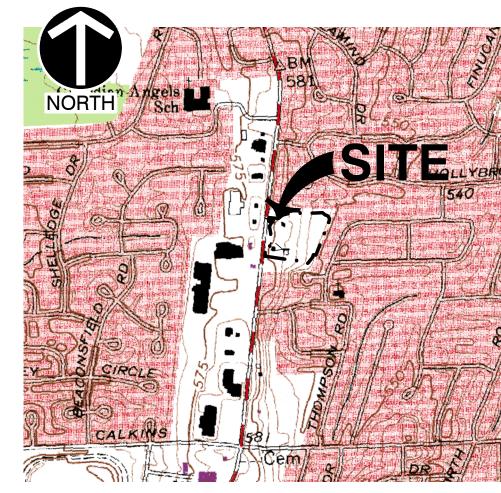
LANDSCAPE ARCHITECT

CIVIL & ENVIRONMENTAL CONSULTANTS, INC. 700 CHERRINGTON PARKWAY PITTSBURGH, PA 15108 CONTACT: CARLA LUKEHART, LEED AP, R.L.A.

LIST OF DRAWINGS	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	SITE LAYOUT PLAN
C201	SITE DISTANCE PLAN
C300	GRADING PLAN
C301	ROAD AND PARKING PROFILES
C400	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
C401	POST CONSTRUCTION STORMWATER PROFILE
C402	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
C403	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
C404	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
C405	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
C500	UTILITY PLAN
C501	SANITARY SEWER ALIGNMENT
C600	LIGHTING PLAN
C700	LANDSCAPING PLAN
C701	LANDSCAPING NOTES AND DETAILS
C702	LANDSCAPING NOTES AND DETAILS
C800	SITE DETAILS
C801	SITE DETAILS
C802	SITE DETAILS
C803	SITE DETAILS
C900	EROSION AND SEDIMENTATION CONTROL PLAN
C901	EROSION AND SEDIMENTATION CONTROL NOTES
C902	EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS
C903	EROSION AND SEDIMENTATION CONTROL DETAILS
C904	EROSION AND SEDIMENTATION CONTROL DETAILS
C1000	ARCHITECTURAL ELEVATIONS
C1001	ARCHITECTURAL ELEVATIONS
C1002	ARCHITECTURAL ELEVATIONS

PROPOSED LIMIT OF DISTURBANCE

SITE MAP SCALE: 1"=100' SCALE IN FEET



U.S.G.S. MAP U.S.G.S. 7.5 MIN. TOPOGRAPHIC MAP, PITTSFORD QUADRANGLE, NY, DATED: 1971 1''=1,000'



VICINITY MAP BASE IMAGE FROM BING MAPS ACCESSED OCTOBER 2022 1"=300'

UTILITY CONTACTS

ELECTRIC SERVICE

SANITARY SERVICE

ROCHESTER GAS & ELECTRIC 180 SOUTH CLINTON AVENUE, 1ST FLR ROCHESTER, NY 14604

475 CALKINS ROAD ROCHESTER, NY 14623 (585) 422-2001

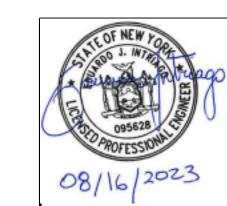
WATER SERVICE

475 NORRIS DR ROCHESTER, NY 14610

VARIANCES

AND SATISFACTORILY MAINTAINED BY THE OWNER OF THE PROPERTY FOR EACH

THE APPLICANT IS REQUESTING RELIEF FROM THIS GUIDELINE AND ALLOW LESS AND DISTURBED AREA.



PRELIMINARY NOT FOR CONSTRUCTION

NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

- 1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- 2. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- 3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE AND ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- 4. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- 5. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- 6. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS
- 7. CONTRACTOR TO COMPLY WITH ALL APPLICABLE NEW YORK DOT, MUNICIPAL, UTILITY COMPANY, AND PROJECT SPECIFIC SPECIFICATIONS.
- 8. TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC) DATED 11/09/2022; FILENAME: "324396XR-EXISTING.DWG".
- 9. BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.

DEMOLITION GENERAL NOTES

- 1. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED AS PER RECOMMENDATION FROM THE PRELIMINARY AND FINAL GEOTECHNICAL REPORTS.
- 2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD.

FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

- 3. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- 4. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- 5. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND SHALL FUNCTION PROPERLY PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
- 6. ASBESTOS OR HAZARDOUS MATERIALS ARE NOT EXPECTED. IF FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- 7. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
- 8. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- 9. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- 10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- 11. PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
- 12. ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: WELLS, ASBESTOS, UNDERGROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO: PHASE I ESA, PHASE II, WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
- 13. NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- 14. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE REPORT OF GEOTECHNICAL INVESTIGATION. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
- 15. THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION

LAYOUT GENERAL NOTES

- 1. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- 2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
- 3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING CONDUITS, PRIOR TO INSTALLATION OF PAVED SURFACES.
- 4. SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES.
- 5. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- 6. SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 7. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- 8. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- 9. THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE PATTERNS AND STRUCTURES, LANDSCAPING, ETC.

GRADING GENERAL NOTES

- 1. REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT THAT SHALL BE PREPARED BY OTHERS. PRELIMINARY GEOTECHNICAL SITE INVESTIGATION IS CURRENTLY ON—GOING AND FORMAL REPORT AND RECOMMENDATIONS WILL BE PROVIDED BY OTHERS AT A LATER DATE.
- 2. CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARED FOR THIS PROJECT.
- 3. EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED. AND COMPACTION.
- 4. CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL REPORT.
- 5. ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN, UNLESS NOTED OTHERWISE.
- 6. ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- 7. BUILDING FOUNDATION DESIGN WAS PREPARED BY OTHERS. INSTALL IN ACCORDANCE WITH PLANS AND DETAILS PREPARED BY OTHERS.
- 8. TOPSOIL VOLUMES ESTIMATED AS PART OF THIS PROJECT ASSUME THAT A MINIMUM OF 6 INCHES OF SOIL AND TOPSOIL WILL BE STRIPPED FROM THE SITE. THE ACTUAL VOLUME WILL BE BASED ON EQUIPMENT USED AND THE CONTRACTOR'S MEANS AND METHODS. CEC AND THE OWNER ARE NOT RESPONSIBLE FOR THE CONTRACTOR'S INTERPRETATION OF TOPSOIL THICKNESS AND RESULTING VOLUMES. NO ADDITIONAL COSTS WILL BE PAID TO THE CONTRACTOR FOR AN INCREASE OR DECREASE IN THE VOLUME OF TOPSOIL STRIPPED AND STOCKPILED.

DRAINAGE GENERAL NOTES

- 1. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
- 3. ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, PENNDOT PUBLICATIONS 408 AND 72M, STANDARDS FOR ROADWAY CONSTRUCTION (RC).
- 4. ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE NECESSARY INSPECTIONS AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.

UTILITY GENERAL NOTES

- 1. ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE UTILITY COMPANY SPECIFICATIONS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE APPROPRIATE AGENCY.
- 2. THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON TOPOGRAPHIC SURVEYS AND AVAILABLE PLANS OR SKETCHES PROVIDED BY PA ONECALL CONTACT. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR INSTRUCTIONS. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- 3. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED UTILITY WORK PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
- 5. ALL TRENCH SPOILS BECOME THE PROPERTY OF THE CONTRACTOR. UNLESS OTHERWISE DESIGNATED, ALL TRENCH SPOILS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFF—SITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- 6. ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES, UNLESS OTHERWISE INDICATED.
- 7. CONTRACTOR IS TO COORDINATE WITH EACH UTILITY PROVIDER REGARDING INSTALLATION OF UTILITY CONDUITS FOR ELECTRICAL WORK. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR FOR THE TRENCHING AND CONDUIT INSTALLATION. COST FOR INSTALLATION AND MATERIALS SHALL BE INCLUDED IN VARIOUS BID ITEMS.
- 8. DIMENSIONS SHOWN ARE FOR CENTER OF SANITARY SEWER MANHOLES, CENTER OF STORM STRUCTURES, AND CENTER AT FACE OF CURB FOR CURB INLETS, UNLESS

AS-BUILT RECORD DRAWINGS

1. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL UTILITY, STORM, AND SANITARY IMPROVEMENTS. AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM KNOWN SITE FEATURES SHALL BE INCLUDED. DRAWINGS SHALL HAVE HORIZONTAL AND VERTICAL INFORMATION, PIPE SIZE AND MATERIAL, STRUCTURE SIZE AND RIM ELEVATIONS, AND PIPE LENGTHS AND INVERT ELEVATIONS ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.

CONSTRUCTION STAGING GENERAL NOTES

- 1. AT LEAST SEVEN (7) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE ALLEGHENY COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- 2. UPON INSTALLATION AND/OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BEST MANAGEMENT PRACTICES, AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE AUTHORIZED CONSERVATION DISTRICT.
- AT LEAST THREE (2) WORKING DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE NEW YORK 811, INC. SHALL BE NOTIFIED AT 1-800-272-4480 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE MONROE COUNTY SOIL & WATER CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- 5. IMMEDIATELY STABILIZE ALL DISTURBED AREAS UPON A TEMPORARY CESSATION OF WORK (4 DAYS OR MORE) OR AS SOON AS ANY GRADED AREA REACHES FINAL
- 6. AS SOON AS SLOPES, CHANNELS, PONDS AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE PERMANENTLY STABILIZED. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.

CONSTRUCTION WASTE RECYCLING/DISPOSAL

CONSTRUCTION WASTES ARE REFUSE MATERIALS THAT ARE EXISTING ON—SITE OR GENERATED DURING THE COURSE OF CONSTRUCTION AND INCLUDE, BUT ARE NOT LIMITED TO, PAPER, PLASTIC, RUBBER, WOOD, TEXTILE, AND METAL PRODUCTS.

INSTALLATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING WASTE RECYCLING/DISPOSAL AREAS ON THE E&S PLAN ONCE THEY HAVE BEEN DETERMINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL WASTE RECYCLING/DISPOSAL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

MAINTENANCE: ALL CONSTRUCTION WASTE SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF AT A STATE—APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL/STATE CODES AND PERMIT REQUIREMENTS. THE BURNING OF WASTE MATERIALS WILL NOT BE PERMITTED.

EARTHWORK NOTES

- CLEAR PAVEMENT SUBGRADES OF ANY DEBRIS, ORGANIC MATTER, AND OTHER DELETERIOUS OR COMPRESSIBLE MATERIALS. PROOFROLL THE SUBGRADE USING A FULLY—LOADED TRIAXLE DUMP TRUCK WITH A MINIMUM LOADED WEIGHT OF 20 TONS OR OTHER EQUIPMENT APPROVED BY CEC IMMEDIATELY PRIOR TO PAVING ACTIVITIES. ANY SUBGRADE AREAS THAT DISPLAY EXCESSIVE ELASTIC DEFORMATION OR RUTTING UNDER THE WEIGHT OF THE PROOFROLL SHALL BE OVEREXCAVATED AND REPLACED IN ACCORDANCE WITH DETAIL 807 DRAWING C8.00. EXTEND OVEREXCAVATIONS TO A DEPTH AT WHICH THE SUBGRADE DISPLAYS MINIMAL ELASTICITY OR TO A MAXIMUM DEPTH OF 3 FEET.
- 2. WHEN PREPARING THE SUBGRADE, LIMIT THE TIME THE SOILS ARE EXPOSED TO PREVENT SOILS FROM BECOMING WET. SOILS THAT GET WET DURING CONSTRUCTION WILL LIKELY REQUIRE ADDITIONAL TREATMENT TO PROVIDE A SUITABLE AND WORKABLE SUBGRADE. AT THE END OF EACH WORK DAY, GRADING OPERATIONS SHALL BE SLOPED AWAY FROM OPEN EXCAVATIONS, AND ALL DISTURBED GROUND SURFACES SHALL BE COMPACTED WITH A SMOOTH DRUM ROLLER TO "SEAL" THE FILL AND REDUCE THE IMPACT OF PRECIPITATION. SEALED SURFACES SHALL BE GRADED SO THAT WATER FLOWS OFF THE PROPOSED WORKING SURFACE, IF POSSIBLE. IF NOT POSSIBLE, WATER SHALL BE DRAINED TO COLLECT IN A LOW POINT/SUMP AREA.
- 3. PLACE SUITABLE SOIL FILL MATERIALS AS CONTROLLED AND WELL—COMPACTED FILLS IN LOOSE LIFTS NOT EXCEEDING 6 INCHES THICK IN AREAS WHERE HEAVY COMPACTION EQUIPMENT WILL BE USED TO COMPACT THE MATERIAL, AND 4 INCHES THICK IN AREAS WHERE HAND—OPERATED COMPACTION EQUIPMENT WILL BE USED. COMPACT EACH LIFT TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AND WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557). ADJUSTMENTS TO THE SOIL MOISTURE BY WETTING OR DRYING SHALL BE MADE AS NEEDED AND SHALL BE ANTICIPATED BY THE CONTRACTOR. SUITABLE STRUCTURAL FILL MATERIALS SHALL CONSIST OF SOILS WITH USCS CLASSIFICATIONS CONSISTING OF GW, GM, GC, GP, SW, SM, SC, OR SP (OR COMBINATIONS THEREOF). CL SOILS (IF ENCOUNTERED) MAY BE UTILIZED AS STRUCTURAL FILL IF LIQUID LIMIT (LL) IS LESS THAN 40 PERCENT AND THE PLASTICITY INDEX (PI) IS LESS THAN 20 PERCENT. DO NOT PLACE FILL WITH MAXIMUM PARTICLE SIZES EXCEEDING 4 INCHES. FILL MATERIALS MUST BE FREE OF ORGANICS, EXPANSIVE, OR DELETERIOUS MATERIALS.
- 4. SEGMENTED PAD COMPACTORS OR SHEEPSFOOT ROLLERS WILL BE REQUIRED TO ADEQUATELY COMPACT FINE GRAINED FILL MATERIAL (SILTS AND CLAYS). CLEAN COARSE-GRAINED COHESIONLESS SOIL SHALL BE COMPACTED TO AT LEAST 70 PERCENT RELATIVE DENSITY AS DETERMINED BY THE MAXIMUM AND MINIMUM DENSITY TESTS, ASTM D4253 AND D4254. USE VIBRATORY SMOOTH-DRUM COMPACTORS IF THE FILL MATERIAL IS GRANULAR (SANDS AND GRAVELS) WITH LESS THAN 10 PERCENT CLAYS AND SILTS.
- 5. PERFORM ONE (1) IN-PLACE NUCLEAR DENSITY TESTS (NDT) PER LIFT PER EVERY 5,000 SQUARE FEET OF PAVEMENT TO MONITOR THE DEGREE OF COMPACTION AND MOISTURE CONTENT BEING OBTAINED. NDTS SHALL BE PERFORMED AT REPRESENTATIVE LOCATIONS. COMPARE MAXIMUM DRY DENSITY AND MOISTURE CONTENT RESULTS TO THE MOST REPRESENTATIVE STANDARD PROCTOR TEST RESULTS. FOR FREE DRAINING AGGREGATES (I.E., AASHTO NO. 1, ETC.), COMPACT USING MULTIPLE PASSES TO VISUAL NON-MOVEMENT.
- 6. DURING THE CONSTRUCTION PROCESS, CEC RECOMMENDS SAMPLING AND TESTING THE VARIOUS MATERIALS TO BE USED AS STRUCTURAL FILL. THE MATERIALS SHALL BE SUBJECT TO MODIFIED PROCTOR, GRADATION, PLASTICITY, AND MOISTURE CONTENT TESTING THROUGHOUT CONSTRUCTION. AT A MINIMUM, TESTING SHALL BE PERFORMED ON A REPRESENTATIVE SAMPLE OF EACH TYPE OF FILL MATERIAL TO BE USED AT THE SITE. THE BORROW STUDY SHALL ALSO INCLUDE DETAILED LABORATORY TESTING FOR IMPORTED OFF—SITE (IMPORTED) FILL MATERIALS. THE PURPOSE OF THE TESTING IS TO OBTAIN REPRESENTATIVE SAMPLES OF THE MATERIALS TO CONFIRM THE DESIGN PARAMETERS.



PRELIMINARY NOT FOR CONSTRUCTION

NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE — STOP CALL DIG SAFELY NEW YORK, INC. 1—800—272—4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

New York, Inc.
da, NY 14120

The part of the percentage of the per

Environmental Consultants of N Niagara Falls Boulevard · North Tonawand Ph: 716.930.6080

A.R. BUILDING COMPANY PROPOSED MULTI-FAMILY SESIDENTIAL DEVELOPMEN TOWN OF HENRIETTA ONROE COUNTY, NEW YOL

 GENERAL NOTES

 AUGUST 2023
 DRAWN BY:
 JPH/D

 N/A
 CHECKED BY:
 DRA

 324-3
 DRA

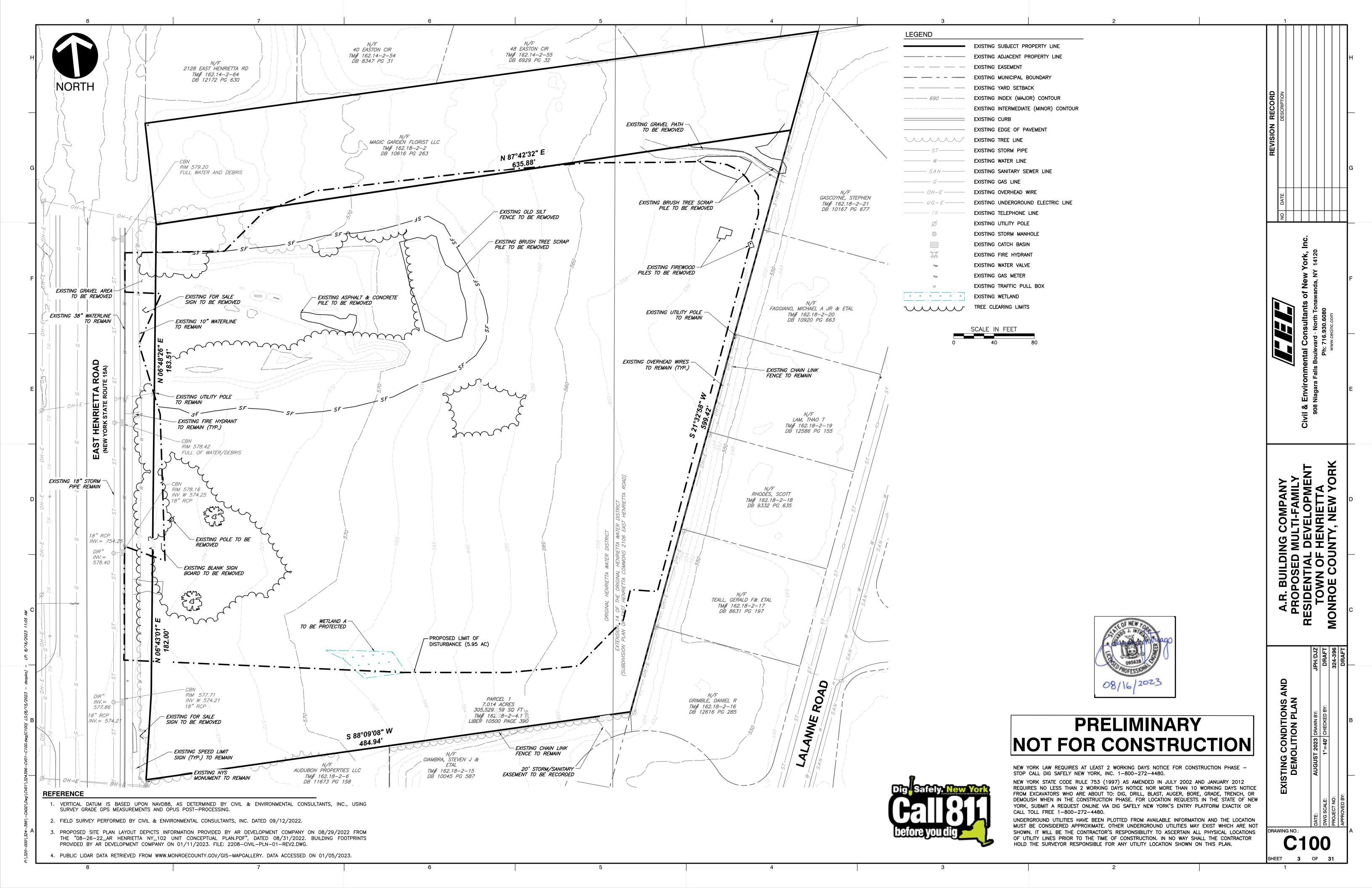
Ž

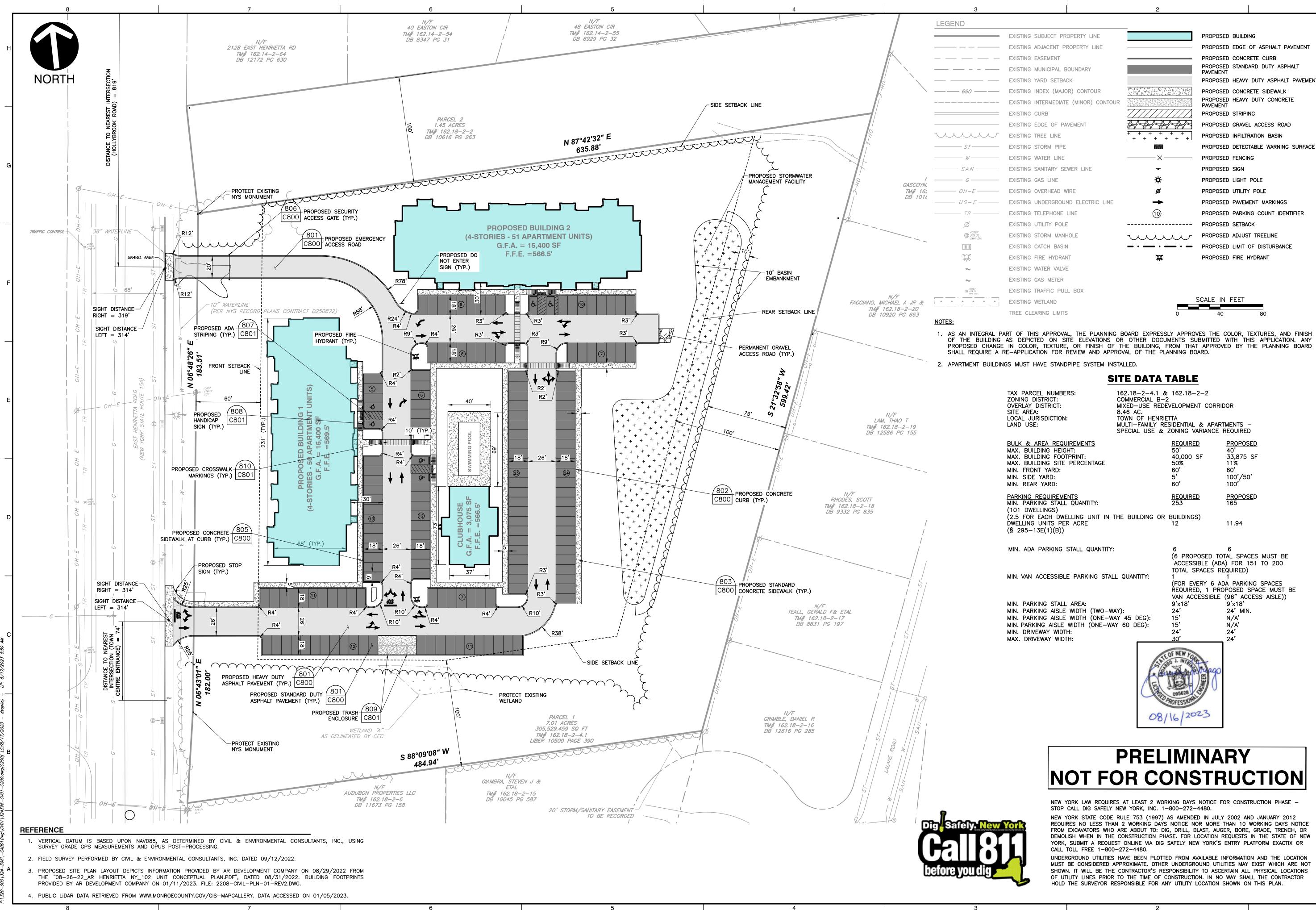
DRAWING NO.:

CO01

SHEET 2 OF 31

Call B11 before you dig





PROPOSED EDGE OF ASPHALT PAVEMENT

PROPOSED HEAVY DUTY ASPHALT PAVEMENT

PROPOSED DETECTABLE WARNING SURFACE

PROPOSED PARKING COUNT IDENTIFIER

PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD

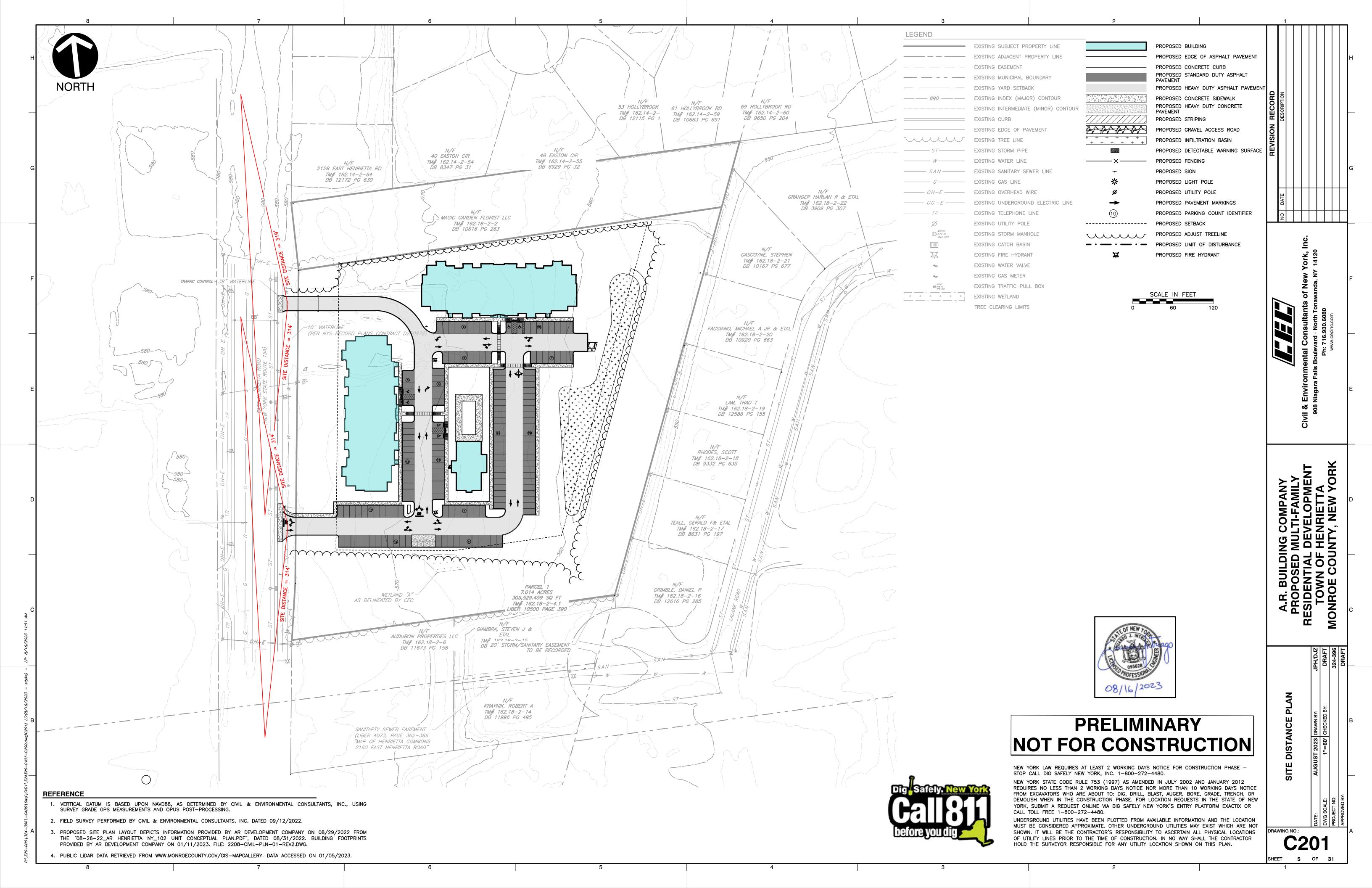
REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW

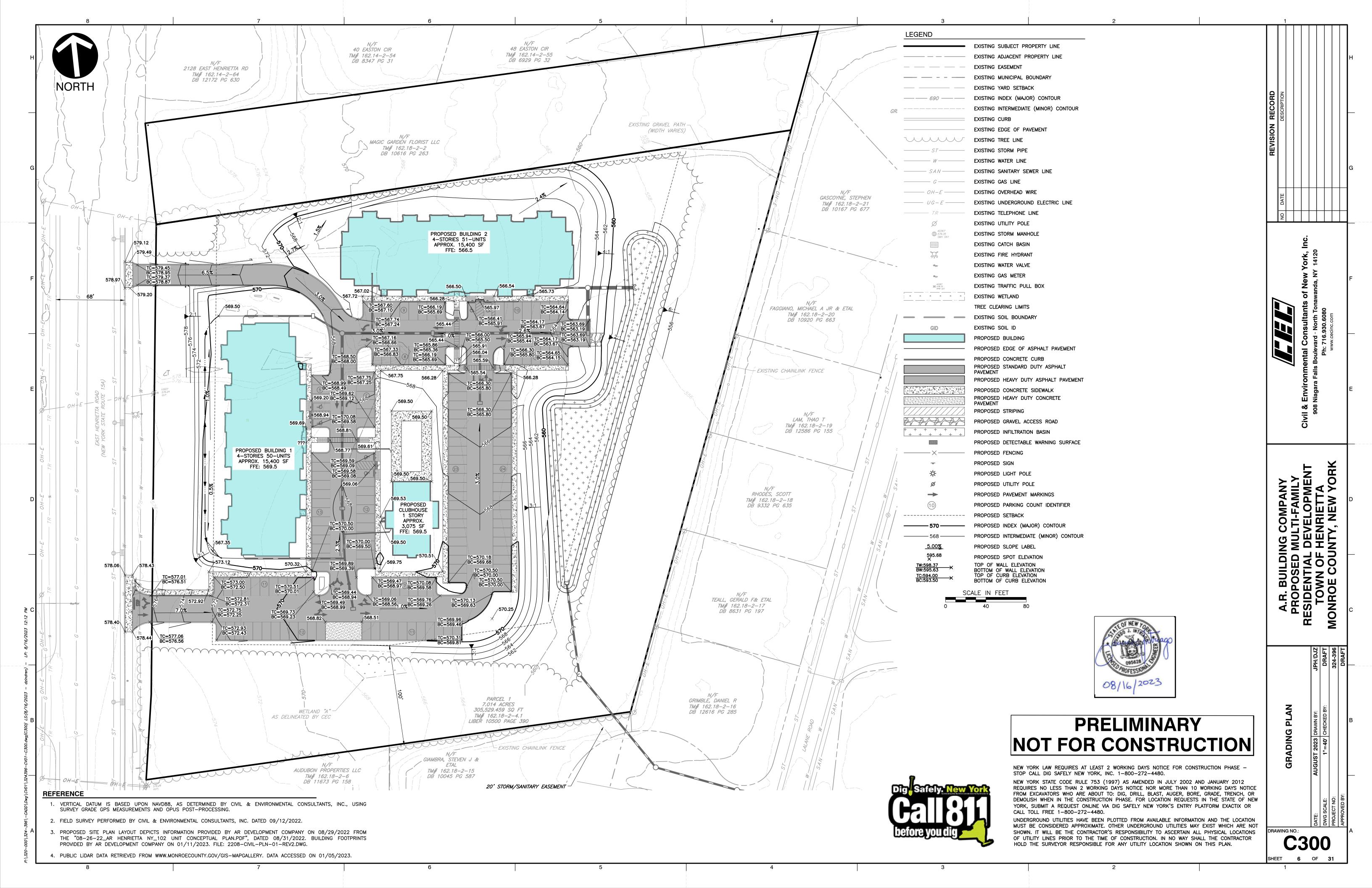
MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR

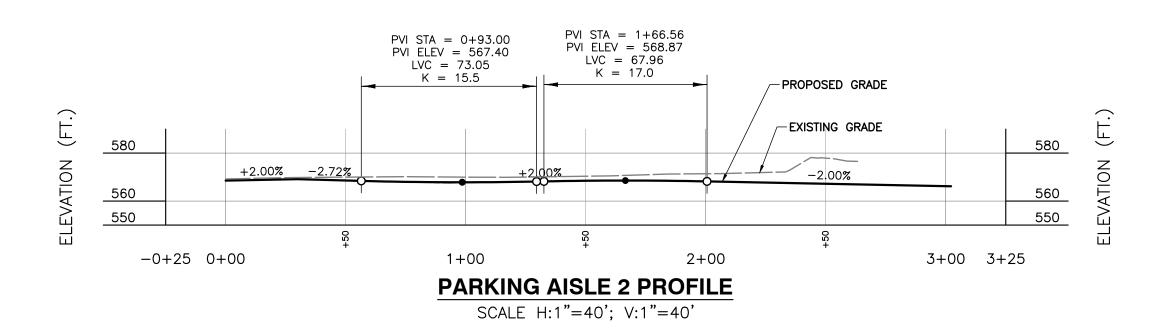
RAWING NO.: 4 OF **31**

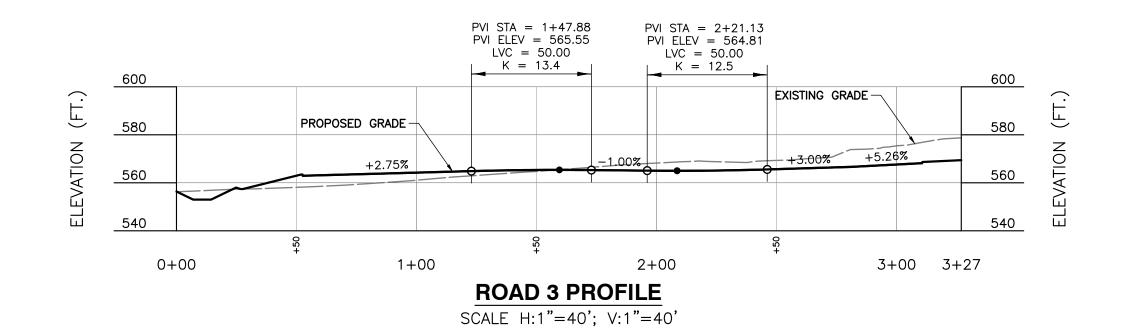
R. BUILDING COMPA DPOSED MULTI-FAI DENTIAL DEVELOF OWN OF HENRIET OE COUNTY, NEW

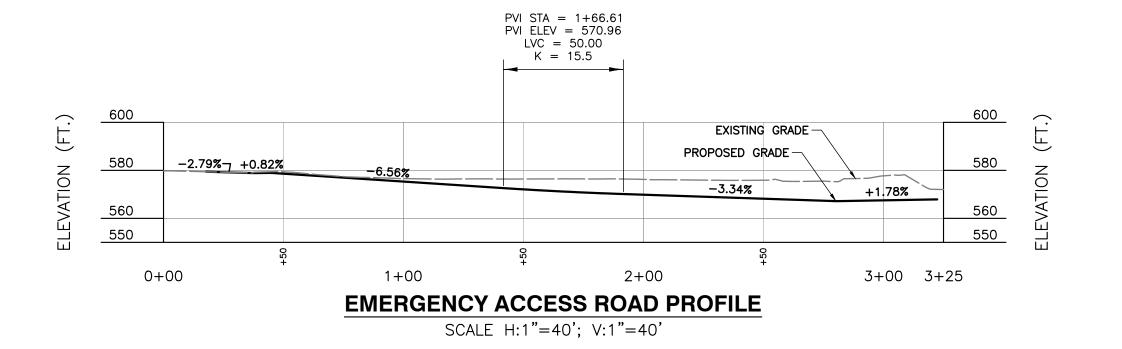
A.R. E PROP(RESIDEI TOW MONROE

















NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE -STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

RAWING NO.:

SHEET **7** OF **31**

PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.

4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.

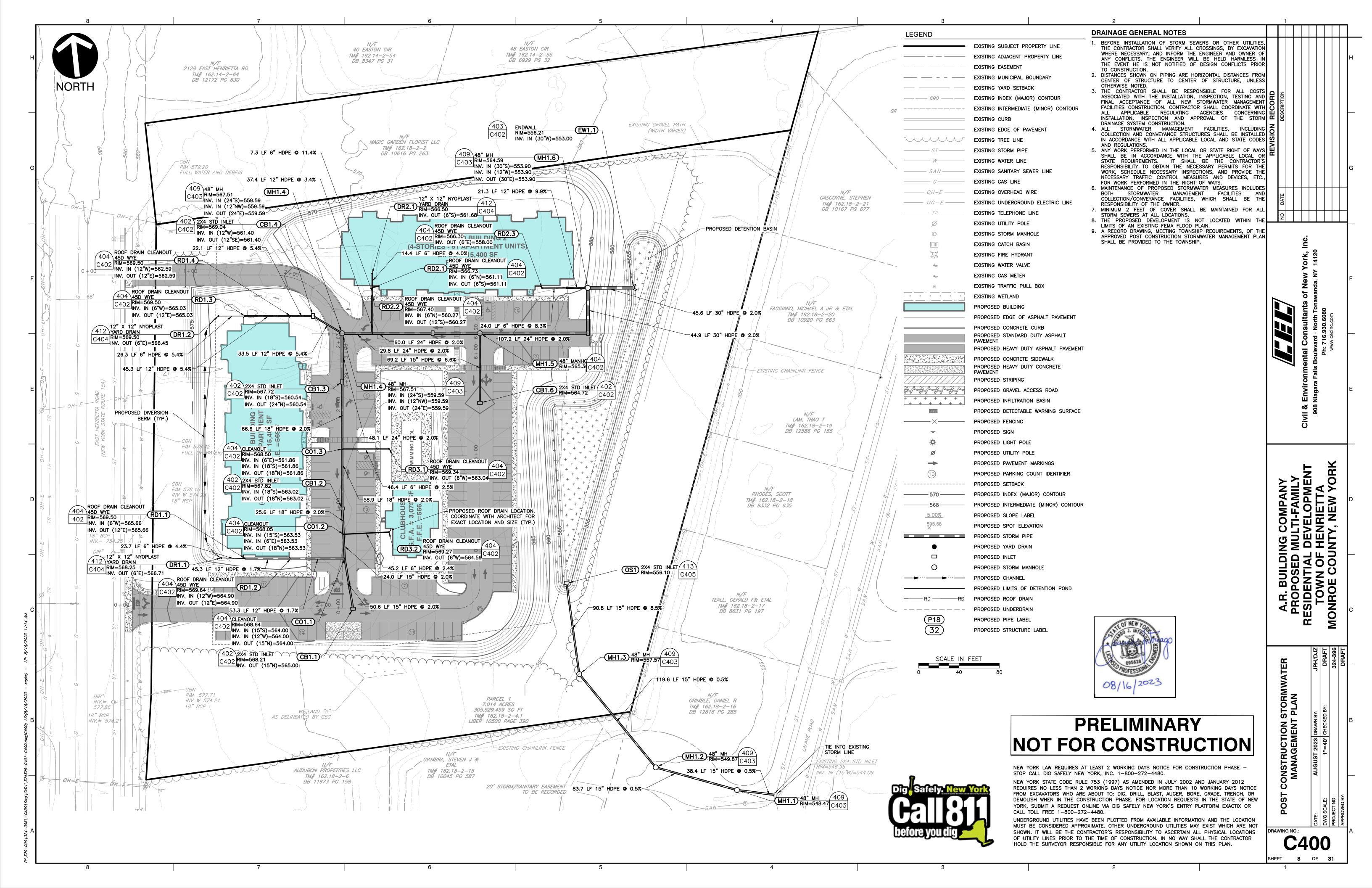
VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING

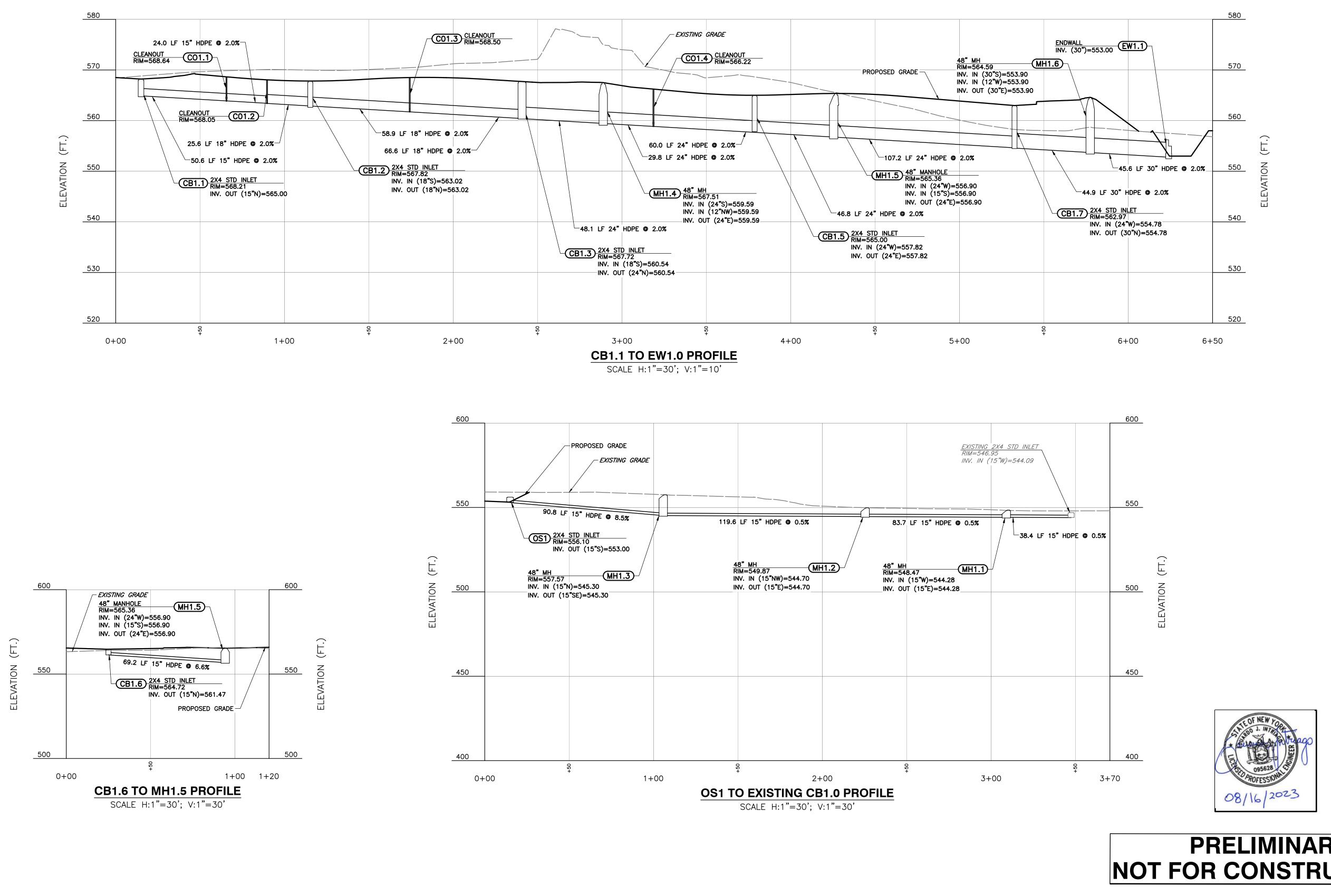
2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022. 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR HENRIETTA NY_102 UNIT CONCEPTUAL PLAN.PDF", DATED 08/31/2022. BUILDING FOOTPRINTS

SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.

REFERENCE

A.R. BUILDING COMPA PROPOSED MULTI-FAN RESIDENTIAL DEVELOP TOWN OF HENRIET







NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE - STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

A.R. BUILDING COMPA PROPOSED MULTI-FAN RESIDENTIAL DEVELOP TOWN OF HENRIET

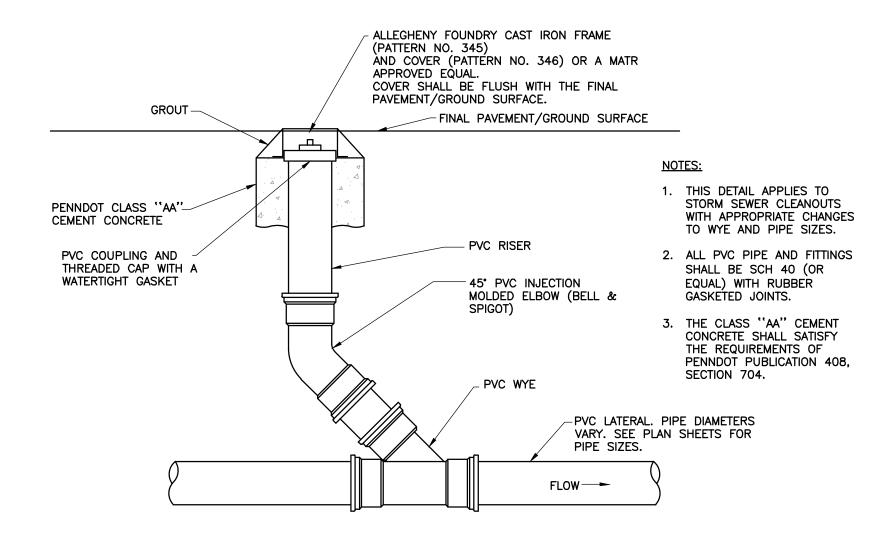
CONSTRUCTION STORMWATER MANAGEMENT PROFILE

RAWING NO.: SHEET **9** OF **31** RECOMMENDED BY THE

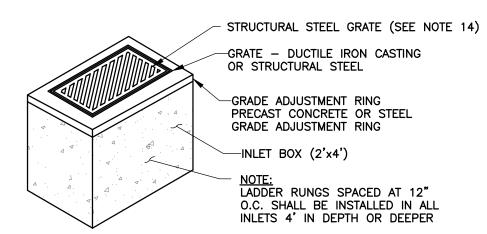
MANUFACTURER

DETAIL 401 PIPE TO MANHOLE CONNECTION

MANUFACTURER.



DETAIL 404 STORM SEWER CLEANOUT

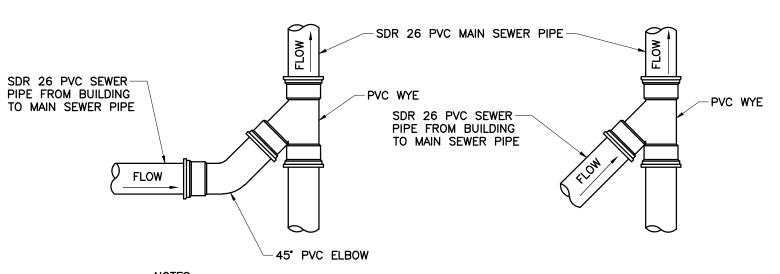


STANDARD INLET BOX

INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF NYDOT STANDARD SPECIFICATIONS.

- 1. REFER TO NEW YORK DOT STANDARD SPECIFICATIONS VOLUME 4, SECTIONS 655 & 604 FOR DETAILS OF THE CAST IRON FRAMES AND GRATES, CONCRETE TOP UNITS, GRADE ADJUSTMENT RINGS, AND INLET BOXES.
- 2. ALL CEMENT CONCRETE USED TO CONSTRUCT THE STORM SEWER INLETS SHALL BE 4000 PSI @ 28 DAYS AND
- SATISFY THE REQUIREMENTS OF NEW YORK DOT STANDARD SPECIFICATIONS VOLUME 4, SECTION 704-02. 3. ALL REINFORCEMENT STEEL USED TO CONSTRUCT THE STORM SEWER INLETS SHALL BE ASTM-A615 GRADE 60
- DEFORMED OR PLAIN STEEL BARS. 4. PRE-CAST REINFORCED CONCRETE STORM SEWER INLET BOXES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENT RINGS SHALL CONFORM TO THE REQUIREMENTS OF NEW YORK DOT STANDARD SPECIFICATIONS - VOLUME 4, SECTION 715-13, AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.
- 5. ALL FRAMES AND GRATES SHALL BE NON-ROCKING AND MADE OF HEAVY DUTY CAST IRON, AND SATISFY THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTION 605.2(a). ALL CASTINGS SHALL BE SET IN A FULL BED
- 6. ALL GRADE ADJUSTMENT RINGS SHALL BE OF STEEL OR PRECAST CONCRETE CONSTRUCTION.
- 7. ALL INLETS FOR PIPES GREATER THAN 36" DIAMETER ON THE PLANS SHALL BE A TYPE 4 THROUGH 10 INLET BOX, PER PENNDOT RC-46, SHEETS 1-45, AS REQUIRED TO ACCOMODATE PIPE SIZES.
- 8. ALL STORM SEWER INLETS SHALL HAVE WEEP HOLES AT AN ELEVATION WHICH PERMITS DRAINAGE OF THE PAVEMENT AGGREGATE BASE COURSE. THE DIAMETER OF THE WEEP HOLES SHOULD BE LIMITED SO AS NOT TO ALLOW THE CRUSHED STONE TO "WASH" INTO THE INLET.
- 9. ALL BACKFILL PLACED AROUND THE STORM SEWER INLETS SHALL BE AASHTO NO. 57 CRUSHED LIMESTONE AGGREGATE MEETING THE REQUIREMENTS OF NEW YORK DOT STANDARD SPECIFICATION - VOLUME 4, SECTION 703. THE AGGREGATE SHALL BE PLACED IN MAXIMUM 8" THICK LOOSE LIFTS AND COMPACTED TO A POINT OF NON-MOVEMENT BENEATH THE COMPACTION EQUIPMENT.
- 10. TAPER PAVEMENT INTO STORM SEWER INLETS WHERE APPLICABLE.
- 11. REFER TO NEW YORK DOT STANDARD SPECIFICATIONS VOLUME 4, SECTION 604 FOR TOP SLAB SPECIFICATIONS.
- 12. PLASTIC INLET STEPS TO BE INSTALLED PER NEW YORK DOT STANDARD SPECIFICATIONS, SECTION
- 13. CONTRACTOR SHALL FURNISH AND INSTALL MODIFIED STRUCTURE AS REQUIRED TO ACCOMMODATE STORM SEWER PIPES INCIDENTAL TO CONSTRUCTION.
- 14. MAXIMUM DRAINAGE AREA= 0.5 ACRES (WITH INLET FILTER BAG) OR 1.0 ACRES (WITH COMPOST FILTER SOCK, CONCRETE, AND/OR STONE INLET PROTÈCTION)

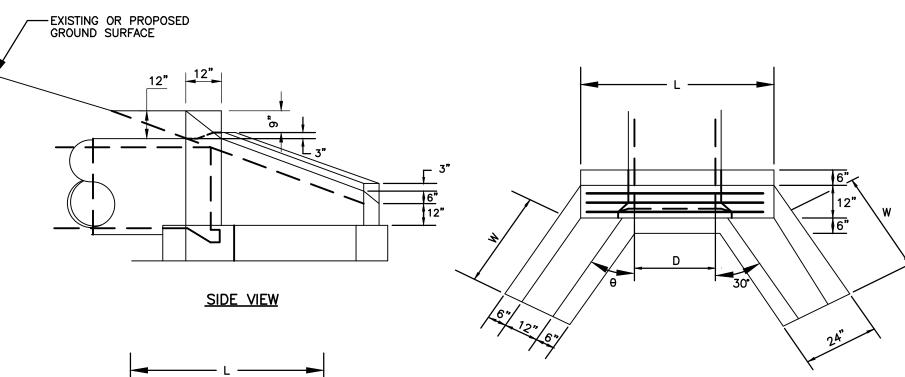
DETAIL 402 INLET ASSEMBLIES N.T.S.

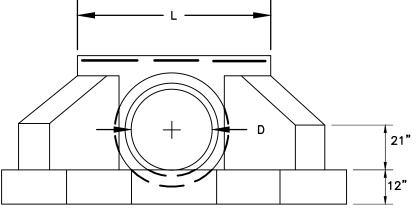


NOTES:

- 1. THESE DETAILS APPLY TO STORM AND SANITARY SEWER CONNECTIONS WITH APPROPRIATE CHANGES TO WYE AND PIPE SIZES, AND PIPE
- 2. ALL PVC PIPE AND FITTINGS SHALL BE MINIMUM SDR 26 WITH RUBBER GASKETED JOINTS.

DETAIL 405 WYE CONNECTION N.T.S.





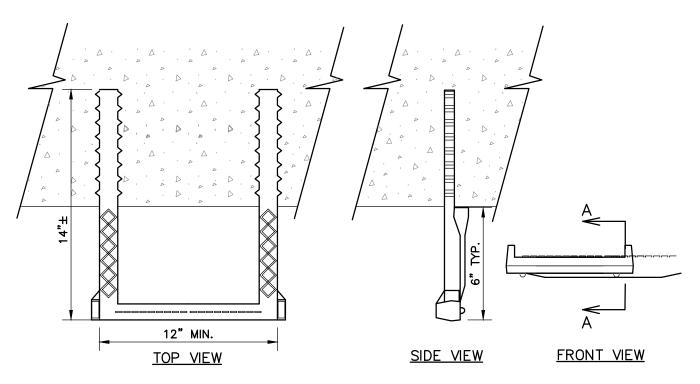
D	L	W	θ
15"	4.0'	1.2'	30°
18"	4.0'	1.2'	30°
24"	4.9'	2.3'	30°
30"	5.2'	3.5'	30°
36"	5.8'	4.6'	30°
	· · ·	· · ·	

TOP VIEW

END VIEW

- 1. ALL CONCRETE AND REINFORCING PER PENNDOT PUBLICATION 408.
- 2. REFER TO PENNDOT BUREAU OF HIGHWAY DESIGN STANDARDS FOR ROADWAY CONSTRUCTION, RC-31.

DETAIL 403 CONCRETE ENDWALL N.T.S.



TYPE 1 CAST-IN-PLACE CO-POLYMER POLYPROPYLENE -PLASTIC STEP WITH 1/2" (13mm) GRADE 60 STEEL REINFORCEMENT SECTION A-A 12" MIN. SIDE VIEW TOP VIEW FRONT VIEW

TYPE 2 PRE-DRILLED HOLE

NOTES:

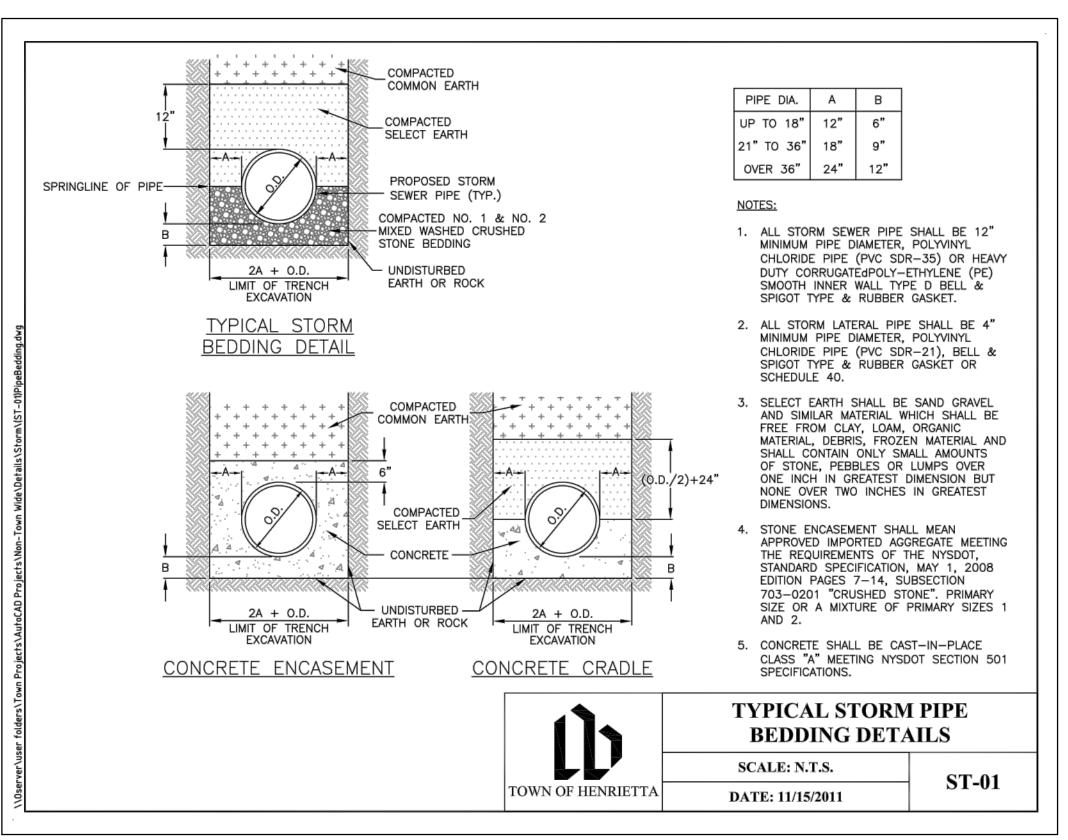
- 1. TYPICAL STEPS, SPACING AND MATERIAL AS PER ASTM DESIGNATION C-478, AASHTO M-199.
- 2. PLASTIC SHALL BE A CO-POLYMER POLYPROPYLENE MEETING THE REQUIREMENTS OUTLINED IN ASTM DESIGNATION D-4101 UNDER TYPE II, GRADE 49108.
- 3. STEEL REINFORCING BAR SHALL BE A $\frac{1}{2}$ " (13mm) DEFORMED BAR, GRADE 60 AND CONFORMING TO THE REQUIREMENTS OF ASTM DESIGNATION A-615.
- 4. USE TYPE 1 FOR CAST-IN-PLACE VAULTS. USE TYPE 2 FOR NEW PRECAST MANHOLES OR WHEN ADDING STEPS TO EXISTING STRUCTURES.
- 5. ALL STEPS SHALL BE SET VERTICALLY AT 12" CENTER TO CENTER.

DETAIL 406 PLASTIC MANHOLE STEP N.T.S.

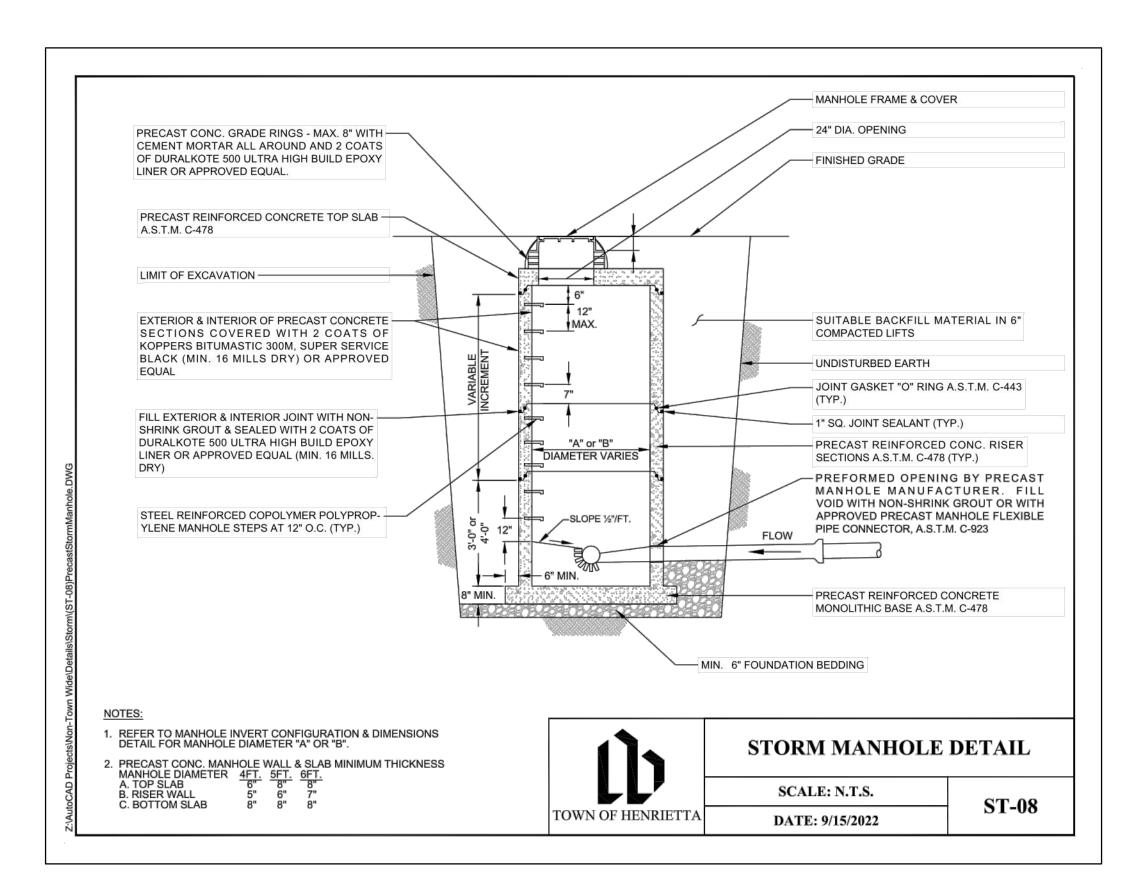


10 OF 31

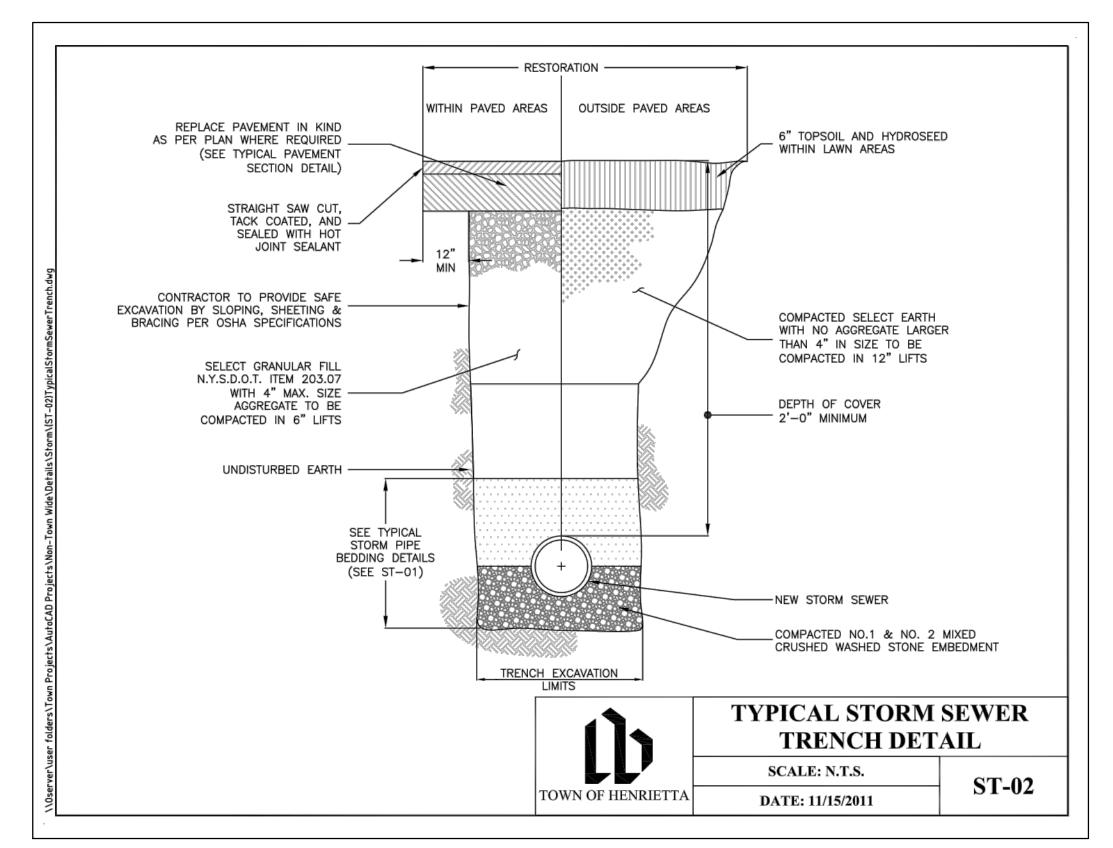
A.R. E PROP RESIDE TOW MONROE



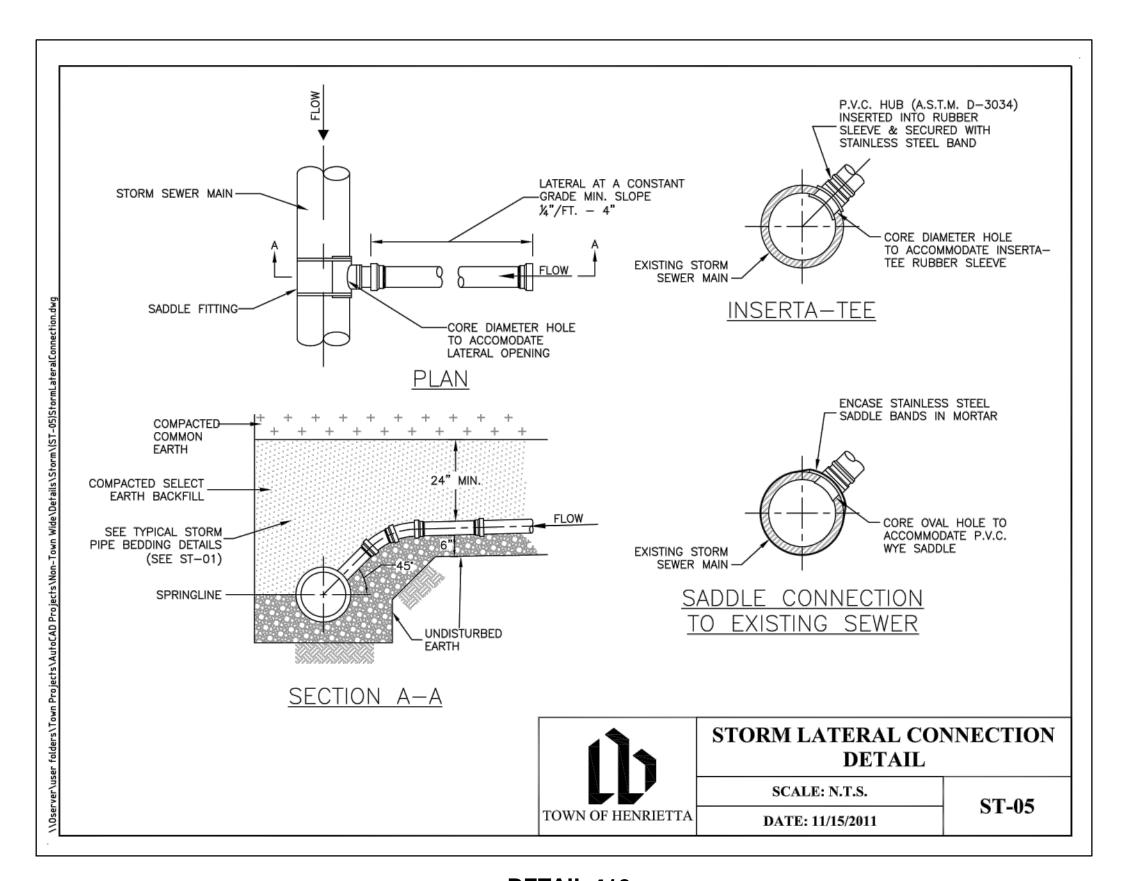
DETAIL 407 STORM PIPE BEDDING



DETAIL 409 STORM MANHOLE N.T.S.



DETAIL 408 STORM SEWER TRENCH N.T.S.



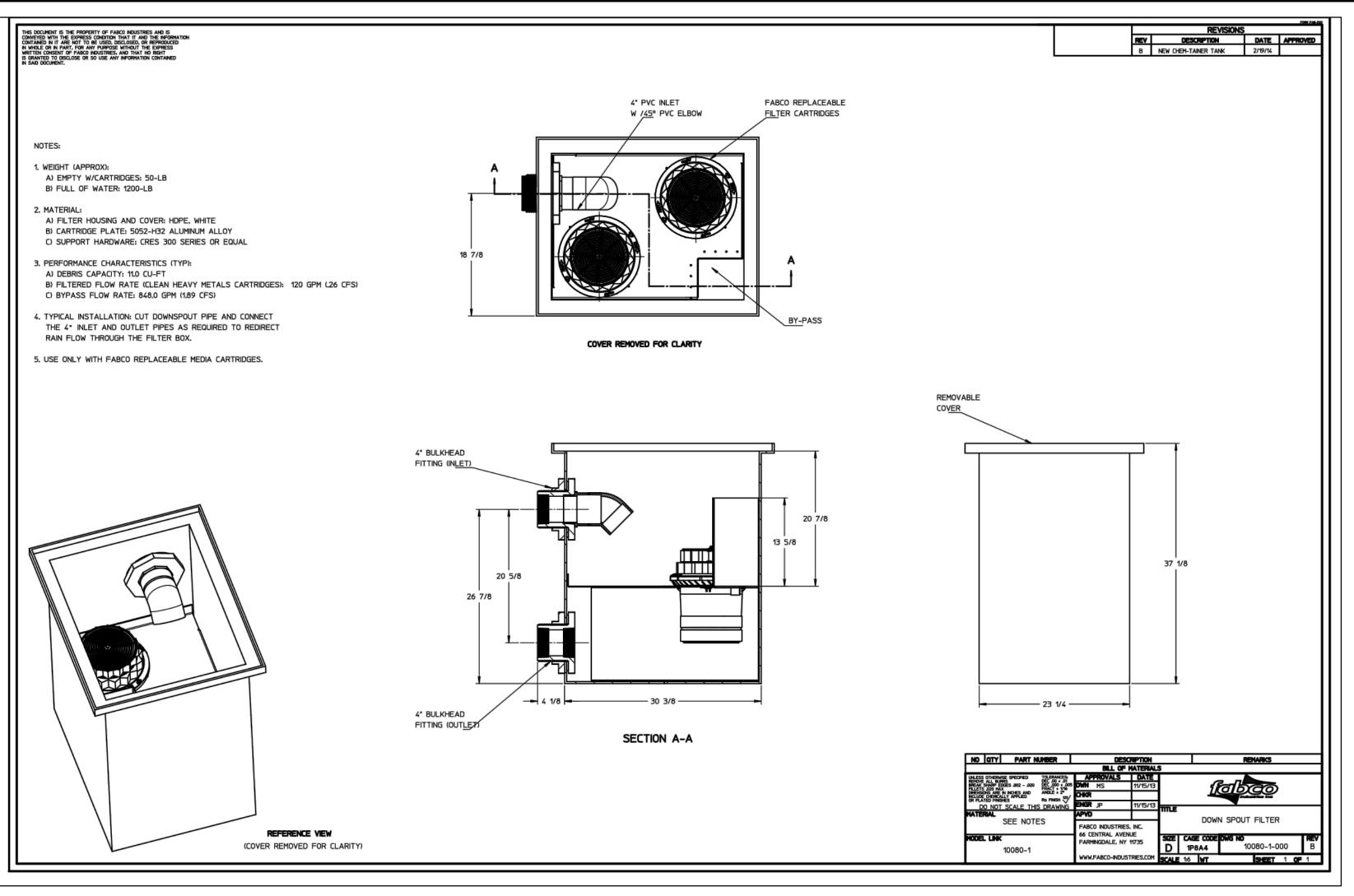
DETAIL 410 STORM LATERAL CONNECTION



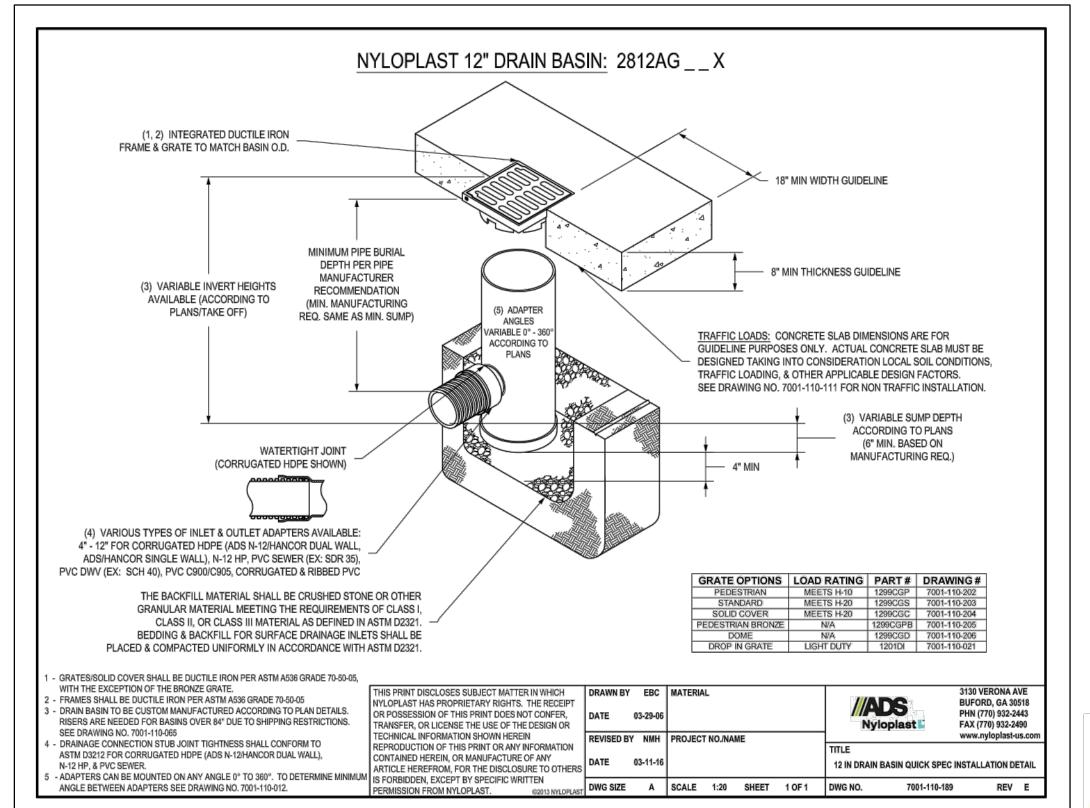


A.R. BUILDING COMPA PROPOSED MULTI-FAN RESIDENTIAL DEVELOP TOWN OF HENRIET

C403 11 OF 31



DETAIL 411 ROOF DRAIN FILTER



DETAIL 412 NYOPLAST 12" DRAIN BASIN





A.R. BUILDING COMP/ PROPOSED MULTI-FAN RESIDENTIAL DEVELOP TOWN OF HENRIET

12 OF 31

DETENTION BASIN 1

NOTES:

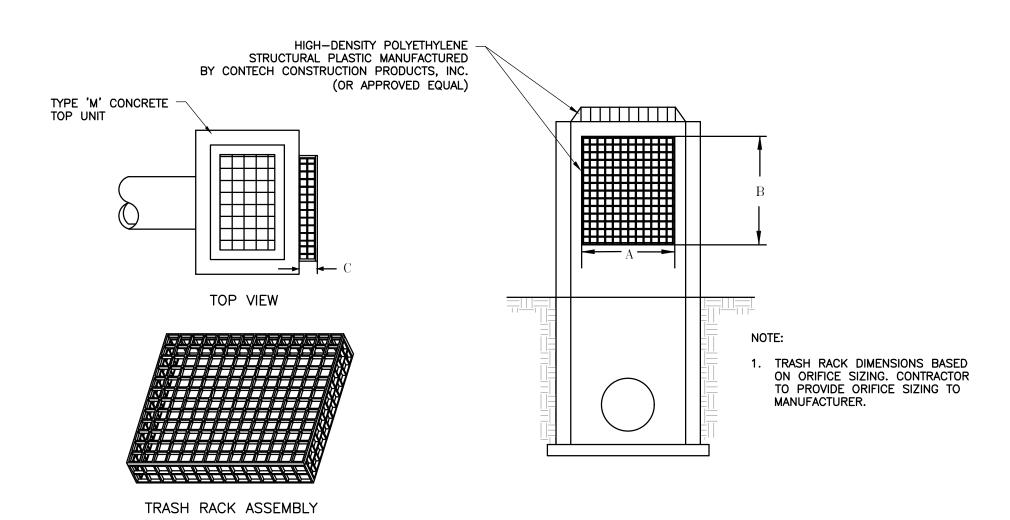
- 1. ALL CONCRETE SHALL BE WVDOH CLASS B OR BETTER.
- 2. INLET JOINTS TO BE SEALED WITH 1" DIAMETER FLEXIBLE BUTYL RUBBER JOINT SEALANT; USE 1/2" DIAMETER FOR FRAME AND GRATE.

 3. LIFTING HOLES TO BE POINTED WITH NON-SHRINK GROUT, AND LEFT WATERTIGHT, NEAT AND SMOOTH.

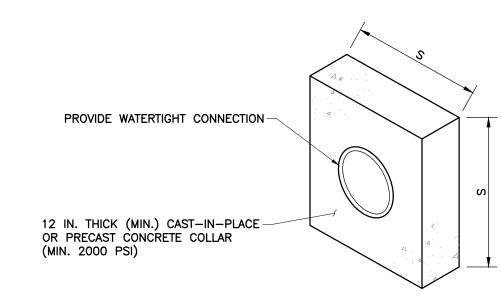
 4. MAXIMUM ADJUSTMENT TO FINISHED GRADE USING PRECAST GRADE SPACERS SHALL NOT EXCEED NINE INCHES (9").
- 5. PRECAST SECTIONS SHALL CONFORM TO ASTM C-478 AS REVISED. 6. INLET INVERT SHALL BE CONCRETE TO THE SPRING LINE OF PIPE WITH SIDES SLOPING 1/2" TO 1'-0" TO INSIDE FACE OF PRECAST BASE SECTION.

DETAIL 413 PERMANENT OUTLET STRUCTURE

NOT TO SCALE



DETAIL 414 HDPE TRASH RACK N.T.S.



NOTES:

- 1. ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
- 2. COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

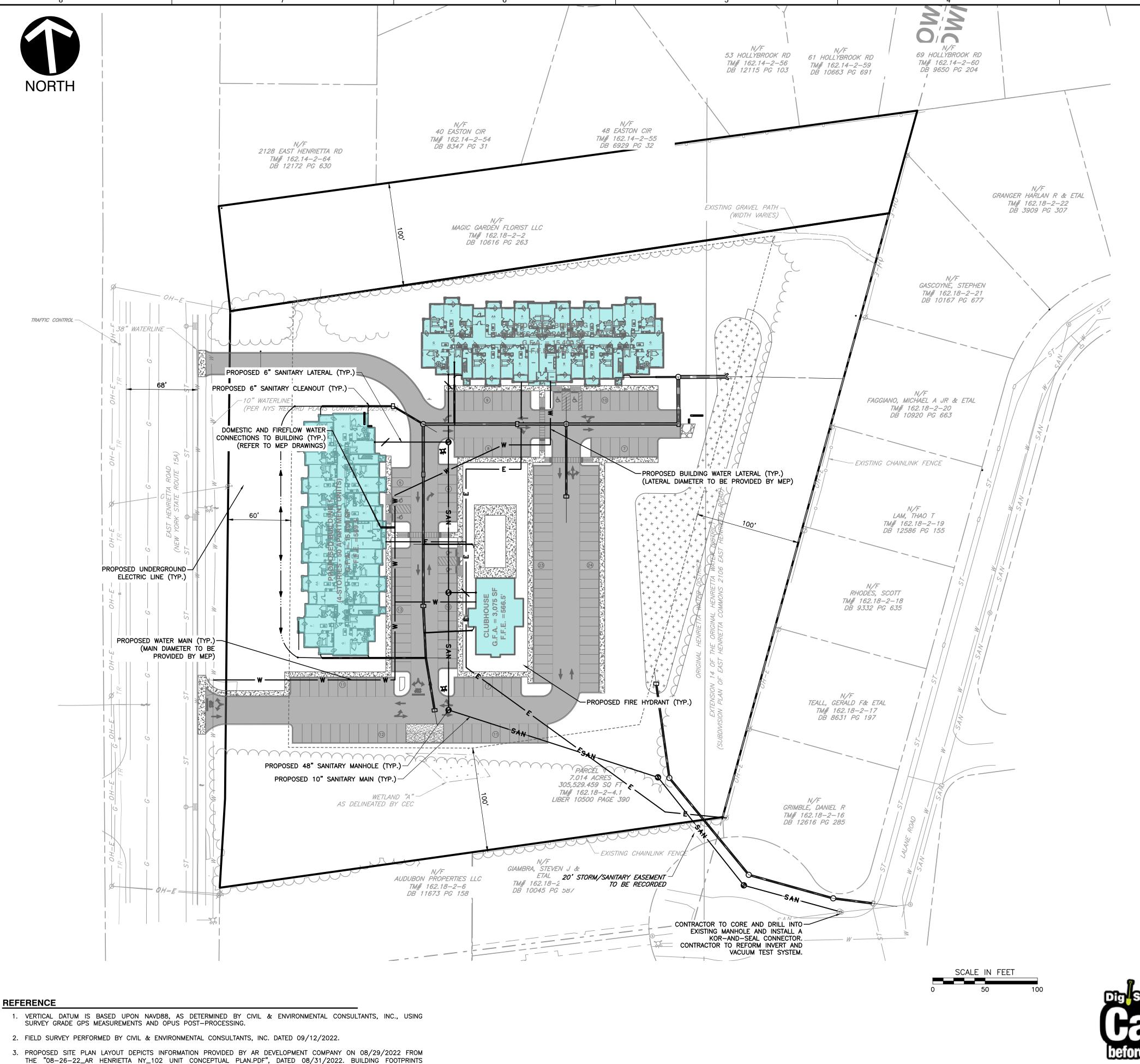
DETAIL 415 CONCRETE ANTI-SEEP COLLAR N.T.S.



POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS

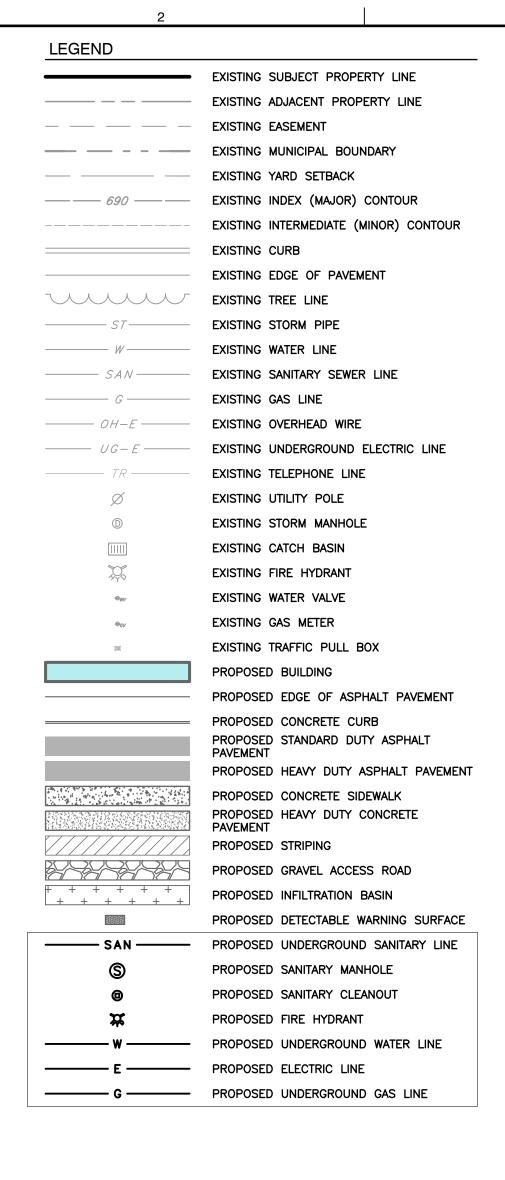
A.R. BUILDING COMPA PROPOSED MULTI-FAM RESIDENTIAL DEVELOPI TOWN OF HENRIETT MONROE COUNTY, NEW

C405 13 OF 31



PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.

4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.





PRELIMINARY NOT FOR CONSTRUCTION

NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE - STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

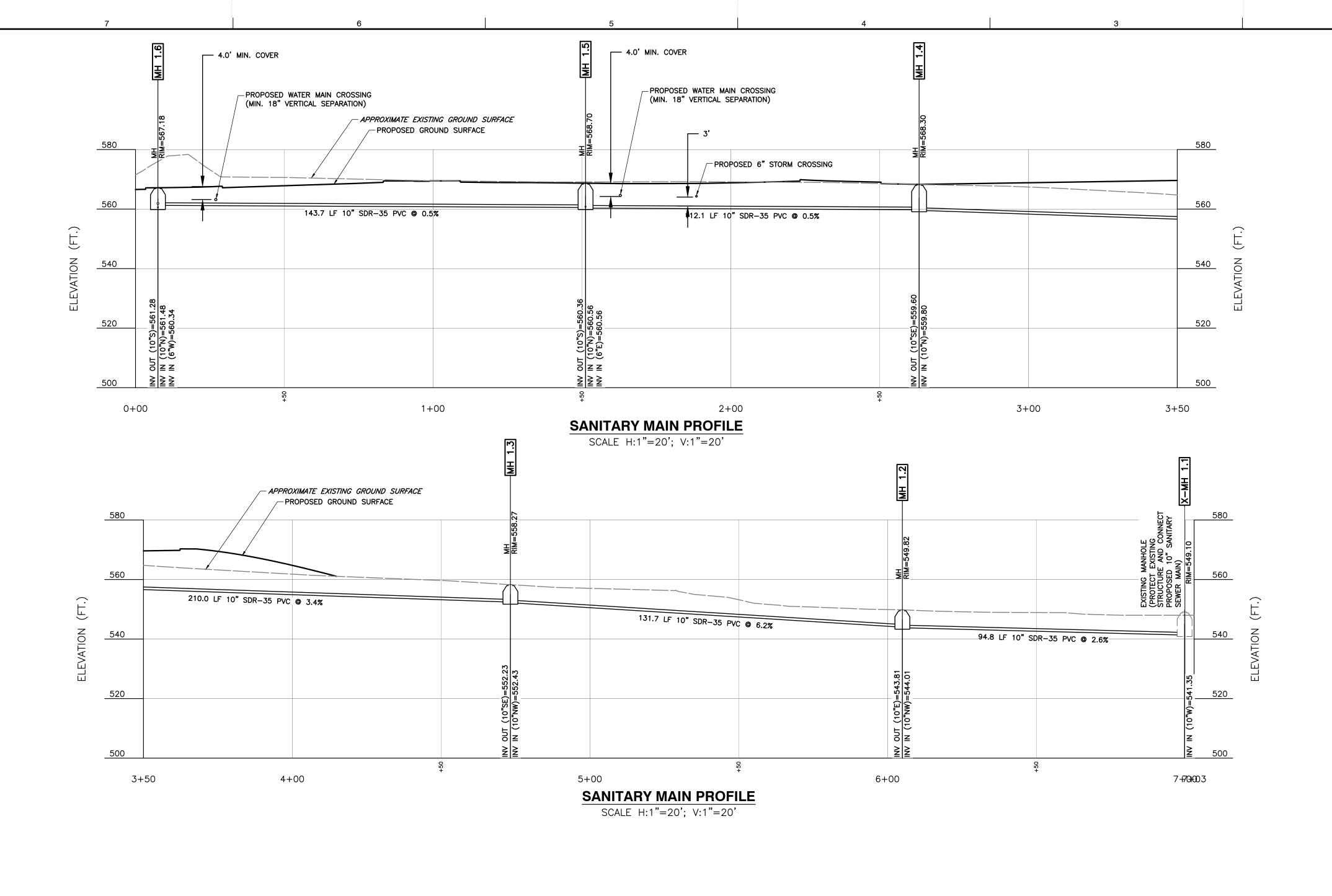
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

A.R. BUILDING COMP PROPOSED MULTI-FA			MONROE COUNTY, NEV		_
	JPH/DJZ	DRAFT	324-396	DRAFT	
L UTILITIES PLAN	T 2023 DRAWN BY:	1"=40' CHECKED BY:			В

RAWING NO.:

SHEET **14** OF **31**

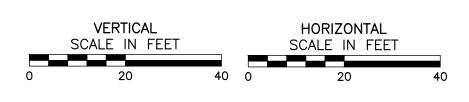
Gall 811





REFERENCE

- VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.
- 2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022.
- 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR HENRIETTA NY_102 UNIT CONCEPTUAL PLAN.PDF", DATED 08/31/2022. BUILDING FOOTPRINTS PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.
- 4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.





PRELIMINARY NOT FOR CONSTRUCTION

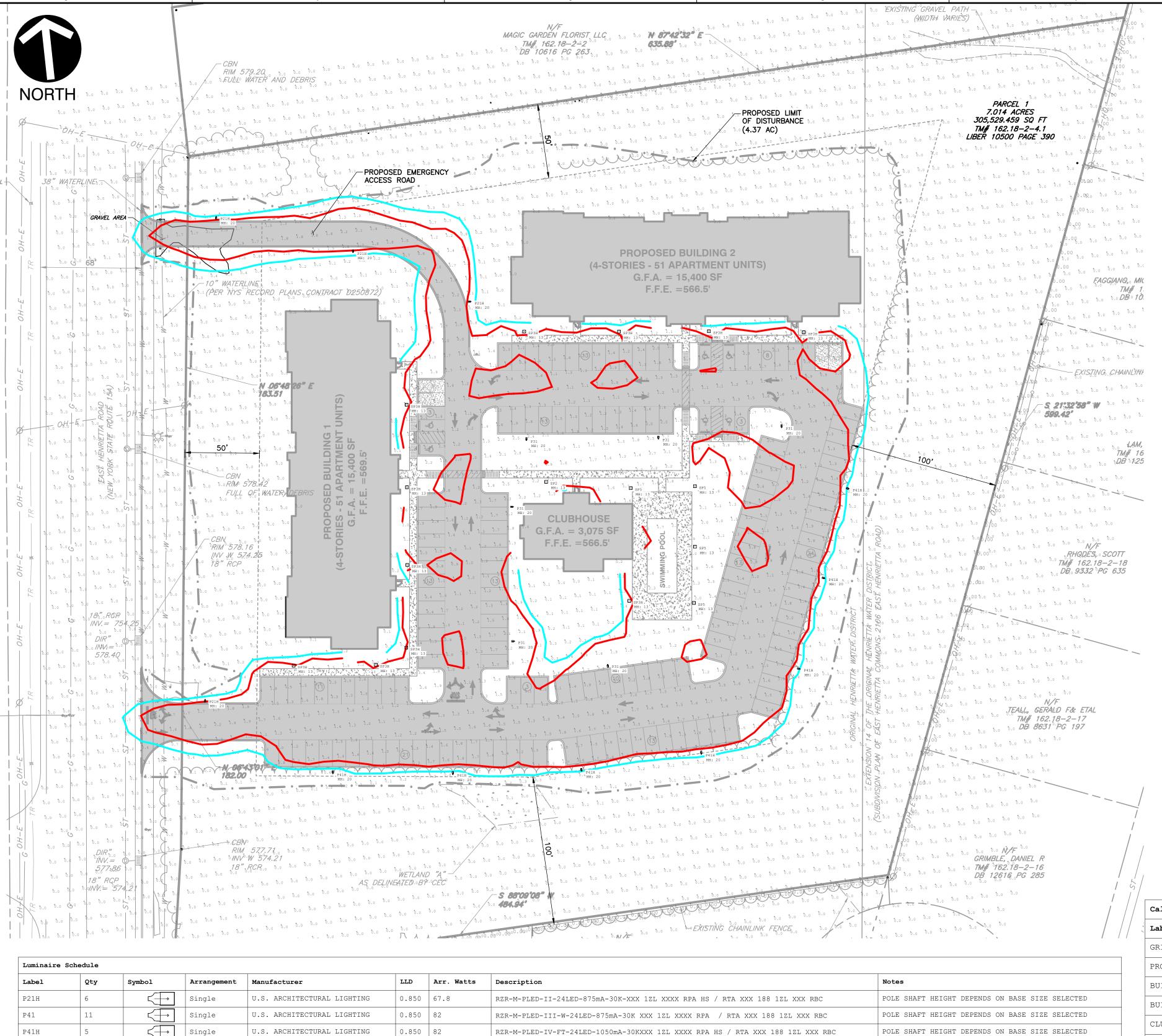
NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE -

STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

SHEET **15** OF **31**



	TREE CLEARING LIMITS				
	EXISTING WETLAND				
)386(EXISTING TRAFFIC PULL BOX				
⊕ _{GV}	EXISTING GAS METER				
⊕w	EXISTING WATER VALVE				
— —	EXISTING FIRE HYDRANT	0	40	80	
	EXISTING CATCH BASIN				
(D)	EXISTING STORM MANHOLE		SCALE IN FEET		
Ø	EXISTING UTILITY POLE		PROPOSED LIMIT OF	DISTURBANCE	
TR	EXISTING TELEPHONE LINE		PROPOSED SETBACK		
UG-E		(10)	PROPOSED PARKING		
OH-E		<i>→</i>	PROPOSED PAVEMENT		l
G		Ø	PROPOSED UTILITY PO		
SAN		*	PROPOSED LIGHT POL	F	
			PROPOSED SIGN		=
	EXISTING TREE LINE EXISTING STORM PIPE	×	PROPOSED FENCING	LE WARNING SURFACE	REVISION
	-		PROPOSED DETECTABL	E WARNING SUPEACE	S
	EXISTING CURBEXISTING EDGE OF PAVEMENT		PROPOSED HEAVY DU PAVEMENT PROPOSED STRIPING	II CONCRETE	Z Z
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED CONCRETE		
<i>690</i>	- EXISTING INDEX (MAJOR) CONTOUR		PROPOSED HEAVY DU	TY ASPHALT PAVEMENT	8
	EXISTING YARD SETBACK		PROPOSED STANDARD PAVEMENT	DUTY ASPHALT	
	- EXISTING MUNICIPAL BOUNDARY		PROPOSED CONCRETE		
	- EXISTING EASEMENT		PROPOSED ASPHALT	WEDGE CURB	
	- EXISTING ADJACENT PROPERTY LINE		PROPOSED EDGE OF	ASPHALT PAVEMENT	
	EXISTING SUBJECT PROPERTY LINE		PROPOSED BUILDING		

	Calculation Summary					
,	Label	Avg	Max	Min	Avg/Min	Max/Min
	GRID AT GRADE	0.6	7.7	0.0	N.A.	N.A.
	PROP LINE	0.0	0.01	0.00	N.A.	N.A.
	BUILDING ONE SIDEWALK	2.0	3.9	1.0	1.97	3.90
	BUILDING TWO SIDEWALK	2.0	2.8	1.1	1.81	2.55
	CLUBHOUSE - POOL AREA	2.5	3.8	1.9	1.29	2.00
	NORTH ENTRANCE	1.9	2.7	1.2	1.56	2.25
	OUTER SIDEWALK	2.0	3.0	1.3	1.51	2.31
	PARKING LOT	1.8	5.9	0.8	2.38	7.38
	SIDEWALK AROUND CLUBHOUSE	3.1	4.6	1.7	1.82	2.71
	SOUTH ENTRANCE	1.3	1.7	0.9	1.42	1.89

SO J. WINDOW	
CONTRACT OF THE PROPERTY OF TH	
PROFESSIONAL	

NOTE: PHOTOMETRIC DATA OBTAINED FROM LAFACE & MCGOVERN ASSOCIATES, IN	IC.
ON 08/15/2023. CAD FILE: HENRIETTA NEW YORK 8-15-23 (cec).DWG	

Single

Single

Single

P41H

SP3H

REFERENCE VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.

U.S. ARCHITECTURAL LIGHTING

0.850 52

0.850 52

SUN VALLEY LIGHTING

SUN VALLEY LIGHTING

- 2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022.
- 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR HENRIETTA NY_102 UNIT CONCEPTUAL PLAN.PDF", DATED 08/31/2022. BUILDING FOOTPRINTS PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.
- 4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.

COL18-VLED-III-48LED-350mA-WW XXX PTZL XXX HS / RNTA 124 125 PTZL XXX RBC

COL18-VLED-VSQ-48LED-350mA-WW XXX PTZL XXX / RNTA 124 125 PTZL XXX RBC

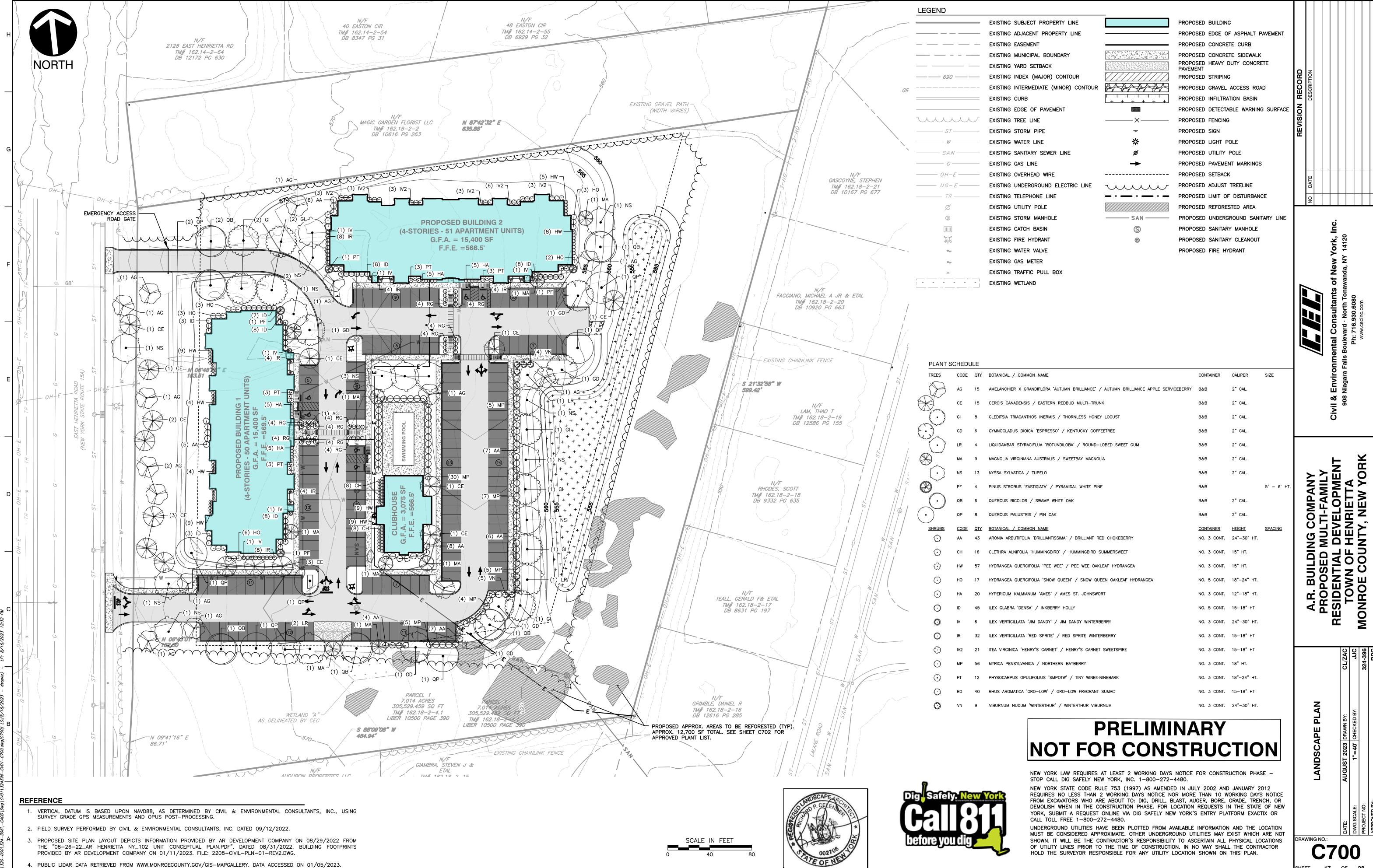
- 1. All light levels are at grade
- 2. Lumen output is based on anticipated lumen output at half of the rated life of the LEDs.

POLE SHAFT HEIGHT DEPENDS ON BASE SIZE SELECTED

- 3. Mounting height shown per location is from grade to fixture aperture 4. Light levels are calculated based on direct fixture
- contribution only. We are not responsible for reflected light
- 5. Results are based on information provided to L& M.
- Changes to location, fixture, wattage will affect final
- results 6. Design is preliminary and should be reviewed by a Licenced Professional

BUILDING COMP,
POSED MULTI-FAI
DENTIAL DEVELOF
OWN OF HENRIET
OE COUNTY, NEW

A.R. E PROP(RESIDEI TOW MONROE

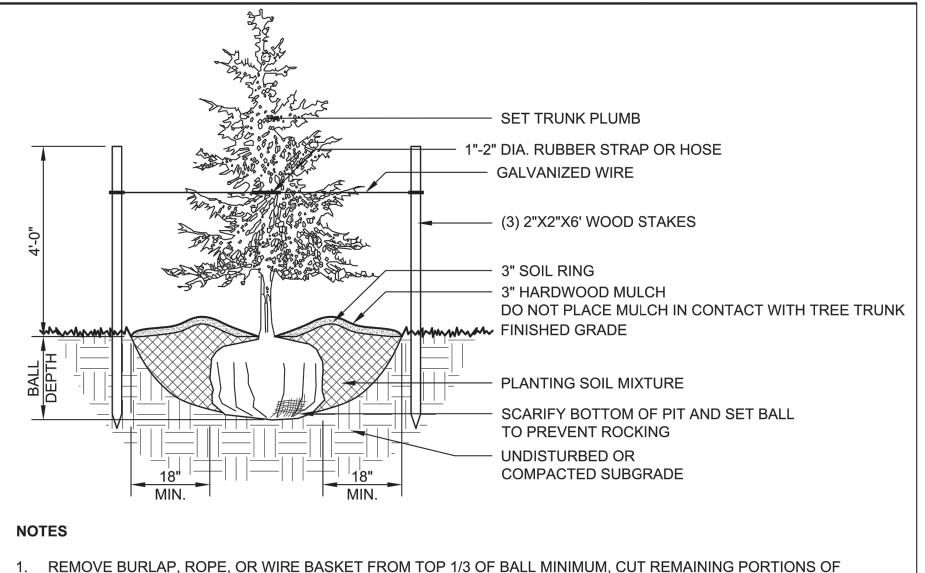


17 OF 28

SHEET

DECIDUOUS TREE PLANTING DETAIL - WITH VERTICAL STAKES

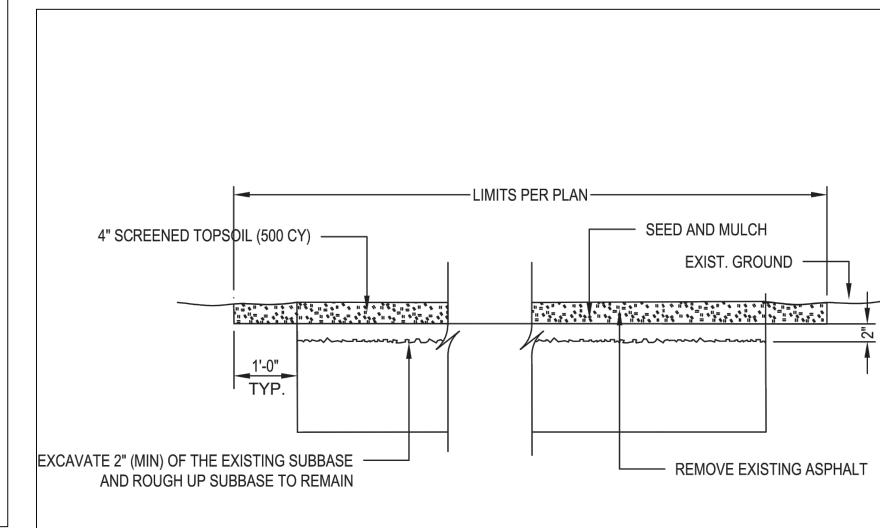
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS



- ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT.
- 2. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER TOP OF
- 3. MARK THE NORTH SIDE OF THE TREE IN NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHERE

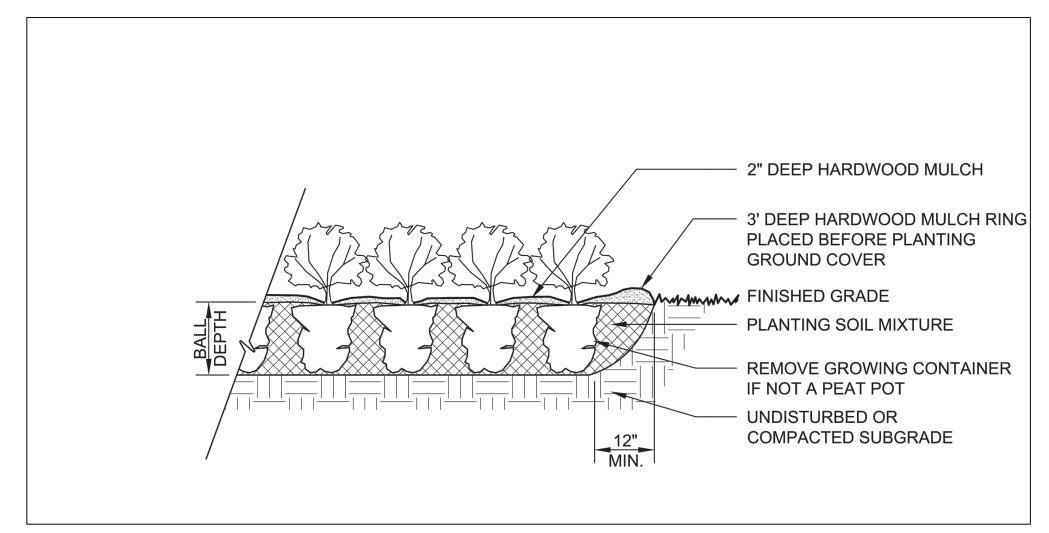
EVERGREEN TREE PLANTING DETAIL - WITH VERTICAL STAKES

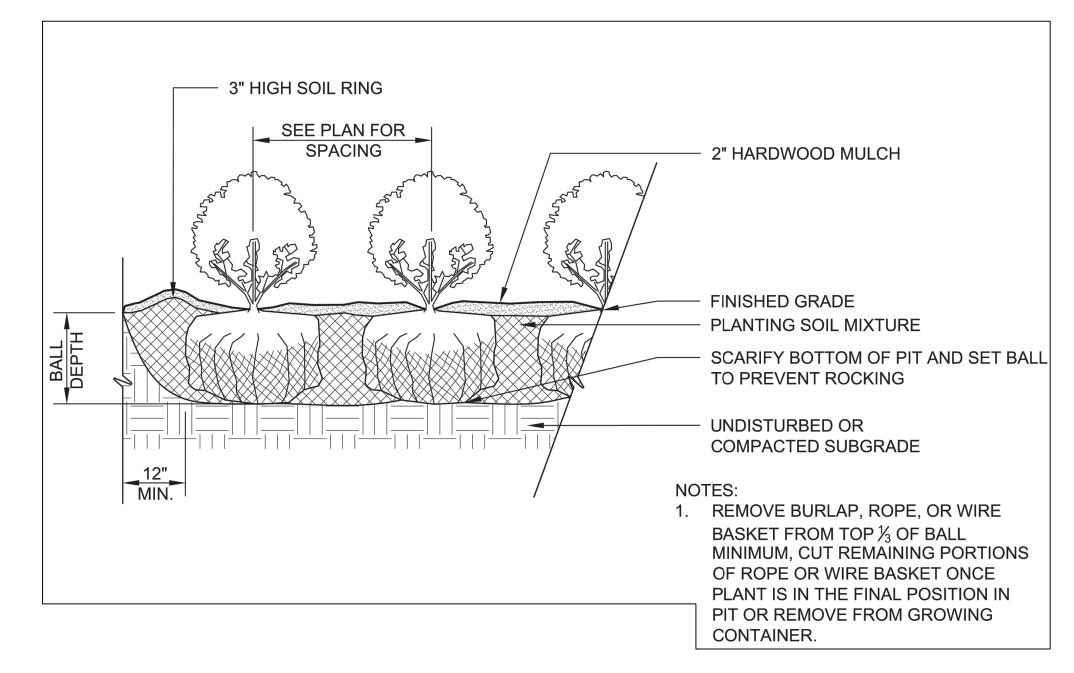
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS



LAWN RESTORATION DETAIL

SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS





PERENNIAL AND GROUND COVER PLANTING DETAIL

SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS

SHRUB MASS PLANTING DETAIL

SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS





PRELIMINARY NOT FOR CONSTRUCTION

NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE -STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

RAWING NO.:

REFERENCE

- VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.
- 2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022.
- 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR HENRIETTA NY_102 UNIT CONCEPTUAL PLAN.PDF", DATED 08/31/2022. BUILDING FOOTPRINTS PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.
- 4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.

18 OF 28

PLANTING NOTES

- 1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO INSTALLING ANY PLANT MATERIAL.
- 2. ALL PLANT MATERIALS SHALL CONFORM THE THE GUIDELINES ESTABLISHED BY THE CURRENT 'AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE DELIVERED AS SPECIFIED IN THE PLANT LIST. NO CONTAINER BOUND STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED ENTIRELY AT TIME OF PLANTING.
- 4. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE LOOSENED BY SCARIFYING THE SURFACE OF THE BALL VERTICALLY IN THREE LOCATIONS TO ENCOURAGE IMMEDIATE ROOT GROWTH.
- 5. ALL LOCATION OF TREES AND SHRUBS SHALL BE STAKE ONE DAY PRIOR TO PLANTING INSTALLATIONS, FOR
- APPROVAL BY THE PROJECT OWNERS REPRESENTATIVE. 6. ALL PLANTS SHALL BE SET PLUMB UNLESS DIRECTED OTHERWISE.
- ALL SHRUB BEDS AND PLANTING AREAS SHALL RECEIVE MINIMUM 2" DEPTH OF SHREDDED HARDWOOD MULCH
- DO NOT HEAVILY PRUNE TREES AT PLANTING. INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED;
- HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS (INCLUDING PORTABLE DRIP IRRIGATION SYSTEMS AROUND TREES) SHALL THEN BE WATERED WEEKLY, AT A MINIMUM, DURING THE FIRST GROWING SEASON.
- ALL TREES SHALL RECEIVE A PORTABLE DRIP IRRIGATION SYSTEM DURING THE FIRST GROWING SEASON.
- 11. ALL PLANTING BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2'. PLANTING BEDS SHALL RECEIVE
- SPECIFIED PLANTING SOIL MIXTURE TO A MINIMUM DEPTH OF 2'. 12. MULCH SHALL NOT CONTAIN ANY PLANT SYSTEMS.
- 13. THE CONTRACTOR SHALL INSTALL TREE AND BACKFILL THE HOLE WITH SPECIFIED PLANTING SOIL MIXTURE
- COMPACTING IN 8" LIFTS TO ENSURE THE SOIL IS FIRM AND PROVIDES SUPPORT FOR THE TREE.
- 14. PLANTING AREAS SHALL NOT BE GRADED TOWARD PERVIOUS PAVEMENT.

TREE STAKING NOTES

- TREES SHALL NOT BE STAKED UNLESS DIRECTED BY OR WITH THE APPROVAL OF OWNERS REPRESENTATIVE.
- ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.
- STAKES SHALL BE REMOVED AT THE END OF THE FIRST ENTIRE PLANTING SEASON AFTER PLANTING.
- 4. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP IT FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT WITH THE PLASTIC HOSE.
- 5. THE PLASTIC HOSE SHALL BE 12" MINIMUM AND SHALL BE LONG ENOUGH TO ACCOMMODATE 1½" DIA. OF
- GROWTH AND BUFFER ALL BRANCHES FROM WIRE. 6. ALL WIRE SHALL BE 12 GUAGE GALVANIZED WIRE AND SHALL BE LONG ENOUGH TO LOOP AROUND THE TREE
- AND STAKE (2 STRANDS PER STAKE), TWIST TO TIGHTEN. 7. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NOW SHARP WIRE ENDS ARE EXPOSED.

SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS

REFORESTATION NOTES

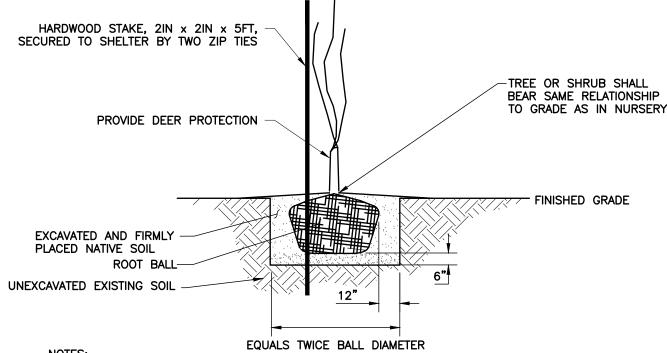
- 1. AREAS INDICATED ON SHEET C700 SHALL BE PLANTED WITH NATIVE SPECIES (SEE APPROVED PLANT LIST) UNLESS OTHERWISE APPROVED BY THE TOWN OF HENRIETTA OR NEW YORK STATE AGENCIES.
- 2. BARE ROOT TREES SHALL BE 1.5" 2" CALIPER AT TIME OF PLANTING.
- 3. BARE ROOT PLANTS TO BE PLANTED IN SPRING WHILE DORMANT (PREFERRED) OR FALL WHEN DORMANT.
- 4. TREES/SHRUBS SHALL BE PLANTED AT A RATE OF APPROXIMATELY 430 TREES/SHRUBS PER ACRE.
- 5. PLANT HANDLING AND INSTALLATION SHALL BE PERFORMED BY A CONTRACTOR WITH EXPERIENCE IN LANDSCAPING, PLANT PROPAGATION, REFORESTATION, AND/OR ECOLOGICAL RESTORATION WORK.
- 6. CONDITION OF PLANTS: PLANT MATERIALS SHALL BE HEALTHY AND FREE OF DISEASE, PESTS, MECHANICAL INJURY AND STRESS. PLANTS WITH LEAVES AND SHOOTS SHALL APPEAR HEALTHY, WITH NO LEAF SPOTS, LEAF DISCOLORATIONS, CHLOROSIS, LEAF WILTING OR CURLING, OR EVIDENCE OF INSECT INFESTATION. PLANTS SHALL EXHIBIT NORMAL PHYSICAL AND GROWTH CHARACTERISTICS TYPICAL OF THE SPECIES. CONTAINER-GROWN PLANTS SHALL BE FULLY ROOTED IN THE SOIL MEDIUM WITHOUT SPIRALING PRIMARY WOODY ROOTS. UPON RECEIPT AND FOLLOWING INSPECTION, PLANTS SHALL BE IMMEDIATELY INSTALLED IN THE DISTURBED AREA, IF PLANTS CANNOT BE INSTALLED IMMEDIATELY AFTER DELIVERY. THEY SHALL BE STORED APPROPRIATELY FOR NOT LONGER THAN 3 DAYS. SEED SHALL BE STORED IN A COOL, DRY, SHELTERED LOCATION. PLANTS SHALL BE STORED OUT OF DIRECT EXPOSURE TO WIND AND SUN AND SHALL BE WATERED TO MAINTAIN SOIL
- 7. WOODY AND HERBACEOUS PLANTS SHALL BE PLANTED IN MOIST SOIL USING APPROPRIATE HAND TOOLS (SPADE, DIBBLE, AUGER, ETC.).
- 8. PRESERVE ALL EXISTING HIGH QUALITY PLANT MATERIALS WHEREVER POSSIBLE WITH TEMPORARY TREE PROTECTION FENCING.
- 9. DURING THE FIRST YEAR OF ESTABLISHMENT OF ANY NEWLY PLANTED TREES OR SHRUBS, SUPPLEMENTAL IRRIGATION IS RECOMMENDED DURING TIMES OF DROUGHT OF THREE (3) WEEKS OR MORE. A QUALIFIED LANDSCAPE CONTRACTOR TO BE CONSULTED TO ASSIST WITH IRRIGATION.

APPROVED NATIVE SPECIES (BARE ROOT PLANTING PREFERRED)

- 1. ACER RUBRUM (RED MAPLE)
- ACER SACCHARUM (SUGAR MAPLE)
- 3. AMELANCHIER ARBOREA (DOWNY SERVICEBERRY)
- 4. AMELANCHIER LAEVIS (ALLEGHENY SERVICEBERRY)
- 5. ASIMINA TRILOBA (COMMON PAWPAW)
- CARPINUS CAROLINIANA (AMERICAN HORNBEAM)*
- 7. CORNUS FLORIDA (FLOWERING DOGWOOD) 8. ILEX OPACA (AMERICAN HOLLY)
- 9. NYSSA SYLVATICA (BLACK GUM)
- 10. PINUS STROBUS (EASTERN WHITE PINE)

- 1. ARONIA ARBUTIFOLIA (RED CHOKEBERRY)
- 2. CORNUS AMOMUM (SILKY DOGWOOD)
- 3. CORNUS RACEMOSA (GRAY DOGWOOD)
- CORNUS SERICEA (RED OSIER DOGWOOD)
- 5. LINDERA BENZOIN (NORTHERN SPICEBUSH)
- 6. MYRICA PENSYLVANICA (NORTHERN BAYBERRY)
- 7. SAMBUCUS NIGRA (BLACK ELDERBERRY)
- 8. VIBURNUM DENTATUM (ARROWWOOD VIBURNUM)

*CARPINUS CAROLINIANA TO BE BALLED & BURLAPPED OR CONTAINER GROWN.



- 1. TREES TO BE BARE ROOT OR #1 CONTAINERS
- 2. UNLESS PLANTING WITHIN A WETLAND, PROVIDE POSITIVE DRAINAGE. DO NOT ALLOW PONDING AROUND ROOT BALL.
- 3. IF PLANT IS CONTAINER GROWN, REMOVE CONTAINER AND GENTLY LOOSEN SOIL AND OUTSIDE ROOTS OF ROOT BALL.
- 4. IF ROOTS ARE WRAPPED IN BURLAP, LEAVE THE BURLAP IN PLACE AND REMOVE ANY BINDINGS AROUND THE MAIN TRUNK.

TREE AND SHRUB REFORESTATION/INFILL PLANTING

NOT TO SCALE



PRELIMINARY NOT FOR CONSTRUCTION

NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE -STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.

NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

ILTI-FA EVELOI ENRIET Y, NEV BUILDING
POSED MI
ENTIAL DI
WN OF HI
OE COUNT TC MONR($\mathbf{\alpha}$

RAWING NO.:

SHEET **19** OF **28**

REFERENCE

- VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.
- 2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022.
- 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR HENRIETTA NY_102 UNIT CONCEPTUAL PLAN.PDF", DATED 08/31/2022. BUILDING FOOTPRINTS PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.
- 4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.

ASPHALT PAVEMENT SECTION

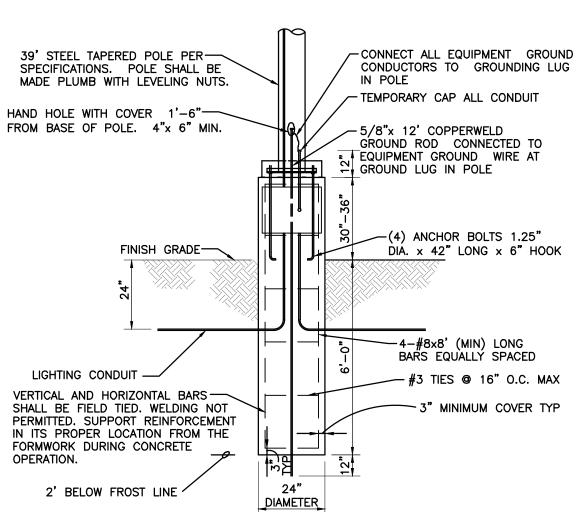
PORTLAND CEMENT CONCRETE PAVEMENT SECTION

	ASPHALT PAVEMENT										
NYCDOT STANDARD HIGHWAY SPECIFICATIONS	ITEM	"HEAVY DUTY" PAVEMENT SECTION	"STANDARD DUTY" PAVEMENT SECTION FOR PARKING STALLS ONLY, BASED ON AMZL TYPICAL STANDARD THICKNESS								
SECTION 4.02	4.02 TOP ASPHALT COURSE	2.5"	1.5"								
SECTION 4.02	4.02 BINDER ASPHALT COURSE	3.5"	1.5"								
SECTION 6.67	TYPE C SUBBASE	12.0"	8.0"								

PORTLAND CEMENT CONRETE PAVEMENT								
NYCDOT STANDARD HIGHWAY SPECIFICATIONS	ITEM	PAVEMENT SECTION						
SECTION 4.05	CLASS A-40, TYPE IIA	8.0"						
SECTION 6.67	TYPE C SUBBASE	12.0"						

- 1. PRIOR TO PLACEMENT OF AGGREGATE, THE PAVEMENT SUBGRADE SHALL BE PREPARED AS FOLLOWS AND IN ACCORDANCE WITH THE EARTHWORK NOTES ON DRAWING COO1:
- A. PAVEMENT SUBGRADE SHALL BE PROOFROLLED AND COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AND WITHIN ±3% OF ITS OPTIMUM MOISTURE CONTENT, AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR). ANY SOFT AREAS SHALL BE OVEREXCAVATED TO A FIRM AND COMPETENT MATERIAL AND BACKFILLED AS DESCRIBED IN 1B.
- B. ALL APPROVED FILL SHALL BE PLACED IN MAXIMUM 6" THICK, LOOSE LIFTS AND COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AND WITHIN ±3% OF ITS OPTIMUM MOISTURE CONTENT. THE FILL MATERIAL'S MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED BY ASTM D1557 (MODIFIED PROCTOR).
- C. AFTER COMPACTION, THE PAVEMENT SUBGRADE SHALL PROVIDE A FIRM UNYIELDING FOUNDATION WITH NO SUDDEN, SHARP OR ABRUPT CHANGES OR BREAKS IN GRADES. NO STANDING WATER OR EXCESS MOISTURE SHALL BE PRESENT. ALL SOFT AND YIELDING AREAS SHALL BE REWORKED BY OVEREXCAVATING TO A FIRM AND COMPETENT MATERIAL, AND BACKFILLED AS DESCRIBED IN 1B.
- D. THE SUBGRADE SHALL BE GRADED AND SHAPED AS REQUIRED TO CONSTRUCT THE AGGREGATE BASE COURSE IN CONFORMANCE WITH THE GRADES, LINES AND THICKNESSES SHOWN ON THE DRAWINGS.
- 2. THE BITUMINOUS COURSES SHALL BE TAPERED INTO THE STORM SEWER INLETS WHILE MAINTAINING FULL PAVEMENT
- 3. REINFORCED CONCRETE COURSE SHALL CONTAIN ONE LAYER OF CONTINUOUS 6"x6" 2.9 W.W.M. WITH 8" LAP AT EDGES TO BE PLACED IN CONCRETE AT THE MIDPOINT OF THE CONCRETE PAD. CONCRETE COURSE SHALL BE 4,000 PSI 6% AIR ENTRAINED, CHLORIDE RESISTANT CONCRETE, MEDIUM BROOM FINISH.
- 4. EXISTING CONCRETE ENCOUNTERED ON SITE MAY BE RE-USED AS PROPOSED SUITABLE FILL MATERIALS PROVIDED THEY ARE FREE OF DELETERIOUS MATERIALS, REBAR AND ARE MECHANICALLY CRUSHED TO MEET THE REQUIRED SPECIFICATIONS INDICATED IN NOTE 3 OF THE EARTHWORK NOTES ON DRAWING GO.01, AS WELL AS NYCDOT SPECIFICATIONS.

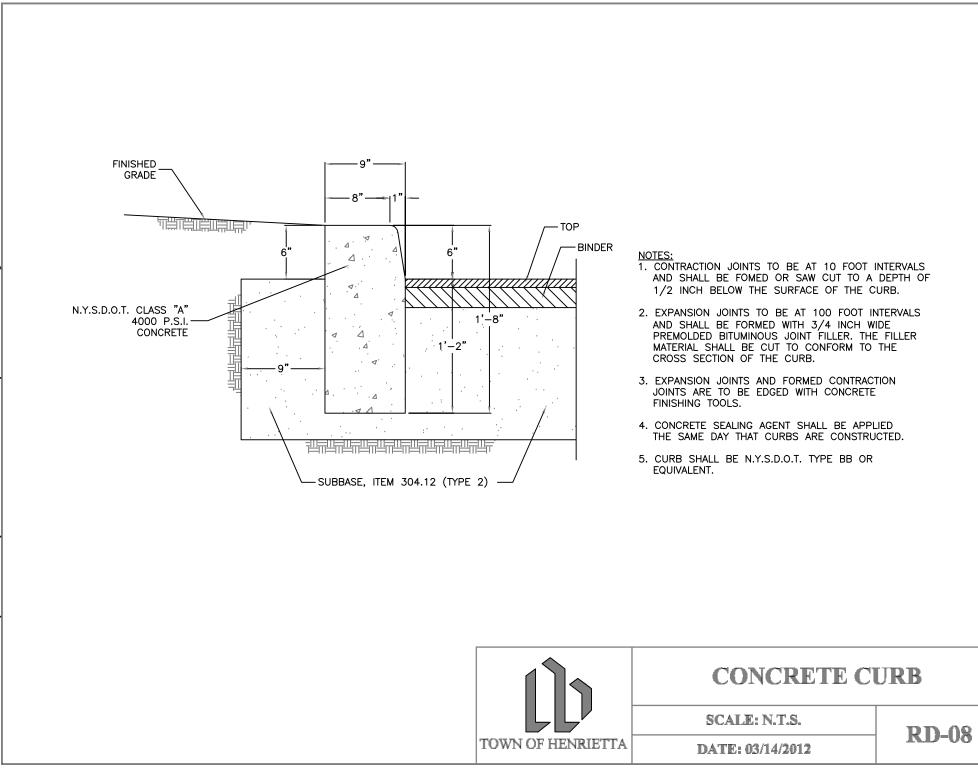
DETAIL 801 PAVEMENT SECTIONS



NOTES:

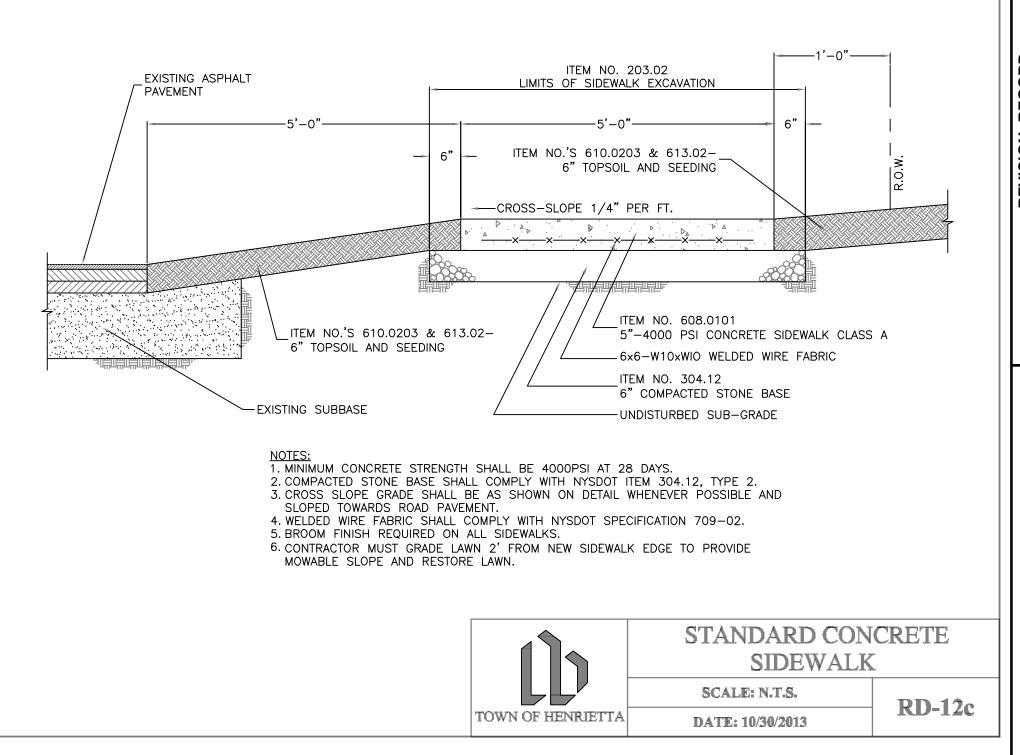
- 1. ALL LIGHT POLE BASE FOUNDATIONS SHALL BE CAST-IN-PLACE CONCRETE, 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
- 2. IF WATER IS PRESENT IN EXCAVATED HOLE, REMOVE BEFORE POURING CONCRETE.
- 3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
- 4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
- 5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
- 6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".

DETAIL 804 SITE LIGHTING POLE BASE



DETAIL 802 CONCRETE CURB

N.T.S.



DETAIL 803 STANDARD CONCRETE SIDEWALK

1/4" FLAT STOCK WELDED_ TO GATE FRAME SEE DETAIL A

INDUSTRIAL LOCKING DEVICE WELDED JOINTS (TYP.)-(SEE DETAIL BELOW) BOX HINGE (GALVANIZED STEEL) −2" GATE FRAME -FINISHED DRIVEWAY PAVEMENT GRADE CONCRETE FOOTINGS _2500 PSI MIN. -UNDISTURBED EARTH **DETAIL A** NOTES: DROP PIN -W/ PADLOCK 1. ALL PIPES SHALL BE HOT DIP GALVANIZED EYE STEEL SCHEDULE 40 MIN. ALL WELDS & REPAIRS SHALL BE COATED WITH COLD GALVANIZED. 一½"ROD ½"x8"x1½" PLATE 3/4" HOLE TO SECURITY ACCESS GATE ACCEPT LOCK 11/2" SCALE: N.T.S. INDUSTRIAL LOCKING DEVICE SA-25 TOWN OF HENRIETTA DATE: 11/15/2011

DETAIL 805

DETAIL 806 SECURITY ACCESS GATE N.T.S.



C800 20 OF 31

ING COMP MULTI-FA DEVELOI HENRIET JNTY, NEV

A.R. BUILDIN PROPOSED N RESIDENTIAL I TOWN OF I

-LIMITS OF SIDEWALK EXCAVATION-—— 5'-0" TO 6'-0"—— ASPHALT PAVEMENT -CROSS-SLOPE 1/4" PER FT. CONCRETE CURB 5"-4000 PSI CONCRETE SIDEWALK* SUBBASE, ITEM 304.12 -6x6-W10xWIO WELDED WIRE FABRIC (TYPE 2) -6" COMPACTED STONE BASE -UNDISTURBED SUB-GRADE <u>NOTES:</u> 1. MINIMUM CONCRETE STRENGTH SHALL BE 4000PSI AT 28 DAYS. 2. COMPACTED STONE BASE SHALL COMPLY WITH NYSDOT ITEM 304.12, TYPE 2.

3. CROSS SLOPE GRADE SHALL BE AS SHOWN ON DETAIL WHENEVER POSSIBLE AND SLOPED TOWARDS ROAD PAVEMENT. 4. WELDED WIRE FABRIC SHALL COMPLY WITH NYSDOT SPECIFICATION 709-02 5. BROOM FINISH REQUIRED ON ALL SIDEWALKS. 6. CONTRACTOR MUST GRADE LAWN 2' FROM NEW SIDEWALK EDGE TO PROVIDE MOWABLE SLOPE AND RESTORE LAWN. * 6" THICK AT DRIVEWAYS TYPICAL SIDEWALK & CURB DETAIL **CONCRETE SIDEWALK AT**

CONCRETE SIDEWALK AT CURB

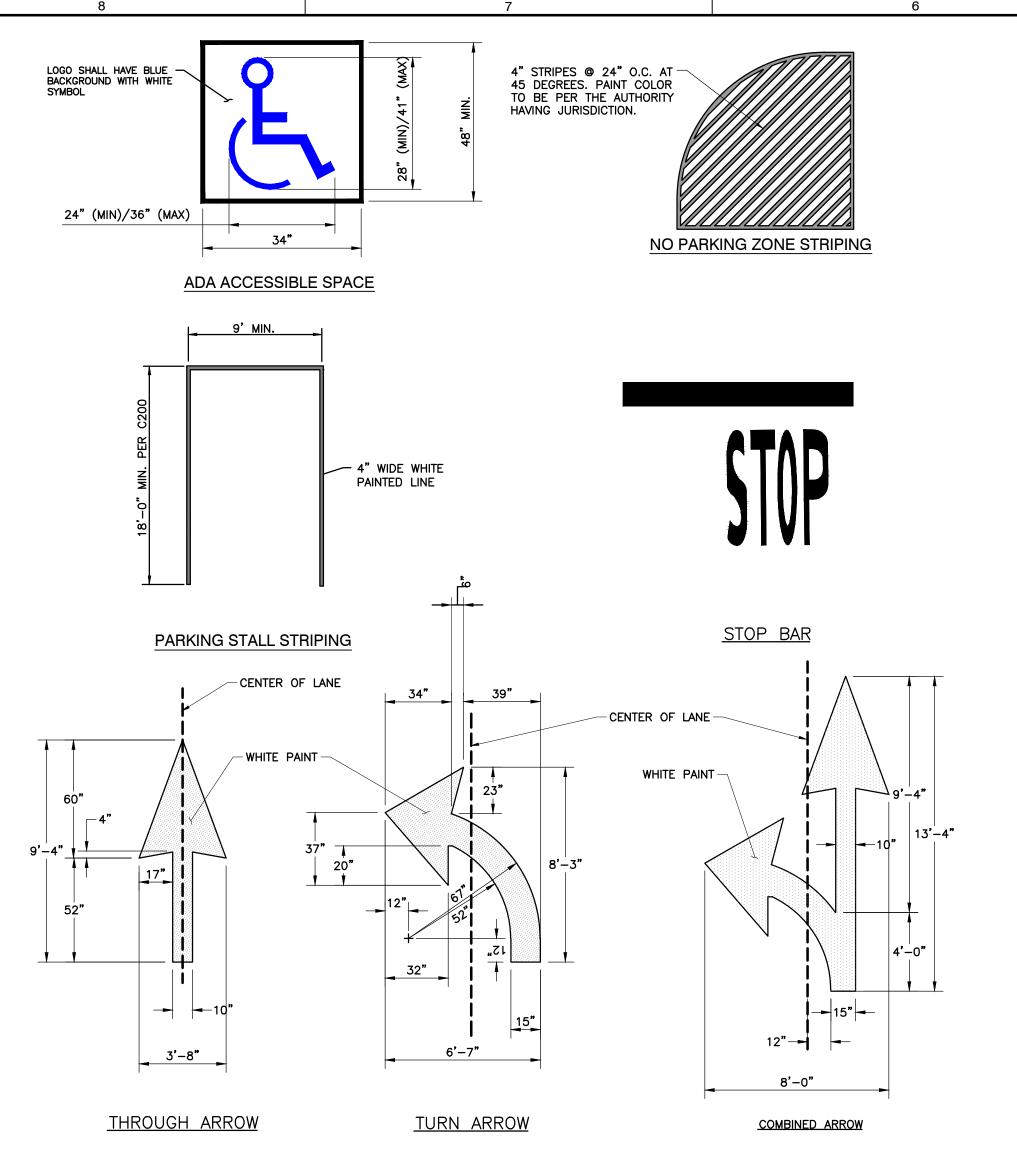
TOWN OF HENRIETTA

CURB

RD-12b

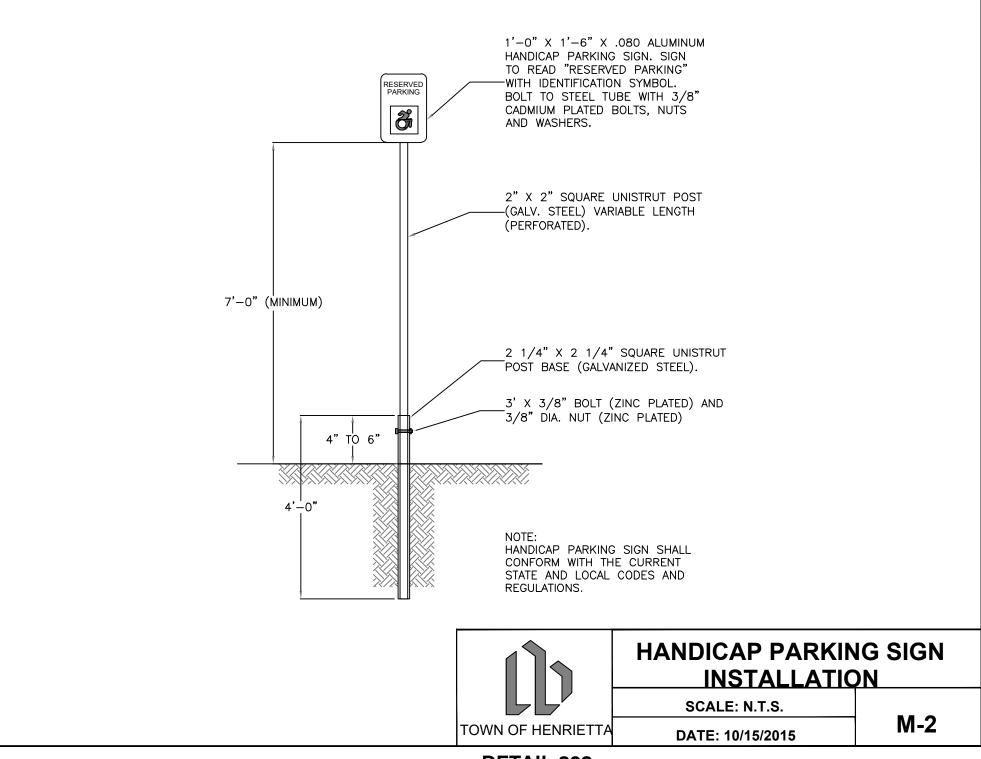
SCALE: N.T.S.

DATE: 03/14/2012

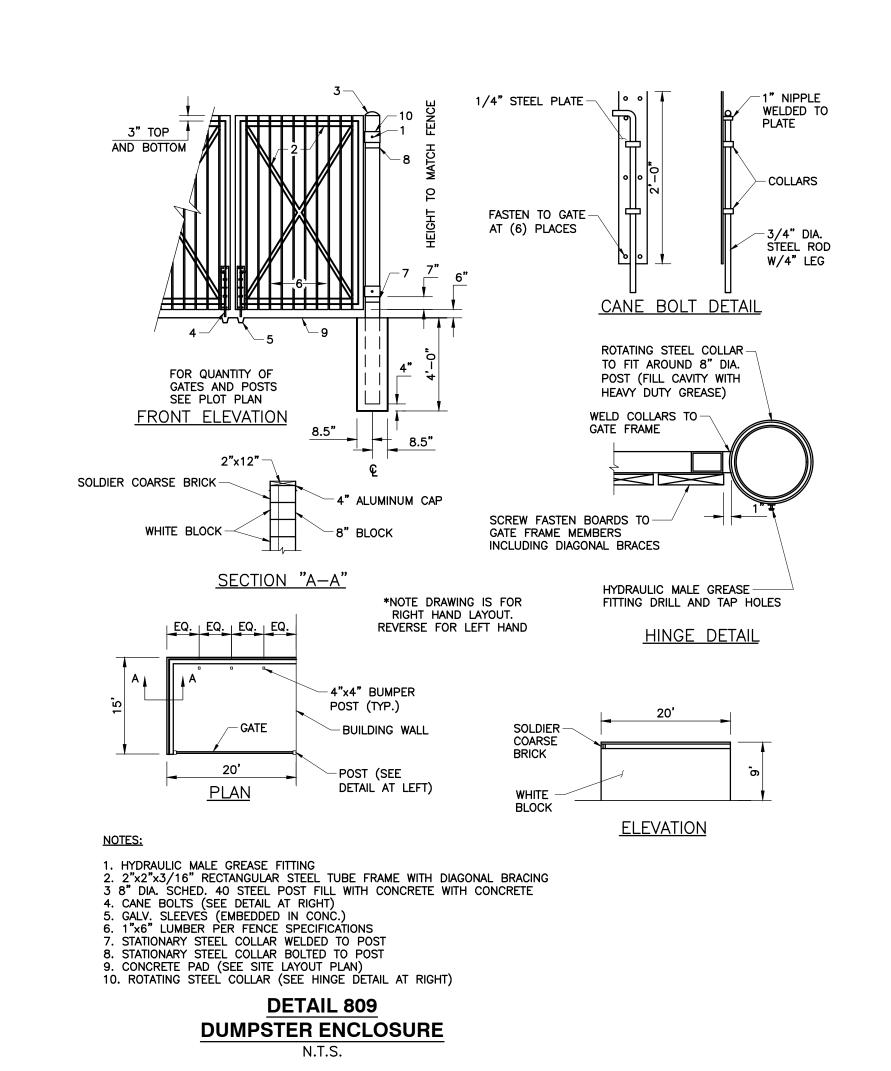


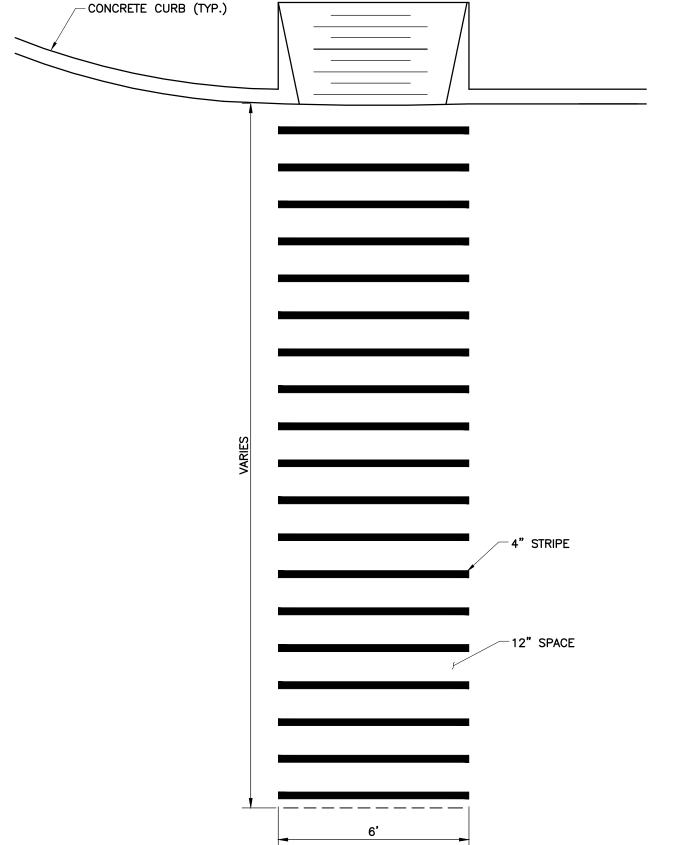
- ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE NON-REFLECTIVE TRAFFIC PAINT OR THERMOPLASTIC AS PER DIMENSIONS AND AS SPECIFIED ON PROJECT PLANS.
- 2. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASE SYNTHETIC RESIN, FED. SPEC. TTP-115 TYPE 1 (OR APPROVED EQUAL). IF SEAL COAT IS USED, IT SHALL BE COMPATIBLE WITH STRIPING COMPOUND.
- 3. PARKING LOT MARKINGS AND STRIPING TO MEET NEW YORK DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

DETAIL 807 TYPICAL PAVEMENT MARKINGS N.T.S.



DETAIL 808 HANDICAP PARKING SIGN INSTALLATION





NOTES:

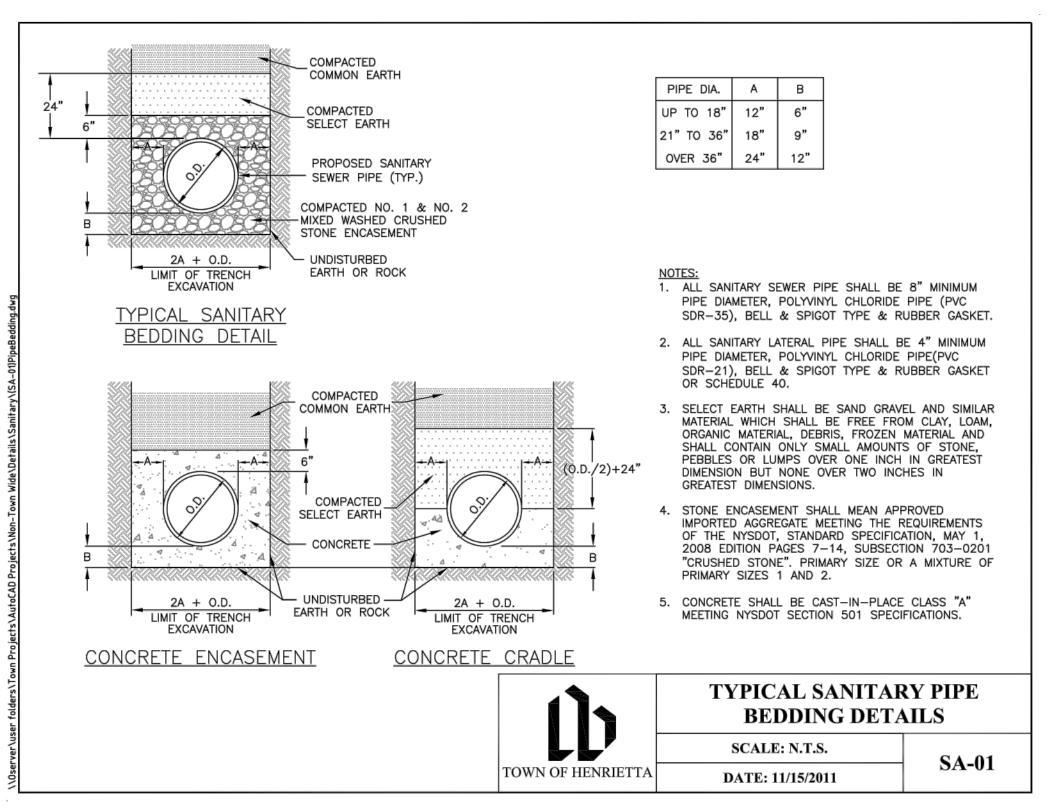
- MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

DETAIL 810 CROSSWALK MARKINGS N.T.S.



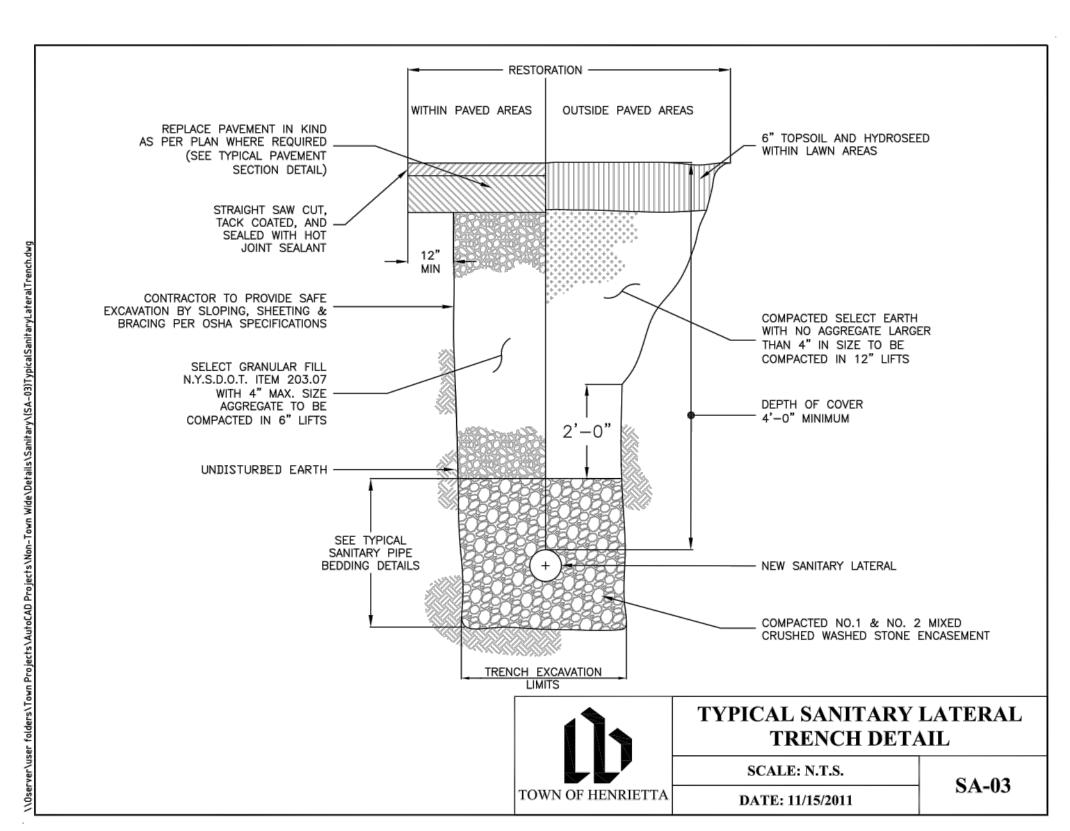
C801 SHEET **21** OF **31**

A.R. BUILDING COMPA PROPOSED MULTI-FAN RESIDENTIAL DEVELOP TOWN OF HENRIETI MONROE COUNTY, NEW

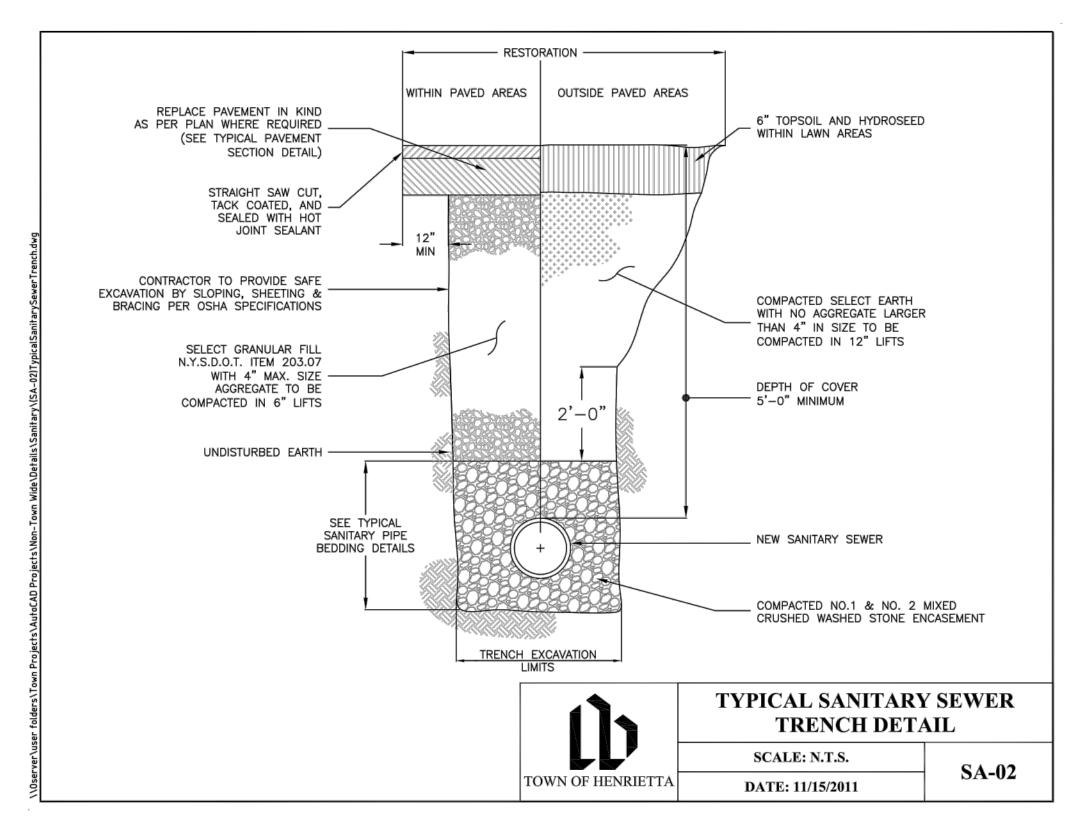


DETAIL 811 SANITARY PIPE BEDDING

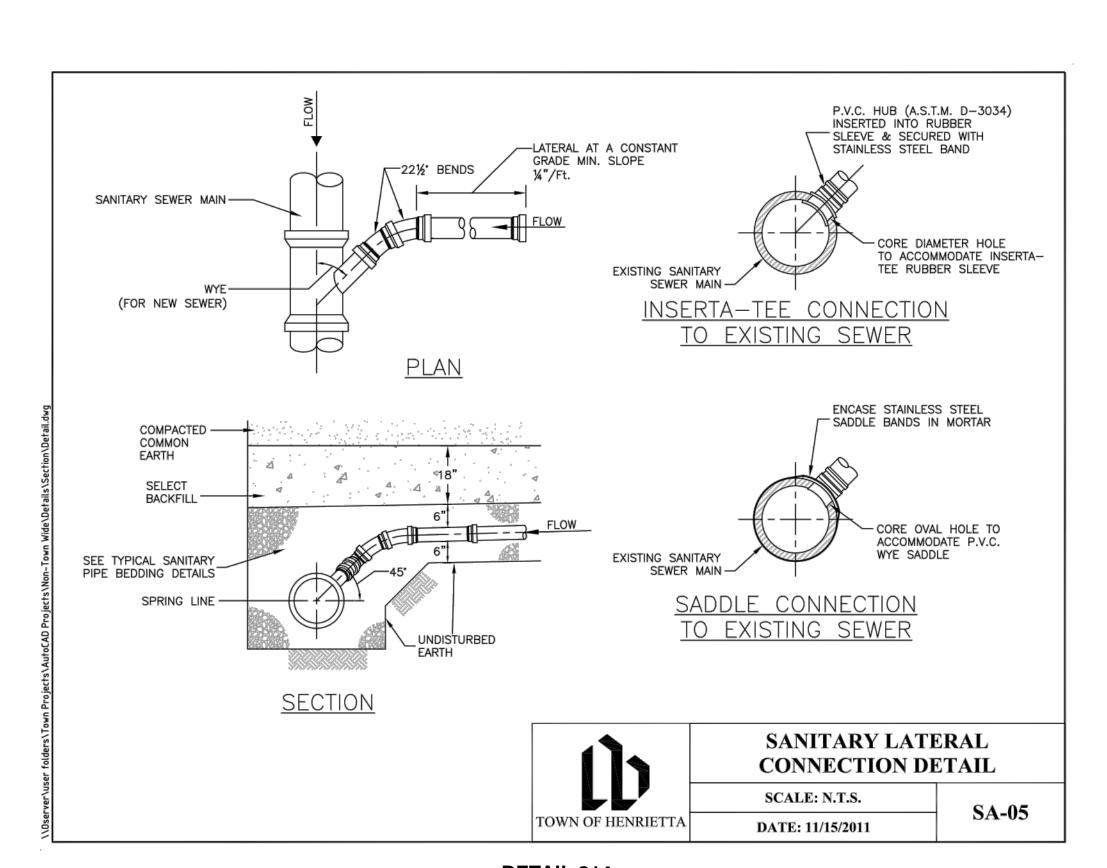
N.T.S.



DETAIL 813 SANITARY LATERAL TRENCH



DETAIL 812 SANITARY SEWER TRENCH N.T.S.

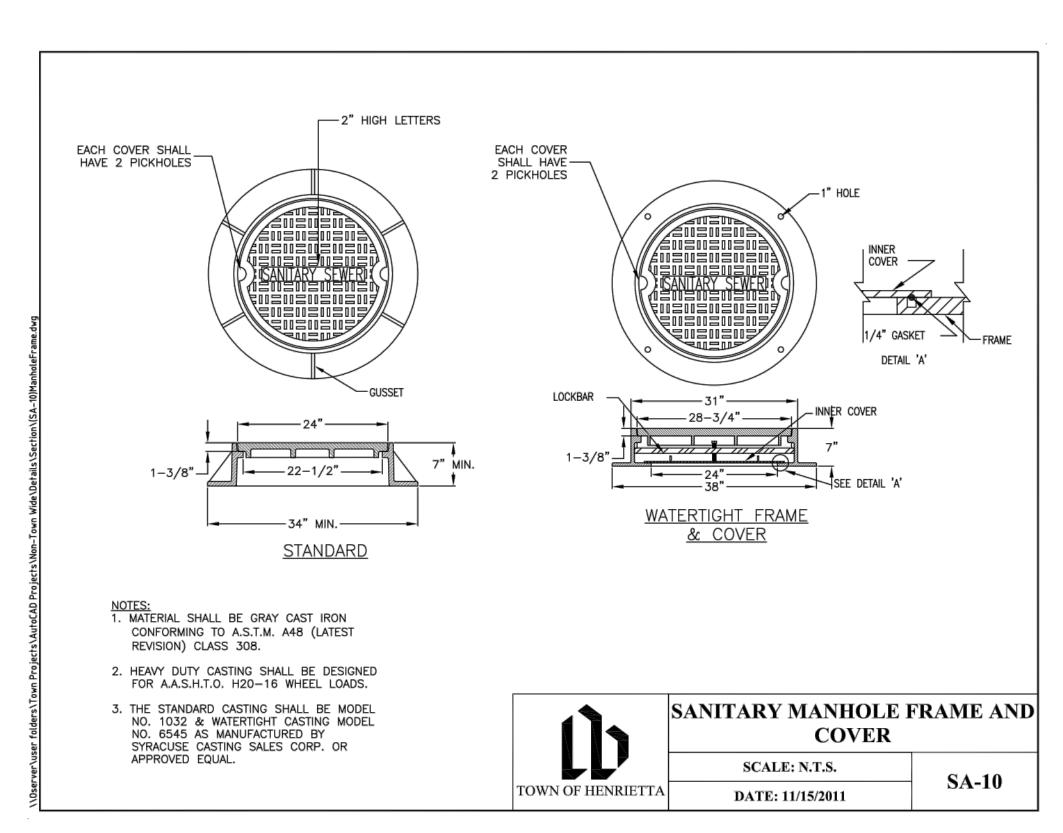


DETAIL 814 SANITARY LATERAL CONNECTION N.T.S.

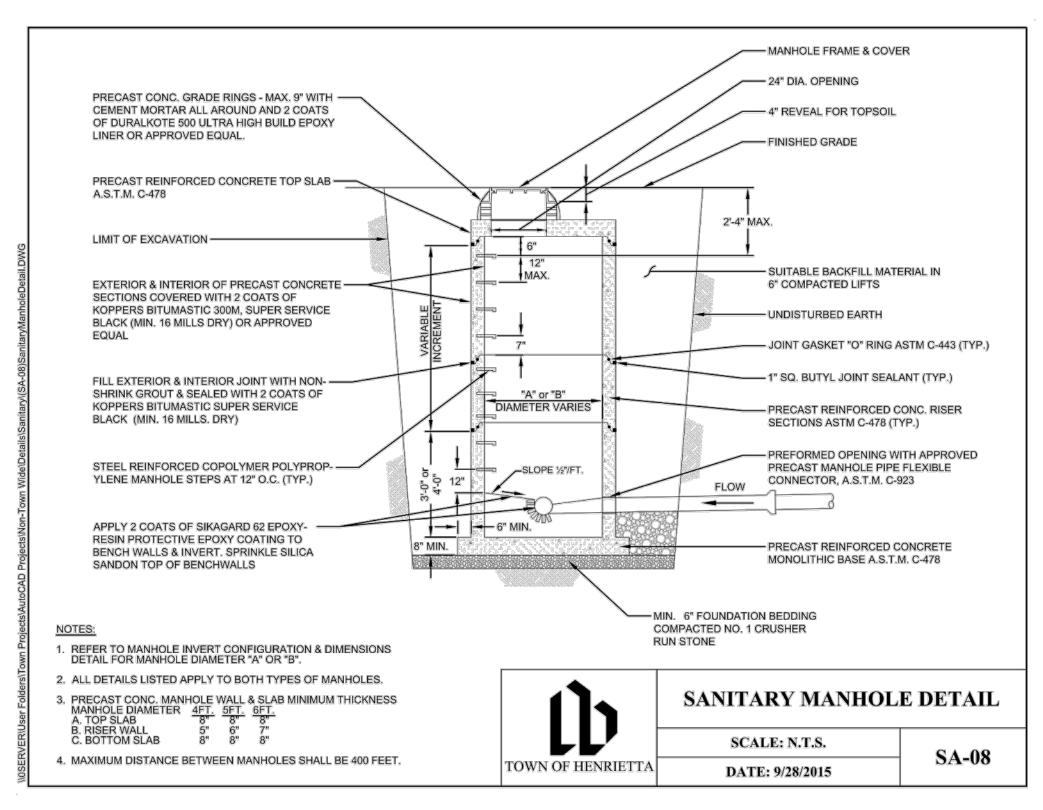
C802 22 OF 31

A.R. BUILDING COMPA PROPOSED MULTI-FAM RESIDENTIAL DEVELOPI TOWN OF HENRIETT MONROE COUNTY, NEW

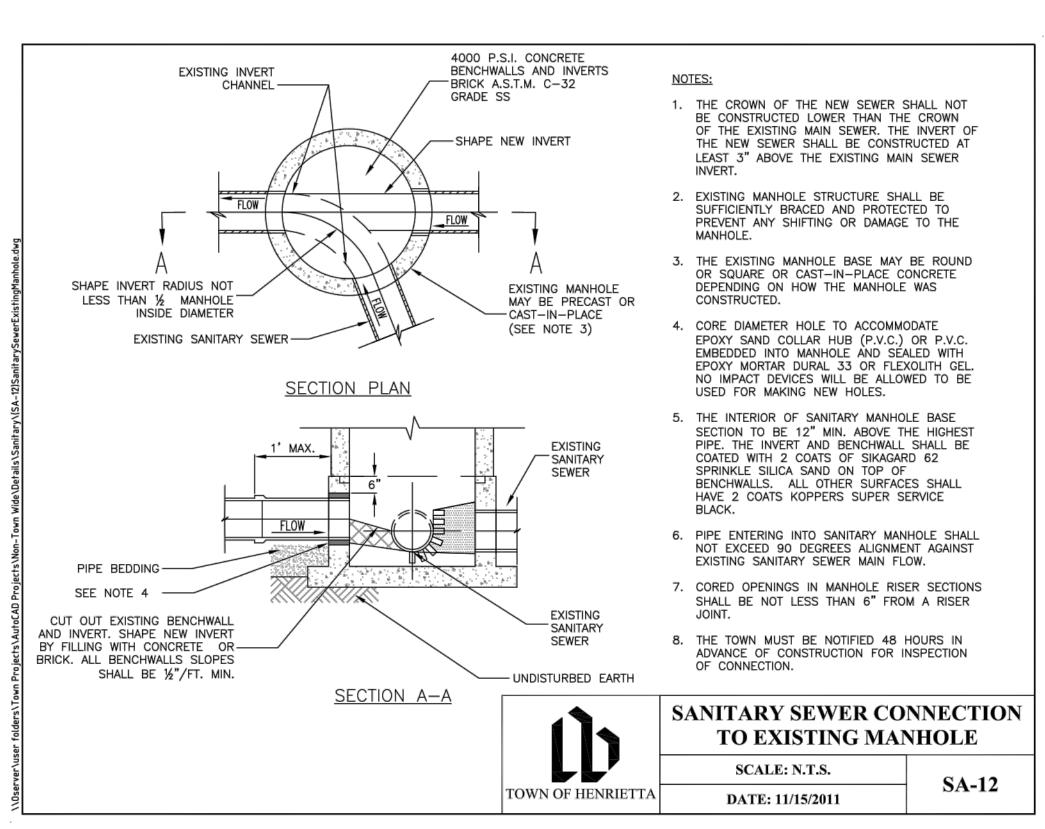
DETAIL 815 SANITARY LATERAL CLEANOUT N.T.S.



DETAIL 817 SANITARY MANHOLE FRAME AND COVER



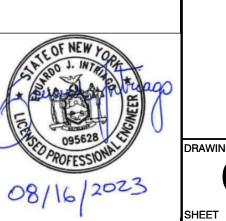
DETAIL 816 SANITARY MANHOLE N.T.S.



DETAIL 818 SANITARY SEWER CONNECTION TO EXISTING MANHOLE

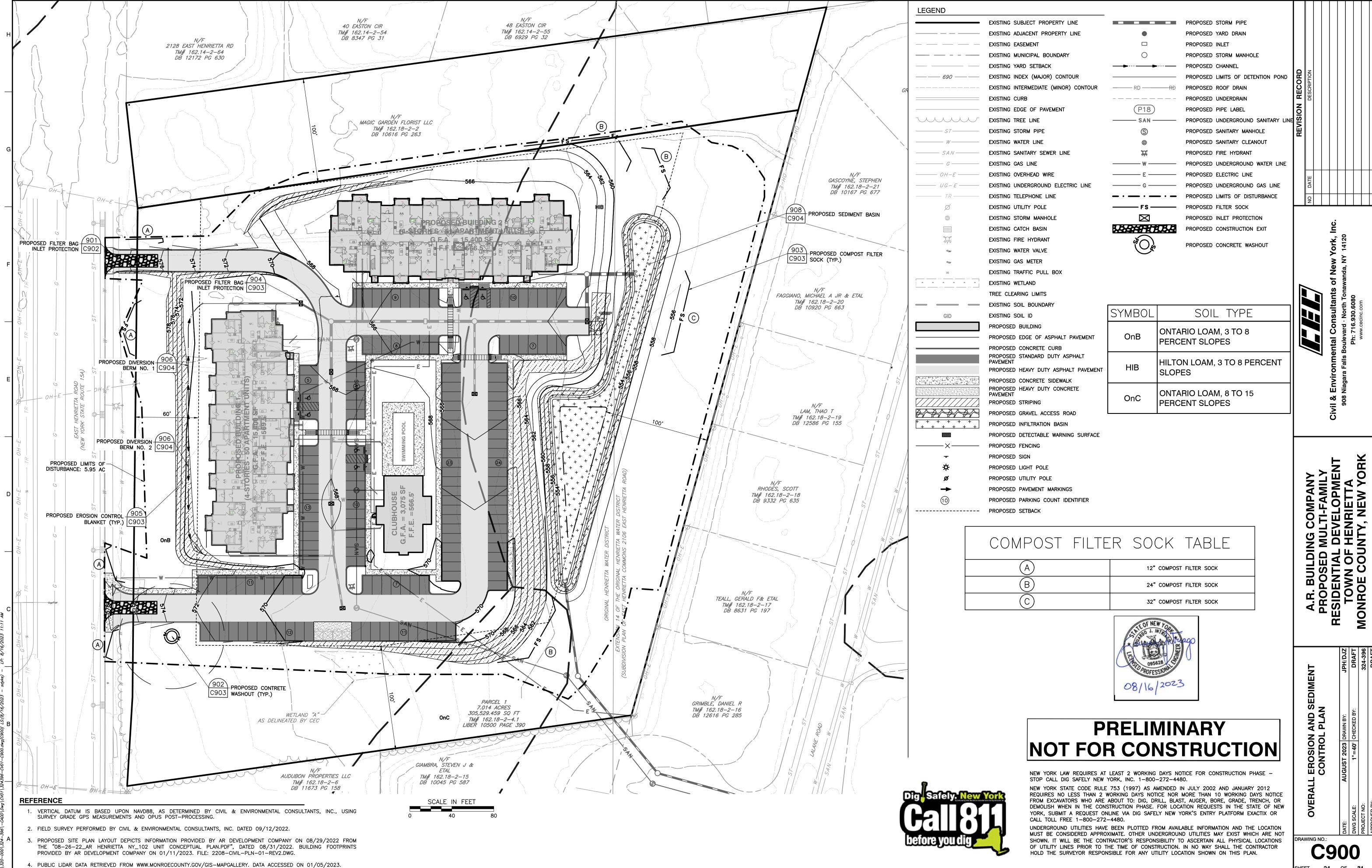
N.T.S.





A.R. BUILDING COMPA PROPOSED MULTI-FAN RESIDENTIAL DEVELOP TOWN OF HENRIETI MONROE COUNTY, NEW

C803 23 OF 31



24 OF 31

TEMPORARY CONTROL MEASURES

THE E&S CONTROL FACILITIES FOR THE PROPOSED MULTIFAMILY RESIDENTIAL PROJECT ARE SHOWN D. STORM SEWER INLET PROTECTION ON THE E&S CONTROL PLAN. CONTROL MEASURES SHOWN ON THIS PLAN ARE MINIMUM CONTROLS TO PROTECT OFFSITE AREAS FROM SEDIMENT-LADEN RUNOFF. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON THE PROGRESS OF CONSTRUCTION AND VARYING CONDITIONS ENCOUNTERED.

A. ROCK CONSTRUCTION ENTRANCE/EXIT

A ROCK CONSTRUCTION ENTRANCE WILL BE PROVIDED AT THE LOCATION SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE STANDARD DETAIL TO REMOVE SEDIMENT/MUD FROM VEHICLES BEFORE ENTERING CITY ROADS.

TO CONSTRUCT THE PAD, PLACE A LAYER OF GEOTEXTILE AND AN INITIAL 2 TO 3 INCHES OF STONE ACROSS THE FULL WIDTH OF THE VEHICLE INGRESS AND EGRESS AREA. THE STONE PAD SHOULD BE AT LEAST 100 FEET IN LENGTH, 20 FEET IN WIDTH, AND 8 INCHES THICK. COMPLETE THE PLACEMENT OF STONE TO THE REQUIRED THICKNESS.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE AREAS IS NOT ACCEPTABLE.

B. <u>TEMPORARY VEGETATIVE STABILIZATION</u>

<u>INSTALLATION:</u> FERTILIZING, SEEDING, AND MULCHING WILL BE USED AS A TEMPORARY E&S CONTROL MEASURE ON ALL NON-PAVED DISTURBED AREAS. EXPOSED SOILS, NOT SUBJECT TO CONSTRUCTION TRAFFIC. SHALL NOT REMAIN UNSEEDED OR UNCOVERED BY MULCH FOR MORE THAN 4 DAYS. INCLUDING STOCKPILED SOIL MATERIALS. WITH REGARD TO THE TEMPORARY SEED MIX, REFER TO THE SEEDING MIXTURE TABLE PROVIDED ON THE E&S CONTROL PLAN DETAIL UNLESS THE OWNER'S REPRESENTATIVE DIRECTS OTHERWISE, VEGETATION SHALL BE ESTABLISHED AS FOLLOWS.

- 1. SOIL PLACEMENT: SOIL SHALL BE PLACED TO THE DESIGN THICKNESS AND GRADE AND TRACKED AND ROLLED INTO PLACE IN A MANNER THAT WILL NO CAUSE EXCESSIVE COMPACTION. IF SOIL DENSITY IS VERIFIED IN THE FIELD, SOIL SHALL BE COMPACTED TO A DRY DENSITY BETWEEN 75 AND 100 POUNDS PER CUBIC FOOT AFTER CORRECTION TO ZERO PERCENT COARSE FRAGMENT (PARTICLES LARGER THAN 2 MILLIMETERS) CONTENT.
- SOIL TESTING AND SOIL AMENDMENT (LIME AND FERTILIZER) RATES: UNLESS SOIL TEST RESULTS AND RECOMMENDATIONS FROM THE STATE AGRICULTURAL EXTENSION SERVICE LABORATORY INDICATE OTHERWISE, EVENLY APPLY: 1) AGRICULTURAL GRADE GROUND LIMESTONE AT A RATE OF 6 TONS PER ACRE (CALCIUM CARBONATE EQUIVALENT BASIS): 2) FERTILIZERS TO SUPPLY 100-200-200 POUNDS PER ACRE $N-P_2O_5-K_2O$ (EXAMPLE: 10-20-20 FERTILIZER AT A RATE OF 1000 POUNDS PER ACRE); AND 3) "BĪOPAK" MICROBIAL SOIL INOCULANT (DISTRIBUTED BY PLANT HEALTH CARE, INC. [WWW.PLANTHEALTHCARE.COM OR 800-421-9051]). IF APPROVED PASTEURIZED PELLETIZED POULTRY MANURE (PASTEURIZED PPM) WITH AN ANALYSIS OF AT LEAST 4-2-3 (PERCENT $N-P_2O_5-K_2O$) IS USED, IT WILL BE ASSUMED THAT ONE TON MANURE WILL SUBSTITUTE FOR 60-40-60 POUNDS $N-P_2O_5-K_2O$ AVAILABLE IN THE FIRST YEAR. A PRE-APPROVED SOURCE OF PASTEURIZED PPM IS "MICRO-START 60" AS MANUFACTURED BY PERDUE AGRIRECYCLE, LLC (WWW.MICROSTART60.COM OR 302-628-2360)
- 3. SOIL AMENDMENT INCORPORATION: PROMPTLY TILL UNDER THE LIME AND FERTILIZER TO A DEPTH OF 2 TO 4 INCHES USING A DISK, HARROW, PLOW, ROTOTILLER OR OTHER SUITABLE EQUIPMENT. IF LIME REQUIREMENTS ARE LESS THAN 4 TONS PER ACRE OR SLOPES ARE TOO STEEP TO PERMIT SAFE TILLAGE, THE SOIL AMENDMENTS CAN BE MIXED INTO A HYDROMULCH SLURRY OR CAN BE TRACKED IN WITH A DOZER IN LIEU OF INCORPORATION. IF TRACKING THE SITE WITH A DOZER, TRACK IN A MANNER THAT LEAVES CLEAT MARKS PARALLEL TO SITE CONTOURS.
- 4. TEMPORARY SEEDING THAT WILL NOT BE FOLLOWED BY PERMANENT SEEDING, SUCH AS TOPSOIL STOCKPILES OR INTERIM GRADING PATTERNS, DOES NOT REQUIRE THE APPLICATION
- OF SLOW RELEASE FERTILIZER OR "BIOPAK" INOCULANT. 5. SEEDBED PREPARATION: JUST BEFORE SEEDING, PREPARE SEEDBED BY TRACKING, RAKING, OR OTHER APPROPRIATE METHOD AS NECESSARY TO BREAK UP SOIL CRUSTS. IF TRACKING THE SITE WITH A DOZER, TRACK IN A MANNER THAT LEAVES CLEAT MARKS PARALLEL TO SITE
- CONTOURS. 6. SEEDING: EVENLY APPLY THE TEMPORARY SEED MIXTURES USING HYDROSEEDING, BROADCAST, OR DRILL SEEDING METHODS THAT PLANT SEED LESS THAN ONE-QUARTER INCH BELOW THE GROUND SURFACE. APPLY LEGUME SEED INOCULANTS SPECIFICALLY MADE FOR THE LEGUME SEED TYPE BEING APPLIED AT FIVE TIMES THE MANUFACTURER'S RECOMMENDED RATE. USE NO SEED OR INOCULANT THAT HAS BEEN IMPROPERLY STORED OR EXPIRED, OR SEED OLDER THAN 9 MONTHS FROM THE SEED TEST DATE. IF HYDROSEEDING METHODS ARE USED, SEED. INOCULANTS, FERTILIZERS, AND POLYMER TACKIFIER/SOIL STABILIZER (BELOW) MAY BE APPLIED IN ONE APPLICATION, PROVIDED THAT SEED AND INOCULANTS ARE NOT HELD IN A SLURRY WITH FERTILIZERS FOR MORE THAN ONE HOUR
- MULCHING AND TACKING: PROMPTLY AFTER SEEDING, MULCH USING EITHER 1) "CURLEX" OR EQUIVALENT BRAND OF WOOD EXCELSIOR EROSION CONTROL BLANKET; 2) SYNTHETIC INDUSTRIES "TRM 450" OR NORTH AMERICAN GREEN "P-300" TURF REINFORCEMENT MAT: 3) STRAW APPLIED AT A RATE OF 6.000 POUNDS PER ACRE; OR 4) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED WITH A HYDROSEFDER AT A RATE OF 3,000 POUNDS PER ACRE WOOD/CELLULOSE FIBER HYDROMULCH MUST CONTAIN AT LEAST 50% VIRGIN WOOD FIBER. IF AT LEAST 1,000 POUNDS PER ACRE APPROVED PASTEURIZED PPM IS BEING APPLIED WITH A HYDROSEEDER, WOOD/CELLULOSE FIBER HYDROMULCH RATES MAY BE REDUCED TO 2,500

IN SOME LOCATIONS SHOWN ON THE DRAWINGS, SUCH AS SLOPES STEEPER THAN 3:1 (H:V), EROSION CONTROL BLANKET OR TURF REINFORCEMENT MAT (TRM) MAY BE THE ONLY PERMISSIBLE MULCHING OPTION. INSTALL EROSION CONTROL BLANKETS/TRM PER MANUFACTURER'S INSTRUCTIONS. STAPLE BLANKET/TRM IN PLACE USING 6-INCH (MINIMUM) SOD STAPLES IN ROWS AT THE EDGES AND CENTERLINE OF THE BLANKET AND ON 24-INCH OR CLOSER CENTERS.

TACK STRAW IN PLACE USING EITHER: 1) A CRIMPER DISK; 2) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED OVER THE STRAW AT A RATE OF 800 TO 1,000 POUNDS PER ACRE; OR 3) WATER SOLUBLE LINEAR POLYACRYLATE (SODIUM ACRYLATE/ACRYLAMIDE) COPOLYMER "POLYMER" AT A RATE OF AT LEAST 8 POUNDS PER ACRE APPLIED IN MIXTURE WITH WATER OVER THE STRAW. APPROVED POLYMER BRANDS INCLUDE "WATERSORB™ PAM" OR "HYDROPAM™" DISTRIBUTED BY POLYMERS, INC. (WWW.WATERSORB.COM OR 501-623-9995), "TERRAPAM™" DISTRIBUTED BY PLANT HEALTH CARE, INC. (WWW.PLANTHEALTHCARE.COM OR 800-421-9051), AND "HYDROGEL B™" DISTRIBUTED BY FINN CORPORATION (WWW.FINNCORP.COM OR 800-543-7166).

TACK WOOD/CELLULOSE FIBER HYDROMULCH IN PLACE USING "POLYMER" SPECIFIED ABOVE AT A RATE OF AT LEAST 4 POUNDS PER ACRE APPLIED IN A SLURRY WITH THE HYDROMULCH.

MAINTENANCE: WATER AS NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION. IN MOWED AREAS, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 4 AND 6 INCHES TALL FOR FIRST TWO MONTHS OF GROWTH DURING THE ESTABLISHMENT YEAR, AND TO THE DESIRED HEIGHT THEREAFTER. IF STRING TRIMMERS ARE USED, TAKE MEASURES TO AVOID DAMAGE TO BARK OF

C. <u>COMPOST FILTER SOCK</u>

TREES AND SHRUBS.

THE COMPOST FILTER SOCK AS MANUFACTURED BY FILTREXX, OR EQUIVALENT SHALL BE USED IN THE LOCATIONS INDICATED ON THE PLAN. REFER TO TABLE 5.1 AND TABLE 5.2, SHEET C902, FOR COMPOST STANDARDS.

- . PLACE COMPOST FILTER SOCKS WHERE INDICATED AT LEVEL GRADE ALONG CONTOURS, PERPENDICULAR TO THE DIRECTION OF WATER FLOW. EXTEND BOTH ENDS AT LEAST 8' UP
- THE SLOPE AT 45 DEGREES TO MAIN SOCK ALIGNMENT 2. USE WOODEN STAKES TO SECURE THE FILTER SOCKS. WOODEN STAKES MUST BE 2-INCHES BY 2-INCHES AND OF SUFFICIENT LENGTH THAT STAKES WILL BE EMBEDDED A MINIMUM 12-INCHES INTO THE SOIL AND BE EXPOSED 3-INCHES OUT OF THE FILTER SOCK. DRIVE THE STAKES THROUGH THE FILTER SOCK LEAVING NO MORE THAN 3 TO 4 INCHES OF THE STAKE OR PIN EXPOSED. PLACE STAKES EVERY 10 FEET. ADDITIONAL STAKES MAY BE
- 3. WHEN MORE THAN ONE LENGTH OF FILTER SOCK IS USED, OVERLAP ENDS A MINIMUM OF $^{-1}\cdot$
- 24-INCHES 4. BACKFILL ALONG UPSLOPE SIDE OF FILTER SOCKS WITH LOOSE COMPOST, FILLING THE SEAM BETWEEN THE SOIL SURFACE AND FILTER SOCK.

MAINTENANCE: ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24-HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

CURB AND GRATED INLETS ARE PROTECTED FROM THE INTRUSION OF SEDIMENT THROUGH A VARIETY OF MEASURES AS SHOWN ON THE DETAILS INCLUDED IN THE CONSTRUCTION DRAWINGS. THE PRIMARY MECHANISM IS TO PLACE CONTROLS IN THE PATH OF FLOW SUFFICIENT TO SLOW THE SEDIMENT-LADEN WATER TO ALLOW SETTLEMENT OF SUSPENDED SOILS BEFORE DISCHARGING INTO THE STORM SEWER. IT IS POSSIBLE THAT AS CONSTRUCTION PROGRESSES FROM STORM SEWER INSTALLATION THROUGH TO PAVING THAT THE INLET PROTECTION DEVICES WILL CHANGE

INLET FILTER BAGS WILL BE PROVIDED AT ALL STORM SEWER INLETS AS THEY ARE INSTALLED TO FILTER SEDIMENT-LADEN WATER PRIOR TO ENTERING THE STORM SEWER SYSTEM.

INSTALLATION: THE INLET FILTER BAGS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE: ALL INLET FILTER BAGS SHALL BE CLEANED AND/OR REPLACED WHEN THE BAG IS HALF FULL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL DAMAGED INLET FILTER BAGS SHALL BE REPLACED. THE ACCUMULATED SEDIMENT SHALL BE DISTRIBUTED EVENLY AMONG THE SITE AND STABILIZED.

E. EROSION CONTROL BLANKET

NORTH AMERICAN GREEN SC150BN OR APPROVED EQUIVALENT EROSION CONTROL BLANKET WILL BE USED TO PREVENT EROSION FROM THE GRADING OPERATIONS AND INSTALLED ON PERMANENT SLOPES. THE EROSION CONTROL BLANKETS WILL PROVIDE EROSION PROTECTION AND ASSIST WITH VEGETATION ESTABLISHMENT FOR UP TO 12 MONTHS. AFTER A 12 MONTH PERIOD THE BLANKETS WILL BIODEGRADE LEAVING A STABLE VEGETATED ROOT STRUCTURE.

- PREPARE SOIL ON ALL ESTABLISHED TEMPORARY AND PERMANENT SLOPE AND ANY NECESSARY APPLICATION OF FERTILIZER AND SEED. SEE THE SEED MIXTURE TABLE LOCATED ON THE E&S CONTROL PLAN NOTES SHEET BEFORE INSTALLING EROSION CONTROL BLANKET.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE EROSION CONTROL BLANKET IN A 4 INCH BY 6 INCH WIDE TRENCH WITH APPROXIMATELY 12 INCHES OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12 INCH PORTION OF THE EROSION CONTROL BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES SPACED APPROXIMATELY 12 INCHES APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE EROSION CONTROL BLANKET DOWN THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 4. THE EDGE OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2 TO 5 INCH OVERLAP.

MAINTENANCE: THE EROSION CONTROL BLANKETS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT TO LOOK FOR SCOUR/WASHOUT AREAS. ANY SCOURED AREAS SHALL BE FIXED IMMEDIATELY BY COMPACTING SOIL IN THE WASHOUT AREA AND PLACING SEED. ANY DAMAGED EROSION CONTROL BLANKETS SHALL BE REPLACED IMMEDIATELY. BLANKETS SHALL BE MAINTAINED UNTIL A UNIFORM 70% PERENNIAL VEGETATION HAS BEEN ESTABLISHED.

CONSTRUCTION WASTE RECYCLING/DISPOSAL

CONSTRUCTION WASTES ARE REFUSE MATERIALS THAT ARE EXISTING ON-SITE OR GENERATED DURING THE COURSE OF CONSTRUCTION AND INCLUDE, BUT ARE NOT LIMITED TO, PAPER, PLASTIC, RUBBER, WOOD, TEXTILE, AND METAL PRODUCTS.

ISTALLATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING WASTE RECYCLING/DISPOSAL AREAS ON THE E&S PLAN ONCE THEY HAVE BEEN DETERMINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL WASTE RECYCLING/DISPOSAL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

MAINTENANCE: ALL CONSTRUCTION WASTE SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF AT A STATE-APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL/STATE CODES AND PERMIT REQUIREMENTS. THE BURNING OF WASTE MATERIALS WILL NOT BE PERMITTED.

F. <u>PUMPED WATER FILTER BAGS</u>

FILTER BAGS MAY BE USED TO FILTER WATER PUMPED FROM DISTURBED AREAS PRIOR TO DISCHARGING TO WATERS OF THE COMMONWEALTH. THEY MAY ALSO BE USED TO FILTER WATER PUMPED FROM THE SEDIMENT STORAGE AREAS OF SEDIMENT BASINS.

ISTALLATION: FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH-STRENGTH, DOUBLE-STITCHED "J"-TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.

BAGS SHALL BE LOCATED IN WELL VEGETATED (GRASSY) AREAS AND DISCHARGE ONTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR ONE-HALF THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

MAINTENANCE: PUMP AND FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED. PUMPING SHALL CEASE IMMEDIATELY, AND SHALL NOT RESUME UNTIL THE PROBLEM IS CORRECTED. SEDIMENT REMOVED FROM THE FILTER BAG SHALL BE SPREAD ONSITE UPSTREAM FROM ESTABLISHED SEDIMENT CONTROLS, AND ALLOWED TO DRY. ONCE DRY, THE SEDIMENT MAY BE INCORPORATED ONSITE AS PART OF THE FILL

G. TOPSOIL/MATERIAL STOCKPILE AREA

THERE WILL BE A DESIGNATED MATERIAL STOCKPILE AREA LOCATED ON THE PROPERTY. ALL SITE DEMOLITION MATERIAL SHALL BE STOCKPILED THERE UNTIL TRANSPORTED TO AN APPROVED PADEP DISPOSAL AREA.

INSTALLATION: INSTALL COMPOST FILTER SOCKS AROUND MATERIAL STOCKPILE.

MAINTENANCE: INSPECT TEMPORARY STOCKPILES WEEKLY. REPAIR OR REPLACE COMPOST FILTER SOCK AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE SOCK MATERIAL.

CONCRETE WASHOUT

CONCRETE WASHOUTS SHALL BE CONSTRUCTED ONSITE TO CONTAIN ALL WASHOUT WATER FROM CONCRETE CONSTRUCTION ACTIVITIES. WASHOUTS SHALL BE CLEARLY MARKED.

INSTALLATION: WASHOUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAIL

IAINTENANCE: WASHOUTS SHALL BE CLEANED OUT WHEN ACCUMULATED MATERIALS TAKE UP 75% OF AVAILABLE STORAGE CAPACITY. MATERIALS SHALL BE DISPOSED OF IN A PADEP-APPROVED FACILITY. MAKE ANY REPAIRS TO THE CONTAINMENT FACILITY AS NEEDED.

CONSTRUCTION STAGING GENERAL NOTES

- AT LEAST SEVEN (7) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER. AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- UPON INSTALLATION AND/OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPS, AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES. THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.

AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING

- INTO AN AREA PREVIOUSLY UNMARKED, THE NEW YORK STATE ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-962-7962 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED. IMMEDIATELY STABILIZE ALL DISTURBED AREAS UPON A TEMPORARY CESSATION OF WORK (4 DAYS OR
- MORE) OR AS SOON AS ANY GRADED AREA REACHES FINAL GRADE. AS SOON AS SLOPES, CHANNELS, PONDS AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE PERMANENTLY STABILIZED. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.

CONSTRUCTION SEQUENCE

THE FOLLOWING IS A GENERALIZED CONSTRUCTION SEQUENCE FOR THE EROSION AND SEDIMENTATION CONTROL PHASE OF THE PROJECT. THIS CONSTRUCTION SEQUENCE WAS DEVELOPED TO PROVIDE THE NECESSARY EROSION AND SEDIMENTATION CONTROL PROTECTION THROUGHOUT EARTHMOVING ACTIVITIES. THE CONTRACTOR SHALL PERFORM ALL NECESSARY ACTIVITIES FOR PROPER AND COMPLETE EXECUTION OF THIS PLAN, WHETHER SPECIFICALLY MENTIONED OR NOT, AND MAY BE REQUIRED TO ALTER CONTROLS BASED ON EFFECTIVENESS OF CONTROLS OR DIFFERING CONDITIONS THAT ARE ENCOUNTERED DURING THE PROJECT.

PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITY, THE CONTRACTOR SHALL CLEARLY DELINEATE SENSITIVE AREAS, AREAS PROPOSED FOR INFILTRATION BMPS, THE LIMITS OF CLEARING, AND TREES THAT ARE TO BE CONSERVED WITHIN THE PROJECT SITE. THE CONTRACTOR SHALL INSTALL APPROPRIATE BARRIERS WHERE EQUIPMENT MAY NOT BE PARKED, STAGED, OPERATED, OR LOCATED FOR ANY PURPOSES, WHEREVER PRACTICAL. CONSTRUCTION ACTIVITIES WILL OCCUR SIMULTANEOUSLY AND THE ORDER OF ACTIVITIES MAY VARY FROM THE ORDER IN WHICH THEY ARE LISTED HEREIN.

- 1. MOBILIZE EQUIPMENT, CONSTRUCTION TRAILER, MATERIAL STORAGE BINS, ETC. ONSITE.
- 2. LAYOUT THE LIMITS OF THE SITE, ESTABLISH BENCHMARKS, AND REFERENCE POINTS. FLAG THE LIMIT OF DISTURBANCE. DO NOT DISTURB ANY TREES OR VEGETATION LOCATED OUTSIDE OF THOSE LIMITS, WHILE MINIMIZING THE DISTURBANCE OF ALL VEGETATION WITHIN.
- INSTALL THE ROCK CONSTRUCTION ENTRANCE AND TEMPORARY CONCRETE WASHOUT FACILITIES AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE STANDARD DETAILS PRIOR TO EARTH MOVING ACTIVITIES.
- INSTALL PROPOSED INLET FILTER BAGS AT THE EXISTING INLET LOCATIONS SPECIFIED ON THE APPROVED PLANS AND IN ACCORDANCE WITH THE DETAILS.
- PERFORM INITIAL CLEARING FOR INSTALLATION OF PERIMETER BMPS. LIMIT CLEARING AND GRUBBING TO AREAS NECESSARY TO CONSTRUCT BMPS. REMOVE EXISTING SWALE THAT DRAINS TO THE EXISTING STORMWATER BASIN LOCATED ADJACENT TO THE SOUTHWEST PARCEL CORNER. SWALE SHALL BE REMOVED PRIOR TO BULK EARTHWORK ACTIVITIES TO ENSURE THAT SEDIMENT IS NOT CONVEYED OFFSITE.
- INSTALL COMPOST FILTER SOCK AT LOCATIONS SHOWN ON THE PLAN AND IN ACCORDANCE WITH THE STANDARD DETAILS.

HALT ALL ACTIVITIES AND CONTACT CEC PRIOR TO THE BEGINNING OF THE NEXT STEP IN THE CONSTRUCTION SEQUENCE. CONSTRUCTION OF SUBGRADE PREPARATION, INLET AND OUTLET INSTALLATION, AND SEDIMENT BASIN CONSIST OF CRITICAL STAGES THAT A LICENSED PROFESSIONAL OR DESIGNEE MUST BE ONSITE FOR INSPECTION. LICENSED PROFESSIONALS MUST BE LICENSED IN THE STATE OF NEW YORK. (REFER TO INDIVIDUAL BMP CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION).

- BEGIN EXCAVATION/CONSTRUCTION OF THE PROPOSED SEDIMENT BASIN IN ACCORDANCE WITH THE APPROVED PLANS AND DETAILS.
- 8. INSTALL EROSION CONTROL BLANKET AND TEMPORARY SLOPE STABILIZATION WITHIN SEDIMENT BASIN AND EMBANKMENT SLOPES. INSTALL OUTLET STRUCTURE OS1 AND OUTFALL
- 9. CLEAR AND GRUB AREAS OF THE SITE AS REQUIRED FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS. ALL DEMOLITION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF AT AN APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. CARE SHOULD BE TAKEN WITHIN THE DISTURBANCE LIMITS REGARDING ANY EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE EXISTING UTILITIES.
- 10. LAYOUT THE LIMITS OF PROPOSED GRADING AND ESTABLISH ADDITIONAL BENCHMARKS AND REFERENCE POINTS.
- 11. BEGIN GRADING ACTIVITIES FOR THE PROPOSED BUILDINGS, PARKING, AND OTHER SITE IMPROVEMENT AREAS. STABILIZE SITE AREA WITH GRAVEL SUB-BASE OR TEMPORARY SEEDING, IN ACCORDANCE WITH THE STANDARD NOTES AND DETAILS.
- 12. SLOPES 3H:1V OR STEEPER THAT HAVE REACHED FINAL GRADE SHALL RECEIVE EROSION CONTROL BLANKETING (ECB) IN ACCORDANCE WITH THE STANDARD DETAIL. ECB SHALL BE APPLIED AS NECESSARY THROUGHOUT THE REST OF THIS SEQUENCE DURING EARTHWORK
- 13. BEGIN CONSTRUCTION OF PROPOSED BUILDINGS.
- 14. BEGIN INSTALLATION OF THE STORMWATER INLETS AND MANHOLES, CONVEYANCE PIPES, ROOF DRAINS, AND ENDWALLS, ENSURE THAT ALL STORMWATER RUNOFF IS DIRECTED DOWNSTREAM SUCH THAT PONDING OR FLOODING DOES NOT OCCUR. INSTALL SPECIFIED OUTLET PROTECTION AT ALL STORM SEWER OUTFALL LOCATIONS.
- 15. INSTALL PROPOSED INLET FILTER BAGS AT THE LOCATIONS SPECIFIED ON THE APPROVED PLANS AND IN ACCORDANCE WITH THE DETAILS.
- 16. BEGIN FINE GRADING ACTIVITIES FOR THE REMAINDER OF THE SITE AROUND ALL BUILDINGS. ALL SLOPES 3H:1V OR STEEPER THAT HAVE REACHED FINAL GRADE SHALL RECEIVE EROSION CONTROL BLANKETING IN ACCORDANCE WITH THE STANDARD DETAIL.
- 17. AS FINAL GRADES ARE ACHIEVED, BEGIN TRENCHING AND INSTALLING THE REMAINING PROPOSED UTILITIES AS SHOWN ON THE PLANS AND STANDARD DETAILS. EXCAVATE TRENCHES ONLY AS REQUIRED. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. PLACE EXCAVATED MATERIAL ON THE UPSLOPE SIDE OF THE TRENCH. ANY ACCUMULATED WATER SHALL BE REMOVED BY PUMPING THROUGH A PUMPED WATER FILTER BAG. ON THE DAY FOLLOWING THE PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA SHALL BE GRADED TO FINAL SUBGRADE AND SEEDED AND MULCHED OR STABILIZED WITH STONE PER THE PERMANENT SEEDING SCHEDULE
- 18. COMPLETE CONSTRUCTION OF ALL PROPOSED CURBS, SIDEWALKS, ROADWAYS, AND PARKING
- 19. INSTALL PLANTINGS IN ACCORDANCE WITH THE LANDSCAPING PLAN. ENSURE PERMANENT VEGETATIVE STABILIZATION IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS ON E&S NOTES SHEET. RESEED IF A UNIFORM 70% VEGETATIVE COVER IS NOT ACHIEVED.
- 20. HALT ALL ACTIVITIES AND CONTACT CEC PRIOR TO THE BEGINNING OF THE NEXT STEP IN THE CONSTRUCTION SEQUENCE. THE CONVERSION OF THE SEDIMENT BASIN TO THE DETENTION BASIN CONSISTS OF CRITICAL STAGES THAT A LICENSED PROFESSIONAL OR DESIGNEE MUST BE ONSITE FOR INSPECTION. LICENSED PROFESSIONALS MUST BE LICENSED IN THE STATE OF NY.
- 21. BEGIN CONVERSION OF THE SEDIMENT BASIN TO THE PROPOSED DETENTION BASIN IN ACCORDANCE WITH THE APPROVED PLANS AND DETAILS. REMOVE TEMPORARY SEDIMENT SKIMMER FROM THE PERMANENT OUTLET STRUCTURE. PLUG THE ORIFICE FROM THE SEDIMENT SKIMMER COUPLING CONNECTION TO THE PERMANENT OUTLET STRUCTURE. INSTALL GRATE ON TOP OF PERMANENT OUTLET STRUCTURE IN ACCORDANCE WITH THE APPROVED DETAILS. REMOVE ANY SEDIMENT FROM BASIN BOTTOM. INSTALL PERMANENT PLANTINGS, LANDSCAPING, AND STABILIZATION WITHIN BASIN FOOTPRINT IN ACCORDANCE WITH THE APPROVED PLANS AND DETAILS.
- 22. ONCE CONSTRUCTION IS COMPLETED, REMOVE ANY SEDIMENT THAT MAY HAVE ACCUMULATED IN THE PROPOSED STORM SEWER SYSTEM OR PERMANENT BASIN.
- 23. REMOVE EXISTING CONCRETE OUTLET STRUCTURE AND EXISTING RISER OUTLET STRUCTURE IN THE EXISTING REGIONAL DETENTION FACILITY.
- 24. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S
- 25. AFTER ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN FULLY STABILIZED, ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION ACTIVITIES ARE COMPLETE, AND HAVE ACHIEVED UNIFORM 70% VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF E&S BMP'S.
- 26. REMOVE THE ROCK CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY AND RE-ESTABLISH VEGETATIVE COVER IN THE DISTURBED AREAS.
- . ONCE APPROVAL IS RECEIVED FROM THE LOCAL CONSERVATION DISTRICT, REMOVE ALL COMPOST FILTER SOCK PERIMETER CONTROLS, TEMPORARY DIVERSION BERMS, AND INLET FILTER BAGS. DISPOSE OF ANY REMAINING SILT, COMPOST FILTER SOCKS, AND SILT SACKS AT A STATE-APPROVED WASTE SITE. SEED ALL REMAINING DISTURBED AREAS WITHIN FOUR (4) DAYS.

PERMANENT CONTROL MEASURES

PERMANENT VEGETATIVE STABILIZATION

INSTALLATION: FERTILIZING, SEEDING, AND MULCHING WILL BE USED AS A PERMANENT E&S CONTROL MEASURE ON ALL NON-PAVED DISTURBED AREAS. WITH REGARD TO THE PERMANENT SEED MIX, REFER TO THE SEEDING MIXTURE TABLE PROVIDED IN THE E&S CONTROL PLAN NOTES SHEET. UNLESS THE OWNER'S REPRESENTATIVE DIRECTS OTHERWISE, VEGETATION SHALL BE ESTABLISHED AS FOLLOWS:

- SOIL PLACEMENT: SOIL SHALL BE PLACED TO THE DESIGN THICKNESS AND GRADE AND TRACKED AND ROLLED INTO PLACE IN A MANNER THAT WILL NOT CAUSE EXCESSIVE COMPACTION. IF SOIL DENSITY IS VERIFIED IN THE FIELD, SOIL SHALL BE COMPACTED TO A DRY DENSITY BETWEEN 75 AND 100 POUNDS PER CUBIC FOOT AFTER CORRECTION TO ZERO PERCENT COARSE FRAGMENT (PARTICLES LARGER THAN 2 MILLIMETERS) CONTENT.
- SOIL TESTING AND SOIL AMENDMENT (LIME AND FERTILIZER) RATES: UNLESS SOIL TEST RESULTS AND RECOMMENDATIONS FROM THE STATE AGRICULTURAL EXTENSION SERVICE LABORATORY OR EQUIVALENT SOIL TESTING LABORATORY) INDICATE OTHERWISE, EVENLY APPLY: 1) AGRICULTURAL GRADE GROUND LIMESTONE AT A RATE OF 6 TONS PER ACRE (CALCIUM CARBONATE EQUIVALENT BASIS); 2) FERTILIZERS TO SUPPLY 100-200-200 POUNDS PER ACRE N-P₂O₅-K₂O (EXAMPLE: 10-20-20 FERTILIZER AT A RATE OF 1000 POUNDS PER ACRE); AND 3) "BIOPAK" MICROBIAL SOIL INOCULANT (DISTRIBUTED BY PLANT HEALTH CARE, INC. [WWW.PLANTHEALTHCARE.COM OR 800-421-9051]). IF APPROVED PASTEURIZED PELLETIZED POULTRY MANURE (PASTEURIZED PPM) WITH AN ANALYSIS OF AT LEAST 4-2-3 (PERCENT $N-P_2O_5-K_2O$) IS USED, IT WILL BE ASSÚMED THAT ONE TON MANURE WILL SUBSTITUTE FOR 60-40-60 POUNDS N-P205-K20 AVAILABLE IN THE FIRST YEAR. A PRE-APPROVED SOURCE OF PASTEURIZED PM IS "MICRO-START 60" AS MANUFACTURED BY PERDUE AGRIRECYCLE, LLC (WWW.MICROSTART60.COM <HTTP://WWW.MICROSTART60.COM> OR 302-628-2360).
- SOIL AMENDMENT INCORPORATION: PROMPTLY TILL UNDER THE LIME AND FERTILIZER TO A DEPTH OF 2 TO 4 INCHES USING A DISK. HARROW, PLOW, ROTOTILLER OR OTHER SUITABLE EQUIPMENT. IF LIME REQUIREMENTS ARE LESS THAN 4 TONS PER ACRE OR SLOPES ARE TOO STEEP TO PERMIT SAFE TILLAGE. THE SOIL AMENDMENTS CAN BE MIXED INTO A HYDROMULCH SLURRY OR CAN BE TRACKED IN WITH A DOZER IN LIEU OF INCORPORATION. IF TRACKING THE SITE WITH A DOZER, TRACK IN A MANNER THAT LEAVES CLEAT MARKS PARALLEL TO SITE
- SEEDBED PREPARATION: JUST BEFORE SEEDING, PREPARE SEEDBED BY TRACKING, RAKING, OR OTHER APPROPRIATE METHOD AS NECESSARY TO BREAK UP SOIL CRUSTS. IF TRACKING THE SITE WITH A DOZER, TRACK IN A MANNER THAT LEAVES CLEAT MARKS PARALLEL TO SITE CONTOURS.
- SEEDING: EVENLY APPLY THE PERMANENT SEED MIXTURES USING HYDROSEEDING, BROADCAST, OR DRILL SEEDING METHODS THAT PLANT SEED LESS THAN ONE-QUARTER INCH BELOW THE GROUND SURFACE: APPLY LEGUME SEED INOCULANTS SPECIFICALLY MADE FOR THE LEGUME SEED TYPE BEING APPLIED AT FIVE TIMES THE MANUFACTURER'S RECOMMENDED RATE. USE NO SEED OR INOCULANT THAT HAS BEEN IMPROPERLY STORED. EXPIRED, OR SEED OLDER THAN 9 MONTHS FROM THE SEED TEST DATE. IF HYDROSEEDING METHODS ARE USED SEED, INOCULANTS, FERTILIZERS, AND POLYMER TACKIFIER/SOIL STABILIZER (BELOW) MAY BE APPLIED IN ONE APPLICATION, PROVIDED THAT SEED AND INOCULANTS ARE NOT HELD IN A SLURRY WITH FERTILIZERS FOR MORE THAN ONE HOUR.
- 6. MULCHING AND TACKING: PROMPTLY AFTER SEEDING, MULCH USING EITHER: 1) "CURLEX" OR EQUIVALENT BRAND OF WOOD EXCELSIOR EROSION CONTROL BLANKET OR NORTH AMERICAN GREEN S150BN EROSION CONTROL BLANKET; 2) SYNTHETIC INDUSTRIES "TRM 450" OR NORTH AMERICAN GREEN "P-300" TURF REINFORCEMENT MAT; 3) STRAW APPLIED AT A RATE OF 6,000 POUNDS PER ACRE; OR 4) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED WITH A HYDROSEEDER AT A RATE OF 3,000 POUNDS PER ACRE.

WOOD/CELLULOSE FIBER HYDROMULCH MUST CONTAIN AT LEAST 50% VIRGIN WOOD FIBER. IF AT LEAST 1.000 POUNDS PER ACRE APPROVED PASTEURIZED PPM IS BEING APPLIED WITH A HYDROSEEDER, WOOD/CELLULOSE FIBER HYDROMULCH RATES MAY BE REDUCED TO 2,500 POUNDS PER ACRE.

7. IN SOME LOCATIONS SHOWN ON THE DRAWINGS, SUCH AS SLOPES STEEPER THAN 3:1 (H:V), EROSION CONTROL BLANKET OR TURF REINFORCEMENT MAT (TRM) MAY BE THE ONLY PERMISSIBLE MULCHING OPTION. INSTALL EROSION CONTROL BLANKETS/TRM PER MANUFACTURER'S INSTRUCTIONS. STAPLE BLANKET/TRM IN PLACE USING 6-INCH (MINIMUM) SOD STAPLES IN ROWS AT THE EDGES AND CENTERLINE OF THE BLANKET AND ON 24-INCH OR

TACK STRAW IN PLACE USING EITHER: 1) A CRIMPER DISK; 2) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED OVER THE STRAW AT A RATE OF 800-1,000 POUNDS PER ACRE; OR 3) WATER SOLUBLE LINEAR POLYACRYLATE (SODIUM ACRYLATE/ACRYLAMIDE) COPOLYMER "POLYMER" AT A RATE OF AT LEAST 8 POUNDS PER ACRE APPLIED IN MIXTURE WITH WATER OVER THE STRAW. APPROVED POLYMER BRANDS INCLUDE "WATERSORB PAM" OR "HYDROPAM" DISTRIBUTED BY POLYMERS, INC. (WWW.WATERSORB.COM OR 501-623-9995), "TERRAPAM" DISTRIBUTED BY PLANT HEALTH CARE, INC. (WWW.PLANTHEALTHCARE.COM OR 800-421-9051), AND "HYDROGEL B" DISTRIBUTED BY FINN CORPORATION (WWW.FINNCORP.COM OR 800-543-7166).

TACK WOOD/CELLULOSE FIBER HYDROMULCH IN PLACE USING "POLYMER" SPECIFIED ABOVE AT A RATE OF AT LEAST 4 POUNDS PER ACRE APPLIED IN A SLURRY WITH THE

8. OVERSEEDING AND RESEEDING: WHEN THE SITE DEVELOPMENT STAGING OR SEASON WILL NOT PERMIT TIMELY SOWING OF THE PERMANENT SEED MIXTURE(S). PREPARE SOILS (FERTILIZERS AND LIME) AS FOR PERMANENT SEEDING, THEN SEED WITH TEMPORARY SEED MIXTURE AND MULCH, THEN OVERSOW THE PERENNIAL SEED MIXTURE INTO THE STUBBLE OF TEMPORARY VEGETATION AT THE NEXT APPROPRIATE SEEDING SEASON.

IF PERENNIAL SEED IS BEING SOWN INTO THE STUBBLE OF ACTIVELY GROWING TEMPORARY VEGETATION, MOW THE TEMPORARY VEGETATION TO REDUCE COMPETITION EITHER BEFORE OR IMMEDIATELY AFTER SOWING THE PERMANENT SEED.

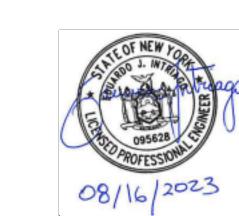
MAINTENANCE: WATER AS NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION. IN MOWED AREAS, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 4 AND 6 INCHES TALL FOR FIRST TWO MONTHS OF GROWTH DURING THE ESTABLISHMENT YEAR, AND TO THE DESIRED HEIGHT THEREAFTER. IF STRING TRIMMERS ARE USED, TAKE MEASURES TO AVOID DAMAGE TO BARK OF TREES AND SHRUBS.

GEOLOGIC FORMATIONS/SOIL CONDITIONS

- . IF DURING CONSTRUCTION GEOLOGIC FORMATIONS ARE ENCOUNTERED, THE CONTRACTOR IS TO CONTACT THE OWNER. THE DESIGN PROFESSIONAL, THE LOCAL CONSERVATION DISTRICT, AND THE PADEP FOR PROPER HANDLING OF THESE MATERIALS.
- 2. IF HIGH WATER TABLE IS ENCOUNTERED:
- KEEP EXCAVATIONS AS SHALLOW AS PRACTICAL CONSTRUCT DURING DRY WEATHER
- PUMPS AND WATER FILTER BAGS SHALL BE UTILIZED IF GROUNDWATER IS ENCOUNTERED.

AND DETENTION STORMWATER MANAGEMENT BMP AREAS

- CONSTRUCT INTERMEDIATE DRAINS, IF NECESSARY TO CONTROL AND DISCHARGE WATER FROM FILLS
- 3. IF ERODIBLE SOILS ARE ENCOUNTERED: • UTILIZE EROSION CONTROL BLANKETS, SILT SOCKS, TEMPORARY AND PERMANENT SEEDING. AND DIVERSION CHANNELS TO MINIMIZE EROSION
- 4. SOIL COMPACTION: MINIMIZE SOIL COMPACTION TO THE FULLEST EXTENT POSSIBLE IN ALL UNIMPROVED AREAS



Ошш NON CO B Z E ≥ R Ö B O Ö Ž

 \Box \square

25 OF **31**

STANDARD E&S PLAN NOTES

- . ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- THE CONTRACTOR MUST NOTIFY THE NEW YORK ONE CALL SYSTEM INC. AT 1-800-962-7962 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED.
- I. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE
- . AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.

DEPARTMENT PRIOR TO IMPLEMENTATION

- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED BY THE CONTRACTOR IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER. CONTRACTOR SHALL COORDINATE CONSTRUCTION TOPSOIL STOCKPILE AND CONSTRUCTION STAGING LOCATIONS WITH ENGINEER AND OWNER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 11. ALL OFF—SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN. OVER UNDISTURBED VEGETATED AREAS.
- 14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED,
- 15. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF

REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

INSPECTION

- 17. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF BY PLACING IT WITHIN FILL MATERIAL UPSLOPE OF AN ESTABLISHED E&S CONTROL.
- 18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES —— 6 TO 12 INCHES ON COMPACTED SOILS —— PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- 19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE
- 20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. CONTACT PROJECT ENGINEER IF THIS SITUATION ARISES.
- 25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS
- 26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- 28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT

- STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
- 30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- 31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT—LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE, OR INEFFECTIVENESS, OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES.
- 32. IF A SPILL OR RELEASE OF A REGULATED SUBSTANCE OCCURS ON—SITE AND CONTAMINATES THE SOIL, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO TEST THE SOIL TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH NYSDEC'S POLICY ON "MANAGEMENT OF FILL". SEE BELOW DEFINITIONS FOR CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE.
- 33. <u>CLEAN FILL:</u> UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
- 34. <u>ENVIRONMENTAL DUE DILIGENCE:</u> INVESTIGATIVE TECHNIQUES INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL.
- 35. MINIMIZE SOIL COMPACTION TO THE FULLEST EXTENT POSSIBLE IN ALL PROPOSED UNIMPROVED AREAS OTHER THAN THE SOIL STOCKPILE AREAS WHERE COMPACTION IS NEEDED FOR SOIL AND SLOPE STABILIZATION.

37. THE EROSION AND SEDIMENTATION CONTROL BMPS SHOWN HEREON HAVE BEEN

- 36. THE STAMPED E&S PLANS FROM THE CONSERVATION DISTRICT MUST BE HOUSED ON SITE AT ALL TIMES.
- DESIGNED USING TOPOGRAPHY MAPPED AT TWO FOOT CONTOUR INTERVALS. SOME LIMITATIONS ARE INHERENT IN TOPOGRAPHIC MAPPING AT THIS INTERVAL, INCLUDING THE INABILITY TO DEPICT LOCALIZED DEVIATIONS WITH LESS THAN TWO FEET OF ELEVATION CHANGE. IN ADDITION, SITE SPECIFIC CONDITIONS SUCH AS ROCK OUTCROPPINGS, TREES, STUMPS, UTILITIES, FENCES, OR FEATURES INSTALLED SUBSEQUENT TO PROCUREMENT OF THE TOPOGRAPHIC MAPPING MAY NOT BE REFLECTED ON THE PLAN. THE INTENT OF THIS PLAN IS TO MINIMIZE EROSION AND PREVENT SEDIMENT—LADEN RUNOFF FROM DISCHARGING BEYOND THE LIMITS OF CONSTRUCTION OR TO SENSITIVE NATURAL RESOURCES. BMPS SHALL BE INSTALLED AS CLOSELY AS POSSIBLE TO THE LOCATIONS INDICATED ON THE PLANS; HOWEVER, DEVIATIONS MAY BE REQUIRED TO ADDRESS THE AFOREMENTIONED LIMITATIONS AND SITE—SPECIFIC CONDITIONS AND PROTECT THE ENVIRONMENT.

SEED MIXTURE

	TABLE 1: MOWED PERMANENT SEED MIXTURE										
SCIENTIFIC NAME	COMMON NAME	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	SEEDING RATE (lbs/1,000 SF)	SEEDING RATE (lbs/ACRE)						
Lolium perenne	Perennial Ryegrass (A mixture of at least 2 fine-leaf, turf-type varieties)	98	80	1.2	52						
Festuca rubra	Red Fescue (Pennlawn)	98	85	2.4	105						
Poa pratensis	Kentucky Bluegrass (Mix at least 4 named varieties)	98	80	2.4	105						

NOTE:

APPLY ALL OF THE MIXTURE COMPONENTS AS LISTED IN THE ABOVE TABLES.
 APPLY SEED MIXTURE BETWEEN APRIL 1 AND MAY 30, OR BETWEEN SEPTEMBER 1 AND OCTOBER 1.
IF THESE DATES CANNOT BE OBSERVED, APPLY APPROPRIATE TEMPORARY SEEDING MIXTURE.

TABLE 2: NON-MOWED SLOPE SEED MIXTURE										
SCIENTIFIC NAME	COMMON NAME	MINIMUM HARDSEED (%)	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	SEEDING RATE (lbs/1,000 SF)	SEEDING RATE (Ibs/ACRE)				
Lolium perenne	Perennial Ryegrass (A mixture of at least 2 fine—leaf, turf—type varieties)	N/A	98	80	0.8	35				
Festuca rubra	Red Fescue (Pennlawn)	N/A	98	85	0.8	35				
Lotus corniculatus	Birdsfoot Trifoil ('Viking')	20	98	80	0.7	30				

IN ADDITION	AND	DEPENDING	ON THE	SEASON	AND	SEED	AVAILABILITY.	ADD	ONE	OF	THE	FOLLOWI	NG I	NURSE

Avena sativa	Oats: April 1 to Sept 1	N/A	98	85	1.5	64
Secale cereale	Winter Rye: April 1 to Oct 1	N/A	98	85	1.3	56
Secale cereale	Winter Rye: Oct 1 to April 1	N/A	98	85	2.6	112

NOTE

APPLY ALL OF THE MIXTURE COMPONENTS AS LISTED IN THE ABOVE TABLES.
 APPLY SEED MIXTURE BETWEEN APRIL 1 AND MAY 30, OR BETWEEN SEPTEMBER 1 AND OCTOBER 1.
 IF THESE DATES CANNOT BE OBSERVED, APPLY APPROPRIATE TEMPORARY SEEDING MIXTURE.

TABLE 3: TEMPORARY SEED MIXTURE							
SCIENTIFIC NAME	COMMON NAME	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	SEEDING RATE (lbs/1,000 SF)	SEEDING RATE (Ibs/ACRE)		
Avena sativa	Oats: April 1 to Sept 1	98	85	2.2	96		
OR Secale cereale	Winter Rye: April 1 to Oct 1	98	85	2.6	112		

NOIE:

APPLY <u>ONE</u> OF THE ABOVE SPECIES WITHIN THE TIME FRAME PRESCRIBED.
 IF SEEDING AFTER OCTOBER 30, INCREASE STRAW MULCH RATE TO FOUR (4) TONS PER ACRE.

MEASURES PROVIDED TO MITIGATE THERMAL IMPACTS

BECAUSE THE DEVELOPMENT WILL BE INCREASING THE AMOUNT OF IMPERVIOUS SURFACES FROM PRE-DEVELOPMENT CONDITIONS, RUNOFF WILL HAVE A DECREASED OPPORTUNITY TO FLOW THROUGH VEGETATED AREAS. TO COUNTER THIS, RUNOFF FROM PROPOSED IMPERVIOUS SURFACES INCLUDING THE ROOF, WALKWAYS, AND DRIVEWAY AREAS WILL BE COLLECTED IN THE R-TANK SYSTEMS. THE COLLECTED RUNOFF WILL BE DISCHARGED AT A CONTROLLED RATE WHERE RUNOFF WILL BE COOLED BEFORE BEING DISCHARGED INTO THE WATERS OF THE COMMONWEALTH. THESE CONDITIONS FURTHER OFFSET ANY POTENTIAL THERMAL IMPACTS.

BMP MAINTENANCE EROSION NOTES

ALL E&S CONTROLS SHALL BE MAINTAINED IN GOOD WORKING ORDER (CLEANED, REPAIRED, ETC.) UNTIL ALL DISTURBED TRIBUTARY AREAS ARE STABILIZED. ALL TEMPORARY E&S CONTROLS WILL REMAIN IN PLACE UNTIL A UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE,

- THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT FACILITIES.

 1. IN ORDER TO ENSURE EFFECTIVE AND EFFICIENT OPERATION OF BMPS, ALL TEMPORARY RUNOFF E&S CONTROLS SHALL BE INSPECTED AT LEAST AT THE BEGINNING AND END OF EACH DAY AND AFTER EACH STORMWATER EVENT. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF IDENTIFICATION OF THE DEFICIENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE AND INSPECTIONS, AND SHALL MAINTAIN RECORDS OF ALL SUCH ACTIVITIES. A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR OR REPLACEMENT AND MAINTENANCE ACTIVITIES SHALL BE LOGGED PER THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION. ROCK CONSTRUCTION ENTRANCE/EXIT: ADDITIONAL STONE SHALL BE ADDED TO THE ROCK CONSTRUCTION ENTRANCE AND/OR ACCESS ROADS AS NEEDED TO MAINTAIN THEIR THICKNESS.

 2. COMPOST FILTER SOCK: INSPECT BEFORE AND AFTER EVERY RAIN EVENT. ACCUMULATED SEDIMENTS SHALL BE REMOVED, AS REQUIRED, IN ALL CASES
- WHERE ACCUMULATIONS HAVE REACHED HALF THE ABOVE—GROUND HEIGHT OF THE COMPOST FILTER SOCK. ACCUMULATED SEDIMENTS SHALL BE DISPOSED OF IT IN ACCORDANCE WITH THE PADEP. COMPOST FILTER SOCK MATERIALS SHALL BE REPLACED PROMPTLY, IF TORN, SPLIT, SLUMPED OR IS SHOWING SIGNS OF EXCESSIVE WEATHERING. ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR THE REPAIR OR REPLACEMENT OF COMPOST FILTER SOCK.

 3. PUMPED WATER FILTER BAG: FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE UNTIL THE PROBLEM IS
- CORRECTED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF-FULL. SPARE BAGS SHALL BE KEPT AVAILABLE ONSITE.

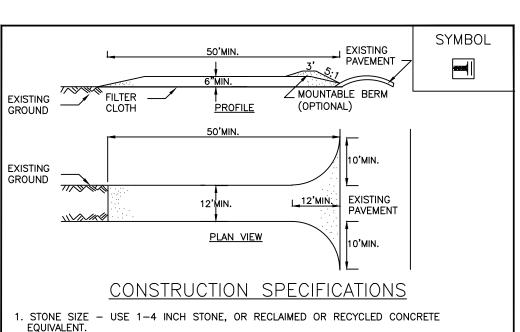
 4. INLET PROTECTION: ALL INLET PROTECTION FILTER BAGS SHALL BE CLEANED AND/OR REPLACED WHEN THE BAG IS HALF-FULL, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL DAMAGED BAGS SHALL BE REPLACED. THE ACCUMULATED SEDIMENT SHALL BE DISTRIBUTED EVENLY ON—SITE AND
- STABILIZED.

 5. TOPSOIL STOCKPILE AREA: TEMPORARY STOCKPILES SHALL BE INSPECTED WEEKLY. REPAIR THE COMPOST FILTER SOCK AS NECESSARY TO ENSURE THE INTEGRITY OF THE SOCK CAN WITHSTAND AND HOLD THE SOIL IN ITS STOCKPILE LOCATION.
- 6. EROSION CONTROL BLANKETS: THE BLANKETS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT TO LOOK FOR SCOUR/WASHOUT AREAS. ANY SCOURED AREAS SHALL BE FIXED IMMEDIATELY BY COMPACTING SOIL IN THE WASHOUT AREA AND PLACING SEED. ANY DAMAGED EROSION CONTROL BLANKETS SHALL BE REPLACED IMMEDIATELY. BLANKETS SHALL BE MAINTAINED UNTIL A UNIFORM 70% PERENNIAL VEGETATION HAS BEEN ESTABLISHED.
 7. ALL SLOPES SHALL BE CHECKED WEEKLY FOR SIGNS OF EROSION AND/OR SEDIMENTATION. IF EROSION AND/OR SEDIMENTATION EXISTS, IT SHALL BE
- SEEDED AND MULCHED BY THE END OF THE WORKING DAY.

 ALL STORM SEWER DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN THE EFFECTIVENESS OF THE CONTROLS. ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED AS NEEDED.
- 9. DURING CONSTRUCTION, SEDIMENT REMOVED FROM THE EROSION CONTROL DEVICES SHALL BE DISPOSED OF BY SPREADING IT ONSITE. ONCE A UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ESTABLISHED AND THE TEMPORARY E&S CONTROLS ARE REMOVED, ALL ACCUMULATED SEDIMENT WILL BE DISPOSED OF AT A PADEP APPROVED FACILITY.
- 10. ALL SITE ENTRANCE AND EXIT POINTS SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE TRACKING OF MUD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN STREETS OF MUD AND KEEP THE STREETS IN A CLEAN AND DUST-FREE CONDITION.
 11. AREAS WHICH WILL BE EXPOSED FOR LONGER THAN 4 DAYS WITHOUT SIGNIFICANT ACTIVITY OR DISTURBANCE WILL BE SEEDED WITH A TEMPORARY COVER. IF, AT THE END OF A 12-WEEK MONITORING AND MAINTENANCE PERIOD, A SATISFACTORY STAND OF VEGETATION HAS NOT BEEN PRODUCED, THE CONTRACTOR SHALL PROMPTLY RENOVATE AND RESEED THE UNSATISFACTORY AREAS. RENOVATION AND RESEEDING SHALL CONTINUE UNTIL A SATISFACTORY STAND OF
- VEGETATION HAS BEEN PRODUCED. A SATISFACTORY STAND IS DEFINED AS:

 90 PERCENT GROUND COVER WITH PERENNIAL VEGETATION OR NATURALLY PRODUCED LITTER.
- NOT MORE THAN 1 PERCENT OF TOTAL AREA WITH LESS THAN 50 PERCENT GROUND COVER WITH PERENNIAL VEGETATION OR NATURALLY PRODUCED LITTER (LITTER PRODUCED IN PLACE BY THE SPECIES SHOWN).
- NO SINGLE OR CONTIGUOUS AREAS EXCEEDING 100 SQUARE FEET MAY HAVE LESS THAN 50 PERCENT GROUND COVER.

 13. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL REMAIN IN PLACE UNTIL A UNIFORM 70% PERENNIAL UPLAND VEGETATIVE COVER IS ESTABLISHED. SEEDED AND VEGETATED AREAS SHALL BE CHECKED REGULARLY TO INSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEEDED AS NECESSARY.



- 2. LENGTH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A
- 2. LENGIH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHER 30 FOOT MINIMUM LENGTH WOULD APPLY). 3. THICKNESS — NOT LESS THAN SIX (6) INCHES.
- . WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCRESS OR FORESS OCCURS TWENTY—FOUR (24) FOOT IF SINGLE
- POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. GEOTEXTILE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CON-
- STRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL
- 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS—OF—WAY MUST BE REMOVED IMMEDIATELY
- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH

ADAPTED FROM DETAILS PROVIDED BY: USDA — NRCS,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

DETAIL 901

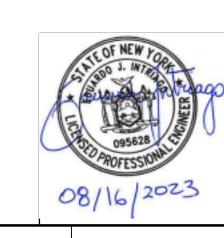
STABILIZED

CONSTRUCTION

STABILIZED CONSTRUCTION ACCESS
N.T.S.

	LIMITING SOIL CHARACTERISTICS								
MAP SYMBOL	SOIL NAME	ERODIBLE	CUT BANKS CAVE	CORROSIVE TO CONCRETE OR STEEL	HIGH WATER TABLE	LOW STRENGTH	PIPING	POOR TOPSOIL	POTENTIALLY HYDRIC
нв	HILTON LOAM, 3 TO 8 PERCENT SLOPES								
OnB	ONTARIO LOAM, 3 TO 8 PERCENT SLOPES								
OnC	ONTARIO LOAM, 8 TO 15 PERCENT SLOPES								

SOIL LIMITATIONS RESOLUTIONS					
ERODIBLE	ALL DISTURBED AREAS SHALL BE SEEDED IN ACCORDANCE WITH THE STANDARD DETAIL SHOWN ON THE PLAN. EROSION CONTROL BLANKETS/HYDRAULICALLY APPLIED BLANKETS AND COMPOST FILTER SOCK WILL BE USED TO MINIMIZE EROSION.				
CUT BANKS CAVE	CUT SLOPES SHALL BE EXCAVATED WITH APPROPRIATE LAYBACK BANKS TO PREVENT CAVE—INS. STOCKPILES SHALL BE LOCATED AT A SUFFICIENT DISTANCE AWAY FROM CUT SLOPES. STOCKPILES SHALL HAVE A MAXIMUM SIDE SLOPE NO STEEPER THAN 3H:1V.				
CORROSIVE TO CONCRETE OR STEEL	CONCRETE AND STEEL WILL NOT BE UTILIZED AS E&S BMP MATERIALS TO THE EXTENT PRACTICABLE.				
HIGH WATER TABLE	PUMPS AND FILTER BAGS SHALL BE UTILIZED FOR DEWATERING IF GROUNDWATER IS ENCOUNTERED.				
LOW STRENGTH	CUT SLOPES SHALL BE EXCAVATED WITH APPROPRIATE LAYBACK BANKS TO PREVENT CAVE—INS. STOCKPILES SHALL BE LOCATED AT A SUFFICIENT DISTANCE AWAY FROM CUT SLOPES. STOCKPILES SHALL HAVE A MAXIMUM SIDE SLOPE NO STEEPER THAT 3H:1V.				
PIPING	ANTI-SEEP COLLARS ARE PROPOSED IN AREAS MOST SUSCEPTIBLE TO PIPING.				
POOR TOPSOIL	THE SOIL AMENDMENTS REQUIRED WITH EACH VEGETATIVE STABILIZATION MIX SPECIFIED BY THE SITE STABILIZATION DETAIL ARE DESIGNED TO MITIGATE THIS LIMITATION.				
SOIL COMPACTION	MINIMIZE SOIL COMPACTION TO EXTENT POSSIBLE IN AREAS WHERE IMPROVEMENTS ARE NOT PROPOSED. COMPACTED SOILS IN TEMPORARY CONTRUCTION PAD AREAS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES ALONG CONTOURS WHEREVER POSSIBLE PRIOR TO THE PLACEMENT OF TOPSOIL AND SEEDING.				



EROSION AND SEDII
CONTROL NOTES AI

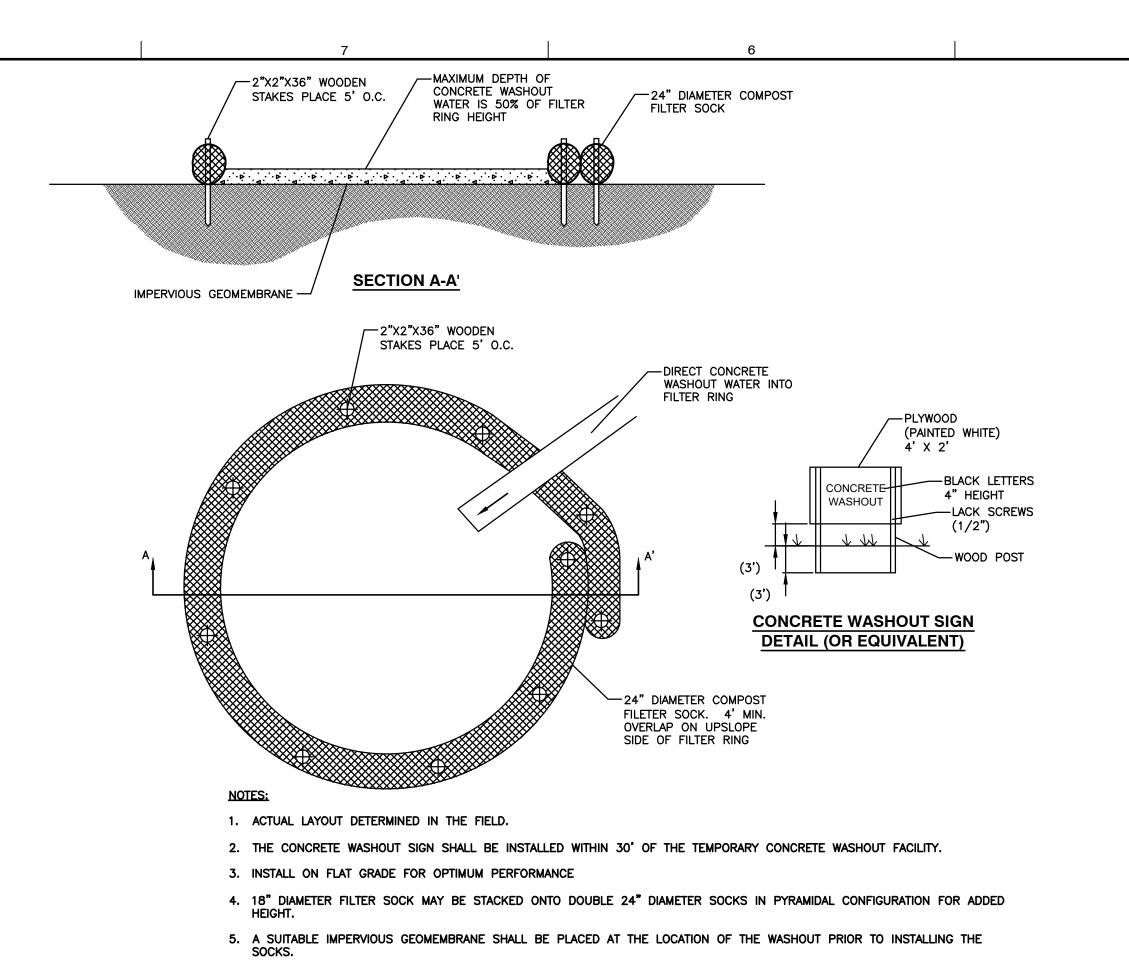
DATE: AUGUST 2023 DRAWN
DWG SCALE: AS SHOWN CHECK
PROJECT NO:

Ĭ Ĭ

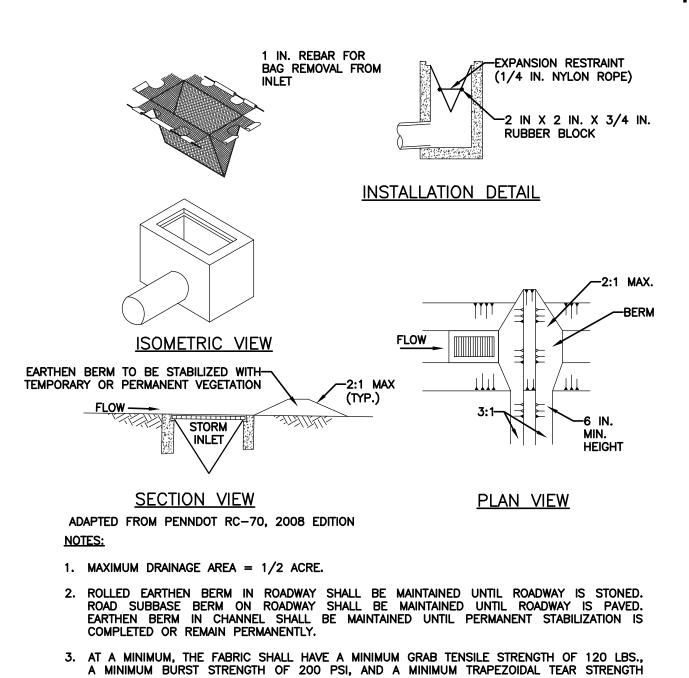
BUILDII POSED INTIAL WN OF

~ Ö B O O

C902HEET 26 OF 31



DETAIL 902 TEMPORARY FILTER SOCK CONCRETE WASHOUT N.T.S.



OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A

EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE

INLET, DAMAGED OR CLOGGED BAGS SHALL BE REPLACED, A SUPPLY SHALL BE MAINTAINED

ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DETAIL 904

STANDARD CONSTRUCTION DETAIL #4-16

FILTER BAG INLET PROTECTION - TYPE M INLET

N.T.S.

4. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF

5. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

NO. 40 SIEVE.

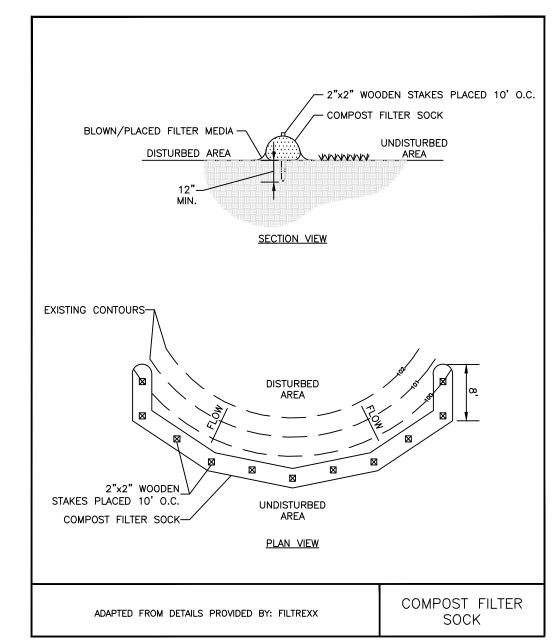


Table 5.1 - Compost Sock Fabric Minimum Specifications Table Multi-Filament Heavy Duty Multi-**Material Type** Polypropylene | Filament Polypropylene 3 mil HDPE 5 mil HDPE 5 mil HDPE (HDMFPP) (MFPP) Photodegrada- Photodegrada-Photodegrada-**Material Character-**Photodegradable 18" **Sock Diameters Mesh Opening** 3/8" 26 psi 26 psi 44 psi 202 psi **Tensile Strength** Ultraviolet Stability 100% at 1000 **% Original Strength** 23% at 1000 hr. 23% at 1000 hr. 100% at 1000 hr. (ASTM G-155) 1 year 2 years 6 months 9 months 6 months Longevity

Table 5.2 - Compost Standards Table

Organic matter content	25% - 100% (dry weight)		
Organic portion	Fibrous and elongated		
рН	6.0 - 8.0		
Moisture content	30% - 60%		
Particle size	100% passing a 1" screen and 10 - 50% passing a 3/8" screen		
Soluble salt concentration	5.0 dS/m (mmhos/cm) maximum		

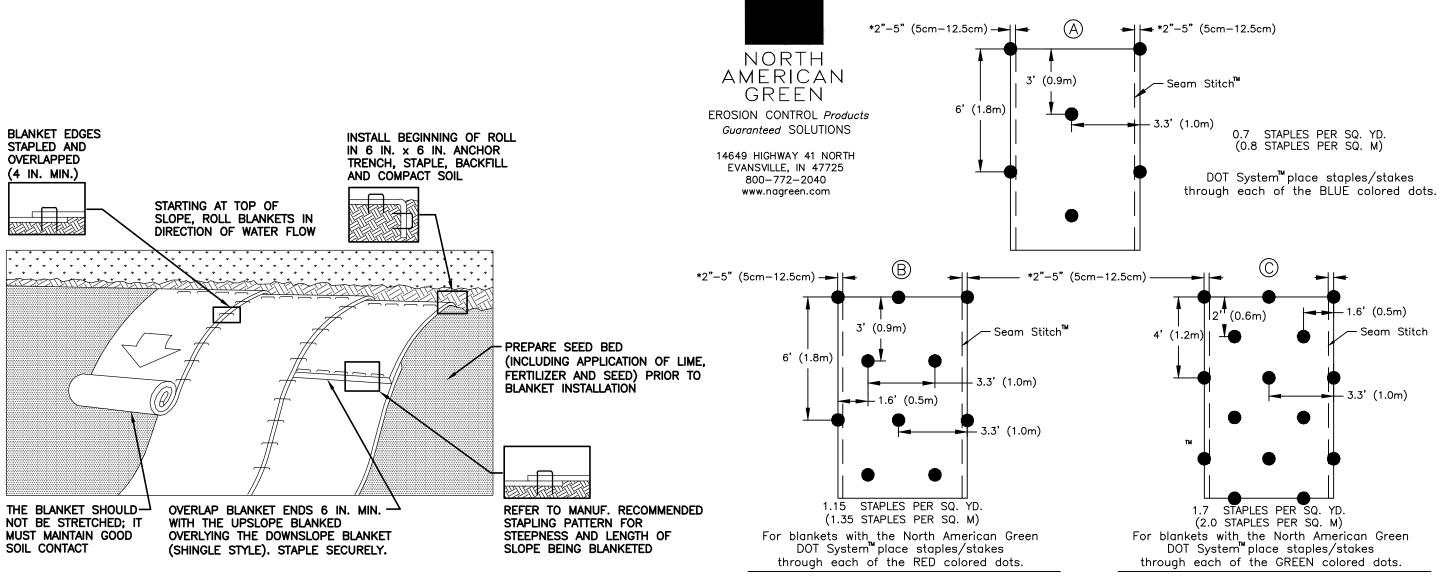
1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 5.1. COMPOST SHALL MEET THE STANDARDS LISTED ON OF TABLE 5.2. EAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 5.2). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE X.X. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO 3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. 5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. 6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS 7. UPON STABILIZATION OF THE AREA TRIBUTART TO THE SOCKS, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

DOT SYSTEM TM

STAPLE PATTERN GUIDE

DETAIL 903 COMPOST FILTER SOCK N.T.S.



- ANCHOR TOP EDGE

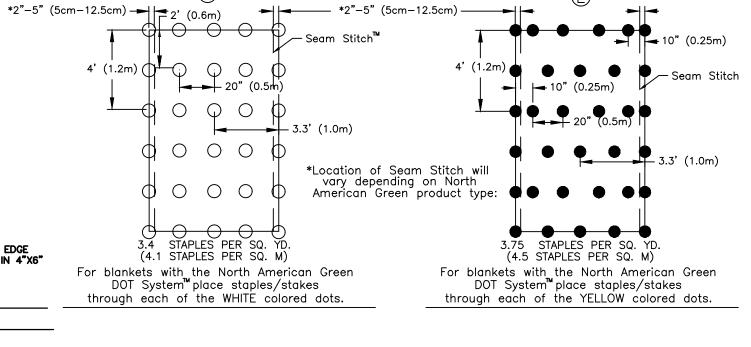
STAPLES (STAPLE | OF BLANKET IN 4"X6"

- 1. SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
- 2. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- 3. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

12" OVERLAP AT -

ENDS OF BLANKETS

- 4. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH
- 5. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 6. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



COMPACTED FILL EROSION CONTROL BLANKET -(NORTH AMERICAN GREEN SC150BN) **DETAIL 905** ANCHOR TOP EDGE OF BLANKET IN 4"x6" TRENCH STANDARD CONSTRUCTION DETAIL #11-1 **EROSION CONTROL BLANKET INSTALLATION** N.T.S.

PATTERN D)



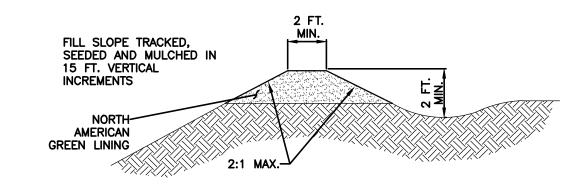
ROSION AND SEDIM CONTROL DETAILS

27 OF 31

NG COMP MULTI-FA DEVELOI HENRIET

BUILDING
POSED MU
SENTIAL DI
OWN OF HI
OE COUNT

A.R. E PROP(RESIDEI TOW MONROE

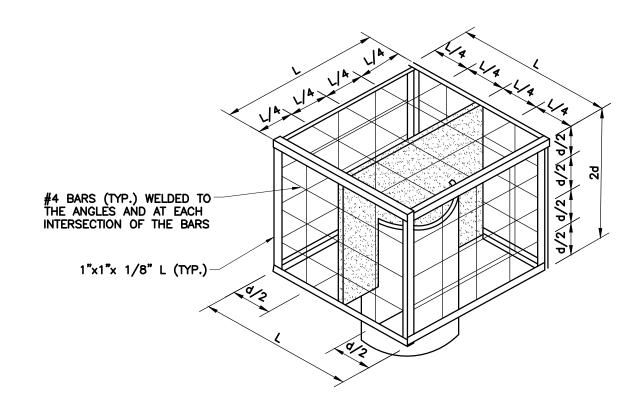


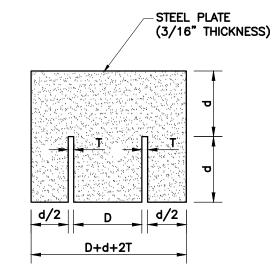
SECTION VIEW

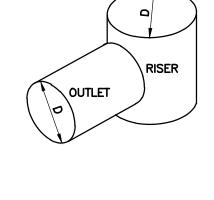
- 1. TEMPORARY BERMS SHALL BE PLACED, MAINTAINED, AND ADJUSTED CONTINUOUSLY UNTIL 90% VEGETATIVE GROWTH IS ESTABLISHED ON THE EXTERIOR SLOPES WITH PERMANENT STORM DRAINAGE FACILITIES
- 2. BERMS SHALL OUTLET TO SLOPE PIPES, CHANNELS, OR OTHER APPROVED MEANS OF CONVEYING RUNOFF TO A SEDIMENT TRAP, SEDIMENT BASIN, OR COLLECTOR CHANNEL.
- 3. CHANNEL BEHIND BERM SHALL HAVE POSITIVE GRADE TO OUTLET AND AN APPROPRIATE PROTECTIVE
- 4. BERM SHALL BE ADEQUATELY COMPACTED TO PREVENT FAILURE.
- 5. AN ACCEPTABLE ALTERNATIVE TO TOP-OF-SLOPE BERM IS TO CONTINUOUSLY GRADE THE TOP OF FILL TO DIRECT RUNOFF AWAY FROM THE FILLSLOPE TO A COLLECTOR CHANNEL, SEDIMENT TRAP, OR
- 6. REFER TO NORTH AMERICAN GREEN (NAG) CHANNEL INSTALLATION DETAIL ON THIS SHEET FOR ADDITIONAL GUIDANCE ON THE INSTALLATION OF LINERS.

BERM	TOP WIDTH (FT)	HEIGHT (FT)	LINING
EARTHEN DIVERSION BERM NO. 1			
EARTHEN DIVERSION BERM NO. 2			

DETAIL 906 DIVERSION BERM N.T.S.



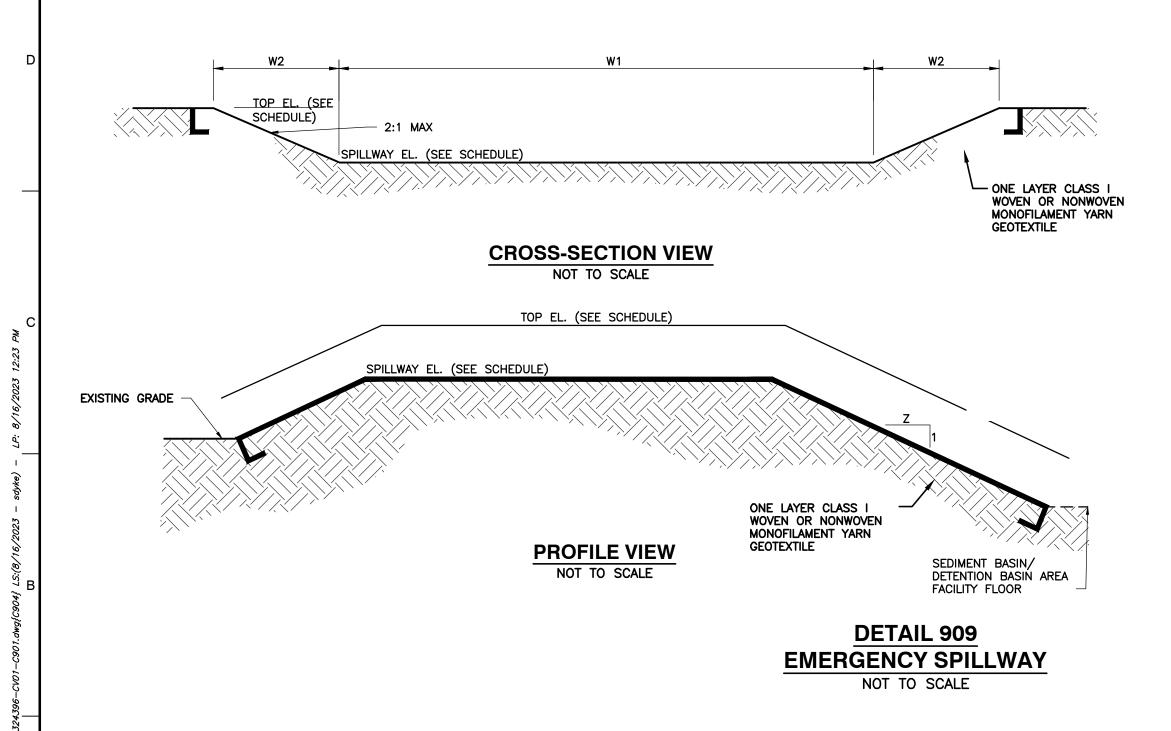


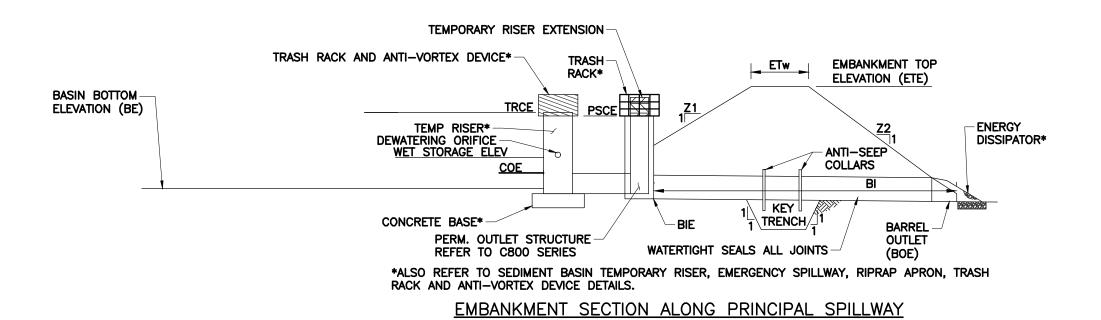


REFERENCE: PADOT BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION SERIES RC-0 TO 100, RC-70, SHEET 3 OF 4.

ANTI-VORTEX DEVICE T=THICKNESS OF RISER PIPE D=DIAMETER OF RISER PIPE d=DIAMETER OF OUTLET PIPE

DETAIL 907 TRASH RACK AND ANTI-VORTEX DEVICE NOT TO SCALE

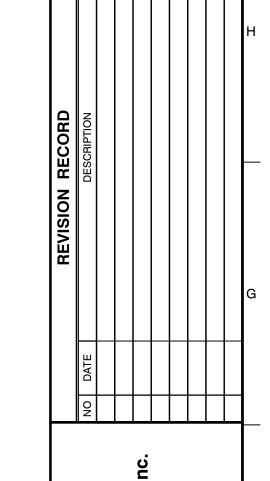




NOTES:

- 1. SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.
- 2. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION, THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER
- 3. UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.
- 4. INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT. PROVIDE ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.
- 5. BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE IMMEDIATELY. DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATER SHALL BE REPLACED IMMEDIATELY.
- 6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSIDE THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. ROCK FILTERS SHALL BE ADDED AS
- 7. ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED.
- 8. SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE STONE BERM.
- 9. IF STANDING WATER PERSISTS FOR MORE THAN SEVEN (7) DAYS AFTER A RAIN EVENT, CONTRACTOR SHALL DEWATER THE SEDIMENT BASIN.

DETAIL 908 SEDIMENT BASIN NOT TO SCALE



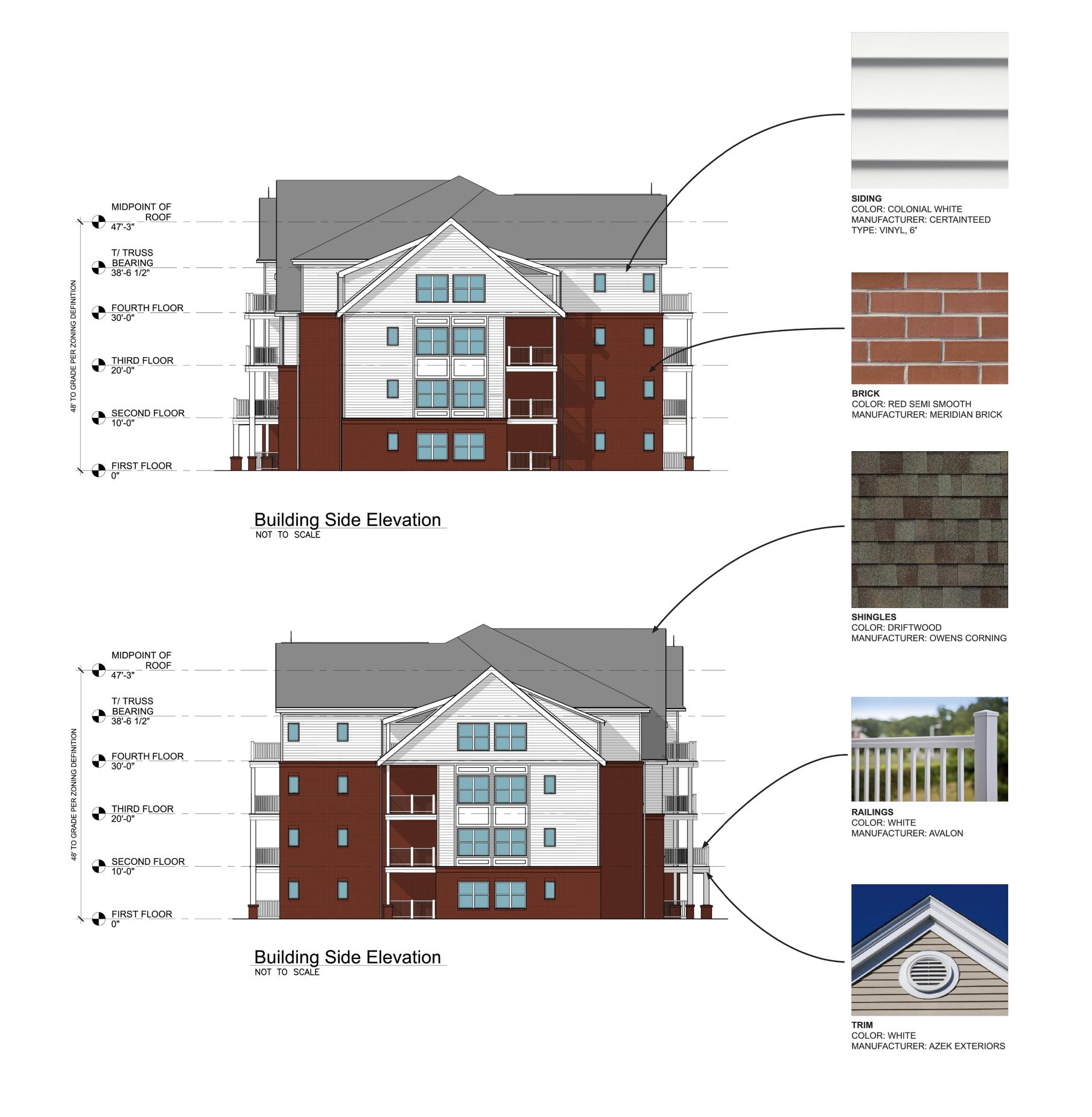
A.R. BUILDING PROPOSED MUI RESIDENTIAL DEV TOWN

EROSION AND SEDIMENT CONTROL DETAILS





:VO1\324396-CVO1-C1000.dwg{C1000} LS:(B/16



Environmental Consultants of New York, I lagara Falls Boulevard · North Tonawanda, NY 14120
Ph: 716.930.6080

A.R. BUILDING COMPANY PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT TOWN OF HENRIETTA MONROE COUNTY, NEW YORI

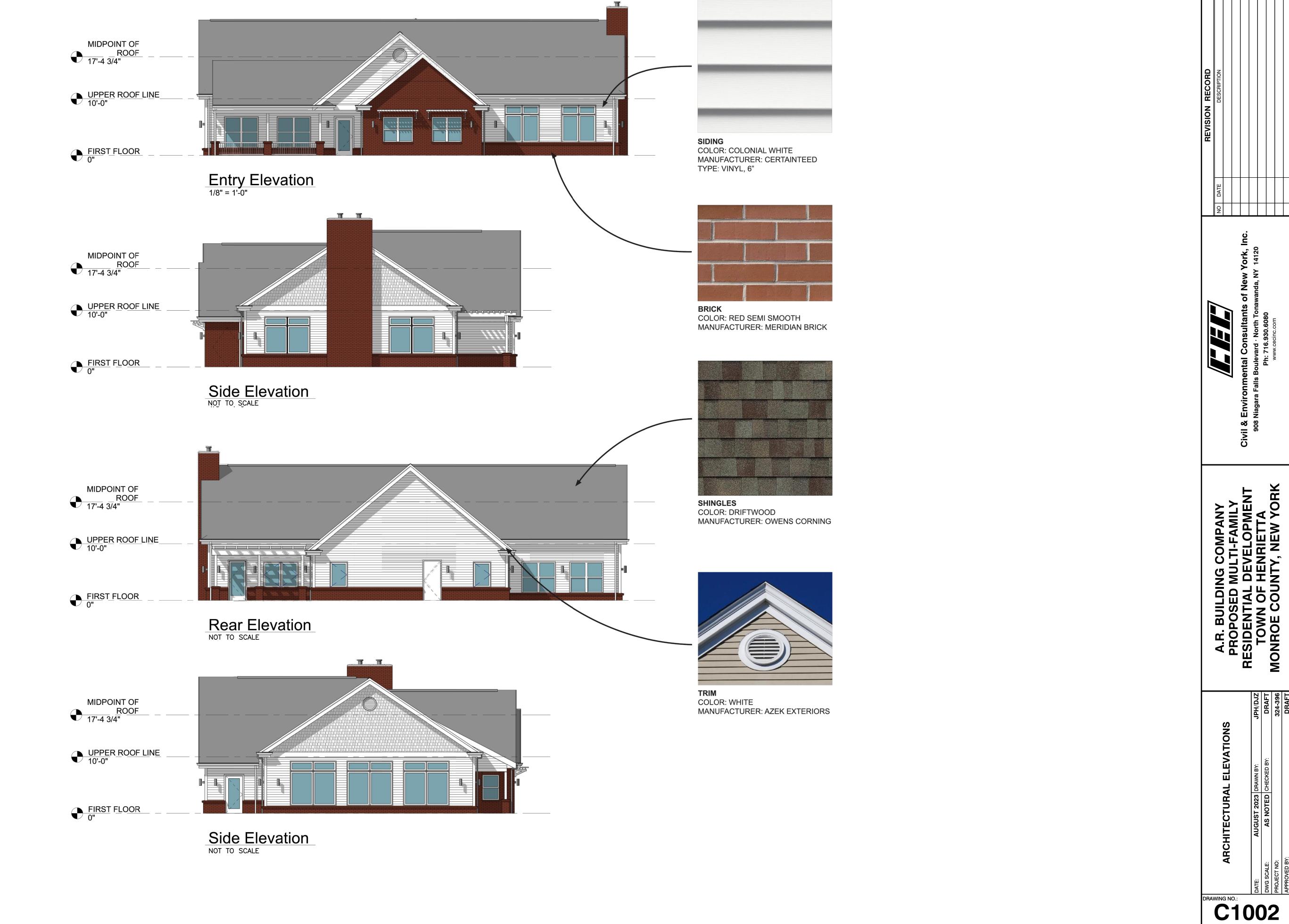
IITECTURAL ELEVATION
AUGUST 2023 DRAWN BY: JPH

DATE: AL
DWG SCALE:
PROJECT NO:
ADDROVED RY.

DRAWING NO.:

C1001

SHEET 30 OF 31



SHEET 31 OF 31