

AS ACTED UPON DURING A DULY NOTICED OPEN MEETING OF THE TOWN BOARD OF THE TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF NEW YORK, HELD AT THE HENRIETTA TOWN HALL AT 475 CALKINS ROAD, HENRIETTA, NEW YORK ON DECEMBER 6, 2023 AT 6:00 P.M.

RESOLUTION #25-410/2023 To grant Special Use Permit Application No. 2023-043 for EH Henrietta Solar 1, LLC (Lehigh South Solar 1) and Special Use Permit Application No. 2023-044 for EH Henrietta Solar 2, LLC (Lehigh South Solar 2).

On Motion of
Councilmember Bellanca

Seconded by
Councilmember Sefranek

WHEREAS, Special Use Permit applications were filed with the Town Board of the Town of Henrietta by GreenSpark Solar, EH Henrietta Solar 1, LLC and EH Henrietta Solar 2, LLC (the "Applicant"), regarding the Applicant's proposals to develop a 5 MW AC Commercial Solar Energy Facility (Lehigh South Solar 1) (SP2023-043) and 1.875 MW AC Commercial Solar Energy Facility (Lehigh South Solar 2) (SP2023-044) (collectively, the "Projects"), both located on property between the Lehigh Valley Trail and East Henrietta Road, and directly south of the New York State Thruway, on a portion of land having Tax ID No. 189.02-1-5, for which the Applicant requests that the Town Board grant approval of Special Use Permits pursuant to Town Code Section 295-53 and Article XVI; and

WHEREAS, the proposed use of large scale solar is being requested through Incentive Zoning Application IZ2023-001, in the Residential Incentive Zone, §295-34.10[A], with the requested incentive of a Complementary Use Incentive of a large-scale solar array on a non-farm parcel under §295-34.11[A](3)(f), and with the proposed amenity of the construction of a permanent bandshell, including solar panels on the roof, for Veterans Memorial Park, with an aggregate value of at least \$150,000.00, under §295-34.12[A](5), with the total aggregate value assigned to the two projects on a pro-rata basis of their respective nominal megawatt power generation; and

WHEREAS, the Town Board has carefully considered all relevant documentary, testimonial, and other evidence submitted, including but not limited to the Special Use Permit application, Letter of Intent, other plans and reports, and other materials and information submitted by the Applicant, relevant correspondence and oral testimony from the public, State, County and local agencies, and other information, and the Town Board makes the findings of fact set forth in Schedule "A" attached hereto and made a part hereof; and

WHEREAS, the Town Board has considered each of the criteria for granting the requested Special Use Permit approvals, as set forth in Town Code Section 295-53, and the Town Board finds that, given the conditions imposed herein, the criteria are satisfied as set forth at Schedule "A," attached hereto and made a part hereof; and

WHEREAS, on December 6, 2023, in accordance with the New York State Quality Review Act ("SEQR"), the Town Board, as the Lead Agency, issued a Negative Declaration for the Projects (the "Negative Declaration") via Town Board Resolution #25-408/2023; and

WHEREAS, on December 6, 2023, in accordance with Town Code Section 295-34.13, the Town Board approved Incentive Zoning application IZ2023-001 for Projects via Town Board Resolution #25-409/2023, allowing large-scale solar as a permitted use on a non-farm property.

THEREFORE, BE IT RESOLVED, that based on the aforementioned information, documentation, testimony, and findings (set forth herein and in Schedule "A"), the Town Board hereby grants approval for Special Use Permit Nos. 2023-043 and 2023-044 for the Projects, to develop a 5 MW AC and a 1.875 MW AC Commercial Solar Energy Facilities, in accordance with the application materials and with the two approvals being severable, subject to the following conditions:

1. The solar panels will be installed only by driving or auguring poles into the ground.
2. The solar panels will be installed at a height (no greater than 20-feet) sufficient to allow wildlife to pass underneath.
3. Nitrogen fixers and/or pollinators will be planted (and maintained and replanted as necessary) under the panels.
4. Any damaged or defective panels will be replaced or removed to prevent leaching into the soil.
5. While a draft decommissioning plan has been provided, a final decommissioning plan and bond or escrow account shall be provided in accordance with Town Code, prior to the issuance of a building permit, all sufficient to cover the cost of removing the entire array when it reaches end of life or has become abandoned, with the final plan subject to review and approval by the Director of Engineering and Planning and the bond/escrow subject to review and approval by the Director of Finance.
6. The Projects shall be in compliance with the New York State Department of Agriculture and Markets "Guidelines for Solar Energy Projects – Construction Mitigation for Agricultural Lands" revised October 18, 2019.
7. Site plan approval must be obtained from the Henrietta Planning Board prior to the start of any construction, with all the items on the Town's Site Plan checklist properly addressed.
8. Equipment specification sheets shall be provided for all photovoltaic panels, significant components, mounting systems, and inverters that are to be installed.
9. A landscaping/screening plan which specifies how landscaping and/or screening will mitigate any adverse aesthetic effects of the system shall be provided, and shall be subject to review and approval by the Planning Board as part of the Site Plan review process.
10. An insurance policy providing coverage for liability which may arise as a result of the solar energy system will be required, with proof of insurance provided to the Town prior to the issuance of a certificate of compliance.
11. Enclosure by fencing to prevent unauthorized access shall be required.
12. While a draft operation and maintenance plan has been provided, a final operation and maintenance plan shall be provided in accordance with Town Code prior to the issuance of a building permit, with such final plan describing continued photovoltaic maintenance and property upkeep, such as mowing and trimming, with the plan subject to review and approval by the Director of Engineering and Planning.
13. Information regarding lease and any other easements or agreements shall be provided to the Town prior to the issuance of a building permit.

14. All State and Federal wetlands will be protected and undisturbed, in accordance with their respective controlling agencies, and any permits required by the New York State Department of Conservation and/or United State Army Corps of Engineers are obtained prior to any work in the wetlands or their buffers.
15. Sufficient construction access to the parcel is provided, including proof thereof, subject to review and approval by the Planning Board as part of Site Plan review, including the provision of any necessary easements as may be required for the same, and subject to any other approvals that may be required pursuant to law or regulation, all prior to the issuance of any building permit.
16. Any access across the creek to the west of the property will be created in such a manner that it will not cause damming or other upstream issues on the creek and shall be subject to review and approval by the Planning Board as part of the Site Plan review process.
17. Permanent access to the parcel will be provided, including that if access is across the Lehigh Valley Trail, such access will be provided in such a manner as to cause minimal disruptions to the trail, with the plan for such access across the Trail subject to written approval by the Monroe County Parks Department, with such approval by the Parks Department required prior to issuance of a building permit, and such access also subject to any and all other approvals that may be required by applicable law or regulation, such access to be reviewed and accepted by the Town Engineer, and such permanent access to be provided and effective prior to the issuance of a certificate of compliance.
18. The developer shall install adequate vegetative screening and create a site plan that includes park-like settings to either side of the Lehigh Valley Trail, as approved by the Town of Henrietta Planning Board, so as to provide a consistent natural setting through which the Lehigh Valley Trail passes.
19. Compliance with any conditions or requirements of the incentive zoning approval, including but not limited to the requirement that prior to the issuance of any building permits for the construction of the solar arrays, an agreement between the Town of Henrietta and GreenSpark Solar be executed covering the details of the construction or contribution towards construction of the permanent bandshell with a total aggregate value of at least \$150,000.00.
20. In compliance with Town Code §295-73[E], prior to the issuance of a certificate of compliance, a payment in lieu of taxes (PILOT) agreement shall be executed in a form acceptable and approved by the Town Board.
21. The review and acceptance of all items listed above by the Director of Engineering and Planning.

Duly put to a vote:

Councilmember Sefranek	Aye
Councilmember Bolzner	Aye
Councilmember Page	Aye
Councilmember Bellanca	Aye
Supervisor Schultz	Aye

RESOLUTION ADOPTED

SCHEDULE "A" – Special Use Permits for EH Henrietta Solar 1 and EH Henrietta Solar 2

Town Code Section 295-54 sets forth the criteria to be considered by the Board in determining whether to grant a Special Use Permit. The Town Board makes the following findings with respect to each of these criteria, based upon its own knowledge and investigation or from testimony or other information submitted to it. Additionally, these findings expressly incorporate the SEQR Negative Determination, which are thus made a part hereof.

A. Whether the proposed use is substantially consistent in its scale and character with those uses permitted and the existing built permitted uses in the subject zoning district and neighborhood or will otherwise impair such uses due to inconsistency?

The proposed use is right out of the pages of the Town's recently adopted Farmland Protection Plan and Comprehensive Land Use Plan Update that allows working farms to use up to 25% of their acreage for large scale solar arrays in order to provide supplemental income to help keep their farms financially afloat. So, while it is not on an active farm, it is consistent in scale and character with those solar facilities that are permitted in this zoning district. Even though the solar array is not located on an active farm, it still preserves vacant land from permanent development (since these solar facilities must be removed at end of life) and may one day be farmed.

B. Whether the proposed use aligns with the vision, goals and recommendations of the Comprehensive Plan and other applicable plans and studies conducted by or on behalf of the Town.

The Update to the Comprehensive Land Use Plan, adopted January 2019, added large scale solar arrays up to 25-acres to be installed on working farms as part of the code changes suggested in the Farmland Protection Plan that was adopted in the spring of 2018. A full GEIS was conducted as part of the Comprehensive Land Use Plan and saw that by allowing these solar arrays on working farms, it would help preserve agriculture in Town by providing auxiliary farm income. As part of the recommendations from the Farmland Protection Plan, Comprehensive Land Use Plan Update, and associated GEIS, the arrays would be installed in a manner that minimizes agricultural impacts on the working farms and that revitalizes the soil lying under the arrays. Thus, even though the proposed solar array is not located within an active farm, the proposed use meets the intent of the standards dictated in those plans and studies and preserves open space, is consistent in scale and character with those solar facilities that are permitted in this zoning district, and, except for being located on an active farm (as approved via incentive zoning), the facilities will comply with the special use permit requirements applicable thereto which are designed to ensure compatibility with and protect nearby lands.

C. Whether the proposed use aligns with the purpose, intent, and applicable design and development standards of the zoning district(s) in which the use is proposed to be located.

The proposed use aligns with the recent changes to the newly created Rural Residential Zoning District in which the site for the proposed use resides. The Rural Residential Zoning District was created by combining the two former Rural Residential RR-1 and RR-2 Zoning Districts and by adding a number of uses and guidelines from the Farmland Protection Plan and adding them to the zoning district. The proposed use is one of those newly added items (except that is

not located on an active farm, which exception was approved via incentive zoning). See also A and B, above.

- D. Whether the proposed use will be a nuisance in law or in fact due to its being materially noxious, offensive or injurious by reason of the production of or emission of dust, smoke, refuse, poisonous substances, odors, fumes, noise, radiation, vibration, unsightliness or similar conditions, or will contaminate waters.**

The proposed use will not create any materially noxious, offensive, or injurious issues. The only potential contamination would be due to the deterioration of abandoned solar panels. Because the code requires a decommissioning bond or escrow to fully cover the removal and proper disposal of the solar panels, even that potential has been mitigated.

- E. Whether the proposed use will create material hazards or dangers to the public or to persons in the vicinity from fire, explosion, electricity, radiation, traffic congestion, crowds, parking of vehicles, or other causes.**

The proposed use will create no fire, explosion, or radiation hazards. There will be high voltage electricity generation on site, but that generation will be contained within a secured area behind a high perimeter fence, thus mitigating the danger. The solar array requires minimal on-site attention, so there will be no traffic, crowds, or parking issues.

- F. Whether the proposed use will create materially adverse impacts that cannot be adequately mitigated, such as to adversely impact natural resources or the environment, agriculture, community services or other areas required to be addressed by the State Environmental Quality Review Act (SEQRA).**

The proposed use will not create any materially adverse impacts that cannot be mitigated. While the panels will displace some low-value open space, the panels will not be located in the areas of any farms that contain high-value agriculture. In addition, the proposed use will require the planning of native plants including nitrogen fixers and pollinators so as to restore the soil underneath the panels. As a result, when the arrays are removed, the soil will be better for agricultural use than it is today.

- G. Whether the physical conditions and characteristics of the site are suitable for the proposed use considering site size, configuration, location, access, topography, vegetation, soils, and hydrology for effective stormwater management and, if necessary, the ability to be screened from neighboring properties and public roads.**

The natural screening from woods and topography will mean that the solar arrays will be adequately screened from adjacent properties. The least amount of screening is along the northern exposure of the solar arrays, however in that direction the project is bounded by the New York State Thruway (NYS Route I-90). The projects will not be in the view-shed of any residences or businesses.

- H. Whether there are adequate public infrastructure, utilities, community facilities and emergency services, either existing or to be provided by the applicant or others, to effectively serve the proposed use. A proposed use shall not create or contribute to an existing inadequacy.**

The only required utility is a connection to a power distribution line, which is present along the western portion of the property. As the proposed use is an unmanned facility, there are minimal other requirements for services and infrastructure. A well-constructed service road will provide access to the site.

I. Whether the proposed use will provide, maintain, or enhance, as necessary, safe and efficient vehicular traffic patterns, nonmotorized travel, and pedestrian circulation as well as, where feasible, access to public spaces, parks, recreation, and open space resources.

As it is an unmanned facility located in the middle of a private landlocked parcel, the proposed use will not alter the current vehicular traffic patterns or non-motorized travel. Pedestrian access will be enhanced by providing access and another parking area for the Lehigh Valley Trail. Also, there is a possibility of an additional trail being provided around the fenced in area of the solar array.

GREENSPARK SOLAR

December 4th, 2023

Steve Schultz, Town of Henrietta Supervisor
Town of Henrietta Town Board
475 Calkins Road
Rochester, NY 14623

Dear Mr. Schultz and Members of the Town Board,

In regards to our 10/6/2023 submittal of a Special Use Permit application for the Lehigh South 1 and Lehigh South 2 Solar Projects, for the Board's reference please accept this supplemental letter outlining our responses to questions and concerns from the board.

(1) Impact to Red Creek.

Our plans include a permeable road that will cross through Red Creek before entering the project parcel. Our crossing will not in any way negatively impact the creek's flow, however, it was noted that there are often dead trees falling into this creek that could cause such disruption. To mitigate this issue, an additional part of our routine maintenance will be to check for debris under and around the crossing to ensure a blockade does not form.

(2) Lehigh Valley Crossing

We will be working with the County Parks Department to minimize the impact on the Lehigh Valley Trail. If necessary, we will go through the parkland alienation process with the county.

(3) Tree Removal Mitigation/Replanting

We will avoid removing any of these trees to the greatest extent possible. Before site plan approval, we will have mature trees in the clearance zone located and mapped out for the Town Engineer and Planning Board. Additionally, we are willing to replant trees to an extent agreeable to the Town.

We appreciate the care and consideration all members of the Henrietta community have put into evaluating our proposal and look forward to our continued partnership in creating a sustainable future.



Loyal to People. Loyal to Planet.

greensparksolar.com | 585 265 2384

GREENSPARK SOLAR

Sincerely,



Kevin Schulte
CEO, GreenSpark Solar
Manager, EH Henrietta Solar 1 LLC
Manager, EH Henrietta Solar 2 LLC



Loyal to People. Loyal to Planet.

greensparksolar.com | 585 265 2384



October 6, 2023

Steve Schultz, Town of Henrietta Supervisor
Town of Henrietta Town Board
475 Calkins Road
Rochester, NY 14623

Dear Mr. Schultz and Members of the Town Board,

EH Henrietta Solar 1 LLC, a subsidiary of Sustainable Energy Developments, Inc. DBA GreenSpark Solar, is pleased to submit this application for a Special Use Permit for the Lehigh South Solar 1 Project, a proposed 6.739 MW-DC, 5 MW-AC ground-mounted photovoltaic solar array to be located off of Middle Road in the Town of Henrietta (Tax Parcel 189.02-1-5) within the Rural Residential zoning district. The project will be owned by EH Henrietta Solar 1 LLC under a lease agreement with Lehrwood Estates LLC and constructed and operated by Sustainable Energy Developments, Inc. DBA GreenSpark Solar. The array will interconnect to the Rochester Gas & Electric utility grid, with approximately 12,272 modules on a ground mounted, pier driven racking system. The proposed array would occupy approximately 24.63 acres of the 55.38-acre parcel, with an additional area of approximately 1.33 acres of access road outside the fence line. Ground disturbance would be limited to the pier driven posts of the racking system, the electrical trenches, parking/staging area, and the fence line. The power generated by the project is intended for Community Solar Array off-takers through a net metering agreement.

We intend to advance this Lehigh South Solar 1 project in parallel with, and construct it simultaneous to, our proposed Lehigh South Solar 2 project to be located in the area immediately to the east of this proposed project (also within Tax Parcel 189.02-1-5). Please note that, as discussed with Chris Martin, P.E. Director of Engineering and Planning, we completed a single Full Environmental Assessment Form (FEAF) for both projects with the intent of advancing a joint coordinated review under SEQR, so that interested and involved agencies may review these projects for cumulative impact.

Based on our review of the Town of Henrietta Zoning Code, we understand that this proposal requires a Special Use Permit per § 295-73D of the Code, as well as Site Plan Review and Approval by the Town of Henrietta Planning Board per §295-73B of the Code. We are submitting this Special Use Permit application to the Town Board in advance of submitting the Site Plan application to the Planning Board. In addition to this Letter of Intent, the application includes the following exhibits in satisfaction of the application requirements and Town Code:

- A) Special Use Permit Application Form
- B) Application Fee
- C) Letter of Authorization from the Property Owner
 - a. Signed Letter of Intent to enter into a Lease Agreement, per § 295-73D(24)
- D) Signed Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees
- E) Part 1 Full Environmental Assessment Form (FEAF) (includes Lehigh South Solar 2 project)
- F) Equipment specification sheets per §295-73D(16)
- G) (Draft) Property operation and maintenance plan per §295-73D(17)
- H) (Draft) Decommissioning Plan per §295-73C



- I) Incentive Zoning Application per § 295-34.13
- J) Agricultural data statement - §305-a.2 of the NYS Agricultural Districts Law
- K) Site Plans

We respectfully request to appear before the Town of Henrietta Town Board at your regularly scheduled meeting on November 15, 2023 to present our proposal. If any further documentation or information is required please feel free to contact my colleague Brooke Mayer, Commercial Solar Developer at [REDACTED] or [REDACTED]. We look forward to working with the Town of Henrietta to advance this project in support of the Town's land use and development goals, and in advancement of New York State's clean energy and climate agenda. Thank you for your time and attention.

Sincerely,

Matt Vanderbrook
Director of Commercial Origination



GREENSPARK SOLAR

EH Henrietta Solar 1 Project Decommissioning Plan **[UPDATED DRAFT]**

December 2023

Prepared for: Town of Henrietta

Prepared by: GreenSpark Solar / EH Henrietta Solar 1 LLC

318 Timothy Lane

Ontario, NY 14519

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Introduction

EH Henrietta Solar 1 LLC (“Project Owner”), an affiliate of Sustainable Energy Developments, Inc. d.b.a. GreenSpark Solar, plans to build a photovoltaic (PV) solar facility (“Solar Facility”) at on a portion of tax lot 189.02-1-5 in the Town of Henrietta (“Town”). The Solar Facility is planned to have a nameplate capacity of approximately 5.28 megawatts (MW) alternative current (AC), and be constructed on private land (“Project Site”) leased by the Project Owner from the property owner Lehrwood Estates LLC (“Property Owner”).

This Decommissioning Plan (“Plan”) provides an overview of activities that will occur during the decommissioning phase of the Solar Facility, including activities related to the restoration of land, management of material and waste, projected costs, and a proposed decommissioning funding plan.

The Solar Facility will have a useful life of thirty-five (35) years. The lease agreement (“Lease”) between the Project Owner and Property Owner has a twenty-five (25) year lease term, with an option to extend the term pursuant to the Parties reaching mutual agreement. The Lease has been executed and recorded with the Monroe County Clerk’s office.

This Plan assumes the Solar Facility will be dismantled, and the Project Site restored to a state similar to its pre-construction condition, at the twenty-five (25) year anniversary of the Solar Facility’s commercial operation date (“Expected Decommissioning”). This Plan also covers the case of the abandonment of the Solar Facility, for any reason, prior to the Expected Decommissioning Date.

Decommissioning of the Solar Facility will include the disconnection of the Solar Facility from the utility electrical grid and the removal of all Solar Facility components, including:

- Photovoltaic (PV) modules, module racking and supports;
- Inverter units, substation, transformers, and other electrical equipment;
- Access roads, wiring cables, perimeter fence; and,
- Inverter pad concrete foundations.

All components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations. This Plan is based on current best management practices and procedures. This Plan may be subject to revision based on new standards and emergent best management practices at the time of decommissioning. Permits will be obtained as required and notification will be given to stakeholders prior to decommissioning.

GreenSpark Solar will establish a bond with the Town for an agreed upon amount before the issuance of a building permit for the Town’s use in the event of Solar Facility abandonment and/or financial failure.

The Proponent

The Project Owner will manage and coordinate the decommissioning process. The project owner will obtain all necessary regulatory approvals that vary depending on the jurisdiction, project capacity, and

site location. The Project Owner will build a long-term relationship with the community hosting the Solar Facility and will be committed to the safety, health and welfare of the hosting community.

The conditions and obligation of this Decommissioning Plan shall be bounded upon the Project Owner, its heirs, executors, administrators, successors or assigns.

Contact information for the proponent is as follows:

Company	EH Henrietta Solar 1 LLC
Contact	Matt Vanderbrook
Address	318 Timothy Lane, Ontario, NY 14519
Telephone	[REDACTED]
Email	[REDACTED]

Project Information

Address	East Henrietta Road, Henrietta, NY 14467
Tax ID	189.02-1-5
Project Size	5.28 MW AC
Property Owner	Lehrwood Estates LLC, c/o Bruce Howlett
Site Agreement	Lease agreement to be executed at Monroe County Clerk's Office

Decommissioning of the Solar Facility

Upon the time of decommissioning, the installed components will be removed, reused, disposed of, and recycled, where possible. The Project Site will be restored to a state similar to its pre-construction state and in accordance with Henrietta Town Code § 295-73C(5). All removal of equipment will be done in accordance with applicable laws and regulations, and manufacturer recommendations. All applicable permits will be acquired.

The decommissioning process of the Solar Facility may commence for the following reasons:

- 1) Project Owner provides written notice to the Town of its intent to retire or decommission the Project (“Owner Decommissioning Notice”), or
- 2) Solar Facility ceases to be operational for more than six (6) consecutive months.

In the event the Project Owner fails to decommission the Solar Facility within 90 days after being considered abandoned, the municipality may remove the system and restore the property, using the bond proceeds to do so, and impose a lien on the property to cover any costs to the municipality in excess of the bond proceeds. This is in accordance with Town Code § 295-73C(9). For purposes of this Agreement, “abandoned” shall mean no generation of electricity, other than due to repairs to the Project or causes beyond reasonable control of the Project Owner. Pursuant to Town Code § 295-75D, should the owner and/or operator fail to decommission the solar energy system as required:

(1) The Town shall issue a notice to the owner/operator on file with the Town calling for a hearing before the Town Board. The owner/operator may present evidence at such hearing regarding the abandonment and decommissioning status of the solar energy system.

(2) If, after said hearing, the Town Board determines that the solar energy system is, in fact, abandoned, and the time to decommission it has expired, the Town Board may then order that the Town remove the solar energy system itself. In this case, the Town may utilize the proceeds from the bond provided as part of the decommissioning plan to pay for said decommissioning.

Decommissioning Scope and Timeline

The decommissioning of a Solar Facility proceeds in the reverse order of installation. The below scope includes the anticipated timeline for completion of each task. All components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations.

Task #	Task Description	Duration	Week 1	Week 2	Week 3	Week 4	Week 5	Week 6	Week 7	Week 8	Week 9
1	The Solar Facility will be disconnected from the utility power grid	1 Day	■								
2	All required permits, including obtaining coverage under the most current NYS SPDES General Permit for Stormwater Discharges from construction activity, shall be obtained	10 Days	■	■							
3	Mobilization of equipment and facilities	1 Day			■						
4	Installation of erosion and sediment controls	1 Day			■						
5	PV modules shall be disconnected, collected, and disposed at an approved module recycler or reused / resold	1-2 Weeks			■	■					
6	All above ground and underground electrical interconnection and distribution cables shall be removed and disposed of off-site at an approved facility	2 Weeks			■	■					
7	Galvanized steel PV module support and racking system support posts shall be removed and disposed of off-site at an approved facility	2 Weeks					■	■			
8	Electrical and electronic devices, including transformers and inverters shall be removed and disposed of off-site at an approved facility	1 Week			■						
9	Concrete foundations shall be removed and will be disposed of off-site at an approved facility	2 Days				■					
10	Fencing shall be removed and will be disposed of off-site at an approved facility	1 Week							■		
11	Removal of all access roads, except those retained by landowner, and stormwater practices	1 Week							■		
12	Soil restoration and permanent seeding, or seeding will be in the form of crops planted by the landowner	4 Days								■	
13	Removal of all erosion and sediment controls	1 Week							■		
14	Filing of the Notice of Termination with the Town	5 Days									■

Environmental Effects

Decommissioning activities, particularly the removal of project components could result in environmental effects similar to those of the construction phase. For example, there is the potential for disturbance (erosion/sedimentation) to adjacent watercourses or significant natural features.

Mitigation measures including obtaining all required permits and coverage under the most current NYS SPDES General Permit for Stormwater Discharges from Construction Activity will be implemented. These measures will remain in place until the site is stabilized in order to mitigate erosion and silt/sediment runoff and any impacts on the significant natural features or water bodies located adjacent to the Project Site. All removed components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations.

Potential Temporary Work-Related Disturbances

- Increase in road traffic due to movement of crews and equipment
- Work expected to last 2-3 months
- Increase in dust in adjacent areas
- Temporary elevated noise levels from machinery and increased trips to project site

Work will be undertaken during daylight hours and conform to any applicable restrictions.

Site Restoration

The Project Site will be restored to a state similar to its pre-construction condition. All project components will be removed and recycled / disposed of in accordance with local, state, and federal waste disposal regulations. Rehabilitated land will be seeded with a low-growing species to help stabilize soil conditions, enhance soil structure, and increase soil fertility. Soil restoration and seeding will follow current requirement of the NYS Standards and Specifications for Erosion and Sediment Control, including the appropriately recommended seed mixes at the time, unless this seed mix is replaced with crop planting by the landowner.

Managing Materials and Waste

The following table shows the materials and waste related to the Solar Project. Most of the materials are reusable or recyclable and some equipment may have manufacturer take-back and recycling requirements/programs. The Project Owner will establish policies and procedures to maximize recycling and reuse and will work with manufacturers, local subcontractors, and waste firms to segregate material to be disposed of, recycled, or reused. All components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations.

Management of Materials and Waste	
Material (Waste)	Management
PV Modules	<ul style="list-style-type: none"> • Panels will be removed and transported to a secondary buyer or solar recycling facility
Mounting Racks / Steel Support	<ul style="list-style-type: none"> • Materials will be removed and transported to an appropriate facility
Transformers / Substation components	<ul style="list-style-type: none"> • Removal of small amount of on-site oil transported to an appropriate facility • Substation transformer and step-up transformers (inside inverter) will be transported to the manufacturer, recycled, reused, or disposed in accordance with current standards and practices
Inverters, fans, fixtures	<ul style="list-style-type: none"> • Metal components to be recycled or disposed of in accordance with current standards and practices • Remaining components to be recycled or disposed of in accordance with current standards and practices
Gravel (or other granular)	<ul style="list-style-type: none"> • Gravel and other granular materials will be removed by truck and disposed of in accordance with current standards and practices
Geotextile fabric	<ul style="list-style-type: none"> • Geotextile fabric will be collected and resorted at a reprocessing site
Concrete inverter/transformer foundations	<ul style="list-style-type: none"> • Concrete foundations will be broken down and transported to recycling or approved disposal facility
Cables and wiring	<ul style="list-style-type: none"> • Wiring connecting the array to the utility grid will be disconnected and removed

	<ul style="list-style-type: none"> • Support poles, if made of untreated wood, will be chipped and reused. Otherwise, poles will be removed and disposed of at an approved facility • Electronic equipment (isolation switches, fuses, metering) will be transported offsite to be sent back to the manufacturer, recycled, reused, or safely disposed of off-site in accordance with current standards and practices
Fencing	<ul style="list-style-type: none"> • Fencing will be removed and transported to a metal recycling facility
Debris	<ul style="list-style-type: none"> • Any remaining debris on-site will be transported off-site and managed as appropriate

Estimated Cost of Decommissioning

E Henrietta Rd 1							
Task #	Task	Crew (people + equip)	Productivity Rate (quantities / day)	Quantity	Unit	Duration (days)	Cost
1	Module Removal	5,800.00	1,440	12,272.00	ea	8.52	\$49,428.89
2	Rack Wiring Removal	5,800.00	30,000	780,000.00	LF	26.00	\$150,800.00
3	Rack Dismantling, removal, loading	5,800.00	25,000	195,000.00	LF	7.80	\$45,240.00
4	Electrical Equipment Removal / Loading	3,600.00	1	1.00	ea	1.00	\$3,600.00
5	Break Up Concrete Pads	3,600.00	8	3.00	CY	0.38	\$1,350.00
6	Electrical Wiring Removal	5,800.00	1,000	6,000.00	LF	6.00	\$34,800.00
7	Post Removal	3,600.00	1,000	10,800.00	EA	10.80	\$38,880.00
8	Fence Removal	3,600.00	1,000	3,660.00	LF	3.66	\$13,176.00
9	Power Pole Removal	5,800.00	6	3.00	EA	0.50	\$2,900.00
10	Gravel Road Reclamation	3,600.00	500	2,500.00	CY	5.00	\$18,000.00
11	Soil Restoration / Decompaction	3,600.00	30	24.00	Acre	0.80	\$2,880.00
12	Seed Disturbed Areas	2,400.00	100	24.00	Acre	0.24	\$576.00
Total (Current Value)							\$ 361,630.89
Lifetime							25
Inflation Rate							2.0%
Total (Future Value)							\$ 593,293.80



October 6, 2023

Steve Schultz, Town of Henrietta Supervisor
Town of Henrietta Town Board
475 Calkins Road
Rochester, NY 14623

Dear Mr. Schultz and Members of the Town Board,

EH Henrietta Solar 2 LLC, a subsidiary of Sustainable Energy Developments, Inc. DBA GreenSpark Solar, is pleased to submit this application for a Special Use Permit for the Lehigh South Solar 2 Project, a proposed 2.414 MW-DC, 1.875 MW-AC ground-mounted photovoltaic solar array to be located off of Middle Road in the Town of Henrietta (Tax Parcel 189.02-1-5) within the Rural Residential zoning district. The project will be owned by EH Henrietta Solar 2 LLC under a lease agreement with Lehrwood Estates LLC and constructed and operated by Sustainable Energy Developments, Inc. DBA GreenSpark Solar. The array will interconnect to the Rochester Gas & Electric utility grid, with approximately 3,198 modules on a ground mounted, pier driven racking system. The proposed array would occupy approximately 7.40 acres of the 55.38-acre parcel. Ground disturbance would be limited to the pier driven posts of the racking system, the electrical trenches, parking/staging area, and the fence line. The power generated by the project is intended for Community Solar Array off-takers through a net metering agreement.

We intend to advance this Lehigh South Solar 2 project in parallel with, and construct it simultaneous to, our proposed Lehigh South Solar 1 project to be located in the area immediately to the west of this proposed project (also within Tax Parcel 189.02-1-5). Please note that, as discussed with Chris Martin, P.E. Director of Engineering and Planning, we completed a single Full Environmental Assessment Form (FEAF) for both projects with the intent of advancing a joint coordinated review under SEQR, so that interested and involved agencies may review these projects for cumulative impact.

Based on our review of the Town of Henrietta Zoning Code, we understand that this proposal requires a Special Use Permit per § 295-73D of the Code, as well as Site Plan Review and Approval by the Town of Henrietta Planning Board per §295-73B of the Code. We are submitting this Special Use Permit application to the Town Board in advance of submitting the Site Plan application to the Planning Board. In addition to this Letter of Intent, the application includes the following exhibits in satisfaction of the application requirements and Town Code:

- A) Special Use Permit Application Form
- B) Application Fee
- C) Letter of Authorization from the Property Owner
 - a. Signed Letter of Intent to enter into a Lease Agreement, per § 295-73D(24)
- D) Signed Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees
- E) Part 1 Full Environmental Assessment Form (FEAF) (includes Lehigh South Solar 1 project)
- F) Equipment specification sheets per §295-73D(16)
- G) (Draft) Property operation and maintenance plan per §295-73D(17)
- H) (Draft) Decommissioning Plan per §295-73C
- I) Incentive Zoning Application per § 295-34.13



- J) Agricultural data statement - §305-a.2 of the NYS Agricultural Districts Law
- K) Site Plans

We respectfully request to appear before the Town of Henrietta Town Board at your regularly scheduled meeting on November 15, 2023 to present our proposal. If any further documentation or information is required please feel free to contact my colleague Brooke Mayer, Commercial Solar Developer a [REDACTED] or [REDACTED]. We look forward to working with the Town of Henrietta to advance this project in support of the Town's land use and development goals, and in advancement of New York State's clean energy and climate agenda. Thank you for your time and attention.

Sincerely,

Matt Vanderbrook
Director of Commercial Origination



GREENSPARK SOLAR

EH Henrietta Solar 2 Project Decommissioning Plan **[UPDATED DRAFT]**

December 2023

Prepared for: Town of Henrietta

Prepared by: GreenSpark Solar

318 Timothy Lane

Ontario, NY 14519

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Introduction

EH Henrietta Solar 2 LLC (“Project Owner”), an affiliate of Sustainable Energy Developments, Inc. d.b.a. GreenSpark Solar, plans to build a photovoltaic (PV) solar facility (“Solar Facility”) at East Henrietta Road in the Town of Henrietta (“Town”). The Solar Facility is planned to have a nameplate capacity of approximately 1.875 MW-AC megawatts (MW) alternative current (AC), and be constructed on private land (“Project Site”) leased by the Project Owner from the property owner (“Property Owner”).

This Decommissioning Plan (“Plan”) provides an overview of activities that will occur during the decommissioning phase of the Solar Facility, including activities related to the restoration of land, management of material and waste, projected costs, and a proposed decommissioning funding plan.

The Solar Facility will have a useful life of thirty-five (35) years. The lease agreement (“Lease”) between the Project Owner and Property Owner has a twenty-five (25) year lease term, with an option to extend the term pursuant to the Parties reaching mutual agreement. The Lease has been executed and recorded with the Monroe County Clerk’s office.

This Plan assumes the Solar Facility will be dismantled, and the Project Site restored to a state similar to its pre-construction condition, at the twenty-five (25) year anniversary of the Solar Facility’s commercial operation date (“Expected Decommissioning”). This Plan also covers the case of the abandonment of the Solar Facility, for any reason, prior to the Expected Decommissioning Date.

Decommissioning of the Solar Facility will include the disconnection of the Solar Facility from the utility electrical grid and the removal of all Solar Facility components, including:

- Photovoltaic (PV) modules, module racking and supports;
- Inverter units, substation, transformers, and other electrical equipment;
- Access roads, wiring cables, perimeter fence; and,
- Inverter pad concrete foundations.

All components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations. This Plan is based on current best management practices and procedures. This Plan may be subject to revision based on new standards and emergent best management practices at the time of decommissioning. Permits will be obtained as required and notification will be given to stakeholders prior to decommissioning.

GreenSpark Solar will establish a bond with the Town for an agreed upon amount before the issuance of a building permit for the Town’s use in the event of Solar Facility abandonment and/or financial failure.

The Proponent

The Project Owner will manage and coordinate the decommissioning process. The project owner will obtain all necessary regulatory approvals that vary depending on the jurisdiction, project capacity, and

site location. The Project Owner will build a long-term relationship with the community hosting the Solar Facility and will be committed to the safety, health and welfare of the hosting community.

The conditions and obligation of this Decommissioning Plan shall be bounded upon the Project Owner, its heirs, executors, administrators, successors or assigns.

Contact information for the proponent is as follows:

Company	EH Henrietta Solar 2 LLC
Contact	Matt Vanderbrook
Address	318 Timothy Lane, Ontario, NY 14519
Telephone	[REDACTED]
Email	[REDACTED]

Project Information

Address	East Henrietta Road, Henrietta, NY 14467
Tax ID	189.02-1-5
Project Size	1.875 MW-AC
Property Owner	Lehrwood Estates LLC
Site Agreement	Lease agreement to be executed at Monroe County Clerk's Office

Decommissioning of the Solar Facility

Upon the time of decommissioning, the installed components will be removed, reused, disposed of, and recycled, where possible. The Project Site will be restored to a state similar to its pre-construction and in accordance with Henrietta Town Code § 295-73C(5). All removal of equipment will be done in accordance with applicable laws and regulations, and manufacturer recommendations. All applicable permits will be acquired.

The decommissioning process of the Solar Facility may commence for the following reasons:

- 1) Project Owner provides written notice to the Town of its intent to retire or decommission the Project (“Owner Decommissioning Notice”), or
- 2) Solar Facility ceases to be operational for more than six (6) consecutive months.

In the event the Project Owner fails to decommission the Solar Facility within 90 days after being considered abandoned, the municipality may remove the system and restore the property, using the bond proceeds to do so, and impose a lien on the property to cover any costs to the municipality in excess of the bond proceeds. This is in accordance with Town Code § 295-73C(9). For purposes of this Agreement, “abandoned” shall mean no generation of electricity, other than due to repairs to the Project or causes beyond reasonable control of the Project Owner. Pursuant to Town Code § 295-75D, should the owner and/or operator fail to decommission the solar energy system as required:

(1) The Town shall issue a notice to the owner/operator on file with the Town calling for a hearing before the Town Board. The owner/operator may present evidence at such hearing regarding the abandonment and decommissioning status of the solar energy system.

(2) If, after said hearing, the Town Board determines that the solar energy system is, in fact, abandoned, and the time to decommission it has expired, the Town Board may then order that the Town remove the solar energy system itself. In this case, the Town may utilize the proceeds from the bond provided as part of the decommissioning plan to pay for said decommissioning.

Decommissioning Scope and Timeline

The decommissioning of a Solar Facility proceeds in the reverse order of installation. The below scope includes the anticipated timeline for completion of each task. All components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations.

Task #	Task Description	Duration	Week 1	Week 2	Week 3	Week 4	Week 5	Week 6	Week 7	Week 8	Week 9
1	The Solar Facility will be disconnected from the utility power grid	1 Day									
2	All required permits, including obtaining coverage under the most current NYS SPDES General Permit for Stormwater Discharges from construction activity, shall be obtained	10 Days									
3	Mobilization of equipment and facilities	1 Day									
4	Installation of erosion and sediment controls	1 Day									
5	PV modules shall be disconnected, collected, and disposed at an approved module recycler or reused / resold	1-2 Weeks									
6	All above ground and underground electrical interconnection and distribution cables shall be removed and disposed of off-site at an approved facility	2 Weeks									
7	Galvanized steel PV module support and racking system support posts shall be removed and disposed of off-site at an approved facility	2 Weeks									
8	Electrical and electronic devices, including transformers and inverters shall be removed and disposed of off-site at an approved facility	1 Week									
9	Concrete foundations shall be removed and will be disposed of off-site at an approved facility	2 Days									
10	Fencing shall be removed and will be disposed of off-site at an approved facility	1 Week									
11	Removal of all access roads, except those retained by landowner, and stormwater practices	1 Week									
12	Soil restoration and permanent seeding, or seeding will be in the form of crops planted by the landowner	4 Days									
13	Removal of all erosion and sediment controls	1 Week									
14	Filing of the Notice of Termination with the Town	5 Days									

Environmental Effects

Decommissioning activities, particularly the removal of project components could result in environmental effects similar to those of the construction phase. For example, there is the potential for disturbance (erosion/sedimentation) to adjacent watercourses or significant natural features.

Mitigation measures including obtaining all required permits and coverage under the most current NYS SPDES General Permit for Stormwater Discharges from Construction Activity will be implemented. These measures will remain in place until the site is stabilized in order to mitigate erosion and silt/sediment runoff and any impacts on the significant natural features or water bodies located adjacent to the Project Site. All removed components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations.

Potential Temporary Work-Related Disturbances

- Increase in road traffic due to movement of crews and equipment
- Work expected to last 2-3 months
- Increase in dust in adjacent areas
- Temporary elevated noise levels from machinery and increased trips to project site

Work will be undertaken during daylight hours and conform to any applicable restrictions.

Site Restoration

The Project Site will be restored to a state similar to its pre-construction condition. All project components will be removed and recycled / disposed of in accordance with local, state, and federal waste disposal regulations. Rehabilitated land will be seeded with a low-growing species to help stabilize soil conditions, enhance soil structure, and increase soil fertility. Soil restoration and seeding will follow current requirement of the NYS Standards and Specifications for Erosion and Sediment Control, including the appropriately recommended seed mixes at the time, unless this seed mix is replaced with crop planting by the landowner.

Managing Materials and Waste

The following table shows the materials and waste related to the Solar Project. Most of the materials are reusable or recyclable and some equipment may have manufacturer take-back and recycling requirements/programs. The Project Owner will establish policies and procedures to maximize recycling and reuse and will work with manufacturers, local subcontractors, and waste firms to segregate material to be disposed of, recycled, or reused. All components will be recycled / disposed of in accordance with local, state, and federal waste disposal regulations.

Management of Materials and Waste	
Material (Waste)	Management
PV Modules	<ul style="list-style-type: none"> • Panels will be removed and transported to a secondary buyer or solar recycling facility
Mounting Racks / Steel Support	<ul style="list-style-type: none"> • Materials will be removed and transported to an appropriate facility
Transformers / Substation components	<ul style="list-style-type: none"> • Removal of small amount of on-site oil transported to an appropriate facility • Substation transformer and step-up transformers (inside inverter) will be transported to the manufacturer, recycled, reused, or disposed in accordance with current standards and practices
Inverters, fans, fixtures	<ul style="list-style-type: none"> • Metal components to be recycled or disposed of in accordance with current standards and practices • Remaining components to be recycled or disposed of in accordance with current standards and practices
Gravel (or other granular)	<ul style="list-style-type: none"> • Gravel and other granular materials will be removed by truck and disposed of in accordance with current standards and practices
Geotextile fabric	<ul style="list-style-type: none"> • Geotextile fabric will be collected and resorted at a reprocessing site
Concrete inverter/transformer foundations	<ul style="list-style-type: none"> • Concrete foundations will be broken down and transported to recycling or approved disposal facility
Cables and wiring	<ul style="list-style-type: none"> • Wiring connecting the array to the utility grid will be disconnected and removed

	<ul style="list-style-type: none"> • Support poles, if made of untreated wood, will be chipped and reused. Otherwise, poles will be removed and disposed of at an approved facility • Electronic equipment (isolation switches, fuses, metering) will be transported offsite to be sent back to the manufacturer, recycled, reused, or safely disposed of off-site in accordance with current standards and practices
Fencing	<ul style="list-style-type: none"> • Fencing will be removed and transported to a metal recycling facility
Debris	<ul style="list-style-type: none"> • Any remaining debris on-site will be transported off-site and managed as appropriate

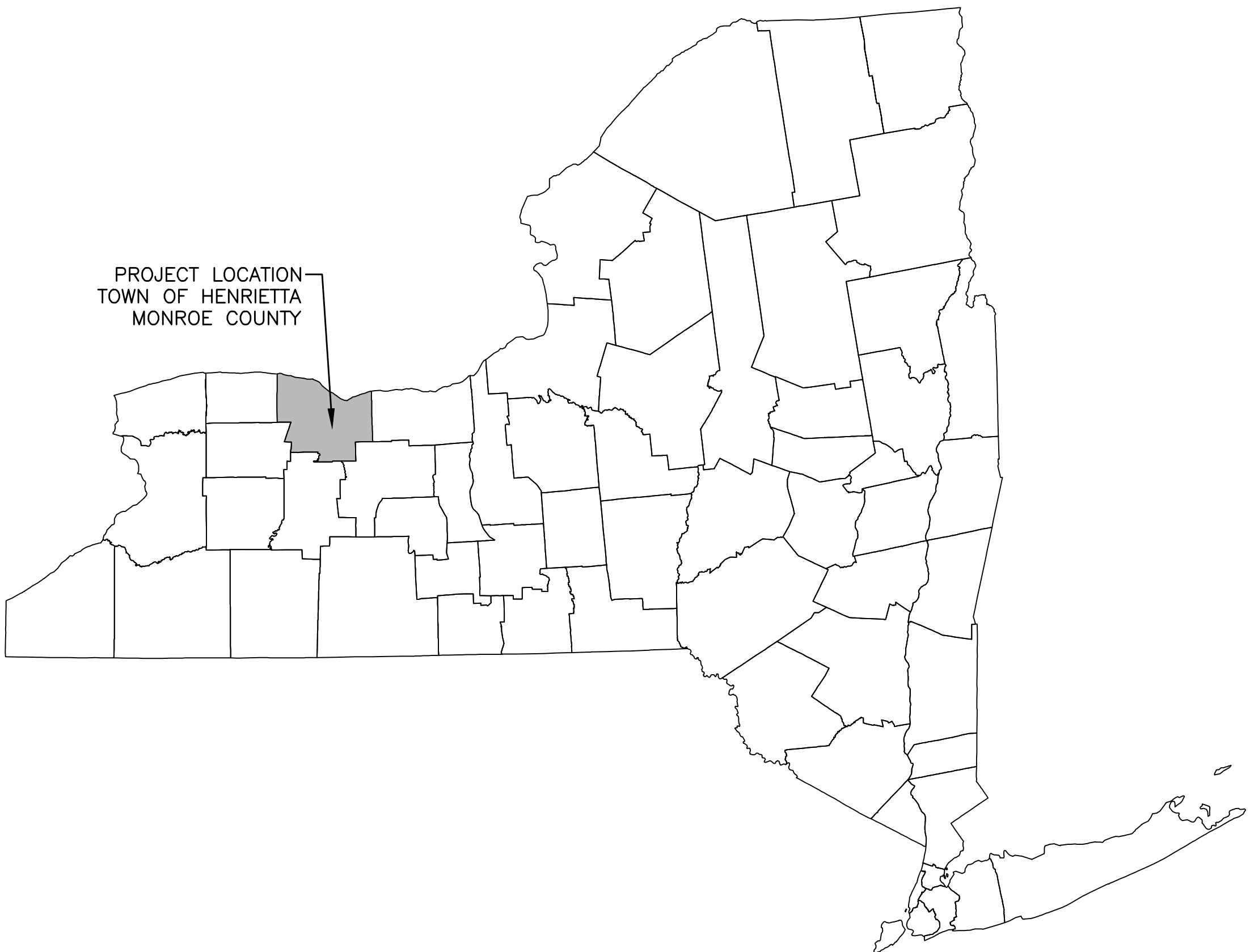
Estimated Cost of Decommissioning

E Henrietta Rd 2							
Task #	Task	Crew (people + equip)	Productivity Rate (quantities / day)	Quantity	Unit	Duration (days)	Cost
1	Module Removal	5,800.00	1,440	3,198.00	ea	2.22	\$12,880.83
2	Rack Wiring Removal	5,800.00	30,000	171,500.00	LF	5.72	\$33,156.67
3	Rack Dismantling, removal, loading	5,800.00	25,000	43,000.00	LF	1.72	\$9,976.00
4	Electrical Equipment Removal / Loading	3,600.00	1	0.00	ea	0.00	\$-
5	Break Up Concrete Pads	3,600.00	8	1.00	CY	0.13	\$450.00
6	Electrical Wiring Removal	5,800.00	1,000	0.00	LF	0.00	\$-
7	Post Removal	3,600.00	1,000	2,400.00	EA	2.40	\$8,640.00
8	Fence Removal	3,600.00	1,000	1,650.00	LF	1.65	\$5,940.00
9	Power Pole Removal	5,800.00	6	0.00	EA	0.00	\$-
10	Gravel Road Reclamation	3,600.00	500	500.00	CY	1.00	\$3,600.00
11	Soil Restoration / Decompaction	3,600.00	30	7.00	Acre	0.23	\$840.00
12	Seed Disturbed Areas	2,400.00	100	7.00	Acre	0.07	\$168.00
Total (Current Value)							\$ 75,651.50
Lifetime							25
Inflation Rate							2.0%
Total (Future Value)							\$ 124,114.30

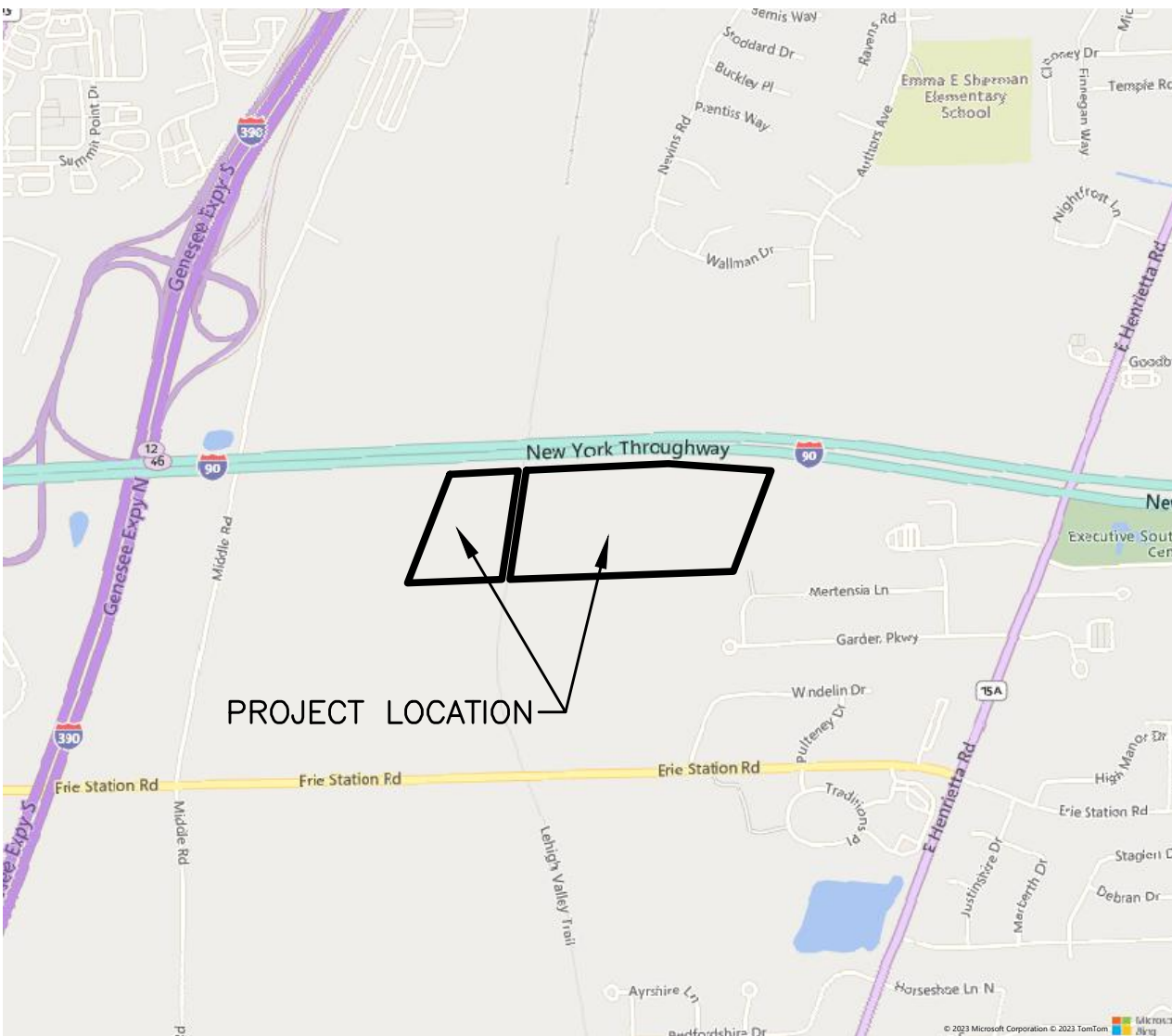
EH HENRIETTA 1 SOLAR SITE PLANS

EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY 14623

PROJECT No. 230529.06



NEW YORK STATE MAP
N.T.S.



LOCATION MAP
N.T.S.

INDEX OF DRAWINGS:		
DRAWING NO.	SHEET NO.	DESCRIPTION
C-001	1 OF 26	COVER SHEET
C-002	2 OF 26	CONSTRUCTION NOTES
C-100	3 OF 26	EXISTING CONDITIONS PLAN
C-101	4 OF 26	EXISTING CONDITIONS PLAN
C-102	5 OF 26	TREE CLEARING
C-200	6 OF 26	OVERALL SITE PLAN
C-201	7 OF 26	SITE PLAN
C-202	8 OF 26	SITE PLAN
C-203	9 OF 26	SITE PLAN
C-300	10 OF 26	OVERALL GRADING PLAN
C-301	11 OF 26	GRADING PLAN
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C-303	13 OF 26	ACCESS ROAD PLAN AND PROFILE
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C-400	17 OF 26	OVERALL EROSION CONTROL PLAN
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C-500	21 OF 26	SITE REVEGETATION PLAN
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C-700	23 OF 26	DETAILS
C-705	24 OF 26	DETAILS
C-710	25 OF 26	DETAILS
C-715	26 OF 26	DETAILS

PROJECT SITE INFORMATION	
SITE ADDRESS	EAST HENRIETTA ROAD
COUNTY PARCEL NUMBER	189.02-1-1.1 & 189.02-1-5
UTILITY NAME	RG&E
DEVELOPER NAME	EH HENRIETTA SOLAR 1 LLC
DEVELOPER ADDRESS	318 TIMOTHY LN, ONTARIO, NY 14519
CIVIL ENGINEER OF RECORD (EOR) NAME	STEVEN MELLOTT, P.E., CFM
CIVIL EOR ADDRESS	180 CHARLOTTE ST. ROCHESTER, NY
CIVIL EOR CONTACT INFORMATION	585-334-1310
APPLICABLE BUILDING PERMIT AUTHORITY	TOWN OF HENRIETTA

SYSTEM SUMMARY	
SYSTEM AC SIZE (MW)	5 MW-AC
SYSTEM DC SIZE (DC)	6626.88 KW-DC
MOUNTING	SINGLE-AXIS TRACKER
SYSTEM TILT	TBD
MODULE TYPE	ADANI ASB-M10-144-540
MODULE COUNT	12272
INVERTER TYPE	CPS SCH125KTL-DO/US-600
INVERTER COUNT	40

CIVIL SITE BASIS AND QUANTITY ESTIMATES			
PROJECT ZONING	RURAL RESIDENTIAL		
PROPERTY AREA (ACRES)	0		
APPROXIMATE LEASE AREA (ACRES)	0		
	REQUIRED	DESIGNED	
FRONT SETBACK (FT)	100'	>100'	
REAR SETBACK (FT)	50'	50	
SIDE SETBACK (FT)	50'	50	
PANEL HEIGHT (FT)	20'-MAX	8'-11 1/2"	
FENCE HEIGHT (FT)	7		
CHAIN-LINK FENCE (LF)	0		
ROAD WIDTH (FT)	20		
ROAD AREA (SF)	0		

PREPARED BY:



WWW.FISHERASSOC.COM

NOTE: AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON SITE ELEVATION OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OF FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

7	REV		DATE	BY
6				
5				
4				
3				
2				
1				

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 P.E. L.S., D.P.C.
 New York State Education Law Section 1405.3 requires that the seal of a professional engineer or land surveyor be placed on all drawings prepared by the professional engineer or land surveyor. If an item bearing the seal of an engineer or land surveyor is altered, the seal shall be removed. The seal of the professional engineer or land surveyor shall be placed on the drawing at the location of the alteration.

PROJECT NO.
 230529.06
 PROJECT MANAGER
 A. Dorf
 DRAWN BY
 J. TORRES
 SCALE
 AS SHOWN
 ISSUE DATE
 10/5/2023

STEVEN C. MELLOTT
 PROFESSIONAL ENGINEER

FISHER ASSOCIATES
 WWW.FISHERASSOC.COM

PROJECT
 EH HENRIETTA 1 SOLAR
 EAST HENRIETTA ROAD
 TOWN OF HENRIETTA
 MONROE COUNTY, NY
 TITLE OF DRAWING
 COVER SHEET

DRAWING NO.
C-001
 SHEET 1 OF 26

CONSTRUCTION REQUIREMENTS

- BEFORE ANY TOPSOIL IS STRIPPED, REPRESENTATIVE SOIL SAMPLES SHOULD BE OBTAINED FROM THE AREAS TO BE DISTURBED...
STRIPPED TOPSOIL SHOULD BE STOCKPILED FROM WORK AREAS (E.G. PARKING AREAS, ELECTRIC CONDUCTOR TRENCHES, ALONG ACCESS ROADS, EQUIPMENT PADS) AND KEPT SEPARATE FROM OTHER EXCAVATED MATERIAL...
SURFACE OF ACCESS ROADS LOCATED OUTSIDE OF THE GENERATION FACILITY'S SECURITY FENCE AND CONSTRUCTED THROUGH AGRICULTURAL FIELDS SHALL BE LEVEL WITH THE ADJACENT FIELD SURFACE...
INSTALL CULVERTS AND/OR WATERBARS TO MAINTAIN OR IMPROVE SITE SPECIFIC NATURAL DRAINAGE PATTERNS...
DO NOT ALLOW VEHICLES OR EQUIPMENT OUTSIDE THE PLANNED LOD WITHOUT THE EM SEEKING PRIOR APPROVAL...
PROPOSED PERMANENT ACCESS SHOULD BE ESTABLISHED AS SOON AS POSSIBLE BY REMOVING TOPSOIL ACCORDING TO THE DEPTH OF TOPSOIL AS DIRECTED BY THE EM...
WHEN OPEN-CUT TRENCHING IS PROPOSED, TOPSOIL STRIPPING IS REQUIRED FROM THE WORK AREA ADJACENT TO THE TRENCH...
ELECTRIC COLLECTION, COMMUNICATION AND TRANSMISSION LINES INSTALLED ABOVE GROUND CAN CREATE LONG TERM INTERFERENCE WITH MECHANIZED FARMING ON AGRICULTURAL LAND...
ALL BURIED UTILITIES LOCATED WITHIN THE GENERATION FACILITY'S SECURITY FENCE MUST HAVE A MINIMUM DEPTH OF 18-INCHES OF COVER...
THE FOLLOWING REQUIREMENTS APPLY TO ALL BURIED UTILITIES LOCATED OUTSIDE OF THE GENERATION FACILITY SECURITY FENCE:
- IN CROPLAND, HAYLAND, AND IMPROVED PASTURE BURIED ELECTRIC CONDUCTORS MUST HAVE A MINIMUM DEPTH OF 48-INCHES OF COVER...
- WHERE ELECTRICAL CONDUCTORS ARE BURIED DIRECTLY BELOW THE GENERATION FACILITY'S ACCESS ROAD OR IMMEDIATELY ADJACENT (AT ROAD EDGE) TO THE ACCESS ROAD, THE MINIMUM DEPTH OF COVER MUST BE 24-INCHES...
WHEN BURIED UTILITIES ALTER THE NATURAL STRATIFICATION OF SOIL HORIZONS AND NATURAL SOIL DRAINAGE PATTERNS, RECTIFY THE EFFECTS WITH MEASURES SUCH AS SUBSURFACE INTERCEPT DRAIN LINES...
POST-CONSTRUCTION RESTORATION REQUIREMENTS APPLICABLE TO CONTINUED USE AGRICULTURAL AREAS THAT SUFFERED GROUND DISTURBANCE DUE TO CONSTRUCTION ACTIVITIES...
EXCESS CONCRETE WILL NOT BE BURIED OR LEFT ON THE SURFACE IN ACTIVE AGRICULTURAL AREAS.

- EXCESS STRIPPED TOPSOIL SHALL NOT BE UTILIZED FOR FILL WITHIN THE PROJECT AREA...
REGRADE ALL ACCESS ROADS OUTSIDE OF THE SECURITY FENCING...
REPAIR ALL SURFACE OR SUBSURFACE DRAINAGE STRUCTURES DAMAGED DURING CONSTRUCTION...
ON AGRICULTURAL LAND NEEDING RESTORATION BECAUSE OF GROUND DISTURBANCE, POSTPONE ANY RESTORATION PRACTICES UNTIL FAVORABLE (WORKABLE, RELATIVELY DRY) TOPSOIL/SUBSOIL CONDITIONS EXIST...
IN ALL CONTINUED USE AGRICULTURAL LAND WHERE THE TOPSOIL WAS STRIPPED, SUBSOIL DECOMPACTION SHALL BE CONDUCTED PRIOR TO TOPSOIL REPLACEMENT...
IN ALL CONTINUED USE AGRICULTURAL AREAS WHERE THE TOPSOIL WAS NOT STRIPPED, INCLUDING TIMBER MATTED AREAS, THE EM SHALL DETERMINE APPROPRIATE ACTIVITIES TO RETURN THE AREA TO AGRICULTURAL USE...
SEED ALL AGRICULTURAL AREAS FROM WHICH THE VEGETATION WAS REMOVED OR DESTROYED WITH THE SEED MIX SPECIFIED BY THE LANDOWNER/AGRICULTURE PRODUCER...
SOIL AMENDMENTS SHOULD BE APPLIED AS NECESSARY SO THAT RESTORED AGRICULTURAL AREAS' SOIL PROPERTIES, AT A MINIMUM, REASONABLY REFLECT THE PRE-CONSTRUCTION SOIL TEST RESULTS...
MONITORING AND REMEDIATION
- PROJECT COMPANIES SHALL PROVIDE A MONITORING AND REMEDIATION PERIOD OF ONE COMPLETE GROWING SEASON FOLLOWING THE DATE UPON WHICH THE DESIRED CROP IS PLANTED...
- ON SITE MONITORING SHALL BE CONDUCTED SEASONALLY AT LEAST THREE TIMES DURING THE GROWING SEASON (SPRING, SUMMER, FALL)...
- TOPSOIL THICKNESS AND TRENCH SETTLING - THE EM OBSERVATIONS MAY REQUIRE SMALL HAND DUG HOLES TO OBSERVE THE PERCENTAGE OF SETTLED TOPSOIL...
- EXCESSIVE ROCK (>4-INCHES) - DETERMINED BY A VISUAL INSPECTION OF DISTURBED AREAS AS COMPARED TO UNAFFECTED PORTIONS...
- SOIL COMPACTION - PROJECT AFFECTED AGRICULTURAL SOILS SHOULD BE TESTED USING AN APPROPRIATE SOIL PENETROMETER...
- DRAINAGE - THE EM SHALL VISUALLY INSPECT THE RESTORED AGRICULTURAL AREAS IN SEARCH OF PERSISTENT STUNTED CROP GROWTH...
- AGRICULTURE FENCING AND GATES - THE EM SHALL INSPECT PROJECT ASSOCIATED FENCING AND GATES (INSTALLED, ALTERED OR REPAIRED) WITHIN THE PROJECT'S LOD...

STORM WATER POLLUTION PREVENTION PLAN NOTES:

- REFER TO THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THE PROJECT FOR MORE INFORMATION.
- THE CONTRACTOR SHALL PROVIDE A QUALIFIED INSPECTOR TO INSPECT THE PROJECT AT THE END OF EACH WORK WEEK AND PROVIDE A REPORT AT LEAST ONCE PER WEEK.
- ALL INLETS TO THE STORM SEWER SHALL HAVE INLET PROTECTION. ADD INLET PROTECTION ON INLET NEXT TO ROAD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
- REMOVE AND STOCKPILE TOPSOIL IN ACCORDANCE WITH THE NEW YORK STATE AG & MARKETS GUIDELINES FOR SOLAR ENERGY PROJECTS (REV. 10/18/2019)
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATION HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED WHEN THEY HAVE REACHED THE DESIGN LIFE INDICATED IN THE NYS GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL DESIGN MANUAL OR EVERY THREE MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- EROSION CONTROL MEASURES SHOULD BE RELOCATED INWARD AS PERMETER SLOPE CONSTRUCTION PROGRESSES AND RECONSTRUCTED TO THE NYS STANDARDS & SPECIFICATIONS AT THE END OF EACH DAY.
- PERIMETER AREAS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PROGRESSIVELY A MINIMUM AT THE END OF EACH WEEK WITH 100% PERENNIAL RYEGRASS MIX AT A RATE OF 2-4 LBS PER 1000 SF AND MULCH 90-100 lbs/1000 SF OF WEED FREE STRAW.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

SITE STABILIZATION:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ALONG THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- BEFORE SEEDING IS APPLIED THE CONTRACTOR SHALL SPREAD SOIL TO PREVENT PONDING AND CONFIRM THAT SOIL WILL SUSTAIN THE SEED GERMINATION AND ESTABLISHMENT OF VEGETATION.
- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENEED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE. COMPACTED SOILS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES, ALONG CONTOUR WHEREVER POSSIBLE, PRIOR TO SEEDING.
- TOPSOIL OR AMENDED SOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS. REFER TO THE NEW YORK STATE AG & MARKETS GUIDELINES FOR SOLAR ENERGY PROJECTS (REV. 10/18/2019) FOR ADDITIONAL INFORMATION REGARDING TOPSOIL REMOVAL, STOCKPILING, AND PLACEMENT.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. REFER TO THE NEW YORK STATE AG & MARKETS GUIDELINES FOR SOLAR ENERGY PROJECTS (REV. 10/18/2019) FOR ADDITIONAL INFORMATION REGARDING TOPSOIL REMOVAL, STOCKPILING, AND PLACEMENT.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE 1/2" TO 3/4". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45° F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
- LIME, FERTILIZER, SEED, AND MULCH DISTURBED AREAS PER THE EROSION AND SEDIMENT CONTROL PLANS. IN AREAS OF STEEP SLOPES OR OBVIOUS AREAS WHERE POTENTIAL EROSION MAY OCCUR, AN EROSION CONTROL MAT OR FLEXIBLE GROWTH MEDIUM (FGM) SHALL BE USED. FGM SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
- NO CONSTRUCTION TRAFFIC SHALL OCCUR TO REMOVE ANY BMP'S UNTIL THE FINAL SECTION HAS ACHIEVED 80% PERENNIAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NONVEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

SEQUENCE OF CONSTRUCTION:

- PRE-CONSTRUCTION MEETING HELD TO INCLUDE PROJECT MANAGER, OPERATOR'S ENGINEER, CONTRACTOR, TOWN M54 REPRESENTATIVE, AND SUB-CONTRACTORS PRIOR TO LAND DISTURBING ACTIVITIES.
- INSTALL PERIMETER SILT FENCE.
- BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE CONSTRUCTION IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
- STRIP TOPSOIL AND STOCKPILE IN A LOCATION ACCEPTABLE TO CONSTRUCTION MANAGER. WHEN STOCKPILE IS COMPLETE, INSTALL PERIMETER SILT FENCE. SEED SURFACE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 2-4 LBS. PER 1000 SF. APPLY 90-100 LBS PER 1000 SF OF MULCH.
- COMMENCE EARTHWORK CUT AND FILLS. THE WORK SHALL BE PROGRESSED TO ALLOW A REASONABLE TRANSFER OF CUT AND FILL EARTH FOR ROUGH GRADING AND EARTH MOVING. THE CONTRACTOR WILL BE GIVEN SOME LATITUDE TO VARY FROM THE FOLLOWING SCHEDULE IN ORDER TO MEET THE FIELD CONDITIONS ENCOUNTERED. CONTRACTOR SHALL REVIEW VARIATIONS TO SWPPP WITH DESIGN ENGINEER AND QUALIFIED PROFESSIONAL PRIOR TO IMPLEMENTATION.
- AS ROADWAY AND ACCESS DRIVES ARE BROUGHT TO GRADE, THEY WILL BE STABILIZED WITH CRUSHED STONE SUBBASE AT A DEPTH SPECIFIED ON PLANS TO PREVENT EROSION AS SOON AS PRACTICABLE.
- STABILIZE ALL AREAS AS SOON AS PRACTICABLE, IDLE IN EXCESS OF 7 DAYS AND IN WHICH CONSTRUCTION WILL NOT COMMENCE WITHIN 14 DAYS.
- INSTALL UTILITIES. TRENCH EXCAVATION/BACKFILL AREAS SHOULD BE STABILIZED PROGRESSIVELY AT THE END OF EACH WORKDAY WITH SEED AND STRAW MULCH AT A RATE OF 100% PERENNIAL RYE GRASS AT 2-4 LBS/1000 SF MULCHED AT 90-100 LBS/1000 SF.
- STABILIZE ALL AREAS IDLE IN EXCESS OF 7 DAYS IN WHICH CONSTRUCTION WILL NOT COMMENCE WITHIN 14 DAYS.
- REMOVE TEMPORARY CONSTRUCTION EXITS AND PERIMETER SILT FENCE ONCE SITE HAS ACHIEVED 80% UNIFORM STABILIZATION.
- REMOVE SILT FENCE WITHIN WETLANDS DURING CONSTRUCTION, RETURN SILT FENCE AFTER CONSTRUCTION HAS BEEN FINALIZED.

GENERAL NOTES:

- THE EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS AS PROVIDED, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
- HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- THE CONTRACTOR SHALL CONSULT THE OWNER OR THEIR REPRESENTATIVE BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- TREES MAY BE CLEARED WITHIN THE FLOODPLAIN OR WETLAND AREAS AS LONG AS THE STUMPS ARE NOT CLEARED OR GRUBBED. LOW GROUND PRESSURE CONSTRUCTION VEHICLES OR TIMBER MATTING MAY BE UTILIZED TO CUT TREES AND TO REMOVE DEBRIS WITHIN THE FLOODPLAIN OR WETLAND AREAS. CONSTRUCTION TRAFFIC WITHIN THE FLOODPLAIN OR WETLANDS SHALL BE MINIMIZED TO THAT WHICH IS NECESSARY FOR THE INSTALLATION OF THE PANELS, RACKING, AND OTHER PROJECT COMPONENTS. THE WETLAND AREAS SHALL BE PROTECTED AT ALL TIMES AS SHOWN ON THE PLANS WHEN INSTALLATION OF THE PROJECT COMPONENTS IS NOT ONGOING.

WASTE/HAZARDOUS MATERIAL PRACTICES:

- WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
- DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
- CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
- ALL FUELS, OILS AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.

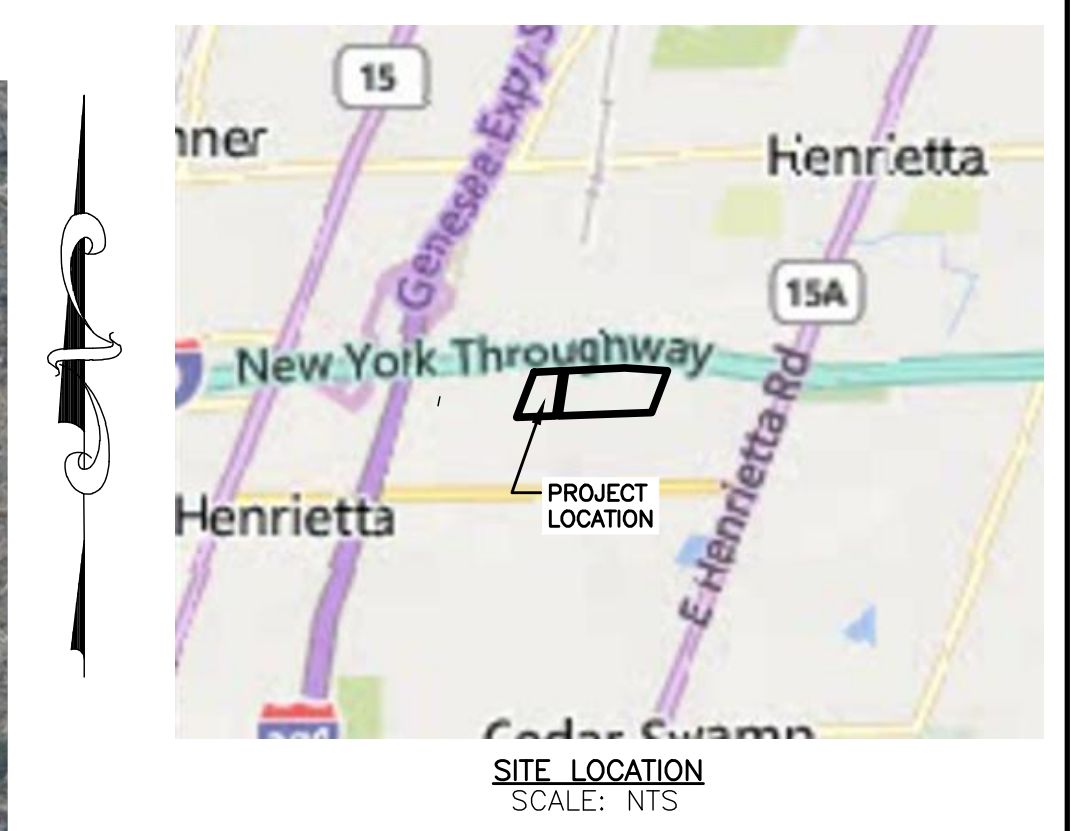
EROSION & SEDIMENT CONTROL NOTES:

- INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
- REFER TO STORM WATER POLLUTION PLAN NOTES FOR EROSION CONTROL MEASURE NOTES.

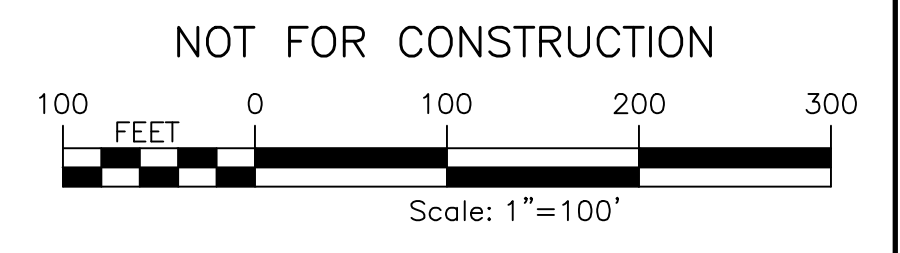
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Table with 4 columns: PROJECT, TITLE OF DRAWING, DRAWING NO., SHEET 2 OF 26. Includes project details for East Henrietta 1 Solar Farm, Town of Henrietta, Monroe County, NY, and drawing title 'CONSTRUCTION NOTES'. Includes a professional seal for Steven Nelson, State of New York, Professional Engineer, No. 109523.

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	PROPERTY SETBACK
	ADJACENT PROPERTY LINE
	INTERIOR LOT LINE
	RIGHT-OF-WAY
	EXISTING TREE LINE
	EXISTING FENCE
	EXISTING GRAVEL ROAD
	EXISTING UTILITY POLE
	WETLAND BUFFER
	DELINEATED WETLANDS



REV	DESCRIPTION	DATE	BY
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PROJECT NO. 230529 06	ISSUE DATE 10/5/2023
PROJECT MANAGER A. Dorf	AS SHOWN
DRAWN BY J. TORRES	SCALE

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PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY	TITLE OF DRAWING EXISTING CONDITIONS PLAN
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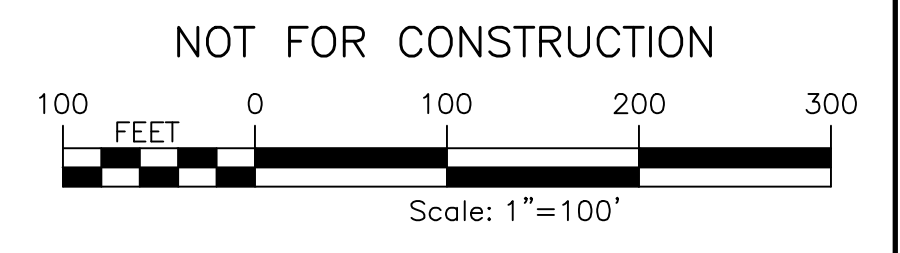
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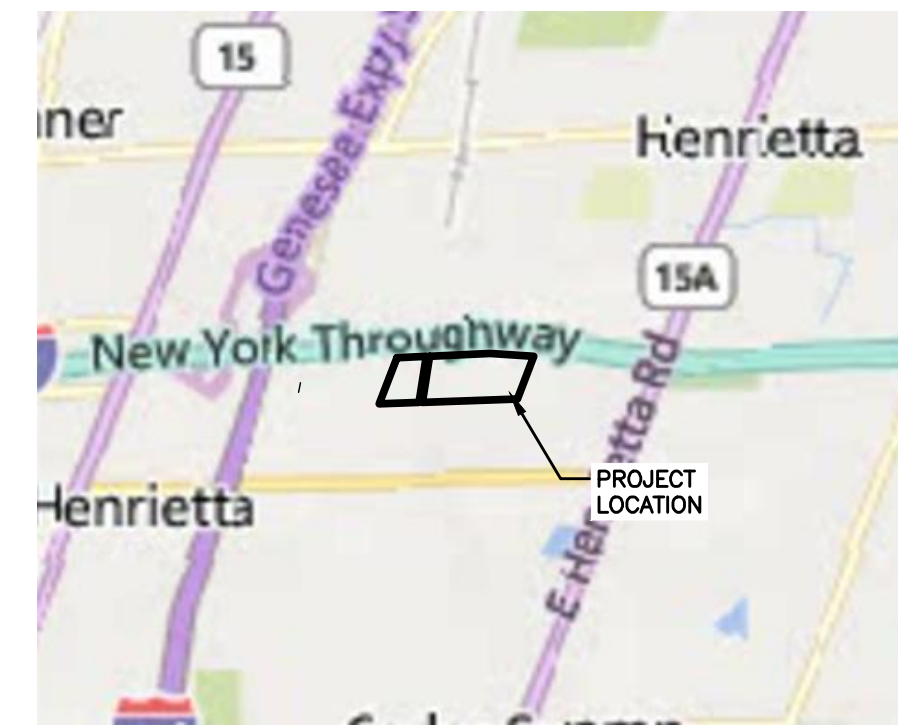
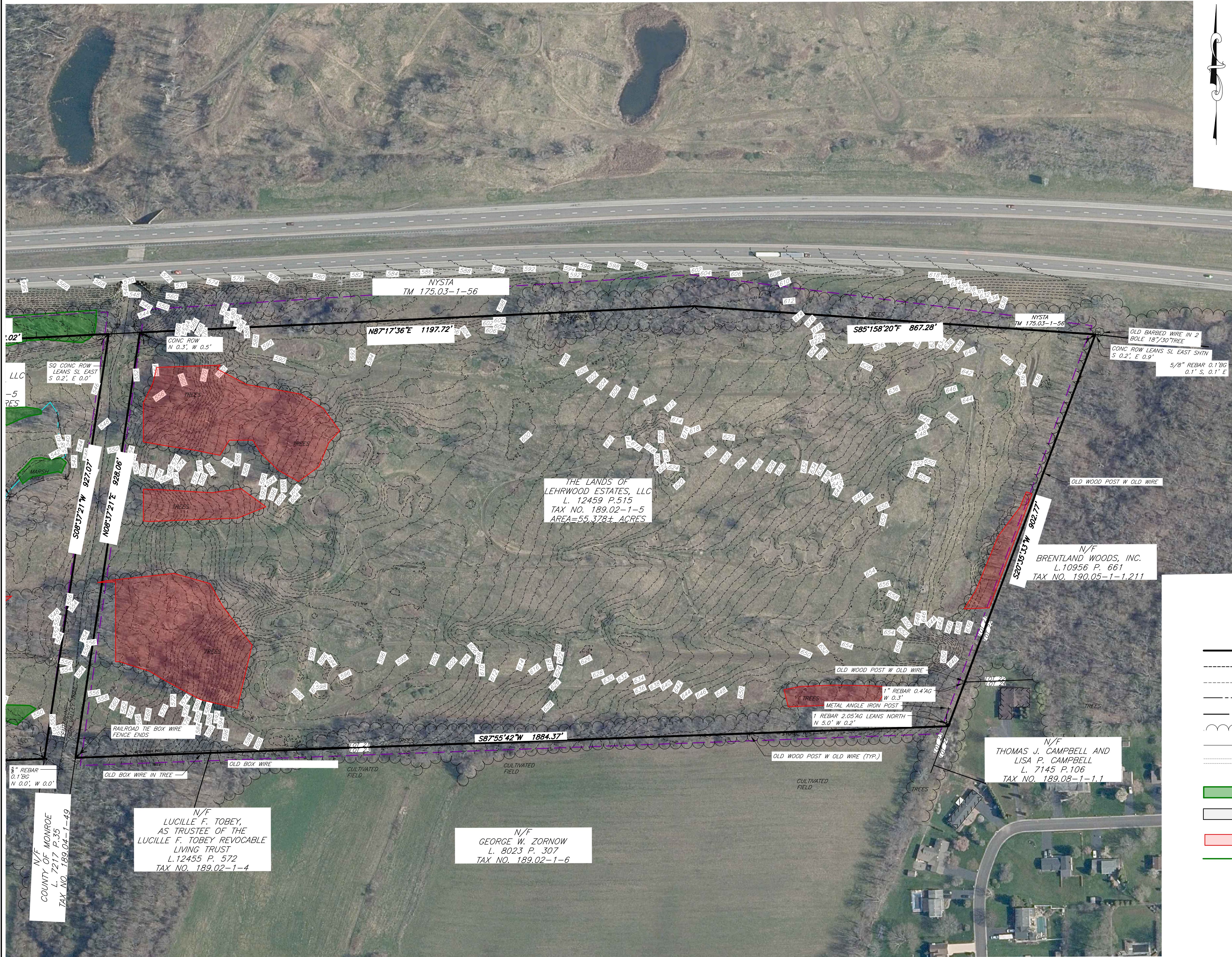
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	EXISTING FENCE
	EXISTING GRAVEL ROAD
	EXISTING UTILITY POLE
	WETLAND BUFFER
	DELINEATED WETLANDS



<p>PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY</p>		<p>TITLE OF DRAWING EXISTING CONDITIONS PLAN</p>																													
<p>DRAWING NO. C-101</p>		<p>SHEET 4 OF 26</p>																													
<p>FA PROJECT NO. 230529 06 PROJECT MANAGER A. Dorf</p>		<p>ISSUE DATE 10/5/2023</p>																													
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<p>STATE OF NEW YORK SEVEN C. MELLOTT PROFESSIONAL ENGINEER</p>		<p>DESCRIPTION</p>																													
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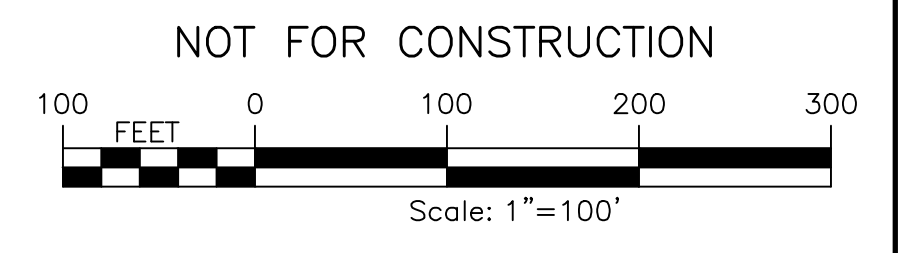


SITE LOCATION
SCALE: NTS

NOTE:
TREE CLEARING & GRUBBING
AREA = 3.27 ACRES

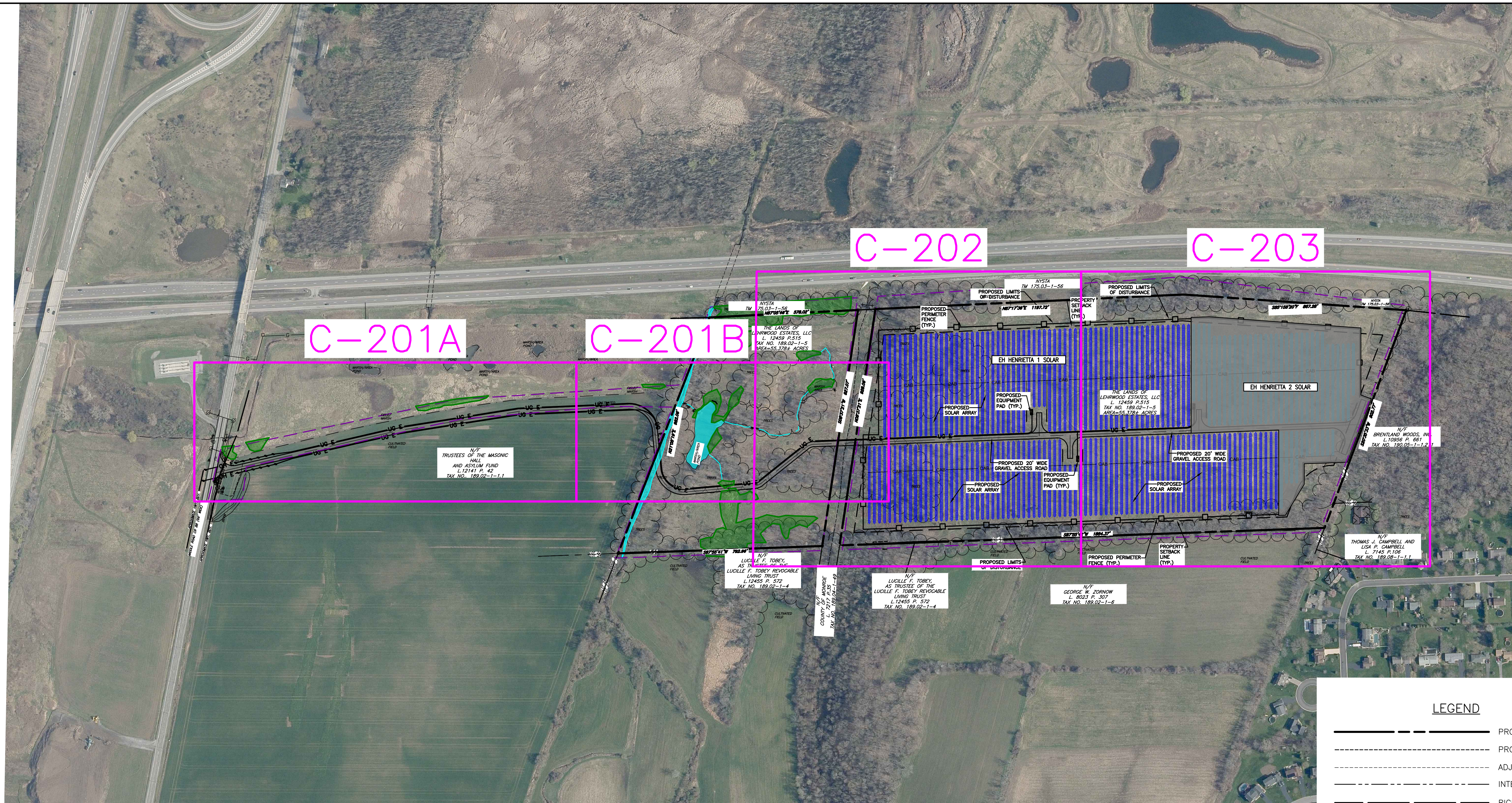
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- PROJECT BOUNDARY
- PROPERTY SETBACK
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- INTERIOR LOT LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING GRAVEL ROAD
- EXISTING UTILITY POLE
- DELINEATED WETLANDS
- PERVIOUS GRAVEL ACCESS ROAD
- TREE CLEARING AREAS
- WETLAND BUFFER

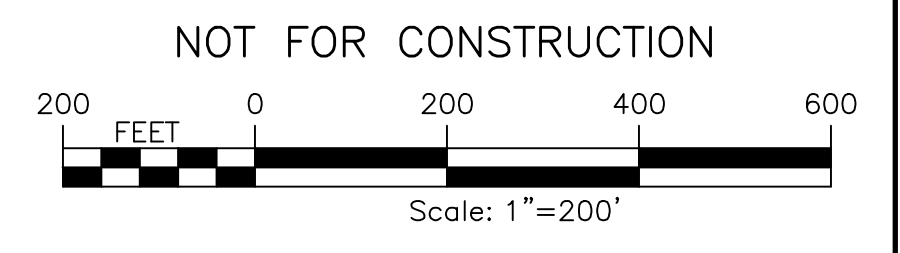


PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY		TITLE OF DRAWING TREE CLEARING	
DRAWING NO. C-102		SHEET 5 OF 26	
PROJECT NO. 230529 06	PROJECT MANAGER A. Dorf	DRAWN BY J. TORRES	ISSUE DATE 10/5/2023
AS SHOWN		SCALE	
COMPANY: 2023 FISHER ASSOCIATES P.E. L.S. D.P.C. <small>New York State Education Law Section 1405-a(3)(i) requires that the seal of a professional engineer or architect be used only on work for which the professional engineer or architect is licensed. The seal of a professional engineer or architect shall not be used on any work for which the professional engineer or architect is not licensed. The seal of a professional engineer or architect shall not be used on any work for which the professional engineer or architect is not licensed.</small>			
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 USER: Steven



- LEGEND**
- PROJECT BOUNDARY
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 - - - - - INTERIOR LOT LINE
 - RIGHT-OF-WAY
 - ~~~~~ EXISTING TREE LINE
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 - - - - - EXISTING GRAVEL ROAD
 - - - - - EXISTING UTILITY POLE
 - WETLAND BUFFER
 - DELINEATED WETLANDS
 - PERVIOUS GRAVEL ACCESS ROAD
 - PROPOSED SOLAR PANEL ARRAY SITE 1
 - PROPOSED SOLAR PANEL ARRAY SITE 2
 - - - - - LIMIT OF DISTURBANCE



STEVEN J. TORRES
 LICENSED PROFESSIONAL ENGINEER

EA PROJECT NO.
230529 06

PROJECT MANAGER
A. Dorf

DRAWN BY
J. TORRES

SCALE
AS SHOWN

ISSUE DATE
10/5/2023

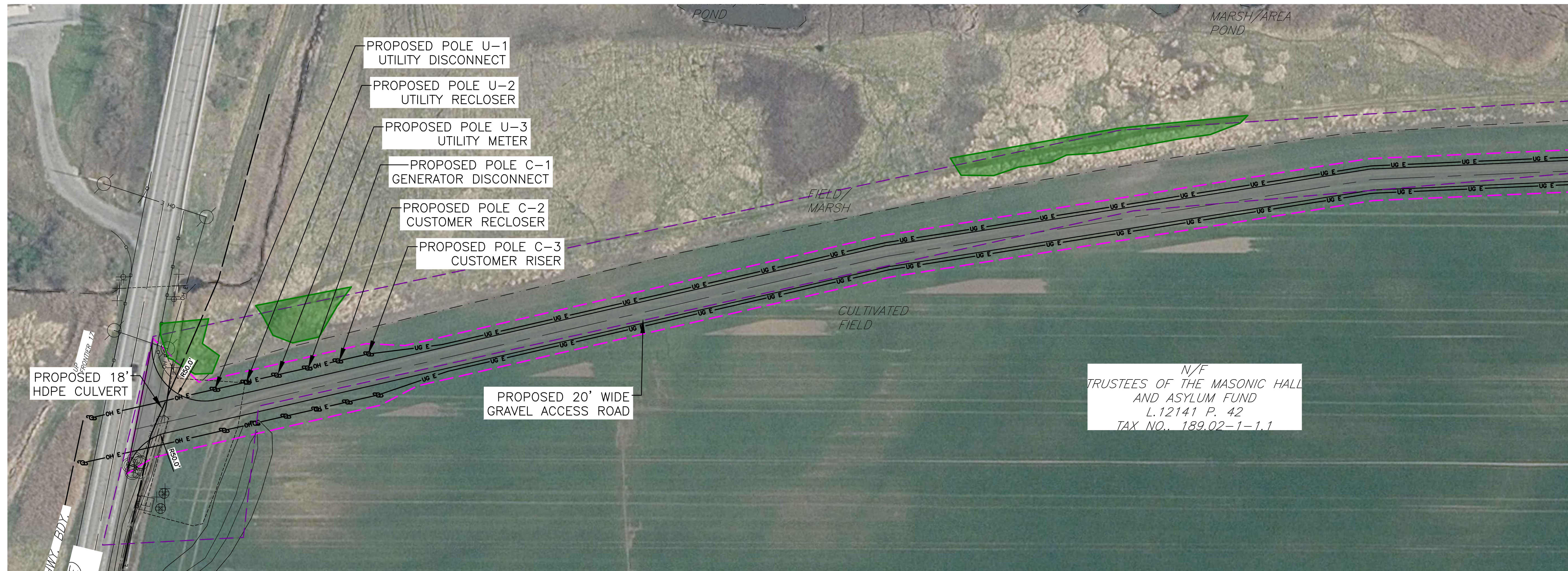
PROJECT
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EAST HENRIETTA ROAD
TOWN OF HENRIETTA
MONROE COUNTY, NY

TITLE OF DRAWING
OVERALL SITE PLAN INDEX

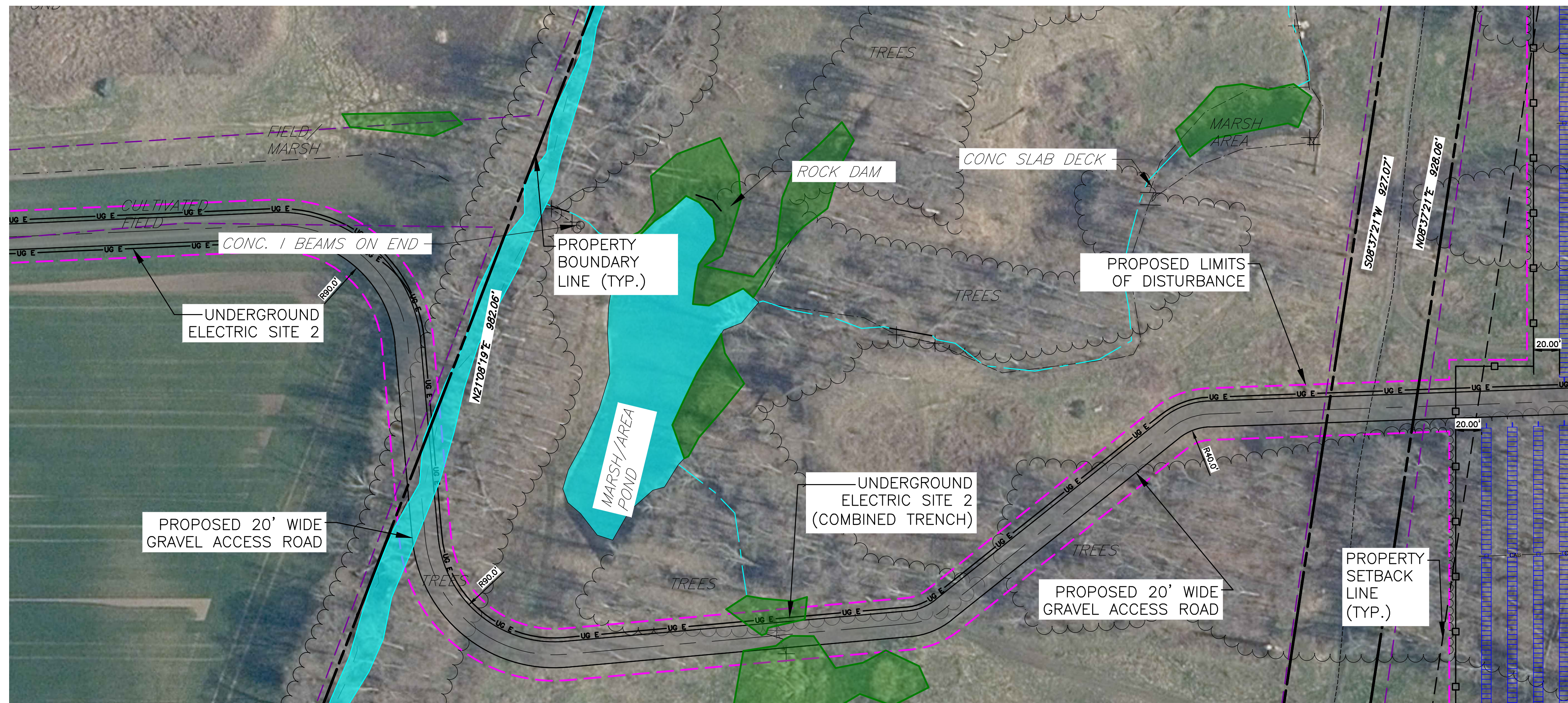
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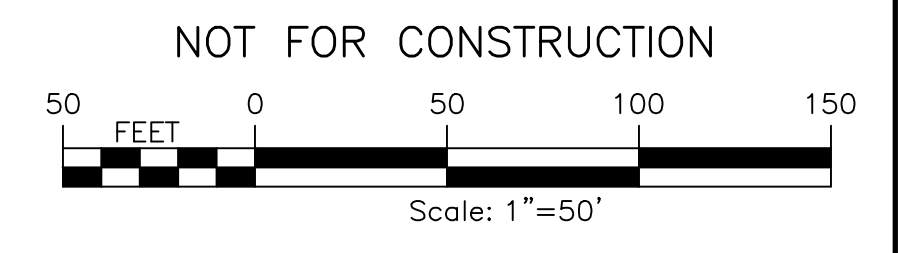


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LEGEND

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	RIGHT-OF-WAY
	EXISTING TREE LINE
	EXISTING FENCE
	EXISTING GRAVEL ROAD
	EXISTING UTILITY POLE
	WETLAND BUFFER
	DELINEATED WETLANDS
	PERVIOUS GRAVEL ACCESS ROAD
	PROPOSED SOLAR PANEL ARRAY SITE 1
	PROPOSED SOLAR PANEL ARRAY SITE 2



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TITLE OF DRAWING SITE PLAN	SHEET 6 OF 26																																
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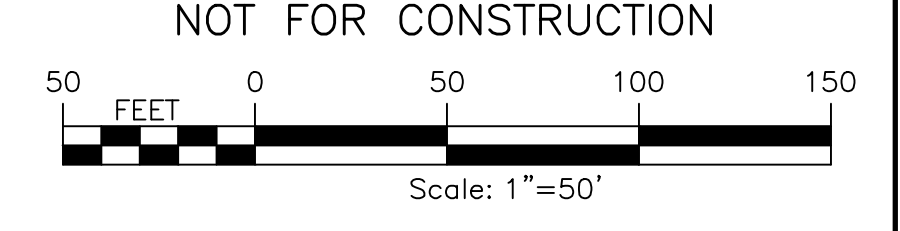


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 TAX NO. 189.02-1-4

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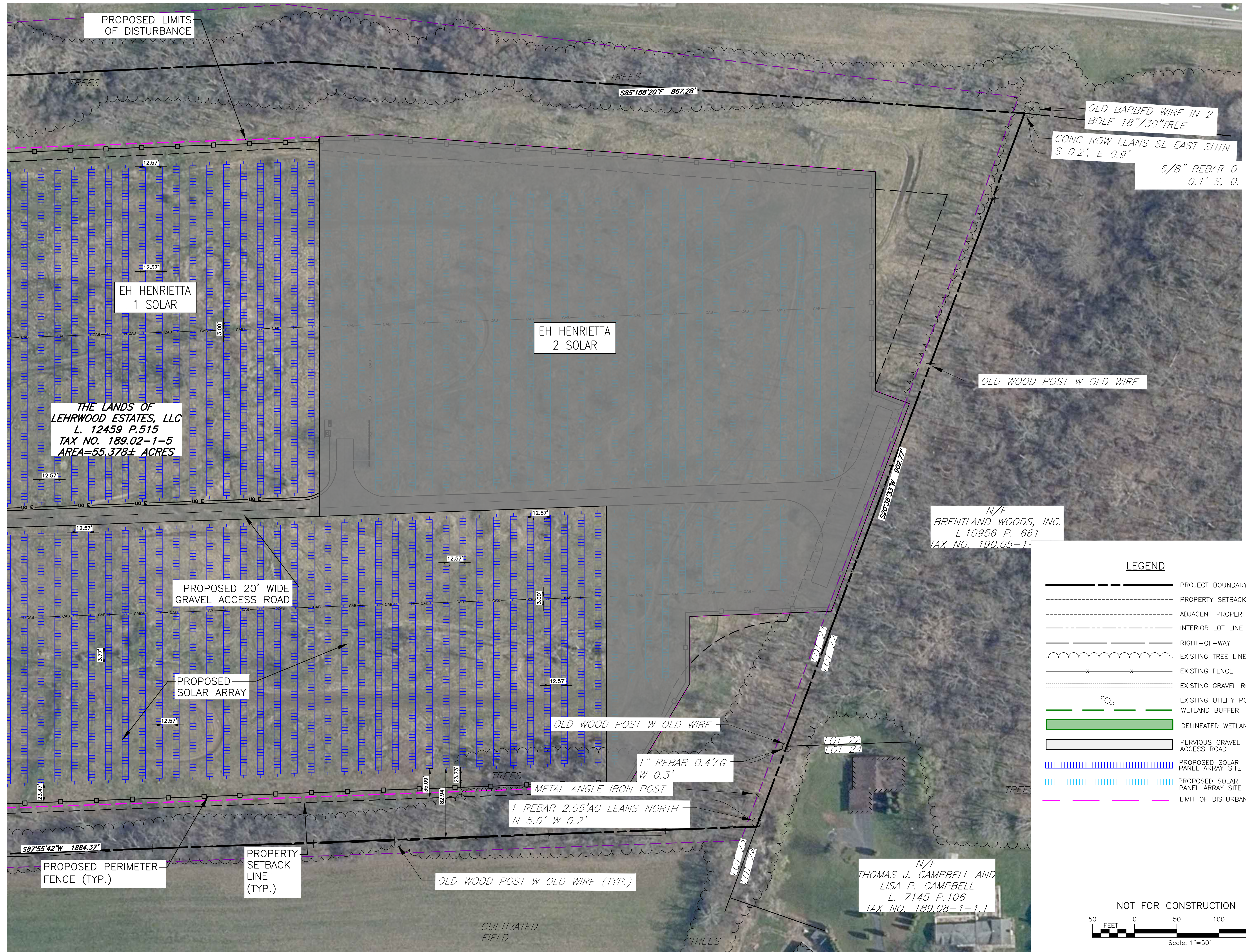
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	INTERIOR LOT LINE
	RIGHT-OF-WAY
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	EXISTING FENCE
	EXISTING GRAVEL ROAD
	EXISTING UTILITY POLE
	WETLAND BUFFER
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	PERVIOUS GRAVEL ACCESS ROAD
	PROPOSED SOLAR PANEL ARRAY SITE 1
	PROPOSED SOLAR PANEL ARRAY SITE 2



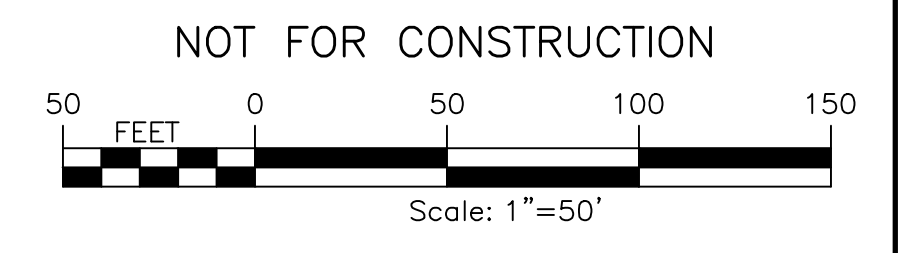
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DRAWING NO. C-202	SHEET 7 OF 26
PROJECT NO. 230529 06 PROJECT MANAGER A. Dorf	DRAWN BY J. TORRES SCALE AS SHOWN
ISSUE DATE 10/5/2023	REV
DESCRIPTION	DATE
BY	BY

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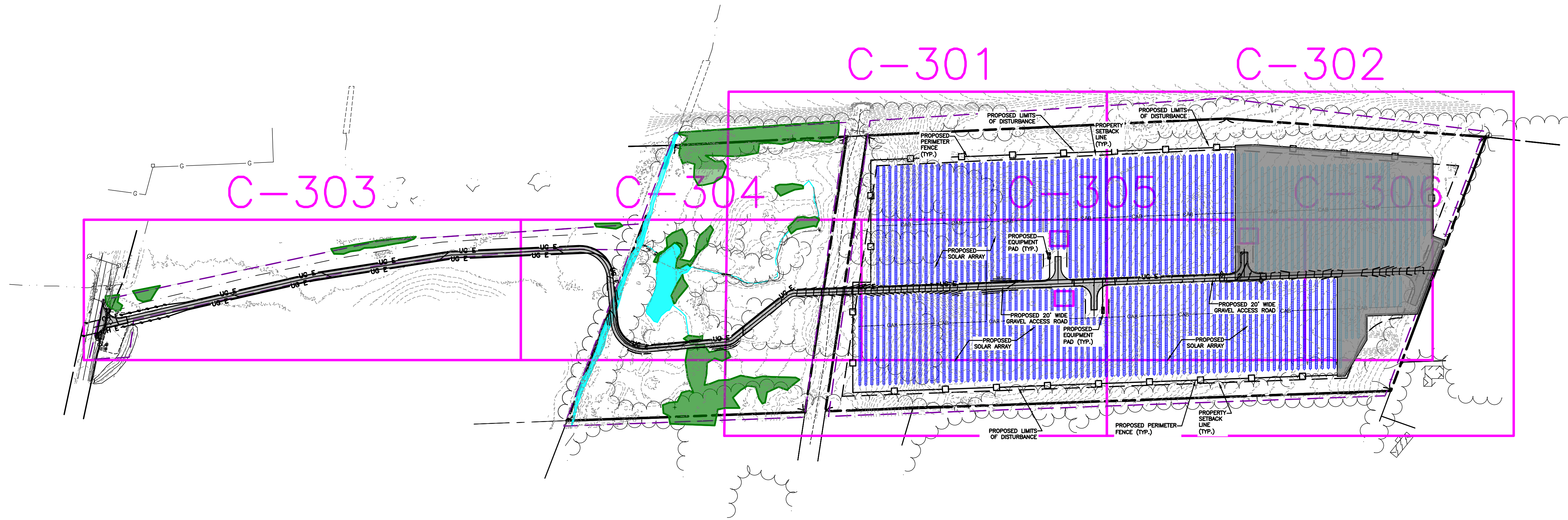
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	EXISTING UTILITY POLE
	WETLAND BUFFER
	DELIMITED WETLANDS
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	PROPOSED SOLAR PANEL ARRAY SITE 2
	LIMIT OF DISTURBANCE



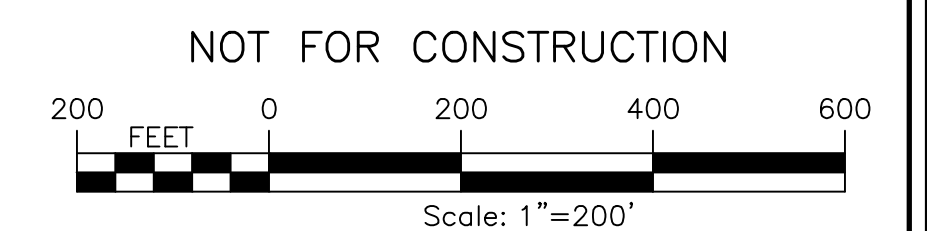
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DRAWING NO. C-203	SHEET 8 OF 26
PROJECT MANAGER A. Dorf	DRAWN BY J. TORRES
PROJECT NO. 230529 06	SCALE AS SHOWN
COMPANY FISHER ASSOCIATES P.E. L.S., D.P.C.	ISSUE DATE 10/5/2023
REVISIONS 7 6 5 4 3 2 1	DESCRIPTION REV
DATE	BY

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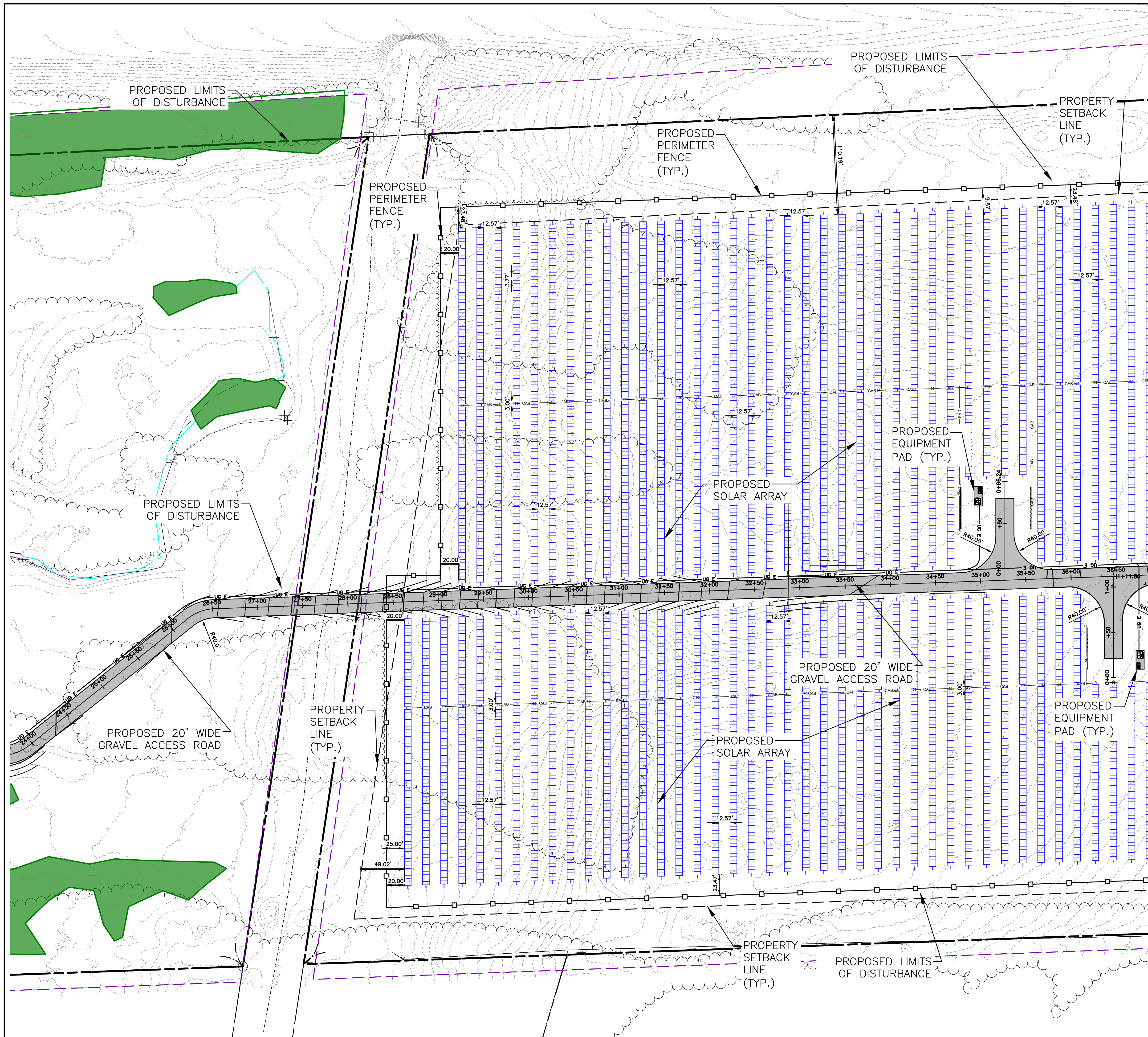
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- PROPERTY SETBACK
- ADJACENT PROPERTY LINE
- INTERIOR LOT LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING GRAVEL ROAD
- EXISTING UTILITY POLE
- WETLAND BUFFER
- DELINEATED WETLANDS
- PERVIOUS GRAVEL ACCESS ROAD
- PROPOSED SOLAR PANEL ARRAY SITE 1
- PROPOSED SOLAR PANEL ARRAY SITE 2
- LIMIT OF DISTURBANCE



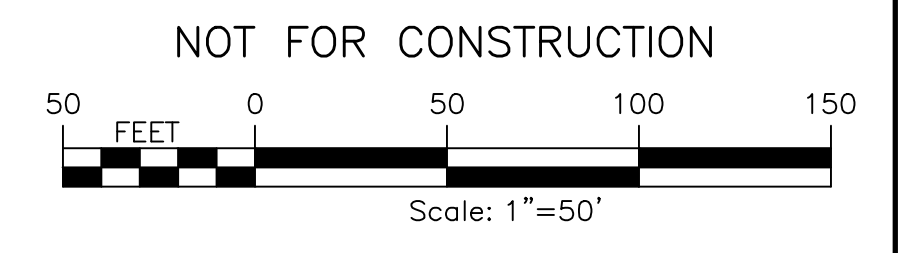
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<p>FA PROJECT NO. 230529 06</p>		<p>PROJECT MANAGER A. Dorf</p>		<p>DRAWN BY J. TORRES</p>		<p>ISSUE DATE 10/5/2023</p>	
<p>WWW.FISHERASSOCIATES.COM</p>		<p>AS SHOWN</p>		<p>SCALE</p>		<p>REV</p>	
<p>FISHER ASSOCIATES</p>		<p>DESCRIPTION</p>		<p>DATE</p>		<p>BY</p>	

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LEGEND

	PROJECT BOUNDARY
	PROPERTY SETBACK
	ADJACENT PROPERTY LINE
	INTERIOR LOT LINE
	RIGHT-OF-WAY
	EXISTING TREE LINE
	EXISTING FENCE
	EXISTING GRAVEL ROAD
	EXISTING UTILITY POLE
	WETLAND BUFFER
	DELINEATED WETLANDS
	PERVIOUS GRAVEL ACCESS ROAD
	PROPOSED SOLAR PANEL ARRAY SITE 1
	PROPOSED SOLAR PANEL ARRAY SITE 2
	LIMIT OF DISTURBANCE



PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY		TITLE OF DRAWING GRADING PLAN	
DRAWING NO. C-301		SHEET 10 OF 26	
PROJECT NO. 230529_06 PROJECT MANAGER A. Dorf		DRAWN BY J. TORRES SCALE AS SHOWN	
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EH HENRIETTA 1 SOLAR

EH HENRIETTA 2 SOLAR

PROPOSED 20' WIDE GRAVEL ACCESS ROAD

PROPOSED SOLAR ARRAY

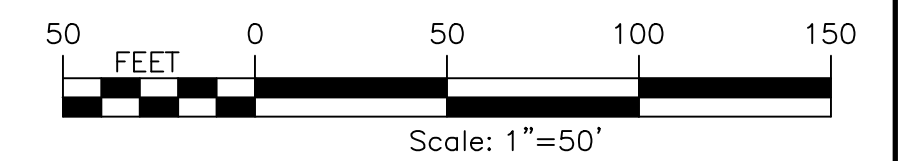
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PROPERTY SETBACK LINE (TYP.)

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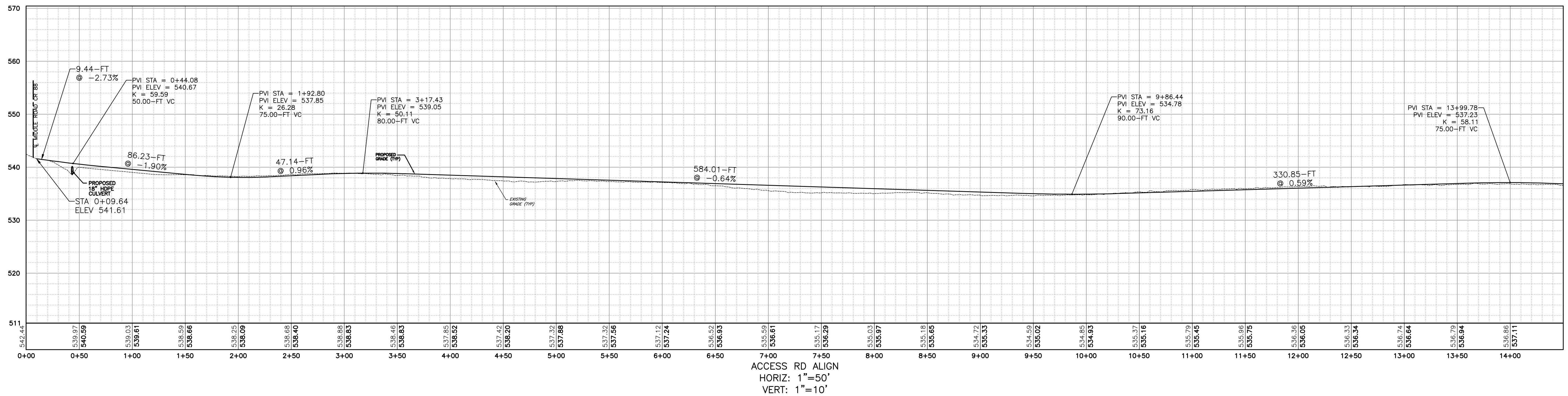
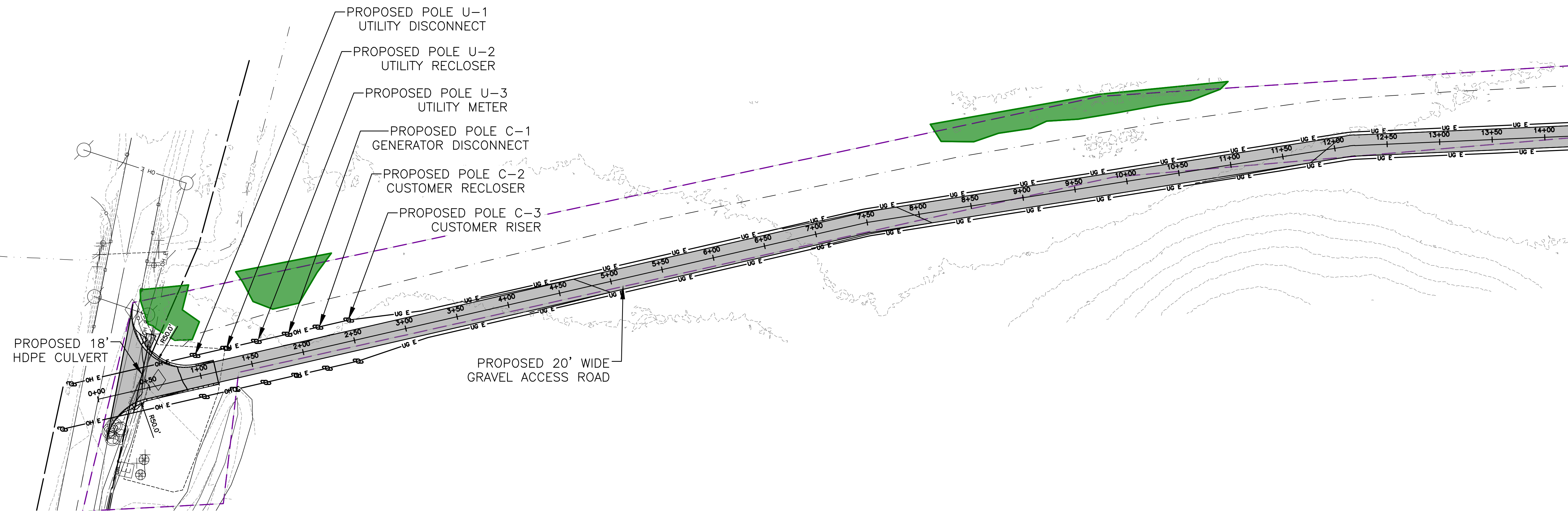
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- INTERIOR LOT LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING GRAVEL ROAD
- EXISTING UTILITY POLE
- DELINEATED WETLANDS
- PROPOSED SOLAR PANEL ARRAY SITE 1
- PROPOSED SOLAR PANEL ARRAY SITE 2
- PROPOSED FENCE
- LIMIT OF DISTURBANCE
- PERVIOUS GRAVEL ACCESS ROAD
- PROPOSED STAGING AREA
- PROPOSED UTILITY POLE

NOT FOR CONSTRUCTION



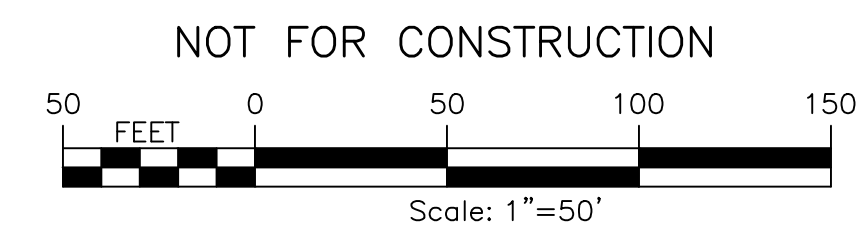
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DRAWING NO. C-302		SHEET 11 OF 26	
PROJECT NO. 230529 06 PROJECT MANAGER A. Dorf	DRAWN BY J. TORRES SCALE AS SHOWN	ISSUE DATE 10/5/2023	REV 1 2 3 4 5 6 7
STATE OF NEW YORK SEVEN C. MELLOTT LICENSE NO. 13817 PROFESSIONAL ENGINEER		DESCRIPTION DATE BY	

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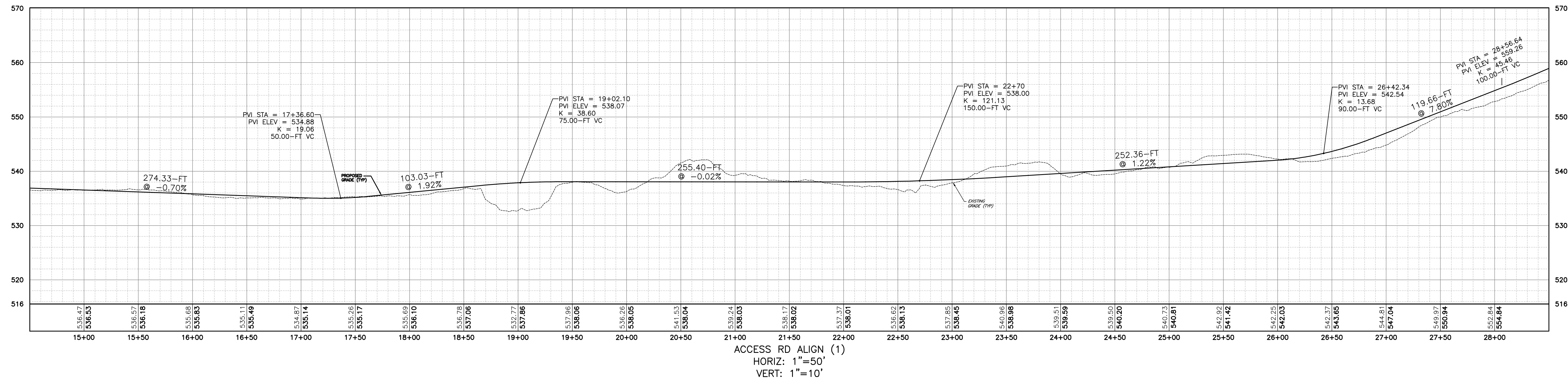
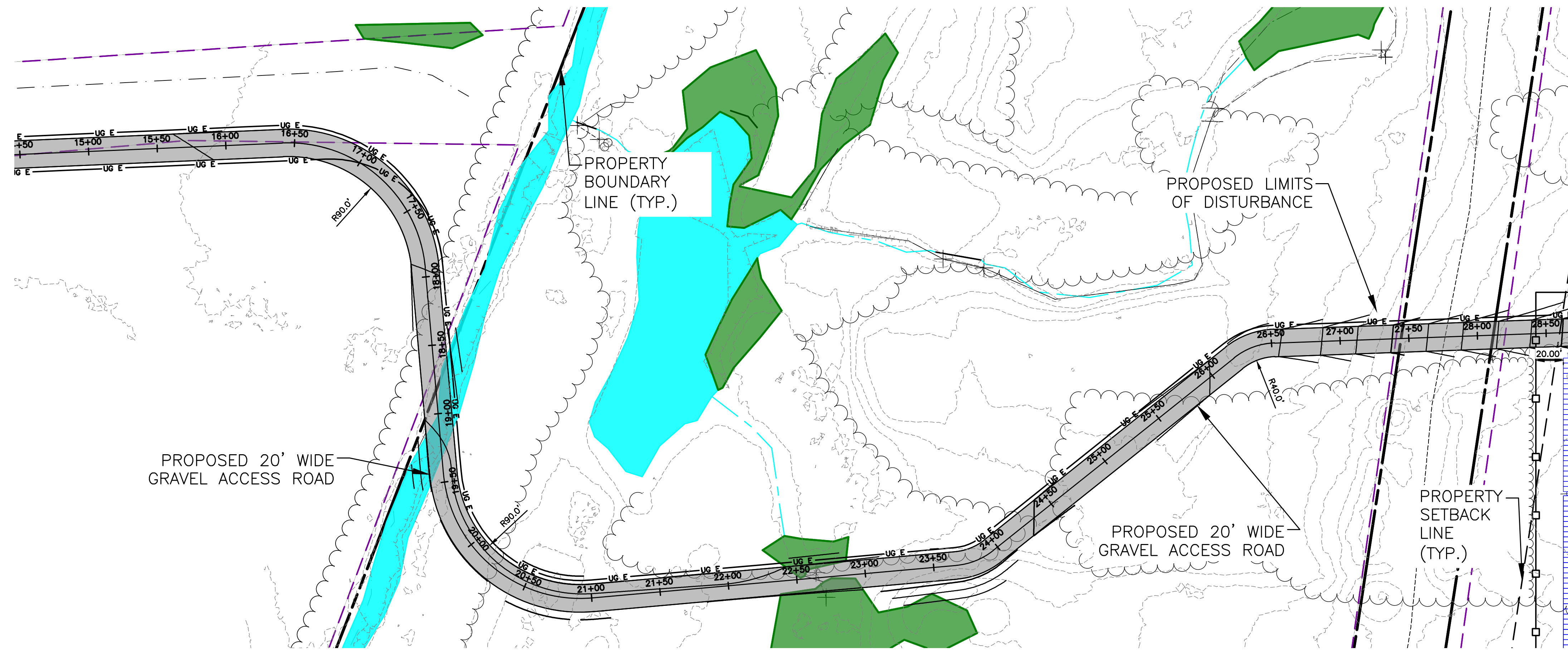
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- EXISTING FENCE
- EXISTING GRAVEL ROAD
- EXISTING UTILITY POLE
- DELINEATED WETLANDS
- PROPOSED SOLAR PANEL ARRAY SITE 1
- PROPOSED SOLAR PANEL ARRAY SITE 2
- PROPOSED FENCE
- LIMIT OF DISTURBANCE
- PERVIOUS GRAVEL ACCESS ROAD
- PROPOSED STAGING AREA
- PROPOSED UTILITY POLE
- WETLAND BUFFER



PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY		TITLE OF DRAWING ACCESS ROAD PLAN AND PROFILE	
DRAWING NO. C-303		SHEET 12 OF 26	
PROJECT MANAGER A. Dorf		DRAWN BY J. TORRES	
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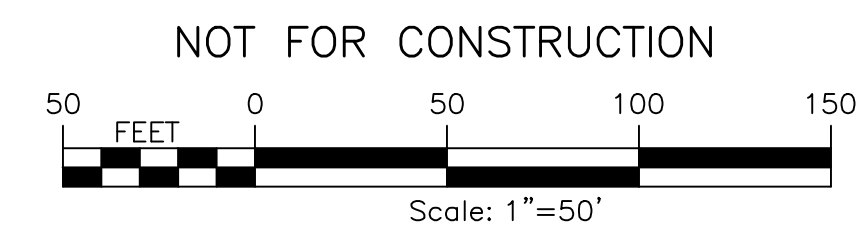


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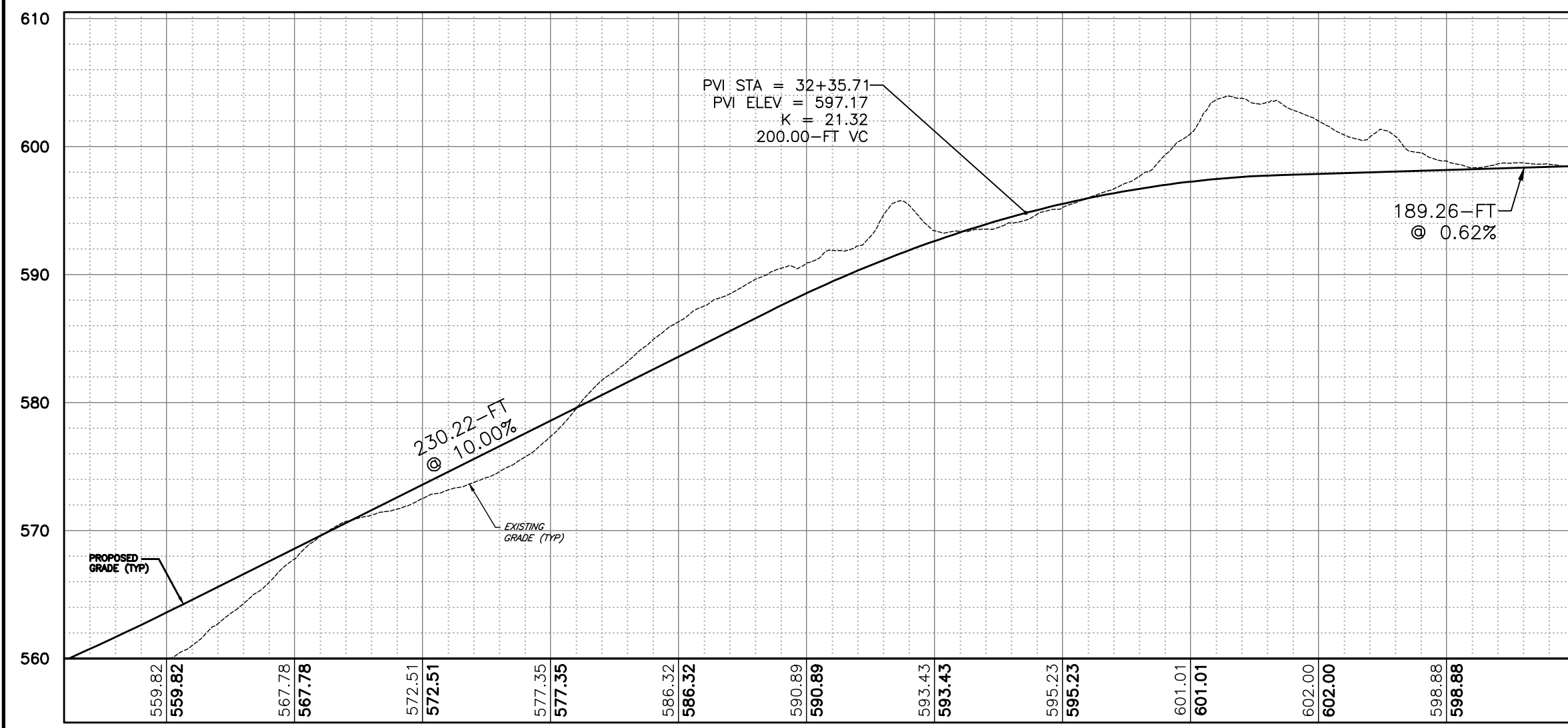
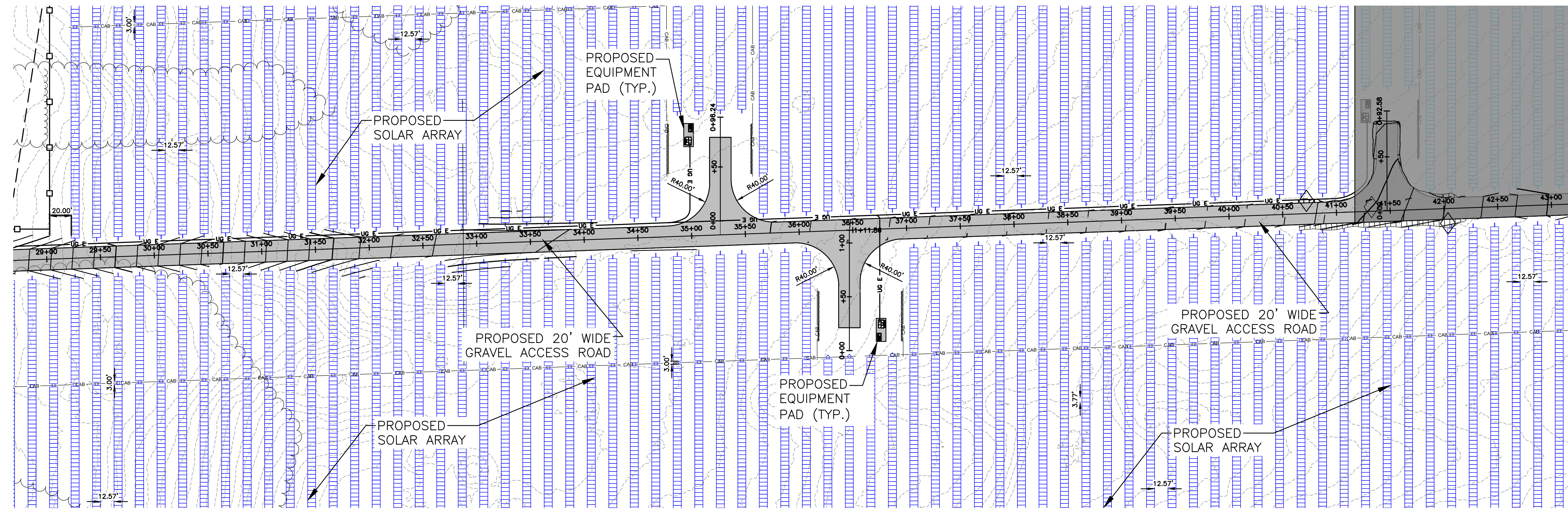
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	ADJACENT PROPERTY LINE		PROPOSED SOLAR PANEL ARRAY SITE 2
	INTERIOR LOT LINE		PROPOSED FENCE
	RIGHT-OF-WAY		LIMIT OF DISTURBANCE
	EXISTING TREE LINE		PERVIOUS GRAVEL ACCESS ROAD
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	EXISTING GRAVEL ROAD		PROPOSED UTILITY POLE
	EXISTING UTILITY POLE		WETLAND BUFFER

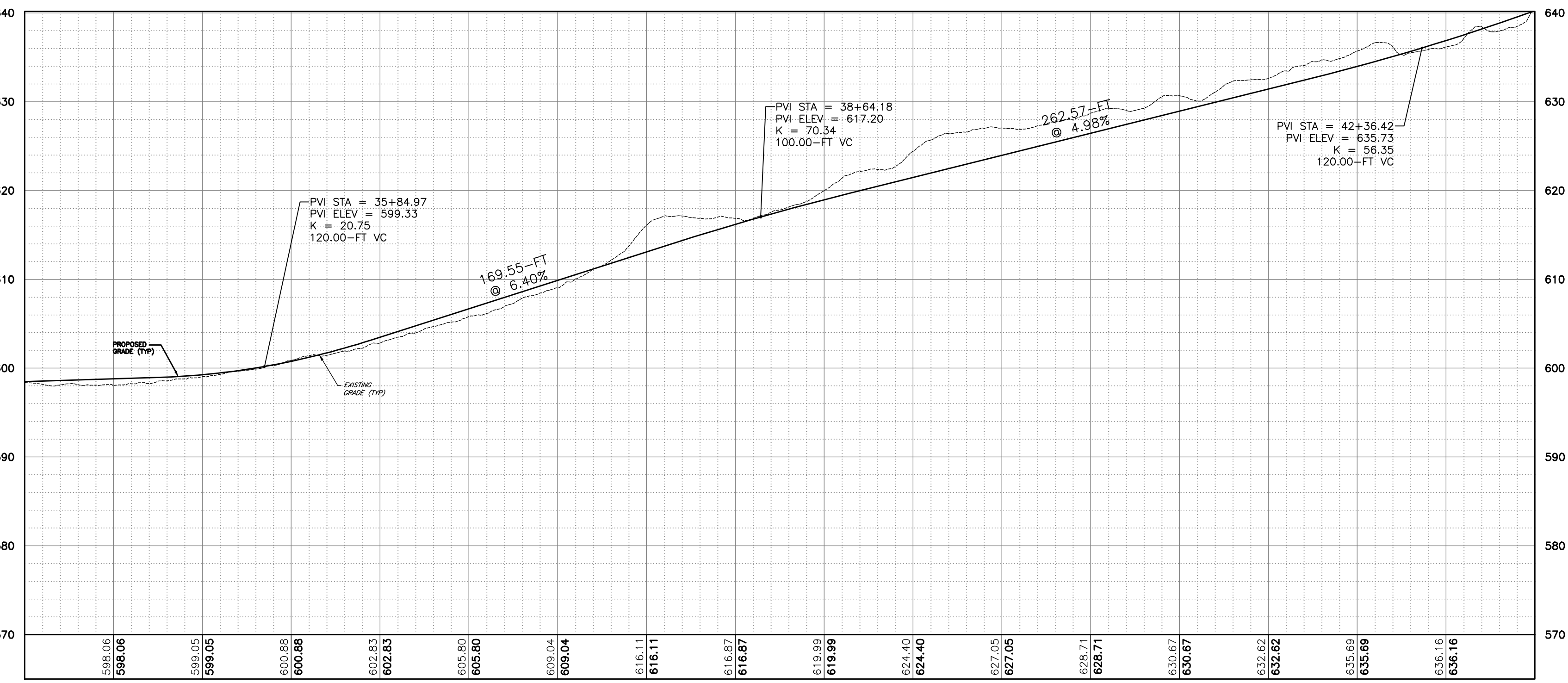


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PROJECT MANAGER A. Dorf		DRAWN BY J. TORRES	
PROJECT NO. 230529_06		SCALE AS SHOWN	
COMPANY FISHER ASSOCIATES P.E. L.S., L.P.		ISSUE DATE 10/5/2023	
I am hereby certifying that I am a duly Licensed Professional Engineer in the State of New York, and that I am the author or creator of the design, or under my direct supervision and control, the design, shown on the above-mentioned drawings. I am not providing any services in violation of the provisions of the Engineering Law of the State of New York.		REV	
DATE		DESCRIPTION	
BY		DATE	

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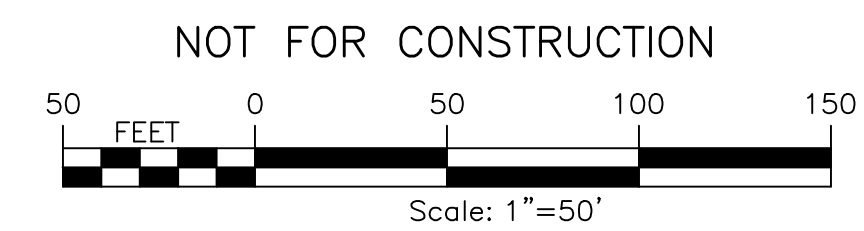
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ACCESS RD ALIGN (3)
 HORIZ: 1"=50'
 VERT: 1"=10'

LEGEND

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	ADJACENT PROPERTY LINE		PROPOSED SOLAR PANEL ARRAY SITE 2
	INTERIOR LOT LINE		PROPOSED FENCE
	RIGHT-OF-WAY		LIMIT OF DISTURBANCE
	EXISTING TREE LINE		PERVIOUS GRAVEL ACCESS ROAD
	EXISTING FENCE		PROPOSED STAGING AREA
	EXISTING GRAVEL ROAD		PROPOSED UTILITY POLE
	EXISTING UTILITY POLE		WETLAND BUFFER



PROJECT	EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY								
TITLE OF DRAWING	ACCESS ROAD PLAN AND PROFILE								
DRAWING NO.	C-305								
SHEET 14 OF 26									
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ISSUE DATE: 10/5/2023

AS SHOWN

SCALE: AS SHOWN

DRAWN BY: J. TORRES

PROJECT MANAGER: A. Dorf

PROJECT NO.: 230529 06

FA PROJECT NO.: 230529 06

ISSUE DATE: 10/5/2023

AS SHOWN

SCALE: AS SHOWN

DRAWN BY: J. TORRES

PROJECT MANAGER: A. Dorf

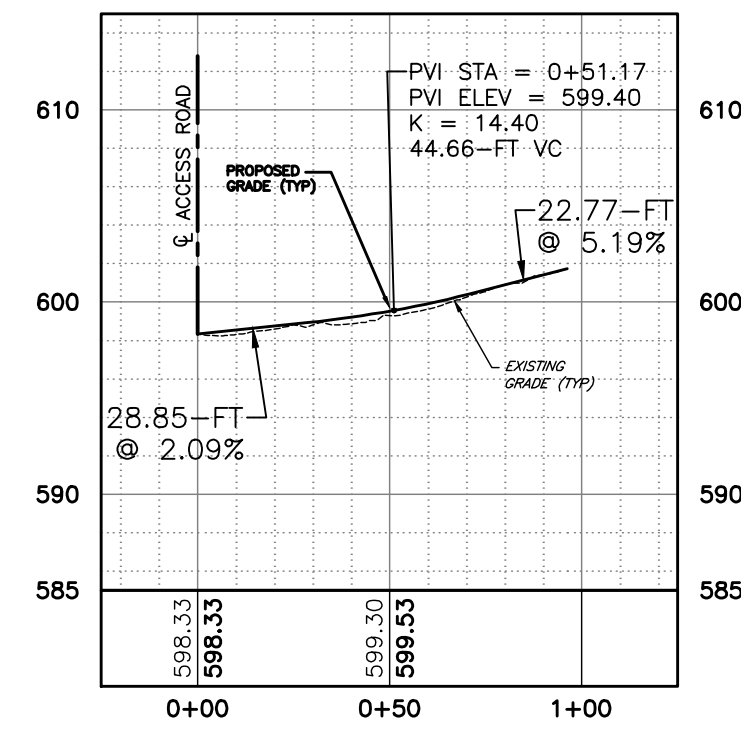
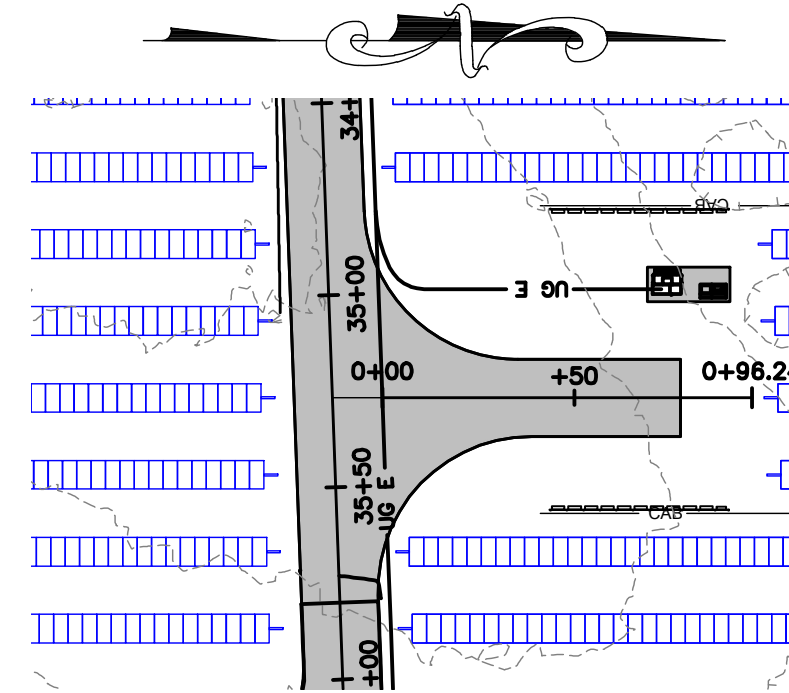
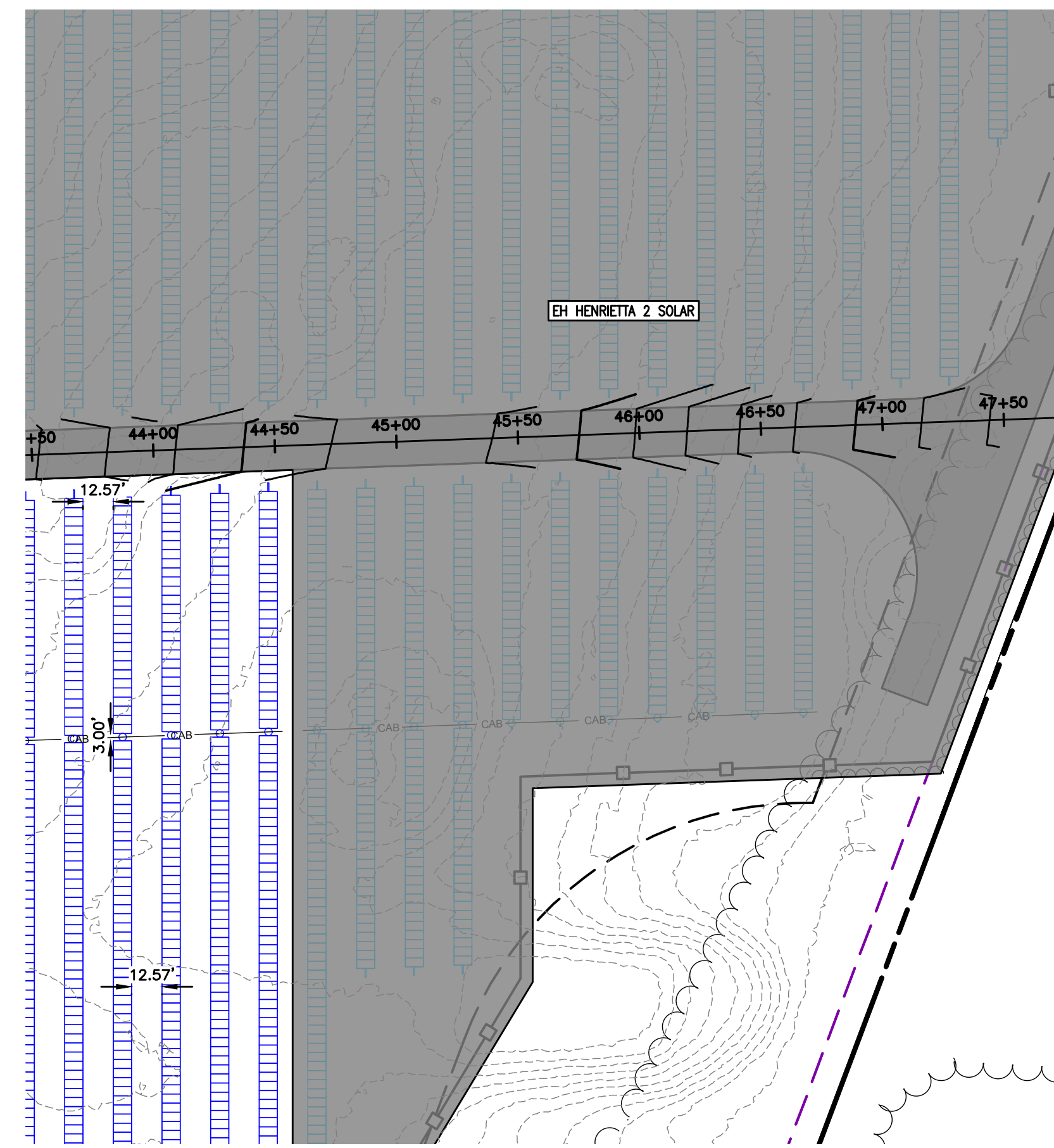
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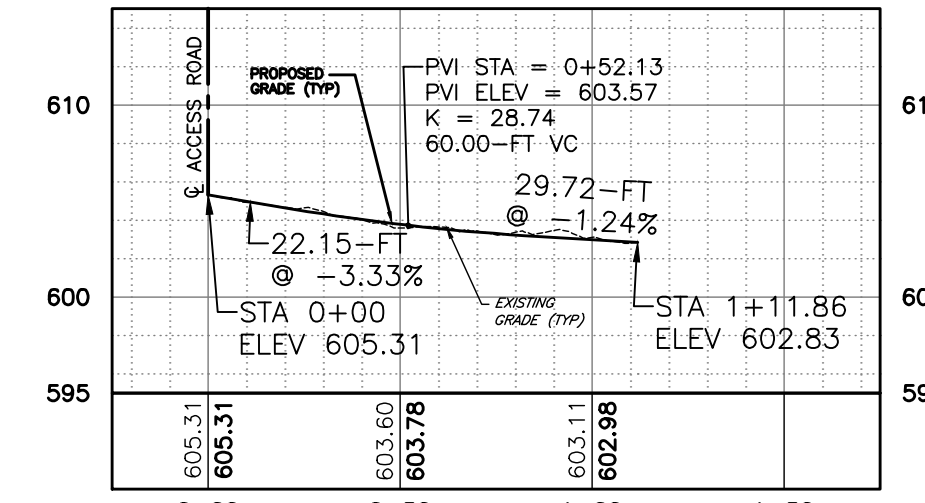
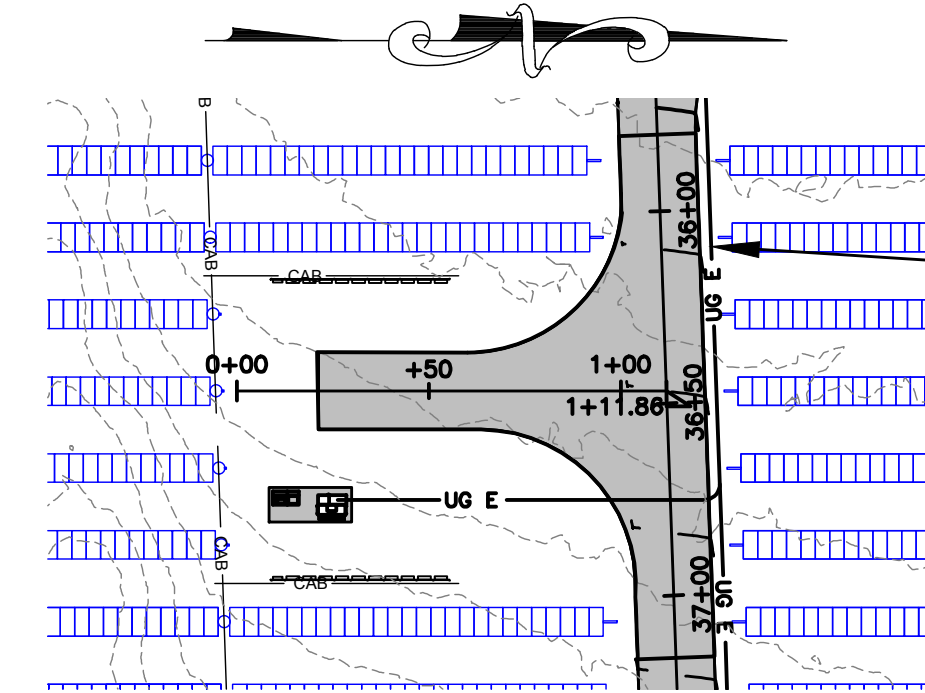
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 SEVEN C. MELLON
 LICENSED PROFESSIONAL ENGINEER

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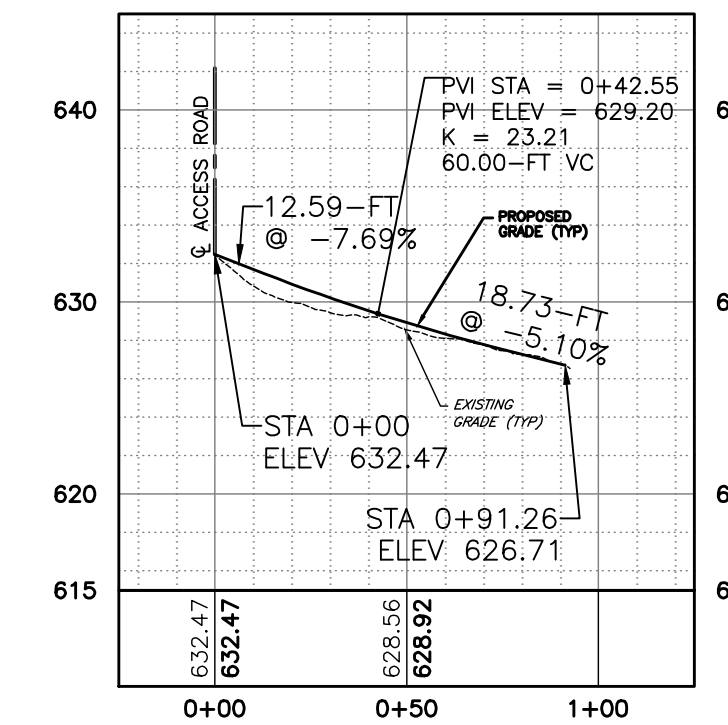
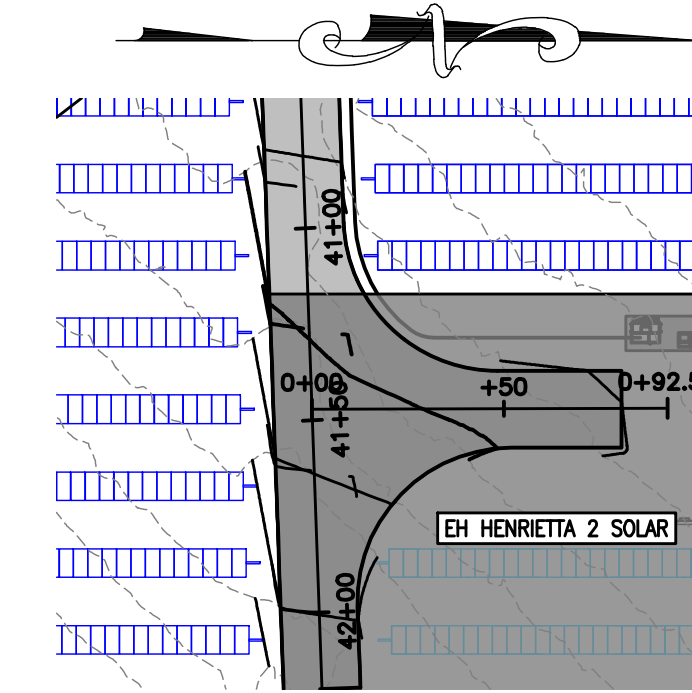
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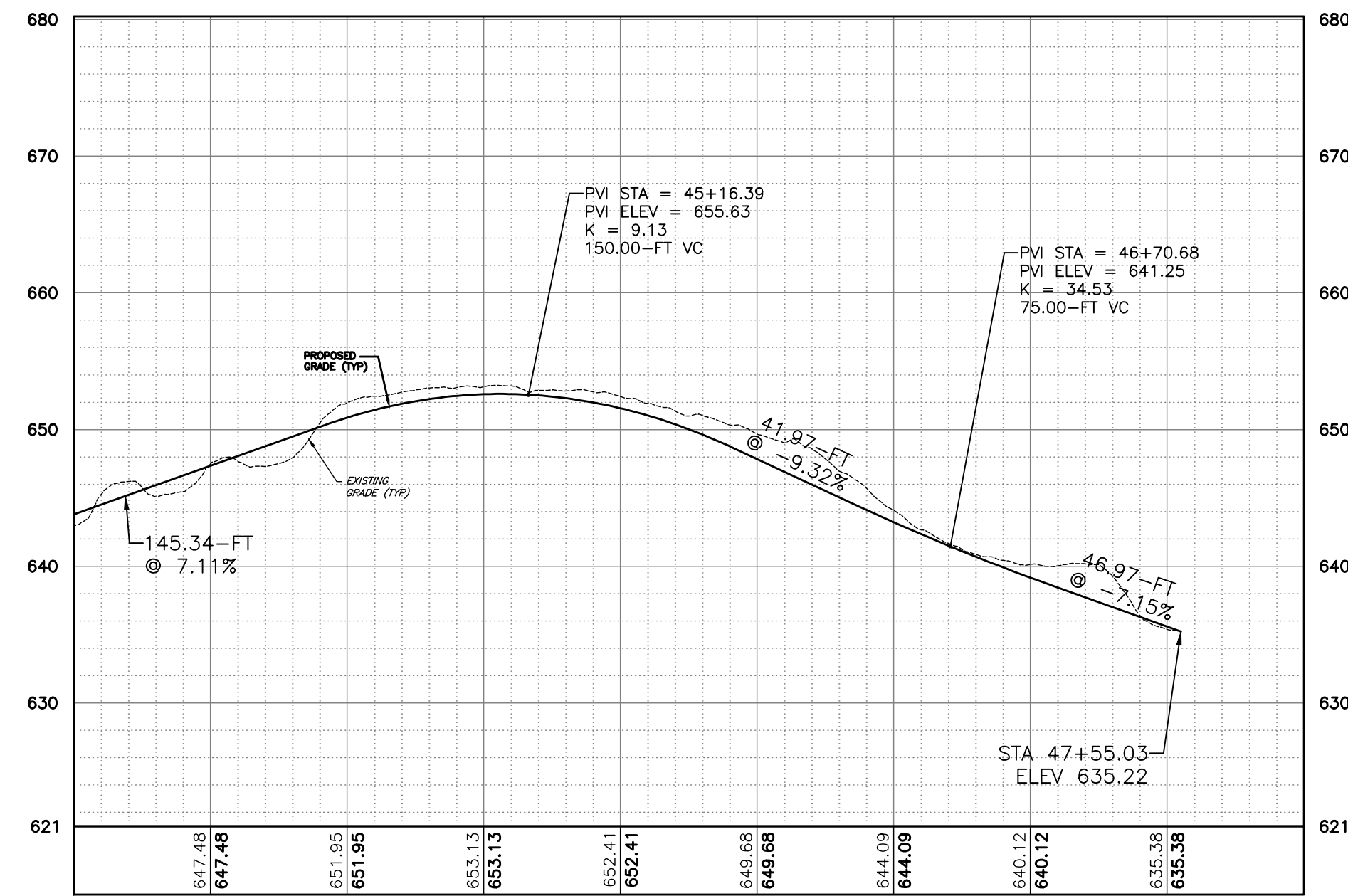
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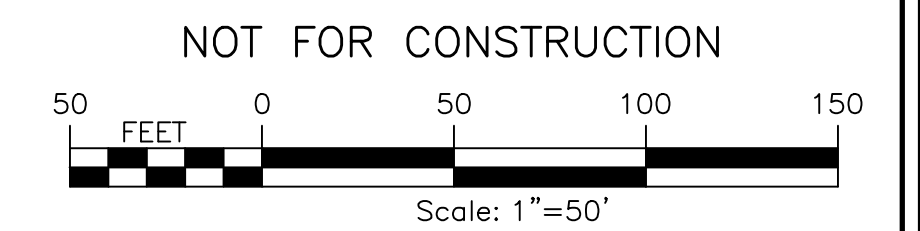


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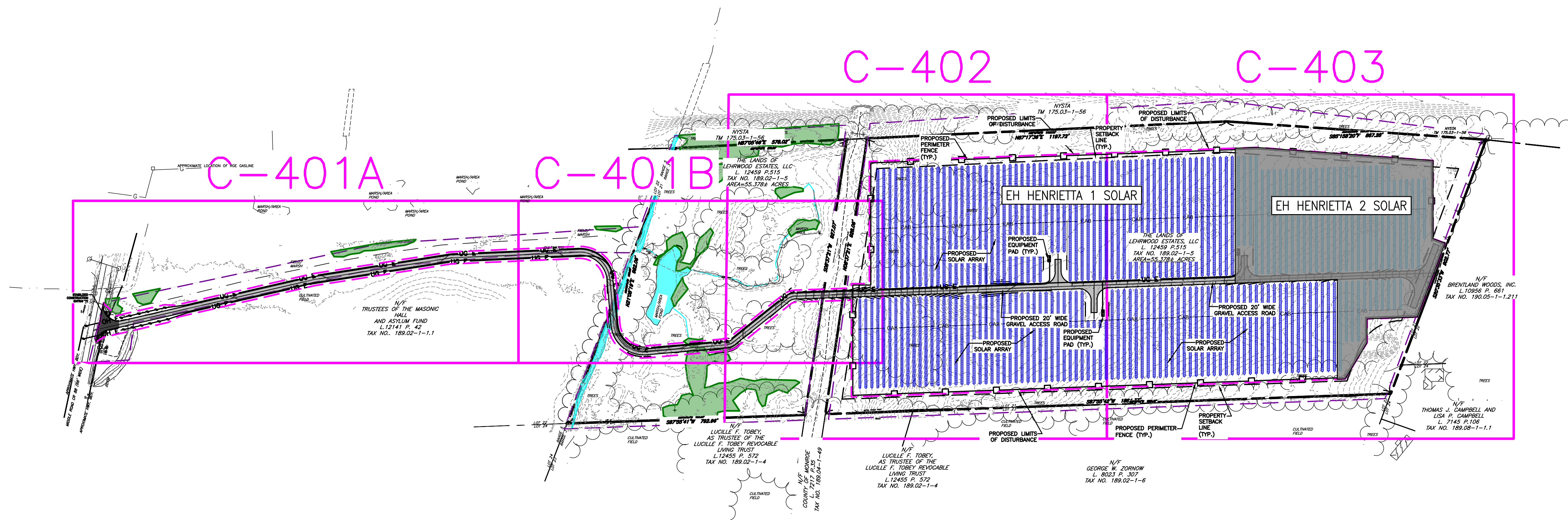
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- LEGEND**
- PROJECT BOUNDARY
 - PROPERTY SETBACK
 - ADJACENT PROPERTY LINE
 - INTERIOR LOT LINE
 - RIGHT-OF-WAY
 - EXISTING TREE LINE
 - EXISTING FENCE
 - EXISTING GRAVEL ROAD
 - EXISTING UTILITY POLE
 - DELINEATED WETLANDS
 - PROPOSED SOLAR PANEL ARRAY SITE 1
 - PROPOSED SOLAR PANEL ARRAY SITE 2
 - PROPOSED FENCE
 - LIMIT OF DISTURBANCE
 - PERVIOUS GRAVEL ACCESS ROAD
 - PROPOSED STAGING AREA
 - PROPOSED UTILITY POLE



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		ISSUE DATE 10/5/2023					
		STATE OF NEW YORK SEVEN C. MELLOTT LICENSED PROFESSIONAL ENGINEER					
		FISHER ASSOCIATES WWW.FISHERASSOC.COM					
		PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY TITLE OF DRAWING ACCESS ROAD PLAN AND PROFILE					
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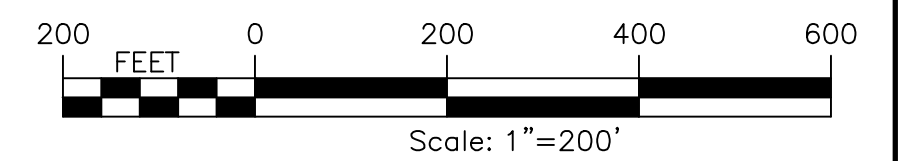
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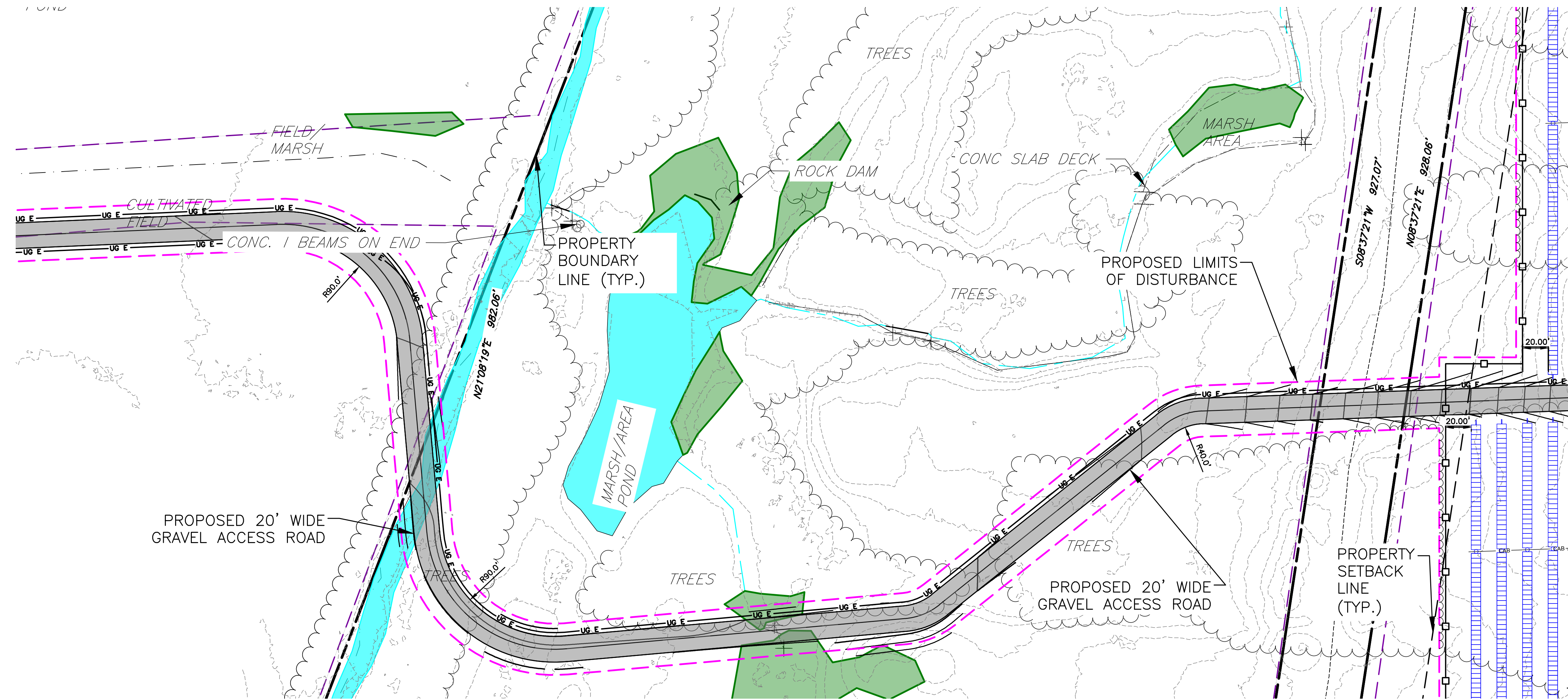
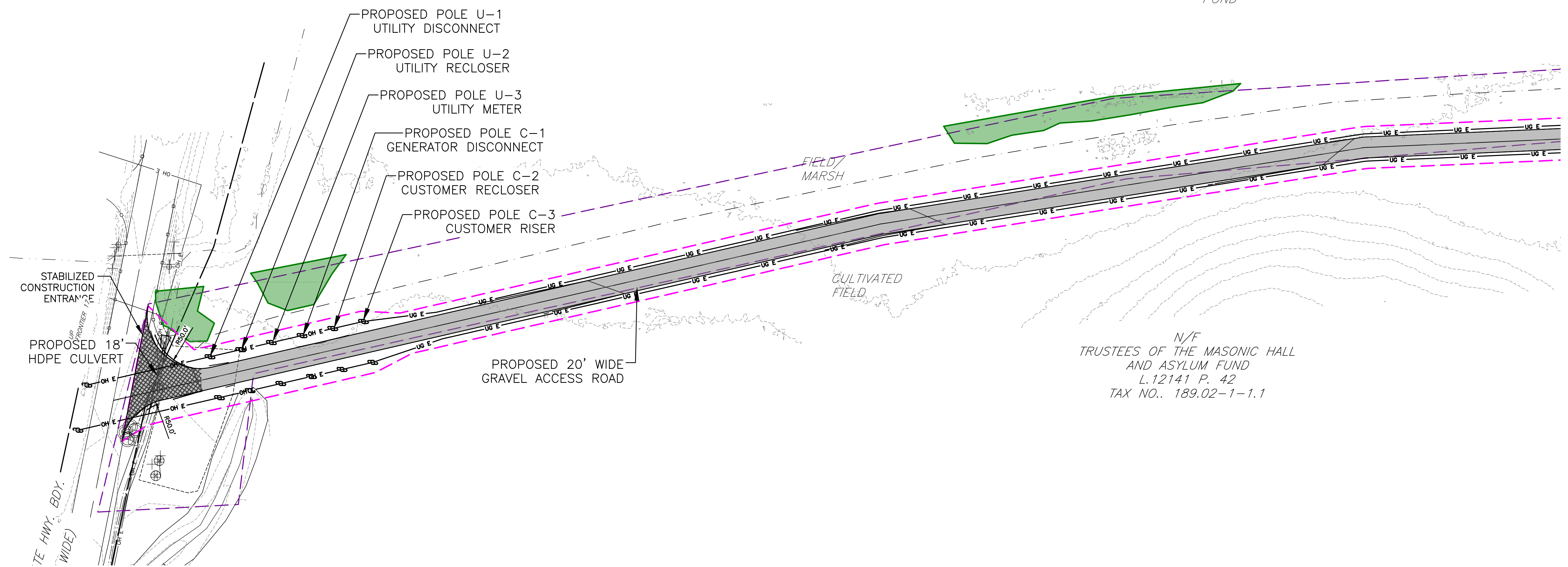
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- DELINEATED WETLANDS
- PROPOSED SOLAR PANEL ARRAY SITE 1
- PROPOSED SOLAR PANEL ARRAY SITE 2
- PROPOSED FENCE
- LIMIT OF DISTURBANCE
- PERVIOUS GRAVEL ACCESS ROAD
- PROPOSED STAGING AREA
- PROPOSED UTILITY POLE
- PROPOSED SILT FENCE
- WETLAND BUFFER

NOT FOR CONSTRUCTION

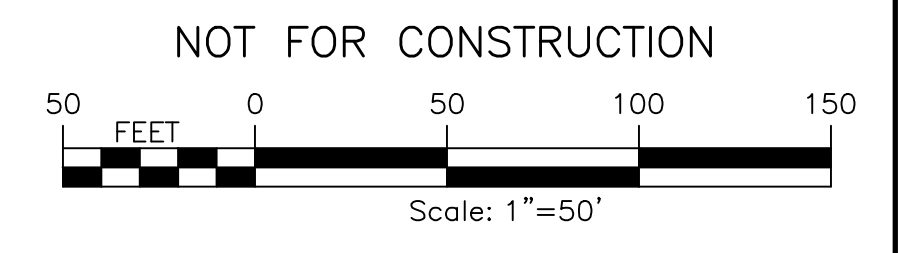


	<p>STATE OF NEW YORK STEVEN C. MELLOTT LICENSED PROFESSIONAL ENGINEER</p>																														
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<p>FISHER ASSOCIATES WWW.FISHERASSOC.COM</p>																															
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LEGEND

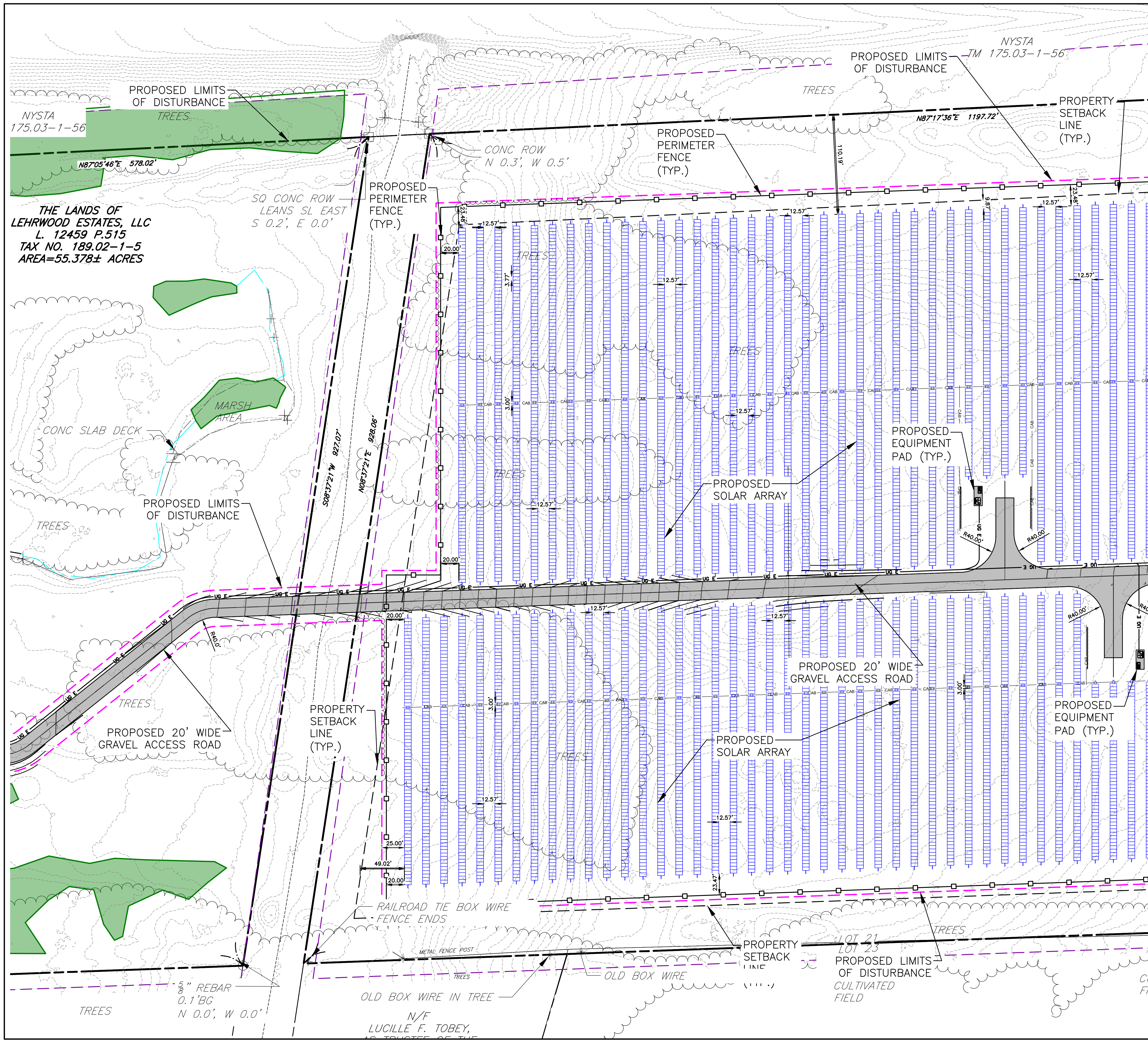
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	INTERIOR LOT LINE
	RIGHT-OF-WAY
	EXISTING TREE LINE
	EXISTING FENCE
	EXISTING GRAVEL ROAD
	EXISTING UTILITY POLE
	DELINEATED WETLANDS
	PROPOSED SOLAR PANEL ARRAY SITE 1
	PROPOSED SOLAR PANEL ARRAY SITE 2
	PROPOSED FENCE
	LIMIT OF DISTURBANCE
	PERVIOUS GRAVEL ACCESS ROAD
	PROPOSED STAGING AREA
	PROPOSED UTILITY POLE
	PROPOSED SILT FENCE
	WETLAND BUFFER



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 USER: Steven Nelson

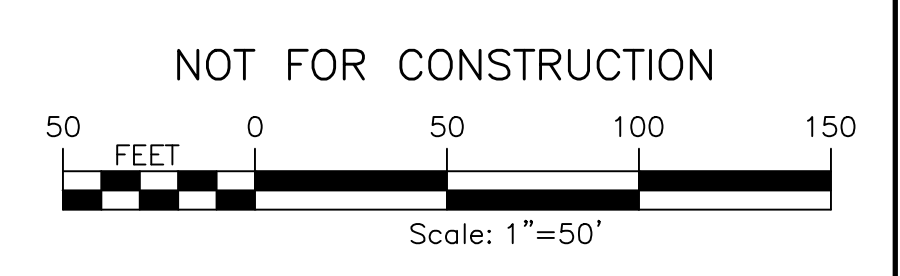
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PROJECT: EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY	TITLE OF DRAWING: EROSION CONTROL PLAN																																
PROJECT NO. 230529 06 PROJECT MANAGER A. Dorf DRAWN BY J. TORRES SCALE AS SHOWN	ISSUE DATE 10/5/2023																																
COPYRIGHT © 2023 FISHER ASSOCIATES P.E. L.S. D.P.C. New York State Education Law Section 1703(2)(b) requires that the seal of any professional engineer or land surveyor be placed on any drawing or report prepared by such professional engineer or land surveyor. The seal of the professional engineer or land surveyor shall be placed on the drawing or report at the location of the signature of the professional engineer or land surveyor.																																	
<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>7</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> </table>	REV	DESCRIPTION	DATE	BY	7				6				5				4				3				2				1				
REV	DESCRIPTION	DATE	BY																														
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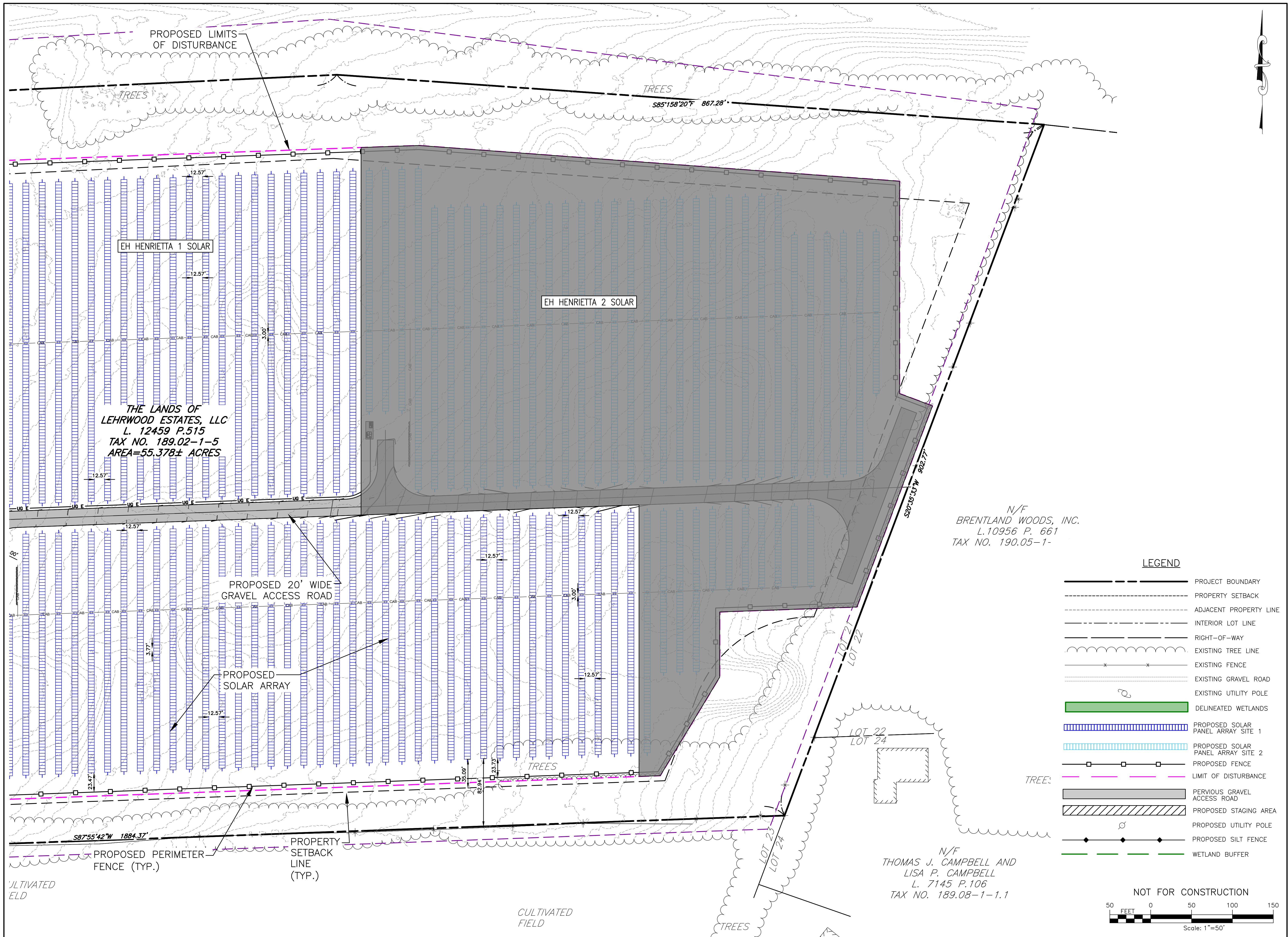
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	RIGHT-OF-WAY
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	PROPOSED STAGING AREA
	PROPOSED UTILITY POLE
	PROPOSED SILT FENCE
	WETLAND BUFFER



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PROJECT NO. 230529_06		PROJECT MANAGER A. Dorf		DRAWN BY J. TORRES		SCALE AS SHOWN		ISSUE DATE 10/5/2023	
PROJECT EAST HENRIETTA 1 SOLAR ROAD EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY									
TITLE OF DRAWING EROSION CONTROL PLAN									
DRAWING NO. C-402									
SHEET 19 OF 26									

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EH HENRIETTA 1 SOLAR

EH HENRIETTA 2 SOLAR

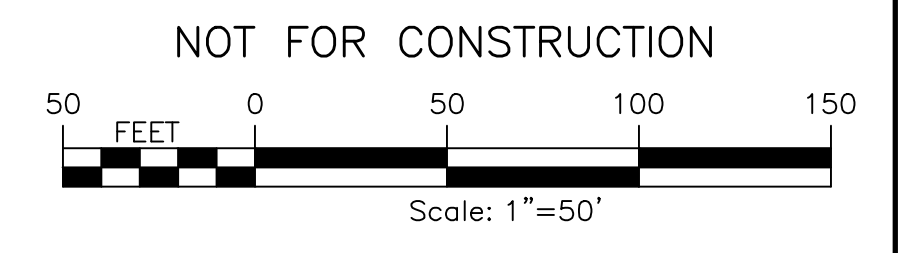
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 LEHRWOOD ESTATES, LLC
 L. 12459 P.515
 TAX NO. 189.02-1-5
 AREA=55.378± ACRES

N/F
 BRENTLAND WOODS, INC.
 L.10956 P. 661
 TAX NO. 190.05-1-

N/F
 THOMAS J. CAMPBELL AND
 LISA P. CAMPBELL
 L. 7145 P.106
 TAX NO. 189.08-1-1.1

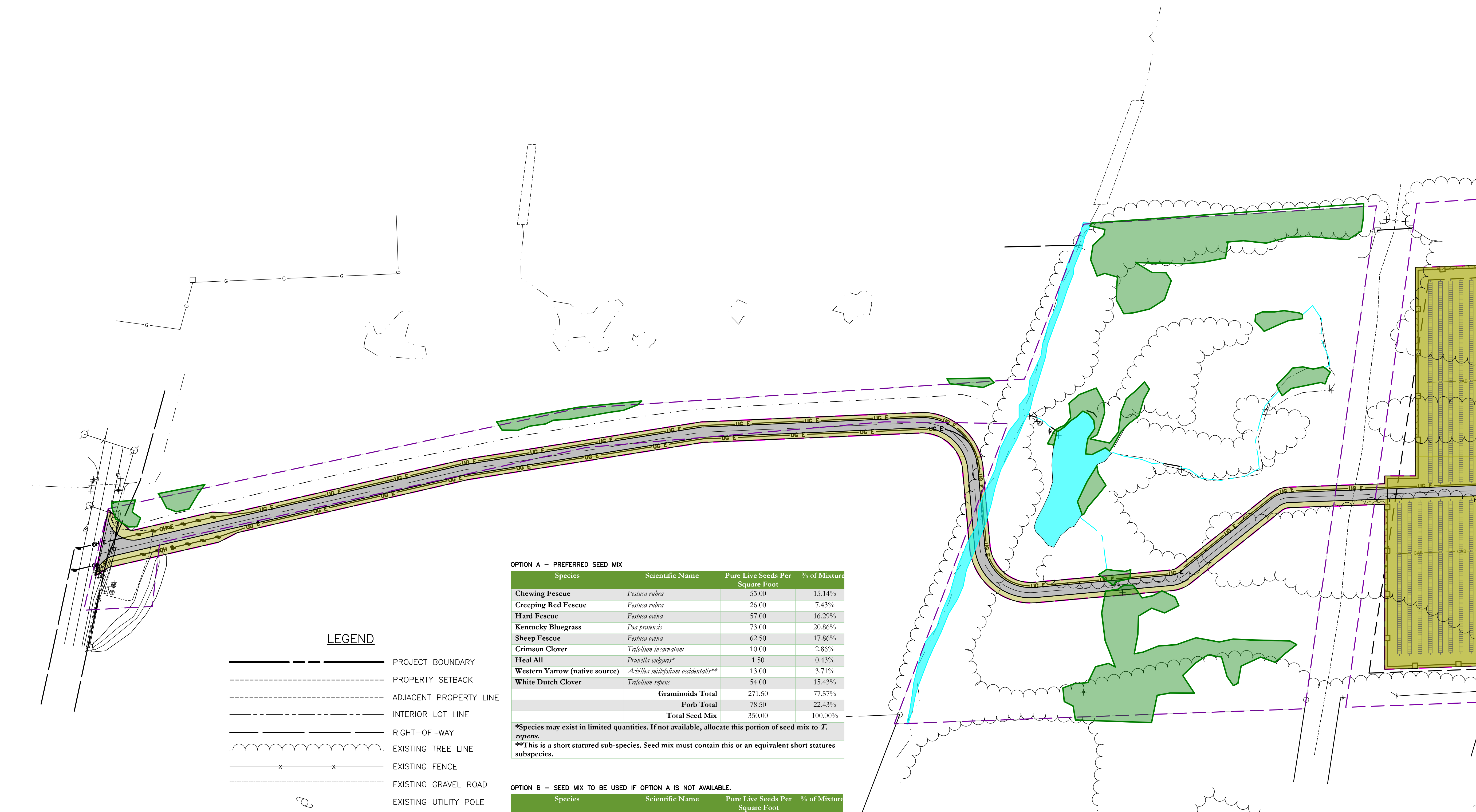
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- PROJECT BOUNDARY
- PROPERTY SETBACK
- ADJACENT PROPERTY LINE
- INTERIOR LOT LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING GRAVEL ROAD
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- PROPOSED SOLAR PANEL ARRAY SITE 1
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- LIMIT OF DISTURBANCE
- PERVIOUS GRAVEL ACCESS ROAD
- PROPOSED STAGING AREA
- PROPOSED UTILITY POLE
- PROPOSED SILT FENCE
- WETLAND BUFFER



PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY	TITLE OF DRAWING EROSION CONTROL PLAN
FA PROJECT NO. 230529 06 PROJECT MANAGER A. Dorf DRAWN BY J. TORRES SCALE AS SHOWN	ISSUE DATE 10/5/2023
COPYRIGHT © 2023 FISHER ASSOCIATES P.E. L.S., D.P.C. New York State Erosion Law Section 13-150(1) requires that the design of any erosion control system be prepared by a licensed professional engineer or land surveyor. If an item bearing the seal of an engineer or land surveyor is altered, the seal shall be void. The firm shall retain the original design and the professional engineer's signature and the address of the office.	REV 7 6 5 4 3 2 1
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 DATE/TIME: 10/5/2023 9:57:28 AM
 USER: Steven Nelson



LEGEND

- PROJECT BOUNDARY
- PROPERTY SETBACK
- ADJACENT PROPERTY LINE
- INTERIOR LOT LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING GRAVEL ROAD
- EXISTING UTILITY POLE
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- PROPOSED SOLAR PANEL ARRAY SITE 1
- PROPOSED SOLAR PANEL ARRAY SITE 2
- PROPOSED FENCE
- LIMIT OF DISTURBANCE
- PERVIOUS GRAVEL ACCESS ROAD
- PROPOSED STAGING AREA
- PROPOSED UTILITY POLE
- SEED AND MULCH APPLICATION AREA

OPTION A - PREFERRED SEED MIX

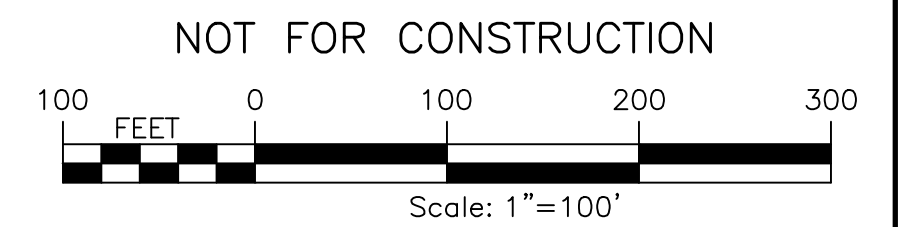
Species	Scientific Name	Pure Live Seeds Per Square Foot	% of Mixture
Chewing Fescue	<i>Festuca rubra</i>	53.00	15.14%
Creeping Red Fescue	<i>Festuca rubra</i>	26.00	7.43%
Hard Fescue	<i>Festuca ovina</i>	57.00	16.29%
Kentucky Bluegrass	<i>Poa pratensis</i>	73.00	20.86%
Sheep Fescue	<i>Festuca ovina</i>	62.50	17.86%
Crimson Clover	<i>Trifolium incarnatum</i>	10.00	2.86%
Heal All	<i>Prunella vulgaris*</i>	1.50	0.43%
Western Yarrow (native source)	<i>Achillea millefolium occidentale**</i>	13.00	3.71%
White Dutch Clover	<i>Trifolium repens</i>	54.00	15.43%
Graminoids Total		271.50	77.57%
Forb Total		78.50	22.43%
Total Seed Mix		350.00	100.00%

*Species may exist in limited quantities. If not available, allocate this portion of seed mix to *T. repens*.
 **This is a short statured sub-species. Seed mix must contain this or an equivalent short statured subspecies.

OPTION B - SEED MIX TO BE USED IF OPTION A IS NOT AVAILABLE.

Species	Scientific Name	Pure Live Seeds Per Square Foot	% of Mixture
Redtop (short variety)	<i>Agrostis gigantea</i>	100.00	26.35%
Canada Bluegrass	<i>Poa compressa</i>	25.00	6.59%
Kentucky Bluegrass	<i>Poa pratensis</i>	75.00	19.76%
Autumn Bentgrass	<i>Agrostis peruviana</i>	75.00	19.76%
Path Rush	<i>Juncus tenuis</i>	35.00	9.22%
Crimson Clover	<i>Trifolium incarnatum</i>	10.00	2.64%
Heal All	<i>Prunella vulgaris*</i>	1.50	0.40%
Western Yarrow (native source)	<i>Achillea millefolium occidentale**</i>	13.00	3.43%
White Dutch Clover	<i>Trifolium repens</i>	45.00	11.86%
Graminoids Total		310.00	72.46%
Forb Total		69.50	18.31%
Total Seed Mix		379.50	100.00%

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 **This is a short statured sub-species. Seed mix must contain this or an equivalent short statured subspecies.



PROJECT
EH HENRIETTA 1 SOLAR
EAST HENRIETTA ROAD
TOWN OF HENRIETTA
MONROE COUNTY, NY

TITLE OF DRAWING
LANDSCAPING PLAN

DRAWING NO.
C-500

SHEET 21 OF 26

DATE
10/5/2023

DESCRIPTION
REV 1

BY

WWW.FISHERASSOC.COM

PROJECT NO.
230529_06

PROJECT MANAGER
A. Dorf

DRAWN BY
J. TORRES

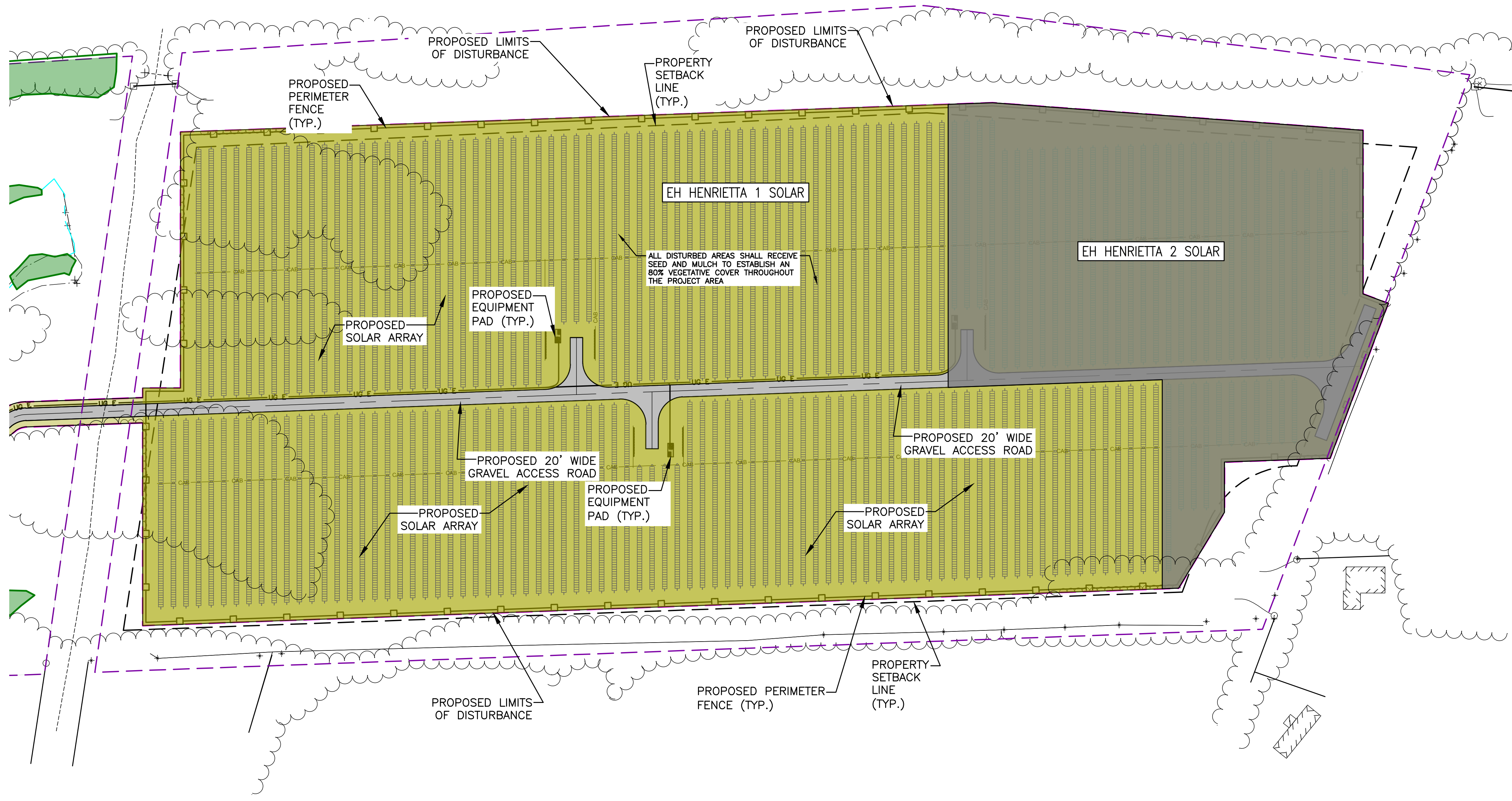
SCALE
AS SHOWN

ISSUE DATE
10/5/2023

CONSENT NO. 2023
FISHER ASSOCIATES
P.E. L.S. D.P.C.

New York State Education Law Section 87(2)(b) requires that the undersigned certify that he/she is the duly licensed professional engineer or land surveyor in the State of New York and that he/she is the author of the design, specification, or report herein or that he/she is a duly licensed professional engineer or land surveyor in the State of New York and that he/she is the author of the design, specification, or report herein and that he/she is the author of the design, specification, or report herein.

FILE NAME: H:\Projects\23\230529-06-GSSP23_Lehrwood\Eng\CAD\CUT\230529_06 C-500 Landscape Screening Plans.dwg
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 USER: Steven



OPTION A - PREFERRED SEED MIX

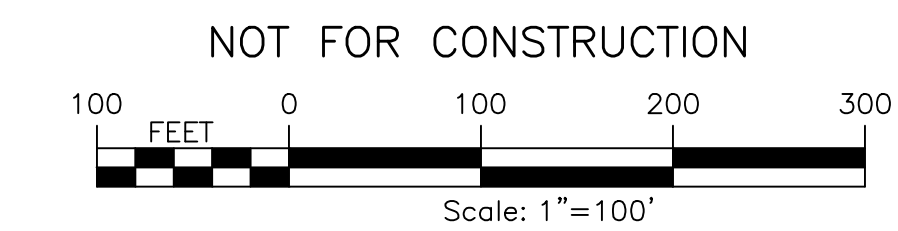
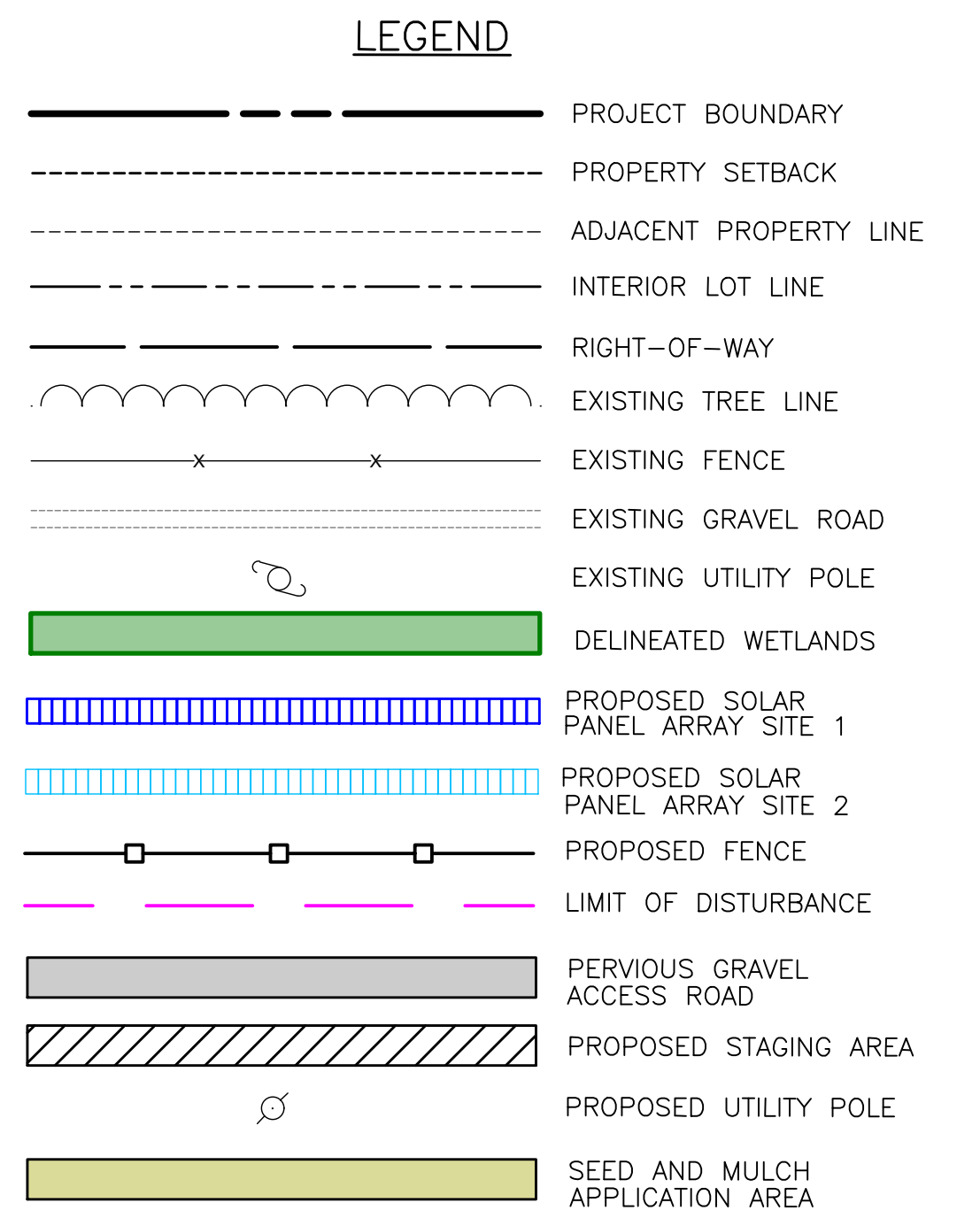
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Crimson Clover	<i>Trifolium incarnatum</i>	10.00	2.64%
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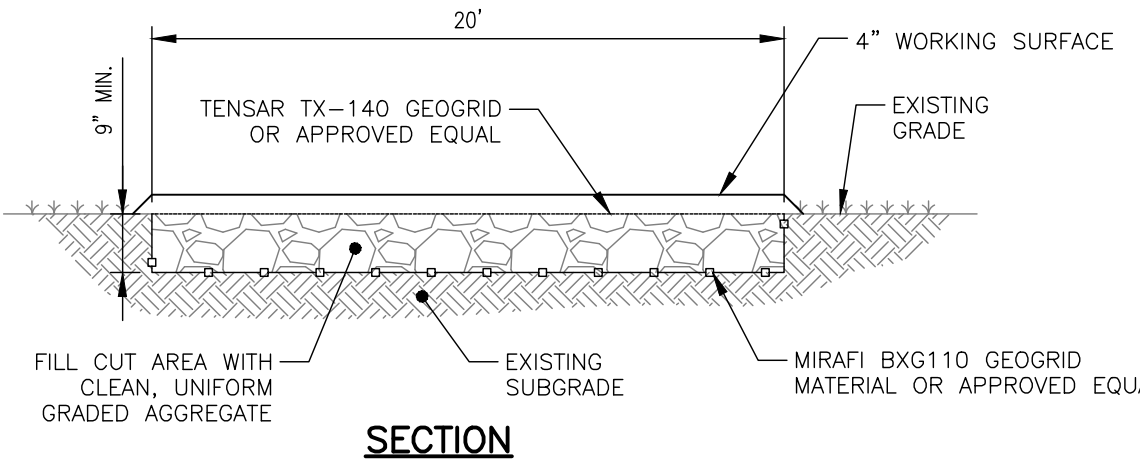
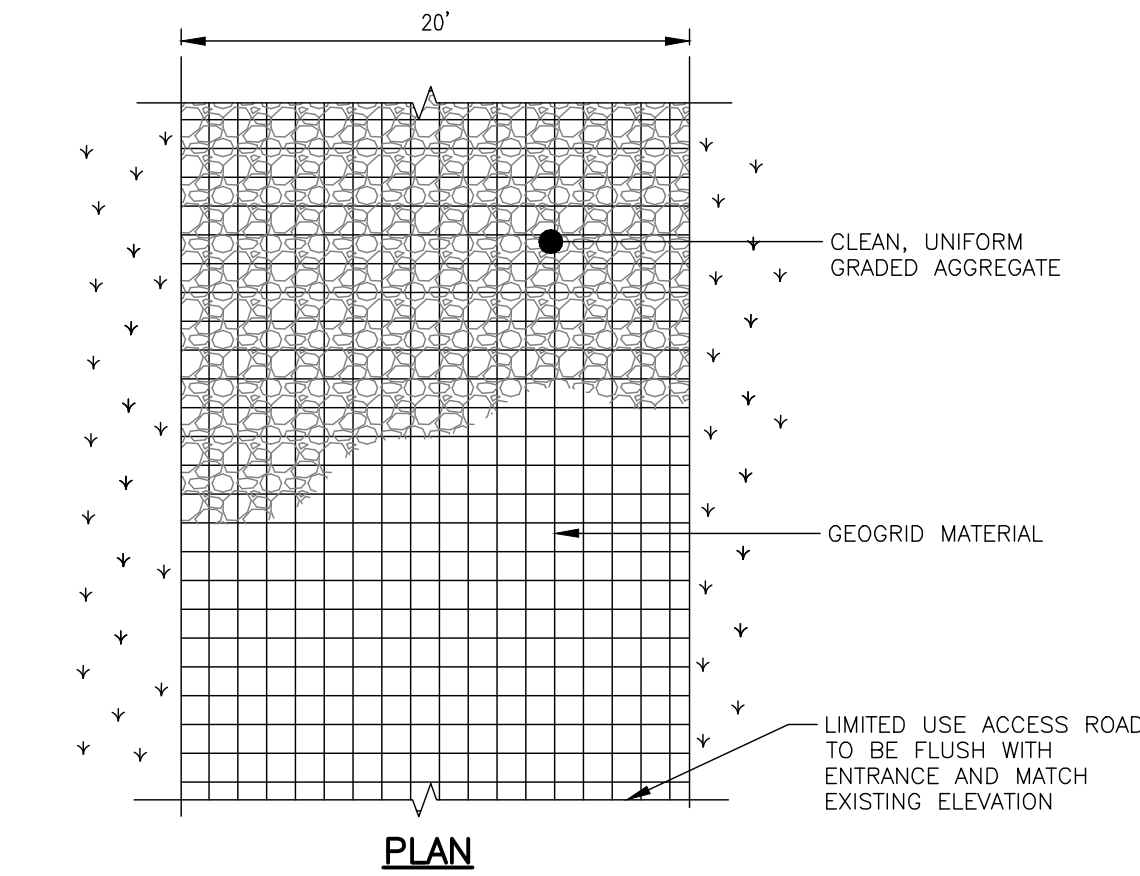
PROJECT NO. 230529_06
 PROJECT MANAGER A. Dorf
 DRAWN BY J. TORRES
 SCALE AS SHOWN
 ISSUE DATE 10/5/2023

STATE OF NEW YORK
 SEAN C. MCELROY
 LICENSED PROFESSIONAL ENGINEER

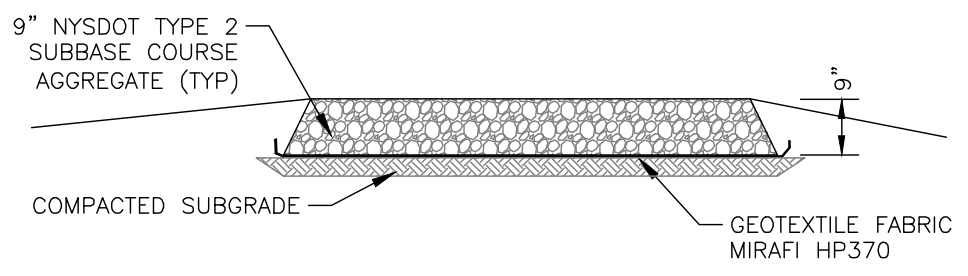
FISHER ASSOCIATES
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PROJECT: EH HENRIETTA 1 SOLAR, EAST HENRIETTA ROAD, TOWN OF HENRIETTA, MONROE COUNTY, NY
 TITLE OF DRAWING: LANDSCAPING PLAN

DRAWING NO. **C-501**
 SHEET 22 OF 26



PERVIOUS GRAVEL ROAD DETAIL
NOT TO SCALE



- STAGING AREA NOTES:**
1. STRIP AND STOCKPILE TOPSOIL.
 2. INSTALL STAGING AREA.
 3. REMOVE STONE WHEN STAGING AREA IS NO LONGER NEEDED.
 4. DECOMPACT SUBGRADE SOILS PER NYSDEC SWDM TABLE 5-3 SOIL RESTORATION REQUIREMENTS.
 5. REINSTALL STOCKPILED TOPSOIL.
 6. SEED AND MULCH THE DISTURBED AREA.

TEMPORARY STAGING AREA
NOT TO SCALE

- PERVIOUS ROAD GENERAL NOTES:**
1. REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
 2. REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS TO PROVIDE A SMOOTH SURFACE. COMPACT TO THE DEGREE OF THE NATIVE INSITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
 3. GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOIL AND DESIRED ELEVATION. MINOR GRADING FOR GROSS SLOPE CUT AND FILL MAY BE REQUIRED.
 4. PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 2% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
 5. SOIL RESTORATION PRACTICES SHALL BE IMPLEMENTED WITHIN THE LIMITS OF THE PERVIOUS ACCESS ROAD IN AREAS WHERE THE UNDERLYING SOILS HAVE BEEN COMPACTED IN SUCH A MANNER THAT DOES NOT ALLOW FOR INFILTRATIONS OF THE STORMWATER RUNOFF. CONDITIONS SHALL BE VERIFIED BY SOIL PENETROMETER READINGS AND SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION, EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY.
 6. IF THE PERVIOUS ACCESS ROAD IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION, A STANDARD NEW YORK STATE STABILIZED CONSTRUCTION ACCESS SHALL BE CONSTRUCTED AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON, OR OFF SITE. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
 7. 4" OF AGGREGATE WILL BE ADDED AS A WORKING SURFACE DURING CONSTRUCTION, AGGREGATE WILL BE REMOVED ONCE CONSTRUCTION IS FINALIZED.

- GEOGRID MATERIAL NOTES:**
1. THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE FOR ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
 2. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-4" CLEAN, DURABLE, SHARP-ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF NYSOT ITEM 703-02, SIZE DESIGNATION 3-5 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF, AND SPREAD WITH, A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
 3. GEOGRID SHALL BE MIRAFI BXG110 OR APPROVED EQUAL.
 4. IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
 5. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
 6. PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1-4" CRUSHED STONE MEETING NYSOT ITEM 703-02 SPECIFICATIONS.

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CONTRACT NO. 230529.06
 FISHER ASSOCIATES, P.E., L.L.C.
 New York State Education Law Section 1405.3 requires that the design of this project be prepared by a licensed professional engineer or architect. If an item bearing the seal of an engineer or architect is shown on these drawings, the firm, the name and title of the professional engineer or architect, and the date of the seal shall be indicated on the drawings.

PROJECT NO. 230529.06
 PROJECT MANAGER A. Dorf
 DRAWN BY J. TORRES
 SCALE AS SHOWN
 ISSUE DATE 10/5/2023



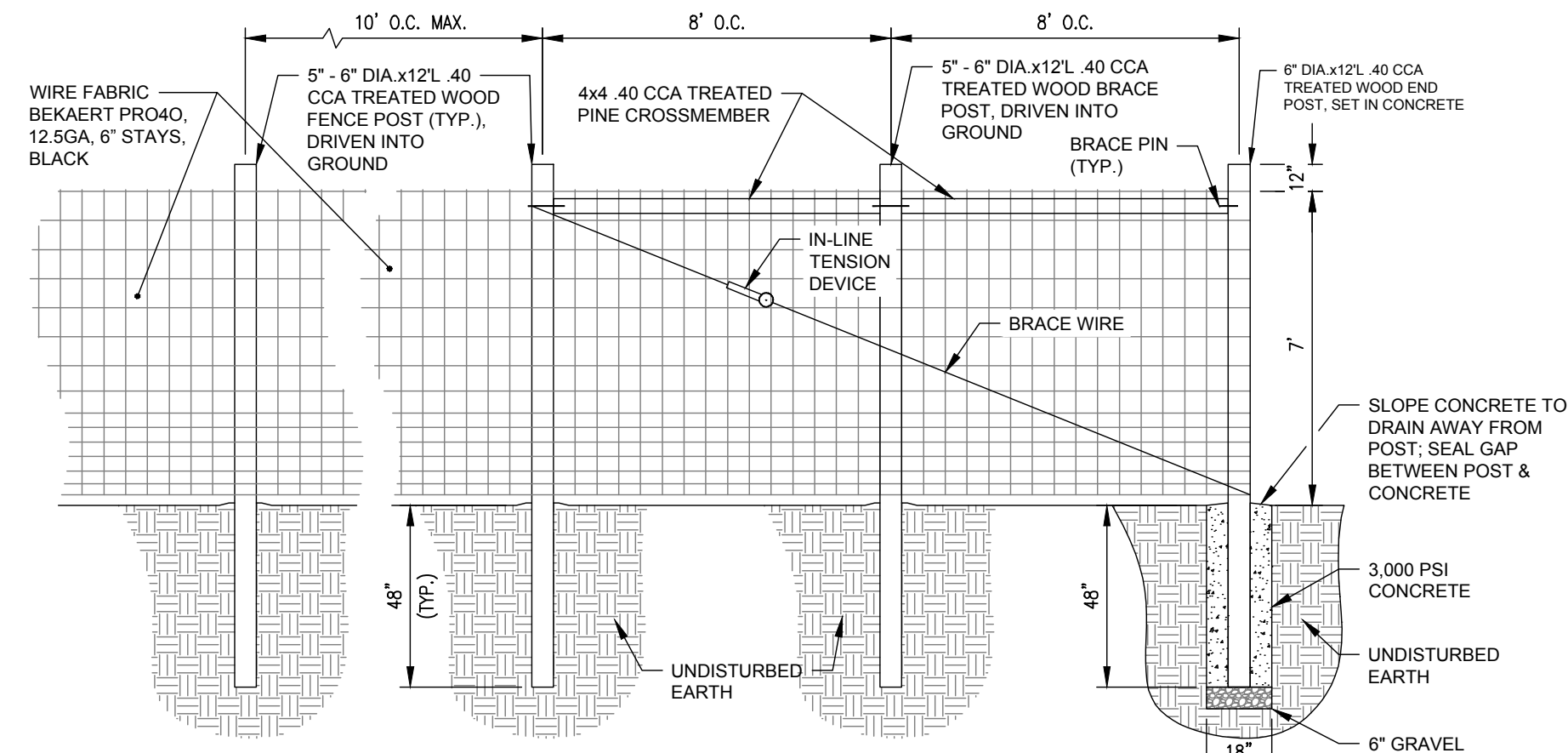
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 TITLE OF DRAWING: DETAILS

DRAWING NO. **C-700**
 SHEET 23 OF 26

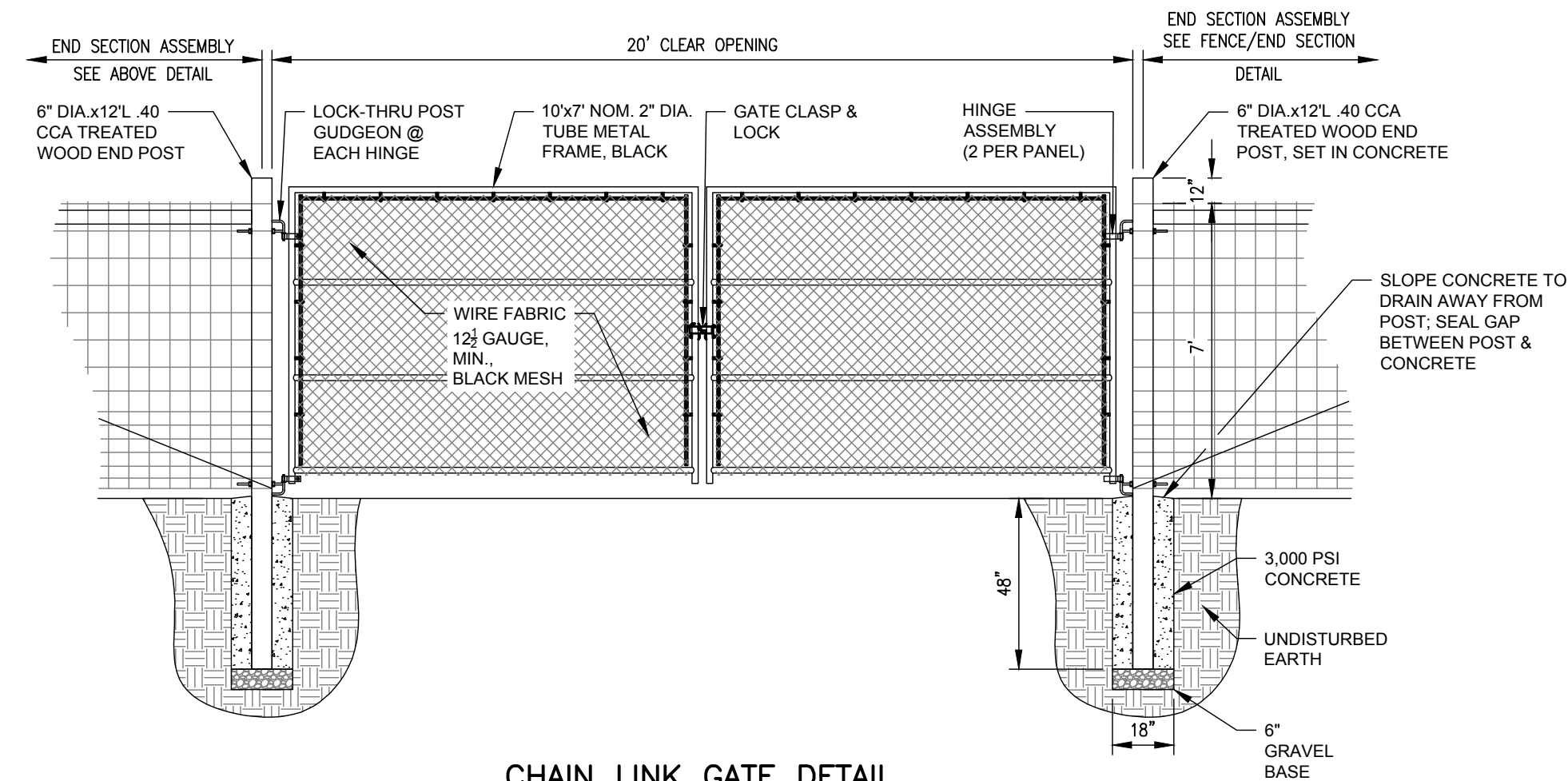
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NOT FOR CONSTRUCTION

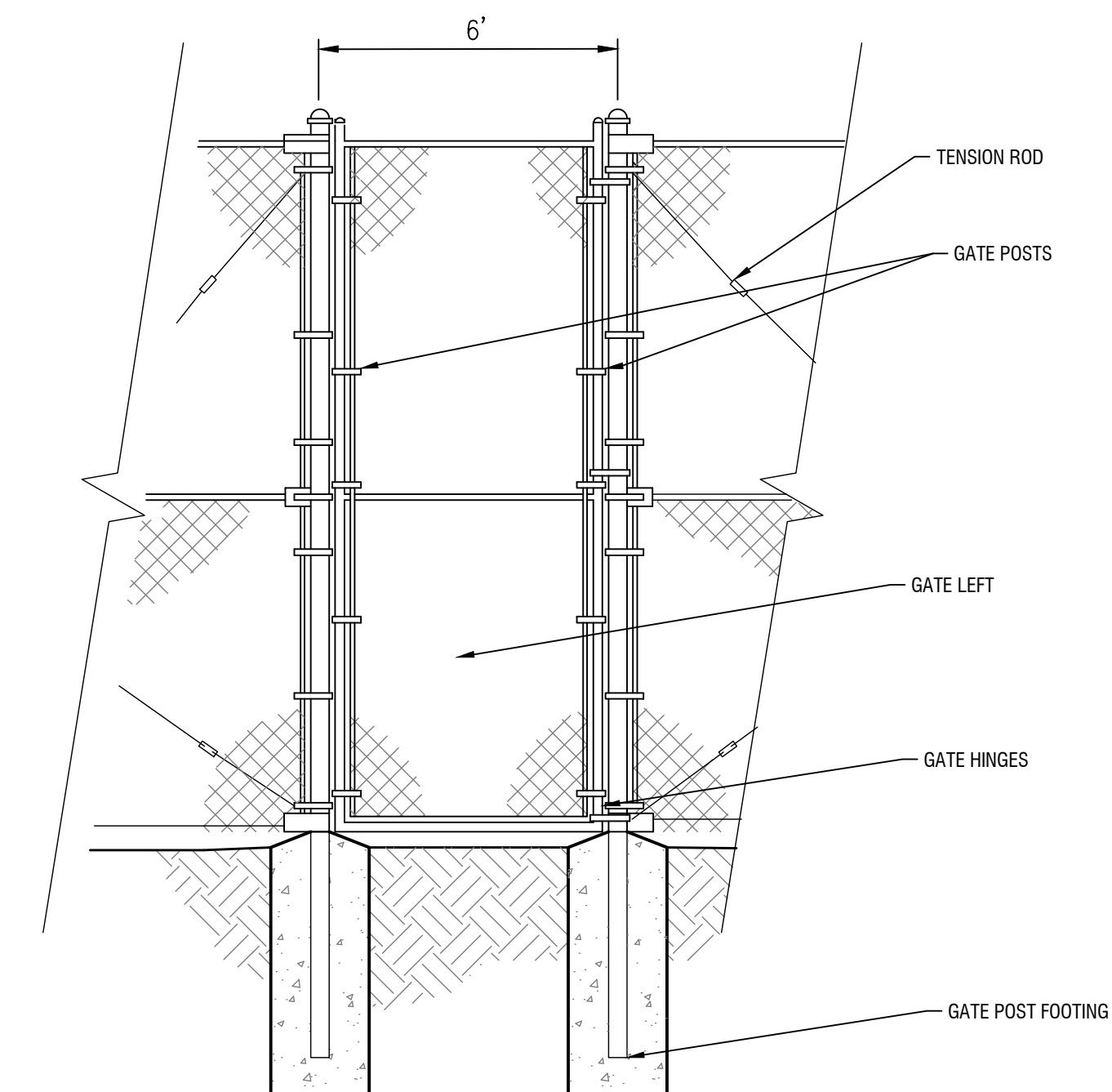
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 DATE/TIME: 10/5/2023 9:57:44 AM
 USER: Steven



TYPICAL AGRICULTURAL FENCE AND
 "DOUBLE H" END SECTION
 NO SCALE



CHAIN LINK GATE DETAIL
 NO SCALE



7' HIGH EMERGENCY MAN GATE
 NOT TO SCALE

REV	DESCRIPTION	DATE	BY
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REGISTERED PROFESSIONAL ENGINEER
 FISHIER ASSOCIATES
 P.E. L.S. L.A. D.P.C.
 New York State Education Law Section 2209(2-b) requires that all professional engineers and architects who are licensed in this state for any profession, unless they are licensed in another state, must be licensed in this state. The license of a professional engineer or architect in this state is contingent upon the engineer or architect being duly licensed in this state. The license of a professional engineer or architect in this state is contingent upon the engineer or architect being duly licensed in this state.

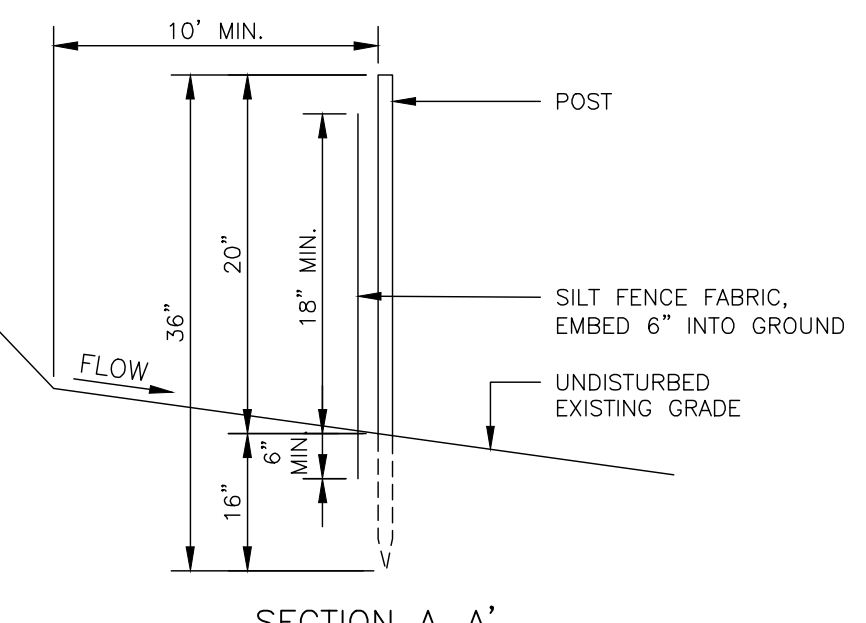
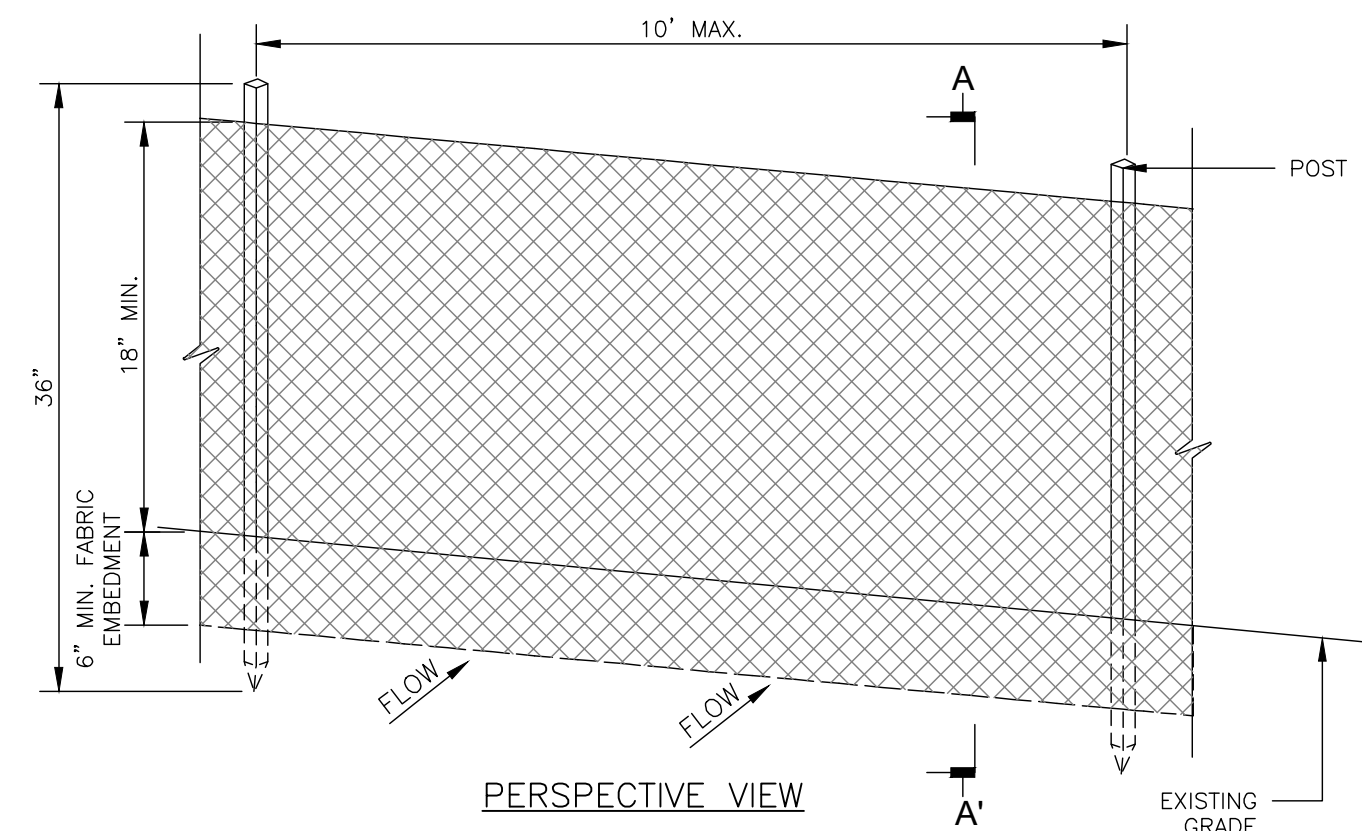
PROJECT NO.
 230529 06
 PROJECT MANAGER
 A. Dorf
 DRAWN BY
 J. TORRES
 SCALE
 AS SHOWN
 ISSUE DATE
 10/5/2023



PROJECT
 EH HENRIETTA 1 SOLAR
 EAST HENRIETTA ROAD
 TOWN OF HENRIETTA
 MONROE COUNTY, NY
 TITLE OF DRAWING
 DETAILS

DRAWING NO.
C-705
 SHEET 24 OF 26

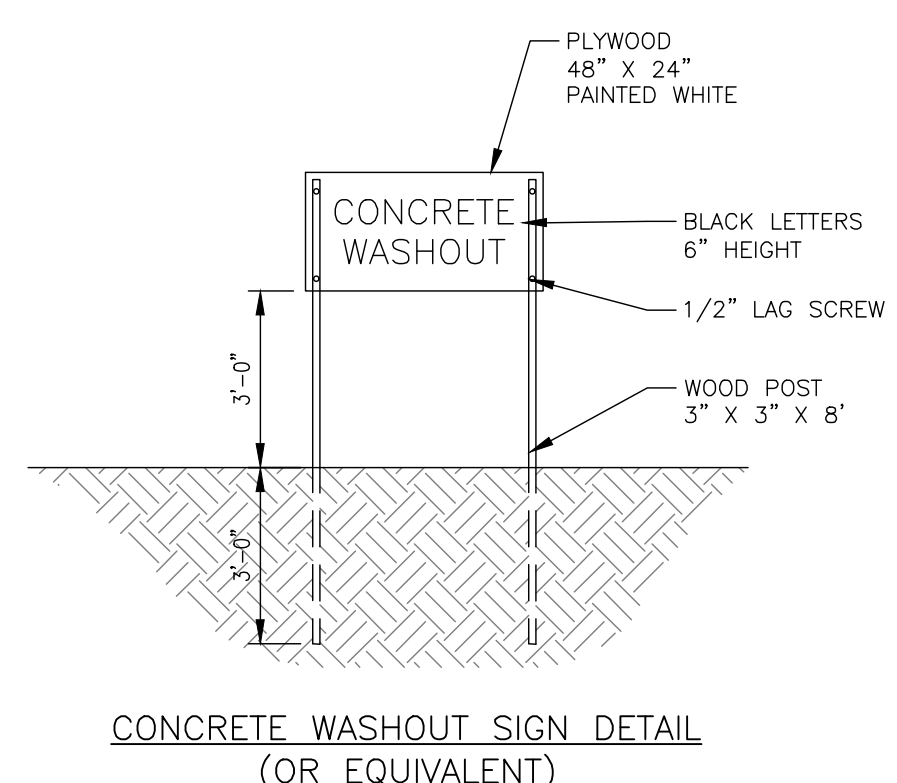
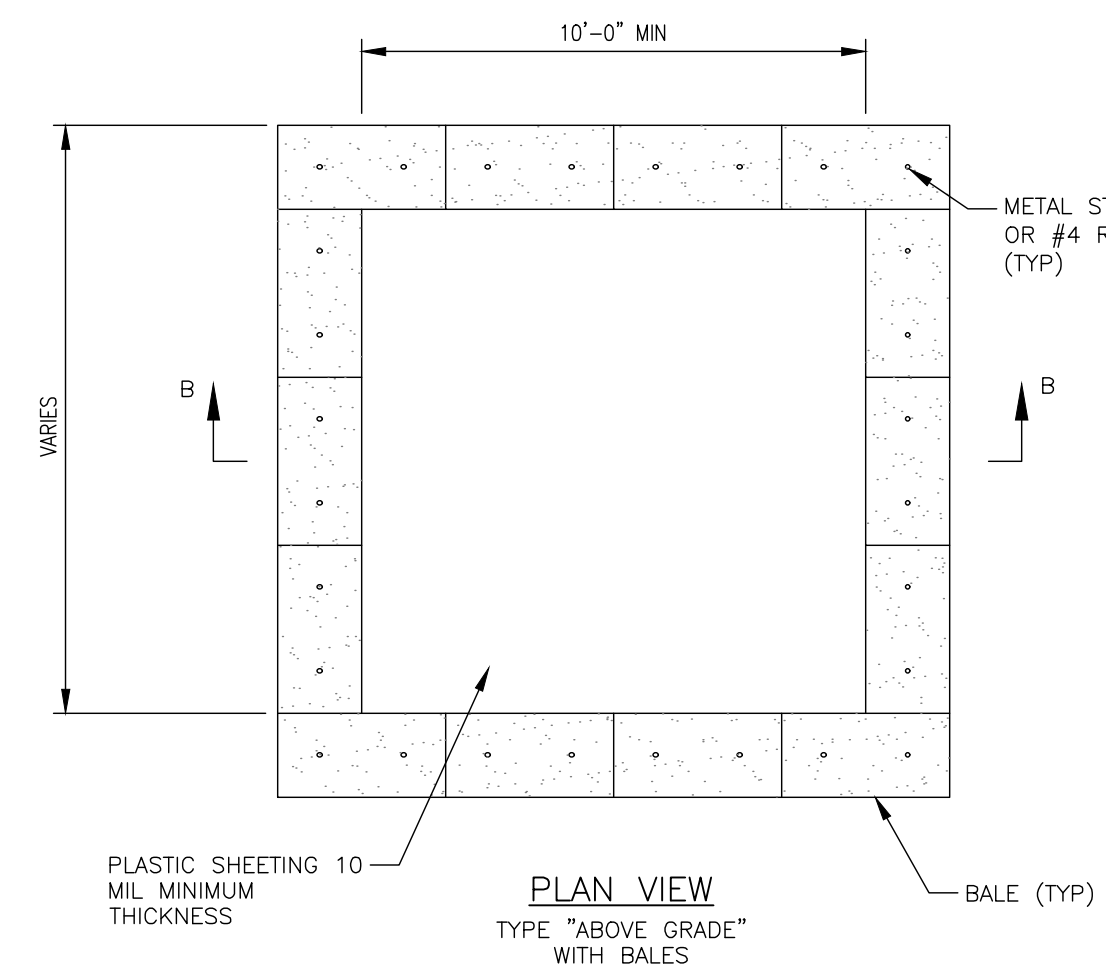
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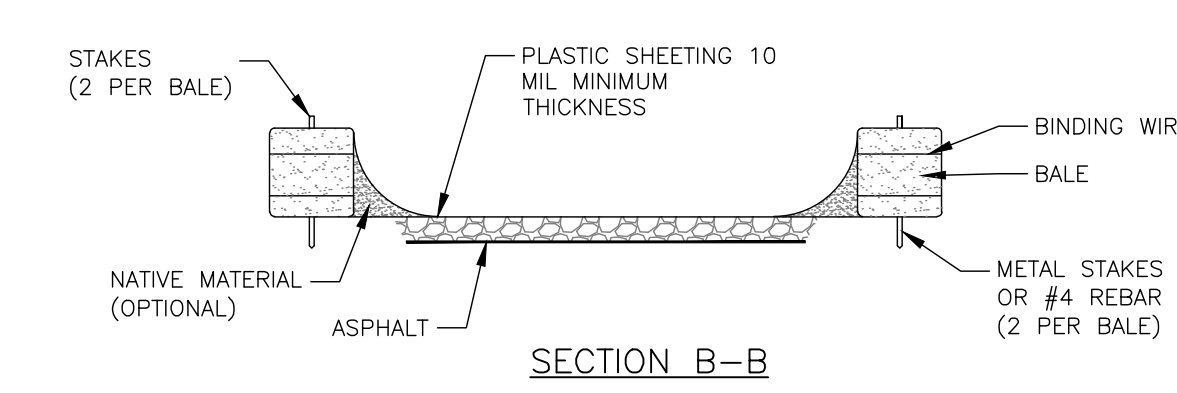
NOTES:

1. WHEN TWO SECTIONS OF SILT FENCE FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLUNKA T140N, OR APPROVED EQUAL.
2. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
3. MAINTENANCE SHALL BE PERFORMED IMMEDIATELY AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
NOT TO SCALE



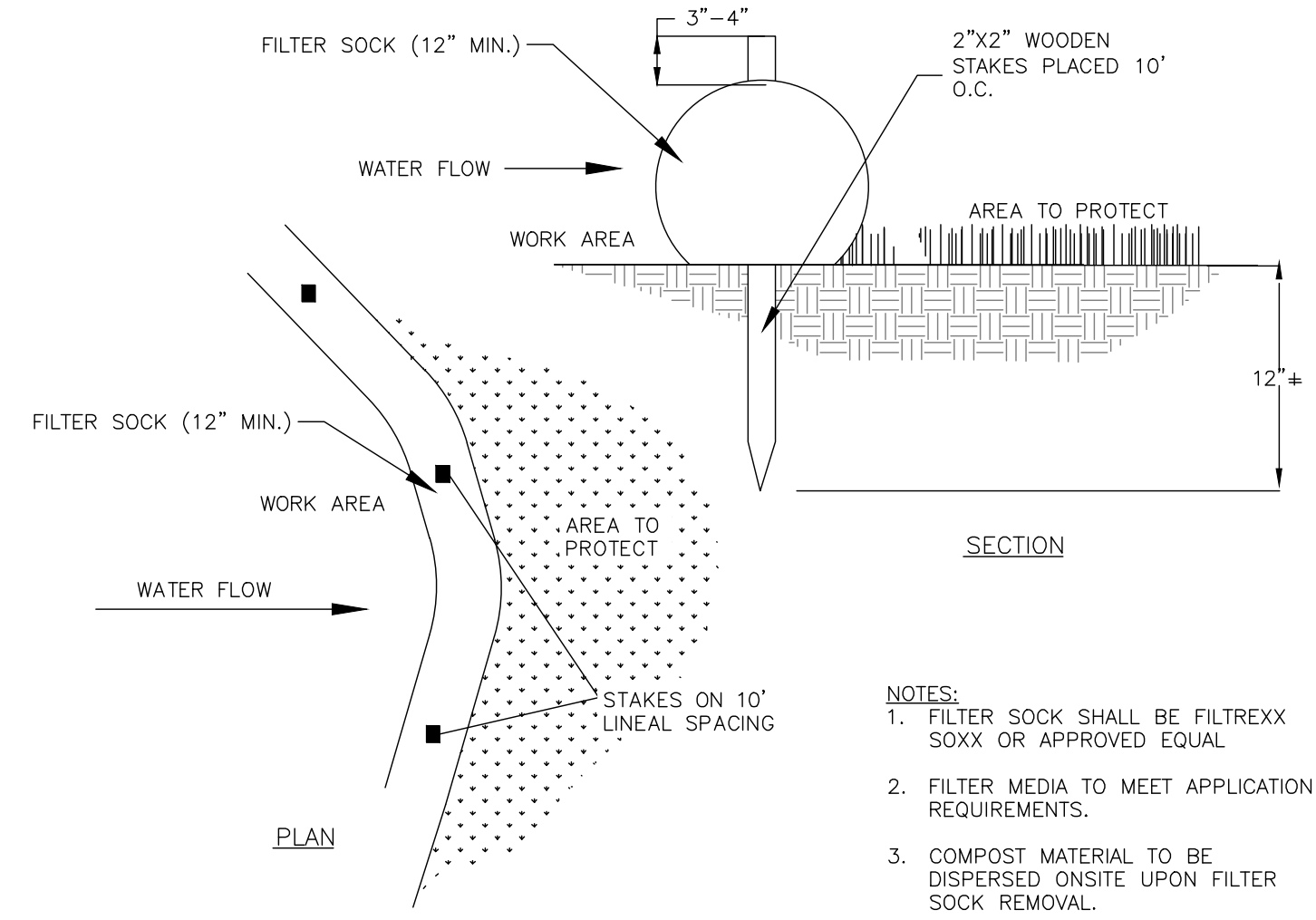
CONCRETE WASHOUT SIGN DETAIL
(OR EQUIVALENT)



CONCRETE WASHOUT (BERM TYPE)
NOT TO SCALE

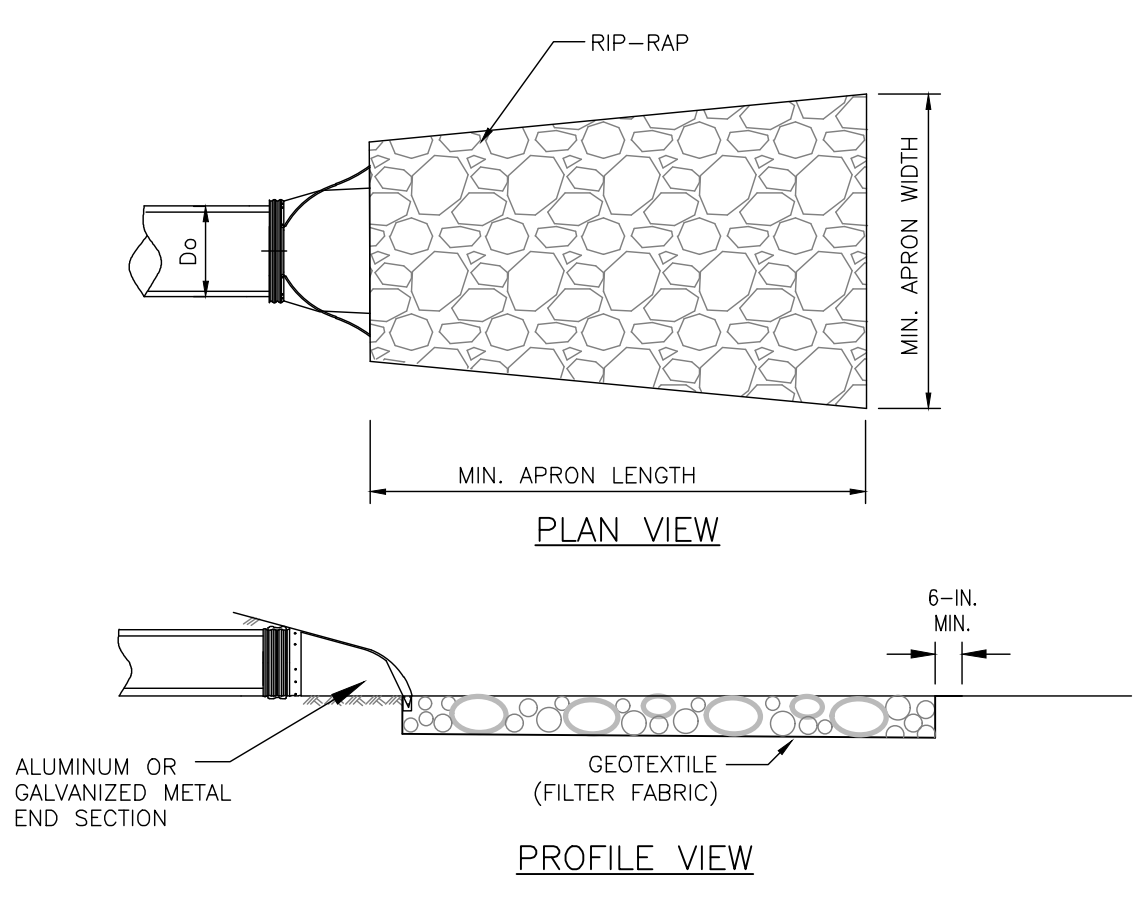
NOTES:

1. SUMPS TO BE LOCATED IN YARD BUT SHOULD BE KEPT AS FAR FROM DRAINAGE CHANNELS AND WETLAND AREAS AS PRACTICAL.
2. SUMPS TO BE CLEANED AND WASTE CONCRETE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF WORK.
3. METAL STAKES AND/OR #4 REBAR MUST BE LONG ENOUGH TO PENETRATE 6" OF GRAVEL AND ANCHOR INTO UNDERLYING ASPHALT.



- NOTES:**
1. FILTER SOCK SHALL BE FILTREXX SOXX OR APPROVED EQUAL.
 2. FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ONSITE UPON FILTER SOCK REMOVAL.

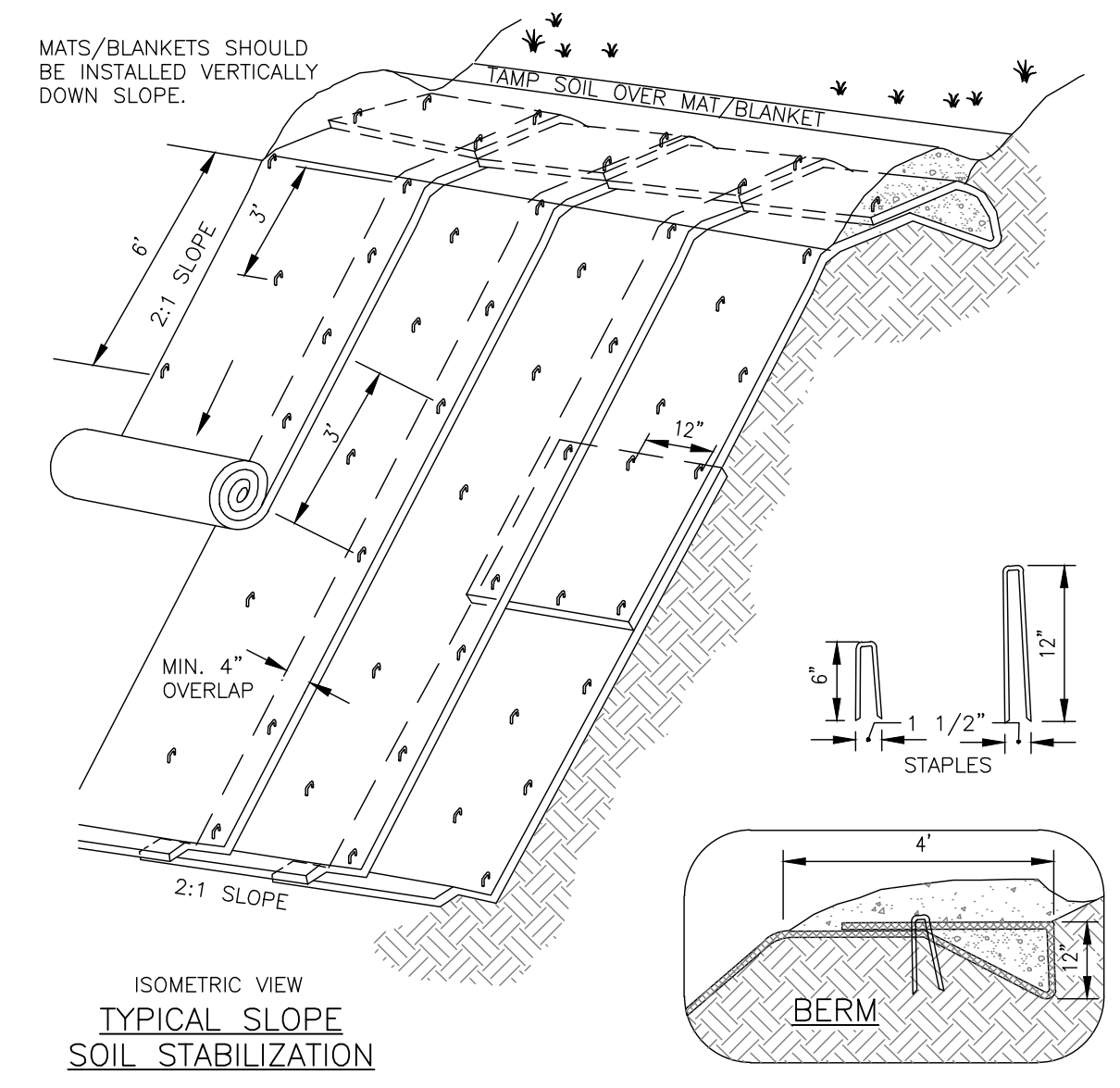
FILTER SOCK - OPTIONAL REPLACEMENT TO SILT FENCE
NOT TO SCALE



NOTE: REFER TO TABLE FOR LENGTH, WIDTH, AND DEPTH OF RIP-RAP

OUTLET PROTECTION SIZING			
OUTLET PIPE DIAMETER, D _o (IN)	MINIMUM APRON WIDTH (FT)	MINIMUM APRON LENGTH (FT)	DEPTH OF RIP-RAP (IN)
8	8	8	8
12	3	6	12
18	4	8	18
24	6	12	18
30	8	14	24
36	10	16	24
>36	12	18	30

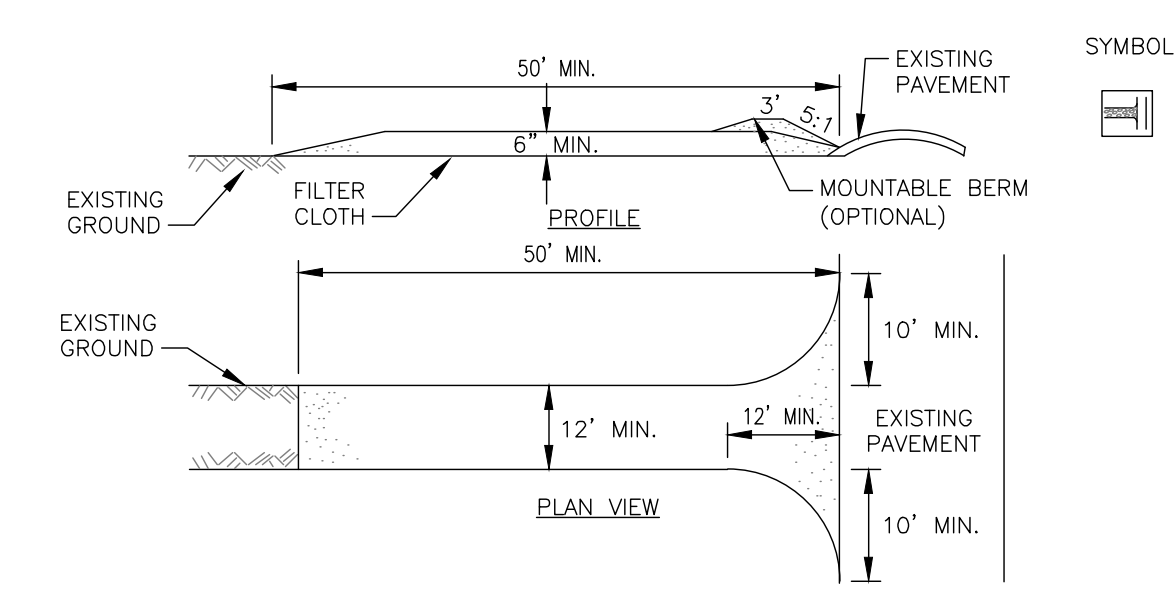
TYPICAL CULVERT ROCK OUTLET PROTECTION
NOT TO SCALE



NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION BLANKETS SLOPE INSTALLATION
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE, AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

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DATE/TIME: 10/5/2023 9:57:45 AM
USER: Steven Nelson

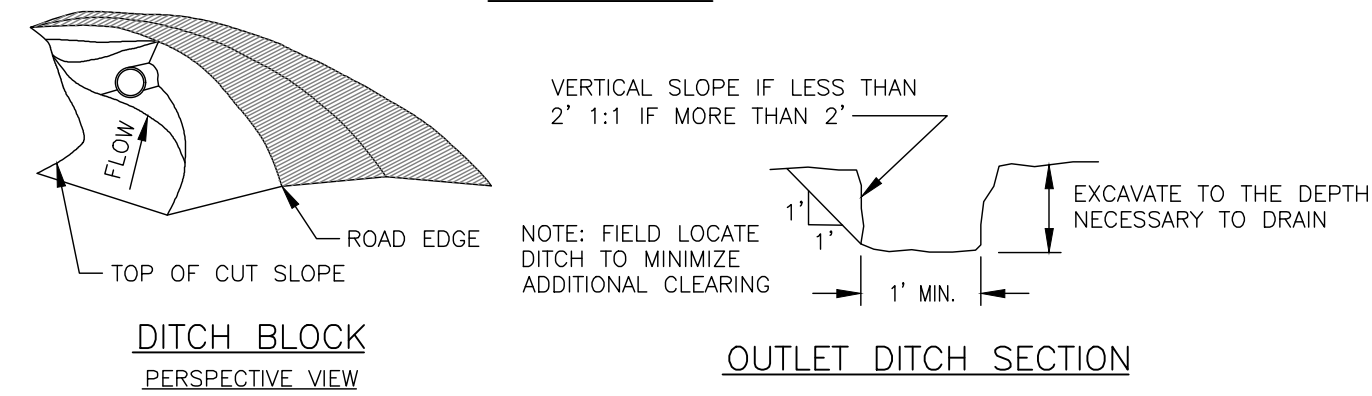
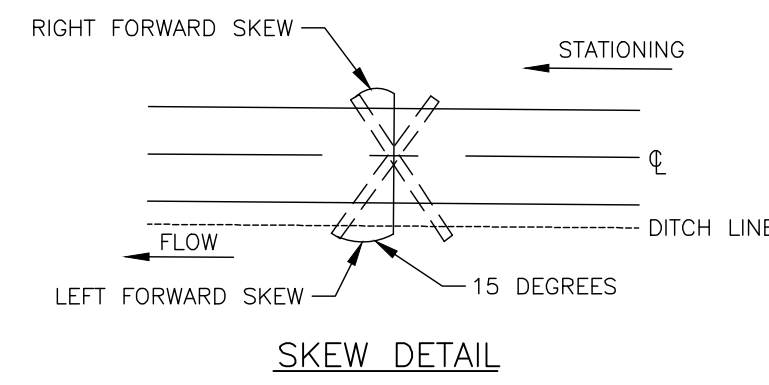
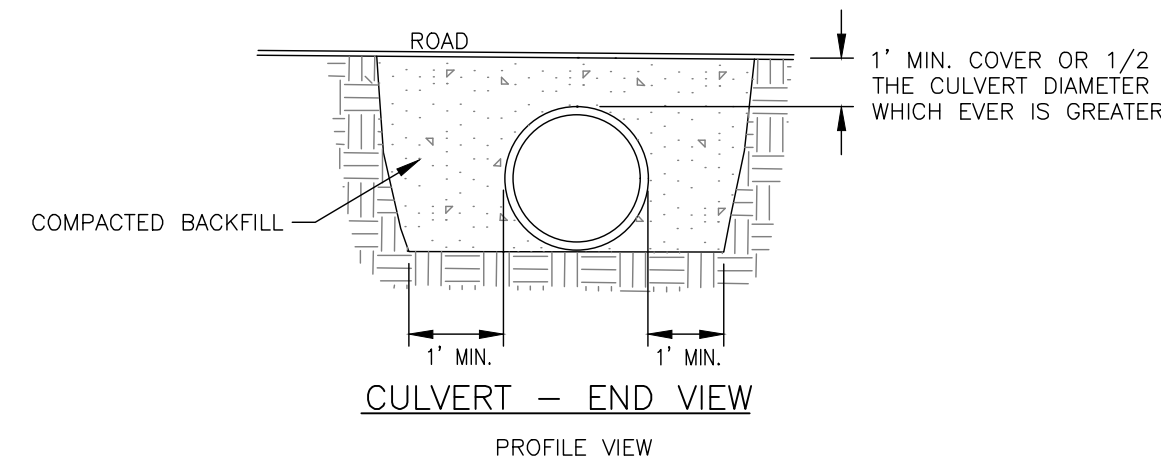
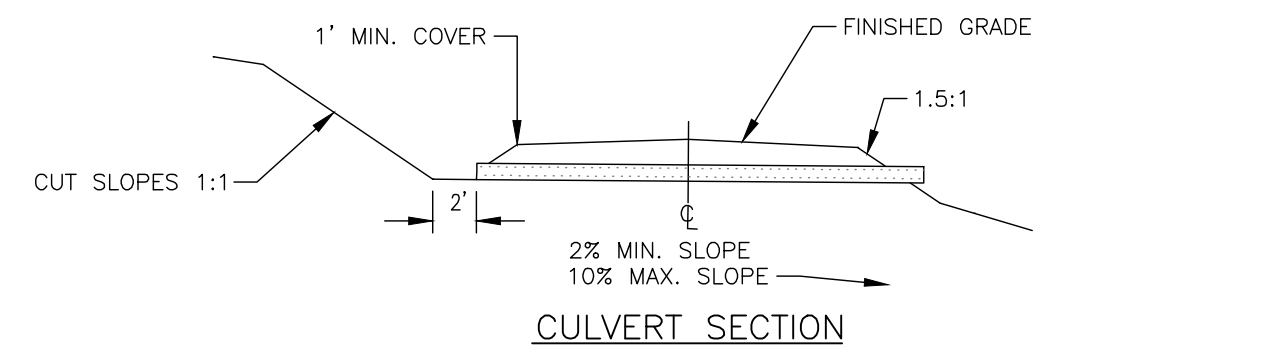
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5	4			
4	3			
3	2			
2	1			

PROJECT: EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY
 DRAWING NO: C-710
 SHEET 25 OF 26
 TITLE OF DRAWING: DETAILS
 DRAWN BY: J. TORRES
 CHECKED BY: AS SHOWN
 SCALE: AS SHOWN
 PROJECT MANAGER: A. Dorf
 PROJECT NO: 230529 06
 FA PROJECT NO: 230529 06
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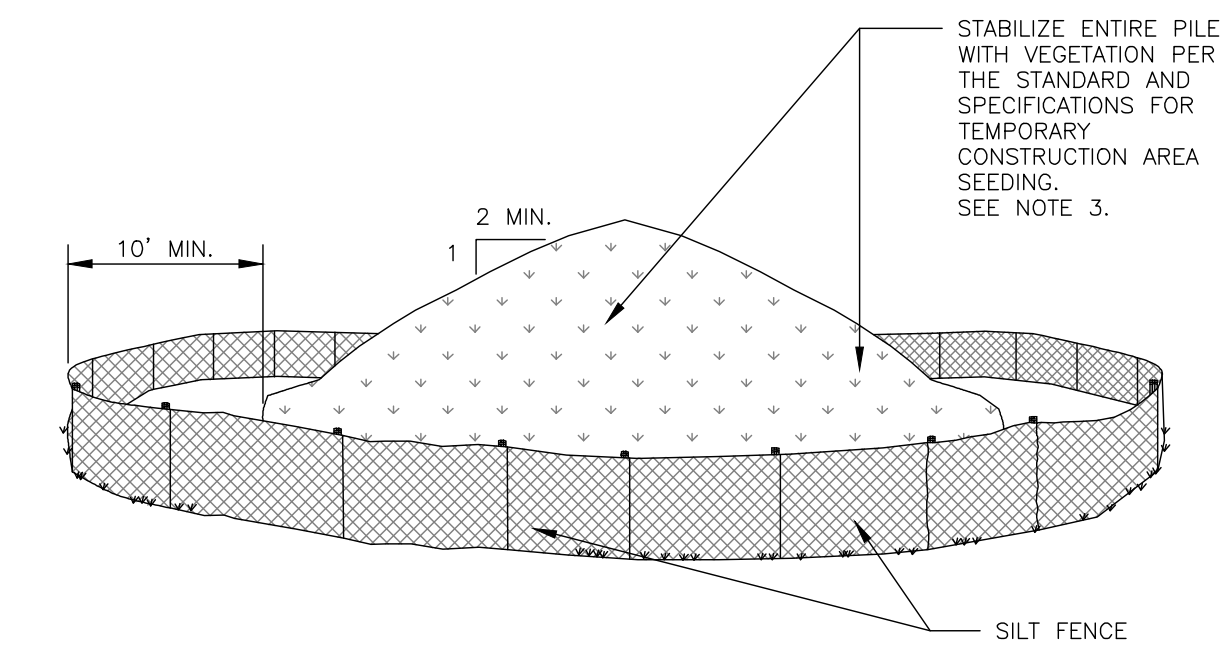


NOT FOR CONSTRUCTION

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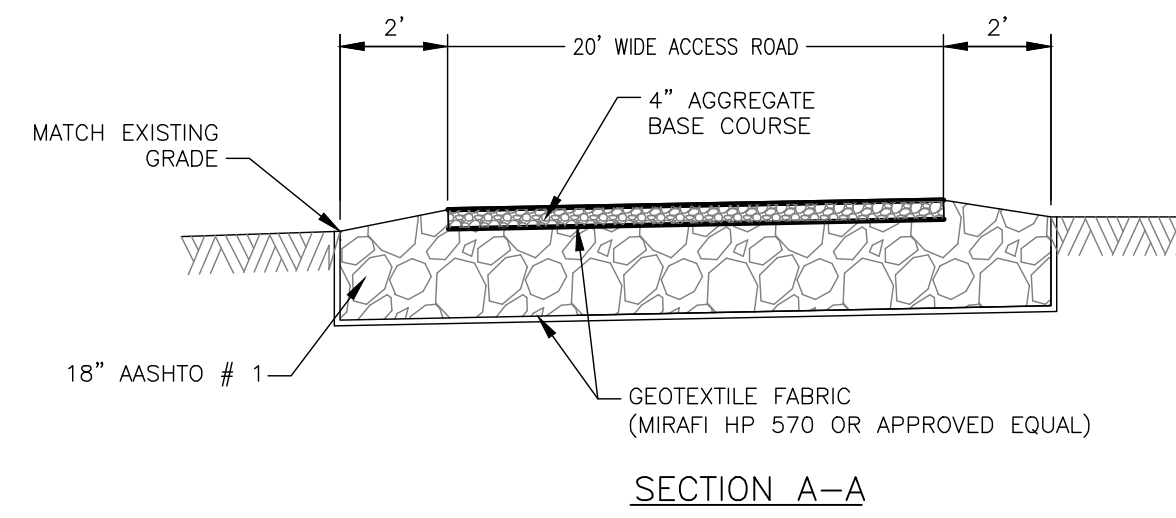
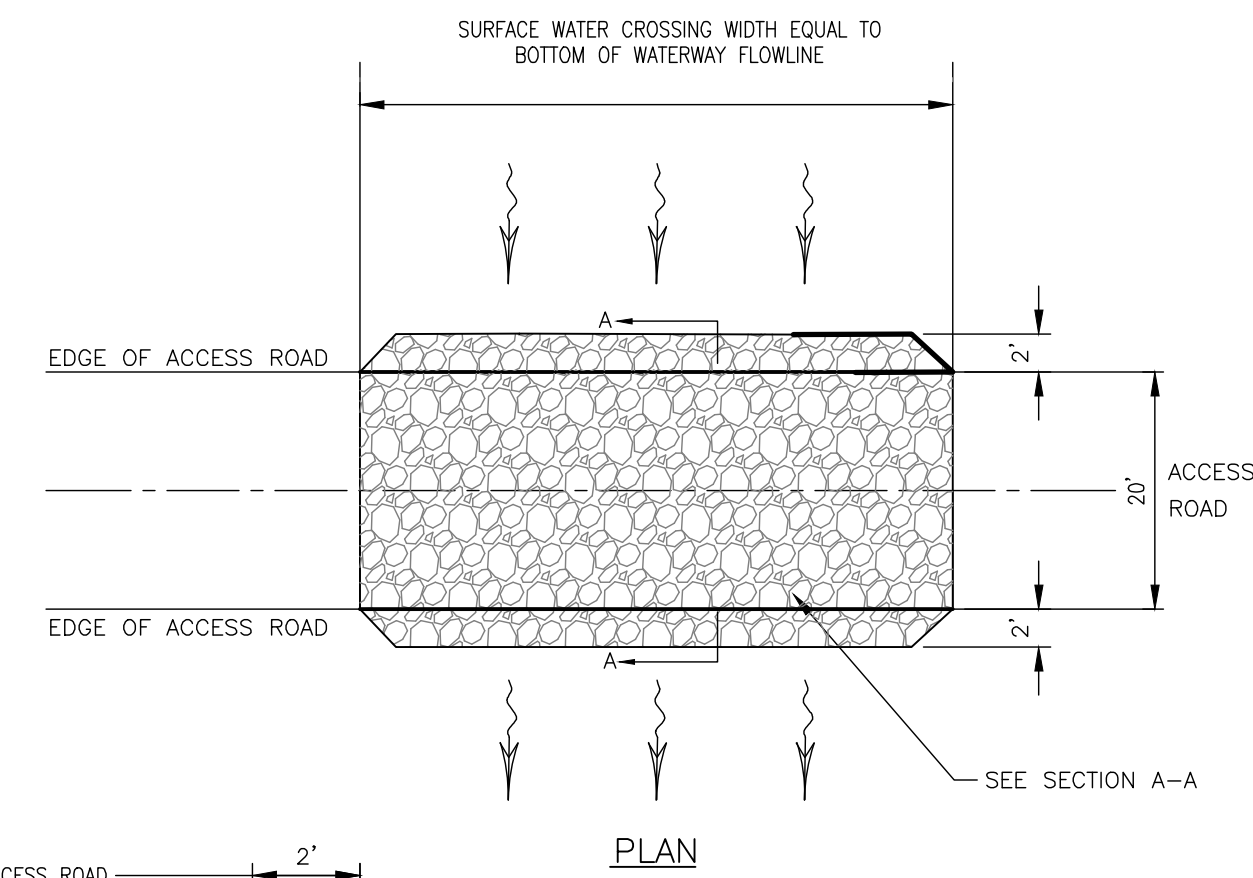


ROAD CULVERT
NOT TO SCALE



- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY, STABILIZED AND LOCATED AWAY FROM KNOWN WORK AREAS TO PREVENT RELOCATION.
 2. MAXIMUM STOCKPILE HEIGHT SHALL BE 12 FEET.
 3. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, INSTALLED PER SILT FENCE DETAIL, THEN STABILIZED IN ACCORDANCE WITH THE NYSDEC STANDARD AND SPECIFICATIONS FOR TEMPORARY CONSTRUCTION AREA SEEDING WITHIN 7 DAYS OF COMPLETION.
 4. A PERIMETER DIKE/SWALE SHALL BE LOCATED UP-SLOPE OF THE TOPSOIL STOCKPILE TO DIVERT STORMWATER AROUND THE STOCKPILE.

STABILIZED SOIL STOCKPILE
NOT TO SCALE



AT GRADE SURFACE WATER CROSSING
NOT TO SCALE

- NOTES:**
1. DRAINAGE CROSSING SHALL BE FIELD VERIFIED TO DETERMINE APPROPRIATE USE OF AT GRADE CROSSING OR CULVERT INSTALLATION TO PROVIDE POSITIVE DRAINAGE.
 2. CROSS SLOPE SHALL BE LESS THAN DITCH FLOWLINE SLOPE TO REDUCE WATER VELOCITY.
 3. DRAINAGE CROSSINGS TO BE SET AT GRADE WITH EXISTING GROUND.

PROJECT EH HENRIETTA 1 SOLAR EAST HENRIETTA ROAD TOWN OF HENRIETTA MONROE COUNTY, NY		TITLE OF DRAWING DETAILS	
DRAWING NO. C-715		SHEET 26 OF 26	
PROJECT NO. 230529 06 PROJECT MANAGER A. Dorf		DRAWN BY J. TORRES SCALE AS SHOWN	
ISSUE DATE 10/5/2023		DESCRIPTION	
REVISIONS		DATE	
7			
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NOT FOR CONSTRUCTION