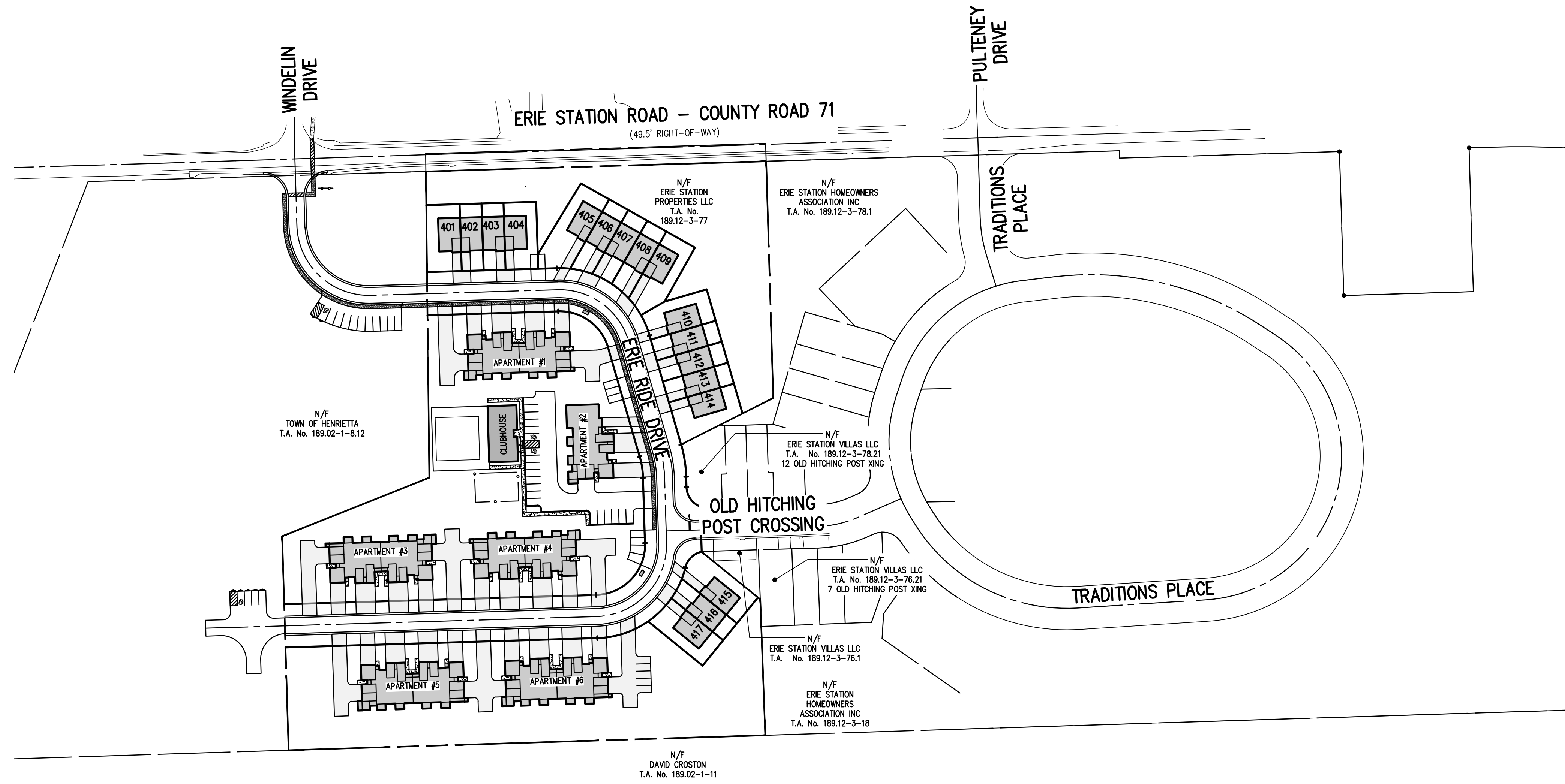


**LOCATION MAP**  
NOT TO SCALE



PRELIMINARY/FINAL  
SUBDIVISION AND SITE PLANS  
**ERIE RIDGE TOWNHOMES**

DWG No.	Description
2549-02	COVER SHEET
2549-03	SUBDIVISION PLAT
2549-04	SITE PLAN
2549-05	EXISTING CONDITIONS & DEMOLITION PLAN
2549-06	UTILITY PLAN
2549-07	GRADING PLAN
2549-08	CONSTRUCTION EROSION CONTROL PLAN
2549-09	LATERAL PLAN
2549-10	LANDSCAPE AND LIGHTING PLAN
2549-11	PROFILE SHEET (1 OF 2)
2549-12	PROFILE AND NOTE SHEET (2 OF 2)
2549-13	DETAIL SHEET (1 OF 4)
2549-14	DETAIL SHEET (2 OF 4)
2549-15	DETAIL SHEET (3 OF 4)
2549-16	DETAIL SHEET (4 OF 4)

# ERIE RIDGE TOWNHOMES

PRELIMINARY/FINAL SUBDIVISION AND SITE PLANS

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:  
**ESIV, LLC**  
301 EXCHANGE BOULEVARD, SUITE 200  
ROCHESTER, NY 14608

SCALE: 1" = 100'  
DRAWING NUMBER: 2549-02  
DATED: FEBRUARY 14, 2024

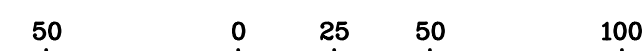
**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEPC.COM

PHONE 585-377-7360  
FAX 585-377-7309

**ERIE STATION ROAD - COUNTY ROUTE 71**  
(49.5' RIGHT-OF-WAY)

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 60 ft.

NO.	BEARING	DIST.	NORTHING	EASTING
MON 0508	S53°55'39"E	159.30'	1109231.79	1403253.92
MON 0640	S16°08'32"E	157.35'	1109137.99	1403382.68
MON 0798	S08°55'39"E	45.21'	1108966.85	1403426.42
MON 0836	S28°47'37"W	256.09'	1108942.18	1403433.44
MON 1083			1108717.76	1403310.09

**SUBDIVISION NOTES:**

- EXISTING ZONING: RESIDENTIAL R-2-15
- TOTAL PROJECT AREA: ±9.65 ACRES (T.A. #189.12-3-77)
- PROPOSED USE: 1 CLUBHOUSE BUILDING, APARTMENT BUILDINGS = 56 UNITS (6 BUILDINGS, BLDG #1, AND 3-6 @ 10 UNITS, #2 @ 6 UNITS), TOWNHOMES = 17 UNITS, TOTAL UNITS: 73
- THE TOWN OF HENRIETTA TOWN BOARD GRANTED A SPECIAL USE PERMIT FOR UP TO 29 BUILDINGS AND UP TO 104 HOUSING UNITS PER RESOLUTION #14-158/2005. THE TOWN BOARD GRANTED A SPECIAL USE PERMIT ON OCTOBER 25, 2023 (RESOLUTION #22-355/2023) FOR 73 UNITS FOR THIS SECTION.
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MAX. LOT BUILDING COVERAGE	25% MAX	19.5%
MIN. FRONT SETBACK	60 FT	30 FT***
MIN. REAR SETBACK	10 FT	15 FT***
MIN. SIDE SETBACK	10% OF LOT WIDTH/8' MAX	0 FT/7'***

- PER THE DECISION OF THE ZBA DATED 2/23/06, THE FOLLOWING VARIANCES WERE GRANTED:
  - \* APPLICATION 06-053, 295.12.B (4), ALL INTERIOR SIDE BUILDING SETBACKS TO BE 0'.
  - \*\* APPLICATION 06-054, 295.12.B (4), ALL FRONT PARKING SETBACKS TO BE 0'.
  - \*\*\* APPLICATION 06-055, 295.12.B (4), VARIOUS SIDE BUILDING SETBACKS FOR END UNITS. (TABLE WITH SETBACK DETAILS ON FILE WITH THE BUILDING AND FIRE PREVENTION DEPARTMENT AT TOWN HALL)
  - \*\*\*\* APPLICATION 06-054, 295.12.B (4), VARIOUS FRONT AND REAR BUILDING SETBACKS. (TABLE WITH SETBACK DETAILS ON FILE WITH THE BUILDING AND FIRE PREVENTION DEPARTMENT AT TOWN HALL)
- AN AREA VARIANCE WILL BE REQUIRED FOR THE SETBACK FOR THE PROPOSED SPORT COURT AREA.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA, MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- ANY WORK WITH R.O.W. WILL REQUIRE MCDOT PERMIT.
- THERE ARE NO FEDERAL OR STATE MAPPED WETLANDS ON THE SUBJECT SITE.
- AS NOTED ON THE FEMA PANEL 342 OF 528 COMMUNITY-PANEL NUMBER 36055C0342G EFFECTIVE DATE OF AUGUST 28, 2008 FOR FLOOD ZONE X, NO PORTION OF THE PROPERTY IS LOCATED IN A 100-YEAR FLOODPLAIN.

**SURVEY NOTES:**

- THE PROJECT BOUNDARY SURVEY WAS MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER PROPORTIONAL ACCURACY AND A NETWORK POSITIONAL ACCURACY AT 95% CONFIDENCE LEVEL NOT EXCEEDING 0.05 FEET.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 83 (2011) UTILIZING GLOBAL POSITIONING SYSTEM (GPS) (OR) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) OBSERVATIONS FROM NYS DOT REFERENCE NETWORK CORRS STATION (NYFP 0032).

BEARINGS SHOWN HEREON ARE GRID DISTANCES SHOWN HEREON ARE GRID COMBINED FACTOR = 0.999981

WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON DECEMBER 5, 2023 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE CIVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: *Gregory D. Bell*  
GREGORY D. BELL, NYSPLS NO. 050661

MONROE COUNTY DEPARTMENT OF HEALTH CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS

- THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE TREATMENT ARE INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCHP).
- AN ORIGINAL REALTY SUBDIVISION MAP APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
- THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN OR, IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS-BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SEWAGE, STORM WATER, AND WATER SUPPLY.
- ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC SPECIAL GENERAL PERMIT GP-35-02 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.
- NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISIONS BEING SUBMITTED TO AND APPROVED BY THE MCHP.
- PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE MCHP BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISIONS REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION WILL BE REQUIRED TO OBTAIN A TIME EXTENSION.
- PRIVATE WALLS AND PRIVATE ON-SITE WASTEWATER TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED AFTER PUBLIC FACILITIES BECOME AVAILABLE.



MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH  
REALTY SUBDIVISION APPROVAL  
THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE DISPOSAL FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH. CONSENT IS HEREBY GIVEN FOR THE FILING OF THIS MAP IN THE MONROE COUNTY CLERK'S OFFICE IN ACCORDANCE WITH ARTICLE III OF THE MONROE COUNTY SANITARY CODE.  
DIRECTOR OF PUBLIC HEALTH  
DATE

**APPROVALS**

BY: <b>PLANNING BOARD CHAIRMAN</b>	DATE:
BY: <b>DIRECTOR OF ENGINEERING AND PLANNING</b>	DATE:
BY: <b>DRAINAGE, SEWERS, SIDEWALKS DEPARTMENT</b>	DATE:
BY: <b>DIRECTOR OF BUILDING &amp; FIRE PREVENTION</b>	DATE:
BY: <b>COMMISSIONER OF PUBLIC WORKS</b>	DATE:

This plot is approved in accordance with the provisions of Section 239-K, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.  
For the General Municipal Law:  
County Highway Superintendent Date  
For the Monroe County Monumentation Law:  
Monroe County Surveyor's Office Date

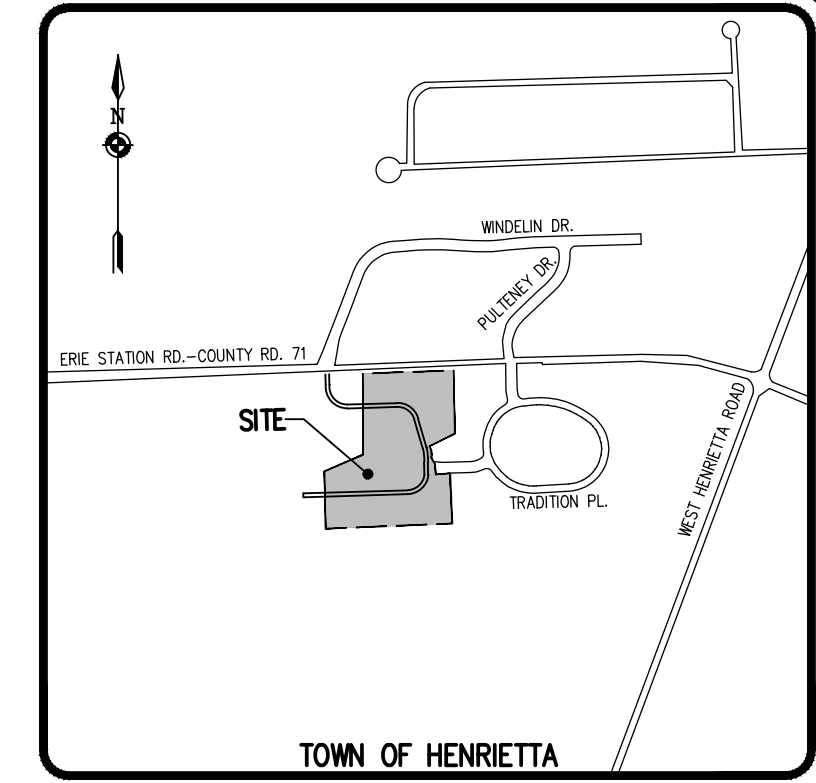
**NOT APPROVED**

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

- A PLAN ENTITLED "LEGACY SUBDIVISION AT ERIE STATION, SUBDIVISION PLAN-1," LAST REVISED MARCH 12, 2007, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 331 OF MAPS, PAGE 18.
- A PLAN ENTITLED "LEGACY SUBDIVISION AT ERIE STATION, SUBDIVISION PLAN-2," LAST REVISED MARCH 12, 2007, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 331 OF MAPS, PAGE 19.
- A PLAN ENTITLED "LEGACY RESUBDIVISION AT ERIE STATION, SUBDIVISION PLAN-1," LAST REVISED APRIL 20, 2009, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 336 OF MAPS, PAGE 77.
- A PLAN ENTITLED "LEGACY RESUBDIVISION AT ERIE STATION, SUBDIVISION PLAN-2," LAST REVISED APRIL 20, 2009, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 336 OF MAPS, PAGE 78.
- A PLAN ENTITLED "LEGACY SUBDIVISION AT ERIE STATION, RESUBDIVISION PLAN-3," LAST REVISED FEBRUARY 4, 2010, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 338 OF MAPS, PAGE 44.
- A DEED FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 10427 OF DEEDS, PAGE 420.
- A DEED FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 12744 OF DEEDS, PAGE 408.

**LEGEND**

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation 'altered by' followed by his signature and the date of each alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
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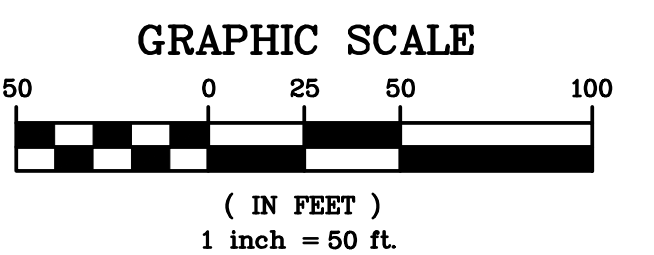
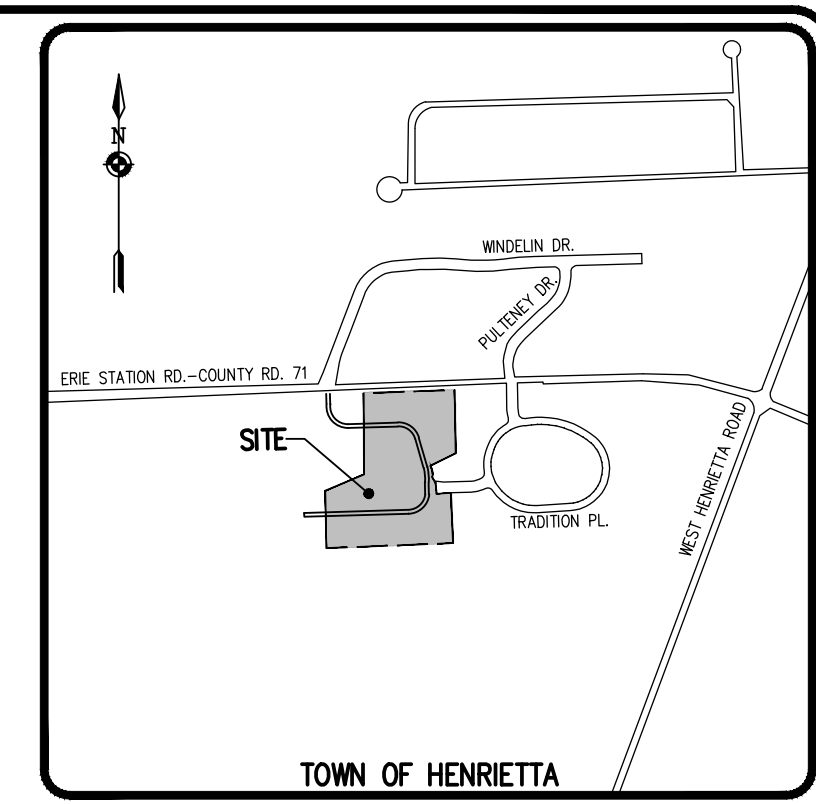
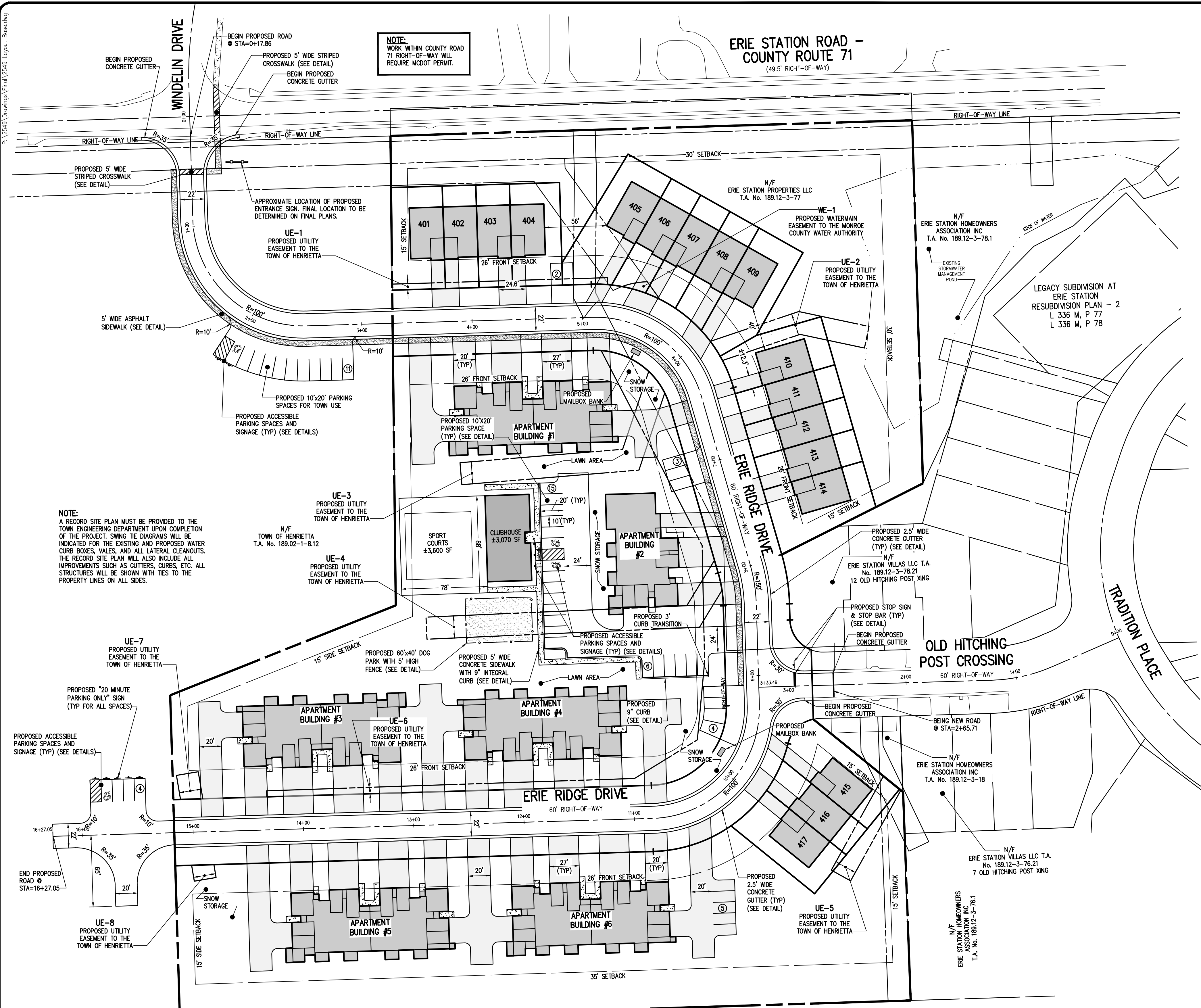
**ERIE STATION TOWNHOUSES**  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
ESV, LLC  
301 EXCHANGE BOULEVARD, SUITE 200  
ROCHESTER, NY 14608  
**LEGACY SUBDIVISION AT ERIE STATION SECTION 4 BEING A RESUBDIVISION OF LOT R-7C**

PROJECT: **ERIE STATION TOWNHOUSES**  
LOCATION: **TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE**  
CLIENT: **ESV, LLC**  
PROJECT MANAGER: **P.G. VARS**  
PROJECT SURVEYOR: **G.D. BELL**  
DRAWN BY: **BC GOODING**  
SCALE: **1" = 50'**  
DATE ISSUED: **FEBRUARY 14, 2024**  
PROJECT NO.: **2549**  
DRAWING NO.: **03**



**ERIE STATION ROAD - COUNTY ROUTE 71**  
(49.5' RIGHT-OF-WAY)

**NOTE:**  
WORK WITHIN COUNTY ROAD 71 RIGHT-OF-WAY WILL REQUIRE MCDOT PERMIT.



POSTED SPEED LIMIT ERIE STATION ROAD: 35 mph  
REQUIRED DISTANCES:  
(DESIGN SPEED = 40 mph)  
REQUIRED INTERSECTION SIGHT DISTANCE: 445'  
REQUIRED STOPPING SIGHT DISTANCE: 305'

MEASURED DISTANCES EAST VICTOR ROAD: (EASTBOUND) (WESTBOUND)

SIGHT DISTANCE (● PROPOSED ENTRANCE):	560'	>1,000'
STOPPING DISTANCE (● PROPOSED ENTRANCE):	560'	>1,000'

- SITE NOTES:**
- EXISTING ZONING: RESIDENTIAL R-2-15
  - TOTAL PROJECT AREA: ±9.65 ACRES (T.A. #189.12-3-77)
  - PROPOSED USE: 1 CLUBHOUSE BUILDING, APARTMENT BUILDINGS = 56 UNITS (6 BUILDINGS; BLDG #1, AND 3-6 ● 10 UNITS, #2 ● 6 UNITS), TOWNHOMES = 17 UNITS, TOTAL UNITS: 73
  - THE TOWN OF HENRIETTA TOWN BOARD GRANTED A SPECIAL USE PERMIT FOR UP TO 29 BUILDINGS AND UP TO 104 HOUSING UNITS PER RESOLUTION #14-158/2005. THE TOWN BOARD GRANTED A SPECIAL USE PERMIT ON OCTOBER 25, 2023 (RESOLUTION #22-355/2023) FOR 73 UNITS FOR THIS SECTION.
  - APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MAX. LOT BUILDING COVERAGE	25% MAX	19.5%
MIN. FRONT SETBACK	60 FT	30 FT***
MIN. REAR SETBACK	10 FT	15 FT***
MIN. SIDE SETBACK	10% OF LOT WIDTH/8' MAX	0 FT+***
PARKING STALL	10'x20'	10'x20'
PARKING REQUIRED:	2.5 SPACES/UNIT (2.5x73 = 183 SPACES)	
PROVIDED:	203 TOTAL RESIDENT SPACES + 15 TOWN LAND PARKING SPACES	

- AN AREA VARIANCE WILL BE REQUIRED FOR THE SETBACK FOR THE PROPOSED SPORT COURT AREA.
- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA, MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- PER THE DECISION OF THE ZBA DATED 2/23/06, THE FOLLOWING VARIANCES WERE GRANTED:
  - \* APPLICATION 06-053, 295.12.B (4), ALL INTERIOR SIDE BUILDING SETBACKS TO BE 0'.
  - \*\* APPLICATION 06-054, 295.12.B (4), ALL FRONT PARKING SETBACKS TO BE 0'.
  - \*\*\* APPLICATION 06-055, 295.12.B (4), VARIOUS SIDE BUILDING SETBACKS FOR END UNITS. (TABLE WITH SETBACK DETAILS ON FILE WITH THE BUILDING AND FIRE PREVENTION DEPARTMENT AT TOWN HALL)
  - \*\*\*\* APPLICATION 06-054, 295.12.B (4), VARIOUS FRONT AND REAR BUILDING SETBACKS. (TABLE WITH SETBACK DETAILS ON FILE WITH THE BUILDING AND FIRE PREVENTION DEPARTMENT AT TOWN HALL)
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- ANY WORK WITH R.O.W. WILL REQUIRE MCDOT PERMIT.
- THERE ARE NO FEDERAL OR STATE MAPPED WETLANDS ON THE SUBJECT SITE.
- AS NOTED ON THE FEMA PANEL 342 OF 528 COMMUNITY-PANEL NUMBER 36055C0342G EFFECTIVE DATE OF AUGUST 28, 2008 FOR FLOOD ZONE X, NO PORTION OF THE PROPERTY IS LOCATED IN A 100-YEAR FLOODPLAIN.
- ANY PROPOSED SIGNAGE WILL REQUIRE A SEPARATE APPLICATION AND EASEMENT TO THE TOWN OF HENRIETTA.

**APPROVALS**

BY: _____	DATE: _____
PLANNING BOARD CHAIRMAN	
BY: _____	DATE: _____
DIRECTOR OF ENGINEERING AND PLANNING	
BY: _____	DATE: _____
DIRECTOR OF BUILDING AND FIRE PREVENTION	
BY: _____	DATE: _____
COMMISSIONER OF PUBLIC WORKS	
BY: _____	DATE: _____
DRAINAGE, SEWER, AND SIDEWALK DEPARTMENT	
BY: _____	DATE: _____
FIRE MARSHAL	

**NOT APPROVED**

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

**NOTE:**  
A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALES, AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

**LEGEND**

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE

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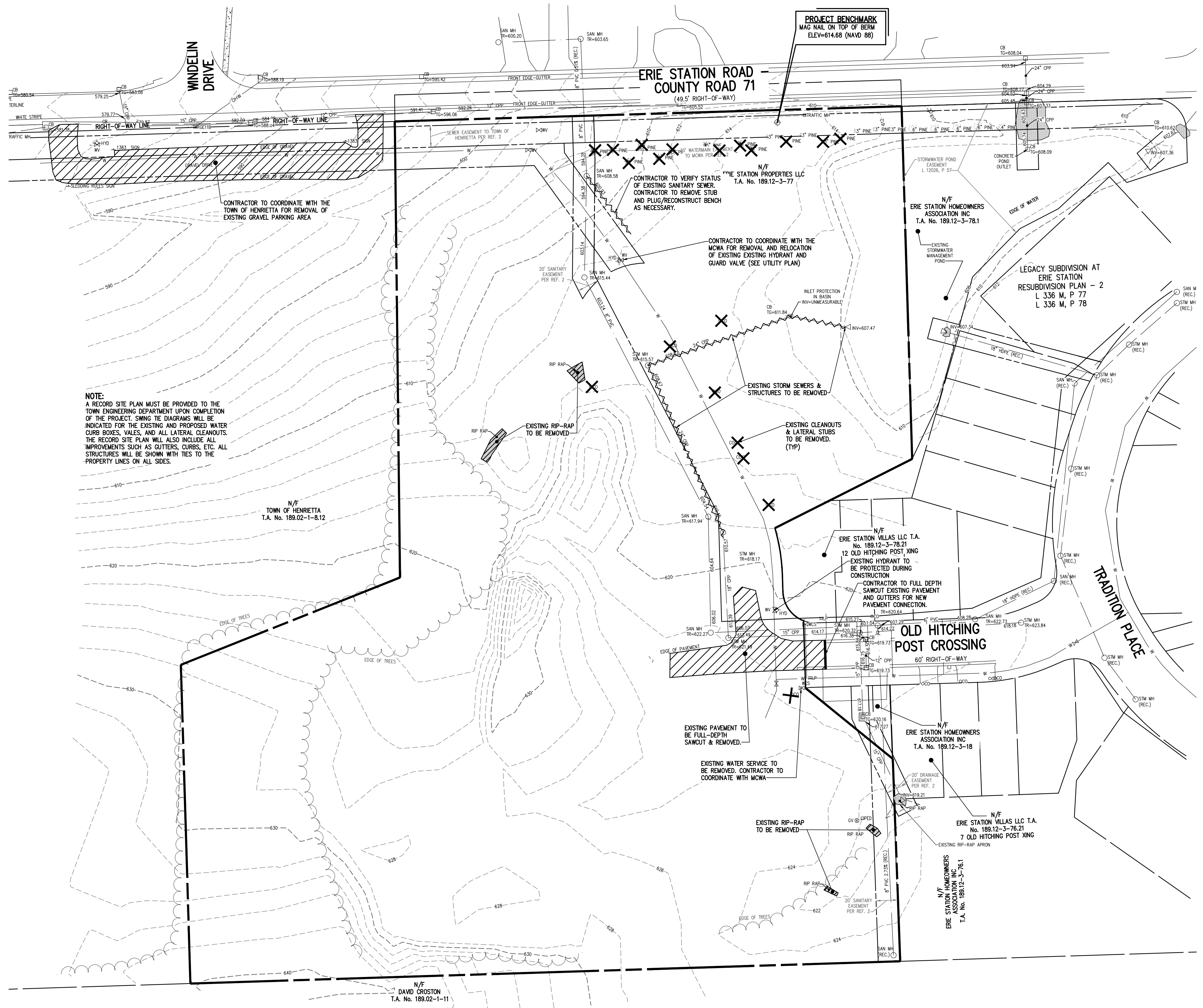
**PRELIMINARY/FINAL SITE PLAN**

PROJECT LOCATION CLIENT	PROJECT MANAGER
	P.G. VARS
	PROJECT SURVEYOR
	M.A. SERENI
	DRAWN BY
	J. SQUER/A. D'ANGELO
	SCALE DATE ISSUED
	1" = 50' FEBRUARY 14, 2024
	PROJECT NO.
	2549
	DRAWING NO.
	04

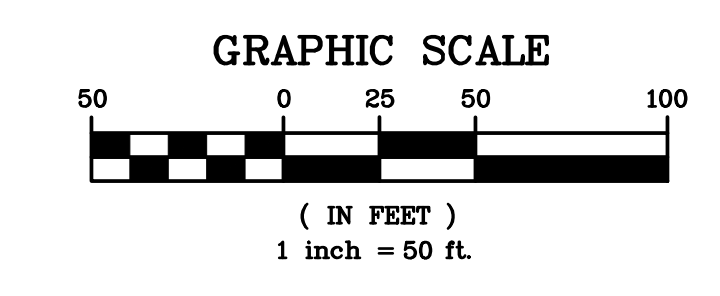
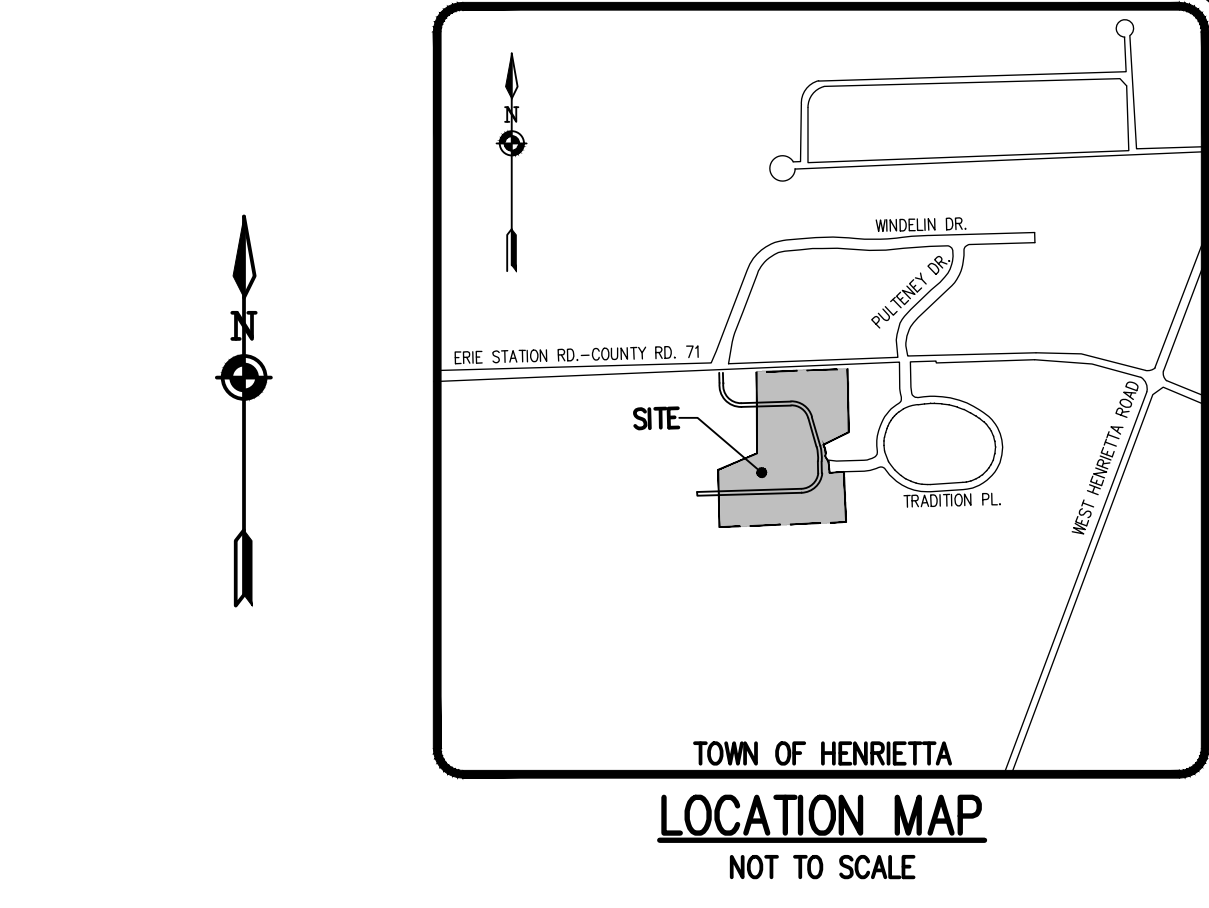
PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 189.12-3-77



P:\2549 Drawings\Final\2549 Design Base.dwg



**NOTE:**  
A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING TIE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALES, AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.



- LEGEND**
- BOUNDARY LINE
  - EXISTING WATERMAIN, HYDRANT, AND VALVE
  - EXISTING STORM SEWER, MANHOLE, AND INLET
  - EXISTING SANITARY SEWER AND MANHOLE
  - EXISTING TREE LINE
  - PROPERTY MARKER FOUND
  - EXISTING CONTOUR W/ ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING PAVEMENT TO BE REMOVED AS SHOWN
  - LIMITS OF EXISTING UNDERGROUND UTILITY TO BE REMOVED AS SHOWN
  - EXISTING TREE OR CLEANOUT TO BE REMOVED

**DEMOLITION NOTES:**

1. CONTRACTOR SHALL ABANDON AND/OR REMOVE EXISTING UTILITIES, STRUCTURES, AND APPURTENANCES AS SHOWN ON THE PLANS AND/OR AS DIRECTED. THE CONTRACTOR SHALL COORDINATE THE WORK WITH THE ENGINEER AND THE AGENCY HAVING JURISDICTION, PRIOR TO COMMENCING WITH ABANDONMENT AND REMOVALS. THE CONTRACTOR SHALL DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL CURRENT REGULATIONS AND REQUIREMENTS.
2. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORDS PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-962-7962 (OR 811) FOR STAKE-OUT OF EXISTING UTILITIES.
3. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. IF UNKNOWN UTILITIES ARE ENCOUNTERED IT SHALL BE COORDINATED WITH THE ENGINEER AND THE OWNER.
4. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1(800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL SAWCUT TO FULL DEPTH FOR REMOVAL OF PAVEMENT AS DELINEATED ON THIS PLAN AND AS NECESSARY FOR CONSTRUCTION.
7. WHERE NEW PAVEMENT MEETS WITH EXISTING, THE CONTRACTOR SHALL MAKE FULL DEPTH SAWCUTS TO CREATE A SMOOTH EDGE AND MEET SURFACES FLUSH. WHERE NEW PAVEMENT MEETS EXISTING, THE EXISTING PAVEMENT SHALL BE TREATED WITH TAC COAT PER MANUFACTURERS RECOMMENDATION.
8. ALL MATERIALS REMOVED FROM THE PROJECT SHALL BE DISPOSED OF ACCORDING TO NEW YORK STATE AND TOWN OF HENRIETTA REQUIREMENTS UNLESS OTHERWISE NOTED.

**NOT APPROVED**

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

NO.	REVISIONS	DATE	BY

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
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ERIE RIDGE LLC  
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PRELIMINARY/FINAL  
**EXISTING CONDITIONS AND DEMO PLAN**

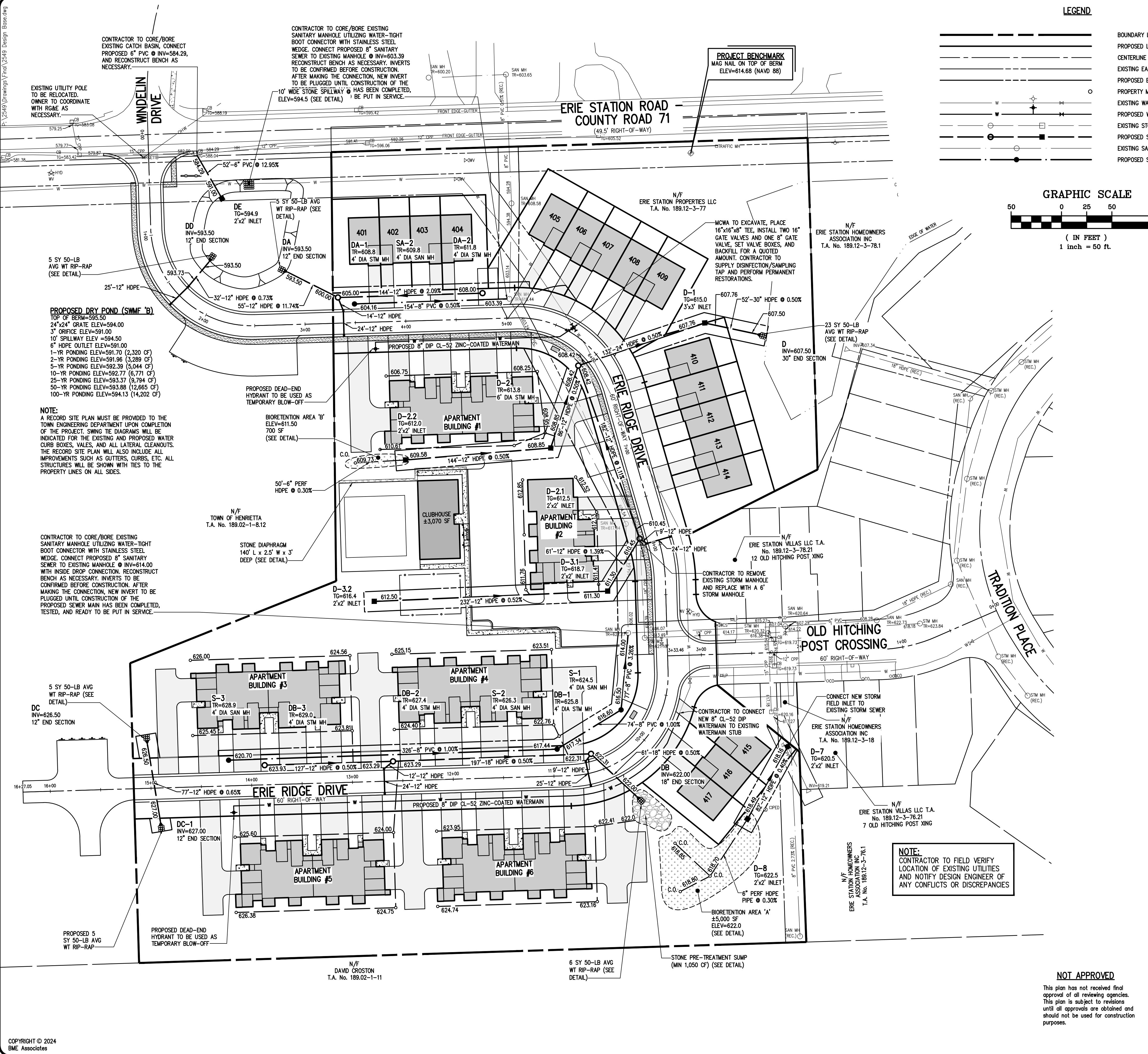
PROJECT: ERIE RIDGE TOWNHOMES  
LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
CLIENT: ERIE RIDGE LLC  
DRAWING TITLE: EXISTING CONDITIONS AND DEMO PLAN

PROJECT MANAGER: P.G. VARS  
PROJECT ENGINEER: M.A. SERENI  
DRAWN BY: A.N. D'ANGELO  
SCALE: 1" = 50'  
DATE ISSUED: FEBRUARY 14, 2024  
PROJECT NO.: 2549  
DRAWING NO.: 05

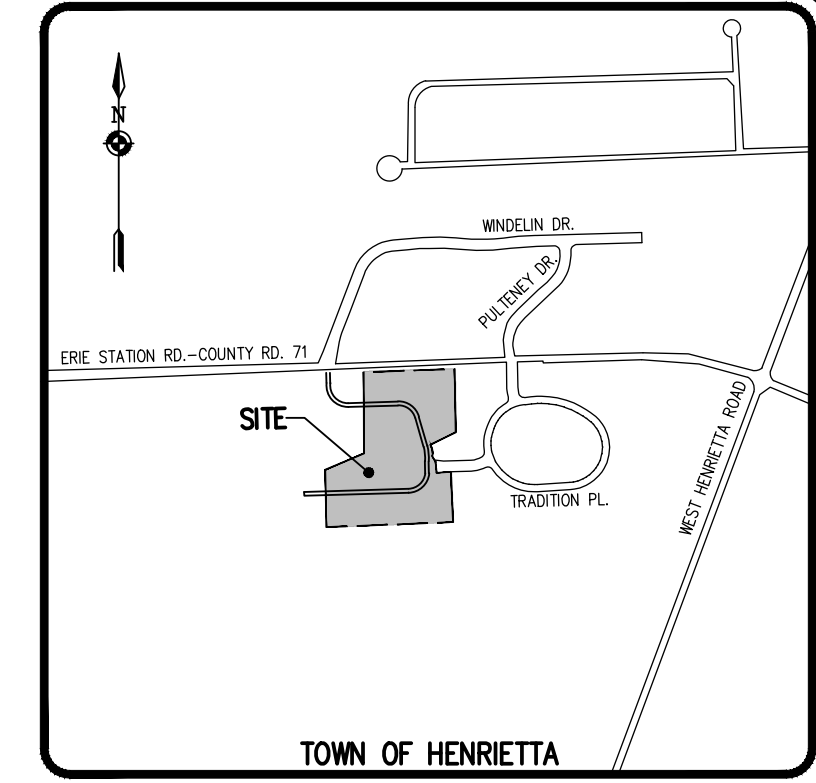
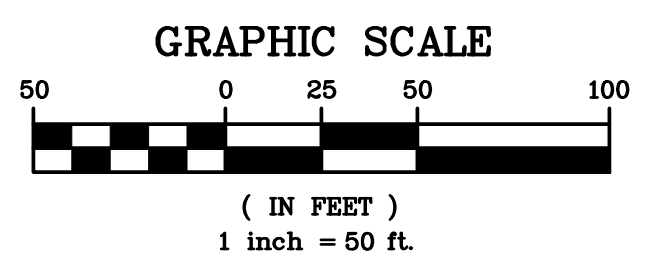
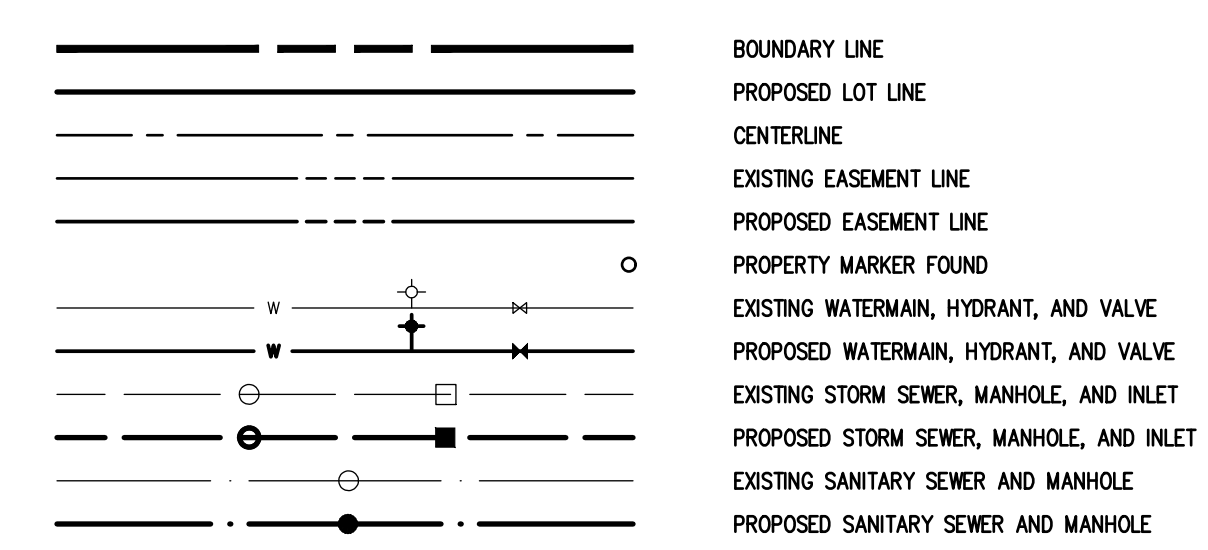
PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 180.12-3-77



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**LEGEND**



**LOCATION MAP**  
NOT TO SCALE

SEE PROFILE ANT NOTE SHEET  
(BME DRAWING #2549-12) FOR  
ALL UTILITY NOTES.

IRONDEQUOIT BAY SOUTH CENTRAL PURE WATERS DISTRICT:

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH  
THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION /  
IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO 10NYCRRS  
OF THE STATE SANITARY CODE SUBJECT TO CONDITIONS OF  
APPROVAL.  
DIRECTOR OF PUBLIC HEALTH  
BY: \_\_\_\_\_ PUBLIC HEALTH ENGINEER

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH  
THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION /  
IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17  
OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO  
CONDITIONS OF APPROVAL.  
DIRECTOR OF PUBLIC HEALTH  
BY: \_\_\_\_\_ PUBLIC HEALTH ENGINEER

**APPROVALS**

BY: DIRECTOR OF ENGINEERING AND PLANNING	DATE: _____
BY: COMMISSIONER OF PUBLIC WORKS	DATE: _____
BY: DRAINAGE, SEWERS, SIDEWALKS DEPARTMENT	DATE: _____
BY: DIRECTOR OF BUILDING/ FIRE PREVENTION	DATE: _____
BY: MONROE COUNTY WATER AUTHORITY	DATE: _____
BY: FIRE MARSHAL	DATE: _____

**NOT APPROVED**  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 189.12-3-77

PROJECT	LOCATION	CLIENT	DRAWING TITLE
ERIE RIDGE TOWNHOMES	TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE	ERIE RIDGE LLC 301 EXCHANGE BOULEVARD, SUITE 200 ROCHESTER, NY 14608	PRELIMINARY/FINAL UTILITY PLAN

REVISIONS

NO.	DATE	BY
1		
2		
3		
4		
5		
6		
7		

BME ASSOCIATES  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
PHONE: 585-577-7360  
FAC: 585-577-7369  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NY 14616  
WWW.BMEPC.COM

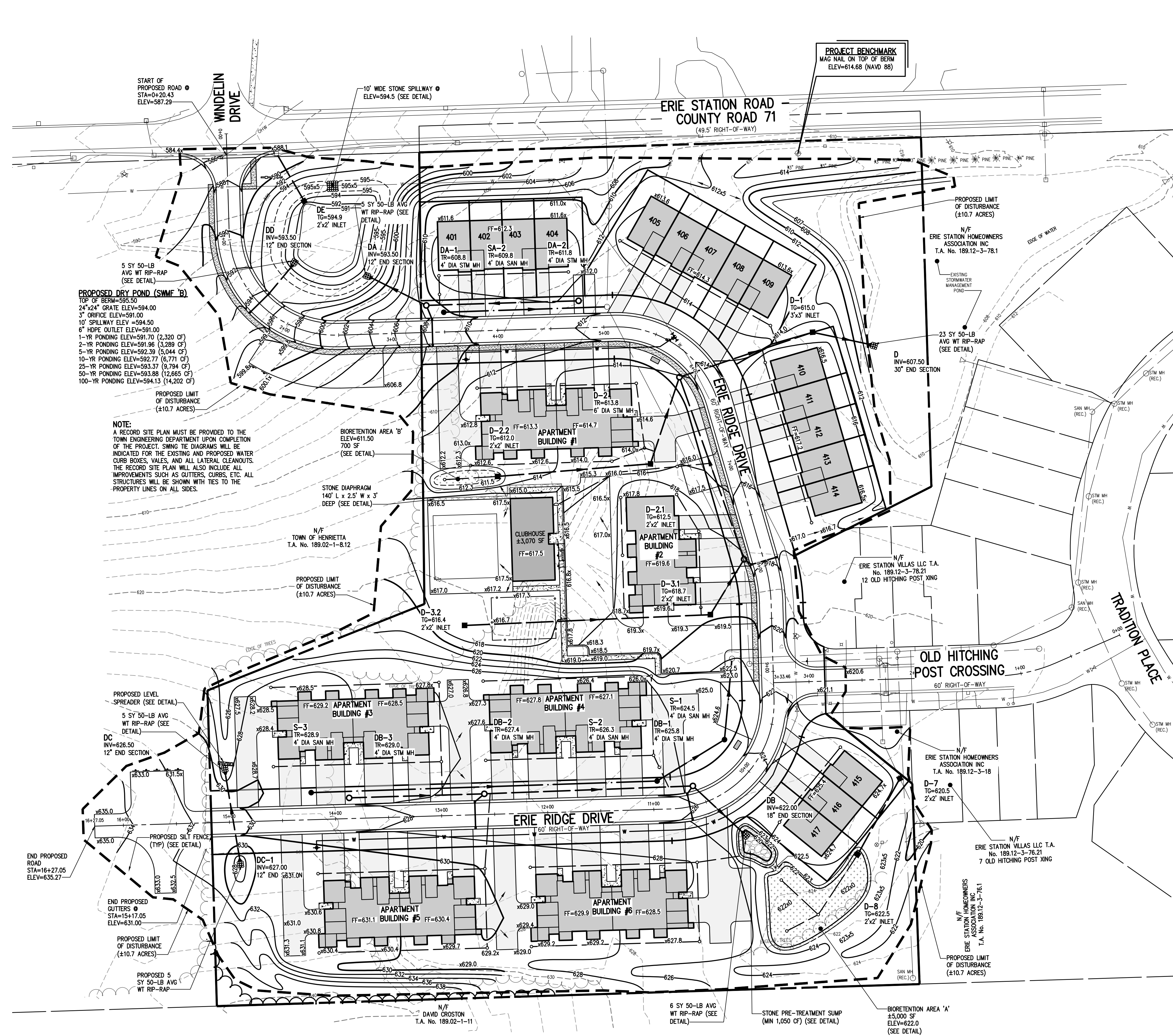
STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
NO. 06810

DRAWING NO. 2549  
DATE ISSUED: FEBRUARY 14, 2024  
SCALE: 1" = 50'

PROJECT NO. 2549  
DRAWING NO. 06



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PROJECT BENCHMARK  
MAG NAIL ON TOP OF BERM  
ELEV=614.68 (NAVD 88)

START OF PROPOSED ROAD  
STA=0+20.43  
ELEV=587.29

10' WIDE STONE SPILLWAY  
ELEV=594.5 (SEE DETAIL)

PROPOSED DRY POND (SWMF 'B')  
TOP OF BERM=595.50  
24'x24' GRATE ELEV=594.00  
3" ORIFICE ELEV=591.00  
10' SPILLWAY ELEV=594.50  
6" HYPE OUTLET ELEV=591.00  
1-YR PONDING ELEV=591.70 (2,320 CF)  
2-YR PONDING ELEV=591.96 (3,289 CF)  
5-YR PONDING ELEV=592.39 (5,044 CF)  
10-YR PONDING ELEV=592.77 (6,771 CF)  
25-YR PONDING ELEV=593.37 (9,794 CF)  
50-YR PONDING ELEV=593.88 (12,665 CF)  
100-YR PONDING ELEV=594.13 (14,202 CF)

NOTE:  
THE RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALES, AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

BIORETENTION AREA 'B'  
ELEV=611.50  
700 SF  
(SEE DETAIL)

STONE DIAPHRAGM  
140' L x 2.5' W x 3' DEEP  
(SEE DETAIL)

N/F TOWN OF HENRIETTA  
T.A. No. 189.02-1-8.12

PROPOSED LIMIT OF DISTURBANCE  
(±10.7 ACRES)

PROPOSED LEVEL SPREADER (SEE DETAIL)  
5 SY 50-LB AVG WT RIP-RAP (SEE DETAIL)  
DC INV=626.50  
12" END SECTION

END PROPOSED GUTTERS  
STA=15+17.05  
ELEV=631.00

PROPOSED LIMIT OF DISTURBANCE  
(±10.7 ACRES)

PROPOSED 5 SY 50-LB AVG WT RIP-RAP

N/F DAVID CROSTON  
T.A. No. 189.02-1-11

6 SY 50-LB AVG WT RIP-RAP (SEE DETAIL)

STONE PRE-TREATMENT SLUMP  
(MIN 1,050 CF) (SEE DETAIL)

BIORETENTION AREA 'A'  
±5,000 SF  
ELEV=622.0  
(SEE DETAIL)

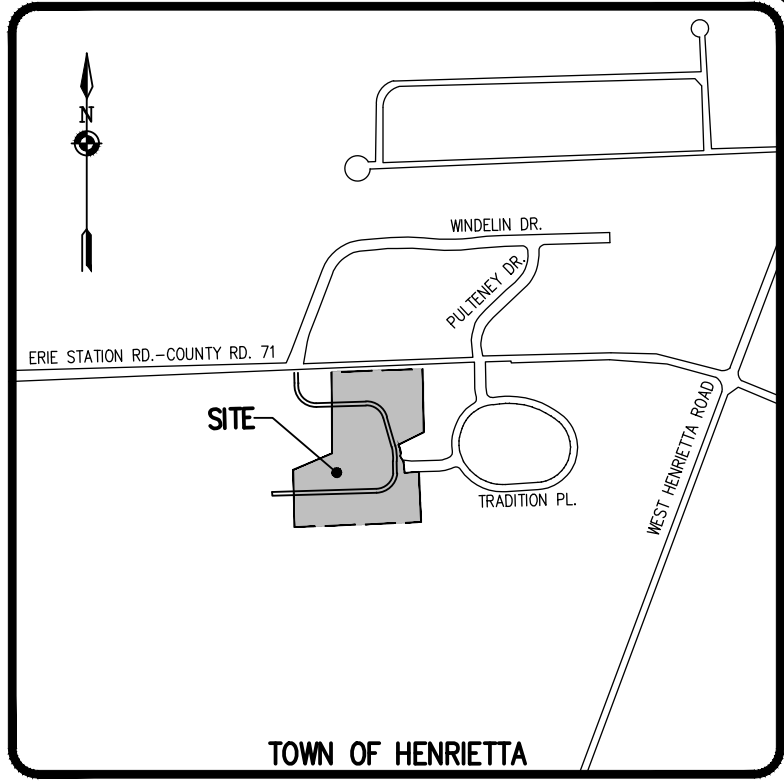
OLD HITCHING POST CROSSING  
60' RIGHT-OF-WAY

N/F ERIE STATION VILLAS LLC T.A.  
No. 189.12-3-76.21  
7 OLD HITCHING POST XING

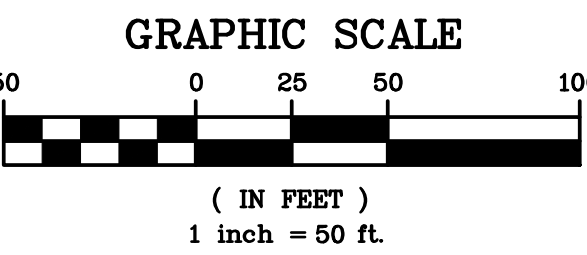
N/F ERIE STATION VILLAS LLC T.A.  
No. 189.12-3-76.21  
7 OLD HITCHING POST XING

N/F ERIE STATION HOMEOWNERS ASSOCIATION INC  
T.A. No. 189.12-3-18

N/F ERIE STATION HOMEOWNERS ASSOCIATION INC  
T.A. No. 189.12-3-76.1



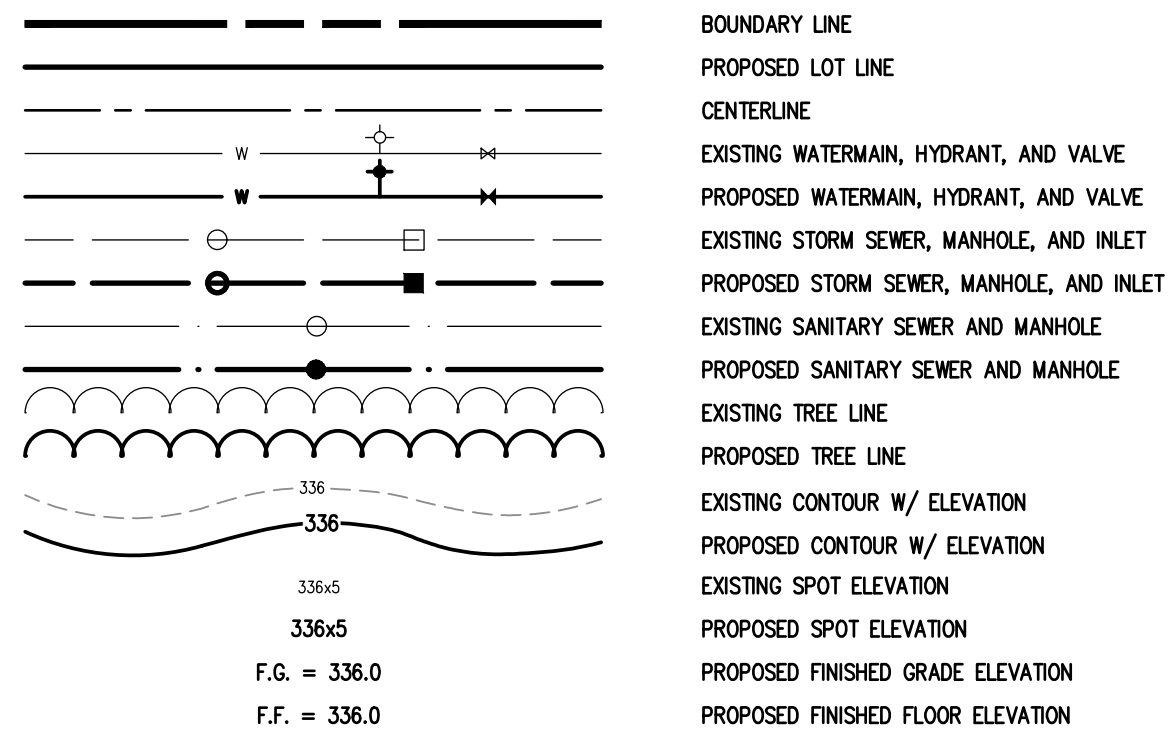
TOWN OF HENRIETTA  
LOCATION MAP  
NOT TO SCALE



GRADING NOTES:

- 1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- 2. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- 3. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
- 4. THE CONTRACTOR SHALL CONTROL DUST ON SITE AS DIRECTED BY THE TOWN OF HENRIETTA.
- 5. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE TOWN OF HENRIETTA, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- 6. HIGHWAY DRAINAGE ALONG ERIE STATION ROAD (COUNTY ROAD 71) TO BE MAINTAINED AS DIRECTED BY THE TOWN OF HENRIETTA.
- 7. FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS MEASURED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE TOWN OF HENRIETTA WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
- 8. CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVIEWED BY THE ENGINEER AND THE TOWN.

LEGEND



NOT APPROVED

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REVISIONS	DATE	BY
7		
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**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NY 14610  
PHONE: 585-577-7360  
FAX: 585-577-7369  
WWW.BMEI.COM

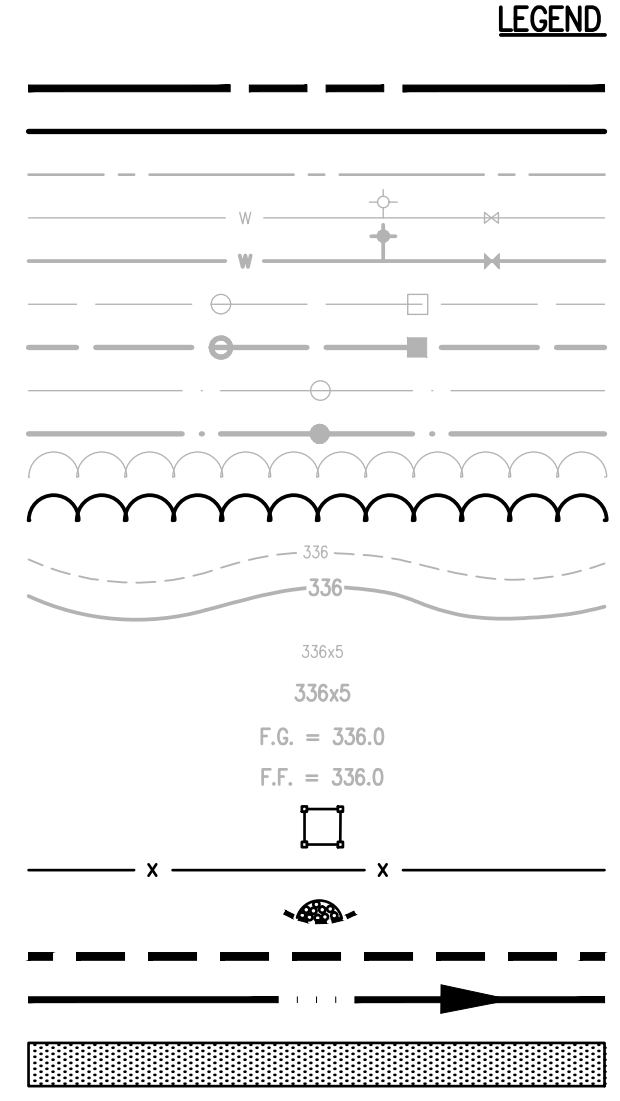
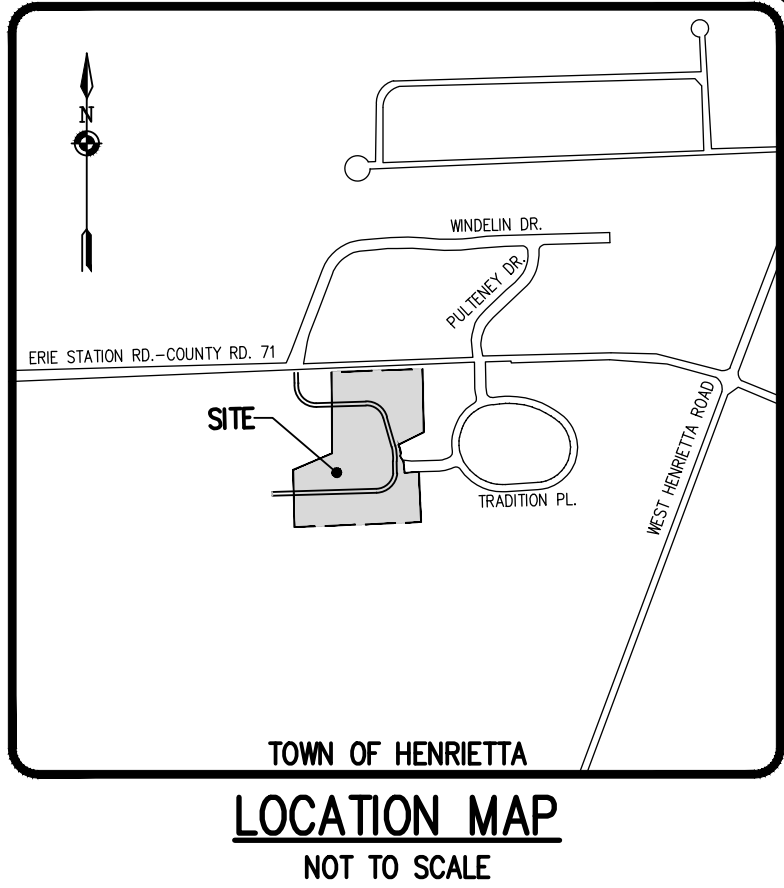
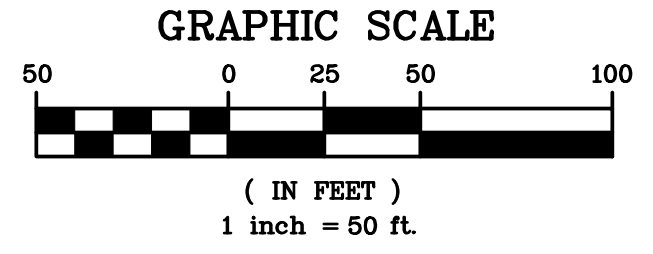
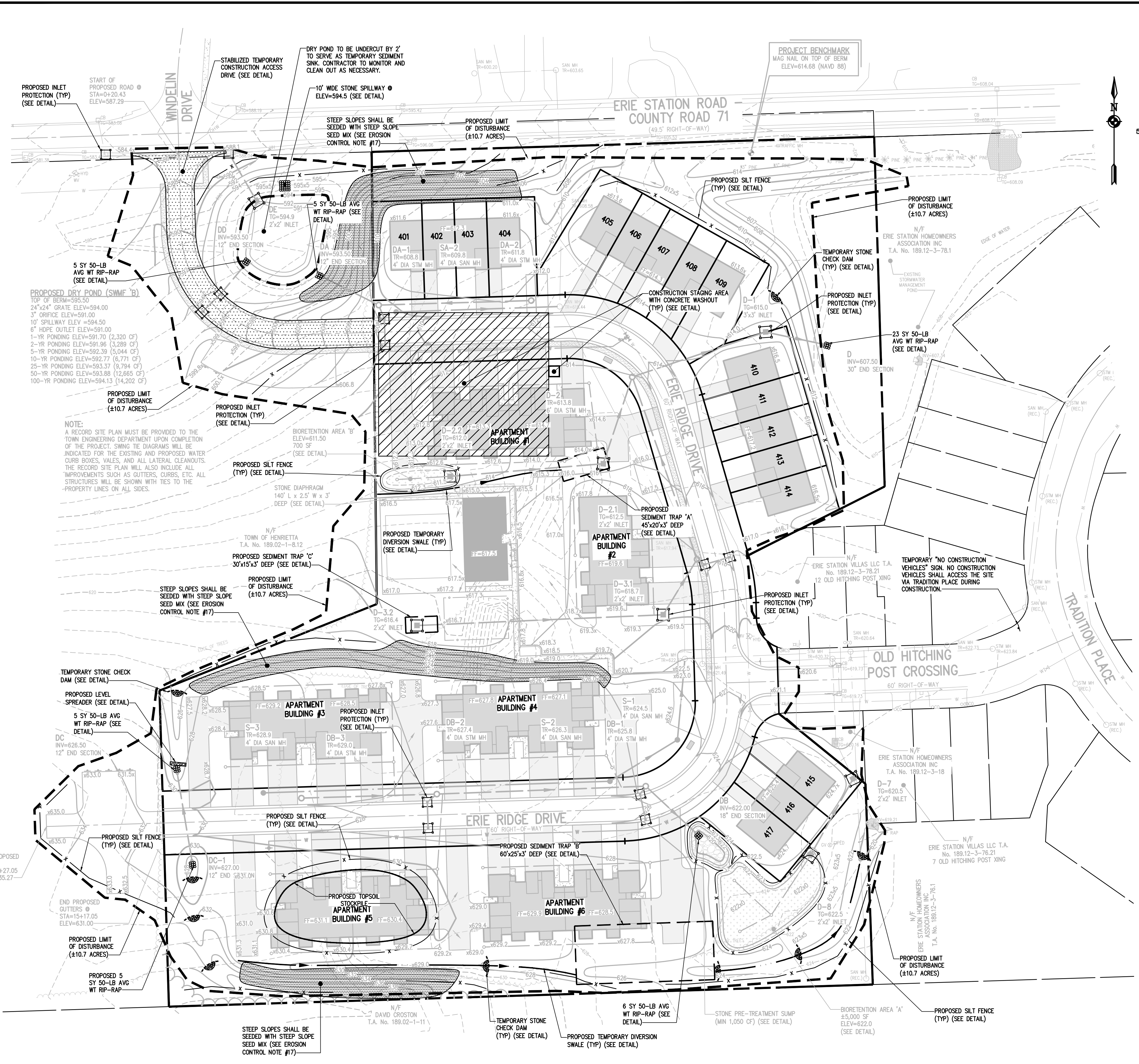


**ERIE RIDGE TOWNHOMES**  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
ESV LLC  
301 EXCHANGE BOULEVARD, SUITE 200  
ROCHESTER, NY 14608  
PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER: P.G. VARS  
PROJECT ENGINEER: M.A. SERENI  
DRAWN BY: A.N. D'ANGELO  
SCALE: 1" = 50'  
DATE ISSUED: FEBRUARY 14, 2024  
PROJECT NO.: 2549  
DRAWING NO.: 07

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 189.12-3-77





**SEDIMENT TRAP VOLUMES**

SEDIMENT TRAP ID.	DRAINAGE AREA / DISTURBED AREA TO INLET	SEDIMENT TRAP VOLUME (REQUIRED)	TRAP DIMENSIONS* (L x W x D)	SEDIMENT TRAP VOLUME (PROVIDED)
A	±0.7 ACRES	2,500 CU. FT.	45'x20'x3'	2,700 CU. FT.
B	±1.2 ACRES	4,320 CU. FT.	60'x25'x3'	4,500 CU. FT.
C	±0.3 ACRES	1,080 CU. FT.	30'x15'x3'	1,350 CU. FT.

NOTE: SEDIMENT TRAPS TO BE CONSTRUCTED WITH A MINIMUM LENGTH TO WIDTH RATIO OF 2:1 AND A MINIMUM DEPTH OF 3 FEET. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 1'.  
\*TRAP DIMENSIONS PRESENTED AS GUIDANCE FOR CONTRACTOR ONLY. ACTUAL DIMENSIONS MAY VARY BASED UPON FIELD CONDITIONS. HOWEVER, MINIMUM 'REQ'D' SEDIMENT TRAP VOLUME\* MUST BE PROVIDED.

SEE PROFILE AND NOTE SHEET (BME DRAWING #2549-12) FOR ALL CONSTRUCTION EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES.

**NOT APPROVED**  
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Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of each alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

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**ERIE RIDGE TOWNHOMES**  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
ERIE RIDGE LLC  
301 EXCHANGE BOULEVARD, SUITE 200  
ROCHESTER, NY 14608  
PRELIMINARY/FINAL  
**CONSTRUCTION EROSION CONTROL PLAN**

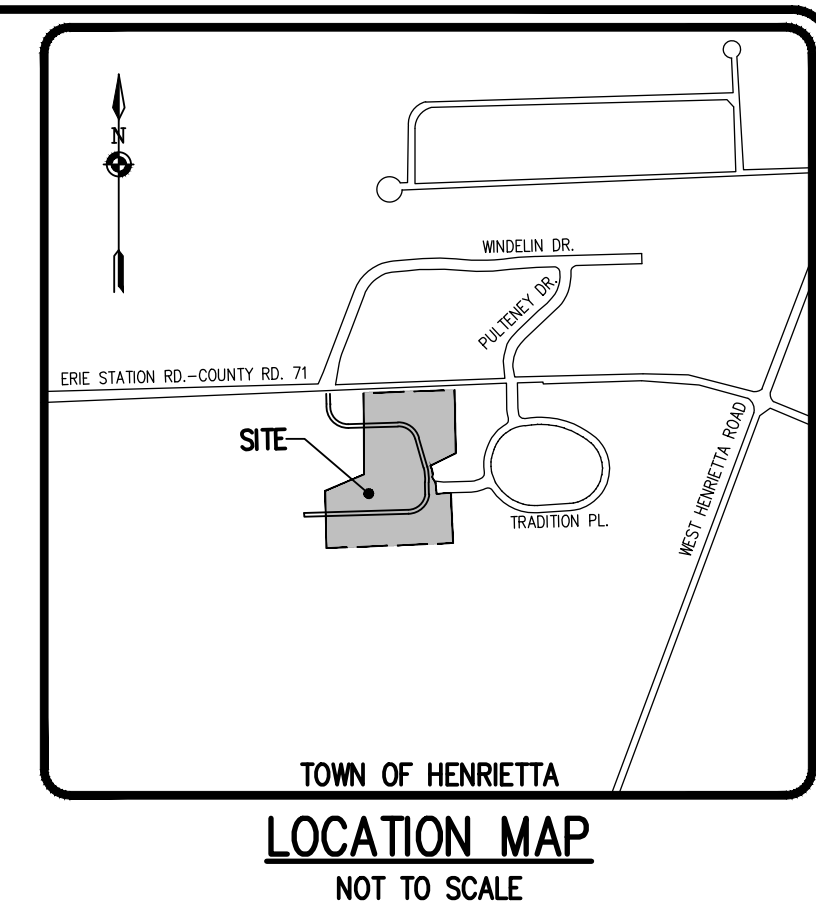
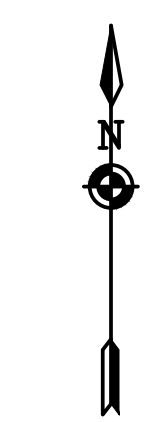
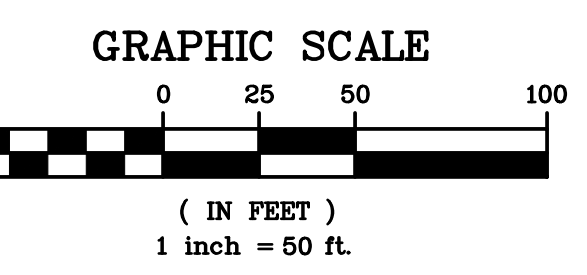
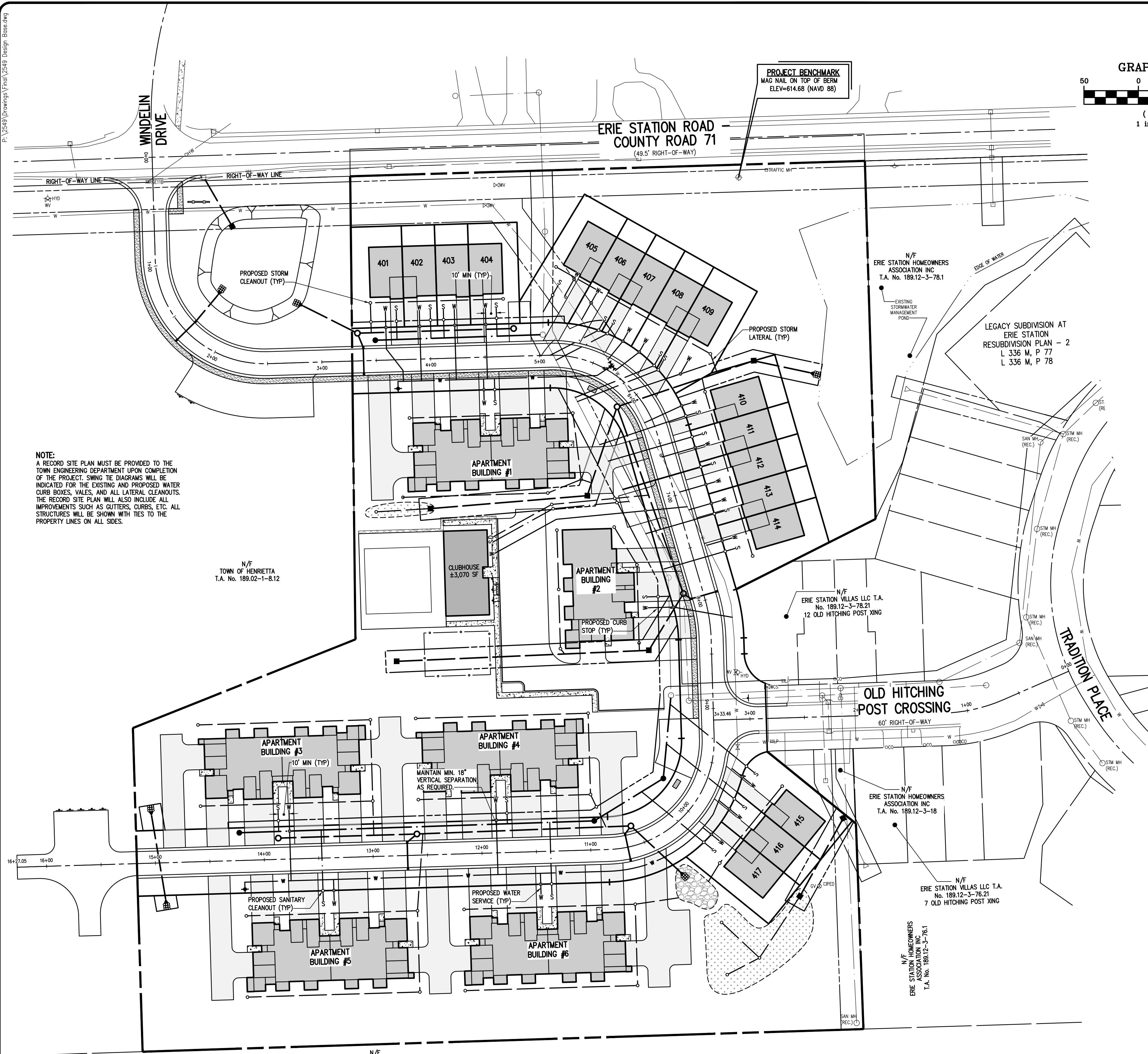
PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER  
P.G. VARS  
PROJECT ENGINEER  
M.A. SERENI  
DRAWN BY  
A.N. D'ANGELO  
SCALE DATE ISSUED  
1" = 50' FEBRUARY 14, 2024  
PROJECT NO.  
2549  
DRAWING NO.  
08

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 189.12-3-77



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SEE PROFILE AND NOTE SHEET (BME DRAWING #2549-12) FOR ALL UTILITY NOTES.

NOTE: A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALES, AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

N/F TOWN OF HENRIETTA T.A. No. 189.02-1-8.12

PROJECT BENCHMARK MAG NAIL ON TOP OF BERM ELEV=614.88 (NAVD 88)

ERIE STATION ROAD - COUNTY ROAD 71 (49.5' RIGHT-OF-WAY)

N/F ERIE STATION HOMEOWNERS ASSOCIATION INC T.A. No. 189.12-3-78.1

LEGACY SUBDIVISION AT ERIE STATION RESUBDIVISION PLAN - 2 L 336 M, P 77 L 336 M, P 78

N/F ERIE STATION VILLAS LLC T.A. No. 189.12-3-78.21 12 OLD HITCHING POST XING

N/F ERIE STATION HOMEOWNERS ASSOCIATION INC T.A. No. 189.12-3-18

N/F ERIE STATION VILLAS LLC T.A. No. 189.12-3-76.21 7 OLD HITCHING POST XING

N/F ERIE STATION HOMEOWNERS ASSOCIATION INC T.A. No. 189.12-3-76.1

N/F DAVID CROSTON T.A. No. 189.02-1-11

LATERAL NOTES:

- 1. WATER METER(S) ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERED SERVICES REQUIRING A 1 1/2 INCH OR LARGER METER, A BY-PASS AROUND THE METER IS REQUIRED.
2. NO CURB VALVE BOXES (WATER LATERAL) ARE ALLOWED IN DRIVEWAYS. THE SERVICE OR DRIVEWAY WILL BE RELOCATED IF THIS CONFLICT ARISES.
3. ALL HOMES WITH WATER PRESSURE GREATER THAN 70 PSI AT THE METER WILL REQUIRE A PRESSURE REDUCING VALVE INSTALLED AFTER THE METER.
4. SANITARY LATERALS' WITNESS STAKES SHALL BE 2"x4" HARDWOOD, EXTENDED 2'-3" ABOVE GRADE AND PAINTED GREEN.
5. ANY LAUNDRY WASTEWATER SHALL BE DIRECTED TO THE SANITARY SEWER.
6. CLEANOUTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS AND AT 80'-100' INTERVALS ALONG THE LATERAL. CLEANOUTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45' OR GREATER, AND AT 85'-100 FOOT INTERVALS THEREAFTER.

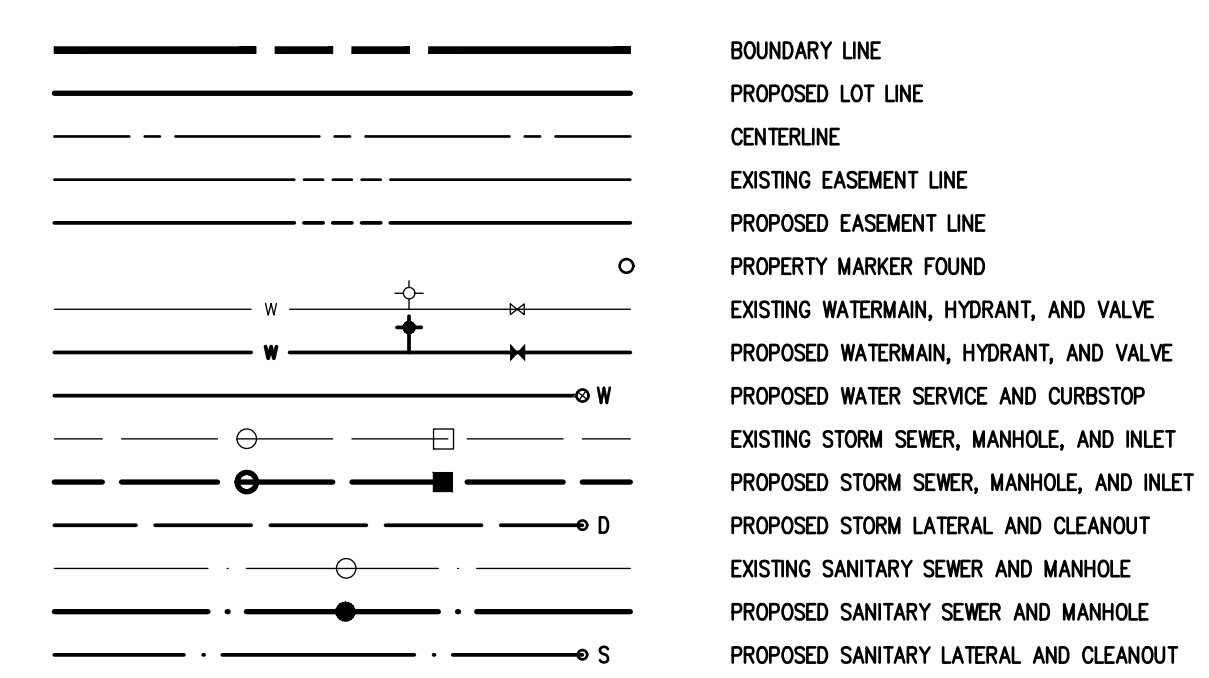
TOWNHOUSE LATERAL NOTES:

- ALL LATERALS OR SERVICES FOR THE TOWNHOUSE UNITS SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1 INCH TYPE K COPPER FROM THE WATERMAN TO THE CURB BOX AND 1 INCH PE #4710 FROM THE CURB BOX TO THE METER.
SANITARY: 4" SDR-21 INSTALLED AT 2.00% MIN.
STORM: 6" SDR-21 INSTALLED AT 1.00% MIN.

APARTMENT BUILDING LATERAL NOTES:

- ALL LATERALS OR SERVICES FOR THE APARTMENT BUILDINGS SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 4" CL-52 DIP
SANITARY: 6" SDR-21 INSTALLED AT 1.00% MIN.
STORM: 8" SDR-35 INSTALLED AT 1.00% MIN.
EXTEND APARTMENT LATERALS TO 5' OF BUILDING.

LEGEND



APPROVALS

BY: DIRECTOR OF ENGINEERING AND PLANNING DATE:
BY: COMMISSIONER OF PUBLIC WORKS DATE:
BY: DRAINAGE, SEWERS, SIDEWALKS DEPARTMENT DATE:
BY: DIRECTOR OF BUILDING/ FIRE PREVENTION DATE:

NOT APPROVED

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Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. PHONE: 565-577-7360, FAX: 565-577-7369.



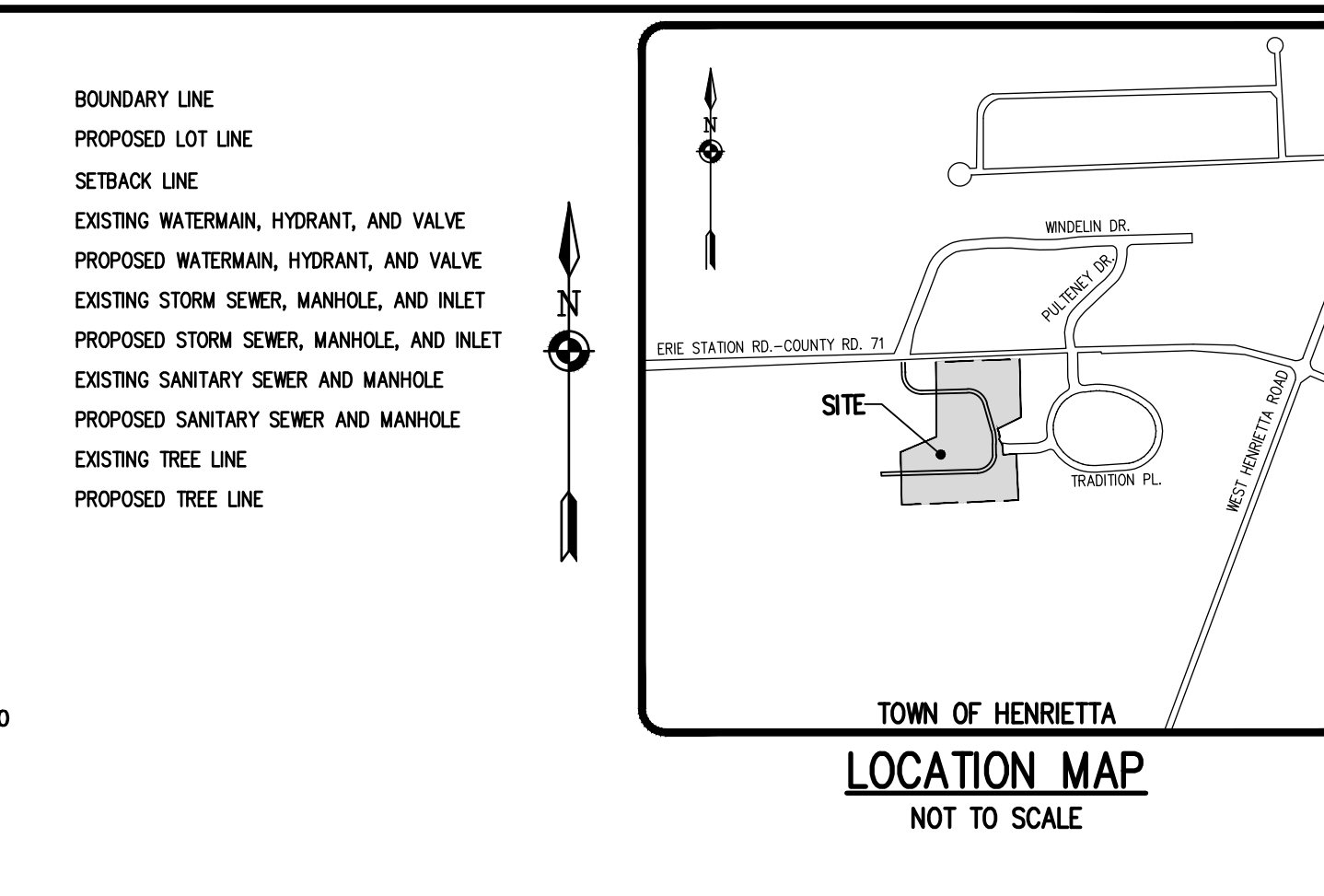
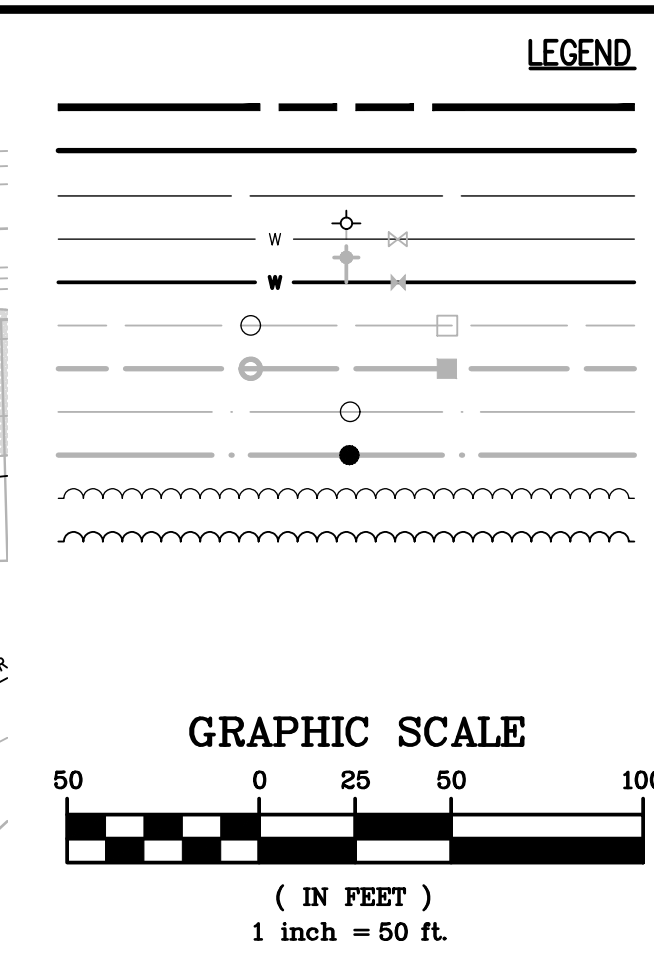
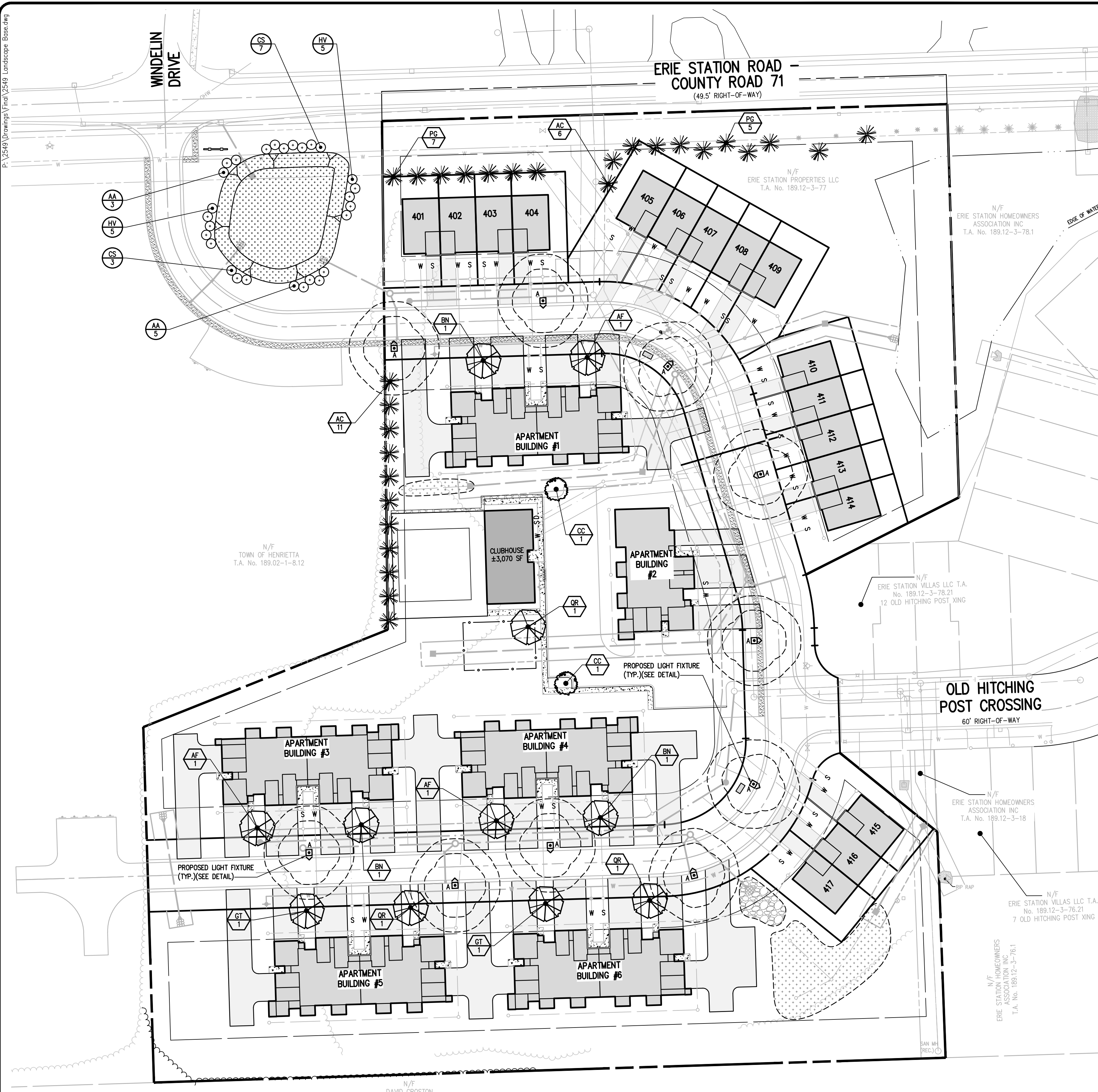
ERIE RIDGE TOWNHOMES project information: PROJECT, LOCATION, CLIENT, DRAWING TITLE (PRELIMINARY/FINAL LATERAL PLAN).

Project manager and engineer information: PROJECT MANAGER (P.G. VARS), PROJECT ENGINEER (M.A. SERENI), DRAWN BY (A.N. D'ANGELO), SCALE (1" = 50'), DATE ISSUED (FEBRUARY 14, 2024), PROJECT NO. (2549), DRAWING NO. (09).

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 189.12-3-77

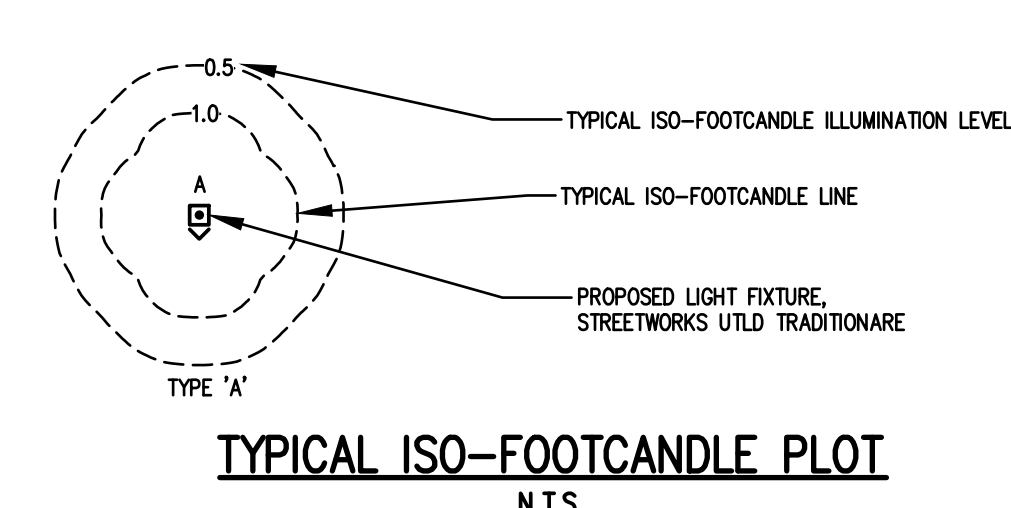


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SEE DETAIL SHEET (BME DRAWING #2549-15) FOR PLANTING DETAILS

SEE DETAIL SHEET (BME DRAWING #2549-15) FOR LIGHT FIXTURE DETAIL



- LANDSCAPE NOTES:**
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
  - ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
  - ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
  - PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
  - STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
  - PROVIDE ALL LANDSCAPE PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS:  
100% SHREDDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
  - SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.  
A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:  
% BY WEIGHT % BY PURITY % GERM  
'REPELL', 'CITATION' & 'MORNING STAR' PERENNIAL RYE GRASS 40 85 85  
'JAMESTOWN II', 'FORTRESS', 'ENSYLVA' RED FESCUE 20 97 80  
'BARON' & 'MIDNIGHT' KENTUCKY BLUEGRASS 40 85 80  
SEEDING RATE: 6.0 LBS PER 1,000 SF.  
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.  
STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.  
PLEASE REFER TO BME DRAWING # 2549-08 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS I.E. : TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.
  - PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE.
  - A MINIMUM 1 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.

- LIGHTING NOTES:**
- SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
  - LIGHT POLE TO BE STANDARD 18" DIRECT BURIAL BLACK FIBERGLASS LIGHT POLE.
  - ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
  - ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
  - CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
  - CONTRACTOR TO PROVIDE FINAL CUT SHEET AND SHOP DRAWINGS OF PROPOSED LIGHT FIXTURES, POLES AND LIGHT BASES FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION.
  - OWNER / CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL SERVICE DISTRIBUTION DESIGN AND LIGHTING CIRCUITRY DESIGN.
  - CONTRACTOR RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND INFORM OWNER / ENGINEER OF POTENTIAL CONFLICT TO LIGHT LOCATIONS PRIOR TO INSTALLATION.

**SITE PLANT MATERIALS LIST**

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
<b>TREES</b>						
17	AC	Abies concolor	Concolor Fir	5-6' Ht.	B&B	
3	AF	Acer x freemani 'Autumn Blaze'	Autumn Blaze Maple	2-2.5" cal	B&B	
3	BN	Betula nigra	River Birch	2-2.5" cal	B&B	SINGLE STEM
2	CC	Cercis canadensis 'Appalachian Red'	Appalachian Red Redbud	1.5-2" cal	B&B	
2	GT	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2-2.5" cal	B&B	
12	PG	Picea glauca 'Densata'	Black Hills Spruce	5-6' Ht.	B&B	
3	QR	Quercus rubra	Red Oak	2-2.5" cal	B&B	
<b>SHRUBS</b>						
8	AA	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	18"	BARE	
10	CS	Cornus sericea	Red-Osier Dogwood	18"	BARE	
10	HV	Hamamelis virginiana	Witch Hazel	18"	BARE	

**GROUNDCOVER SEEDING LIST**

DRY POND AND BIORETENTION AREA SEED MIX;  
'OBL WETLAND MIX', ERNST CONSERVATION SEEDS, ERNMX-131;  
SEEDING RATE: 15 LBS/AC OR 1/8 LB/1,000 SF.

**LUMINAIRE SCHEDULE**

TYPE	SYMBOL	QTY	MANUFACTURER CATALOGUE NUMBER	ARRANGEMENT	WATTAGE	MH	OWNER / OPERATOR
A	☞	10	UTLD-PA1-100-727-U-5WQ-CL-BK	Single	100	14'	RQ&E

**NOT APPROVED**  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

**APPROVALS**  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

**BME ASSOCIATES**  
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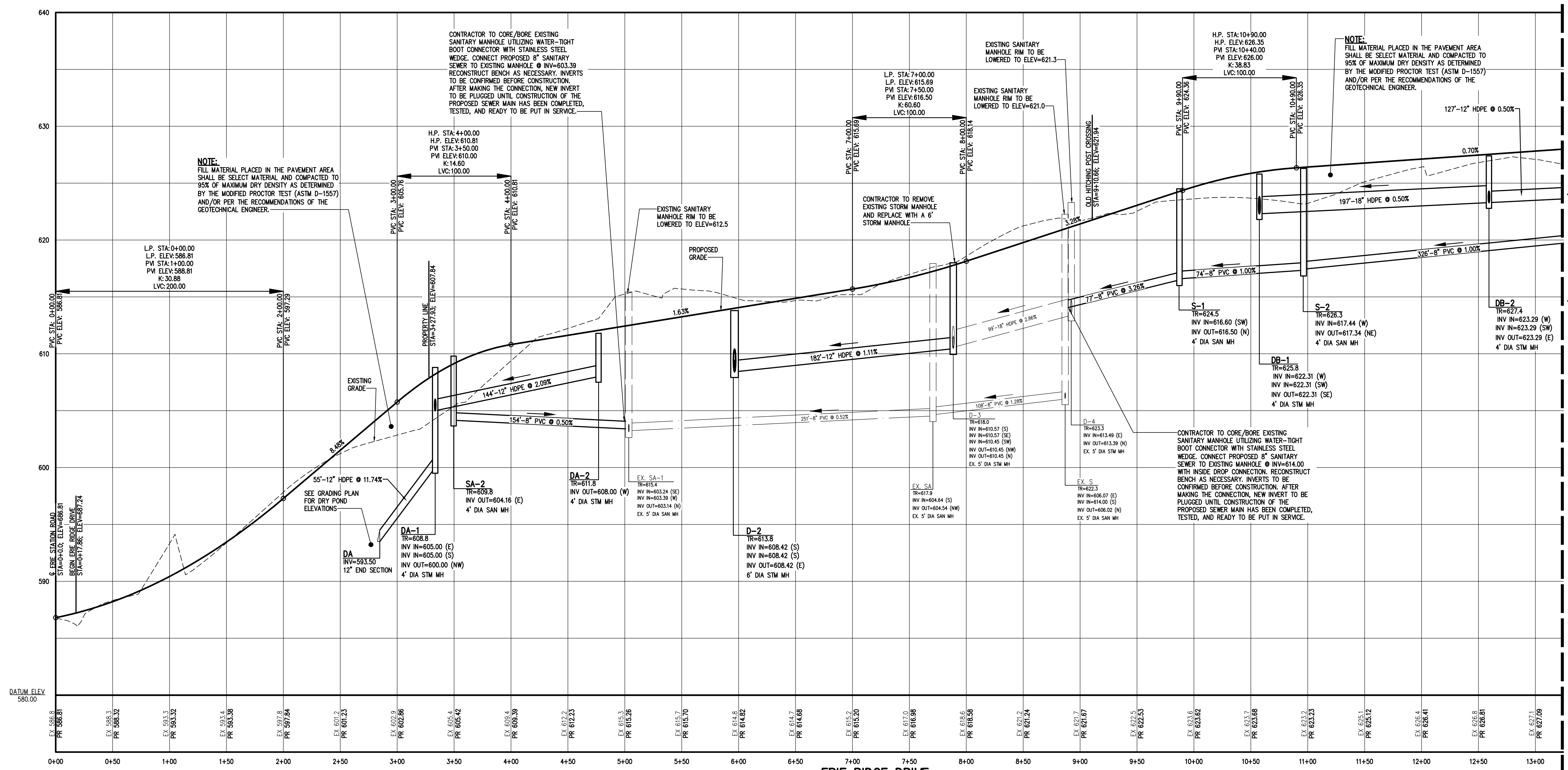
**ERIE RIDGE TOWNHOMES**  
PROJECT LOCATION CLIENT DRAWING TITLE

PHILIPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 26, THIRD RANGE OF LOTS, TAX MAP NUMBER 180.12-3-77

PROJECT MANAGER: P.G. VARS  
PROJECT ENGINEER: M.A. SERENI  
DRAWN BY: J.R. SQUIER  
SCALE: 1" = 50'  
DATE ISSUED: FEBRUARY 14, 2024  
PROJECT NO.: 2549  
DRAWING NO.: 10



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MATCHLINE - SEE PROFILE AND NOTE SHEET (BME DRAWING #2549-1-2)

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
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 PROJECT LOCATION CLIENT DRAWING TITLE

TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
 ERY, LLC  
 301 EXCHANGE BOULEVARD, SUITE 200  
 ROCHESTER, NY 14608

**PRELIMINARY/FINAL PROFILE SHEET**

**PROJECT MANAGER**  
 P.G. VARS

**PROJECT ENGINEER**  
 M.A. SERENI

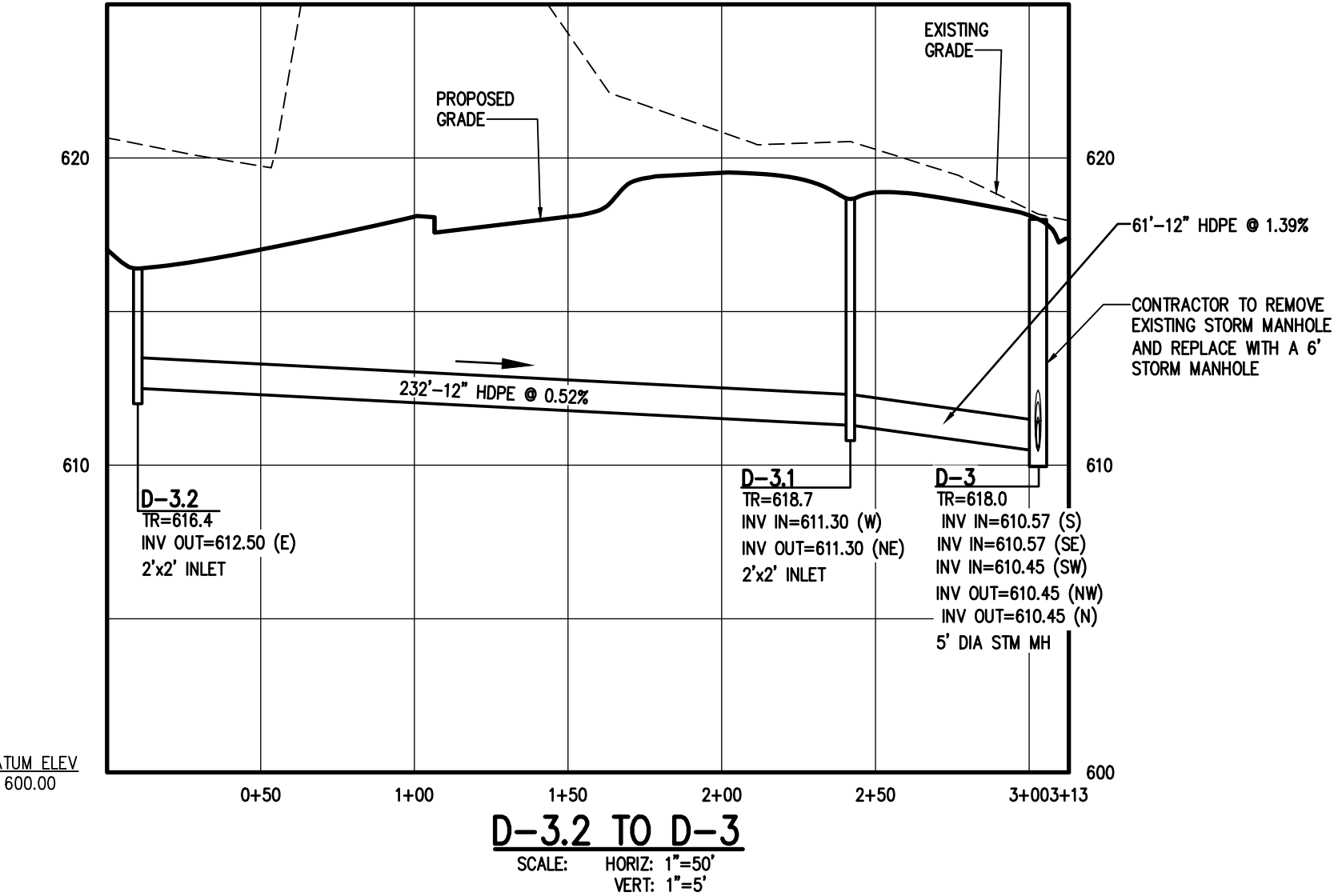
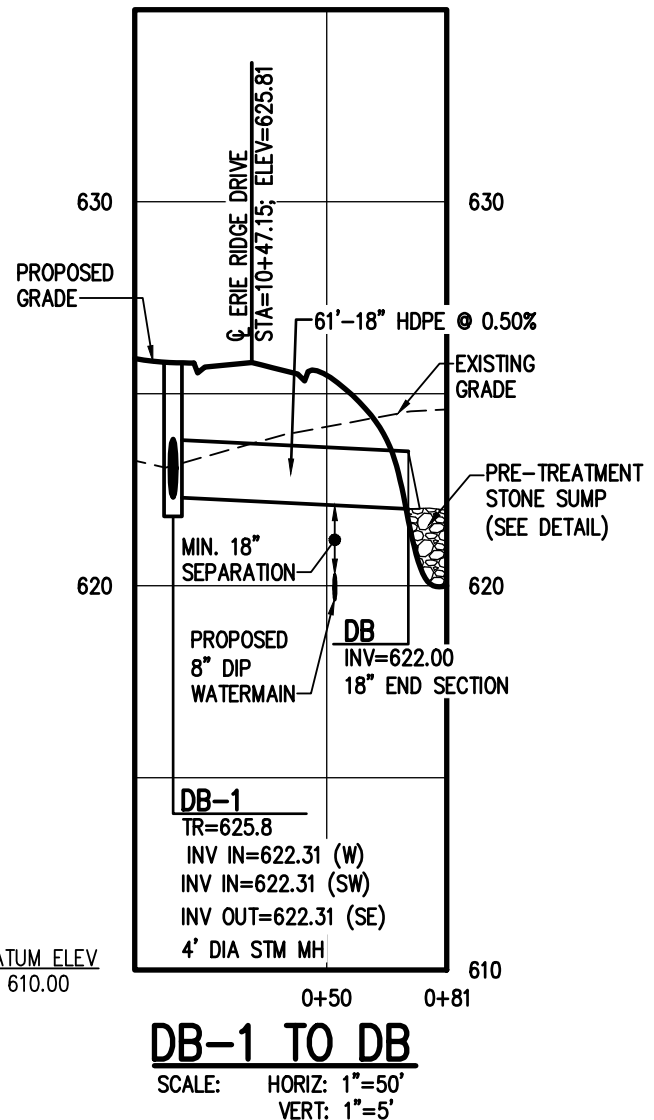
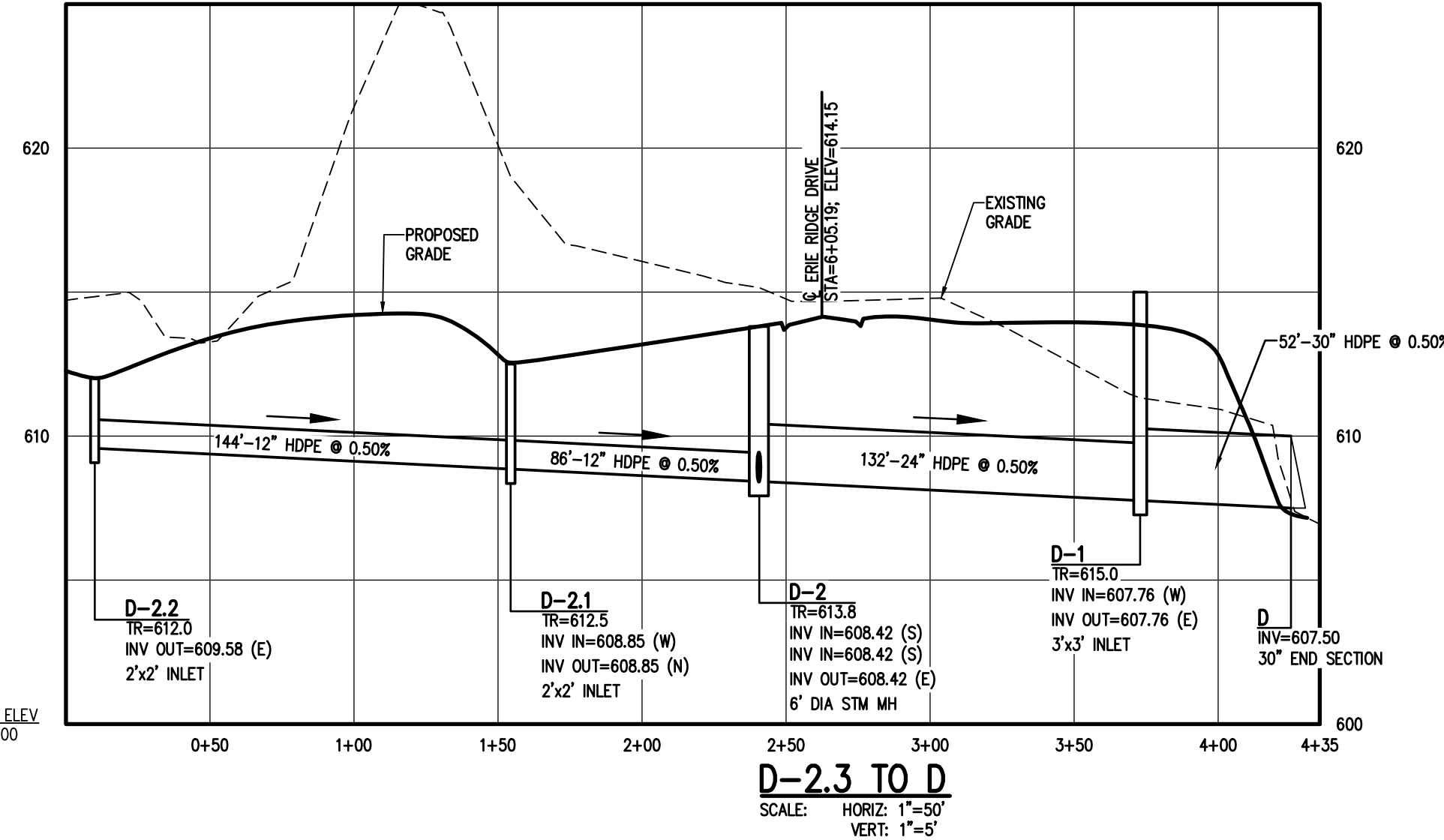
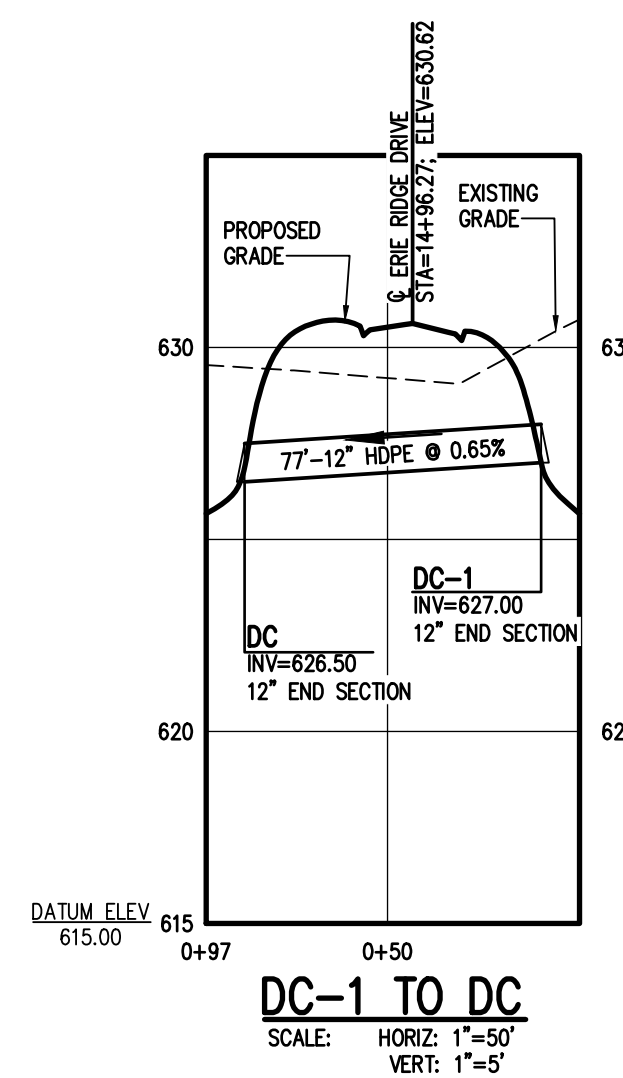
**DRAWN BY**  
 A.N. D'ANGELO

**SCALE**  
 AS SHOWN

**DATE ISSUED**  
 FEBRUARY 14, 2024

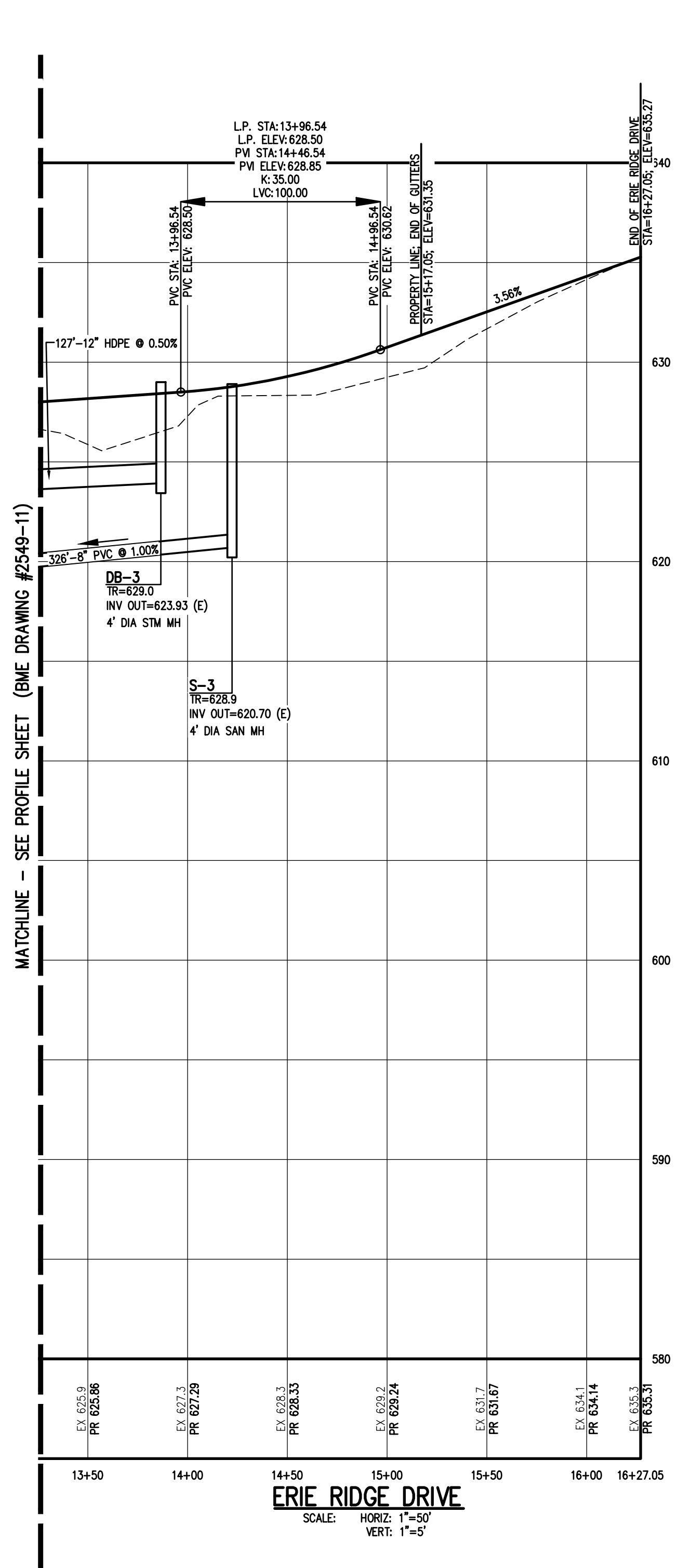
**PROJECT NO.**  
 2549

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**UTILITY NOTES:**

- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS (AND APPROVALS UNDER SECTION 278 OF TOWN LAW) OF THE TOWN OF HENRIETTA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA, THE APPROPRIATE AGENCIES (E. MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT (1800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- HIGHWAY DRAINAGE ALONG ERIE STATION ROAD (COUNTY ROAD 71) IS TO BE MAINTAINED.

**WATERMAIN:**

- WATERMAINS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. (SEE MCWA PUBLIC WATER SYSTEM NOTES).
- FOR WATERMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 3,000 PSI CONCRETE THRUST BLOCKS.
- WATERMAINS SHALL BE ZINC COATED DUCTILE IRON CEMENT LINED CLASS 52 (DIP) OR AS NOTED ON THE PLANS.
- WATERMAINS AND APPURTENANCES SHALL BE INSTALLED PER THE MOST RECENT AWWA C600 STANDARDS.
- THE WATERMAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA C600 STANDARDS (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE MONROE COUNTY WATER AUTHORITY.
- THE WATER MAIN SHALL BE DISINFECTED PER THE MOST RECENT AWWA C651 STANDARDS. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. THE HEALTH DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL AND FECAL COULFORM AND 24-HOUR BACTERIAL PLATE COUNT.

ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.

- ALL WATERMAINS SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS. THE CONTRACTOR SHALL CHECK ALL CUT STAKES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMAINS WILL HAVE THE REQUIRED COVER.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUNDWATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISH GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- PRIOR TO INSTALLATION OF THE WATERMAIN, THE CONTRACTOR SHALL PROVIDE RESULTS OF A 10 POINT SOIL TEST EVALUATION PER ANSI-AWWA C105-A21.5-82 TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT. SOIL TESTS ARE TO BE PERFORMED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH MCWA STANDARDS.
- MINIMUM SEPARATION BETWEEN WATERMAIN AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERMAINS AND STORM/SANITARY SEWER MAINS TO BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATERMAINS.

**SANITARY SEWER:**

- ALL SANITARY SEWERS ARE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE TOWN OF HENRIETTA.
- SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA.
- SANITARY SEWER PIPE SHALL BE 8" PVC SDR-35 OR AS NOTED ON THE PLAN.
- FLOOR DRAINS TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OF FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- INFILTRATION AND EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS OR SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-C-628-96, ENTITLED "STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES." SANITARY MANHOLES SHALL BE TESTED FOR INFILTRATION.

WATER TESTING - EACH MANHOLE SHALL BE FILLED WITH A MAXIMUM OF 10 FEET OF WATER, SUBJECT TO A 24 HOUR TEST AND SHOW A LOSS OF WATER NOT TO EXCEED 15 GALLONS/24 HOURS FOR A 4 FOOT DMH. INFILTRATION TESTS SHALL ADHERE TO THE SAME LIMITS.

VACUUM TESTING - EACH MANHOLE SHALL BE SUBJECT TO A VACUUM OF 10 INCHES OF HG FOR ONE MINUTE WITH AN ALLOWABLE LOSS OF 1 INCH OF HG.

THE FOLLOWING TESTS SHALL BE PERFORMED ON PVC SANITARY SEWER PIPE:

- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
- NO PIPE SHALL EXCEED A 5% DEFLECTION.
- IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

NEW SEWERS ARE TO BE PLUGGED WHEN CONNECTED TO EXISTING MANHOLES UNTIL THE NEW SEWERS ARE FLUSHED, TESTED, AND READY FOR SERVICE.

**STORM SEWER:**

- STORM SEWERS, BUILDING LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA.
- STORM SEWER PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR, OR AS NOTED ON THE PLAN.
- CHECK VALVES TO BE PROVIDED ON SUMP PUMPS.
- DOWNSPOUTS SHALL BE CONNECTED TO STORM SEWER LATERALS. FOUNDATION DRAINS SHALL DISCHARGE ON SPLASH BLOCKS VIA SUMP PUMPS.

**MONROE COUNTY DEPARTMENT OF HEALTH STANDARD SANITARY SEWER EXTENSION NOTES:**

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C628-96 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

**MONROE COUNTY DEPARTMENT OF HEALTH STANDARD WATER MAIN EXTENSION NOTES:**

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.

ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 2202(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COULFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

**CONSTRUCTION EROSION CONTROL NOTES:**

- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF HENRIETTA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL GRADING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES AND GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
- FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- FOR DISTURBANCES OF 5 ACRES AND GREATER, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 7 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
- FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- THE BIORETENTION FACILITIES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: GREEN INFRASTRUCTURE PRACTICES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL. PLEASE REVIEW WITH PROJECT MANAGER.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- AREAS OR EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:  
THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSESED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:  

LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40
PERENNIAL RYEGRASS	40
ORCHARD GRASS	40
WHITE CLOVER (+ INOCULANT)	4

 SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.  
 DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:  

LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85
RED FESCUE	35	97
KENTUCKY BLUEGRASS	30	85

 SEEDING RATE: 80 LBS PER 1,000 SQ. FT.  
 MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.  
 STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.  
 SLOPES 3:1 OR GREATER SHALL BE SEEDDED WITH HEAVY MULCH AND MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6" TOPSOIL AND SEEDDED WITH FOLLOWING SEED MIX:  
 NATIVE STEEP SLOPE MIX WITH ANNUAL RYE GRASS - ERNMX-181  

32.2%	Sorghastrum nutans	INDIANGRASS
20%	Lolium multiflorum	ANNUAL RYEGRASS
17%	Elymus virginicus	VIRGINIA WILDRYE
6%	Andropogon gerardi	BIG BLUESTEM
6%	Agrostis perennans	AUTUMN BENTGRASS
3%	Panicum virgatum 'Shawnee'	SMITHGRASS
2.5%	Echinochloa purpurea	PURPLE CONEFLOWER
2%	Agrostis scabra	TICKLEGRASS
2%	Tridens flavus	PURPLETOP
2%	Chamaecrista fasciculata	PARTRIDGE PEA
1%	Coreopsis lanceolata	LANCELEAF COREOPSIS
1%	Heliopsis helianthoides	OXYE SUNFLOWER
1%	Rudbeckia hirta	BLACKEYED SUSAN
0.7%	Lespedeza virginica	SLENDER BUSHCLOVER
0.6%	Liatris spicata	MARSH BLAZING STAR
0.5%	Monarda fistulosa	MILD BERGAMONT
0.4%	Aster novae-angliae	NEW ENGLAND ASTER
0.1%	Pycnanthemum tenuifolium	SLENDER MOUNTAINMINT

 SEEDING RATE: 80 LBS PER ACRE OR 1 LB PER 1000 SF  
 INOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S RECOMMENDED RATE)  
 MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.
- THE EXPANDED STORMWATER POND AREA SHALL BE SEEDDED TO AN ELEVATION 2 FT. ABOVE THE NORMAL PONDING LEVEL WITH 'OBL WETLAND SEED MIX' (ERNM-131) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.
- ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDDED.
- ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
- THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
- UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-20-001.
- ANY CHANGES TO THE SWPPP WILL REQUIRE MS4 ACCEPTANCE PRIOR TO IMPLEMENTATION.

**SEQUENCE OF CONSTRUCTION STEPS:**

**TOTAL DISTURBED ACREAGE = ±10.7 ACRES**

**STEP 1: (SITE PREPARATION)**

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ACCESS(ES) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE. COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOOGING OF LANDS TO MAINTAIN GROUND COVER.

**STEP 2: (CONSTRUCTION ACTIVITY)**

- STRIP AND STOCKPILE TOPSOIL AS REQUIRED FOR INSTALLATION OF THE PROPOSED STORMWATER MANAGEMENT DRY POND AND FOR THE EXPANSION OF THE EXISTING STORMWATER MANAGEMENT FACILITY. COMPLETE GRADING, FINE GRADE AND SEED. STORMWATER MANAGEMENT FACILITY TO BE UTILIZED AS A SEDIMENT BASIN DURING CONSTRUCTION. CONTRACTOR TO UNDERCUT POND BOTTOM BY 2".
- STRIP AND STOCKPILE TOPSOIL; TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
- COMMENCE MASS GRADING OPERATIONS. COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES, AND TEMPORARY SEDIMENT TRAPS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION AND SEDIMENT TRAPS TO BE STABILIZED IMMEDIATELY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.
- INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
- INSTALL ROAD BASE, GUTTERS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- A 5-ACRE WAIVER WILL BE REQUESTED FOR THE AREA PROPOSED TO BE DISTURBED.
- NO CONSTRUCTION ACCESS TO BE CREATED AT OLD HITTING POST CROSSING. ALL CONSTRUCTION VEHICLES ARE TO USE THE PROPOSED CONSTRUCTION ENTRANCE OFF OF ERIE STATION ROAD (COUNTY ROAD 71)

**STEP 3: (STABILIZATION & MONITORING)**

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
- SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET - ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
- FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
- MONITOR STORMWATER MANAGEMENT FACILITIES AND SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- CONSTRUCT BIORETENTION AREAS ONCE CONTRIBUTING UPSTREAM AREAS ARE STABILIZED AND GROUNDCOVER IS ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF HENRIETTA.

Drawing Alteration  
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REVISIONS	DATE	BY
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**ERIE RIDGE TOWNHOMES**  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
ESV, LLC  
301 EXCHANGE BOULEVARD, SUITE 200  
ROCHESTER, NY 14608

**PRELIMINARY/FINAL PROFILE AND NOTE SHEET**

PROJECT LOCATION CLIENT DRAWING TITLE

**PROJECT MANAGER**  
P.G. VARS

**PROJECT ENGINEER**  
M.A. SERENI

**DRAWN BY**  
A.N. D'ANGELO

SCALE DATE ISSUED  
AS SHOWN FEBRUARY 14, 2024

**PROJECT NO.**  
2549

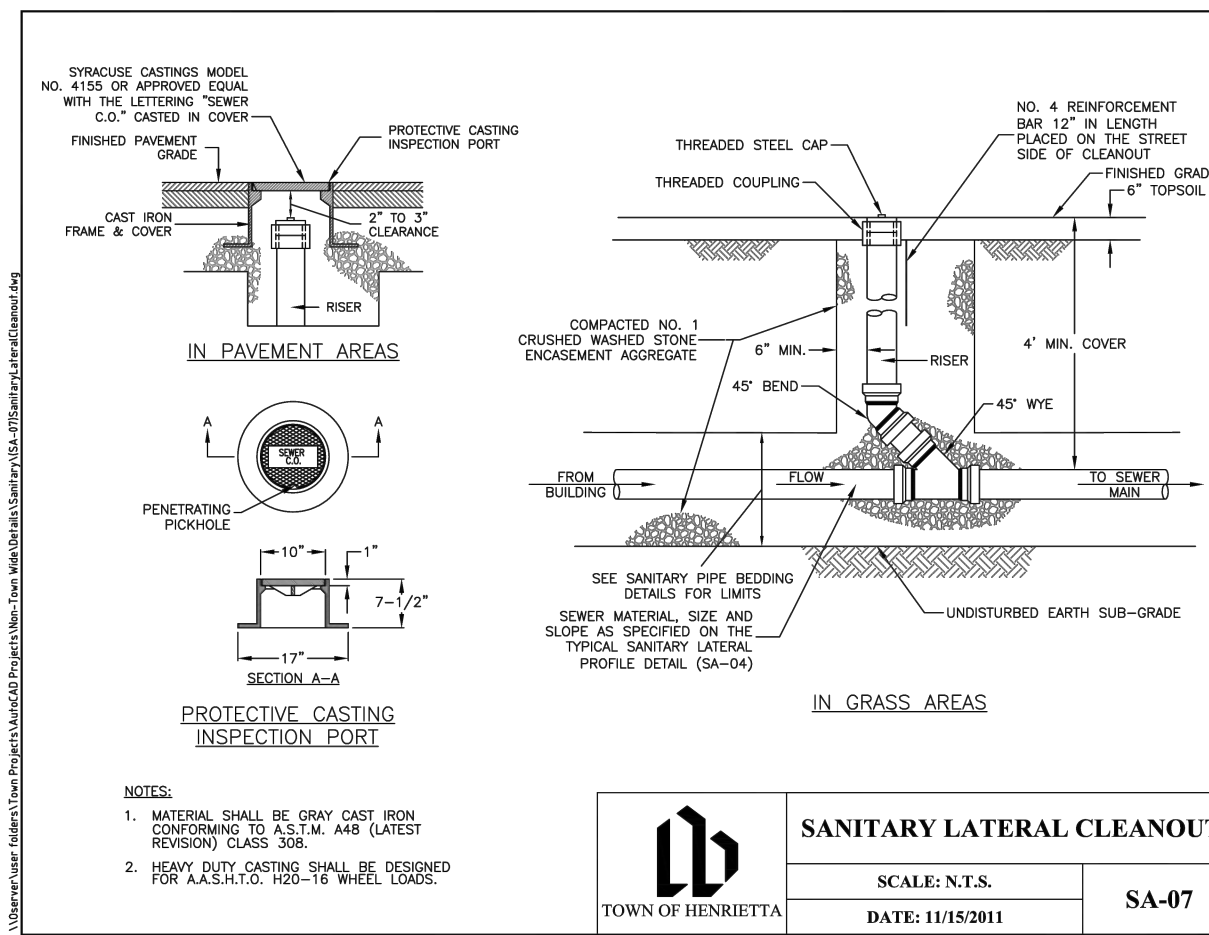
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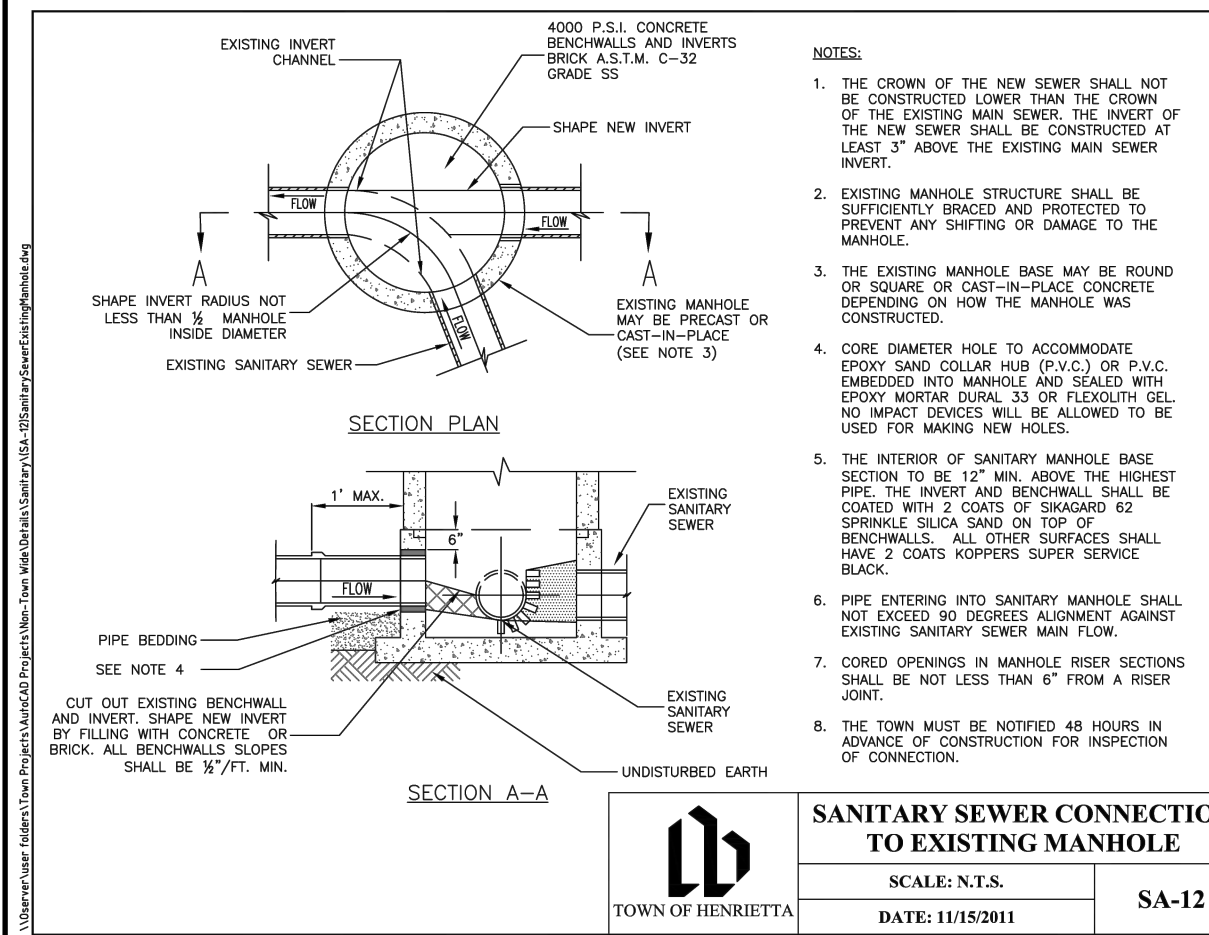




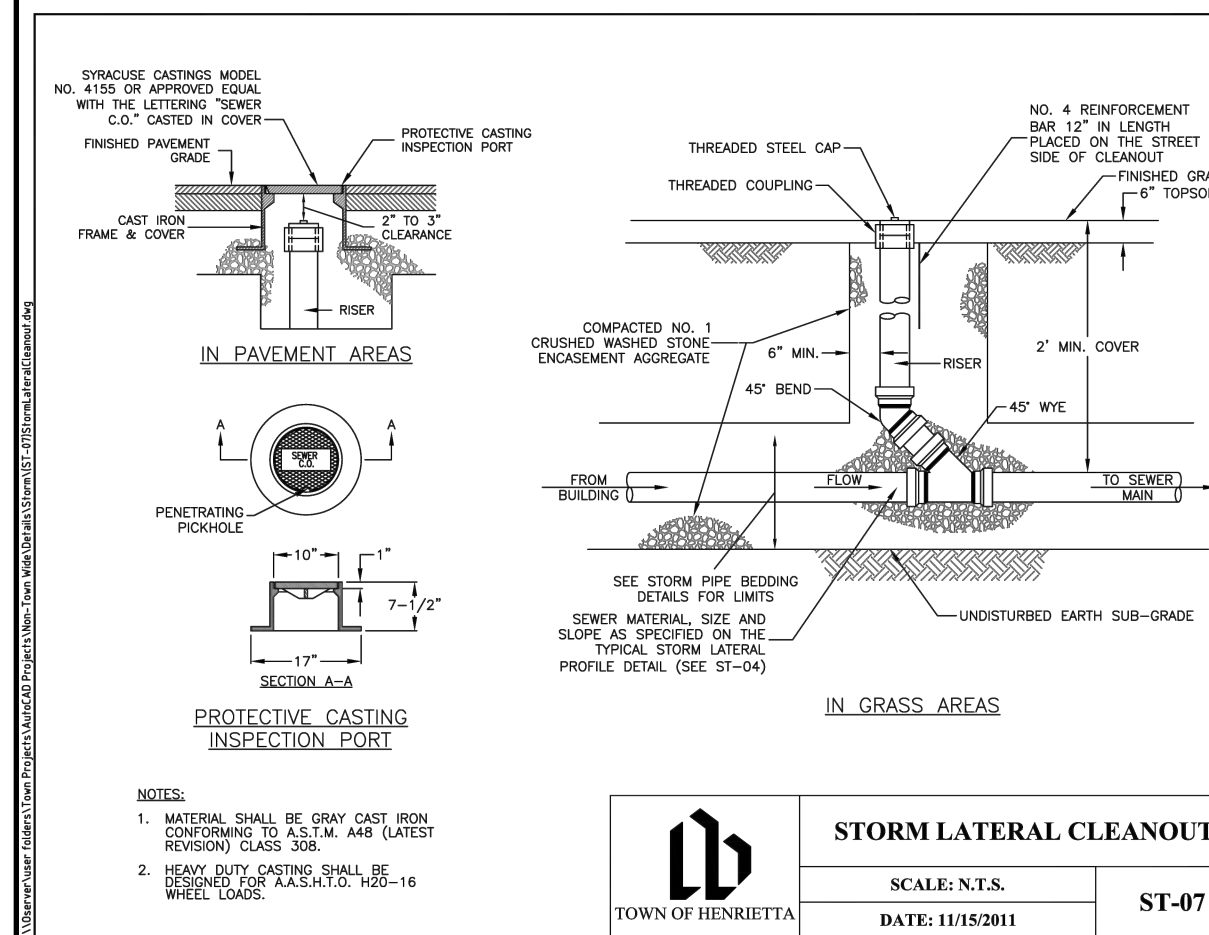
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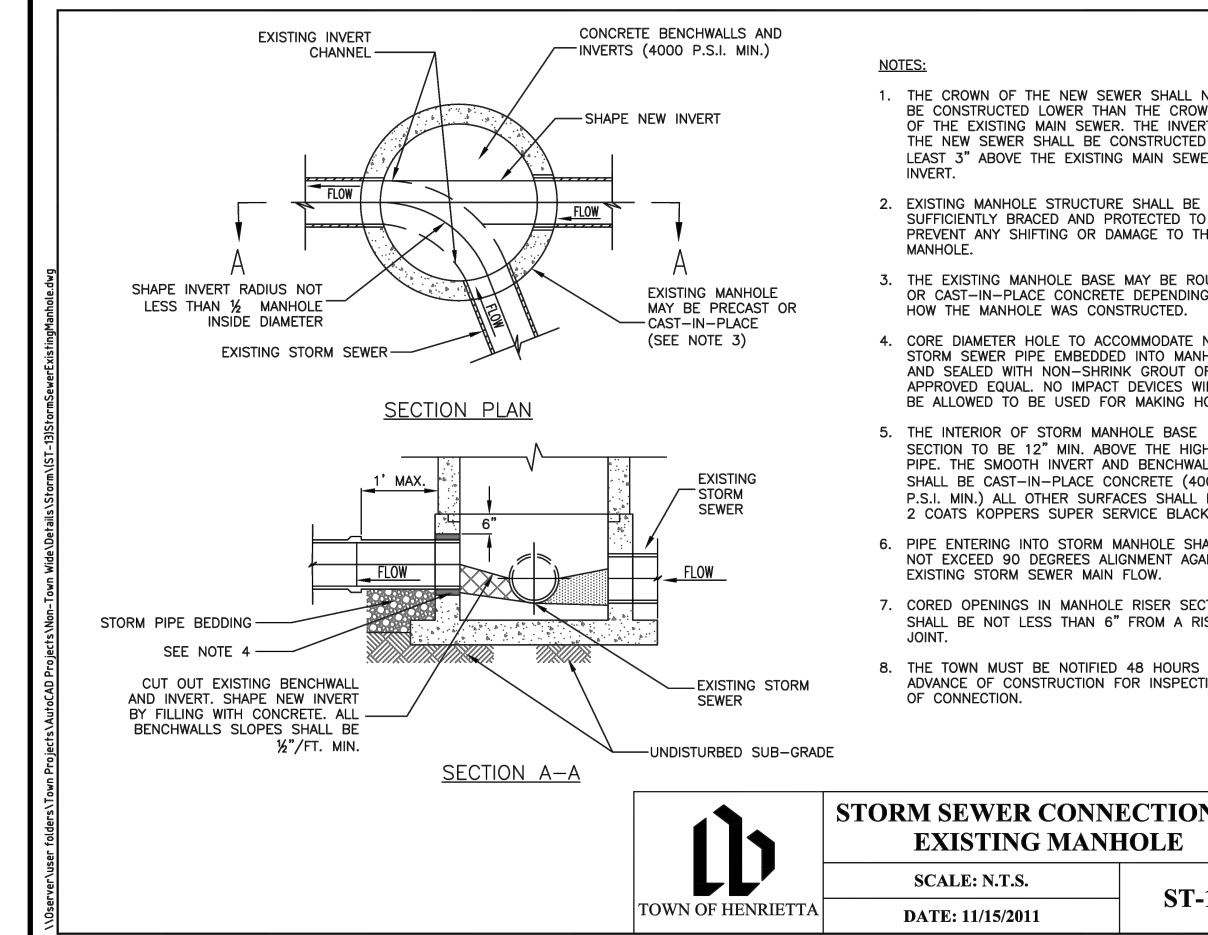
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SCALE: N.T.S.  
DATE: 11/15/2011  
SA-07



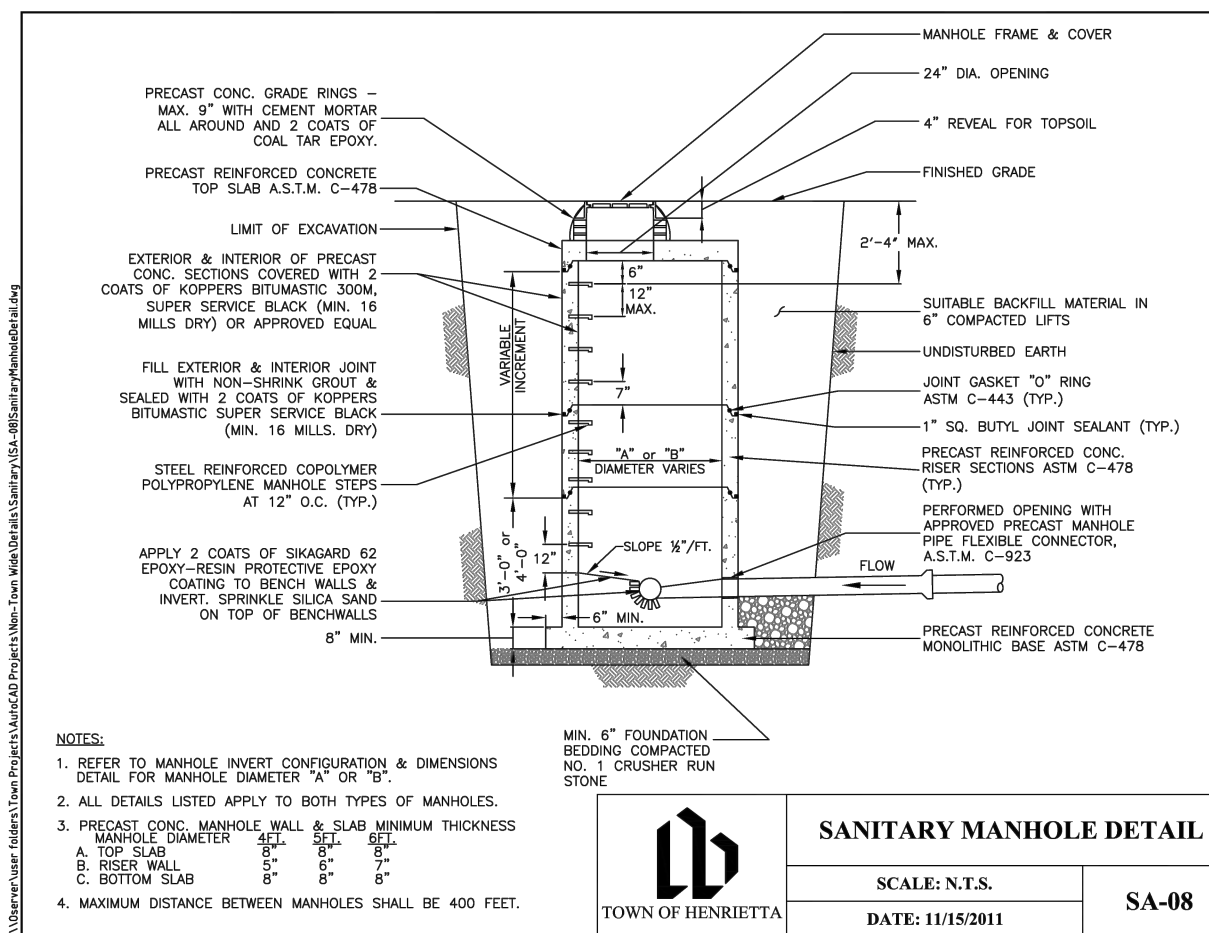
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SCALE: N.T.S.  
DATE: 11/15/2011  
SA-12



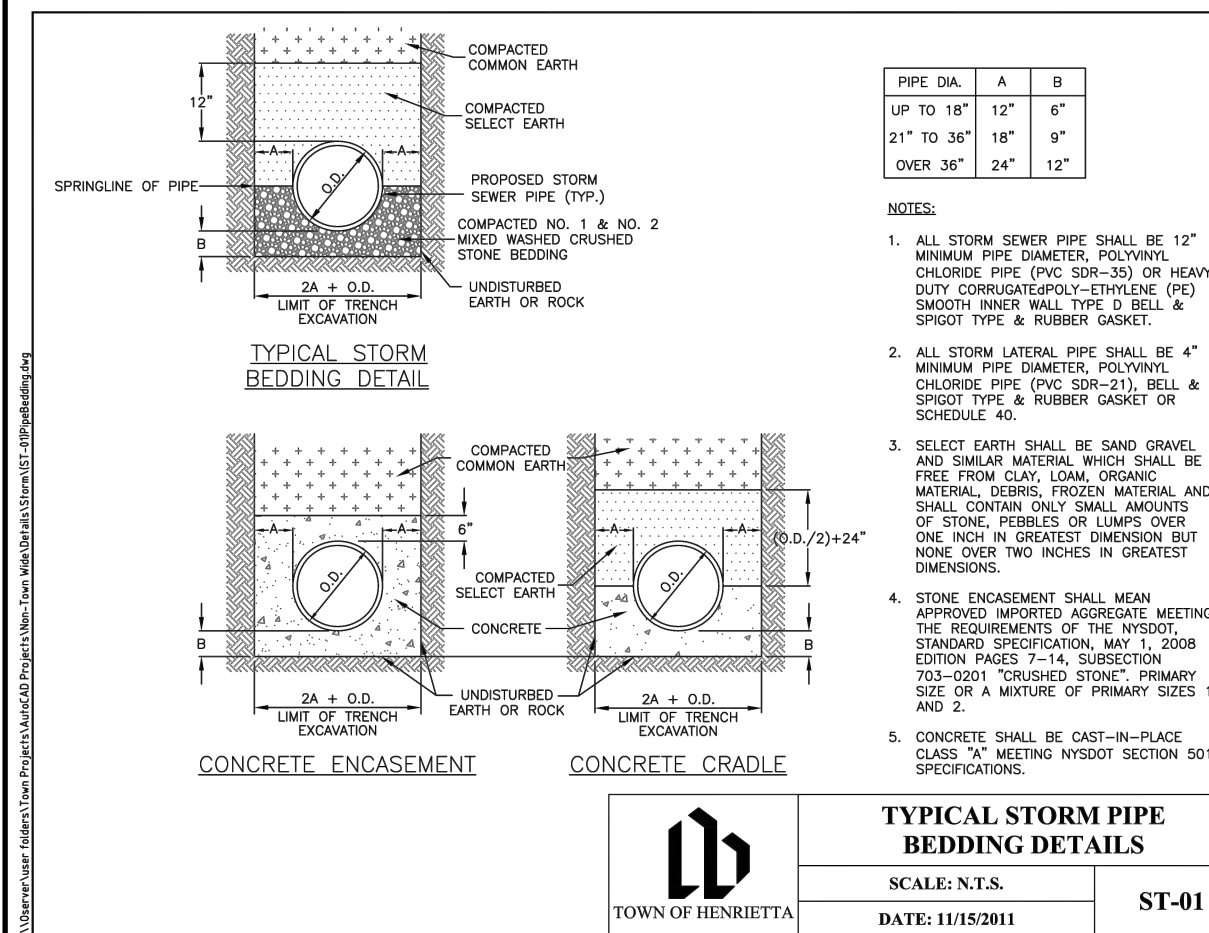
**STORM LATERAL CLEANOUT**  
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DATE: 11/15/2011  
ST-07



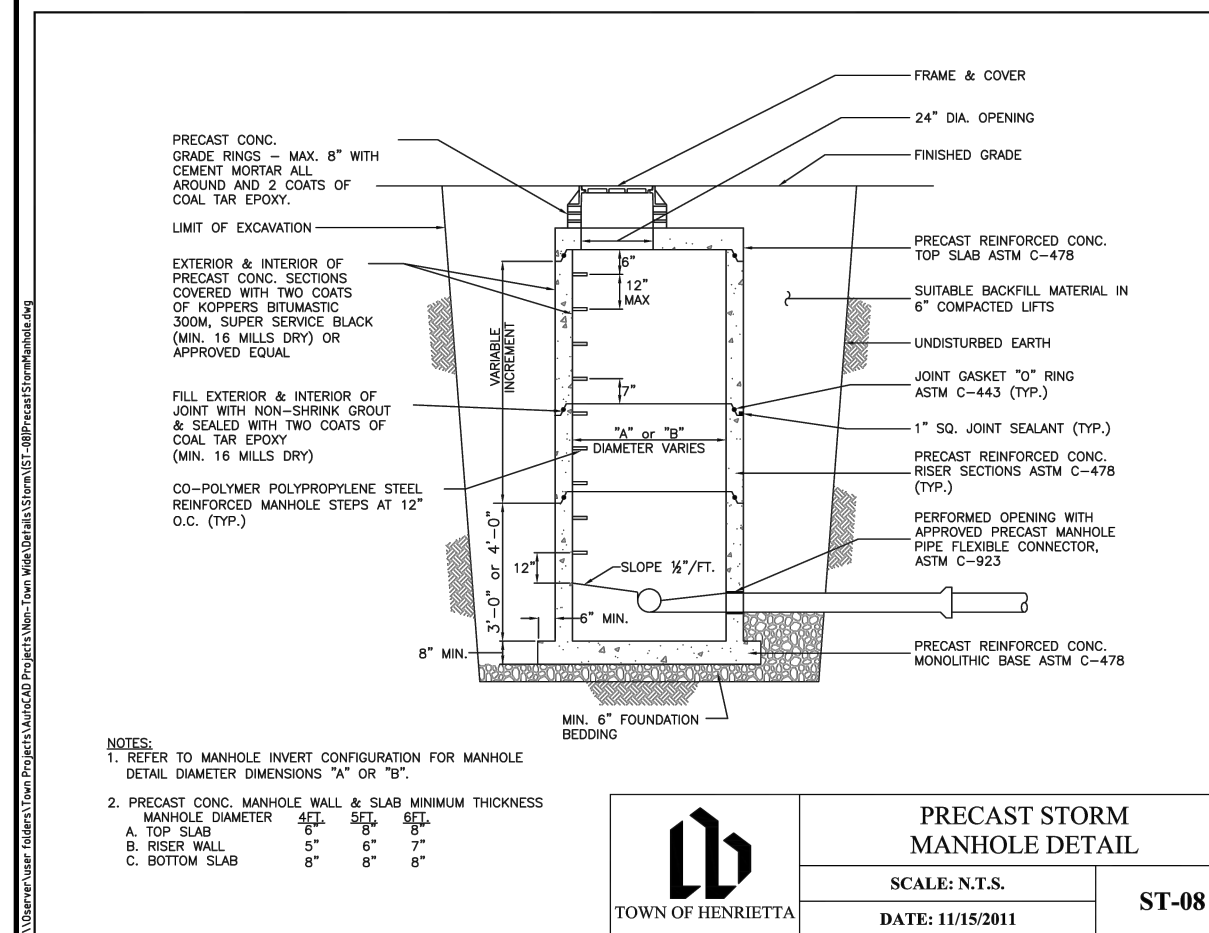
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DATE: 11/15/2011  
ST-13



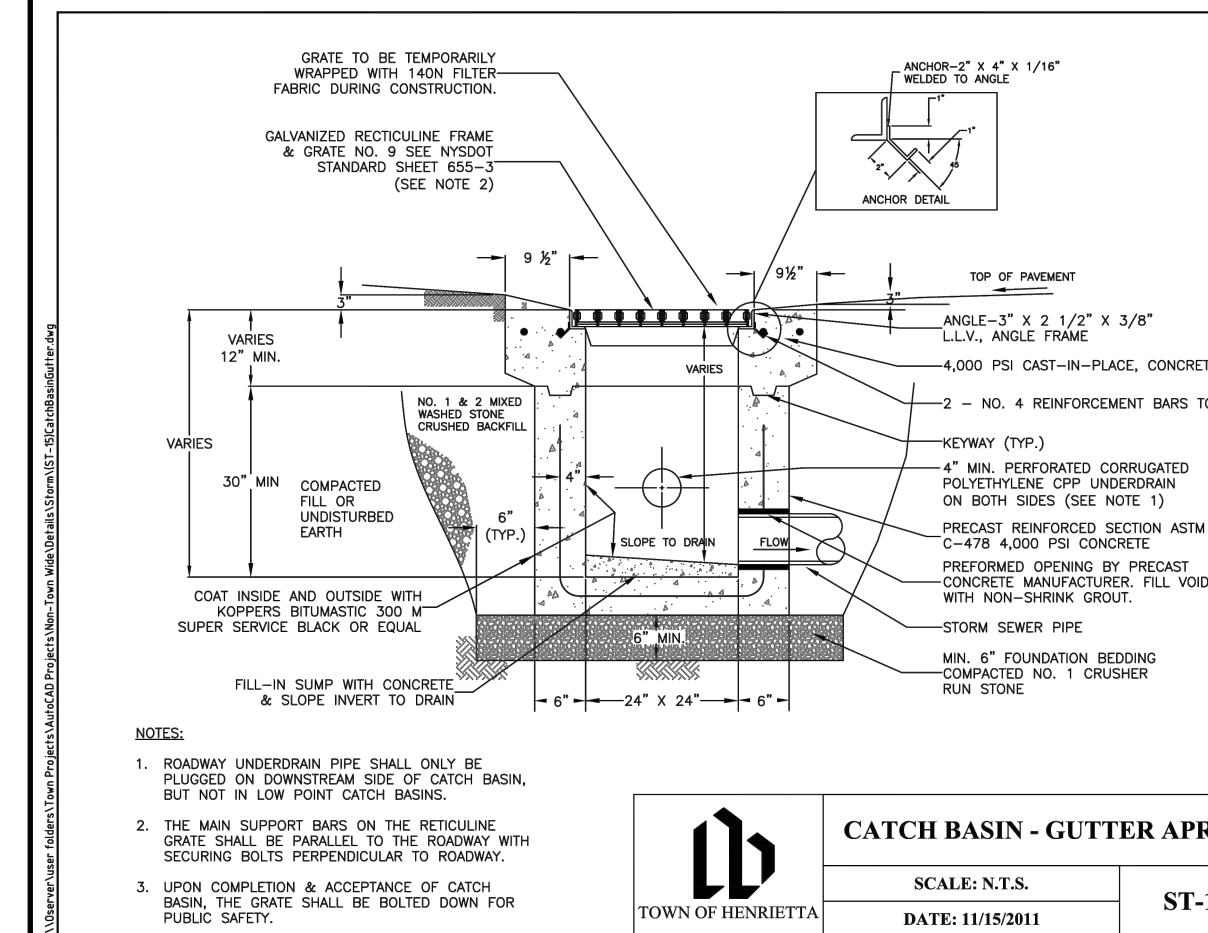
**SANITARY MANHOLE DETAIL**  
SCALE: N.T.S.  
DATE: 11/15/2011  
SA-08



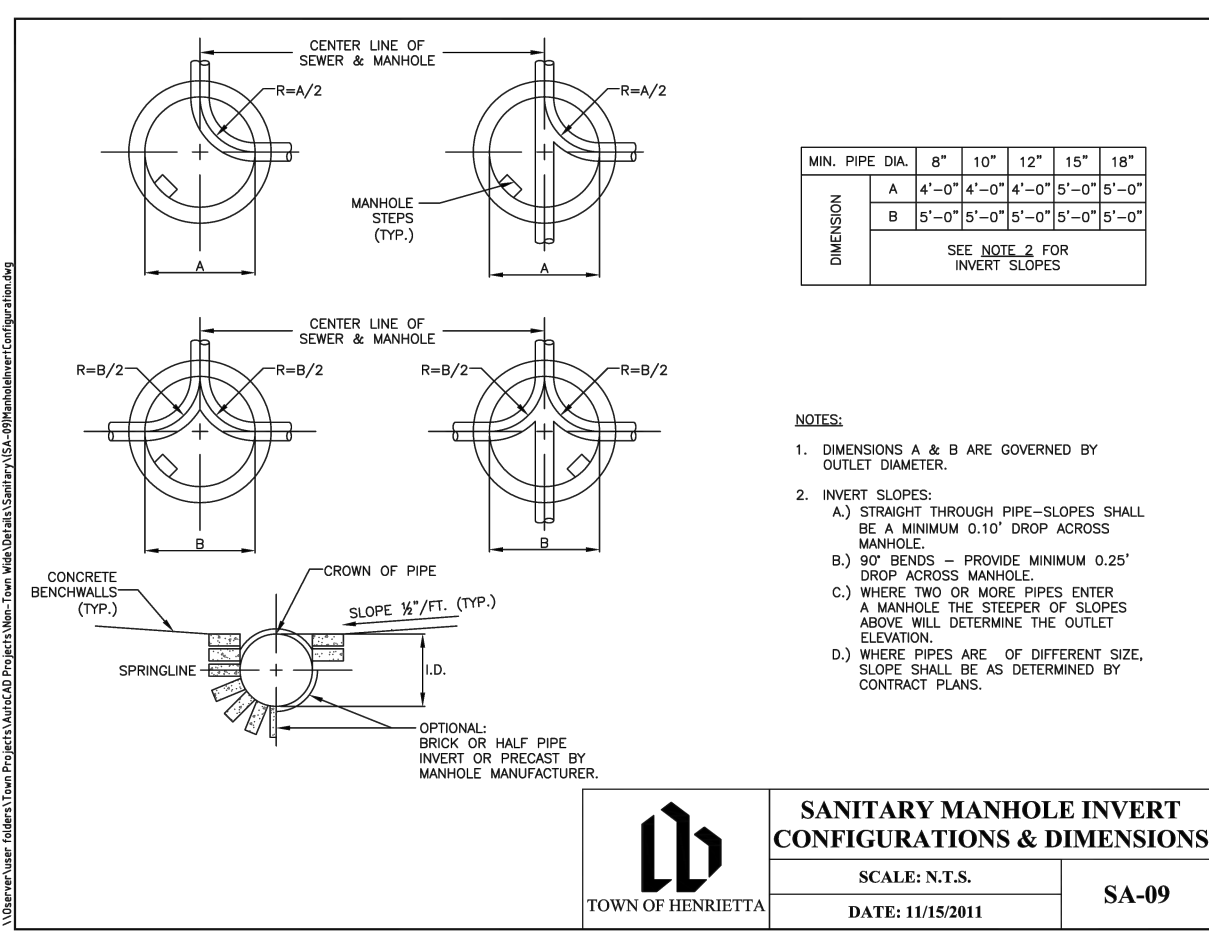
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SCALE: N.T.S.  
DATE: 11/15/2011  
ST-01



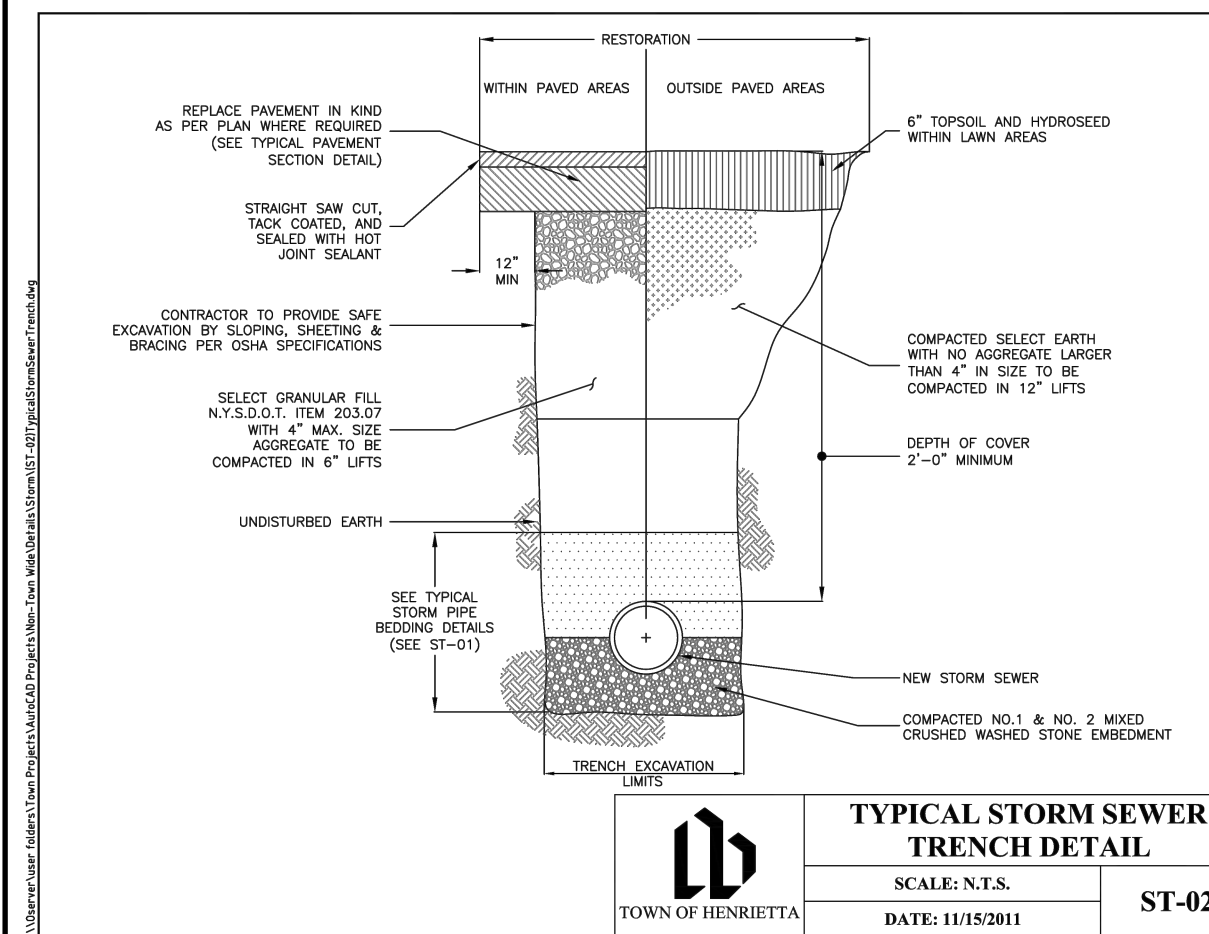
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DATE: 11/15/2011  
ST-08



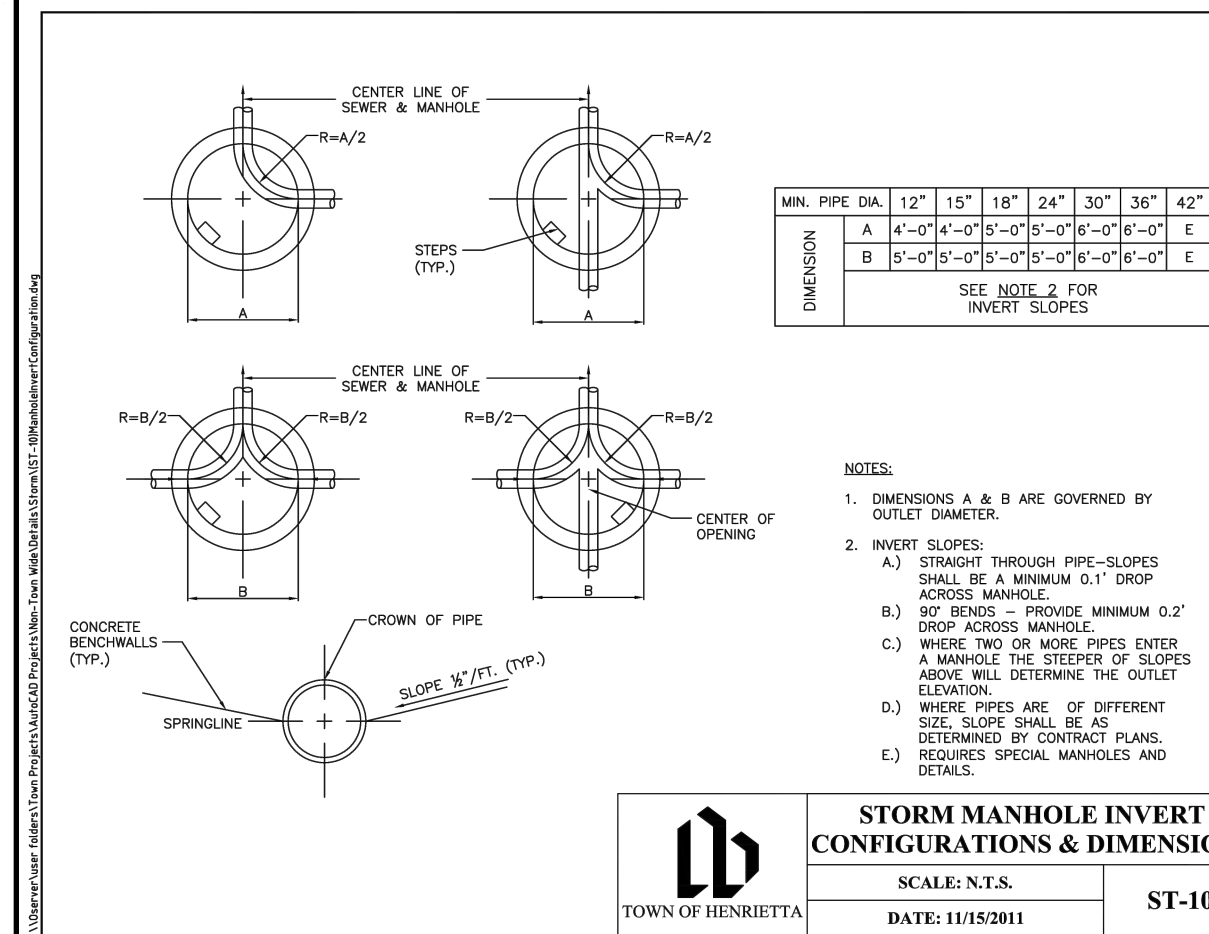
**CATCH BASIN - GUTTER APRON**  
SCALE: N.T.S.  
DATE: 11/15/2011  
ST-15



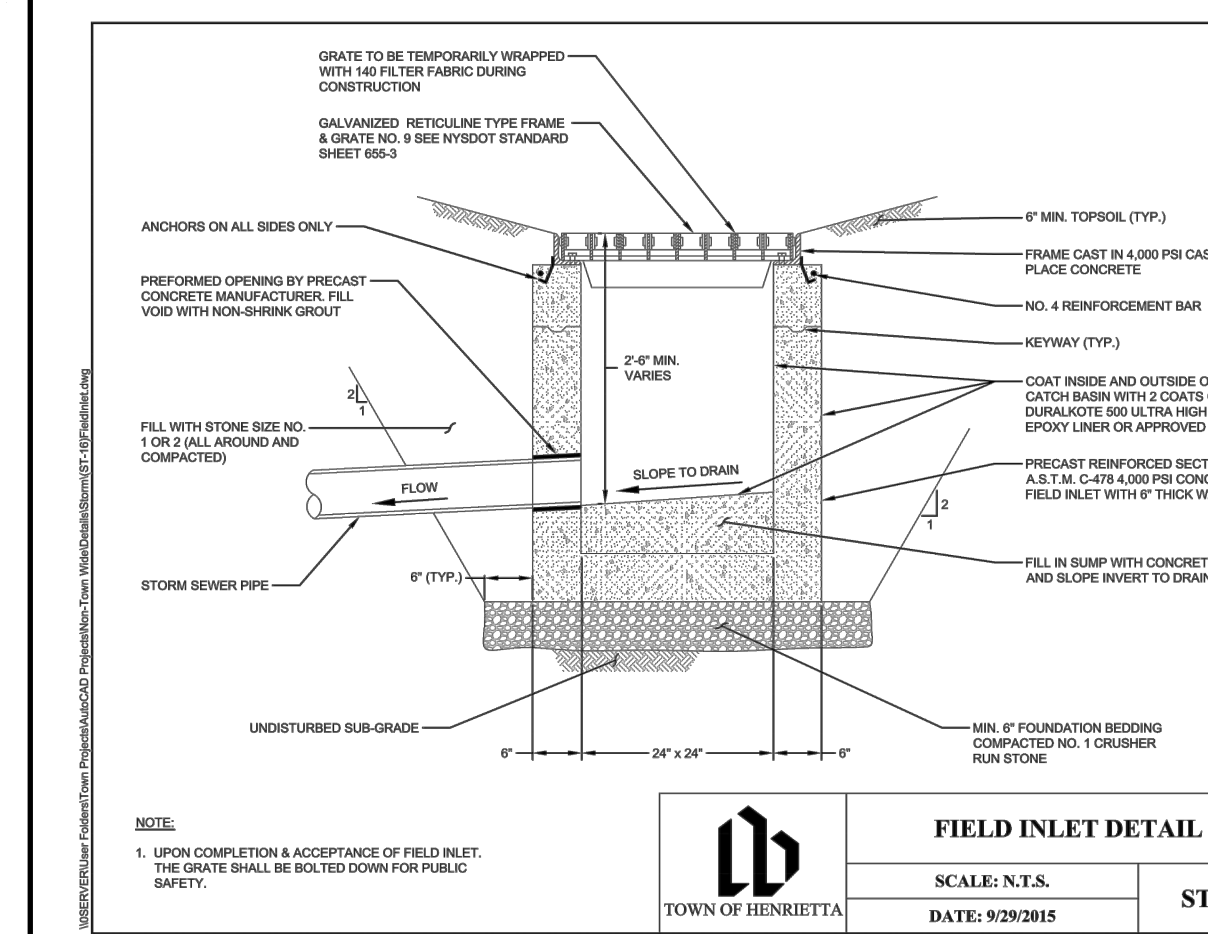
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SCALE: N.T.S.  
DATE: 11/15/2011  
SA-09



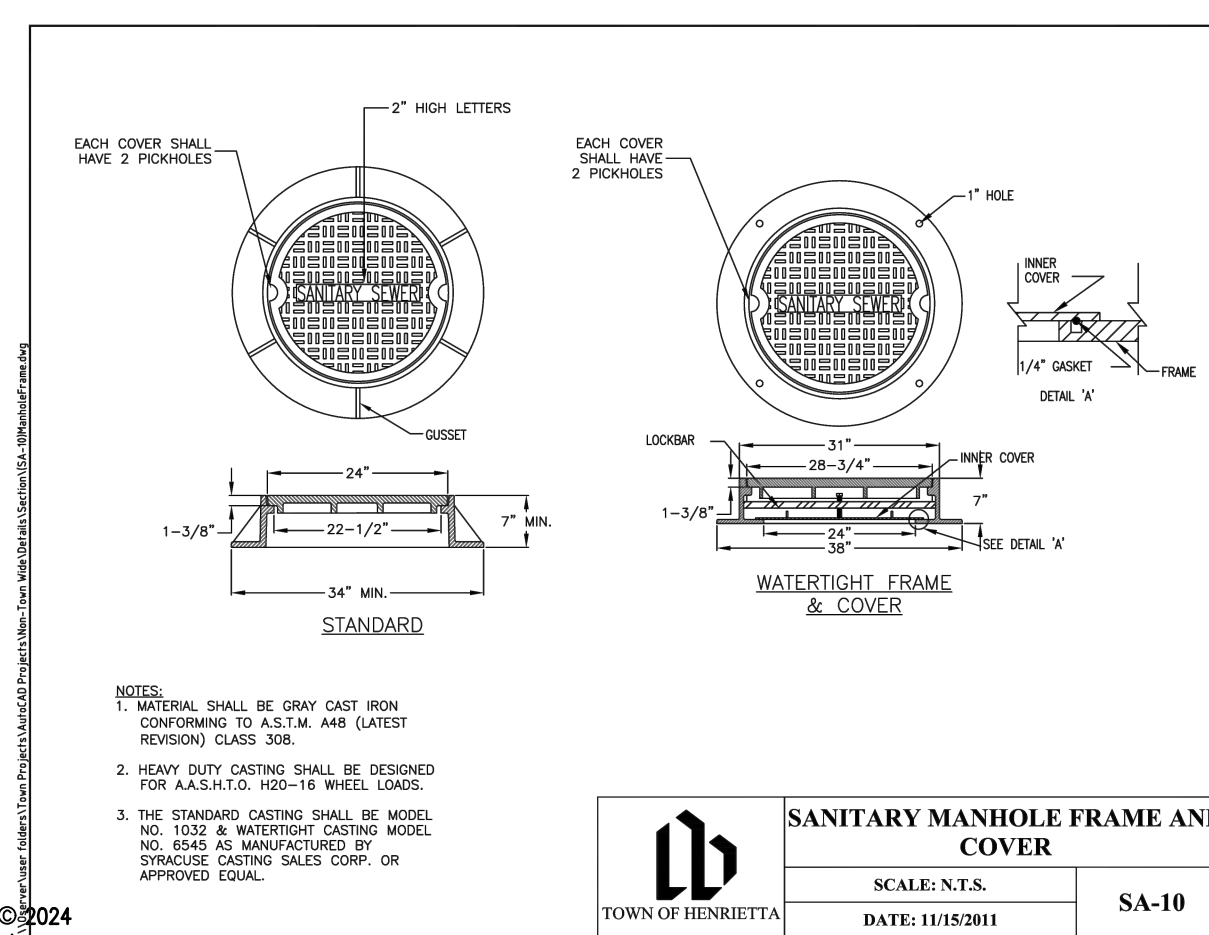
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SCALE: N.T.S.  
DATE: 11/15/2011  
ST-02



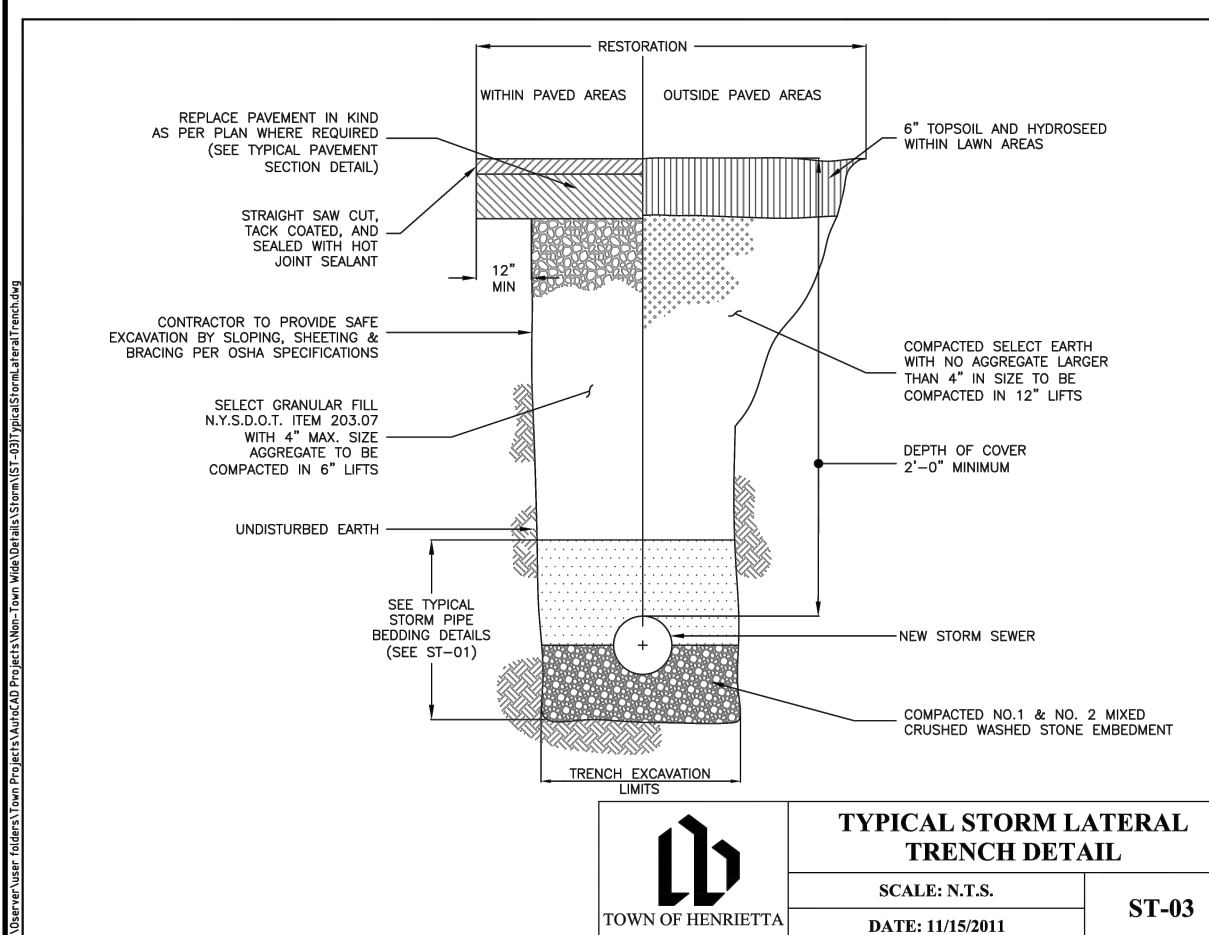
**STORM MANHOLE INVERT CONFIGURATIONS & DIMENSIONS**  
SCALE: N.T.S.  
DATE: 11/15/2011  
ST-10



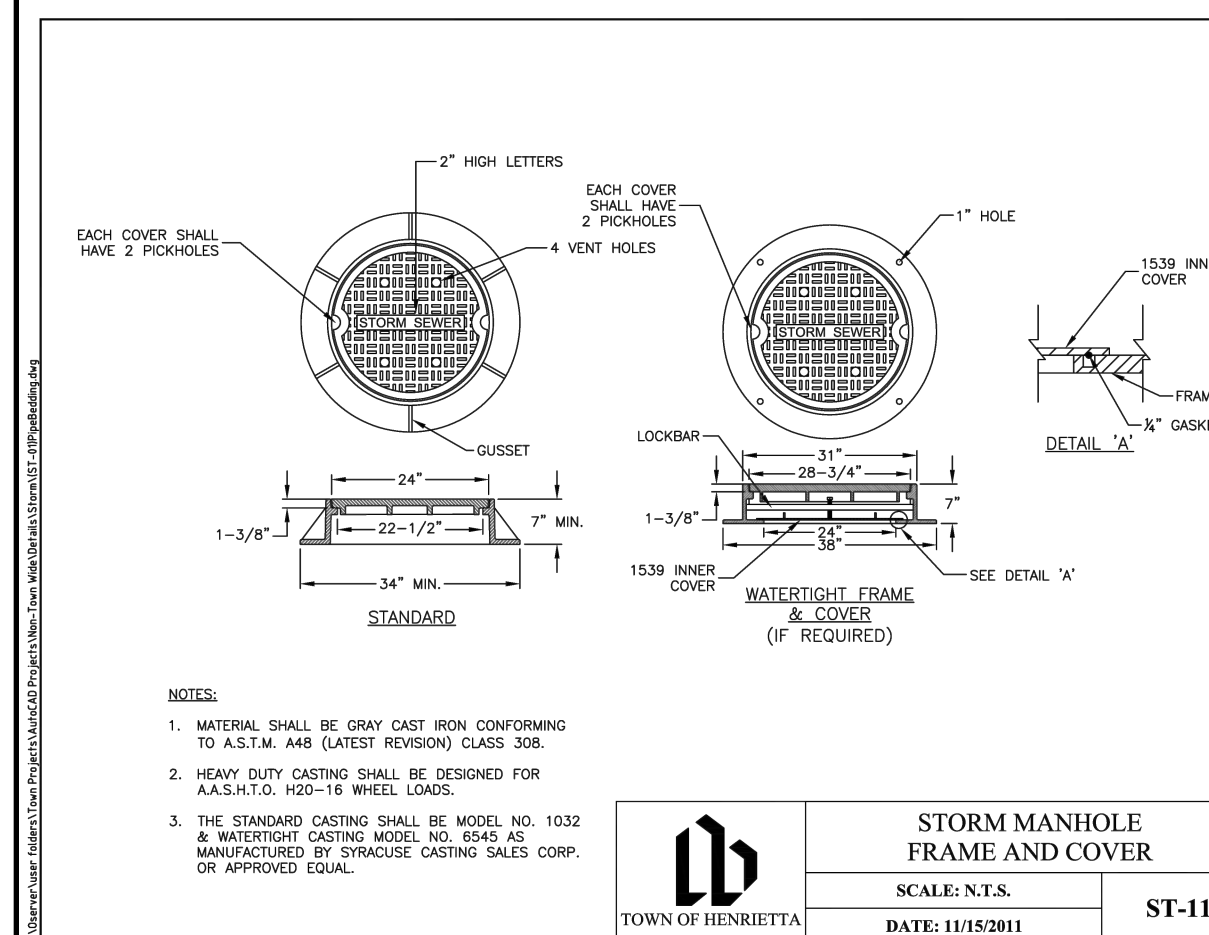
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SCALE: N.T.S.  
DATE: 9/29/2015  
ST-16



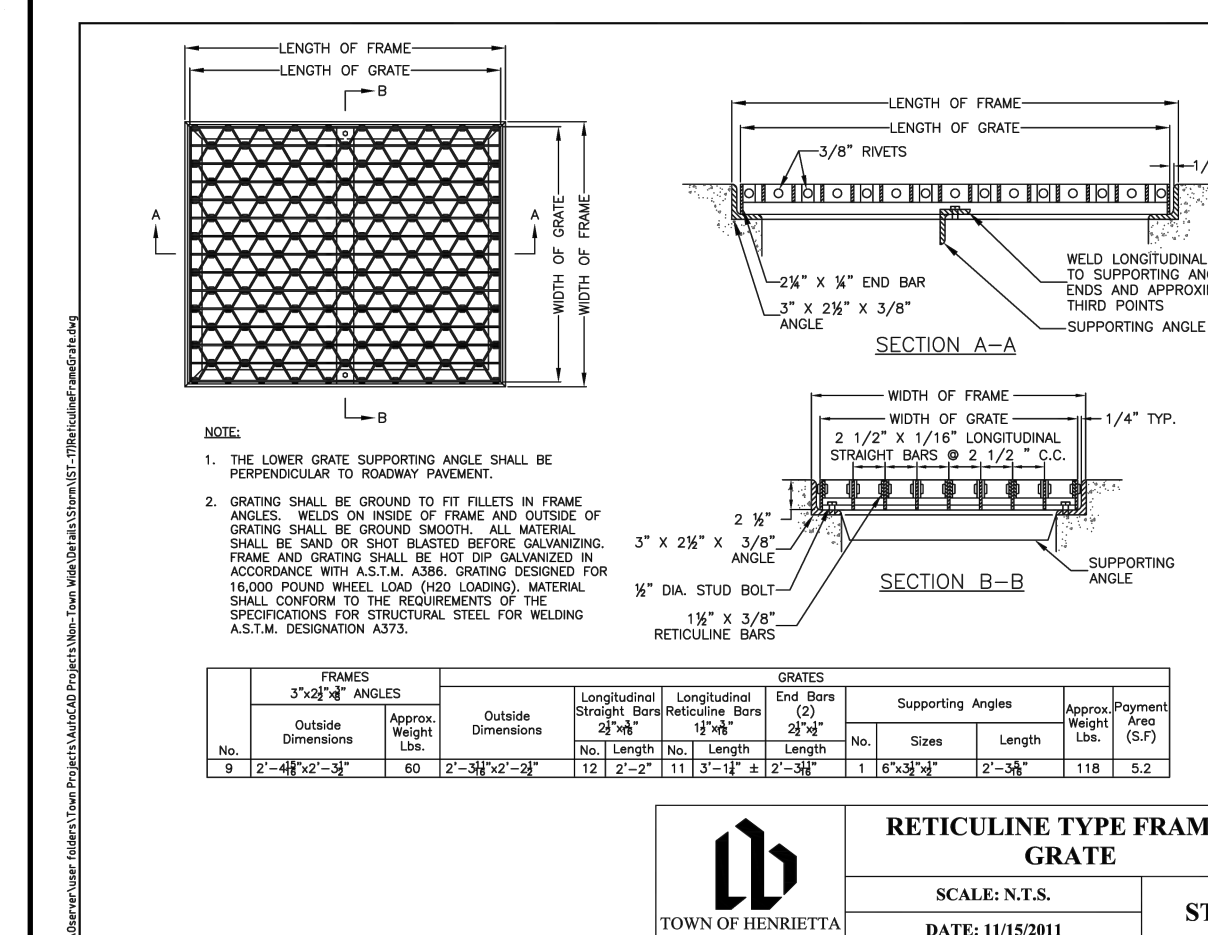
**SANITARY MANHOLE FRAME AND COVER**  
SCALE: N.T.S.  
DATE: 11/15/2011  
SA-10



**TYPICAL STORM LATERAL TRENCH DETAIL**  
SCALE: N.T.S.  
DATE: 11/15/2011  
ST-03



**STORM MANHOLE FRAME AND COVER**  
SCALE: N.T.S.  
DATE: 11/15/2011  
ST-11



**RETICULINE TYPE FRAME & GRATE**  
SCALE: N.T.S.  
DATE: 11/15/2011  
ST-17

Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
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NO.	DATE	BY	REVISIONS
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6			
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1			

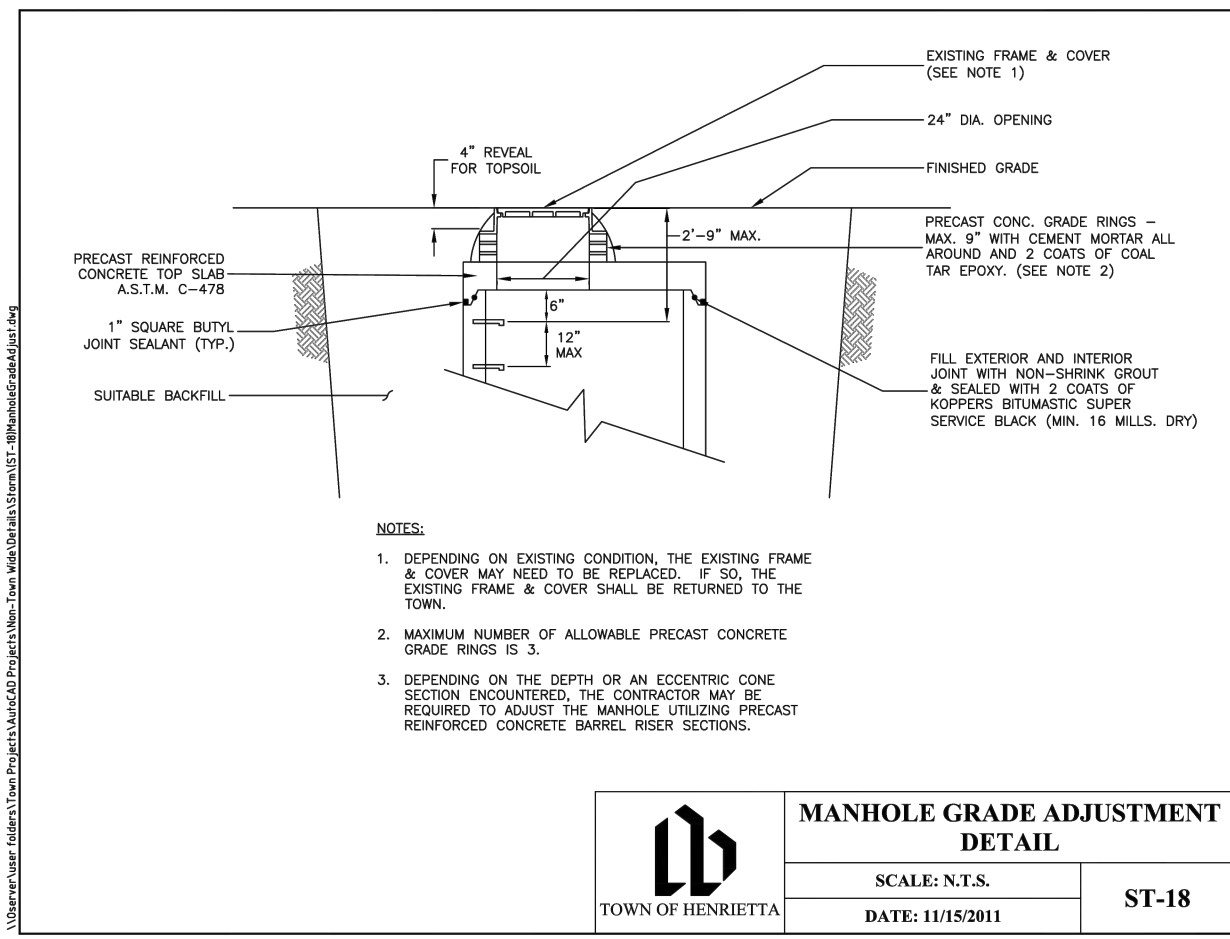
**BME ASSOCIATES**  
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PHONE: 562-277-7360  
FAC: 562-277-7369  
10 LIFF BRIDGE LANE EAST  
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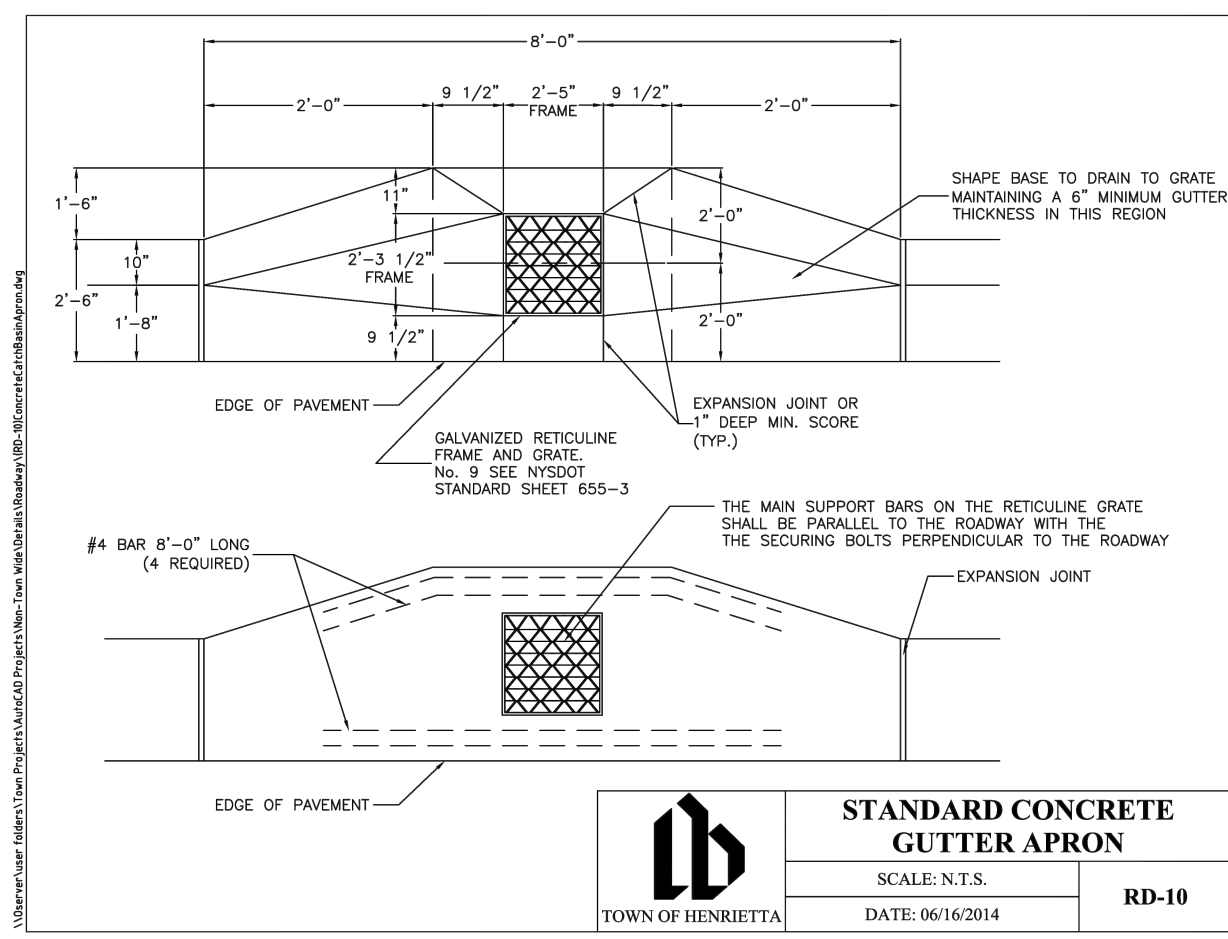
**ERIE RIDGE TOWNHOMES**  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
ESV, LLC  
301 EXCHANGE BALLEVAUER, SUITE 200  
ROCHESTER, NY 14608  
PRELIMINARY/FINAL  
DETAIL SHEET

**PROJECT**  
LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
**CLIENT**  
ERIE RIDGE TOWNHOMES  
**PROJECT MANAGER**  
P.G. VARS  
**PROJECT ENGINEER**  
M.A. SERENI  
**DRAWN BY**  
A.N. D'ANGELO  
**SCALE**  
N.T.S.  
**DATE ISSUED**  
FEBRUARY 14, 2024  
**PROJECT NO.**  
2549  
**DRAWING NO.**  
14  
(SHEET 2 OF 4)

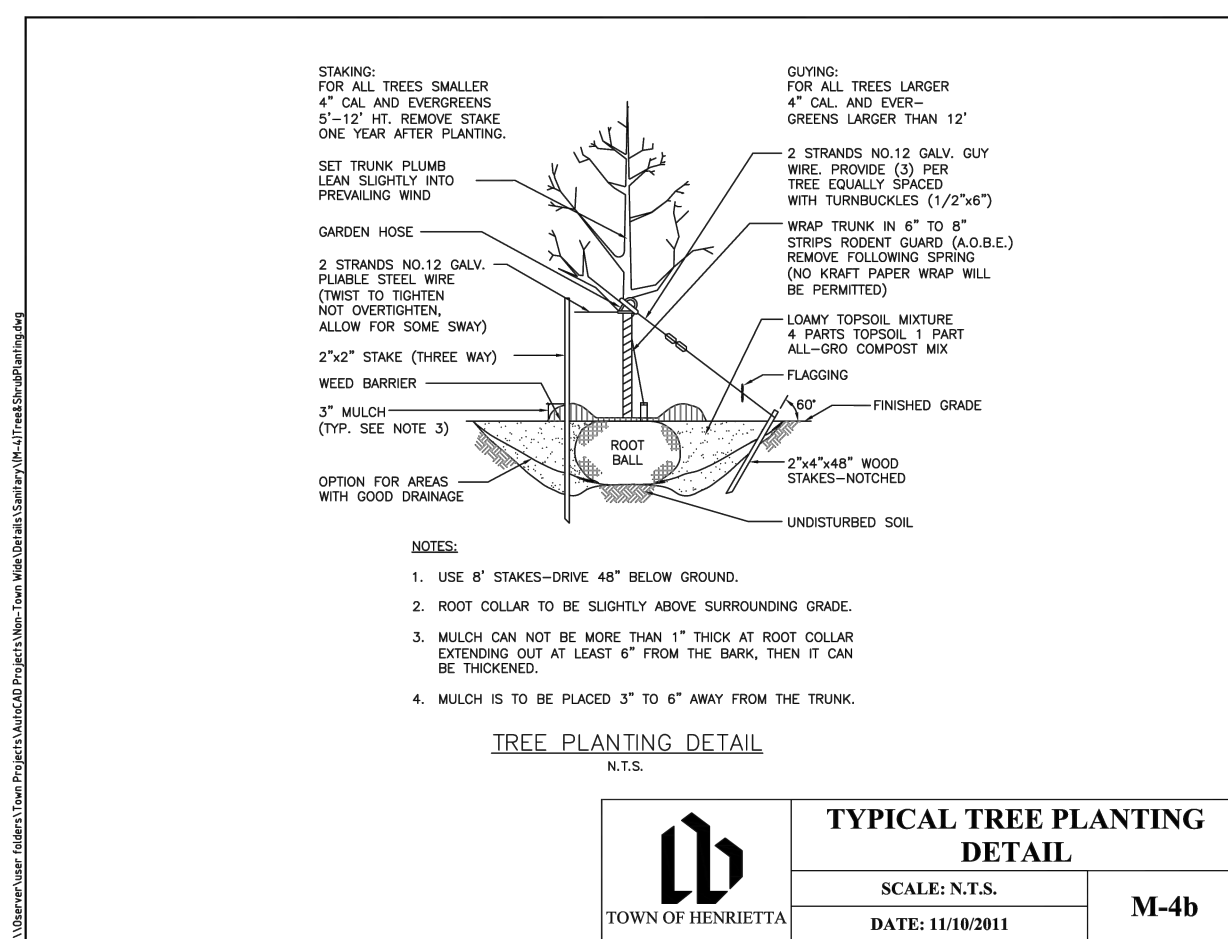




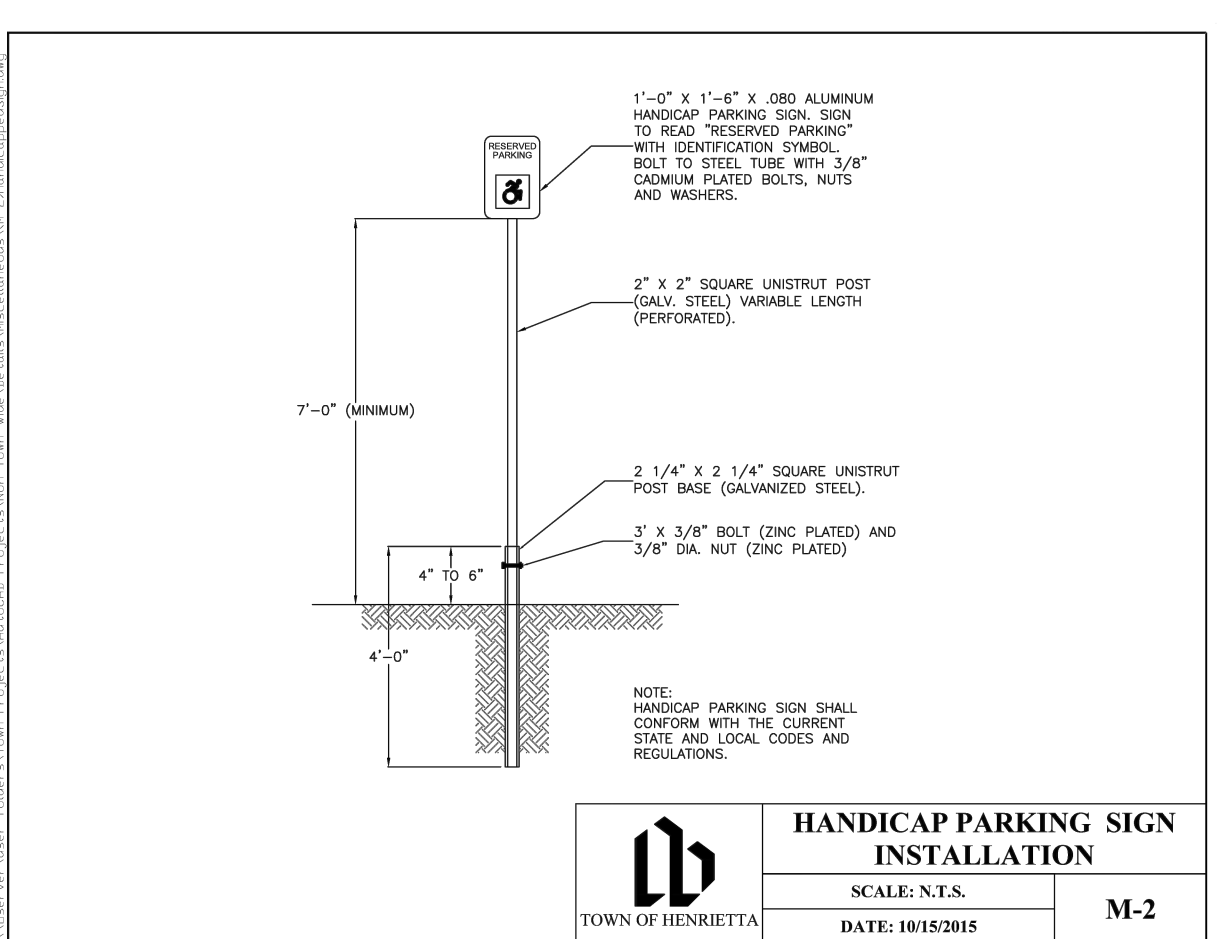
**MANHOLE GRADE ADJUSTMENT DETAIL**  
SCALE: N.T.S.  
DATE: 11/15/2011  
ST-18  
TOWN OF HENRIETTA



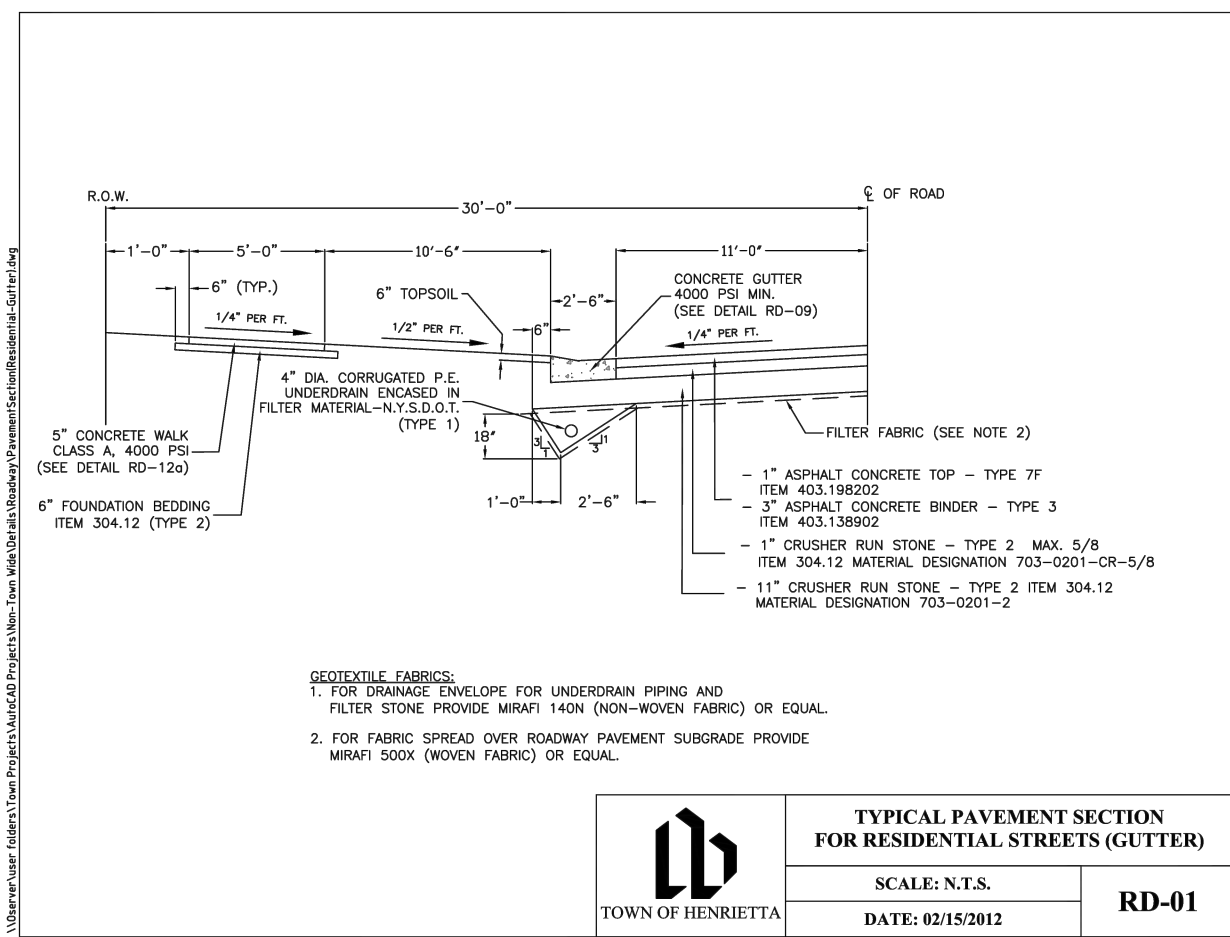
**STANDARD CONCRETE GUTTER APRON**  
SCALE: N.T.S.  
DATE: 06/16/2014  
RD-10  
TOWN OF HENRIETTA



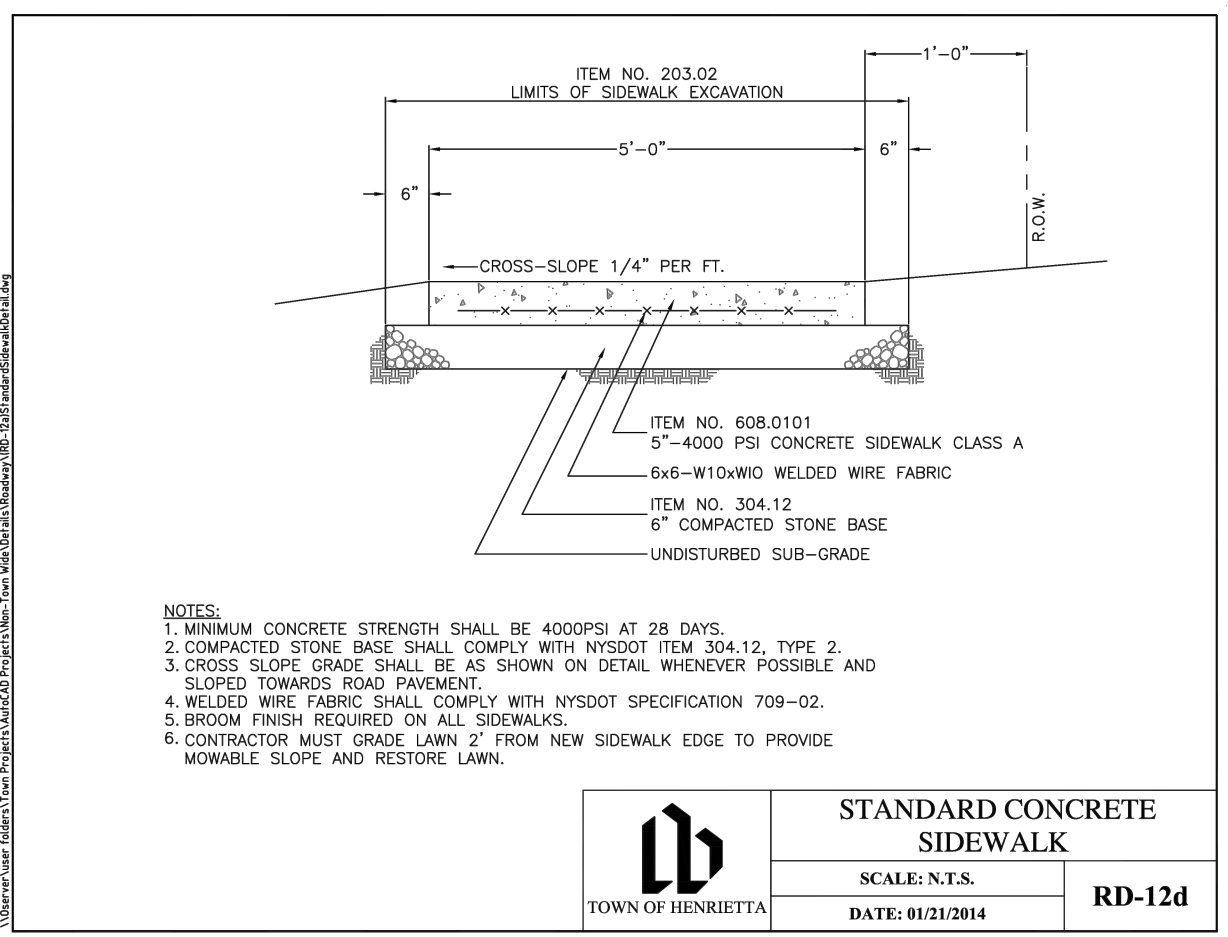
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SCALE: N.T.S.  
DATE: 11/01/2011  
M-4b  
TOWN OF HENRIETTA



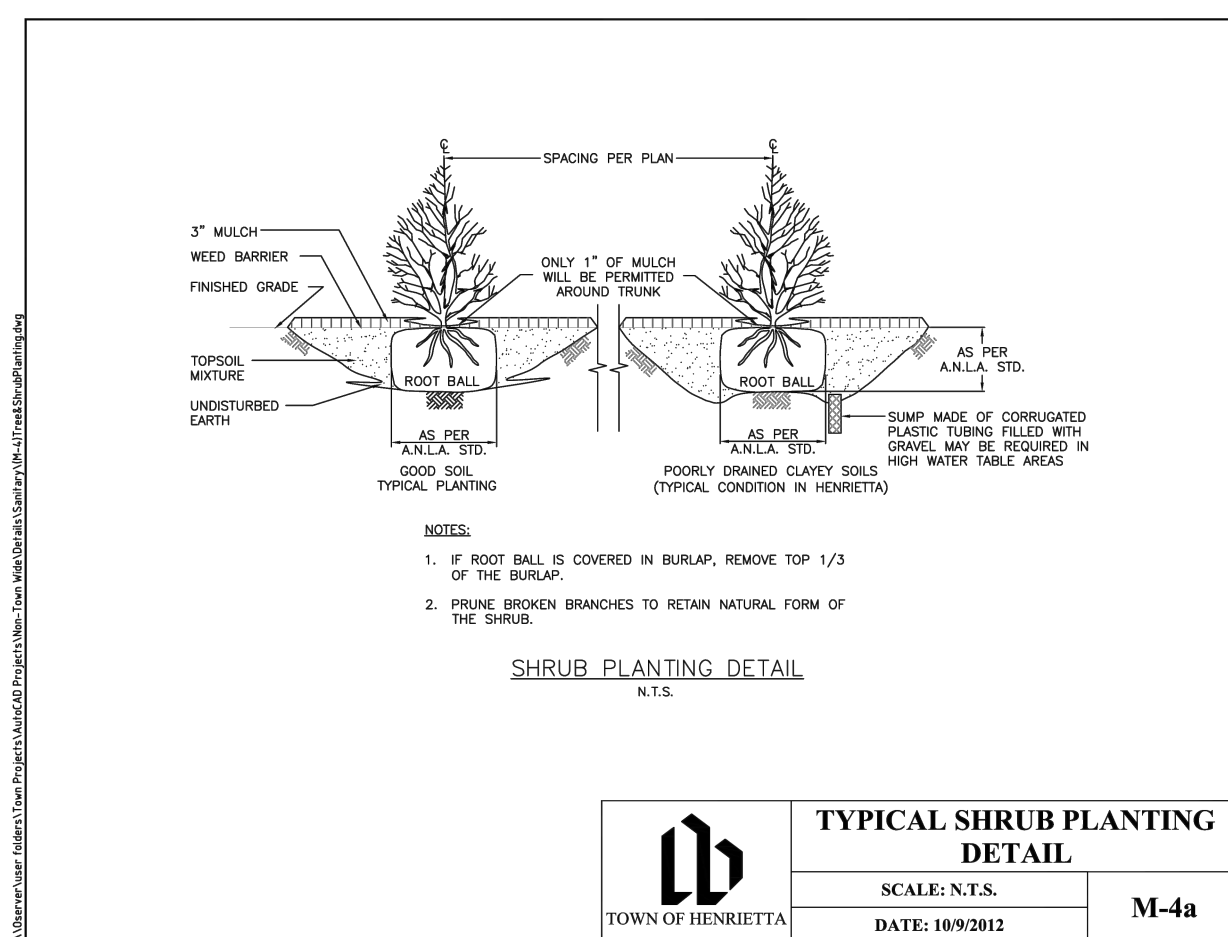
**HANDICAP PARKING SIGN INSTALLATION**  
SCALE: N.T.S.  
DATE: 10/15/2015  
M-2  
TOWN OF HENRIETTA



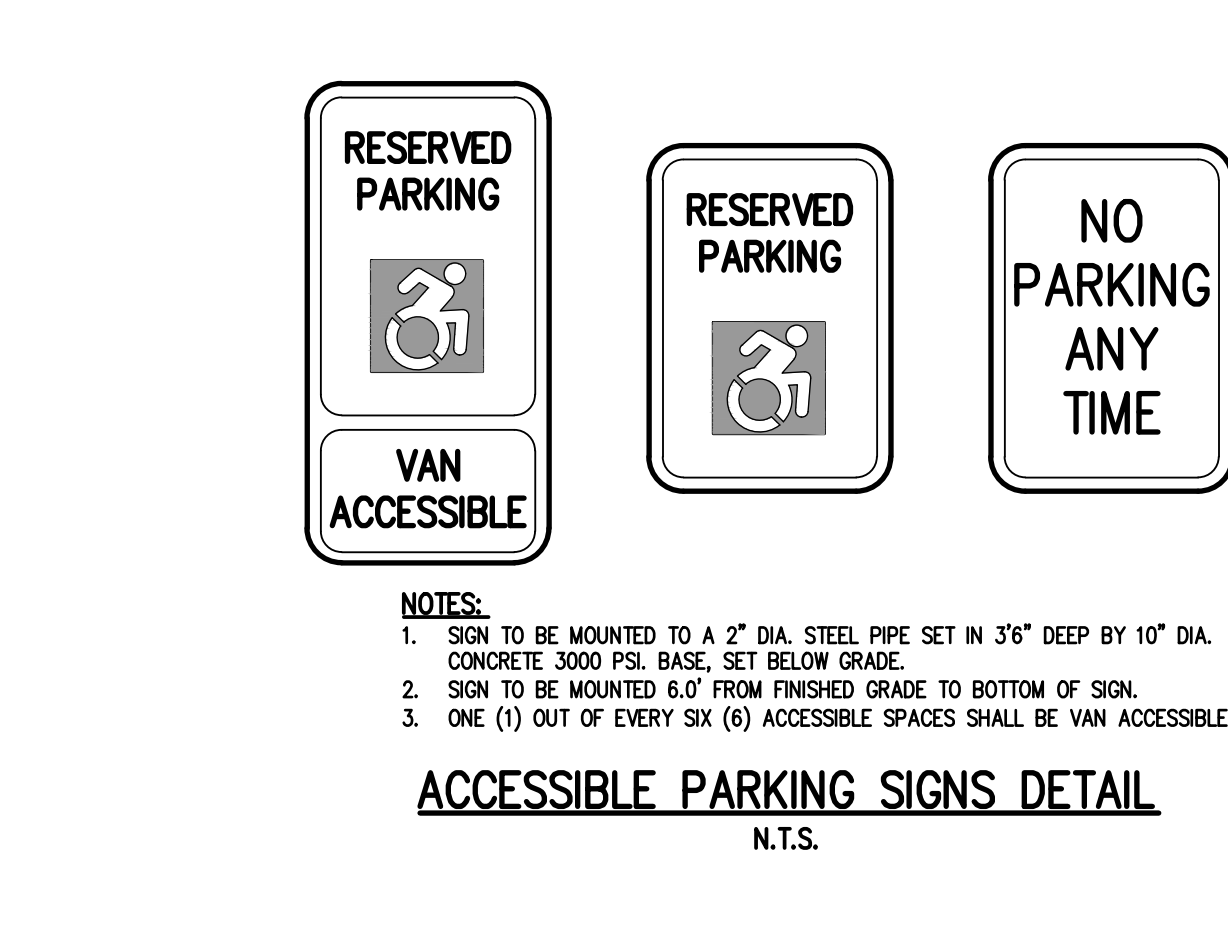
**TYPICAL PAVEMENT SECTION FOR RESIDENTIAL STREETS (GUTTER)**  
SCALE: N.T.S.  
DATE: 02/15/2012  
RD-01  
TOWN OF HENRIETTA



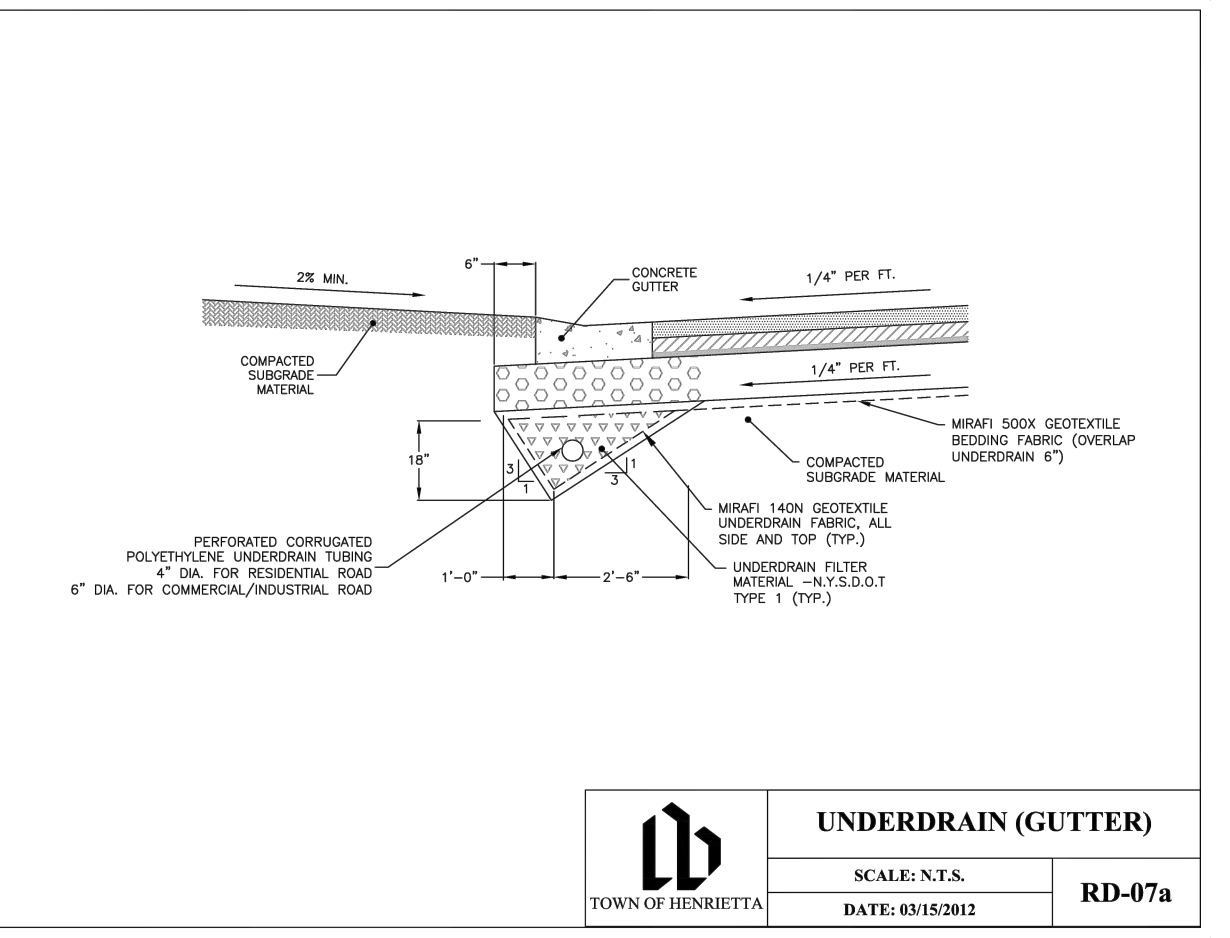
**STANDARD CONCRETE SIDEWALK**  
SCALE: N.T.S.  
DATE: 01/21/2014  
RD-12d  
TOWN OF HENRIETTA



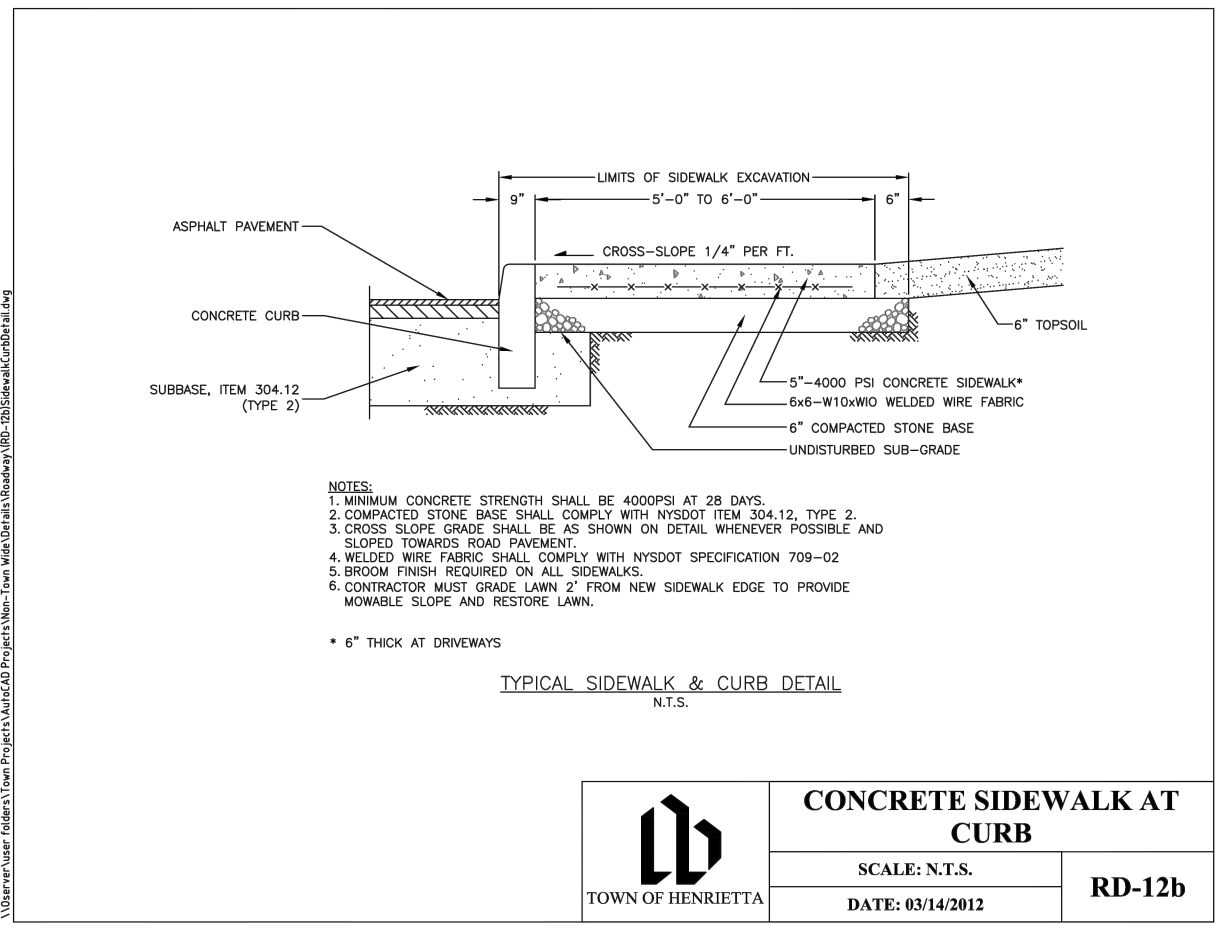
**TYPICAL SHRUB PLANTING DETAIL**  
SCALE: N.T.S.  
DATE: 10/9/2012  
M-4a  
TOWN OF HENRIETTA



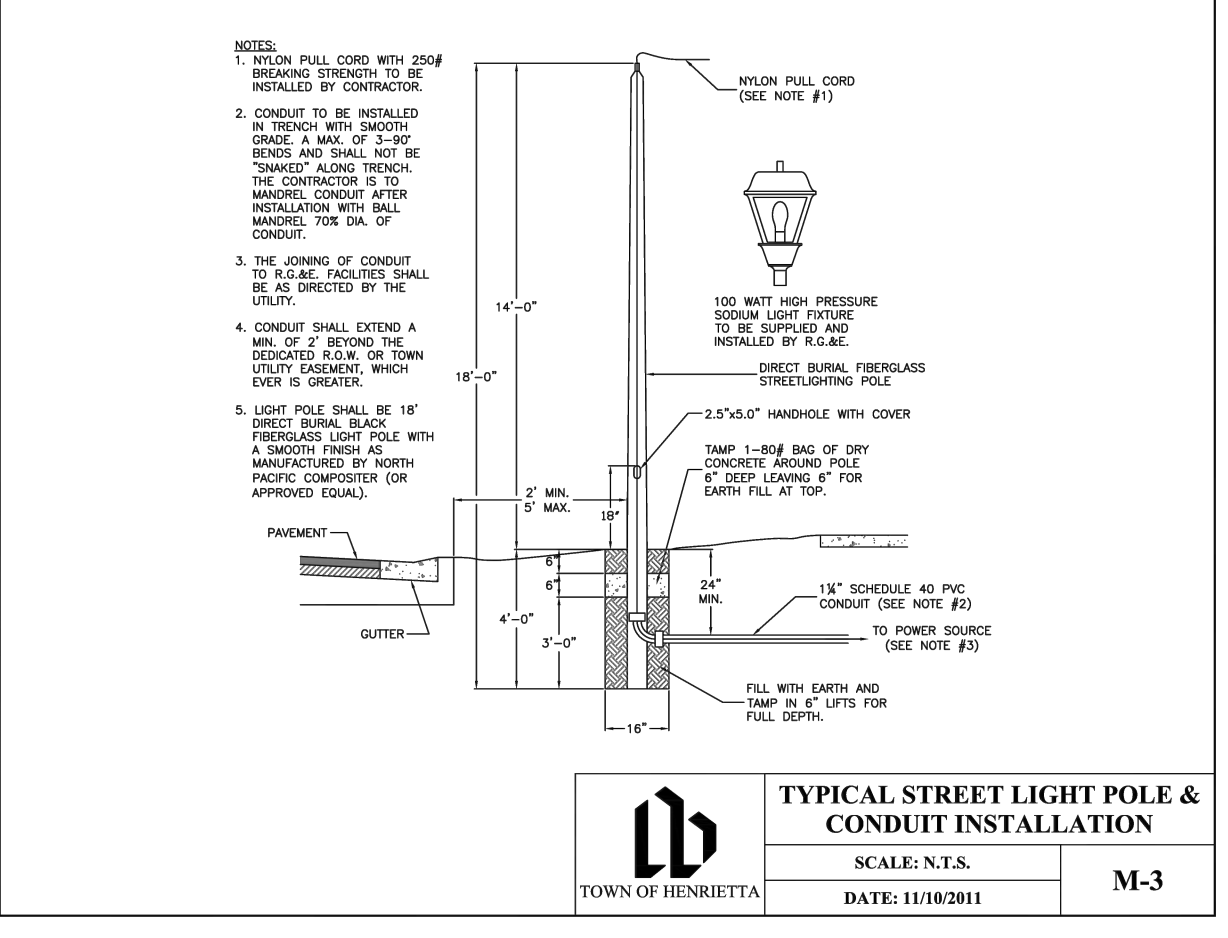
**ACCESSIBLE PARKING SIGNS DETAIL**  
N.T.S.



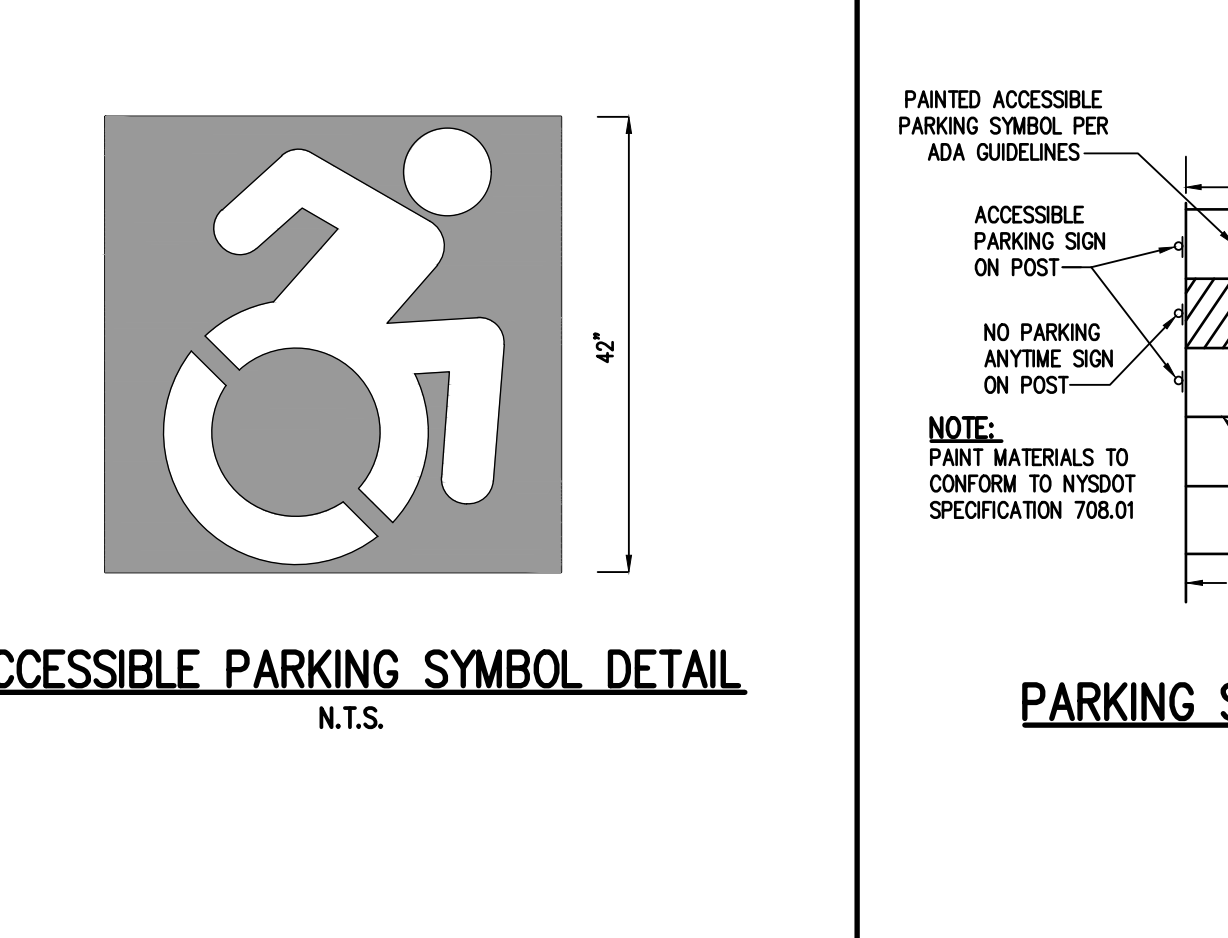
**UNDERDRAIN (GUTTER)**  
SCALE: N.T.S.  
DATE: 03/15/2012  
RD-07a  
TOWN OF HENRIETTA



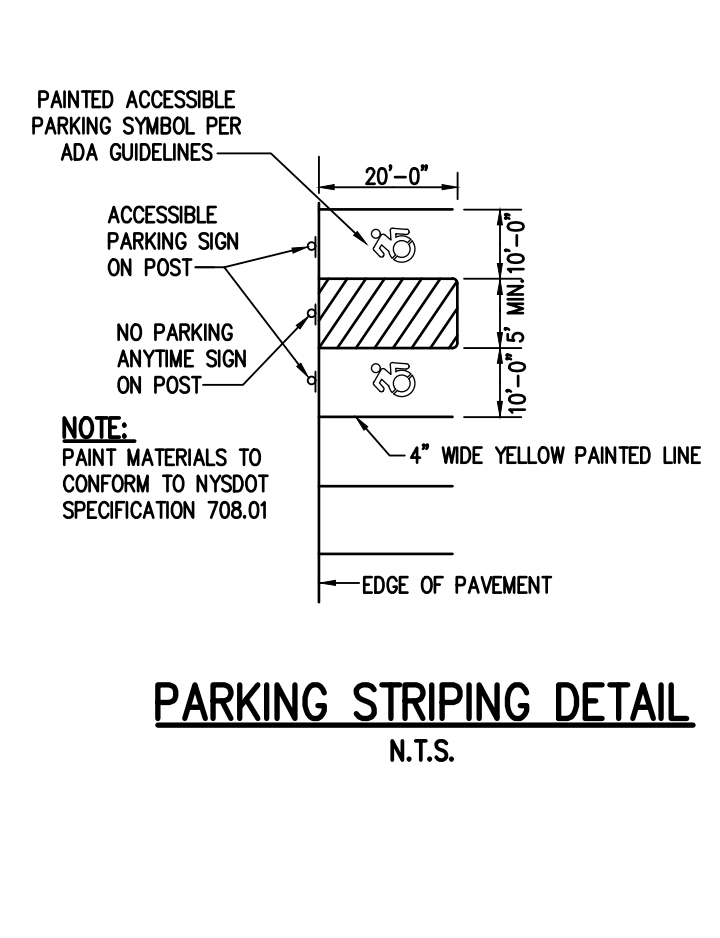
**CONCRETE SIDEWALK AT CURB**  
SCALE: N.T.S.  
DATE: 03/14/2012  
RD-12b  
TOWN OF HENRIETTA



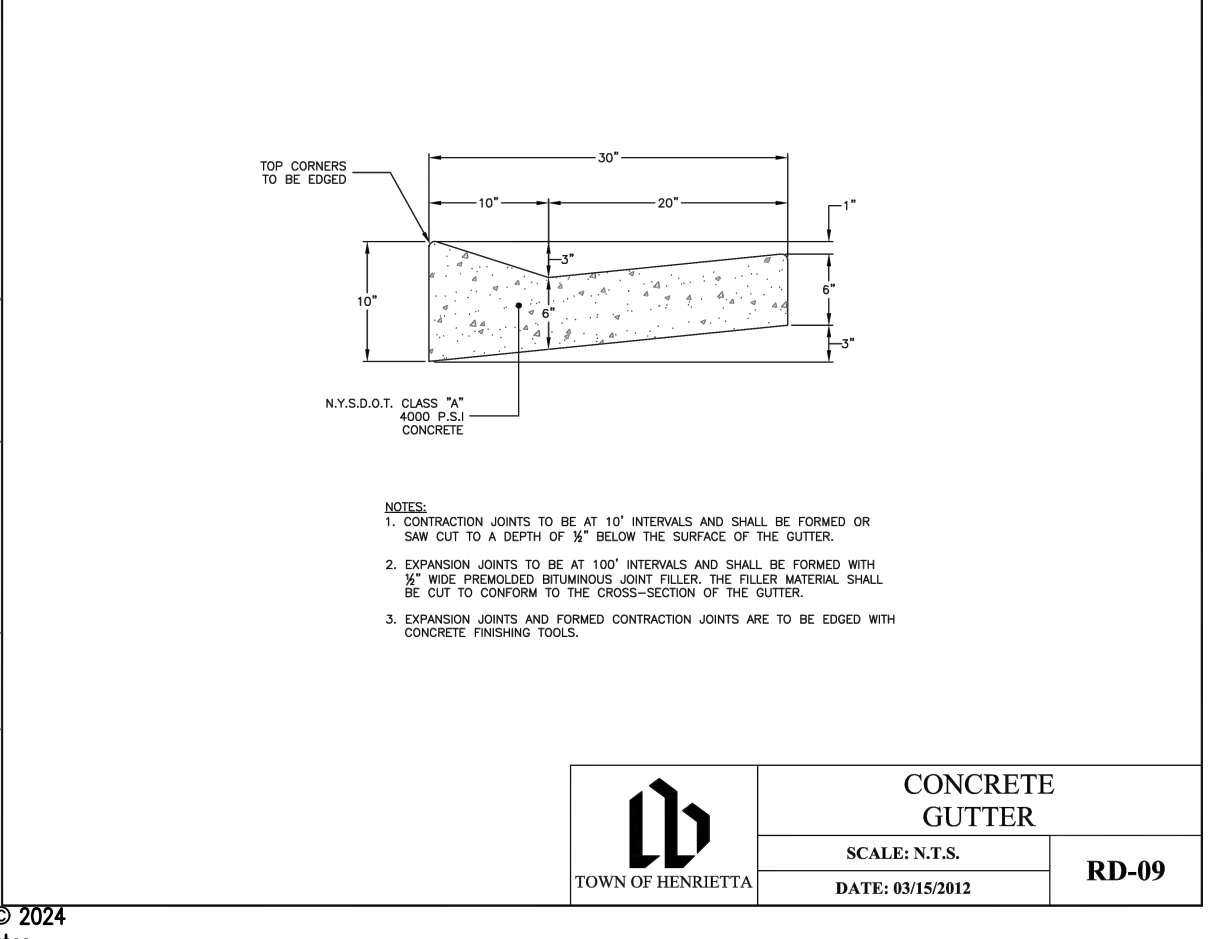
**TYPICAL STREET LIGHT POLE & CONDUIT INSTALLATION**  
SCALE: N.T.S.  
DATE: 11/10/2011  
M-3  
TOWN OF HENRIETTA



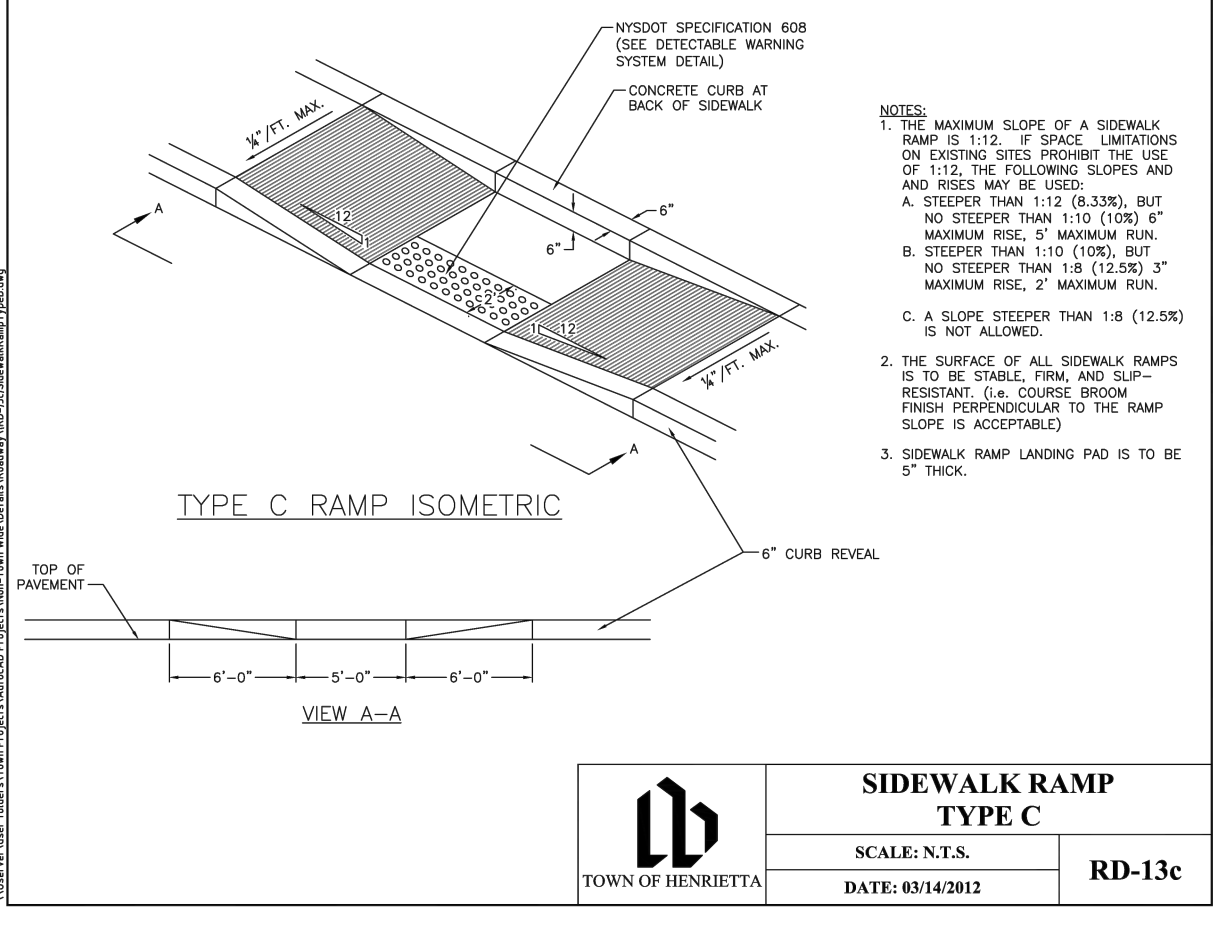
**ACCESSIBLE PARKING SYMBOL DETAIL**  
N.T.S.



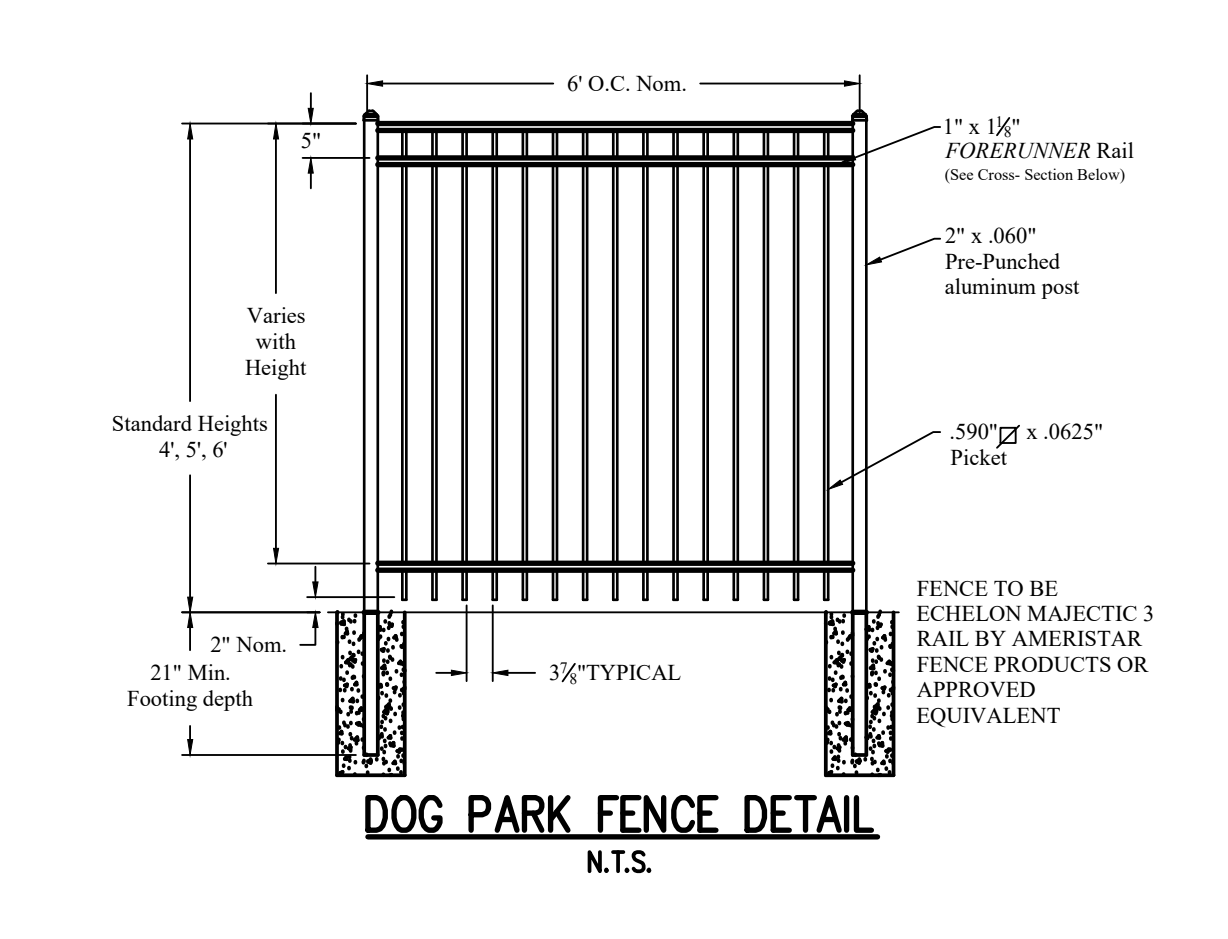
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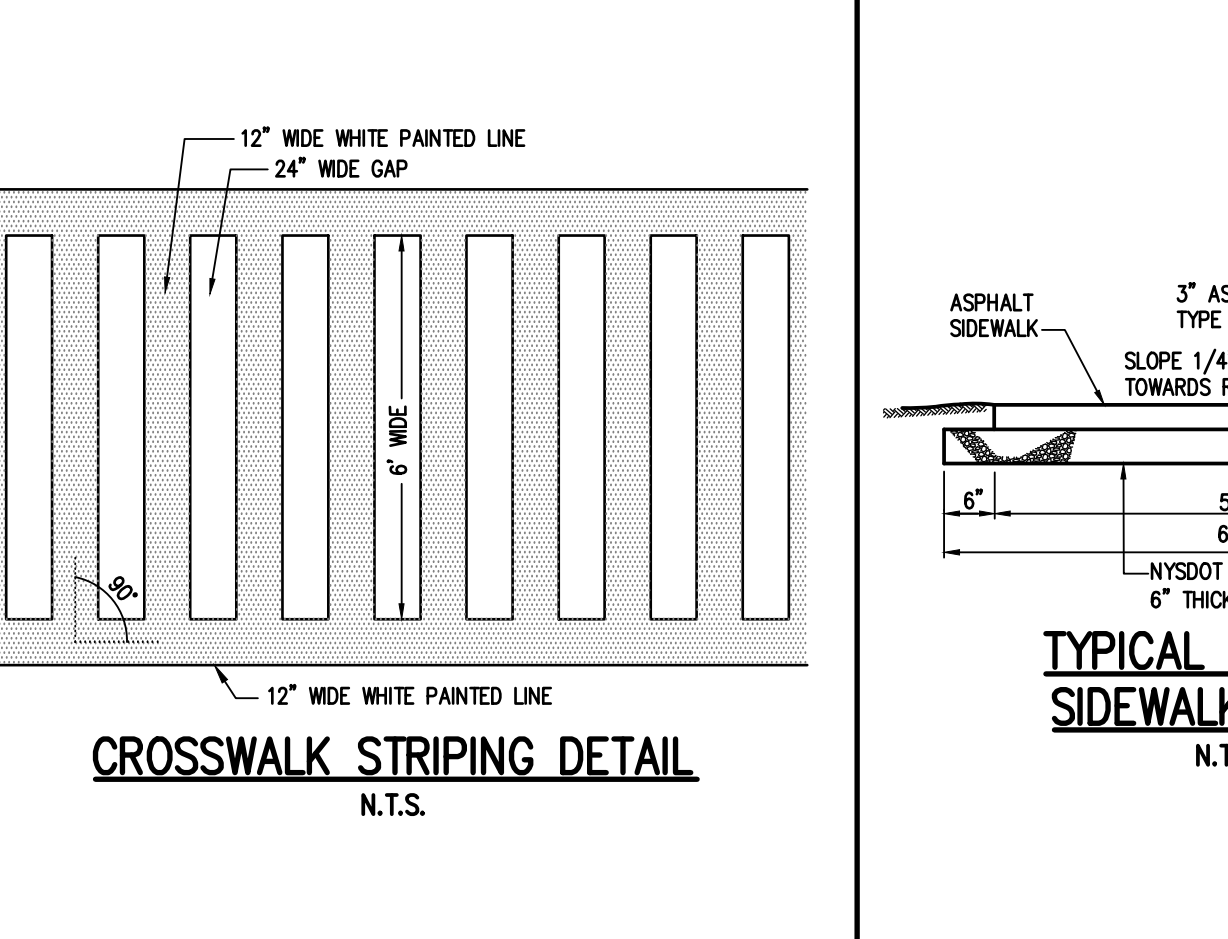
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SCALE: N.T.S.  
DATE: 03/15/2012  
RD-09  
TOWN OF HENRIETTA



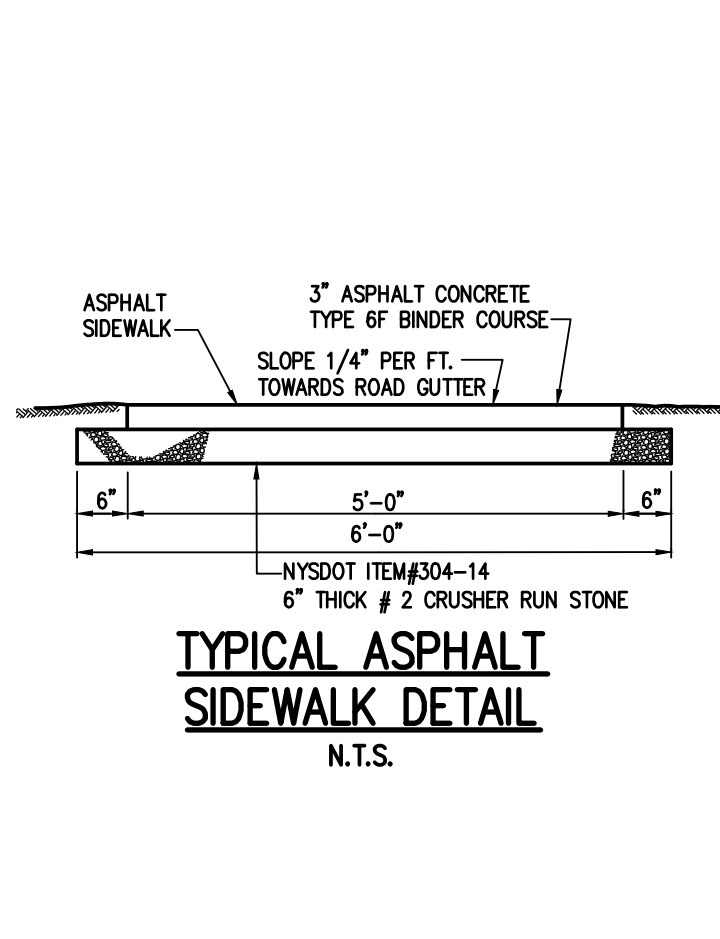
**SIDEWALK RAMP TYPE C**  
SCALE: N.T.S.  
DATE: 03/14/2012  
RD-13c  
TOWN OF HENRIETTA



**DOG PARK FENCE DETAIL**  
N.T.S.



**CROSSWALK STRIPING DETAIL**  
N.T.S.



**TYPICAL ASPHALT SIDEWALK DETAIL**  
N.T.S.

Drawing Alteration  
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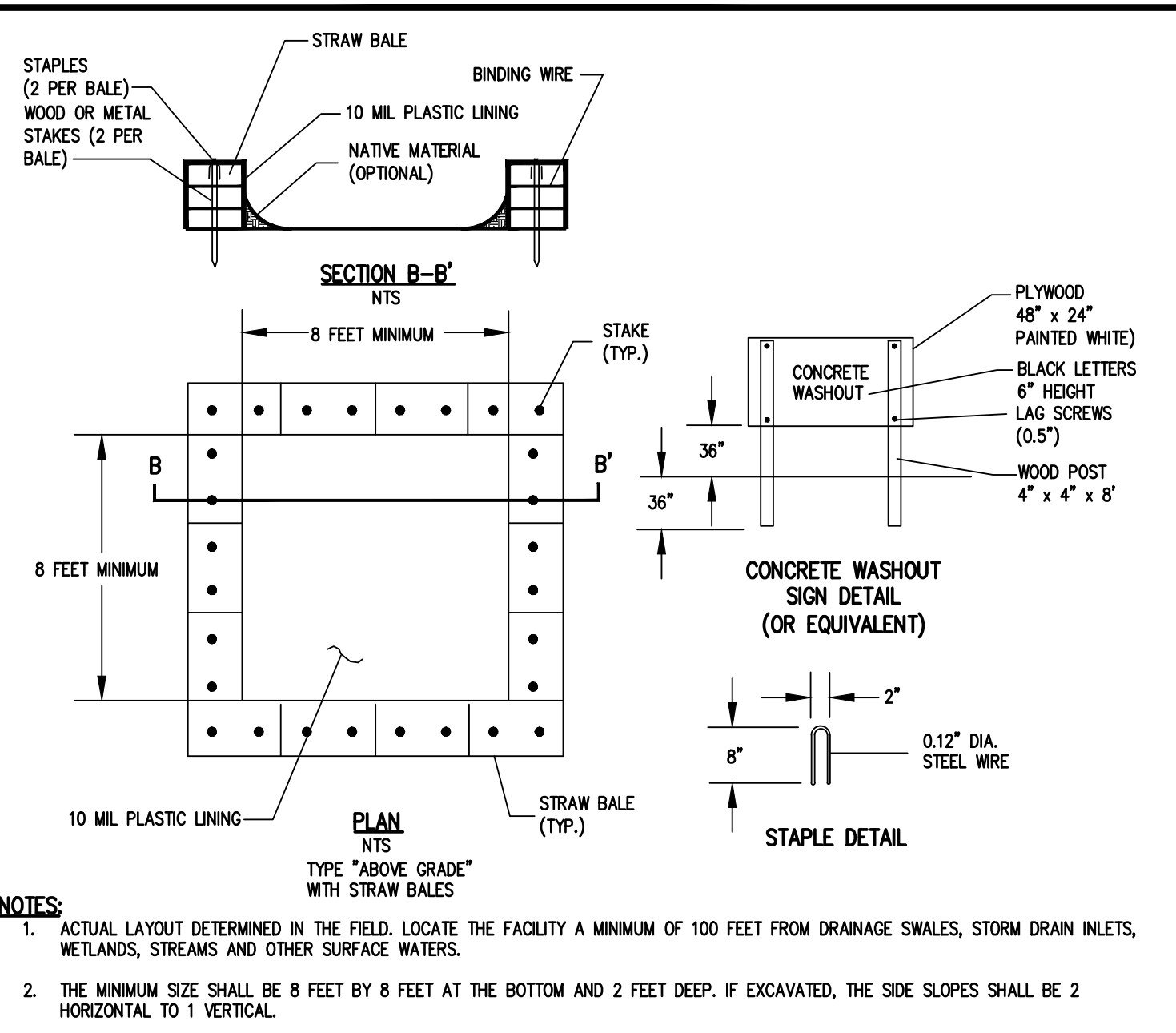
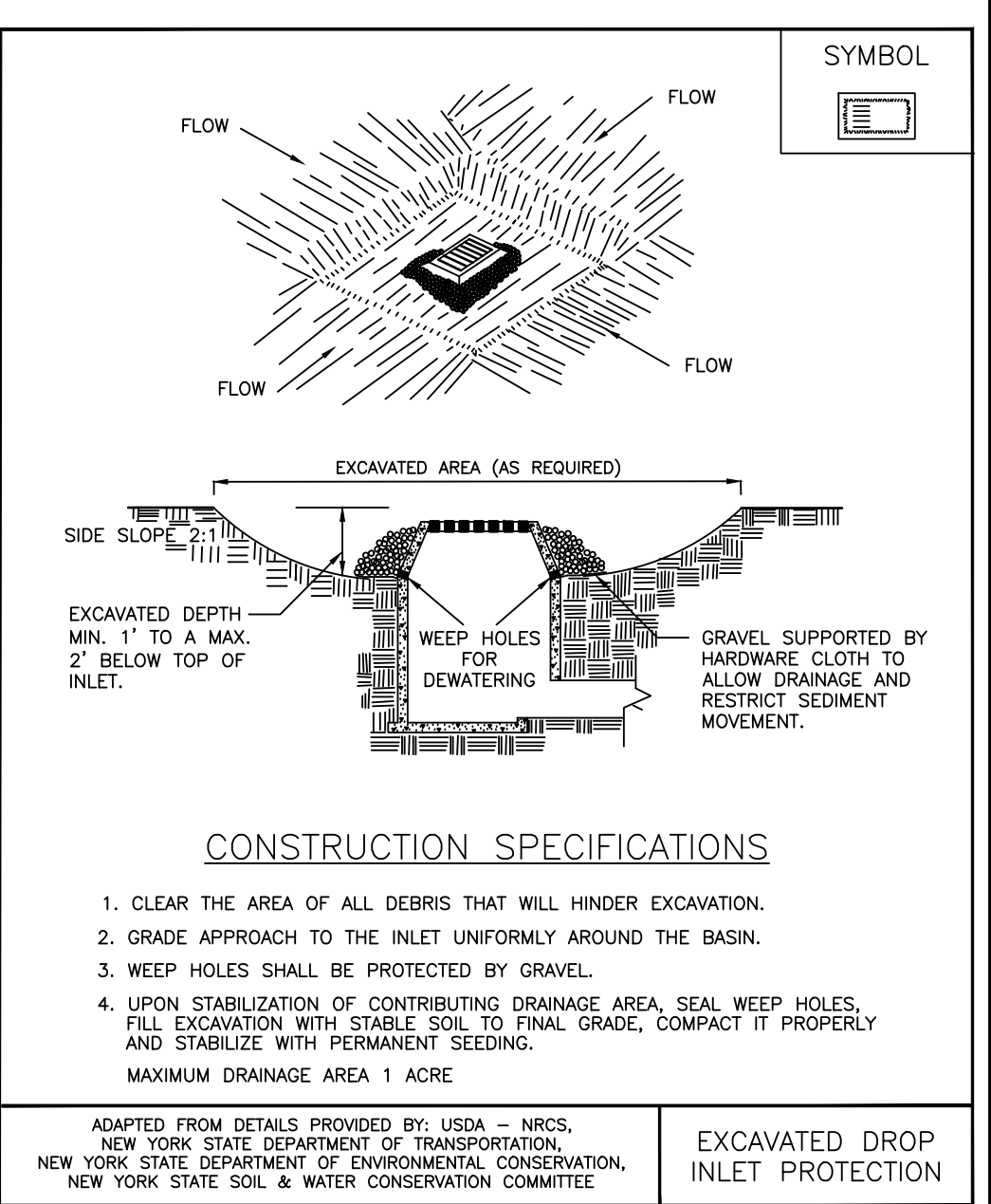
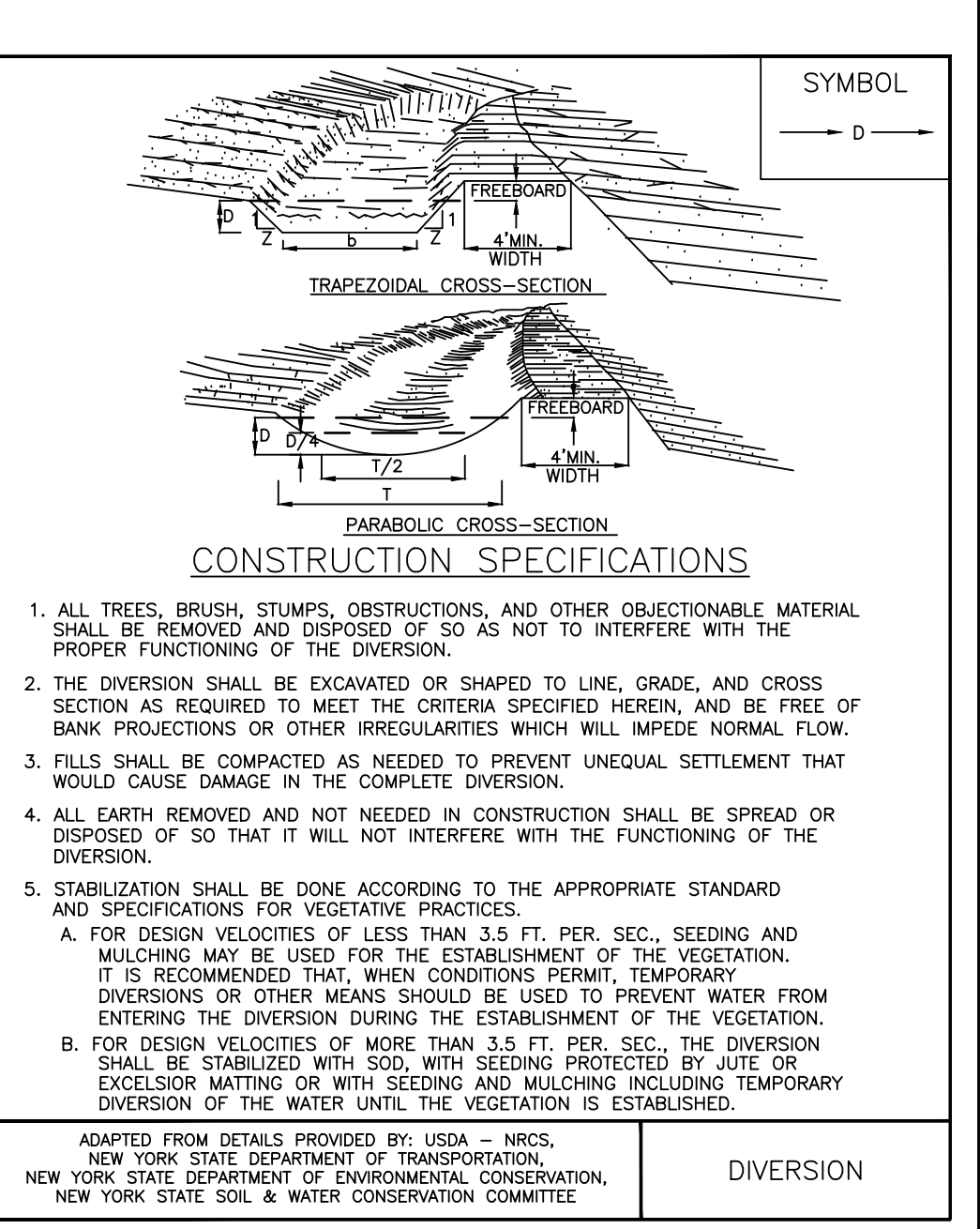
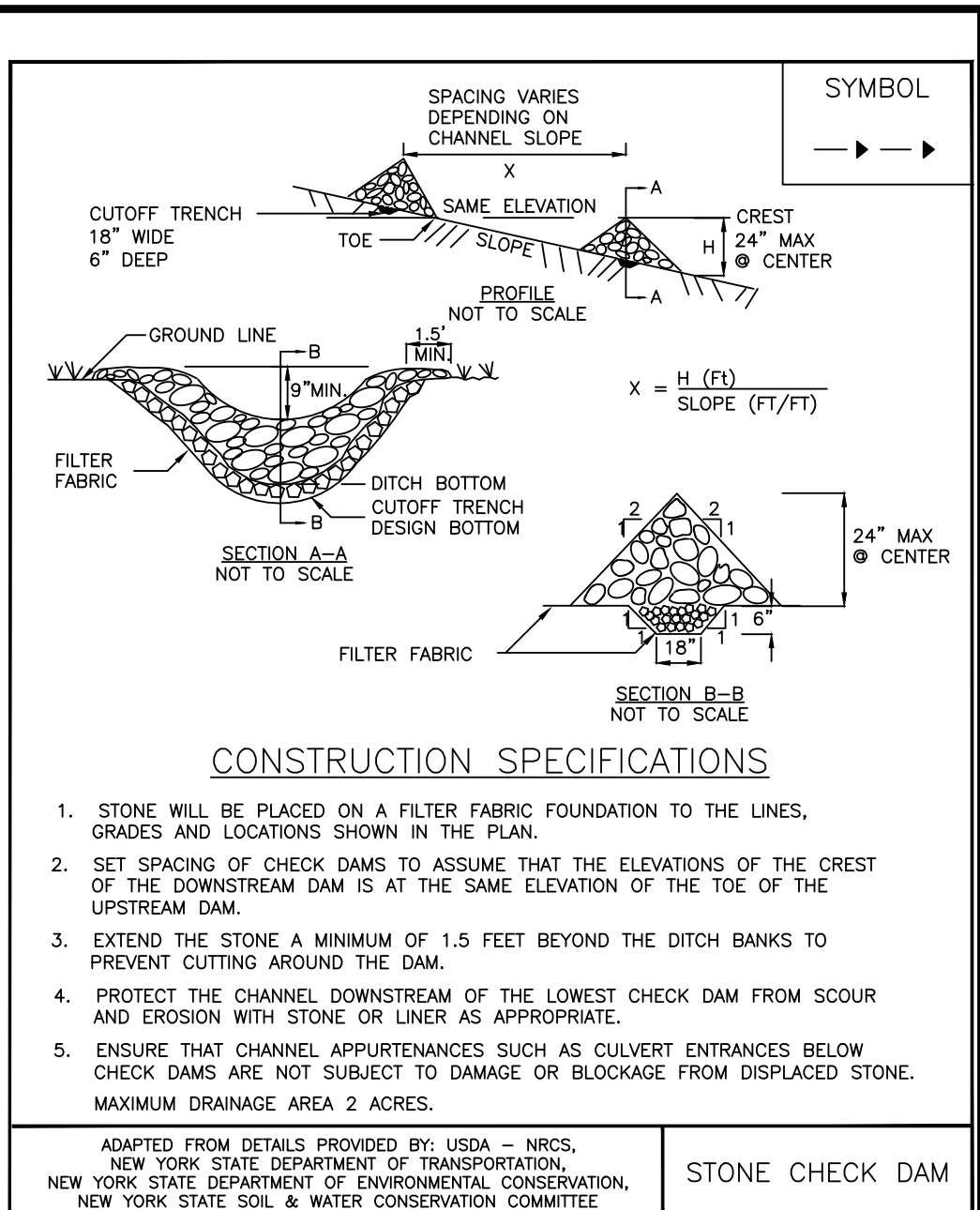
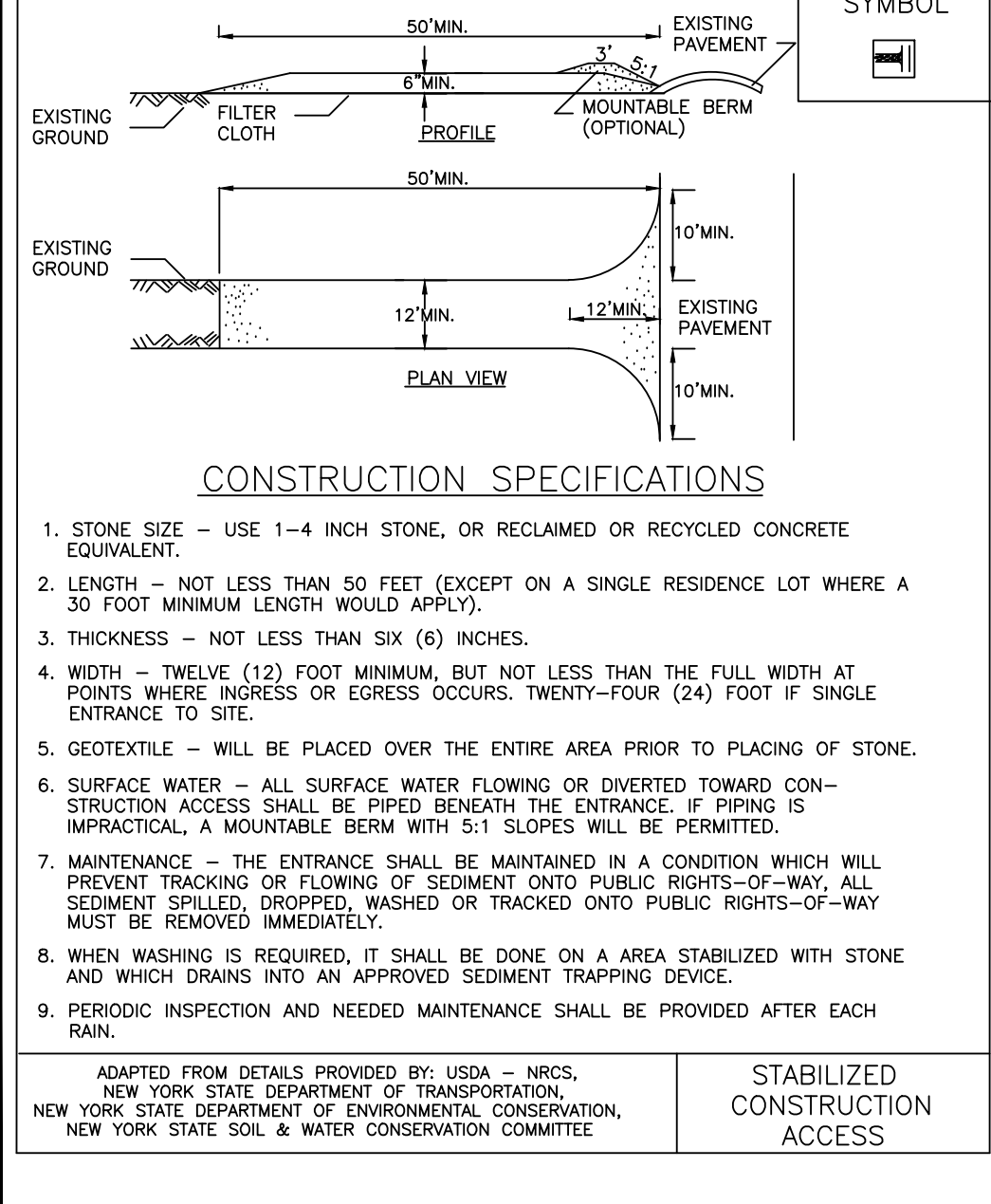
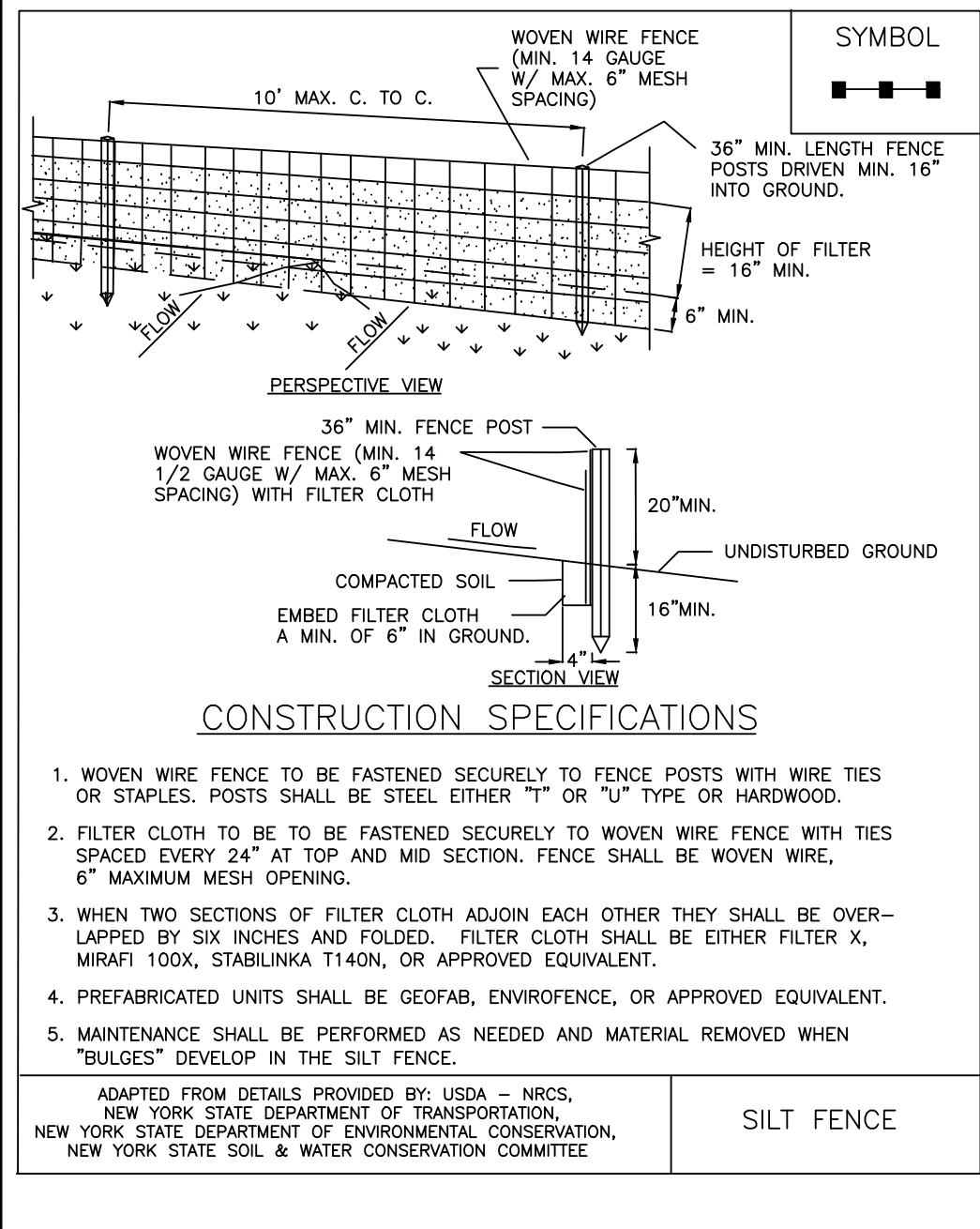
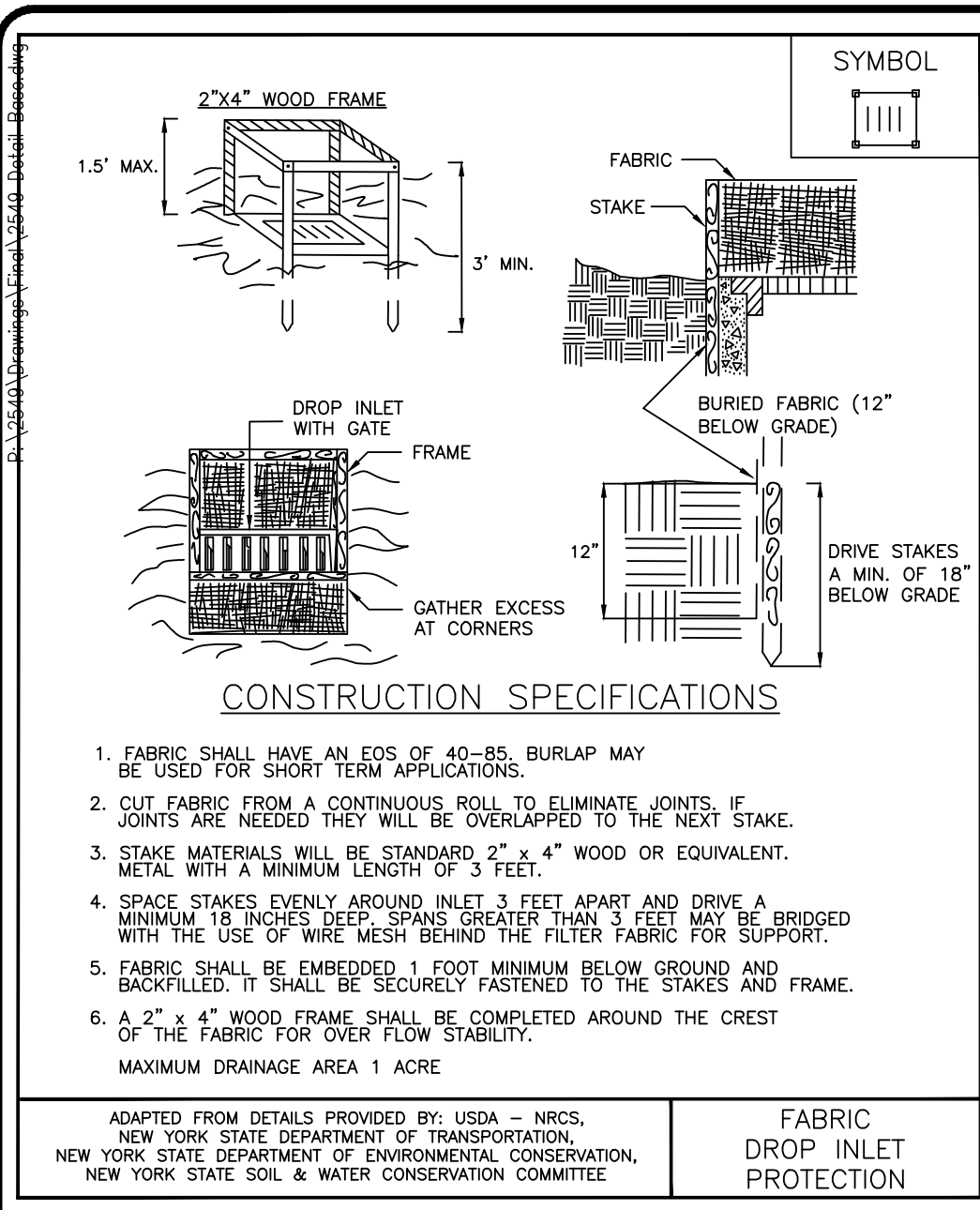


**ERIE RIDGE TOWNHOMES**  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
ERIE, N.Y.  
301 EXCHANGE BOULEVARD, SUITE 200  
ROCHESTER, NY 14608  
PRELIMINARY/FINAL  
DETAIL SHEET

PROJECT: ERIE RIDGE TOWNHOMES  
LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
CLIENT: ERIE, N.Y.  
DRAWING TITLE: PRELIMINARY/FINAL DETAIL SHEET

PROJECT MANAGER: P.G. VARS  
PROJECT ENGINEER: M.A. SERENI  
DRAWN BY: A.N. D'ANGELO  
SCALE: N.T.S.  
DATE ISSUED: FEBRUARY 14, 2024  
PROJECT NO.: 2549  
DRAWING NO.: 15  
(SHEET 3 OF 4)

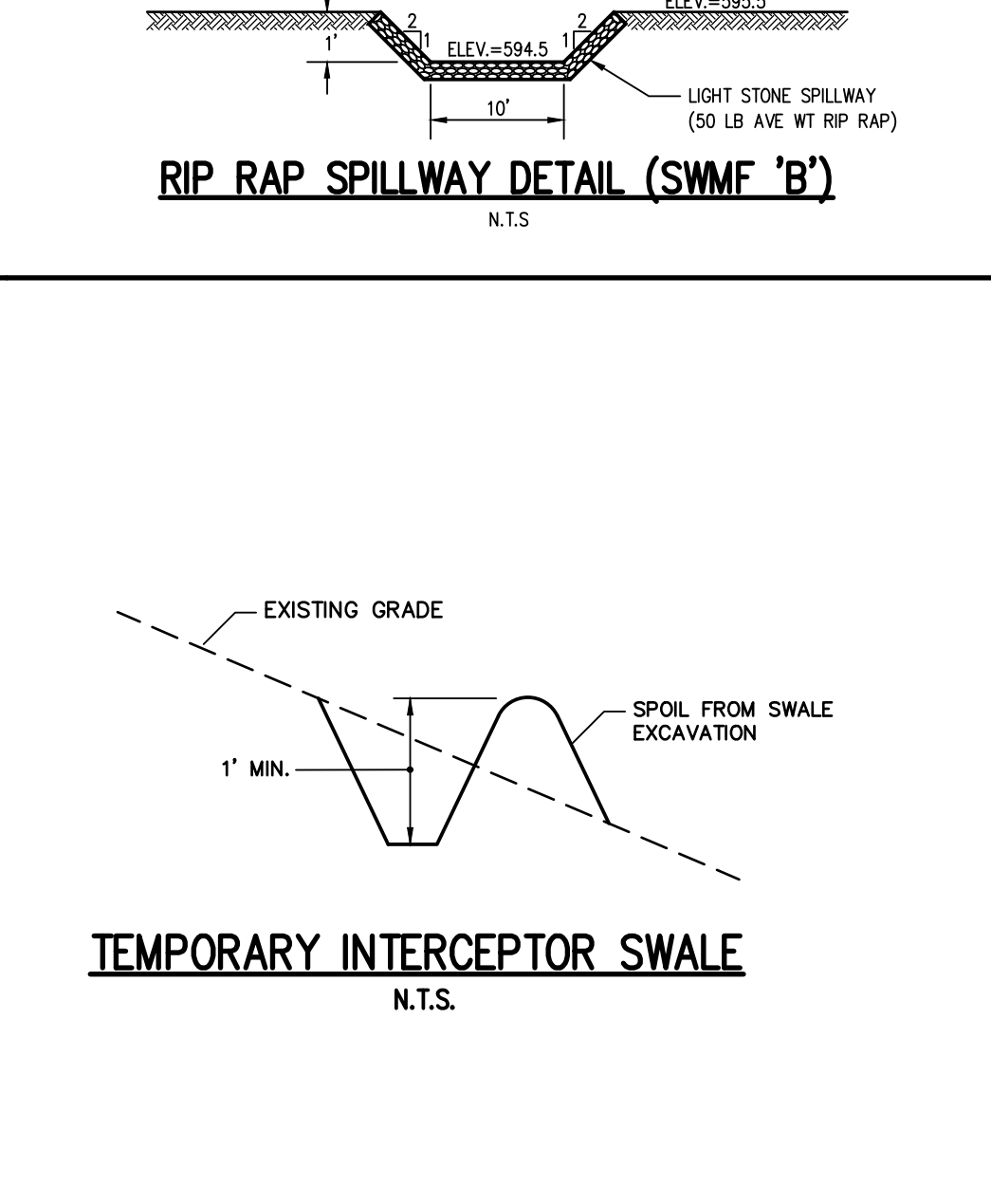
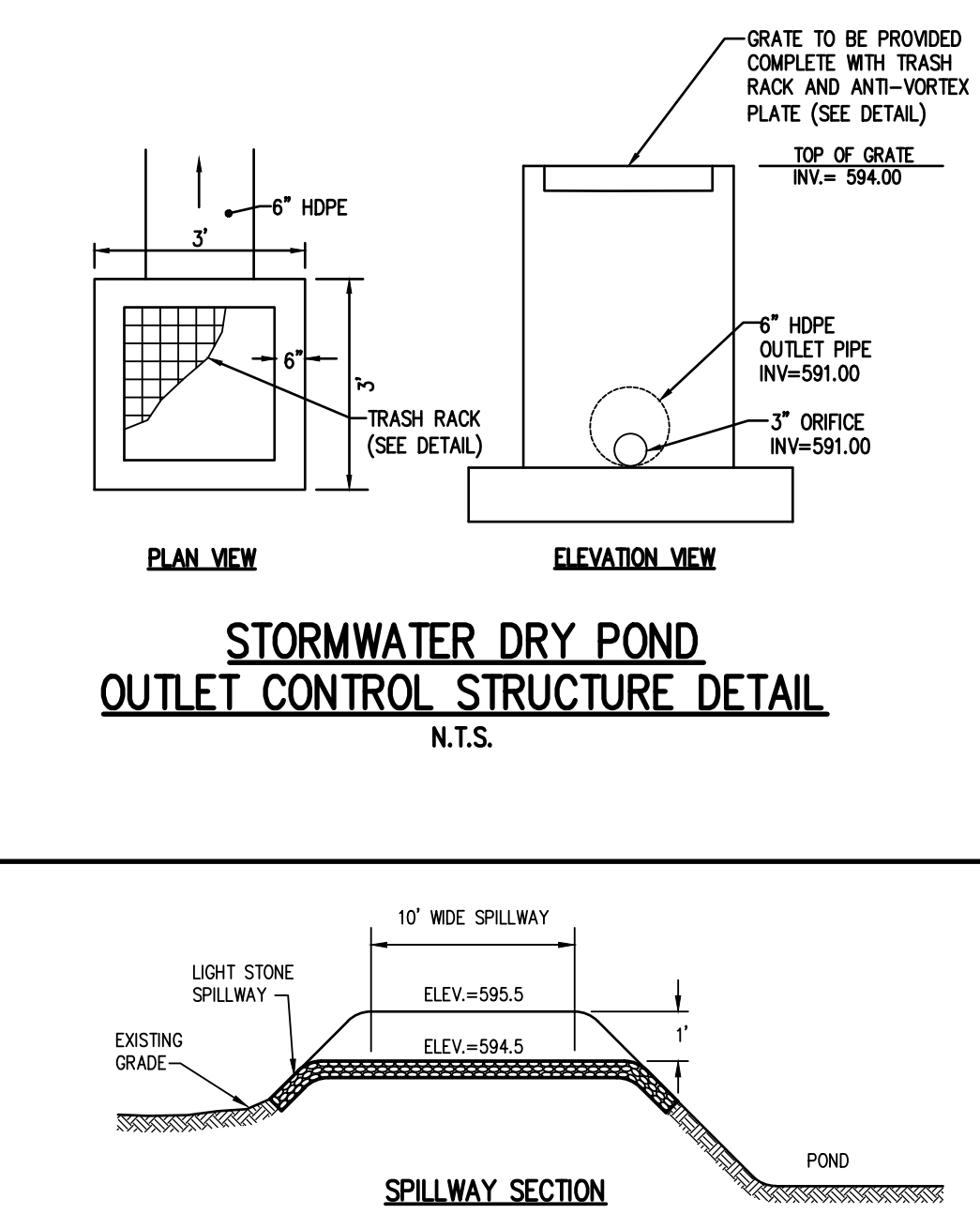
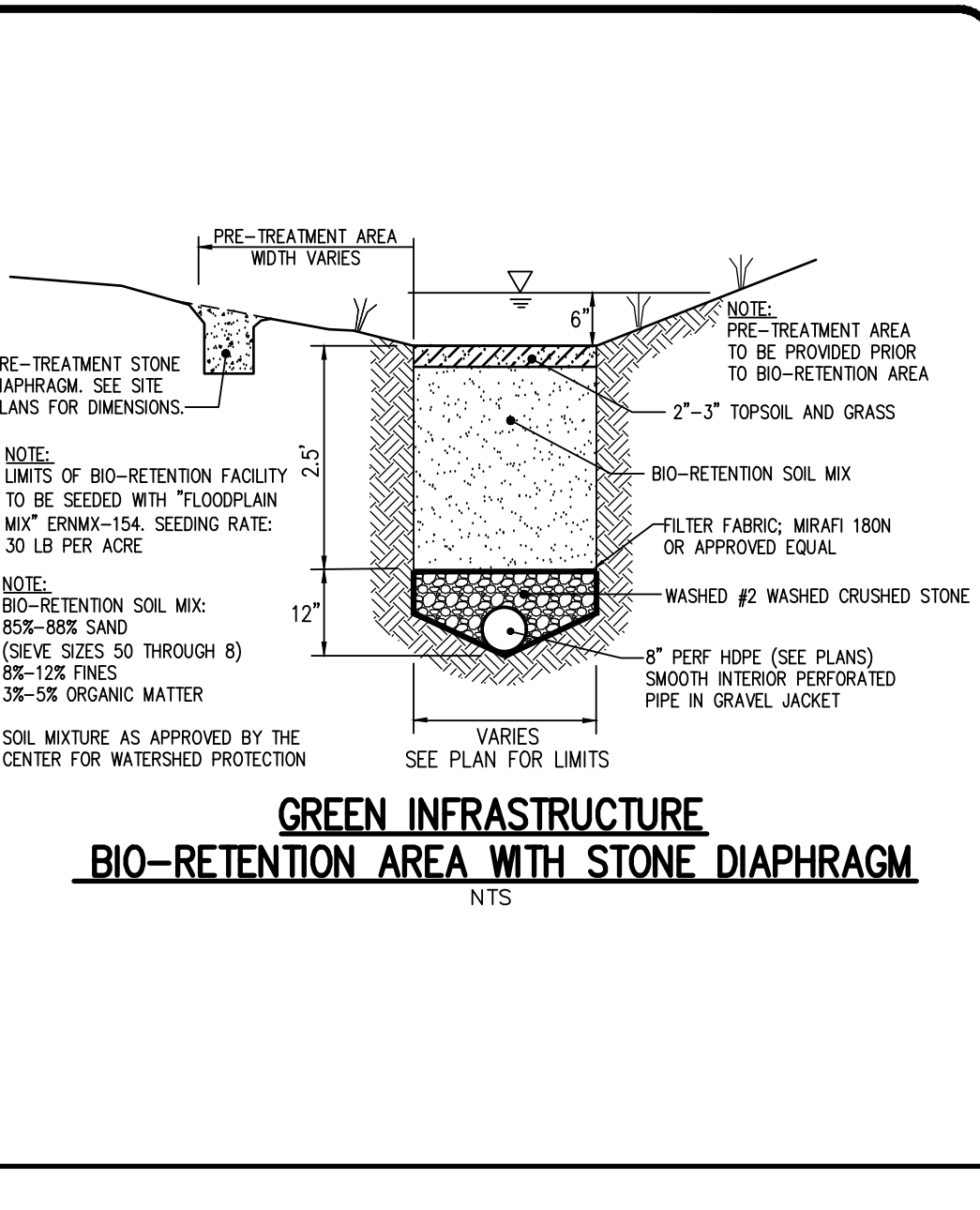
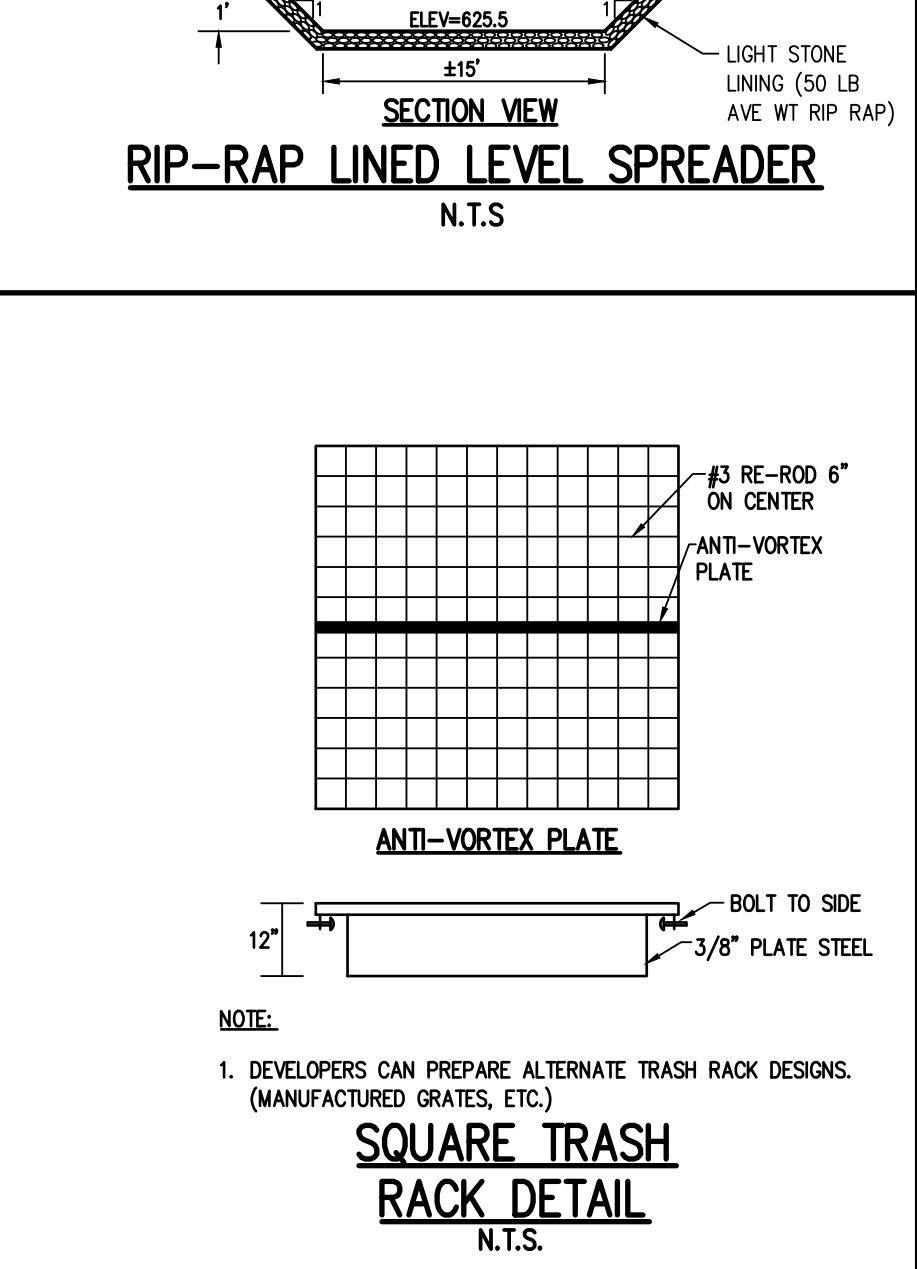
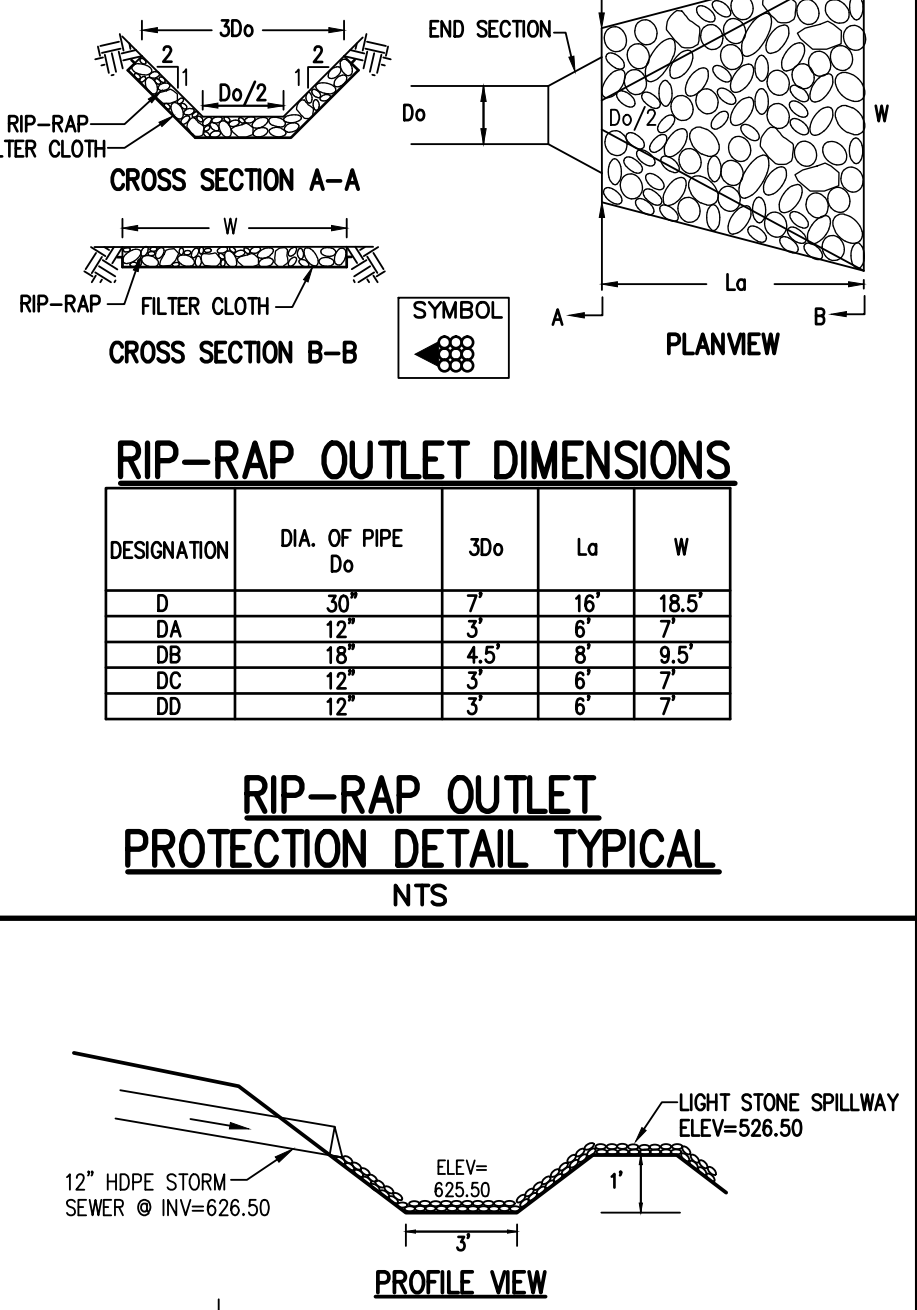
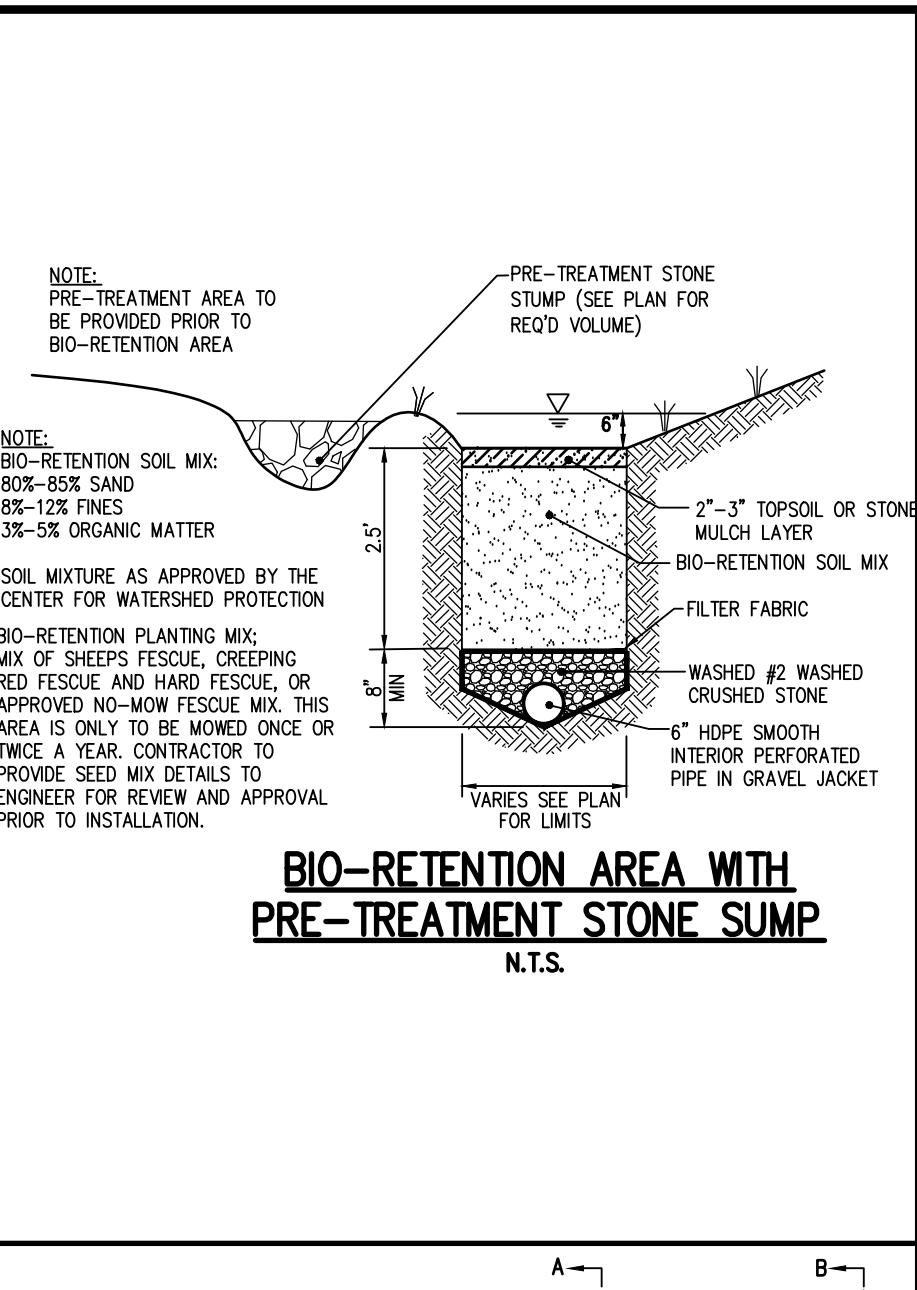
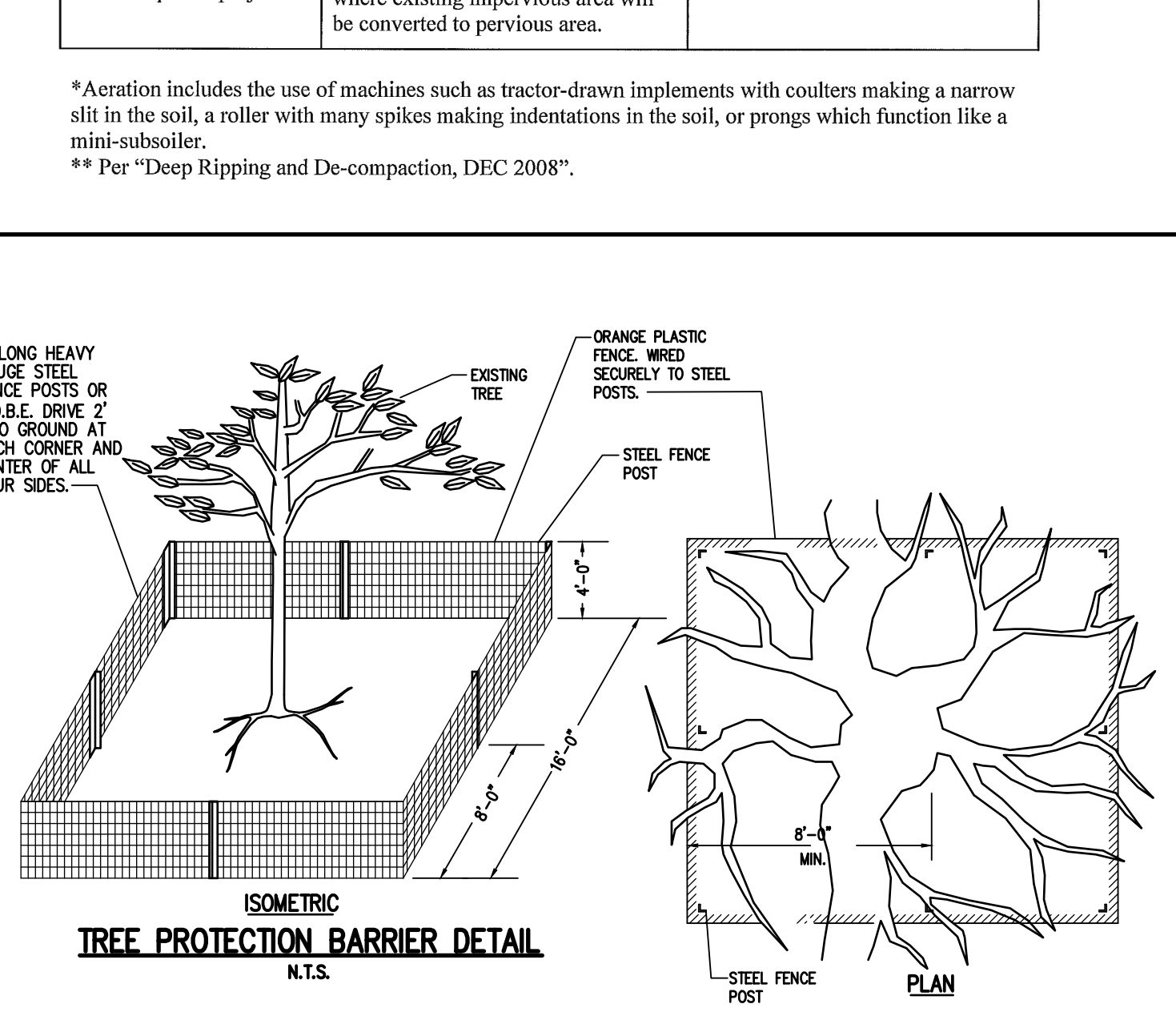




**Table 5.3. Soil Restoration Requirements**

Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples	
No soil disturbance	Restoration not permitted	Preservation of Natural Features	
Minimal soil disturbance	Restoration not required	Clearing and grubbing	
Areas where topsoil is stripped only - no change in grade	HSG A & B apply 6 inches of topsoil	HSG C & D Aerate* and apply 6 inches of topsoil	Protect area from any ongoing construction activities.
	HSG A & B	HSG C & D	
	Aerate and apply 6 inches of topsoil	Apply full Soil Restoration**	
Areas of cut or fill	Aerate and apply 6 inches of topsoil	Apply full Soil Restoration (de-compaction and compost enhancement)	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)		
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.		
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.		

\*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.  
\*\* Per "Deep Ripping and De-compaction, DEC 2008".



REVISIONS	DATE	BY
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**ERIE RIDGE TOWNHOMES**  
PROJECT LOCATION CLIENT DRAWING TITLE  
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE  
EVE L.L. BAILEY, SUITE 200  
301 EXCHANGE BOULEVARD  
ROCHESTER, NY 14608  
PRELIMINARY/FINAL  
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