



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: _____

I (we) A.R. Building Company of 310 Seven Fields Blvd, Suite 350
Name of Applicant / Business Business Address (Number & Street)

Seven Fields, PA 16046 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: N/A

on property located at 2160 E Henrietta Rd / 2132 E Henrietta Rd Commercial B-2, 162.18-2-2 & 162.18-2-4.1
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: N/A Number: N/A

DESCRIPTION OF PROPOSAL: _____

Proposed construction of two (2) apartment buildings, containing a total of 101 apartment units, one clubhouse building, and other miscellaneous site improvements. The proposed apartment complex will be titled, "Henrietta Apartments".

Applicant: A.R. Building Company

Address: 310 Seven Fields Blvd, Suite 350
Seven Fields, PA 16046

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: A.R. Building Company

Address: 310 Seven Fields Blvd, Suite 350
Seven Fields, PA 16046

Phone #: [REDACTED]

Email: [REDACTED]

Engineer/Architect: Civil & Environmental Consultants of New York, Inc.

Address: 908 Niagara Falls Boulevard
North Tonawanda, NY 14120

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: _____

Address: _____

Phone #: _____

Email: _____

Applicant Signature: 

Print Name: Jeremy Starr

Project Narrative / Letter of Intent

A.R. Building company is proposing the land development of a vacant plot of land located at 2160 E. Henrietta Street and 2132 East Henrietta Road designated as 263200 162.18-2-4.1 and 263200 162.18-2-2 tax parcels respectively. The subject property is approximately 8.46 acres located in the Commercial B-2 zoning district within the Mixed Use Redevelopment Corridor Overlay District.

The applicant is proposing the development of two (2) multifamily apartment buildings along with associated site improvements including but not limited to private drive paths, resident parking, utilities and stormwater management facilities. The proposed multifamily buildings will be four (4) stories with a mean height of forty-five (45) to forty-seven (47) feet above grade. One building will include twenty-seven (27) one-bedroom apartments the other will include twenty-six (26) one-bedroom apartments and both buildings will include twenty-four (24) two-bedroom apartments totaling one hundred and one (101) units resulting in a density of 11.94 dwelling units per acre. Also included in the proposed development is the construction of a private clubhouse and pool facility for residents of the property. Under the Mixed Use Redevelopment Corridor Overlay District Multi-Family dwellings are permitted with a special use permit.

Grading efforts for site preparation will be minimal due to the lack of existing topography and is designed to balance on-site, therefore it is not anticipated a need to haul material on or off-site. Design efforts have been taken to minimize disturbance to existing vegetation and will maintain a large percentage of existing growth and supplementing vegetation is part of the proposed development. There is a non-jurisdictional delineated wetland measuring 0.02 acres located on site that has also been taken into consideration during the minimize disturbance design approach that will not be impacted.

Utilities to service the development will be coordinated with local service providers. It is anticipated that connection to Water and Electric will be with service laterals from existing lines located on the Eastern side of E. Henrietta St. Sanitary sewer will be conveyed through an existing easement located on the South Eastern corner of the property to an existing line along Rodlea Circle. Stormwater will be managed at a rate and volume not to exceed the ordinance requirement through an acceptable management facility and conveyed through an existing easement located on the North East of the property to an existing line along Lalanne Road.



SITE PLAN CHECKLIST

PROJECT NAME: HENRIETTA APARTMENTS

APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



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APPLICATION No. _____

- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that effect shall be placed on the plan by the surveyor.
- 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Architect, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

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APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
- 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- 30 Show wetland and buffer zone limits (when applicable).
- 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
- 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



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sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



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See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: Jeremy Starr
Name of Developer

08/16/2023
Date

A.R. Building Company
Company Name

310 Seven Fields Blvd, Suite 350
Street Address

Seven Fields, PA 16046
City, State, Zip

[REDACTED]



SITE PLAN CHECKLIST

PROJECT NAME: HENRIETTA APARTMENTS

APPLICATION No. _____

Telephone Number

Prepared by: Brad Simmons
Name of Consultant

08/16/2023
Date

Civil and Environmental Consultants Inc.
Company Name

700 Cherrington Parkway
Street Address

Moon Township, PA 15108
City, State, Zip

[REDACTED]
Telephone Number

SITE PLAN CHECKLIST APPENDIX

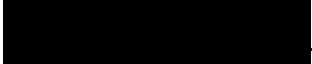
- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

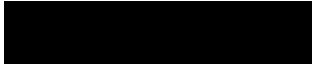
Site Plan and Subdivision Application Engineering Review Charges

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:


Responsible Individual	<u>Jeremy Starr</u>
Responsible Firm	<u>A.R. Building Company</u>
Street Address	<u>310 Seven Fields Blvd, Suite 350</u>
City, State, Zip Code	<u>Seven Fields, PA 16046</u>
Telephone Number	<u></u>

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	<u>Jeremy Starr</u>
Responsible Firm	<u>A.R. Building Company</u>
Street Address	<u>310 Seven Fields Blvd, Suite 350</u>
City, State, Zip Code	<u>Seven Fields, PA 16046</u>
Telephone Number	<u></u>

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By	<u>Brad Simmons / CEC</u>
Address	<u>700 Cherrington Parkway</u>
City, State Zip	<u>Moon Township, PA 15108</u>
Telephone Number	<u></u>

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Henrietta Apartment Buildings		
Project Location (describe, and attach a general location map): 2160 E Henrietta Road, Rochester, NY 14623		
Brief Description of Proposed Action (include purpose or need): Applicant is proposing the construction of two (2) four (4) story apartment buildings with a clubhouse, and associated site improvements including but not limited to public utilities, private roadways and stormwater management facilities.		
Name of Applicant/Sponsor: A.R. Building Company		Telephone: [REDACTED]
		E-Mail: [REDACTED]
Address: 310 Seven Fields Blvd, Suite 350		
City/PO: Seven Fields	State: PA	Zip Code: 16046
Project Contact (if not same as sponsor; give name and title/role): Jeremy Starr		Telephone: [REDACTED]
		E-Mail: [REDACTED]
Address: 310 Seven Fields Blvd, Suite 350		
City/PO: Seven Fields	State: PA	Zip Code: 16046
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Henreitta	03/01/2023
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Henreitta	12/14/2022
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Henrietta	03/01/2023
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT	09/20/2022
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

NYS Heritage Areas: West Erie Canal Corridor

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
B-2 Commercial within the Mixed-Use Redevelopment Corridor Overlay District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Rush-Henrietta Central School District

b. What police or other public protection forces serve the project site?
Monroe County Sherrif Department, NY State Troopers - Henrietta

c. Which fire protection and emergency medical services serve the project site?
Henrietta Fire District

d. What parks serve the project site?
Andrews, Park, Belmanor Park, Breese Park, Henrietta Dog Park at Lookup Park, Hoskins Park, Lookup Park, Martin Road Park, Tinker Nature Park and Veterans Memorial Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial in the form of Residential Apartments

b. a. Total acreage of the site of the proposed action? _____ 8.46 acres
b. Total acreage to be physically disturbed? _____ 4.37 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 8.46 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ 24 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	101 _____
At completion of all phases	_____	_____	_____	101 _____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 15 height; 31 width; and 73 length

iii. Approximate extent of building space to be heated or cooled: 3075 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Site Grading activities may come in proximity of a 0.029 acre delineated wetland that has been determined by NYS DEC currently is not near or in mapped NYS Freshwater Wetlands or a regulated 100-foot adjacent area.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes: _____

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes: _____

i. Total anticipated water usage/demand per day: _____ 11,220 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes: _____

- Name of district or service area: Monroe County Water Authority
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes: _____

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes: _____

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes: _____

i. Total anticipated liquid waste generation per day: _____ 11,220 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes: _____

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ 2.30 acres (impervious surface)
 _____ Square feet or _____ 8.46 acres (parcel size)
 ii. Describe types of new point sources. Surface Runoff

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
On-Site Stormwater Management Facility

• If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ 0 _____ Proposed _____ 153 _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
 Approximately 918, kWh per year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 Grid / Local Utility from Rochester Gas & Electric Corporation

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7am - 7pm _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 Equipment associated with standard construction during the Town of Henrietta approved hours of operation _____

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: A portion of the existing vegetation will be removed during construction _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Parking and building lighting is proposed and will be designed to minimize the footprint of light emissions _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: A portion of the existing vegetation will be removed during construction _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): Subject property is currently vacant
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.27	2.30	+2.30
• Forested	6.29	3.53	-2.76
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.88	2.61	+0.73
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0.02	0.02	0
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 828152
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

Remediation at the site is complete, prior to remediation the primary contaminants of concern were cis-Dichlorethene, Trichlorethane, tetrachlorethene and Vinyl Chloride in soil and groundwater. The site is subject to ongoing monitoring pursuant to Site Manage Plan.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >7 feet

b. Are there bedrock outcroppings on the project site? Yes No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Hilton Loam	_____	65 %
Ontario Loam	_____	25 %
_____	_____	10 %

d. What is the average depth to the water table on the project site? Average: _____ NA feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ 100 % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 90 % of site
 10-15%: _____ 10 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jeremy Starr Date 08/01/2023

Signature  Title Associate



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	828152
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:


- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: A.R. Building Company

By: Jeremy Starr

Title: Associate

Dated: 08/14/2023

Signed:  _____

Owner: _____

By: _____

Title: _____

Dated: _____

Signed: _____



August 14, 2023

To whom it may concern,

(I)(We) hereby authorize Civil & Environmental Consultants of New York to represent A.R. Building Company for the development of a project located at 2160 E. Henrietta St. designated as 263200 118-2-4-1 and 263200 162.18-2-2 tax parcels including permits, applications and communications for the project and the Town of Henrietta, NY.

Owner: A.R. Building Company

By: Jeremy Starr

Title: Associate

Dated: 08/14/2023

Signed:  _____

December 16, 2022

Town of Henrietta
475 Calkins Rd
Rochester, NY 14623

RE: A.R. Building Company/2160 E Henreitta Rd

To whom it may concern,

On behalf of East Henrietta Commons, LLC, the owner of the property located in the Town of Henrietta, County of Monroe, State of New York, and is described as follows:

Approximately 7 acres of land, located in the County of Monroe, State of New York, identified as Tax Parcel ID No. 263200-162-180-0002-004-1000000 and as more particularly described in deed recorded with the Monroe County Registry of Deeds in Book 1050 at Page 390.

This will confirm that A.R. Building Company and their representatives are authorized to file and process applications for development approvals (including, without limitations, rezoning, special use permit, and site plan approvals) for the property described above.

East Henrietta Commons, LLC

By: George Bethlendy

By:
George Bethlendy, Owner

DATE 7/21/23

BUYER:

A. R. BUILDING COMPANY, INC.

BY


Daniel J. Mancosh
President

SELLER:

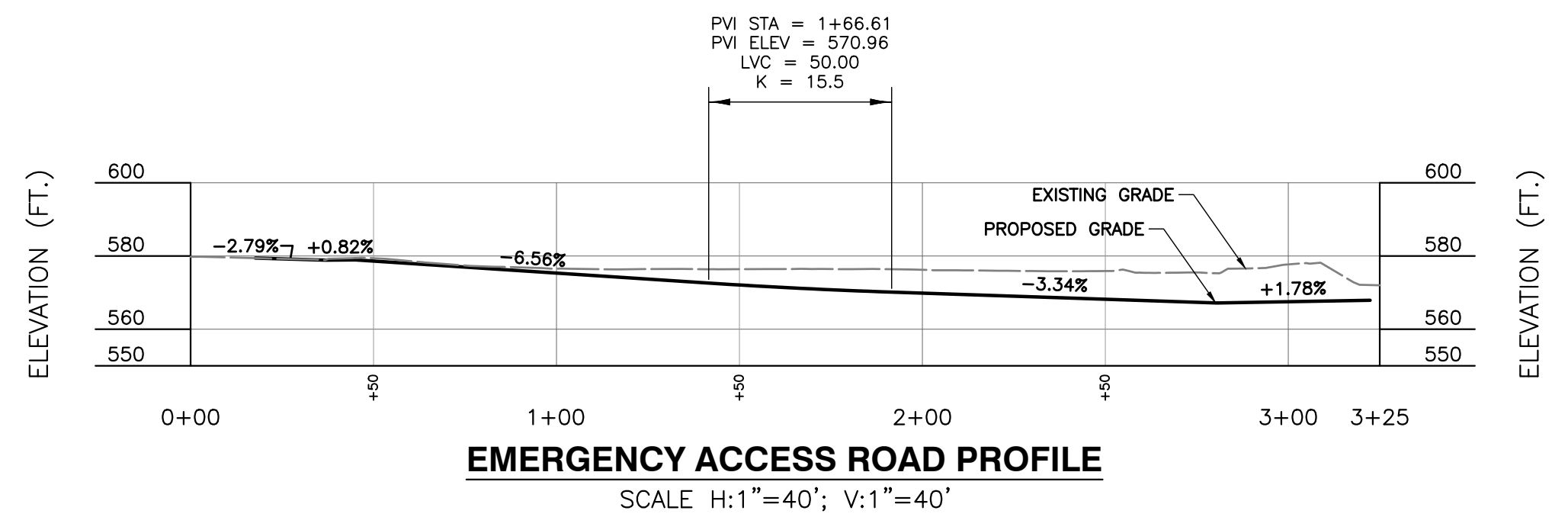
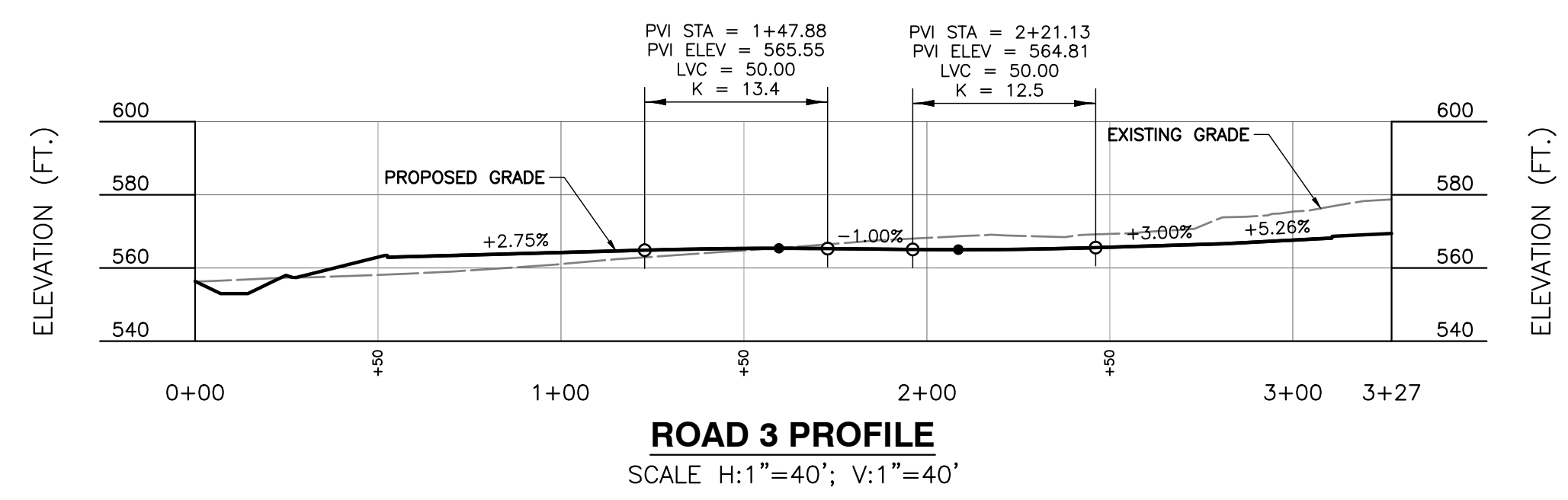
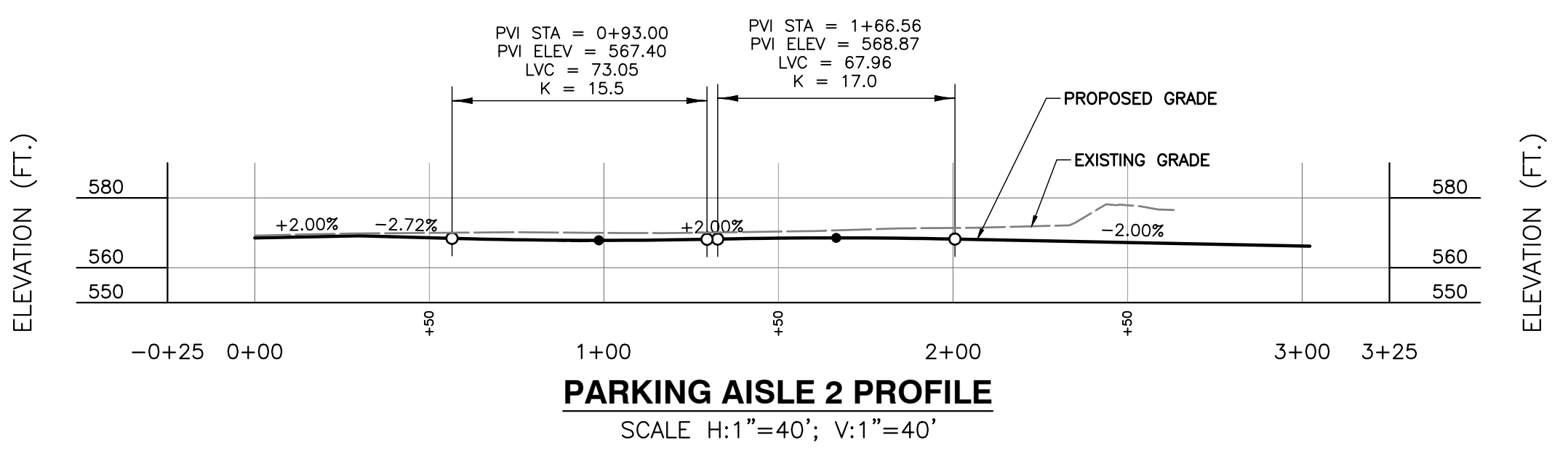
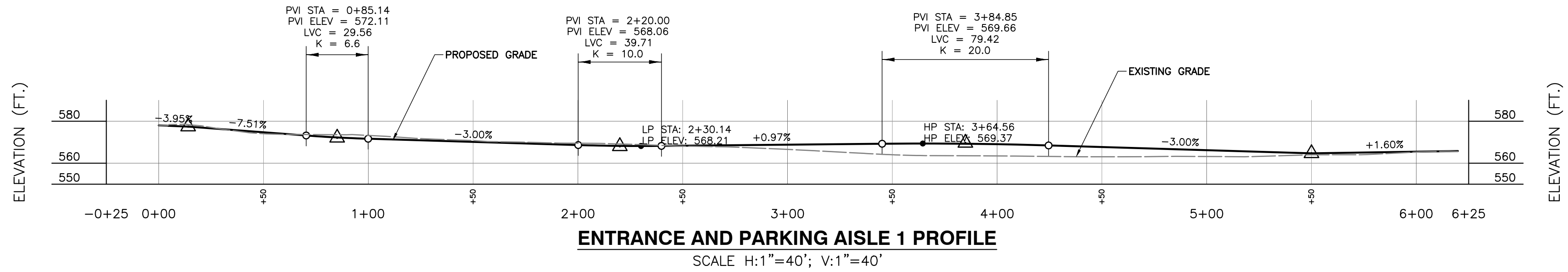
MAGIC GARDEN FLORIST LLC

DATE 07/20/23

BY  Dawn Maier - Authorized Signatory
Dawn Maier, Member

DATE 07/20/23

BY  Jared Maier
Jared Maier, Member



**PRELIMINARY
NOT FOR CONSTRUCTION**

NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE - STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.
NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITY LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

- REFERENCE**
1. VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.
 2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022.
 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR_HENRIETTA_NY_102_UNIT_CONCEPTUAL_PLAN.PDF", DATED 08/31/2022. BUILDING FOOTPRINTS PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVIL-PLN-01-REV2.DWG.
 4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.

NO.	DATE	DESCRIPTION

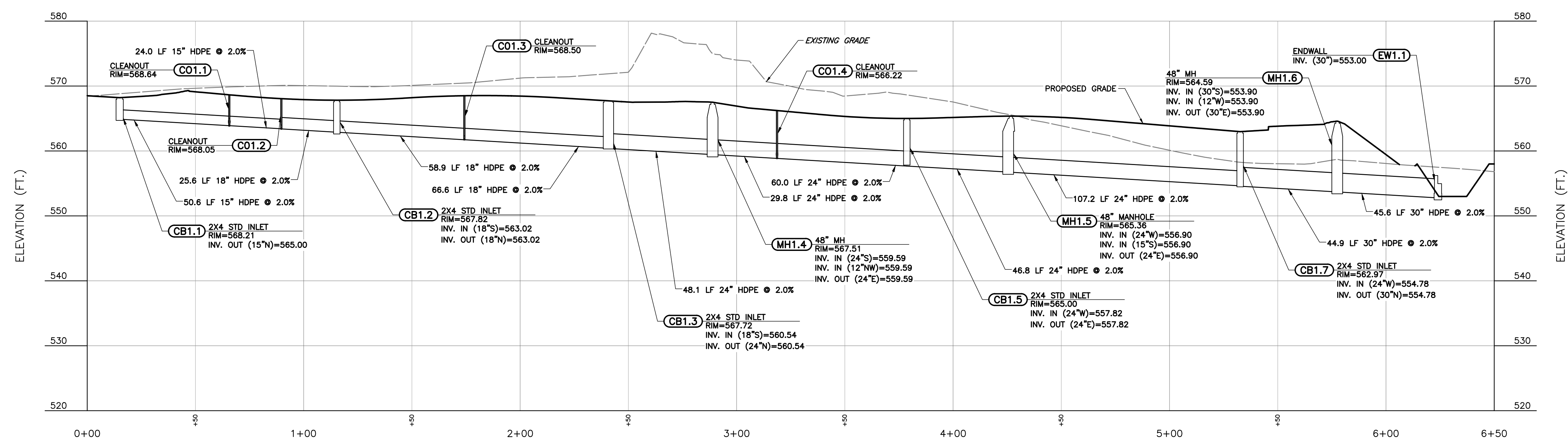
Civil & Environmental Consultants of New York, Inc.
908 Niagara Falls Boulevard - North Tonawanda, NY 14120
Ph: 716.930.6080
www.ceinc.com

**A.R. BUILDING COMPANY
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK**

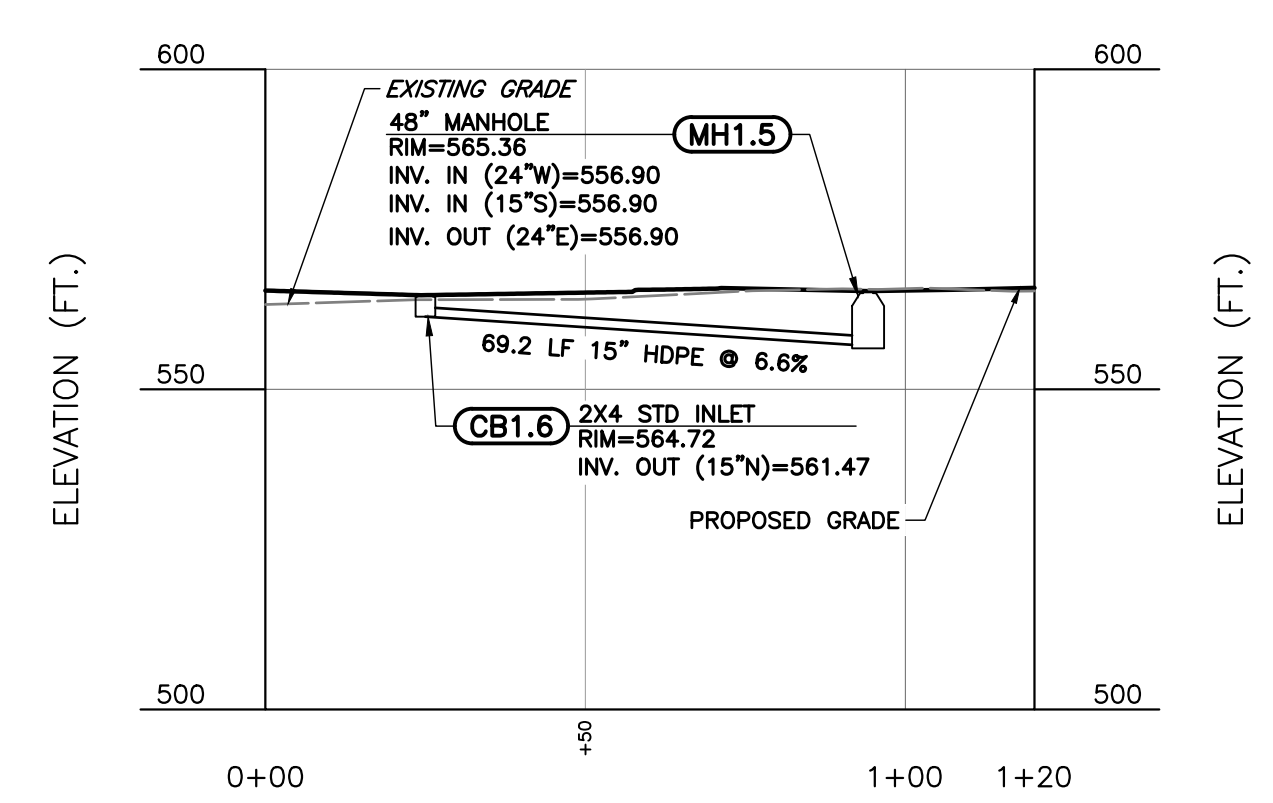
DATE:	AUGUST 2023	DRAWN BY:	JPH/DJZ
DWG SCALE:	AS SHOWN	CHECKED BY:	DRAFT
PROJECT NO.:	324-396	APPROVED BY:	DRAFT

DRAWING NO.: **C301**
SHEET 7 OF 31

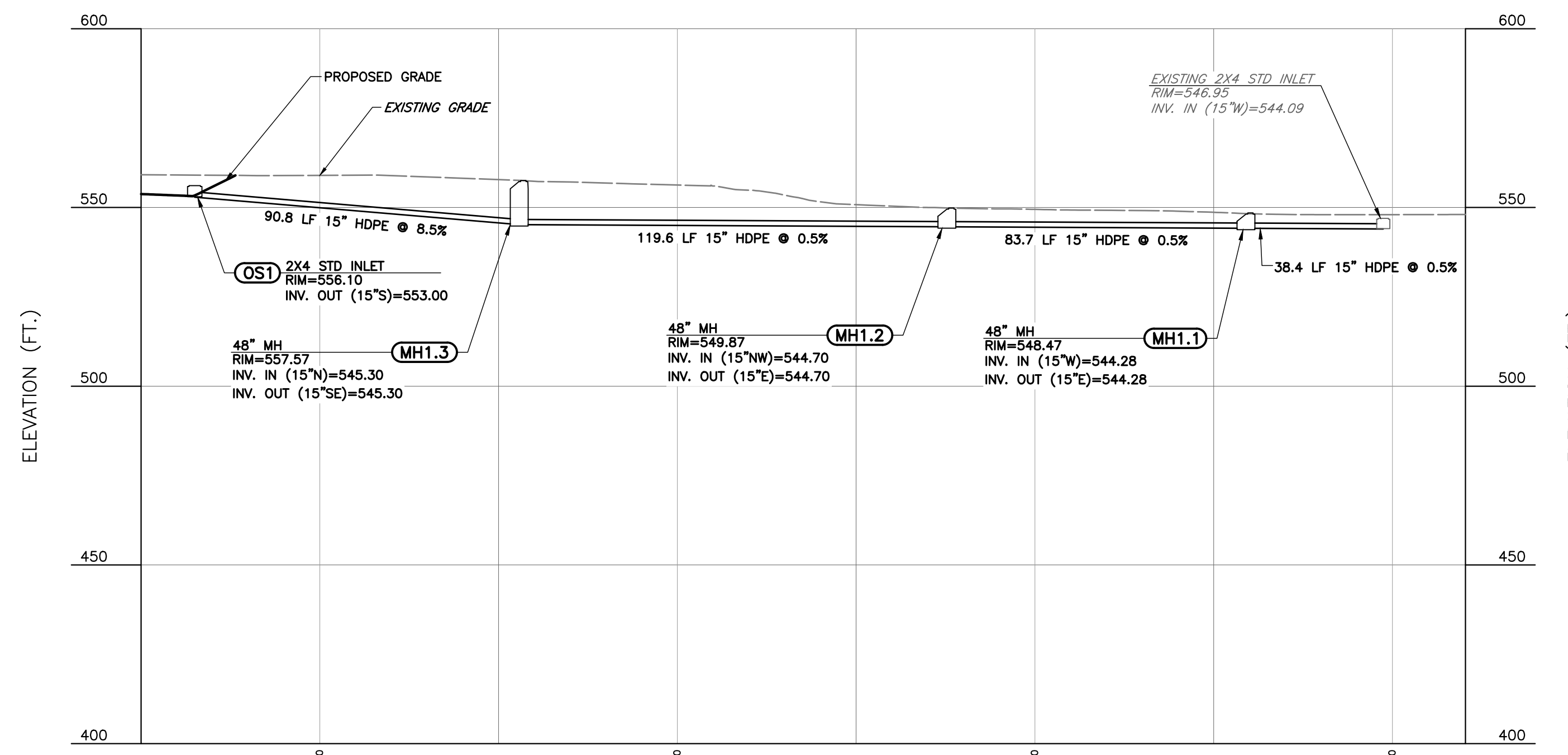
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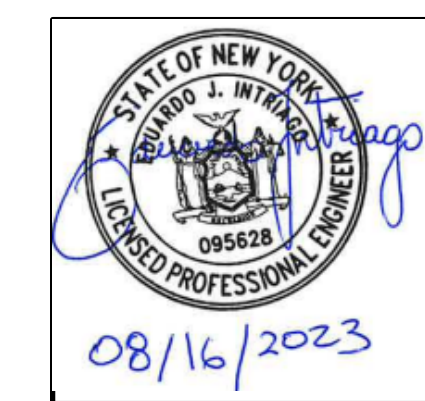
CB1.1 TO EW1.0 PROFILE
SCALE H:1"=30'; V:1"=10'



CB1.6 TO MH1.5 PROFILE
SCALE H:1"=30'; V:1"=30'



OS1 TO EXISTING CB1.0 PROFILE
SCALE H:1"=30'; V:1"=30'



**PRELIMINARY
NOT FOR CONSTRUCTION**



NEW YORK LAW REQUIRES AT LEAST 2 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE - STOP CALL DIG SAFELY NEW YORK, INC. 1-800-272-4480.
NEW YORK STATE CODE RULE 753 (1997) AS AMENDED IN JULY 2002 AND JANUARY 2012 REQUIRES NO LESS THAN 2 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO: DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF NEW YORK, SUBMIT A REQUEST ONLINE VIA DIG SAFELY NEW YORK'S ENTRY PLATFORM EXACTIX OR CALL TOLL FREE 1-800-272-4480.
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NO.	DATE	DESCRIPTION

C&E
Civil & Environmental Consultants of New York, Inc.
908 Niagara Falls Boulevard - North Tonawanda, NY 14120
Ph: 716.930.6080
www.ceinc.com

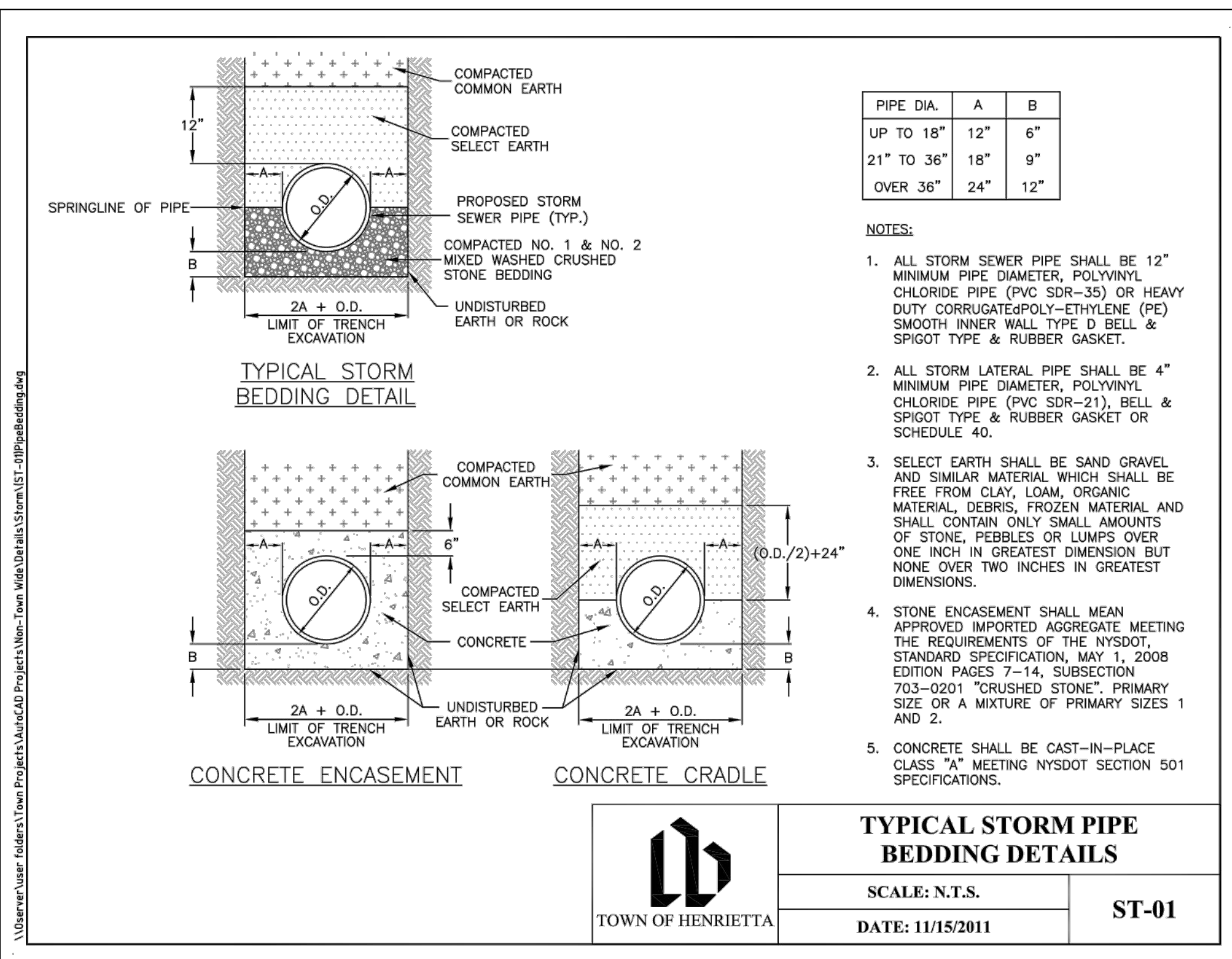
**A.R. BUILDING COMPANY
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK**

**POST CONSTRUCTION STORMWATER
MANAGEMENT PROFILE**

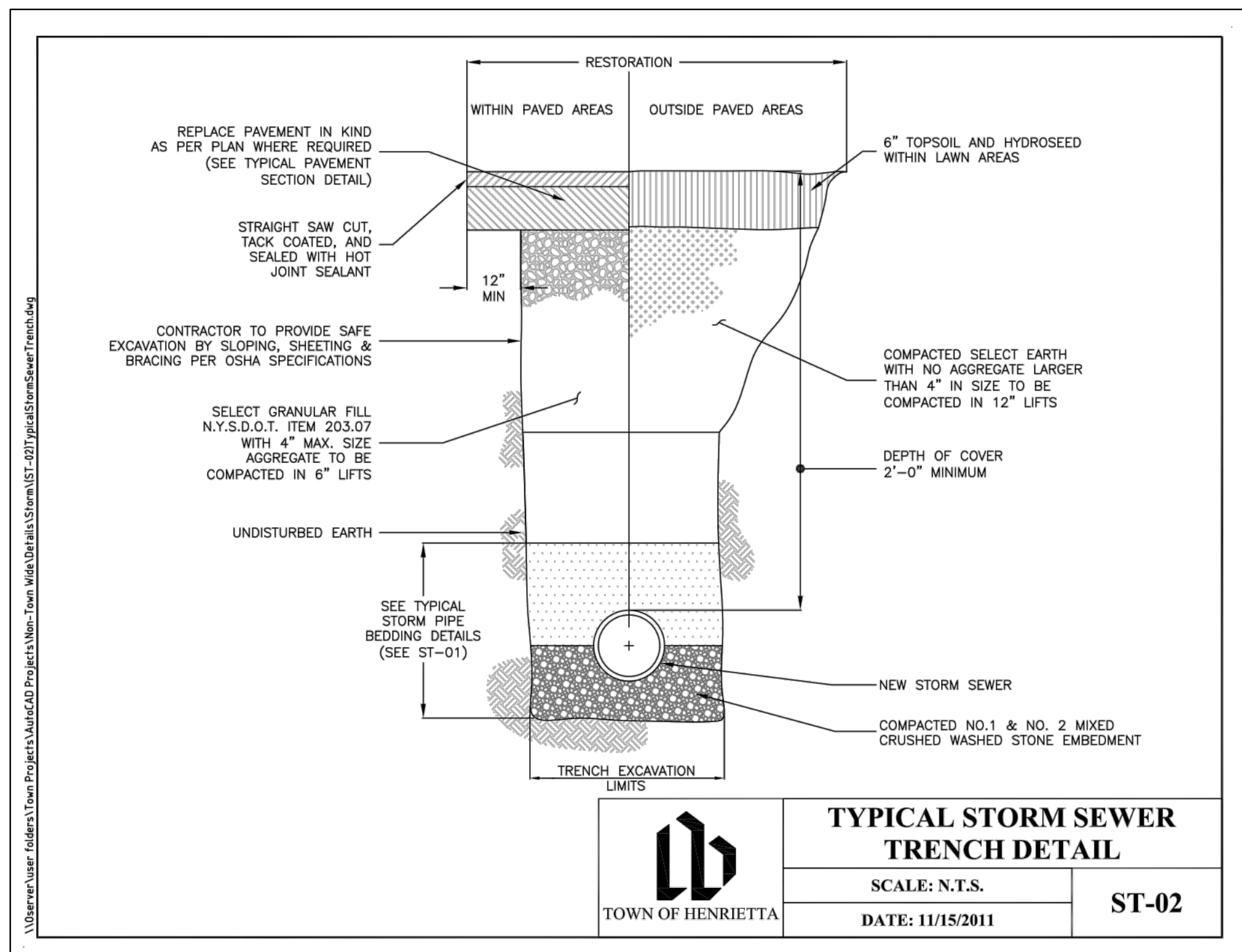
DATE: AUGUST 2023 DRAWN BY: JPH/DJZ
DWG SCALE: 1"=40' CHECKED BY: DRAFT
PROJECT NO: 324-396
APPROVED BY: DRAFT

DRAWING NO: **C401**
SHEET 9 OF 31

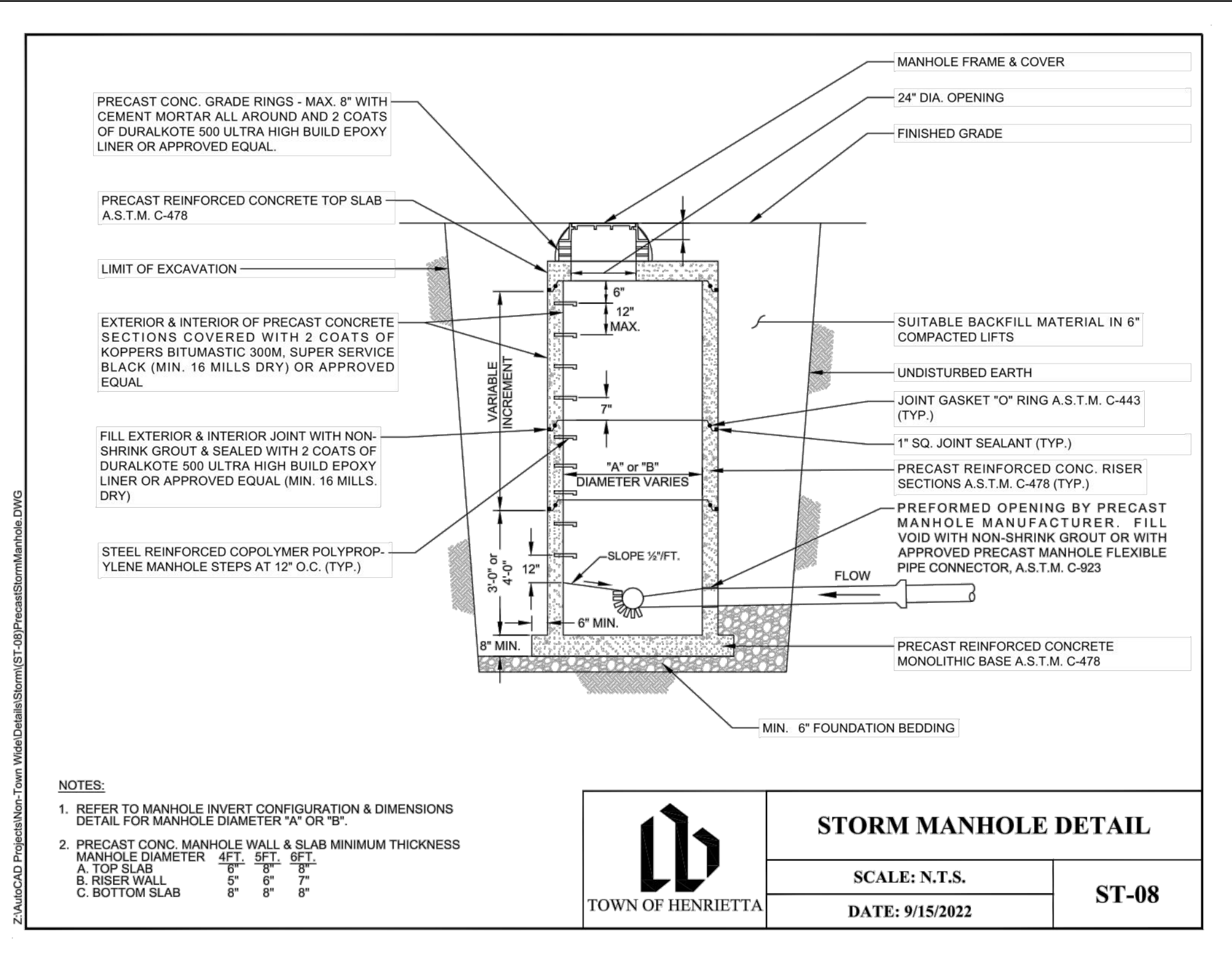
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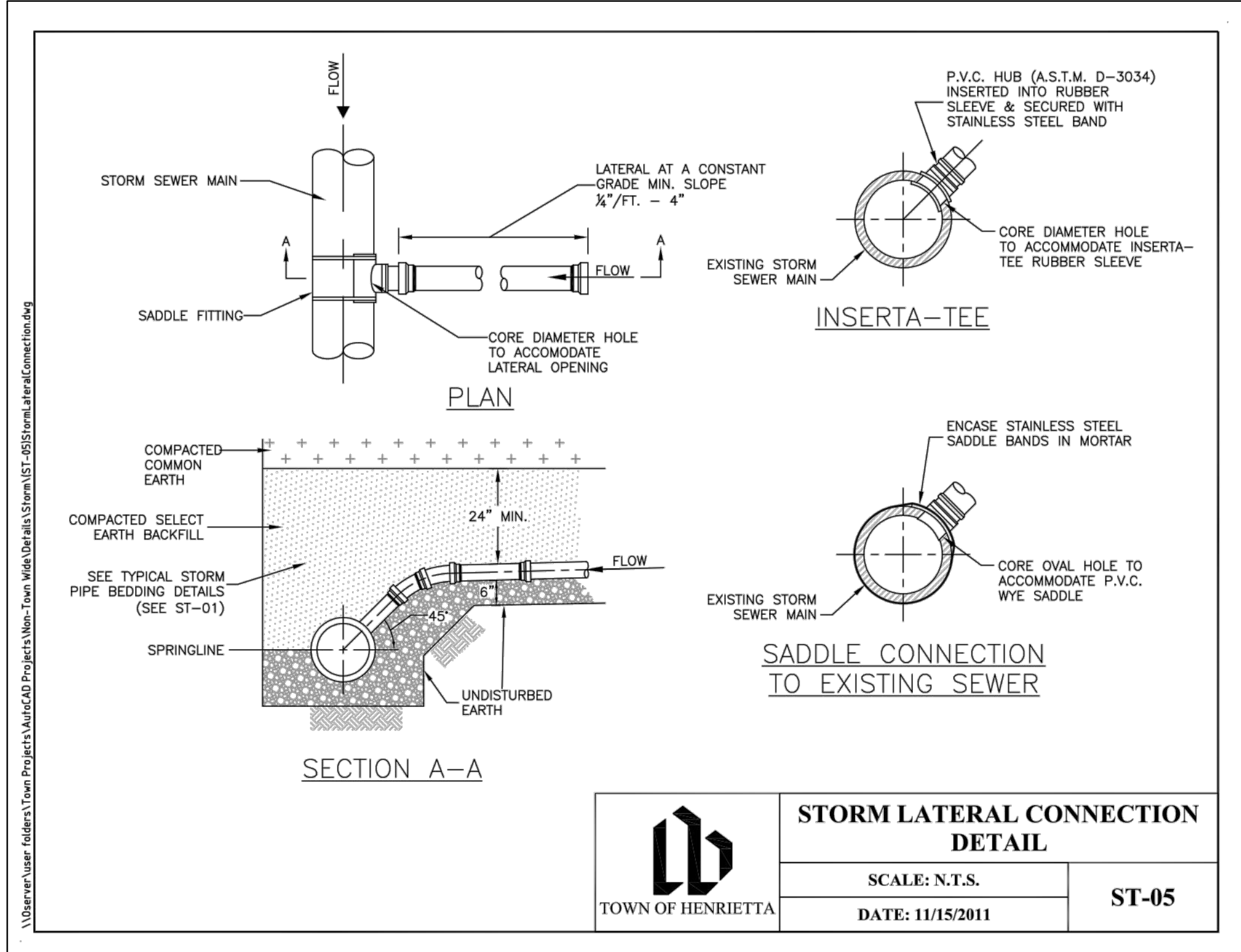
DETAIL 407
STORM PIPE BEDDING
N.T.S.



DETAIL 408
STORM SEWER TRENCH
N.T.S.



DETAIL 409
STORM MANHOLE
N.T.S.



DETAIL 410
STORM LATERAL CONNECTION
N.T.S.

NO.	DATE	DESCRIPTION

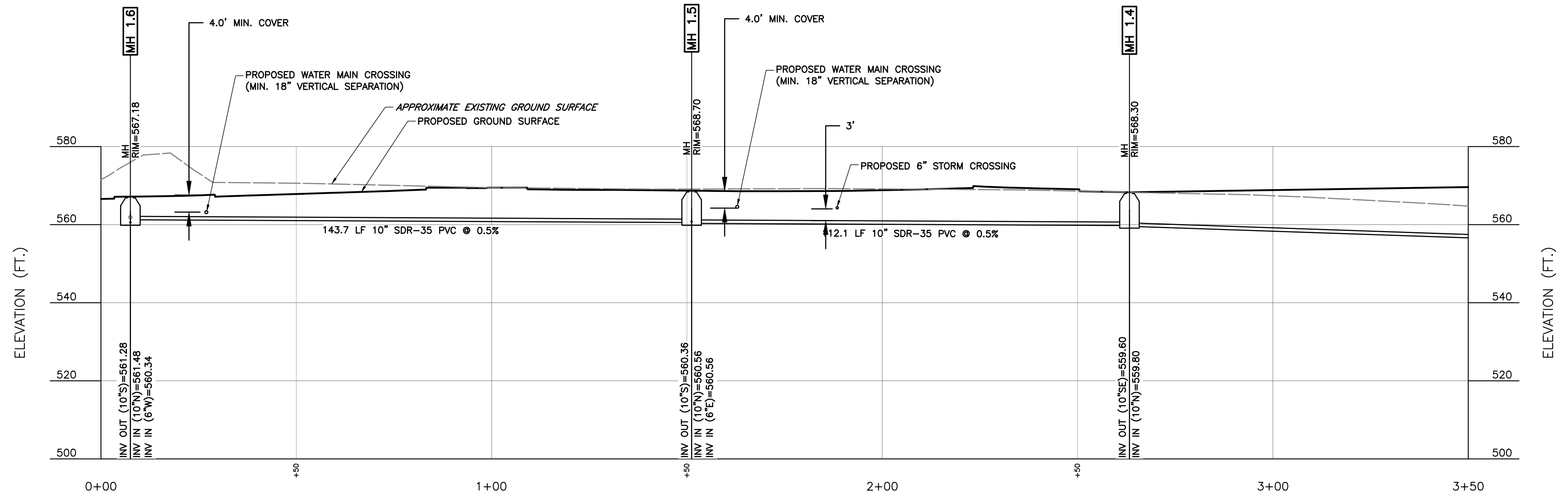
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A.R. BUILDING COMPANY
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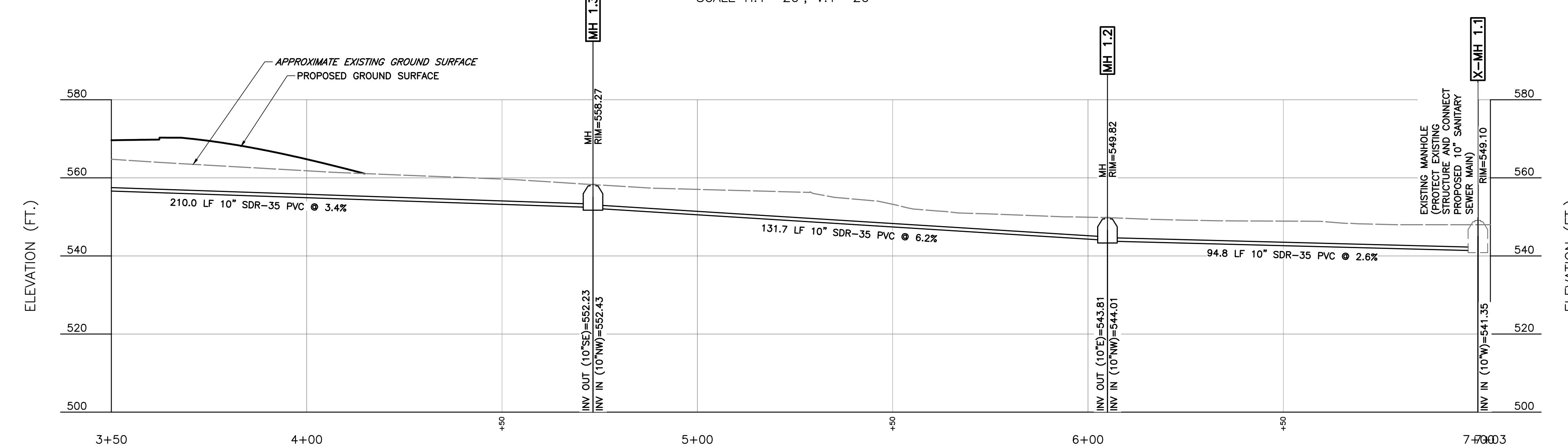
**POST-CONSTRUCTION STORMWATER
MANAGEMENT DETAILS**

DATE: AUGUST 2023
DRAWN BY: JPH/DJZ
DRAFT
PROJECT NO: 324-396
APPROVED BY: [Signature]



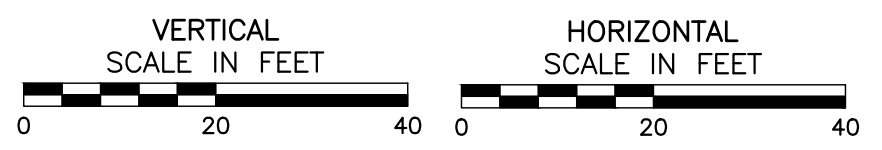


SANITARY MAIN PROFILE
SCALE H:1"=20'; V:1"=20'



SANITARY MAIN PROFILE
SCALE H:1"=20'; V:1"=20'

- REFERENCE**
1. VERTICAL DATUM IS BASED UPON NAVD88, AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., USING SURVEY GRADE GPS MEASUREMENTS AND OPUS POST-PROCESSING.
 2. FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 09/12/2022.
 3. PROPOSED SITE PLAN LAYOUT DEPICTS INFORMATION PROVIDED BY AR DEVELOPMENT COMPANY ON 08/29/2022 FROM THE "08-26-22_AR_HENRIETTA_NY_102_UNIT_CONCEPTUAL_PLAN.PDF", DATED 08/31/2022, BUILDING FOOTPRINTS PROVIDED BY AR DEVELOPMENT COMPANY ON 01/11/2023. FILE: 2208-CIVL-PLN-01-REV2.DWG.
 4. PUBLIC LIDAR DATA RETRIEVED FROM WWW.MONROECOUNTY.GOV/GIS-MAPGALLERY. DATA ACCESSED ON 01/05/2023.

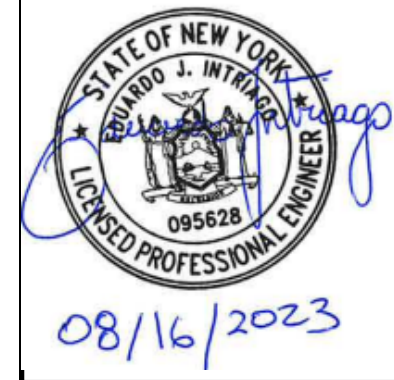


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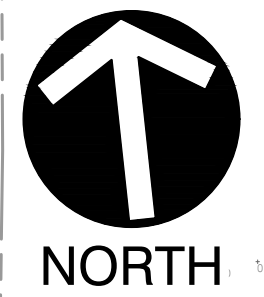
NO.	DATE	DESCRIPTION

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**A.R. BUILDING COMPANY
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK**

OVERALL UTILITIES PLAN	
DATE:	AUGUST 2023
DRAWN BY:	JPH/DJZ
DWG SCALE:	1"=40'
CHECKED BY:	[Signature]
PROJECT NO.:	324-396
APPROVED BY:	[Signature]
DRAWING NO.: C501	
SHEET 15 OF 31	

P:\320-000\324-396-CAD\DWG\CIVIL\324-396-C501.dwg - 08/16/2023 1:11:16 AM



LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED BUILDING
	EXISTING ADJACENT PROPERTY LINE		PROPOSED EDGE OF ASPHALT PAVEMENT
	EXISTING EASEMENT		PROPOSED ASPHALT WEDGE CURB
	EXISTING MUNICIPAL BOUNDARY		PROPOSED CONCRETE CURB
	EXISTING YARD SETBACK		PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED CONCRETE SIDEWALK
	EXISTING CURB		PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	EXISTING EDGE OF PAVEMENT		PROPOSED STRIPING
	EXISTING TREE LINE		PROPOSED DETECTABLE WARNING SURFACE
	EXISTING STORM PIPE		PROPOSED FENCING
	EXISTING WATER LINE		PROPOSED SIGN
	EXISTING SANITARY SEWER LINE		PROPOSED LIGHT POLE
	EXISTING GAS LINE		PROPOSED UTILITY POLE
	EXISTING OVERHEAD WIRE		PROPOSED PAVEMENT MARKINGS
	EXISTING UNDERGROUND ELECTRIC LINE		PROPOSED PARKING COUNT IDENTIFIER
	EXISTING TELEPHONE LINE		PROPOSED SETBACK
	EXISTING UTILITY POLE		PROPOSED LIMIT OF DISTURBANCE
	EXISTING STORM MANHOLE		
	EXISTING CATCH BASIN		
	EXISTING FIRE HYDRANT		
	EXISTING WATER VALVE		
	EXISTING GAS METER		
	EXISTING TRAFFIC PULL BOX		
	EXISTING WETLAND		
	TREE CLEARING LIMITS		



Luminaire Schedule

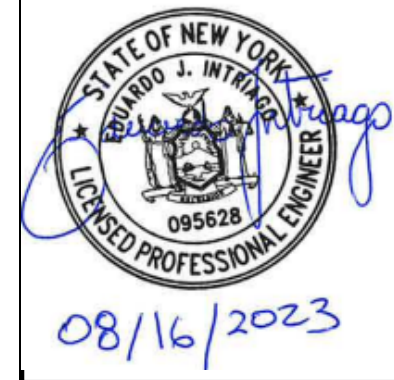
Label	Qty	Symbol	Arrangement	Manufacturer	LLD	Arr. Watts	Description	Notes
P21H	6		Single	U.S. ARCHITECTURAL LIGHTING	0.850	67.8	RZR-M-PLD-II-24LED-875ma-30K-XXX 12L XXXX RPA HS / RTA XXX 188 12L XXX RBC	POLE SHAFT HEIGHT DEPENDS ON BASE SIZE SELECTED
P41	11		Single	U.S. ARCHITECTURAL LIGHTING	0.850	82	RZR-M-PLD-III-N-24LED-875ma-30K XXX 12L XXXX RPA / RTA XXX 188 12L XXX RBC	POLE SHAFT HEIGHT DEPENDS ON BASE SIZE SELECTED
P41H	5		Single	U.S. ARCHITECTURAL LIGHTING	0.850	82	RZR-M-PLD-IV-FT-24LED-1050ma-30KXXX 12L XXXX RPA HS / RTA XXX 188 12L XXX RBC	POLE SHAFT HEIGHT DEPENDS ON BASE SIZE SELECTED
SP3H	11		Single	SUN VALLEY LIGHTING	0.850	52	COL18-VLED-III-48LED-350ma-WW XXX PT2L XXX HS / RNTA 124 125 PT2L XXX RBC	
SP5	6		Single	SUN VALLEY LIGHTING	0.850	52	COL18-VLED-VSQ-48LED-350ma-WW XXX PT2L XXX / RNTA 124 125 PT2L XXX RBC	

NOTE: PHOTOMETRIC DATA OBTAINED FROM LAFACE & MCGOVERN ASSOCIATES, INC. ON 08/15/2023. CAD FILE: HENRIETTA NEW YORK 8-15-23 (cec).DWG

- NOTES:**
- All light levels are at grade
 - Lumen output is based on anticipated lumen output at half of the rated life of the LEDs.
 - Mounting height shown per location is from grade to fixture aperture
 - Light levels are calculated based on direct fixture contribution only. We are not responsible for reflected light
 - Results are based on information provided to L&M. Changes to location, fixture, wattage will affect final results
 - Design is preliminary and should be reviewed by a Licenced Professional

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
GRID AT GRADE	0.6	7.7	0.0	N.A.	N.A.
PROP LINE	0.0	0.01	0.00	N.A.	N.A.
BUILDING ONE SIDEWALK	2.0	3.9	1.0	1.97	3.90
BUILDING TWO SIDEWALK	2.0	2.8	1.1	1.81	2.55
CLUBHOUSE - POOL AREA	2.5	3.8	1.9	1.29	2.00
NORTH ENTRANCE	1.9	2.7	1.2	1.56	2.25
OUTER SIDEWALK	2.0	3.0	1.3	1.51	2.31
PARKING LOT	1.8	5.9	0.8	2.38	7.38
SIDEWALK AROUND CLUBHOUSE	3.1	4.6	1.7	1.82	2.71
SOUTH ENTRANCE	1.3	1.7	0.9	1.42	1.89



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REVISION RECORD

NO	DATE	DESCRIPTION

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 908 Niagara Falls Boulevard - North Tonawanda, NY 14120
 Ph: 716.930.6080
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**A.R. BUILDING COMPANY
 PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 TOWN OF HENRIETTA
 MONROE COUNTY, NEW YORK**

OVERALL LIGHTING PLAN

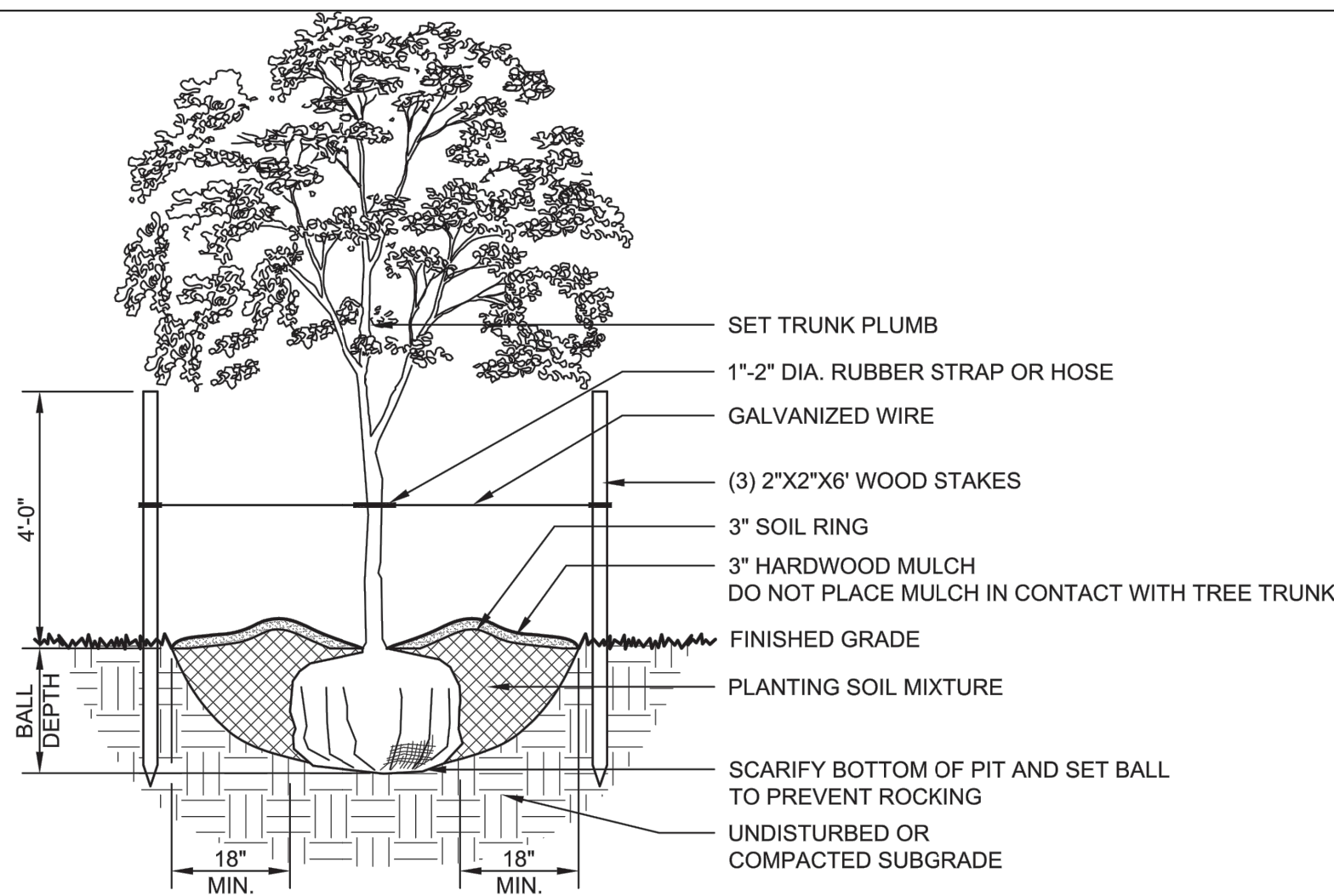
DRAWING NO: **C600**

SHEET 16 OF 31

DATE: AUGUST 2023
 DRAWN BY: JPH/DJZ
 DRAFT
 324-396

PROJECT NO: 1-40
 CHECKED BY: JPH/DJZ
 DRAFT

APPROVED BY: [Signature]

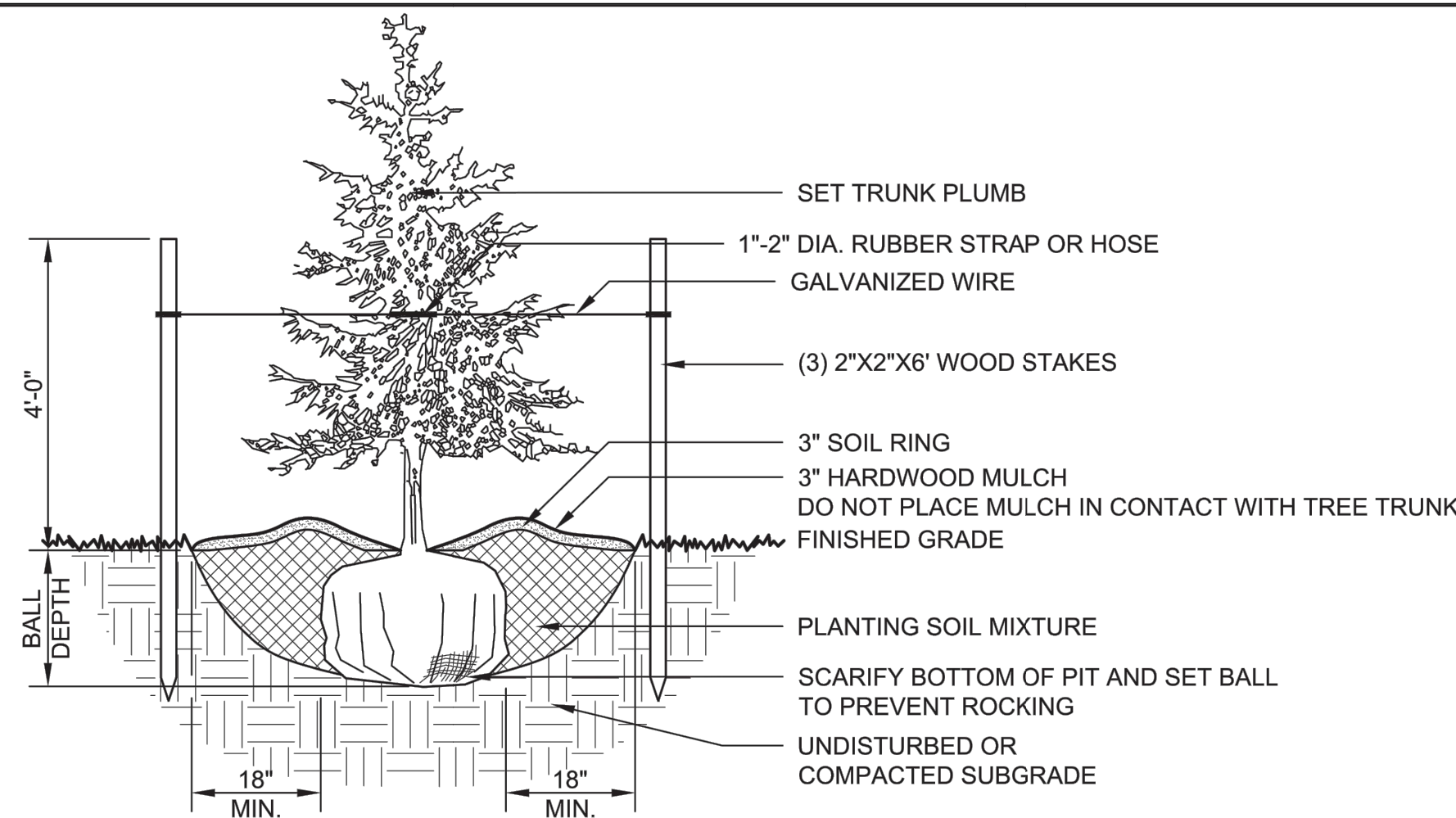


NOTES

1. REMOVE BURLAP, ROPE, OR WIRE BASKET FROM TOP 1/3 OF BALL MINIMUM, CUT REMAINING PORTIONS OF ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT.
2. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER TOP OF ROOT BALL WITH SOIL.
3. MARK THE NORTH SIDE OF THE TREE IN NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHERE POSSIBLE.

DECIDUOUS TREE PLANTING DETAIL - WITH VERTICAL STAKES

N.T.S.
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS

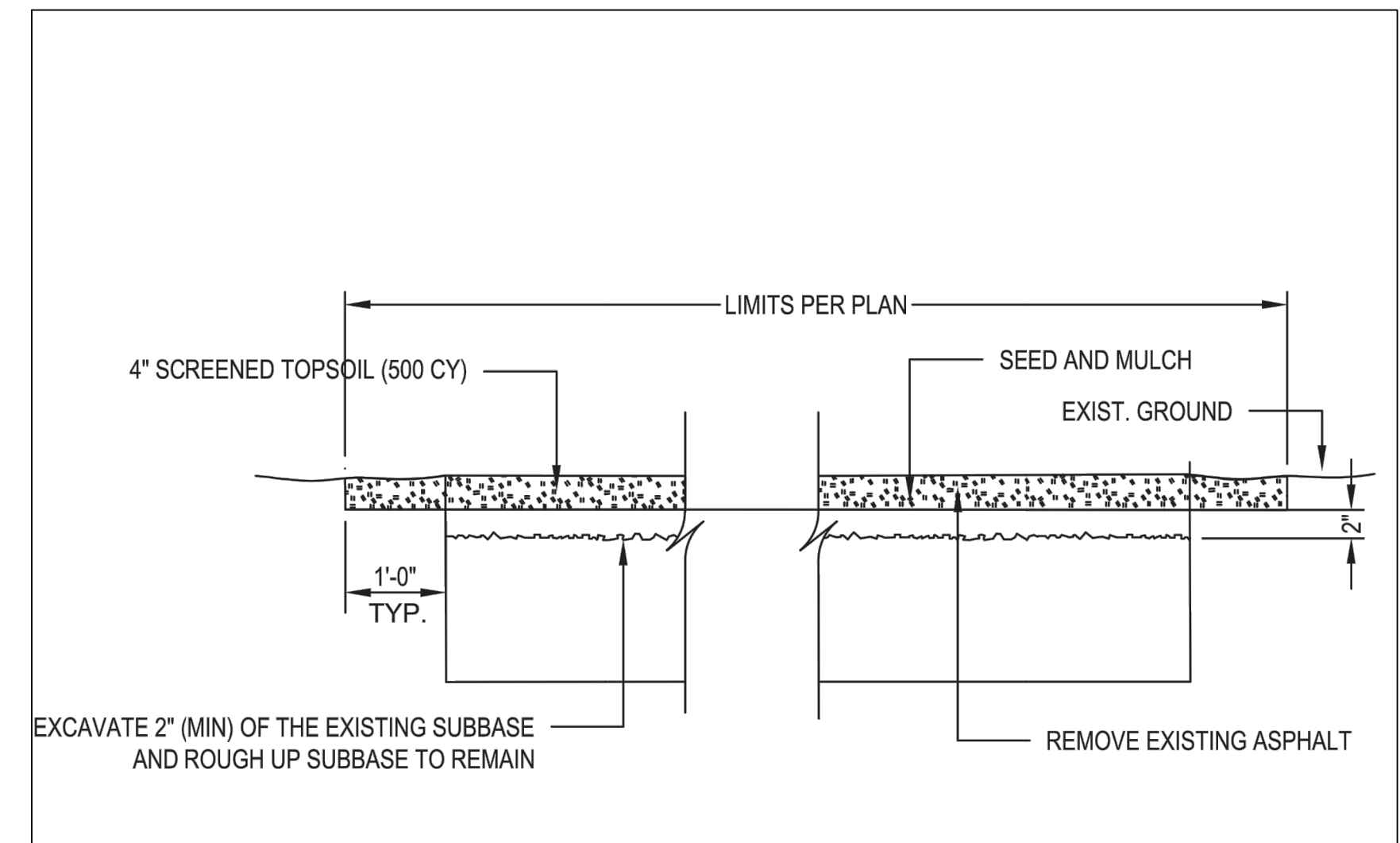


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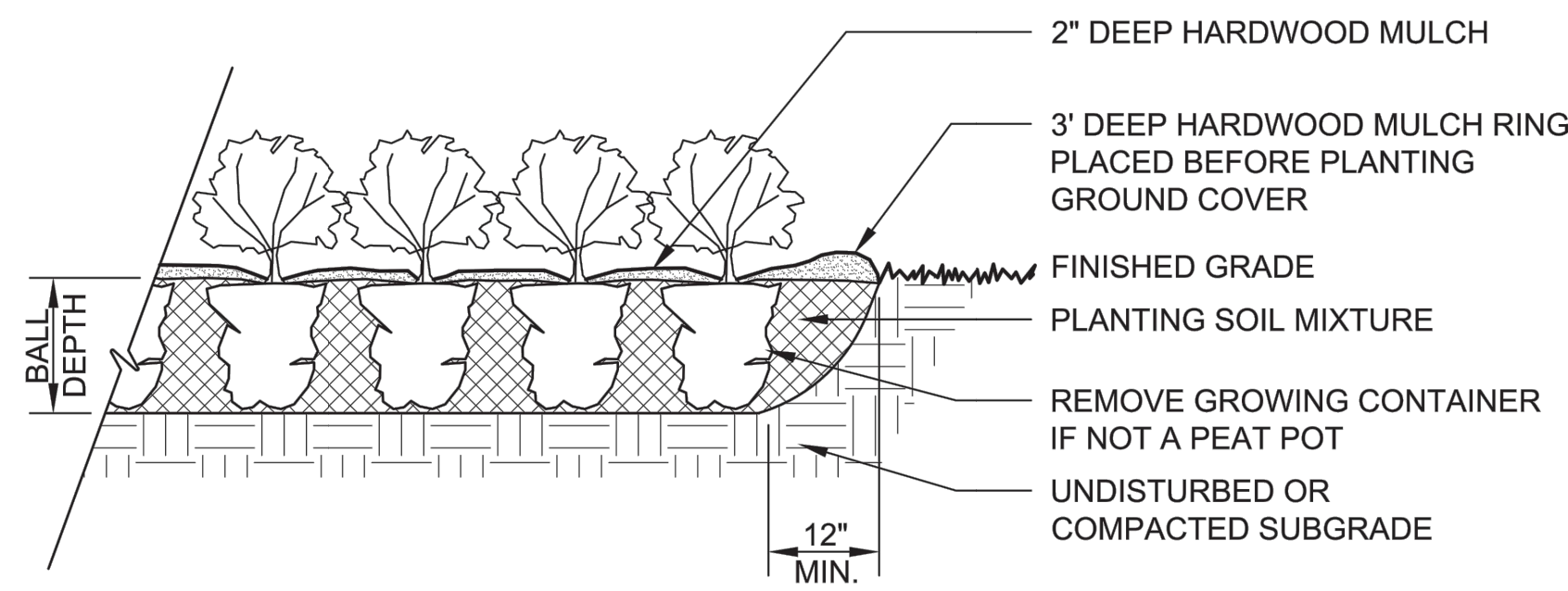
EVERGREEN TREE PLANTING DETAIL - WITH VERTICAL STAKES

N.T.S.
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS



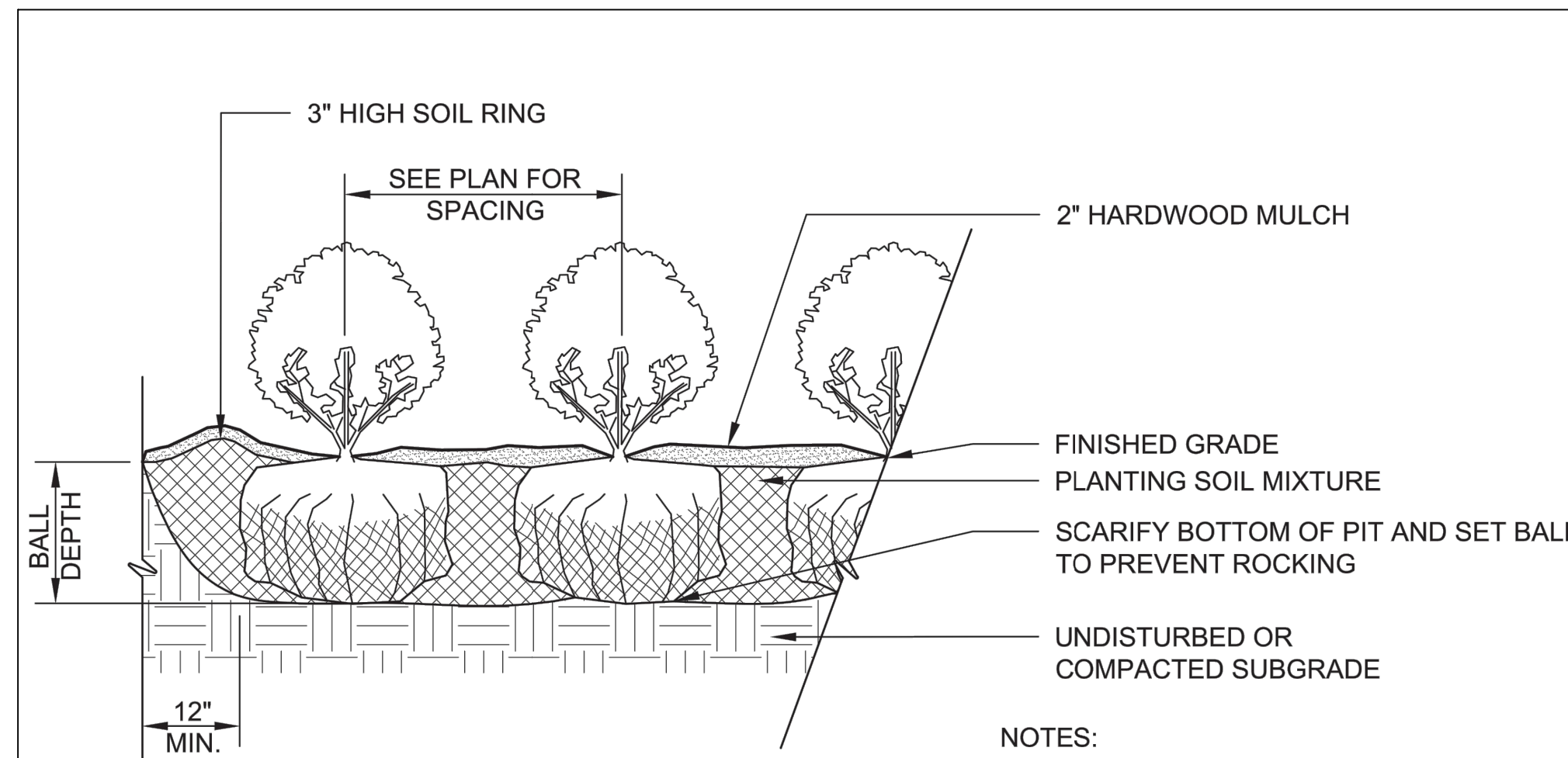
LAWN RESTORATION DETAIL

N.T.S.
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS



PERENNIAL AND GROUND COVER PLANTING DETAIL

N.T.S.
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS



NOTES:

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SHRUB MASS PLANTING DETAIL

N.T.S.
SOURCE: TOWN OF HENRIETTA STANDARD TOWN DETAILS

REFERENCE

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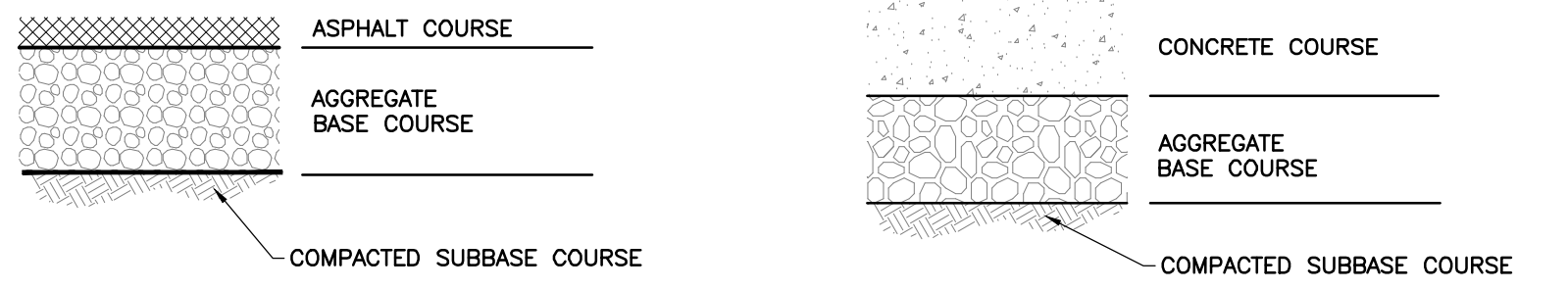
A.R. BUILDING COMPANY
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

LANDSCAPE NOTES AND DETAILS	
DATE:	AUGUST 2023
DRAWN BY:	CL/ZAC
DWG SCALE:	N.T.S.
CHECKED BY:	JUC
PROJECT NO.:	324-396
APPROVED BY:	RPC

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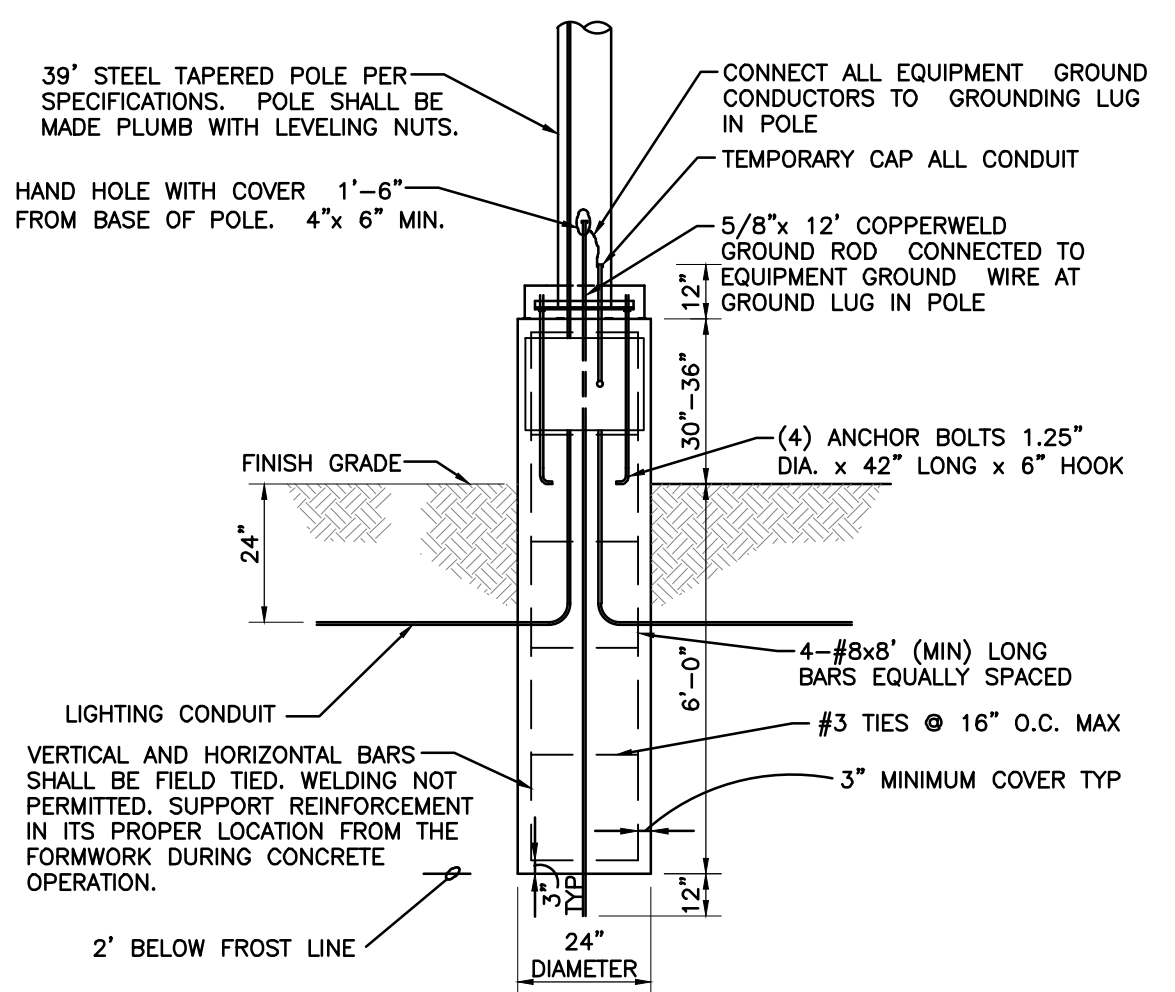
ASPHALT PAVEMENT SECTION PORTLAND CEMENT CONCRETE PAVEMENT SECTION

ASPHALT PAVEMENT			
NYCDOT STANDARD HIGHWAY SPECIFICATIONS	ITEM	"HEAVY DUTY" PAVEMENT SECTION	"STANDARD DUTY" PAVEMENT SECTION FOR PARKING STALLS ONLY, BASED ON AMZL TYPICAL STANDARD THICKNESS
SECTION 4.02	4.02 TOP ASPHALT COURSE	2.5"	1.5"
SECTION 4.02	4.02 BINDER ASPHALT COURSE	3.5"	1.5"
SECTION 6.67	TYPE C SUBBASE	12.0"	8.0"

PORTLAND CEMENT CONCRETE PAVEMENT		
NYCDOT STANDARD HIGHWAY SPECIFICATIONS	ITEM	PAVEMENT SECTION
SECTION 4.05	CLASS A-40, TYPE IIA	8.0"
SECTION 6.67	TYPE C SUBBASE	12.0"

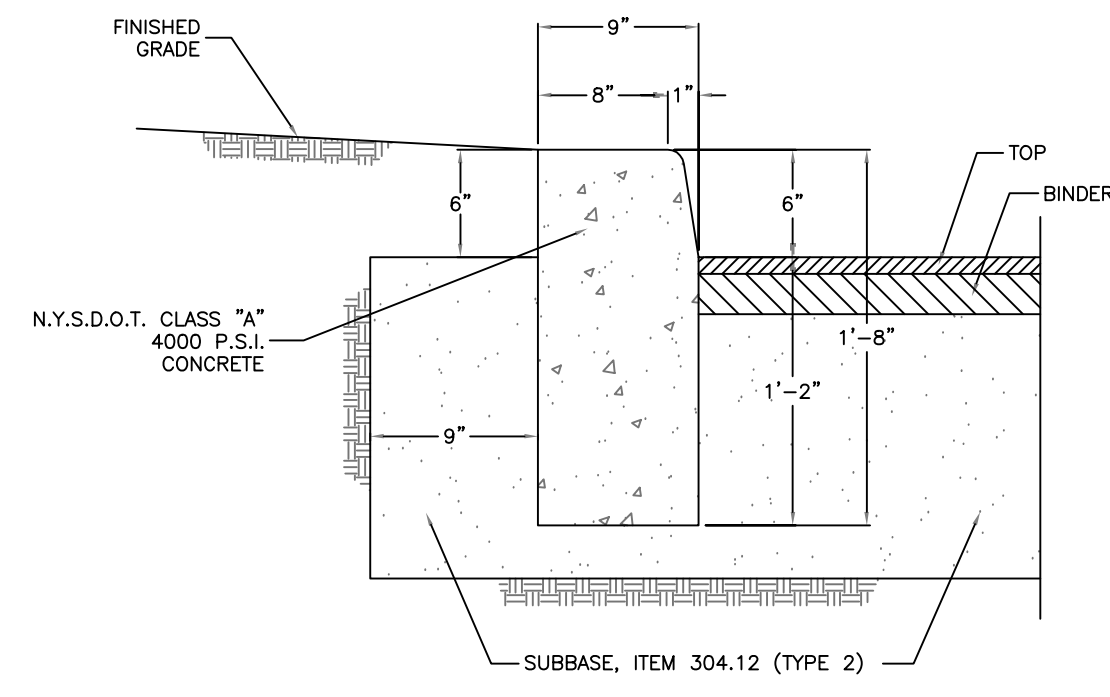
- NOTES:**
- PRIOR TO PLACEMENT OF AGGREGATE, THE PAVEMENT SUBGRADE SHALL BE PREPARED AS FOLLOWS AND IN ACCORDANCE WITH THE EARTHWORK NOTES ON DRAWING C001:
 - PAVEMENT SUBGRADE SHALL BE PROOFROLLED AND COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AND WITHIN ±3% OF ITS OPTIMUM MOISTURE CONTENT, AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR). ANY SOFT AREAS SHALL BE OVEREXCAVATED TO A FIRM AND COMPETENT MATERIAL AND BACKFILLED AS DESCRIBED IN 1B.
 - ALL APPROVED FILL SHALL BE PLACED IN MAXIMUM 6" THICK, LOOSE LIFTS AND COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AND WITHIN ±3% OF ITS OPTIMUM MOISTURE CONTENT. THE FILL MATERIAL'S MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED BY ASTM D1557 (MODIFIED PROCTOR).
 - AFTER COMPACTION, THE PAVEMENT SUBGRADE SHALL PROVIDE A FIRM UNYIELDING FOUNDATION WITH NO SUDDEN, SHARP OR ABRUPT CHANGES OR BREAKS IN GRADES. NO STANDING WATER OR EXCESS MOISTURE SHALL BE PRESENT. ALL SOFT AND YIELDING AREAS SHALL BE REWORKED BY OVEREXCAVATING TO A FIRM AND COMPETENT MATERIAL, AND BACKFILLED AS DESCRIBED IN 1B.
 - THE SUBGRADE SHALL BE GRADED AND SHAPED AS REQUIRED TO CONSTRUCT THE AGGREGATE BASE COURSE IN CONFORMANCE WITH THE GRADES, LINES AND THICKNESSES SHOWN ON THE DRAWINGS.
 - THE BITUMINOUS COURSES SHALL BE TAPERED INTO THE STORM SEWER INLETS WHILE MAINTAINING FULL PAVEMENT SECTION DEPTH.
 - REINFORCED CONCRETE COURSE SHALL CONTAIN ONE LAYER OF CONTINUOUS 6"x6" 2.9 W.W.M. WITH 8" LAP AT EDGES TO BE PLACED IN CONCRETE AT THE MIDPOINT OF THE CONCRETE PAD. CONCRETE COURSE SHALL BE 4,000 PSI 6% AIR ENTRAINED, CHLORIDE RESISTANT CONCRETE, MEDIUM BROOM FINISH.
 - EXISTING CONCRETE ENCOUNTERED ON SITE MAY BE RE-USED AS PROPOSED SUITABLE FILL MATERIALS PROVIDED THEY ARE FREE OF DELETERIOUS MATERIALS, REBAR AND ARE MECHANICALLY CRUSHED TO MEET THE REQUIRED SPECIFICATIONS INDICATED IN NOTE 3 OF THE EARTHWORK NOTES ON DRAWING G0.01, AS WELL AS NYCDOT SPECIFICATIONS.

**DETAIL 801
PAVEMENT SECTIONS**
N.T.S.

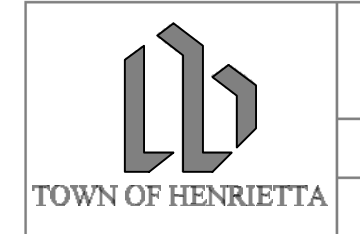


- NOTES:**
- ALL LIGHT POLE BASE FOUNDATIONS SHALL BE CAST-IN-PLACE CONCRETE, 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 - IF WATER IS PRESENT IN EXCAVATED HOLE, REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 - FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
 - FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".

**DETAIL 804
SITE LIGHTING POLE BASE**
N.T.S.



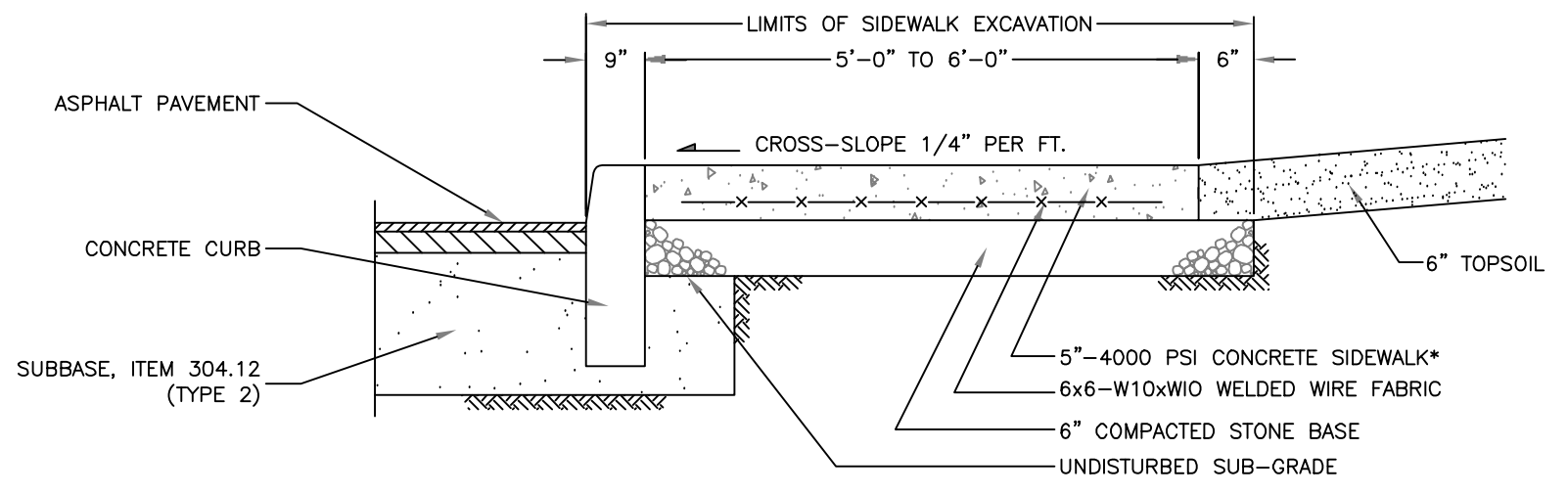
- NOTES:**
- CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
 - EXPANSION JOINTS TO BE AT 100 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOLDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
 - EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
 - CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.
 - CURB SHALL BE N.Y.S.D.O.T. TYPE BB OR EQUIVALENT.



**DETAIL 802
CONCRETE CURB**
N.T.S.



**DETAIL 805
CONCRETE SIDEWALK AT CURB**
N.T.S.



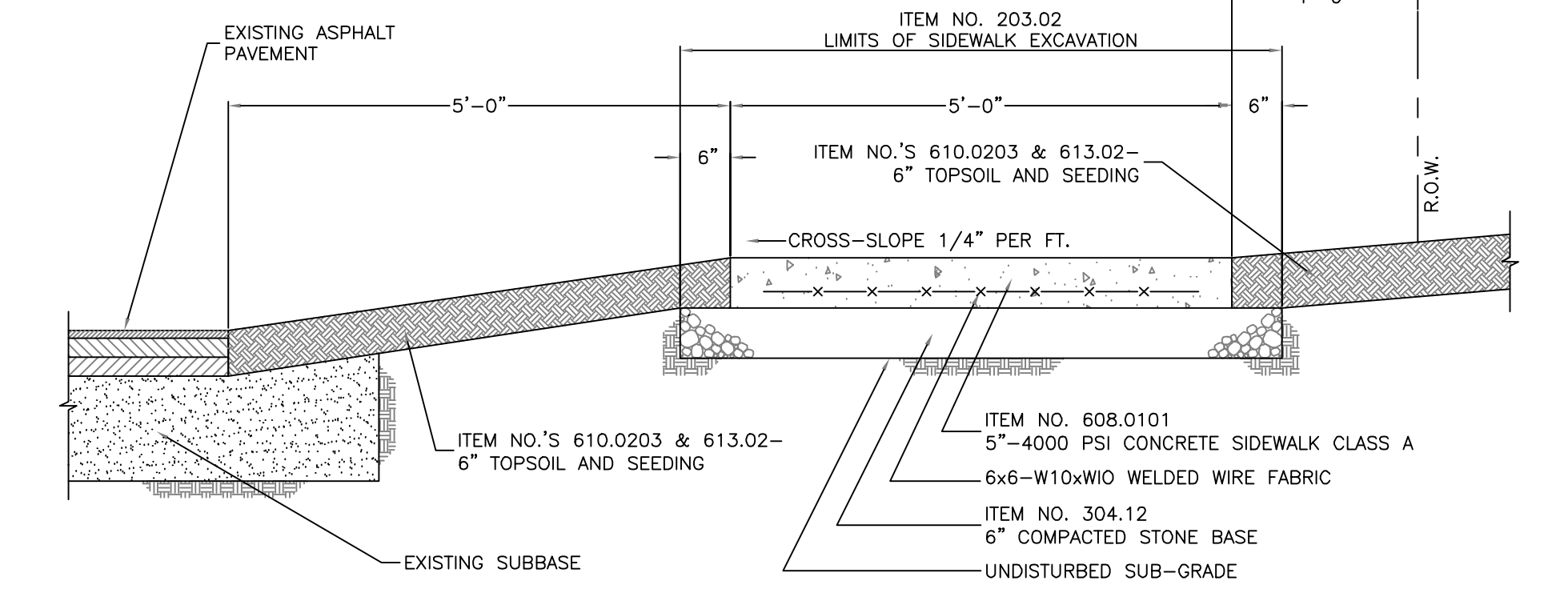
- NOTES:**
- MINIMUM CONCRETE STRENGTH SHALL BE 4000PSI AT 28 DAYS.
 - COMPACTED STONE BASE SHALL COMPLY WITH NYSDOT ITEM 304.12, TYPE 2.
 - CROSS SLOPE GRADE SHALL BE AS SHOWN ON DETAIL WHENEVER POSSIBLE AND SLOPED TOWARDS ROAD PAVEMENT.
 - WELDED WIRE FABRIC SHALL COMPLY WITH NYSDOT SPECIFICATION 709-02.
 - BROOM FINISH REQUIRED ON ALL SIDEWALKS.
 - CONTRACTOR MUST GRADE LAWN 2' FROM NEW SIDEWALK EDGE TO PROVIDE MOWABLE SLOPE AND RESTORE LAWN.

* 6" THICK AT DRIVEWAYS

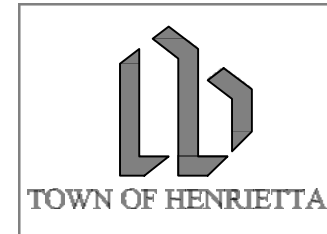
TYPICAL SIDEWALK & CURB DETAIL
N.T.S.



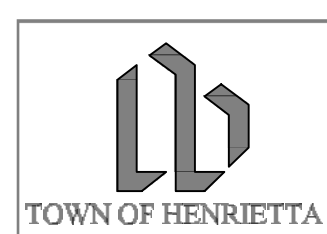
CONCRETE SIDEWALK AT CURB	
SCALE: N.T.S.	RD-12b
DATE: 03/14/2012	



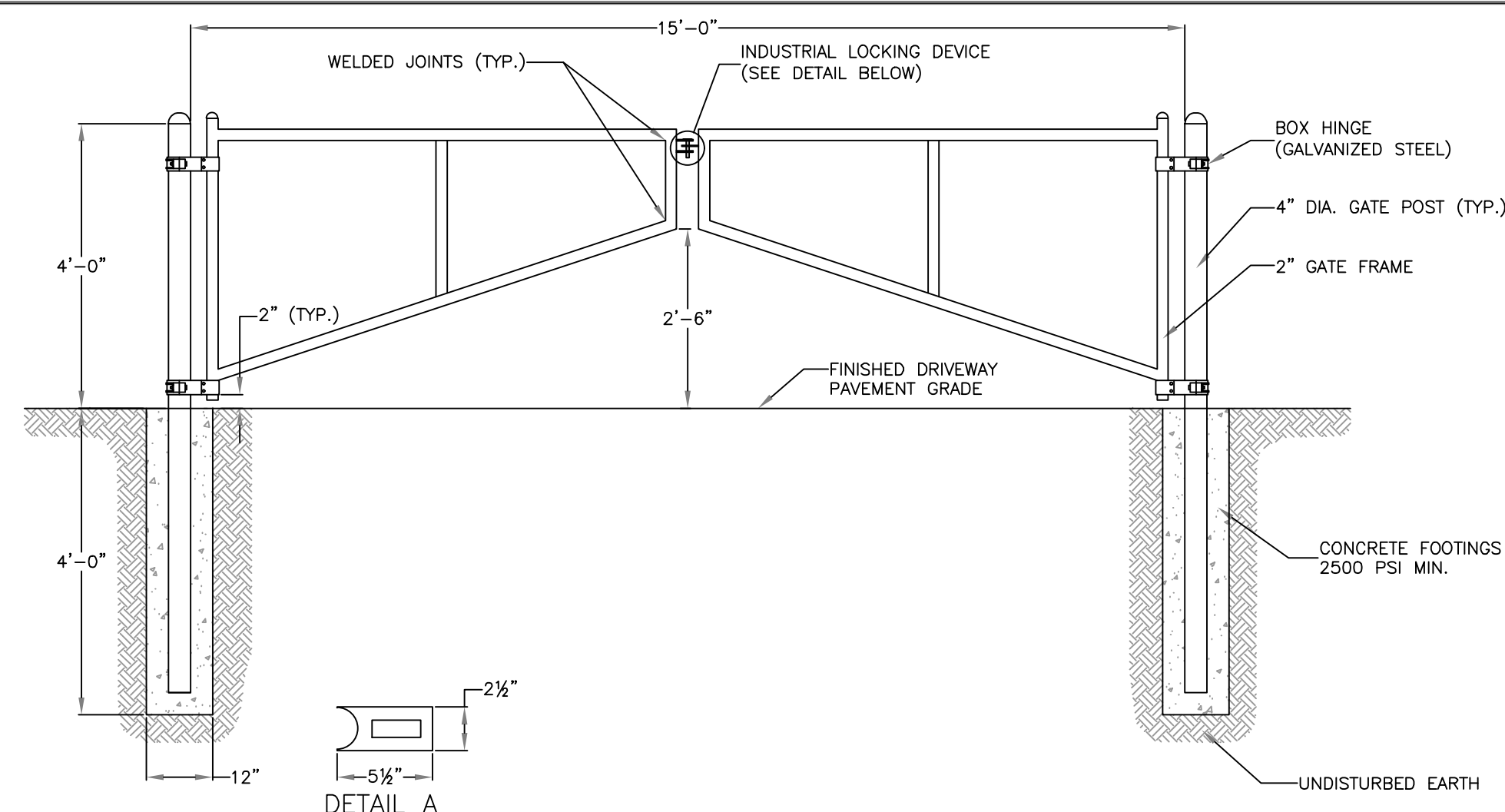
- NOTES:**
- MINIMUM CONCRETE STRENGTH SHALL BE 4000PSI AT 28 DAYS.
 - COMPACTED STONE BASE SHALL COMPLY WITH NYSDOT ITEM 304.12, TYPE 2.
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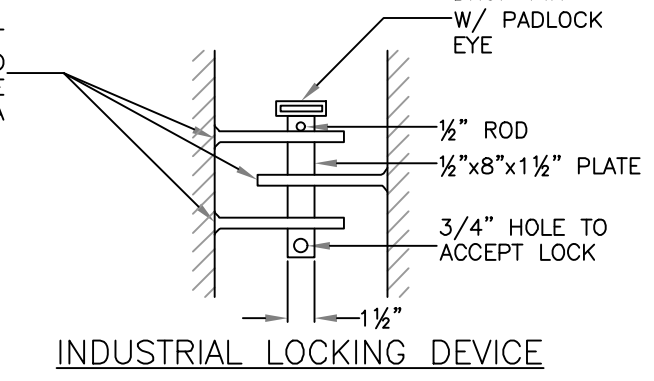
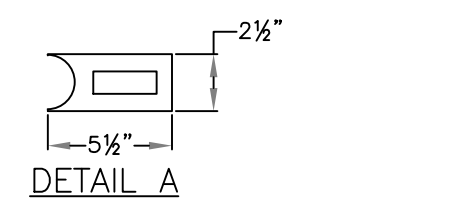
**DETAIL 803
STANDARD CONCRETE SIDEWALK**
N.T.S.



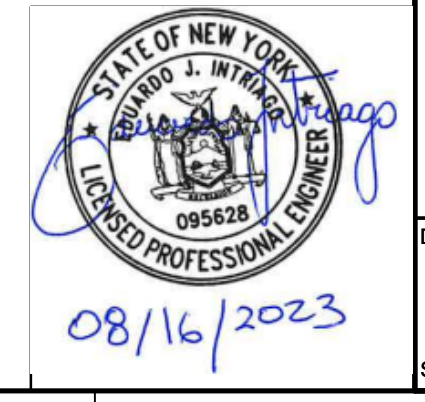
SECURITY ACCESS GATE	
SCALE: N.T.S.	SA-25
DATE: 11/15/2011	



- NOTES:**
- ALL PIPES SHALL BE HOT DIP GALVANIZED STEEL SCHEDULE 40 MIN.
 - ALL WELDS & REPAIRS SHALL BE COATED WITH COLD GALVANIZED.



**DETAIL 806
SECURITY ACCESS GATE**
N.T.S.

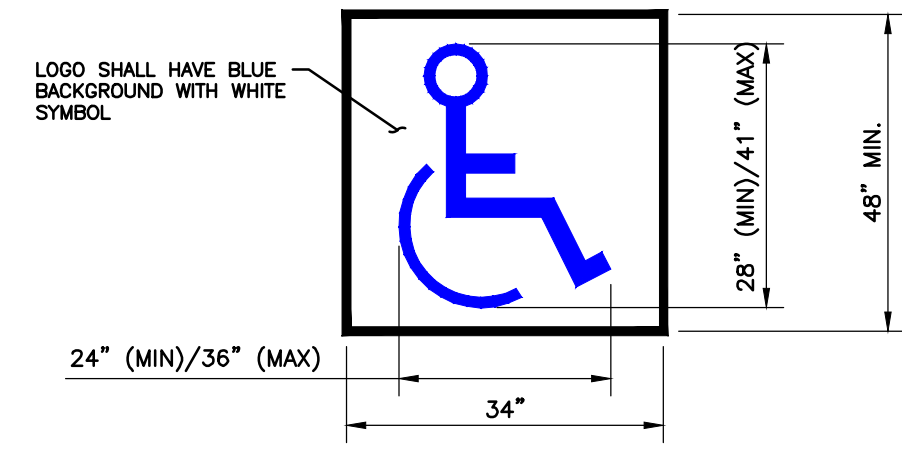


NO.	DATE	DESCRIPTION

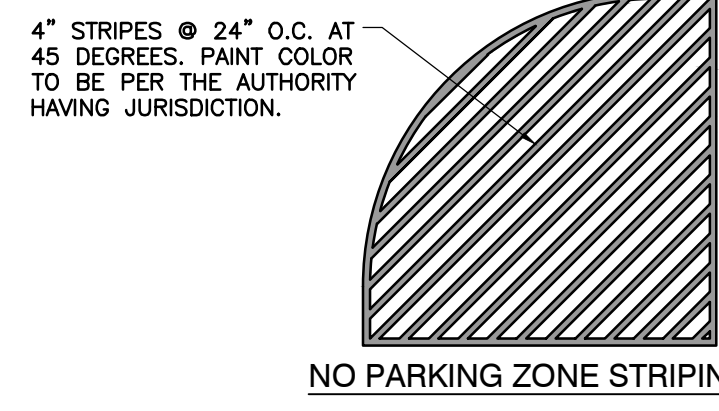
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PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK**

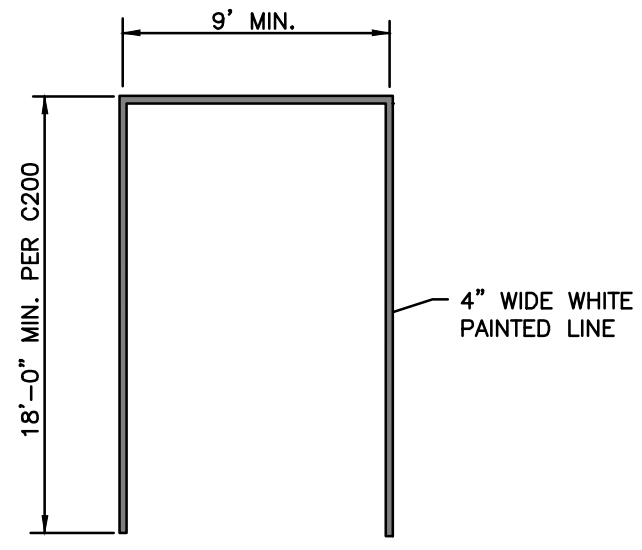
SITE DETAILS	
DATE: AUGUST 2023	DRAWN BY: JPH/DJZ
DWG SCALE: AS SHOWN	CHECKED BY: 324-396
PROJECT NO. 324-396	DRAFT
APPROVED BY:	DRAFT



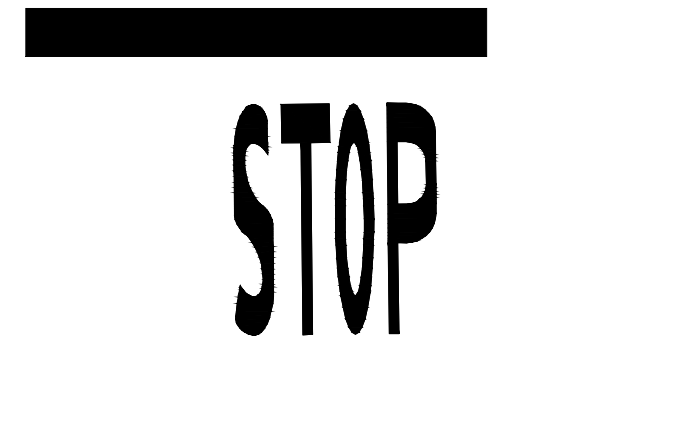
ADA ACCESSIBLE SPACE



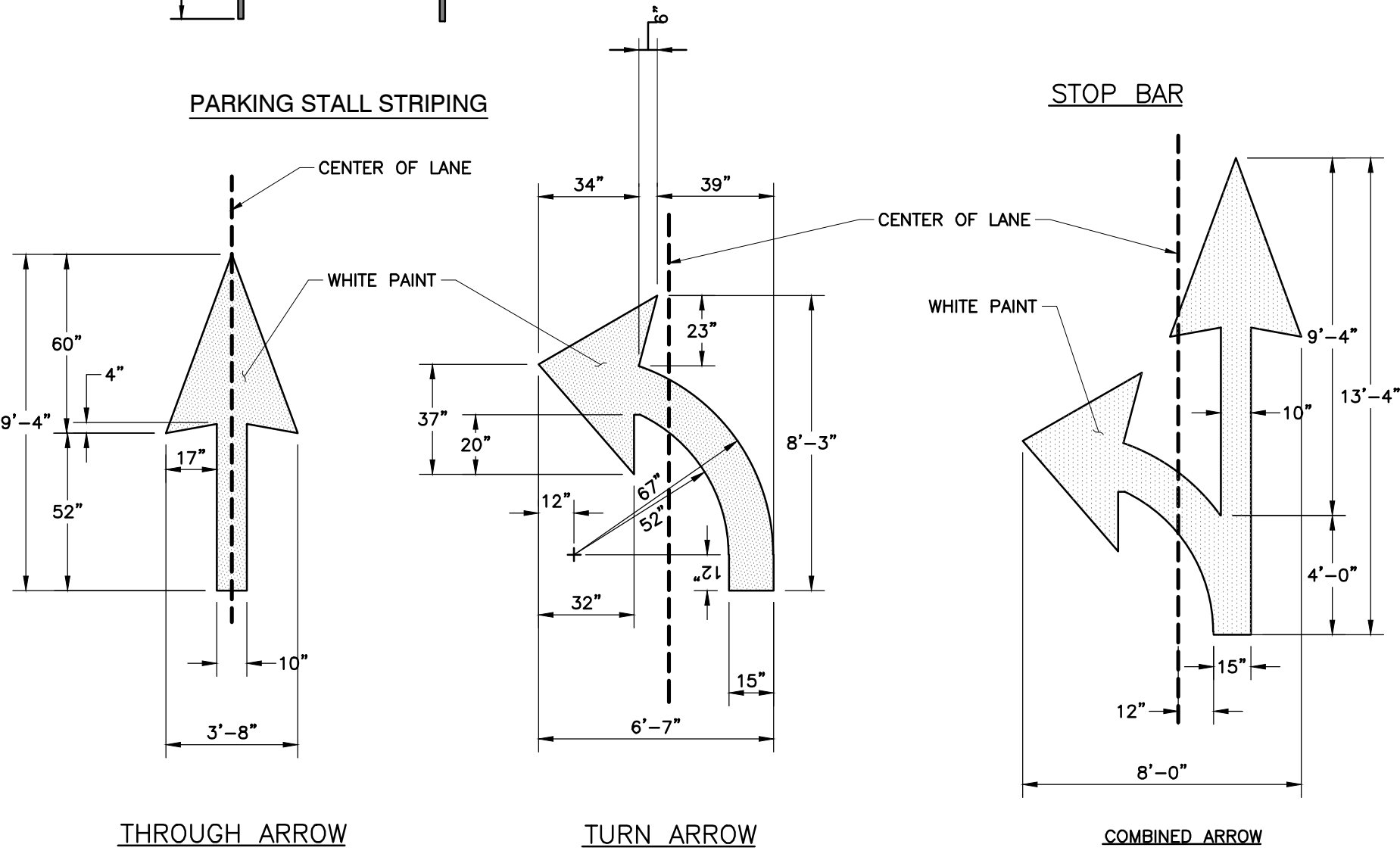
NO PARKING ZONE STRIPING



PARKING STALL STRIPING



STOP



THROUGH ARROW

TURN ARROW

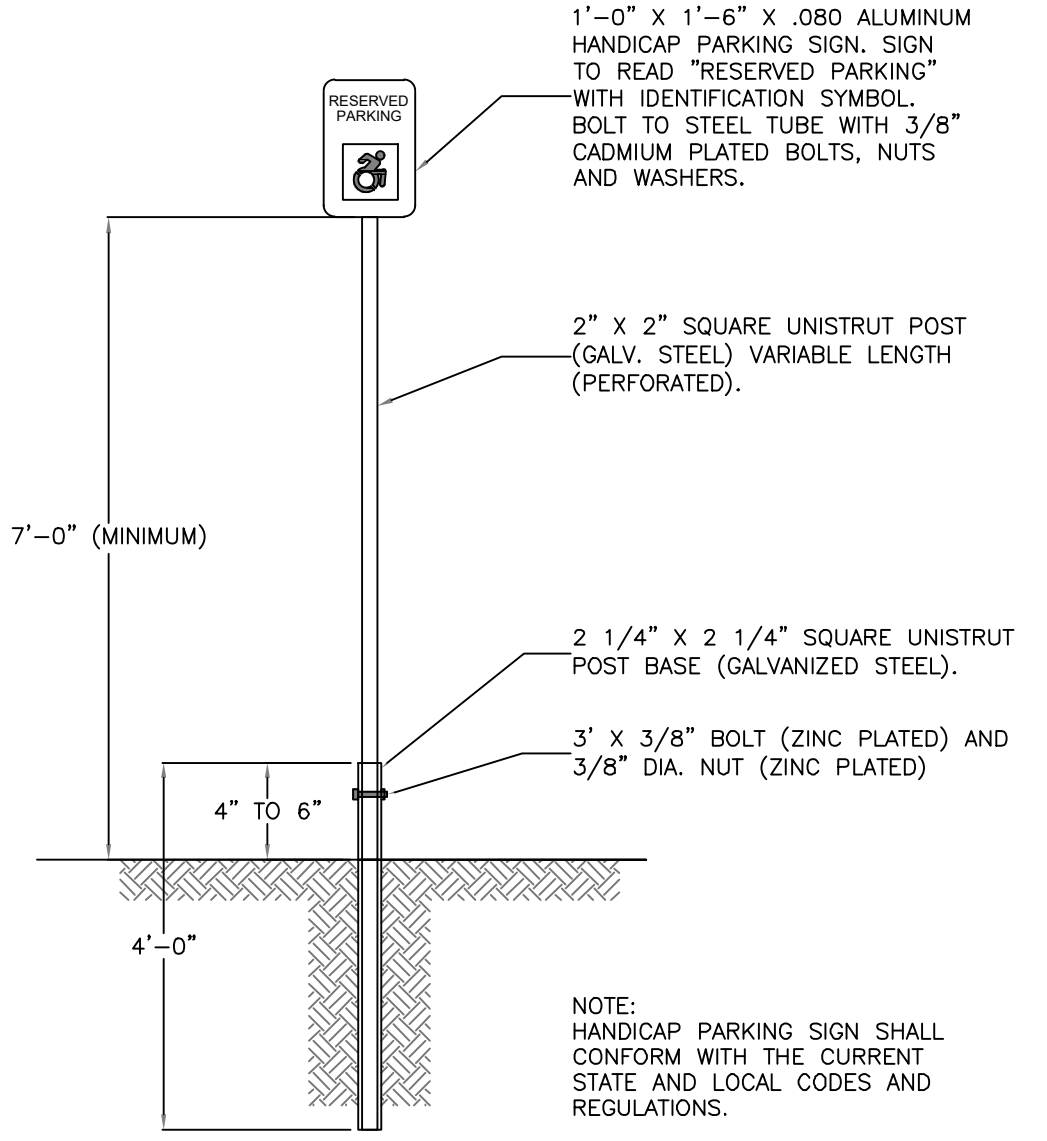
COMBINED ARROW

NOTES:

1. ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE NON-REFLECTIVE TRAFFIC PAINT OR THERMOPLASTIC AS PER DIMENSIONS AND AS SPECIFIED ON PROJECT PLANS.
2. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASE SYNTHETIC RESIN, FED. SPEC. TTP-115 TYPE 1 (OR APPROVED EQUAL). IF SEAL COAT IS USED, IT SHALL BE COMPATIBLE WITH STRIPING COMPOUND.
3. PARKING LOT MARKINGS AND STRIPING TO MEET NEW YORK DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

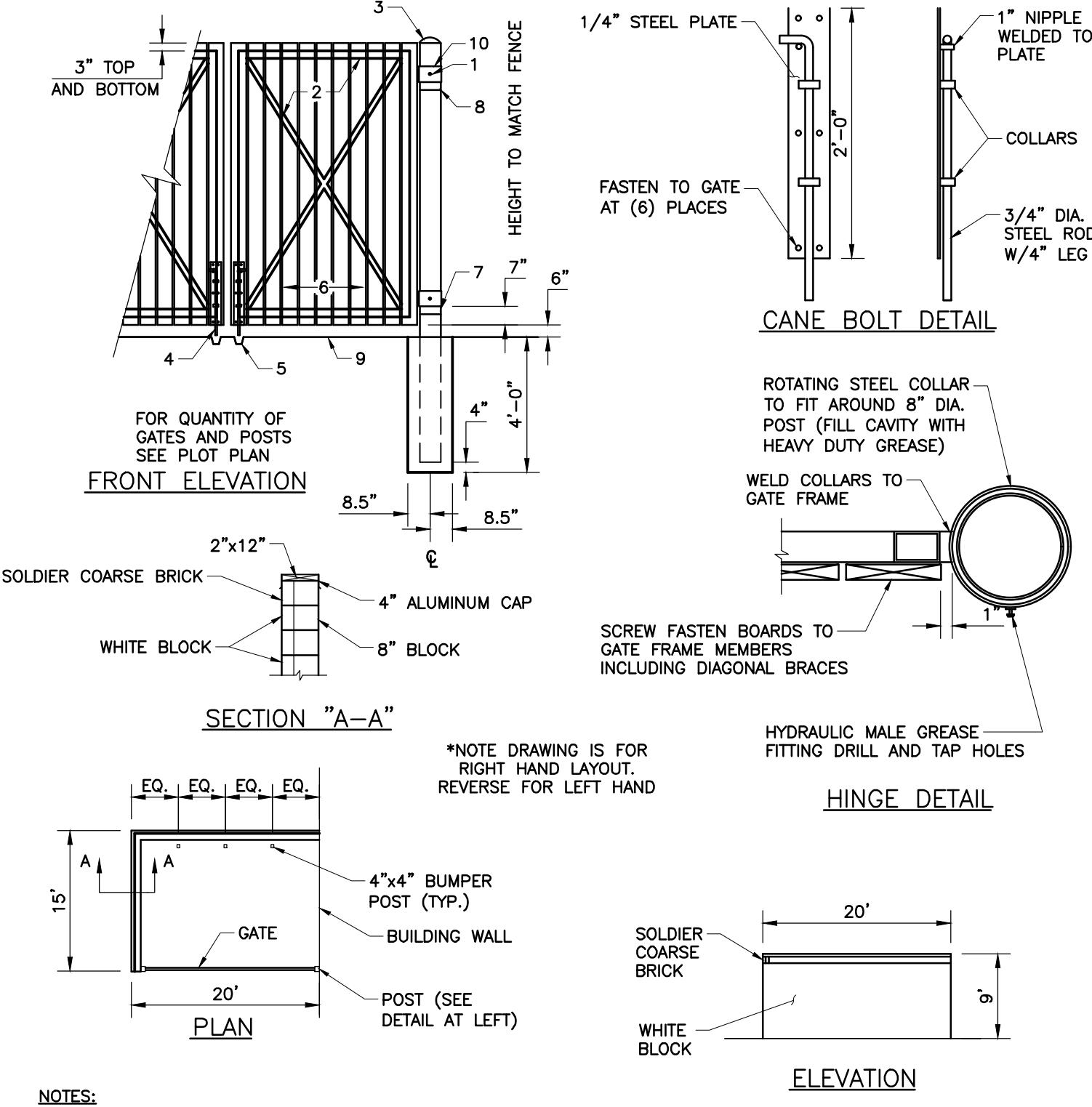
DETAIL 807
TYPICAL PAVEMENT MARKINGS

N.T.S.



HANDICAP PARKING SIGN
INSTALLATION
SCALE: N.T.S.
DATE: 10/15/2015
M-2

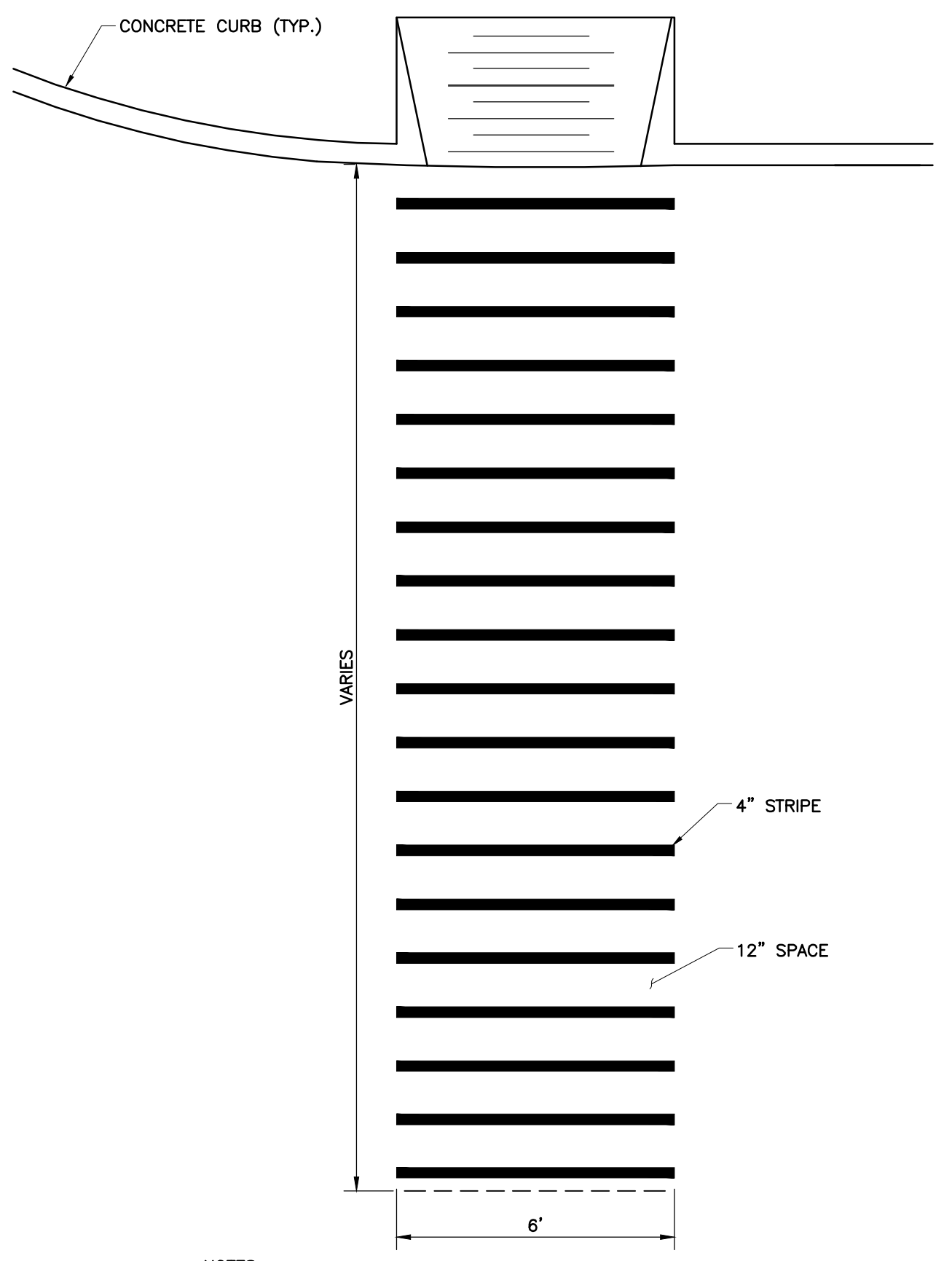
DETAIL 808
HANDICAP PARKING SIGN INSTALLATION
N.T.S.



NOTES:

1. HYDRAULIC MALE GREASE FITTING
2. 2"x2"x3/16" RECTANGULAR STEEL TUBE FRAME WITH DIAGONAL BRACING
3. 8" DIA. SCHED. 40 STEEL POST FILL WITH CONCRETE WITH CONCRETE
4. CANE BOLTS (SEE DETAIL AT RIGHT)
5. GALV. SLEEVES (EMBEDDED IN CONG.)
6. 1"x6" LUMBER PER FENCE SPECIFICATIONS
7. STATIONARY STEEL COLLAR WELDED TO POST
8. STATIONARY STEEL COLLAR BOLTED TO POST
9. CONCRETE PAD (SEE SITE LAYOUT PLAN)
10. ROTATING STEEL COLLAR (SEE HINGE DETAIL AT RIGHT)

DETAIL 809
DUMPSTER ENCLOSURE
N.T.S.



NOTES:

1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

DETAIL 810
CROSSWALK MARKINGS
N.T.S.

REVISION RECORD

NO.	DATE	DESCRIPTION

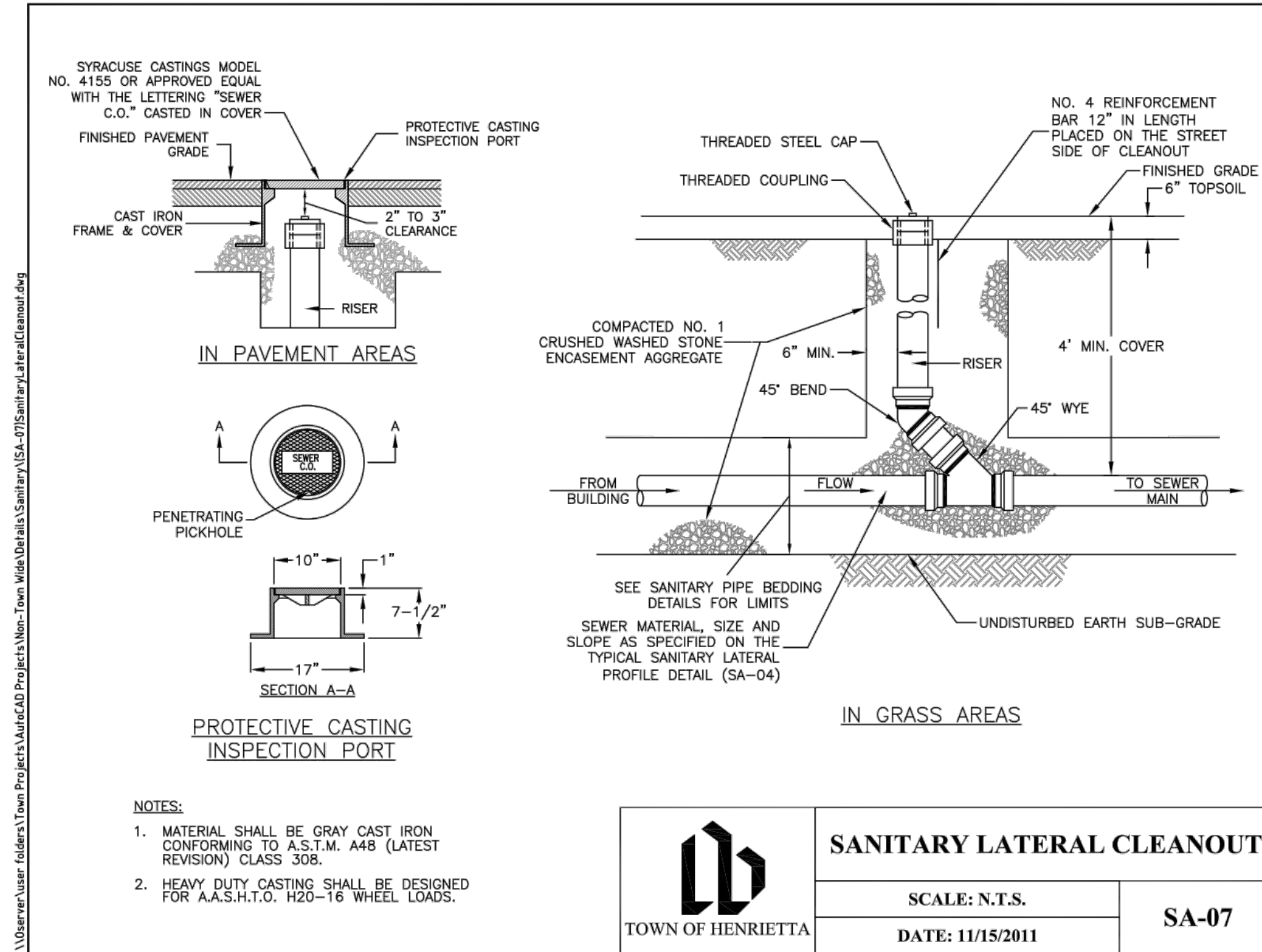
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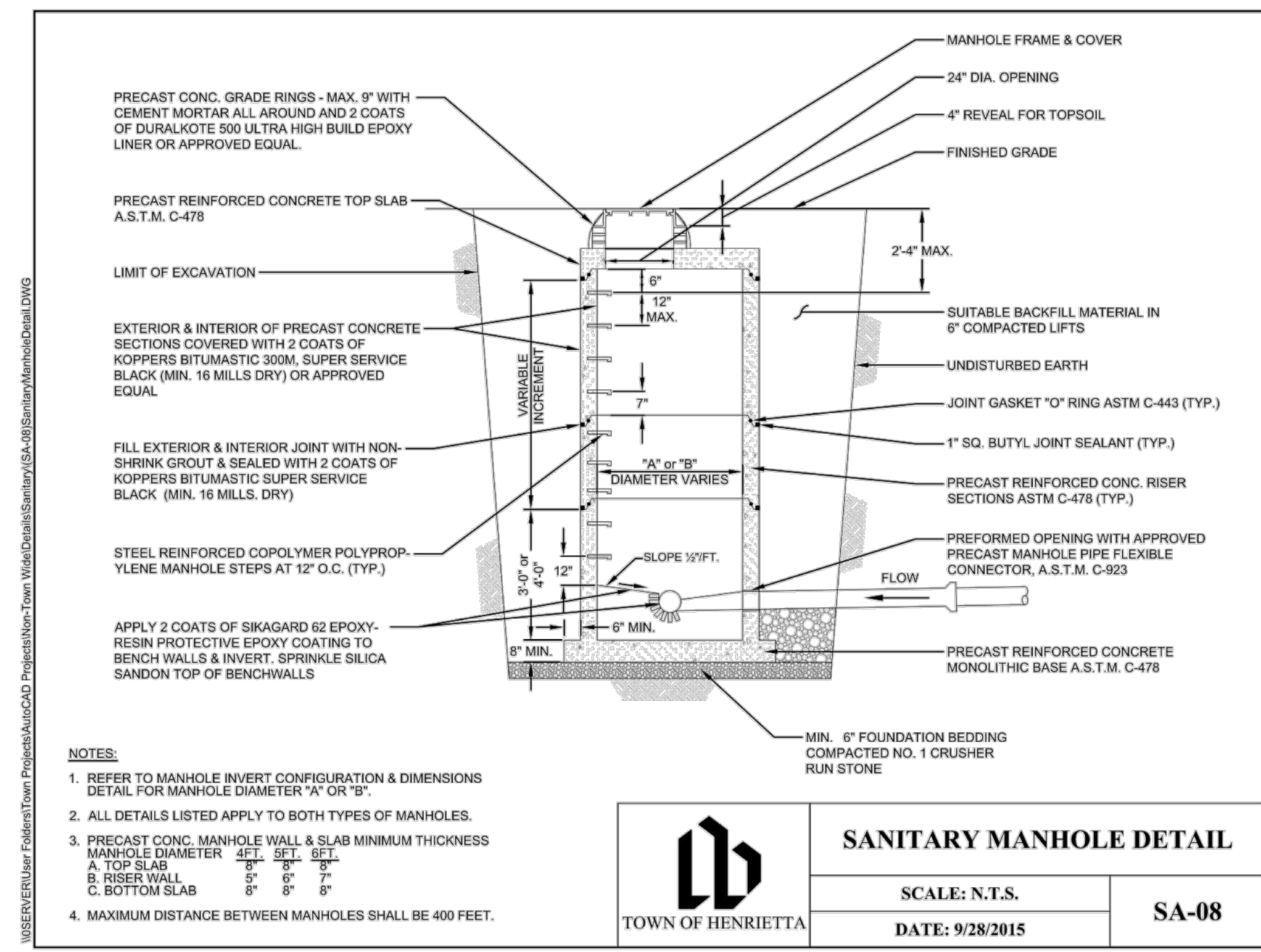
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DATE:	AUGUST 2023
DRAWN BY:	JPH/DJZ
CHECKED BY:	AS SHOWN
PROJECT NO.:	324-396
APPROVED BY:	DRAFT



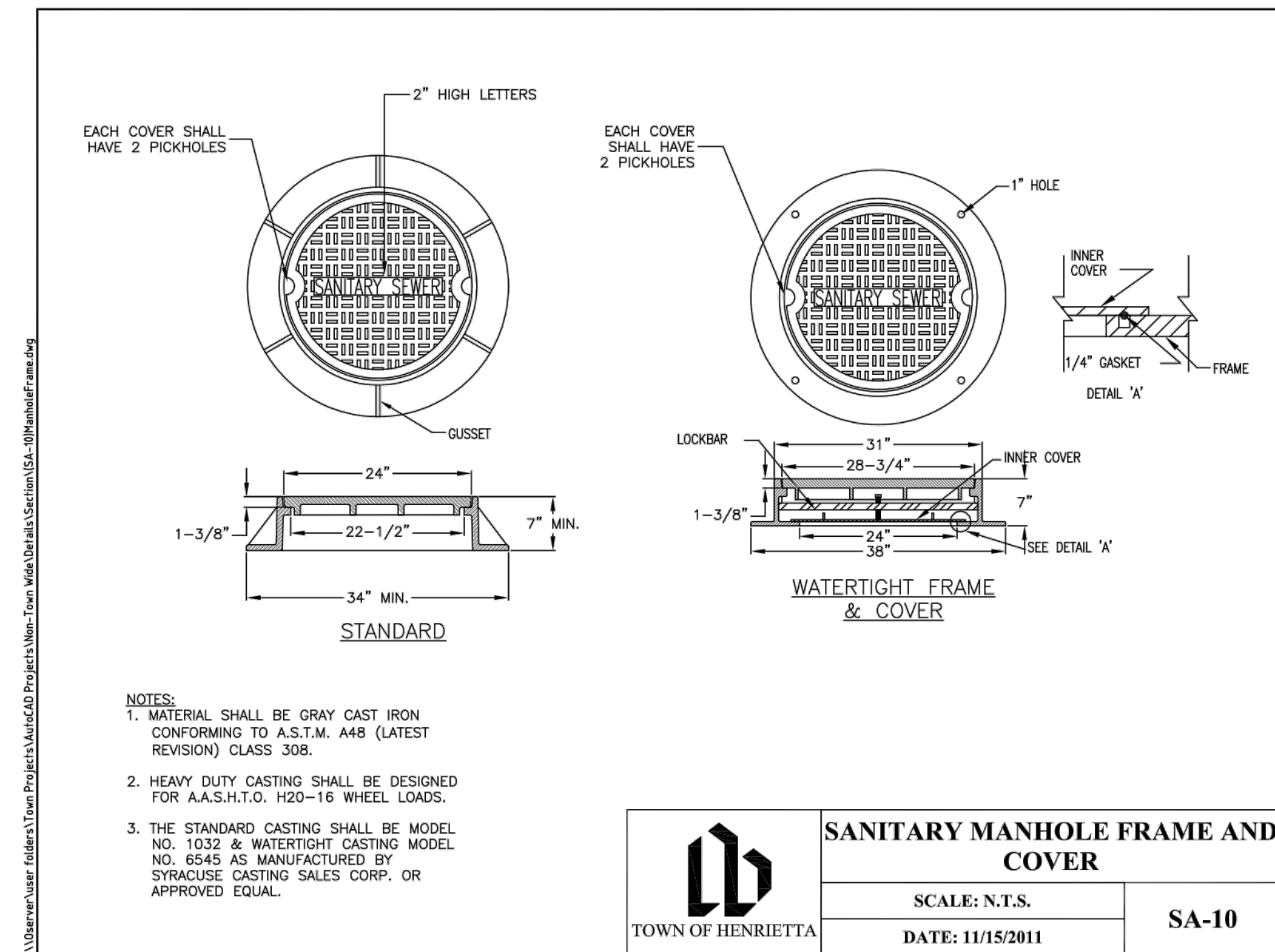
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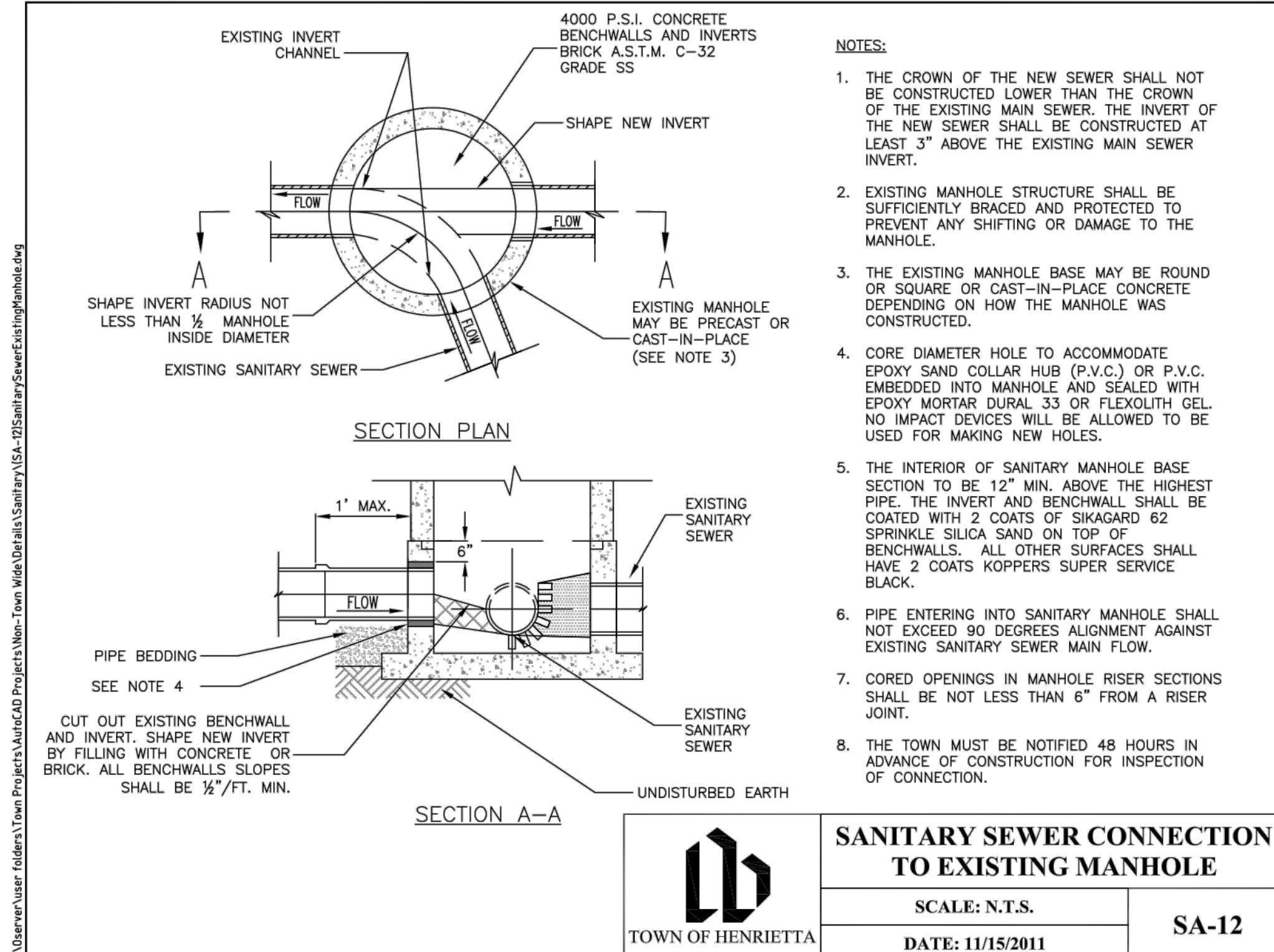
DETAIL 815
SANITARY LATERAL CLEANOUT
N.T.S.



DETAIL 816
SANITARY MANHOLE
N.T.S.



DETAIL 817
SANITARY MANHOLE FRAME AND COVER
N.T.S.



DETAIL 818
SANITARY SEWER CONNECTION TO EXISTING MANHOLE
N.T.S.

NO.	DATE	DESCRIPTION

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DWG SCALE: AS SHOWN	CHECKED BY:	324-396
PROJECT NO:	APPROVED BY:	DRAFT



TEMPORARY CONTROL MEASURES

THE E&S CONTROL FACILITIES FOR THE PROPOSED MULTIFAMILY RESIDENTIAL PROJECT ARE SHOWN ON THE E&S CONTROL PLAN. CONTROL MEASURES SHOWN ON THIS PLAN ARE MINIMUM CONTROLS TO PROTECT OFFSITE AREAS FROM SEDIMENT-LADEN RUNOFF...

A. ROCK CONSTRUCTION ENTRANCE/FIXT

A ROCK CONSTRUCTION ENTRANCE WILL BE PROVIDED AT THE LOCATION SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE STANDARD DETAIL TO REMOVE SEDIMENT/MUD FROM VEHICLES BEFORE ENTERING CITY ROADS.

INSTALLATION: TO CONSTRUCT THE PAD PLACE A LAYER OF GEOTEXTILE AND AN INITIAL 2 TO 3 INCHES OF STONE FULL WIDTH OF THE VEHICLE AND EGRESS AREA...

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE...

B. TEMPORARY VEGETATIVE STABILIZATION

INSTALLATION: FERTILIZING, SEEDING, AND MULCHING WILL BE USED AS A TEMPORARY E&S CONTROL MEASURE ON ALL NON-PAVED DISTURBED AREAS. EXPOSED SOILS, NOT SUBJECT TO COMPACTION...

- 1. SOIL PLACEMENT: SOIL SHALL BE PLACED TO THE DESIGN THICKNESS AND GRADE AND TRACKED AND ROLLED INTO PLACE IN A MANNER THAT WILL NOT CAUSE EXCESSIVE COMPACTION...
2. SOIL TESTING AND SOIL AMENDMENT (LIME AND FERTILIZER) RATES: UNLESS SOIL TEST RESULTS AND RECOMMENDATIONS FROM THE STATE AGRICULTURAL EXTENSION SERVICE LABORATORY INDICATE OTHERWISE...
3. SOIL AMENDMENT INCORPORATION: PROMPTLY TILL UNDER THE LIME AND FERTILIZER TO A DEPTH OF 2 TO 4 INCHES...

IN SOME LOCATIONS SHOWN ON THE DRAWINGS, SUCH AS SLOPES STEEPER THAN 3:1 (H:V), EROSION CONTROL BLANKET OR TURF REINFORCEMENT MAT (TRM) MAY BE THE ONLY PERMISSIBLE MULCHING OPTION...

TACK STRAW IN PLACE USING EITHER: 1) A CRIMPER DISK; 2) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED OVER THE STRAW AT A RATE OF 800 TO 1,000 POUNDS PER ACRE; OR 3) WATER SOLUBLE LINEAR POLYACRYLATE (SODIUM ACRYLATE/ACRYLAMIDE) COPOLYMER 'POLYMER' AT A RATE OF AT LEAST 8 POUNDS PER ACRE...

TACK WOOD/CELLULOSE FIBER HYDROMULCH IN PLACE USING 'POLYMER' SPECIFIED ABOVE AT A RATE OF AT LEAST 4 POUNDS PER ACRE APPLIED IN A SLURRY WITH THE HYDROMULCH.

MAINTENANCE: WATER AS NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION. IN MOWED AREAS, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 4 AND 6 INCHES TALL FOR FIRST TWO MONTHS OF GROWTH DURING THE ESTABLISHMENT YEAR...

C. COMPOST FILTER SOCK

THE COMPOST FILTER SOCK AS MANUFACTURED BY FILTERXX, OR EQUIVALENT SHALL BE USED IN THE LOCATIONS INDICATED ON THE PLAN. REFER TO TABLE 5.1 AND TABLE 5.2, SHEET C902, FOR COMPOST STANDARDS.

- 1. PLACE COMPOST FILTER SOCKS WHERE INDICATED AT LEVEL GRADE ALONG CONTOURS. PERPENDICULAR TO THE DIRECTION OF WATER FLOW...
2. USE WOODEN STAKES TO SECURE THE FILTER SOCKS. WOODEN STAKES MUST BE 2-INCHES BY 2-INCHES AND OF SUFFICIENT LENGTH THAT STAKES WILL BE EMBEDDED A MINIMUM 12-INCHES INTO THE SOIL...
3. WHEN MORE THAN ONE LENGTH OF FILTER SOCK IS USED, OVERLAP ENDS A MINIMUM OF 24-INCHES...
4. BACKFILL ALONG UPSLOPE SIDE OF FILTER SOCKS WITH LOOSE COMPOST...

MAINTENANCE: ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT...

D. STORM SEWER INLET PROTECTION

CURB AND GRATED INLETS ARE PROTECTED FROM THE INTRUSION OF SEDIMENT THROUGH A VARIETY OF MEASURES AS SHOWN ON THE DETAILS INCLUDED IN THE CONSTRUCTION DRAWINGS. THE PRIMARY MECHANISM IS TO PLACE CONTROLS IN THE PATH OF FLOW SUFFICIENT TO SLOW THE SEDIMENT-LADEN WATER...

INLET FILTER BAGS WILL BE PROVIDED AT ALL STORM SEWER INLETS AS THEY ARE INSTALLED TO FILTER SEDIMENT-LADEN WATER PRIOR TO ENTERING THE STORM SEWER SYSTEM.

INSTALLATION: THE INLET FILTER BAGS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE: ALL INLET FILTER BAGS SHALL BE CLEANED AND/OR REPLACED WHEN THE BAG IS HALF FULL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL DAMAGED INLET FILTER BAGS SHALL BE REPLACED...

E. EROSION CONTROL BLANKET

NORTH AMERICAN GREEN SC150BN OR APPROVED EQUIVALENT EROSION CONTROL BLANKET WILL BE USED TO PREVENT EROSION FROM THE GRADING OPERATIONS AND INSTALLED ON PERMANENT SLOPES. THE EROSION CONTROL BLANKETS WILL PROVIDE EROSION PROTECTION AND ASSIST WITH VEGETATION ESTABLISHMENT FOR UP TO 12 MONTHS...

INSTALLATION:

- 1. PREPARE SOIL ON ALL ESTABLISHED TEMPORARY AND PERMANENT SLOPE AND ANY NECESSARY APPLICATION OF FERTILIZER AND SEED. SEE THE SEED MIXTURE TABLE LOCATED ON THE E&S CONTROL PLAN NOTES SHEET BEFORE INSTALLING EROSION CONTROL BLANKET.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE EROSION CONTROL BLANKET IN A 4 INCH BY 6 INCH WIDE TRENCH WITH APPROXIMATELY 12 INCHES OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH...
3. ROLL THE EROSION CONTROL BLANKET DOWN THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE...
4. THE USE OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2 TO 5 INCH OVERLAP.

MAINTENANCE: THE EROSION CONTROL BLANKETS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT TO LOOK FOR SCOUR/WASHOUT AREAS. ANY SCoured AREAS SHALL BE FIXED IMMEDIATELY BY COMPACTING SOIL IN THE WASHOUT AREA AND PLACING SEED...

F. CONSTRUCTION WASTE RECYCLING/DISPOSAL

CONSTRUCTION WASTES ARE REFUSE MATERIALS THAT ARE EXISTING ON-SITE OR GENERATED DURING THE COURSE OF CONSTRUCTION AND INCLUDE, BUT ARE NOT LIMITED TO, PAPER, PLASTIC, RUBBER, WOOD, TEXTILE, AND METAL PRODUCTS.

INSTALLATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING WASTE RECYCLING/DISPOSAL AREAS ON THE E&S PLAN ONCE THEY HAVE BEEN DETERMINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL WASTE RECYCLING/DISPOSAL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

MAINTENANCE: ALL CONSTRUCTION WASTE SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF AT A STATE-APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL/STATE CODES AND PERMIT REQUIREMENTS. THE BURNING OF WASTE MATERIALS WILL NOT BE PERMITTED.

G. PUMPED WATER FILTER BAGS

FILTER BAGS MAY BE USED TO FILTER WATER PUMPED FROM DISTURBED AREAS PRIOR TO DISCHARGING TO WATERS OF THE COMMONWEALTH. THEY MAY ALSO BE USED TO FILTER WATER PUMPED FROM THE SEDIMENT STORAGE AREAS OF SEDIMENT BASINS.

INSTALLATION: FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH-STRENGTH, DOUBLE-STITCHED 'J'-TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.

BAGS SHALL BE LOCATED IN WELL VEGETATED (GRASSY) AREAS AND DISCHARGE ONTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR ONE-HALF THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

MAINTENANCE: PUMP AND FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY, AND SHALL NOT RESUME UNTIL THE PROBLEM IS CORRECTED. SEDIMENT FROM THE FILTER BAG SHALL BE SPREAD ONSITE UPSTREAM FROM ESTABLISHED SEDIMENT CONTROLS, AND ALLOWED TO DRY. ONCE DRY, THE SEDIMENT MAY BE INCORPORATED ONSITE AS PART OF THE FILL.

G. TOPSOIL/MATERIAL STOCKPILE AREA

THERE WILL BE A DESIGNATED MATERIAL STOCKPILE AREA LOCATED ON THE PROPERTY. ALL SITE DEMOLITION MATERIAL SHALL BE STOCKPILED THERE UNTIL TRANSPORTED TO AN APPROVED PADEP DISPOSAL AREA.

INSTALLATION: INSTALL COMPOST FILTER SOCKS AROUND MATERIAL STOCKPILE.

MAINTENANCE: INSPECT TEMPORARY STOCKPILES WEEKLY, REPAIR OR REPLACE COMPOST FILTER SOCK AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE SOCK MATERIAL.

H. CONCRETE WASHOUT

CONCRETE WASHOUTS SHALL BE CONSTRUCTED ONSITE TO CONTAIN ALL WASHOUT WATER FROM CONCRETE CONSTRUCTION ACTIVITIES. WASHOUTS SHALL BE CLEARLY MARKED.

INSTALLATION: WASHOUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAIL PROVIDED.

MAINTENANCE: WASHOUTS SHALL BE CLEANED OUT WHEN ACCUMULATED MATERIALS TAKE UP 75% OF THE AVAILABLE STORAGE CAPACITY. MATERIALS SHALL BE DISPOSED OF IN A PADEP-APPROVED FACILITY. MAKE ANY REPAIRS TO THE CONTAINMENT FACILITY AS NEEDED.

CONSTRUCTION STAGING GENERAL NOTES

- 1. AT LEAST SEVEN (7) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING...
2. UPON INSTALLATION AND/OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs, AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CD-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT...
3. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE NEW YORK STATE ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-962-7962 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES...
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS...
5. IMMEDIATELY STABILIZE ALL DISTURBED AREAS UPON A TEMPORARY CESSATION OF WORK (4 DAYS OR MORE) OR AS SOON AS ANY GRADED AREA REACHES FINAL GRADE...
6. AS SOON AS SLOPES, CHANNELS, PONDS AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE PERMANENTLY STABILIZED. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.

CONSTRUCTION SEQUENCE

THE FOLLOWING IS A GENERALIZED CONSTRUCTION SEQUENCE FOR THE EROSION AND SEDIMENTATION CONTROL PHASE OF THE PROJECT. THIS CONSTRUCTION SEQUENCE WAS DEVELOPED TO PROVIDE THE NECESSARY EROSION AND SEDIMENTATION CONTROL PROTECTION THROUGHOUT EARTHMOVING ACTIVITIES. THE CONTRACTOR SHALL PERFORM ALL NECESSARY ACTIVITIES FOR PROPER AND COMPLETE EXECUTION OF THIS PLAN...

PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITY, THE CONTRACTOR SHALL CLEARLY DELINEATE SENSITIVE AREAS, AREAS PROPOSED FOR INFILTRATION BMPs, THE LIMITS OF CLEARING, AND TREES THAT ARE TO BE CONSERVED WITHIN THE PROJECT SITE. THE CONTRACTOR SHALL INSTALL APPROPRIATE BARRIERS WHERE EQUIPMENT MAY NOT BE PARKED, STAGED, OPERATED, OR LOCATED FOR ANY PURPOSES...

- 1. MOBILIZE EQUIPMENT, CONSTRUCTION TRAILER, MATERIAL STORAGE BINS, ETC. ONSITE.
2. LAYOUT THE LIMITS OF THE SITE, ESTABLISH BENCHMARKS, AND REFERENCE POINTS. FLAG THE LIMIT OF DISTURBANCE. DO NOT DISTURB ANY TREES OR VEGETATION LOCATED OUTSIDE OF THOSE LIMITS, WHILE MINIMIZING THE DISTURBANCE OF ALL VEGETATION WITHIN.
3. INSTALL THE ROCK CONSTRUCTION ENTRANCE AND TEMPORARY CONCRETE WASHOUT FACILITIES AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE STANDARD DETAILS PRIOR TO EARTH MOVING ACTIVITIES.
4. INSTALL PROPOSED INLET FILTER BAGS AT THE EXISTING INLET LOCATIONS SPECIFIED ON THE APPROVED PLANS AND IN ACCORDANCE WITH THE DETAILS.
5. PERFORM INITIAL CLEARING FOR INSTALLATION OF PERIMETER BMPs. LIMIT CLEARING AND GRUBBING TO AREAS NECESSARY TO CONSTRUCT BMPs. REMOVE EXISTING SWALE THAT DRAINS TO THE EXISTING STORMWATER BASIN LOCATED ADJACENT TO THE SOUTHWEST PARCEL CORNER...
6. INSTALL COMPOST FILTER SOCK AT LOCATIONS SHOWN ON THE PLAN AND IN ACCORDANCE WITH THE STANDARD DETAILS.
7. BEGIN EXCAVATION/CONSTRUCTION OF THE PROPOSED SEDIMENT BASIN IN ACCORDANCE WITH THE APPROVED PLANS AND DETAILS.
8. INSTALL EROSION CONTROL BLANKET AND TEMPORARY SLOPE STABILIZATION WITHIN SEDIMENT BASIN AND EMBANKMENT SLOPES. INSTALL OUTLET STRUCTURE OS1 AND OUTFALL PIPE.
9. CLEAR AND GRUB AREAS OF THE SITE AS REQUIRED FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS. ALL DEMOLITION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF AT AN APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS...
10. LAYOUT THE LIMITS OF PROPOSED GRADING AND ESTABLISH ADDITIONAL BENCHMARKS AND REFERENCE POINTS.
11. BEGIN GRADING ACTIVITIES FOR THE PROPOSED BUILDINGS, PARKING, AND OTHER SITE IMPROVEMENT AREAS. STABILIZE SITE AREA WITH GRAVEL SUB-BASE OR TEMPORARY SEEDING, IN ACCORDANCE WITH THE STANDARD NOTES AND DETAILS.
12. SLOPES 3H:1V OR STEEPER THAT HAVE REACHED FINAL GRADE SHALL RECEIVE EROSION CONTROL BLANKETING (ECB) IN ACCORDANCE WITH THE STANDARD DETAIL. ECB SHALL BE APPLIED AS NECESSARY THROUGHOUT THE REST OF THIS SEQUENCE DURING EARTHWORK ACTIVITIES.
13. BEGIN CONSTRUCTION OF PROPOSED BUILDINGS.
14. BEGIN INSTALLATION OF THE STORMWATER INLETS AND MANHOLES, CONVEYANCE PIPES, ROOF DRAINS, AND ENDWALLS. ENFORCE ALL STORMWATER RUNOFF DIRECTION DOWNSTREAM SUCH THAT PONDING OR FLOODING DOES NOT OCCUR. INSTALL SPECIFIED OUTLET PROTECTION AT ALL STORM SEWER OUTFALL LOCATIONS.
15. INSTALL PROPOSED INLET FILTER BAGS AT THE LOCATIONS SPECIFIED ON THE APPROVED PLANS AND IN ACCORDANCE WITH THE DETAILS.
16. BEGIN FINE GRADING ACTIVITIES FOR THE REMAINDER OF THE SITE AROUND ALL BUILDINGS. ALL SLOPES 3H:1V OR STEEPER THAT HAVE REACHED FINAL GRADE SHALL RECEIVE EROSION CONTROL BLANKETING IN ACCORDANCE WITH THE STANDARD DETAIL.
17. AS FINAL GRADES ARE ACHIEVED, BEGIN TRENCHING AND INSTALLING THE REMAINING PERMISSIBLE UTILITIES AS SHOWN ON THE PLANS AND STANDARD DETAILS. EXCAVATE TRENCHES ONLY AS REQUIRED. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. PLACE EXCAVATED MATERIAL ON THE UPSLOPE SIDE OF THE TRENCH. ANY ACCUMULATED WATER SHALL BE REMOVED BY PUMPING THROUGH A PUMPED WATER FILTER BAG. ON THE DAY FOLLOWING THE PIPE PLACEMENT AND TRENCH BACKFILL, THE DISTURBED AREA SHALL BE GRADED TO FINAL SUBGRADE AND SEEDED AND MULCHED OR STABILIZED WITH STONE PER THE PERMANENT SEEDING SCHEDULE.
18. COMPLETE CONSTRUCTION OF ALL PROPOSED CURBS, SIDEWALKS, ROADWAYS, AND PARKING AREAS.
19. INSTALL PLANTINGS IN ACCORDANCE WITH THE LANDSCAPING PLAN. ENSURE PERMANENT VEGETATIVE STABILIZATION IN AREAS WHERE FINAL GRADE SHALL RECEIVE EROSION CONTROL SPECIFICATIONS ON E&S NOTES SHEET. RESEED IF A UNIFORM 70% VEGETATIVE COVER IS NOT ACHIEVED.
20. HALT ALL ACTIVITIES AND CONTACT CEC PRIOR TO THE BEGINNING OF THE NEXT STEP IN THE CONSTRUCTION SEQUENCE. THE CONVERSION OF THE SEDIMENT BASIN TO THE DETENTION BASIN CONSISTS OF CRITICAL STAGES THAT A LICENSED PROFESSIONAL OR DESIGNEE MUST BE ONSITE FOR INSPECTION. LICENSED PROFESSIONALS MUST BE LICENSED IN THE STATE OF NY.
21. BEGIN CONVERSION OF THE SEDIMENT BASIN TO THE PROPOSED DETENTION BASIN IN ACCORDANCE WITH THE APPROVED PLANS AND DETAILS. REMOVE TEMPORARY SEDIMENT SKIMMER FROM THE PERMANENT OUTLET STRUCTURE. PLUG THE ORIFICE FROM THE SEDIMENT SKIMMER CONNECTION. INSTALL PERMANENT OUTLET STRUCTURE. INSTALL GRATE ON TOP OF PERMANENT OUTLET STRUCTURE IN ACCORDANCE WITH THE APPROVED DETAILS. REMOVE ANY SEDIMENT FROM BASIN BOTTOM. INSTALL PERMANENT PLANTINGS, LANDSCAPING, AND STABILIZATION WITHIN BASIN FOOTPRINT IN ACCORDANCE WITH THE APPROVED PLANS AND DETAILS.
22. ONCE CONSTRUCTION IS COMPLETED, REMOVE ANY SEDIMENT THAT MAY HAVE ACCUMULATED IN THE PROPOSED STORM SEWER SYSTEM OR PERMANENT BASIN.
23. REMOVE EXISTING CONCRETE OUTLET STRUCTURE AND EXISTING RISER OUTLET STRUCTURE IN THE EXISTING REGIONAL DETENTION FACILITY.
24. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMP'S.
25. AFTER ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN FULLY STABILIZED, ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION ACTIVITIES ARE COMPLETE, AND HAVE ACHIEVED UNIFORM 70% VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF E&S BMP'S.
26. REMOVE THE ROCK CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY AND RE-ESTABLISH VEGETATIVE COVER IN THE DISTURBED AREAS.
27. ONCE APPROVAL IS RECEIVED FROM THE LOCAL CONSERVATION DISTRICT, REMOVE ALL CRIBBING, FILTER SOCKS, PERIMETER COMPOST FILTER SOCKS, AND INLET FILTER BAGS. DISPOSE OF ANY REMAINING SILT, COMPOST FILTER SOCKS, AND SILT SACKS AT A STATE-APPROVED WASTE SITE. SEED ALL REMAINING DISTURBED AREAS WITHIN FOUR (4) DAYS.

PERMANENT CONTROL MEASURES

PERMANENT VEGETATIVE STABILIZATION

INSTALLATION: FERTILIZING, SEEDING, AND MULCHING WILL BE USED AS A PERMANENT E&S CONTROL MEASURE ON ALL NON-PAVED DISTURBED AREAS. WITH REGARD TO THE PERMANENT SEED MIX, REFER TO THE SEEDING MIXTURE TABLE PROVIDED IN THE E&S CONTROL PLAN NOTES SHEET. UNLESS THE OWNER'S REPRESENTATIVE DIRECTS OTHERWISE, VEGETATION SHALL BE ESTABLISHED AS FOLLOWS:

- 1. SOIL PLACEMENT: SOIL SHALL BE PLACED TO THE DESIGN THICKNESS AND GRADE AND TRACKED AND ROLLED INTO PLACE IN A MANNER THAT WILL NOT CAUSE EXCESSIVE COMPACTION. IF SOIL DENSITY IS VERIFIED IN THE FIELD, SOIL SHALL BE COMPACTED TO A DRY DENSITY BETWEEN 75 AND 100 POUNDS PER CUBIC FOOT AFTER CORRECTION TO ZERO PERCENT COARSE FRAGMENT (PARTICLES LARGER THAN 2 MILLIMETERS) CONTENT.
2. SOIL TESTING AND SOIL AMENDMENT (LIME AND FERTILIZER) RATES: UNLESS SOIL TEST RESULTS AND RECOMMENDATIONS FROM THE STATE AGRICULTURAL EXTENSION SERVICE LABORATORY OR EQUIVALENT SOIL TESTING LABORATORY INDICATE OTHERWISE, EVENLY APPLY: 1) AGRICULTURAL GRADE GROUND LIMESTONE AT A RATE OF 8 TONS PER ACRE (CALCIUM CARBONATE EQUIVALENT BASIS); 2) FERTILIZERS TO SUPPLY 100-200 POUNDS PER ACRE N-P2O5-K2O (EXAMPLE: 10-20-20 FERTILIZER AT A RATE OF 1000 POUNDS PER ACRE); AND 3) 'BIOPAK' MICROBIAL SOIL INOCULANT (DISTRIBUTED BY PLANT HEALTH CARE, INC. [WWW.PLANTHEALTHCARE.COM OR 800-421-9051]). IF APPROVED PASTEURIZED PELLETED POLTRY MANURE (PASTEURIZED PPM) WITH AN ANALYSIS OF AT LEAST 4-2-3 (PERCENT N-P2O5-K2O) IS USED, IT WILL BE ASSUMED THAT ONE TON MANURE WILL SUBSTITUTE FOR 60-40-60 POUNDS N-P2O5-K2O AVAILABLE IN THE FIRST YEAR. A PRE-APPROVED SOURCE OF PASTEURIZED PPM IS 'MICRO-START 60' AS MANUFACTURED BY PERDUE AGRIRECYCLE, LLC (WWW.MICROSTART60.COM <HTTP://WWW.MICROSTART60.COM> OR 302-628-2360).
3. SOIL AMENDMENT INCORPORATION: PROMPTLY TILL UNDER THE LIME AND FERTILIZER TO A DEPTH OF 2 TO 4 INCHES USING A DISK, HARROW, PLOW, ROTOTILLER OR OTHER SUITABLE EQUIPMENT. IF LIME REQUIREMENTS ARE LESS THAN 4 TONS PER ACRE OR SLOPES ARE TOO STEEP TO PERMIT SAFE TILLAGE, THE SOIL AMENDMENTS CAN BE MIXED INTO A HYDROMULCH SLURRY OR CAN BE TRACKED IN WITH A DOZER IN LIEU OF INCORPORATION. IF TRACKING THE SITE WITH A DOZER, TRACK IN A MANNER THAT LEAVES CLEAR MARKS PARALLEL TO SITE CONTOURS.
4. SEEDBED PREPARATION: JUST BEFORE SEEDING, PREPARE SEEDBED BY TRACKING, RAKING, OR OTHER APPROPRIATE METHOD AS NECESSARY TO BREAK UP SOIL CRUSTS. IF TRACKING THE SITE WITH A DOZER, TRACK IN A MANNER THAT LEAVES CLEAR MARKS PARALLEL TO SITE CONTOURS.
5. SEEDING: EVENLY APPLY THE PERMANENT SEED MIXTURES USING HYDROSEEDING, BROADCAST, OR DRIFT SEEDING METHODS THAT PUT SEED LESS THAN ONE-QUARTER INCH BELOW THE GROUND SURFACE. APPLY LEGUME SEED INOCULANTS SPECIFICALLY MADE FOR THE LEGUME SEED TYPE BEING APPLIED AT FIVE TIMES THE MANUFACTURER'S RECOMMENDED RATE. USE NO SEED OR INOCULANT THAT HAS BEEN IMPROPERLY STORED, EXPIRED, OR SEED OLDER THAN 9 MONTHS FROM THE SEED TEST DATE. IF HYDROSEEDING METHODS ARE USED, SEED, INOCULANTS, FERTILIZERS, AND POLYMER TACKIFIER/SOIL STABILIZER (BELOW) MAY BE APPLIED IN ONE APPLICATION, PROVIDED THAT SEED AND INOCULANTS ARE NOT HELD IN A SLURRY WITH FERTILIZERS FOR MORE THAN ONE HOUR.
6. MULCHING AND TACKING: PROMPTLY AFTER SEEDING, MULCH USING EITHER: 1) 'CURLX' OR EQUIVALENT BRAND OF WOOD EXCELSION EROSION CONTROL BLANKET; OR NORTH AMERICAN GREEN S150BN EROSION CONTROL BLANKET; 2) SYNTHETIC INDUSTRIES 'TRM 450' OR NORTH AMERICAN GREEN 'P-300' TURF REINFORCEMENT MAT; 3) STRAW APPLIED AT A RATE OF 6,000 POUNDS PER ACRE; OR 4) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED WITH A HYDROSEEDER AT A RATE OF 3,000 POUNDS PER ACRE. WOOD/CELLULOSE FIBER HYDROMULCH MUST CONTAIN AT LEAST 50% VIRGIN WOOD FIBER. IF AT LEAST 1,000 POUNDS PER ACRE APPROVED PASTEURIZED PPM IS BEING APPLIED WITH A HYDROSEEDER, WOOD/CELLULOSE FIBER HYDROMULCH RATES MAY BE REDUCED TO 2,500 POUNDS PER ACRE.
7. IN SOME LOCATIONS SHOWN ON THE DRAWINGS, SUCH AS SLOPES STEEPER THAN 3:1 (H:V), EROSION CONTROL BLANKET OR TURF REINFORCEMENT MAT (TRM) MAY BE THE ONLY PERMISSIBLE MULCHING OPTION. INSTALL EROSION CONTROL BLANKETS/TRM PER MANUFACTURER'S INSTRUCTIONS. STAPLE BLANKET/TRM IN PLACE USING 6-INCH (MINIMUM) SOD STAPLES IN ROWS AT THE EDGES AND CENTERLINE OF THE BLANKET AND ON 24-INCH OR CLOSER CENTERS.
8. OVERSEEDING AND RESEEDING: WHEN THE SITE DEVELOPMENT STAGING OR SEASON WILL NOT PERMIT TIMELY SOWING OF THE PERMANENT SEED MIXTURE(S), PREPARE SOIL (FERTILIZERS AND LIME) AS FOR PERMANENT SEEDING, THEN SEED WITH TEMPORARY SEED MIXTURE AND MULCH, THEN OVERSOW THE PERENNIAL SEED MIXTURE INTO THE STUBBLE OF TEMPORARY VEGETATION AT THE NEXT APPROPRIATE SEEDING SEASON. IF PERENNIAL SEED IS BEING SOWN INTO THE STUBBLE OF ACTIVELY GROWING TEMPORARY VEGETATION, MOW THE TEMPORARY VEGETATION TO REDUCE COMPETITION EITHER BEFORE OR IMMEDIATELY AFTER SOWING THE PERMANENT SEED.

TACK STRAW IN PLACE USING EITHER: 1) A CRIMPER DISK; 2) WOOD/CELLULOSE FIBER HYDROMULCH APPLIED OVER THE STRAW AT A RATE OF 800-1,000 POUNDS PER ACRE; OR 3) WATER SOLUBLE LINEAR POLYACRYLATE (SODIUM ACRYLATE/ACRYLAMIDE) COPOLYMER 'POLYMER' AT A RATE OF AT LEAST 8 POUNDS PER ACRE APPLIED IN MIXTURE WITH WATER OVER THE STRAW. APPROVED POLYMER BRANDS INCLUDE 'WATERSORB PAM' OR 'HYDROPAM' DISTRIBUTED BY POLYMERS, INC. (WWW.WATERSORB.COM OR 501-623-9995), 'TERRAPAM' DISTRIBUTED BY PLANT HEALTH CARE, INC. (WWW.PLANTHEALTHCARE.COM OR 800-421-9051), AND 'HYDROGEL B™' DISTRIBUTED BY FINN CORPORATION (WWW.FINNCORP.COM OR 800-543-7166).

TACK WOOD/CELLULOSE FIBER HYDROMULCH IN PLACE USING 'POLYMER' SPECIFIED ABOVE AT A RATE OF AT LEAST 4 POUNDS PER ACRE APPLIED IN A SLURRY WITH THE HYDROMULCH.

MAINTENANCE: WATER AS NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION. IN MOWED AREAS, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 4 AND 6 INCHES TALL FOR FIRST TWO MONTHS OF GROWTH DURING THE ESTABLISHMENT YEAR, AND TO THE DESIRED HEIGHT THEREAFTER. IF STRING TRIMMERS ARE USED, TAKE MEASURES TO AVOID DAMAGE TO BARK OF TREES AND SHRUBS.

GEOLOGIC FORMATIONS/SOIL CONDITIONS

- 1. IF DURING CONSTRUCTION GEOLOGIC FORMATIONS ARE ENCOUNTERED, THE CONTRACTOR IS TO CONTACT THE OWNER, THE DESIGN PROFESSIONAL, THE LOCAL CONSERVATION DISTRICT, AND THE PADEP FOR PROPER HANDLING OF THESE MATERIALS.
2. IF HIGH WATER TABLE IS ENCOUNTERED:
• KEEP EXCAVATIONS AS SHALLOW AS PRACTICAL
• CONSTRUCT DURING DRY WEATHER
• PUMPS AND WATER FILTER BAGS SHALL BE UTILIZED IF GROUNDWATER IS ENCOUNTERED.
• CONSTRUCT INTERMEDIATE DRAINS, IF NECESSARY TO CONTROL AND DISCHARGE WATER FROM FILLS
3. IF ERODIBLE SOILS ARE ENCOUNTERED:
• UTILIZE EROSION CONTROL BLANKETS, SILT SOCKS, TEMPORARY AND PERMANENT SEEDING, AND DIVERSION CHANNELS TO MINIMIZE EROSION
4. SOIL COMPACTION:
• MINIMIZE SOIL COMPACTION TO THE FULLEST EXTENT POSSIBLE IN ALL UNIMPROVED AREAS AND DETENTION STORMWATER MANAGEMENT BMP AREAS.

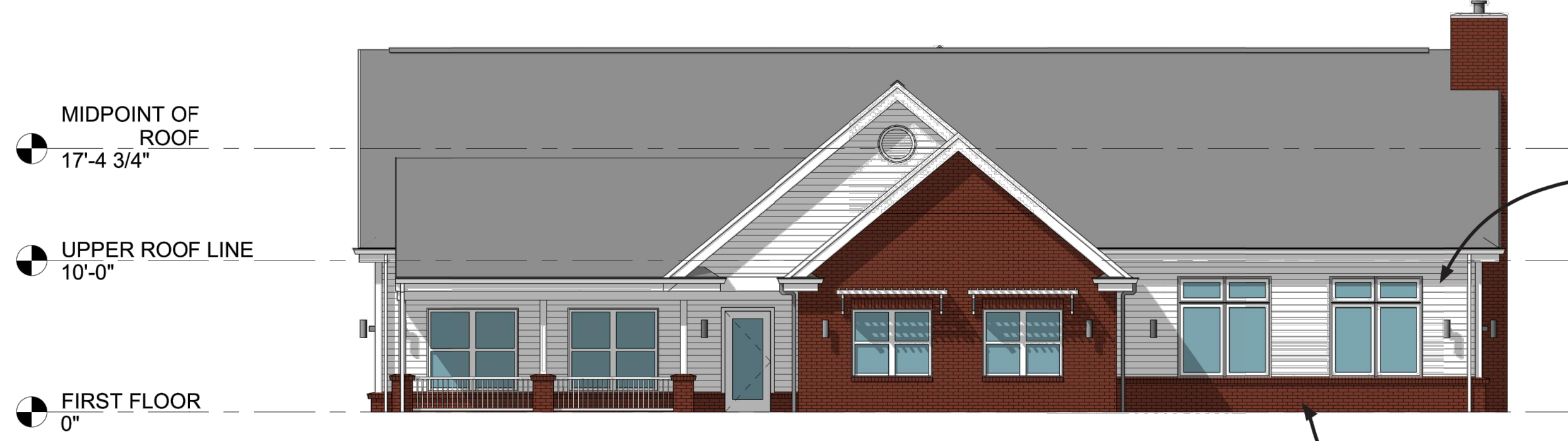
REVISION RECORD table with columns for NO, DATE, and DESCRIPTION.

Civil & Environmental Consultants of New York, Inc. 908 Niagara Falls Boulevard - North Tonawanda, NY 14120 Ph: 716.930.6080 www.cecinc.com

A.R. BUILDING COMPANY PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT TOWN OF HENRIETTA MONROE COUNTY, NEW YORK

EROSION AND SEDIMENTATION CONTROL NOTES AUGUST 2023 DRAWN BY: JPH/DJZ DRAFT DRAFT DATE: 08/16/2023 DIVS SCALE: AS SHOWN CHECKED BY: 324-996 PROJECT NO: APPROVED BY:





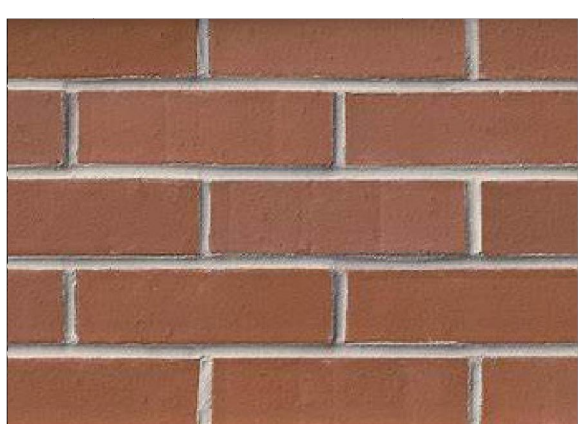
Entry Elevation
1/8" = 1'-0"



SIDING
COLOR: COLONIAL WHITE
MANUFACTURER: CERTAINTEED
TYPE: VINYL, 6"



Side Elevation
NOT TO SCALE



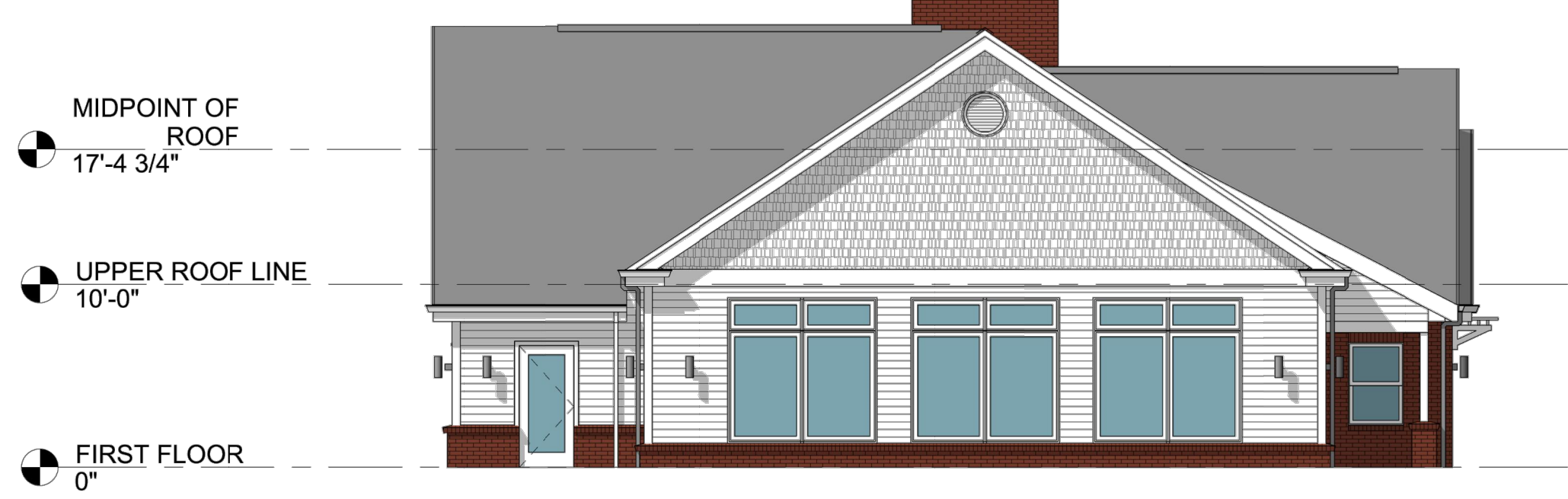
BRICK
COLOR: RED SEMI SMOOTH
MANUFACTURER: MERIDIAN BRICK



Rear Elevation
NOT TO SCALE



SHINGLES
COLOR: DRIFTWOOD
MANUFACTURER: OWENS CORNING



Side Elevation
NOT TO SCALE



TRIM
COLOR: WHITE
MANUFACTURER: AZEK EXTERIORS

NO.	DATE	DESCRIPTION

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A.R. BUILDING COMPANY
PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
TOWN OF HENRIETTA
MONROE COUNTY, NEW YORK

ARCHITECTURAL ELEVATIONS	
DATE:	AUGUST 2023
DWG SCALE:	AS NOTED
PROJECT NO:	324-396
DRAWN BY:	JPH/DJZ
CHECKED BY:	DRAFT
APPROVED BY:	DRAFT

DRAWING NO.: **C1002**
SHEET 31 OF 31

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