



TOWN OF HENRIETTA
County of Monroe
State of New York

475 Calkins Road, Rochester, NY 14623
(585) 334-7700 • www.henrietta.org

TOWN OF HENRIETTA
APPLICATION TO TOWN BOARD

Appeal No. SP-2023-041
Date 10/10/23

SPECIAL USE PERMIT – RESTAURANT

Applicant: Reema Prabhakar [Redacted]

1900 s clinton ave Rochester Ny 14623 [Redacted]
No. & Street City State Zip Code Phone Number

Business Owner: Reema Prabhakar [Redacted]

1900 s clinton ave Rochester NY 14623 [Redacted]
No. & Street City State Zip Code Phone Number

Business Name: Laddu Gopal inc

Business Address: 1900 s clinton ave Rochester NY 14623
No. & Street City State Zip Code

Property Owner: 1425 jefferson road inc [Redacted]

1425 Jefferson rd Rochester NY 14623 [Redacted]
No. & Street City State Zip Code Phone Number

Architect/Engineer: _____
Name Email

No. & Street City State Zip Code Phone Number

Hereby request from the Town Board for a Special Use Permit for the property located at:
1425, Jefferson rd. Rochester NY 14623.
No. & Street City State Zip Code
102.11-1-12.1 Industrial
Tax Map No. Zoning District

If property is under a purchase option, indicate date option expires: _____

Under the Zoning Ordinance, a Special Permit is requested pursuant to:
Article: VIII Section: 295 Subsection: 25 Paragraph: 16 of the Zoning Ordinance.

Description of Proposal: To sell ready-made South Asian foods
7 days a week 9 AM-9 PM

IMPORTANT: Please check only those operational subtypes which you intend to operate now or in the very near future. The Town is required to assess each subtype for potential impacts, therefore if you select operational subtypes which are not truly intended to be utilized, you may unnecessarily subject your proposal to further mitigation which may not otherwise have been required.

- Sit Down Meal Service
- Take-Out Meal Service
- Drive-Through Service
- Outdoor Seating
- Bands, DJs, or Similar Loud Entertainment
- Alcohol to be Served

Printed Name: Reema Prabhakar Signature: R. Prabhakar

T. Wenzel Nov 15, 2023 TBD
Received By Date of Meeting*(unless rescheduled) Time

*A meeting date will be assigned when applications are turned in but if the application is deemed incomplete, it will not be scheduled and the Applicant will be notified.

Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Reema Prabhakar

By: *R. Prabhakar*

Title: President

Dated: 10/10/2023

Signed: *Reema Prabhakar*

Owner: *1425 Jefferson Road Inc.*
~~Reema Prabhakar~~

By: *R. Prabhakar*

Title: ~~President~~ *Manager*

Dated: 10/10/2023

Signed: *[Signature]*

Letter of Intent

I want to open a fast food shop under the name of "Laddu Gopal" in Henrietta town at 1425 Jefferson rd suite 9 Saginaw Plaza Rochester NY. I have lived in Rochester for 5 years and I am always passionate about Indian fast food business & There is a growing demand for quality Indian fast food options in our area.

The reputation and menu of Amaya Indian Cuisine of Brighton NY align perfectly with these preferences. Food will be prepared at Amaya Indian Cuisine of town of Brighton and 1425 Jefferson rd suite 9 in Henrietta would be the selling location.

I am confident that I can bring a high level of dedication and commitment to maintaining the quality standards that Amaya Indian Cuisine of Brighton renowned for. we can bring modern Indian flavors to town of Henrietta.

Applicant : Reema Prabhakar
Address : 1900 S Clinton ave
Rochester NY 14623

Phone : [REDACTED]

Email : [REDACTED]

1425 Jefferson Rd. Inc.
1425 Jefferson Road
Rochester, NY 14623
(O) (585) 272-8204 | (F) (585) 272-1529
[REDACTED]

October 6, 2023

Town of Henrietta Building and Fire Prevention
475 Calkins Road
Henrietta, NY 14467

Re: Laddu Gopal, Inc. - Special Use Permit

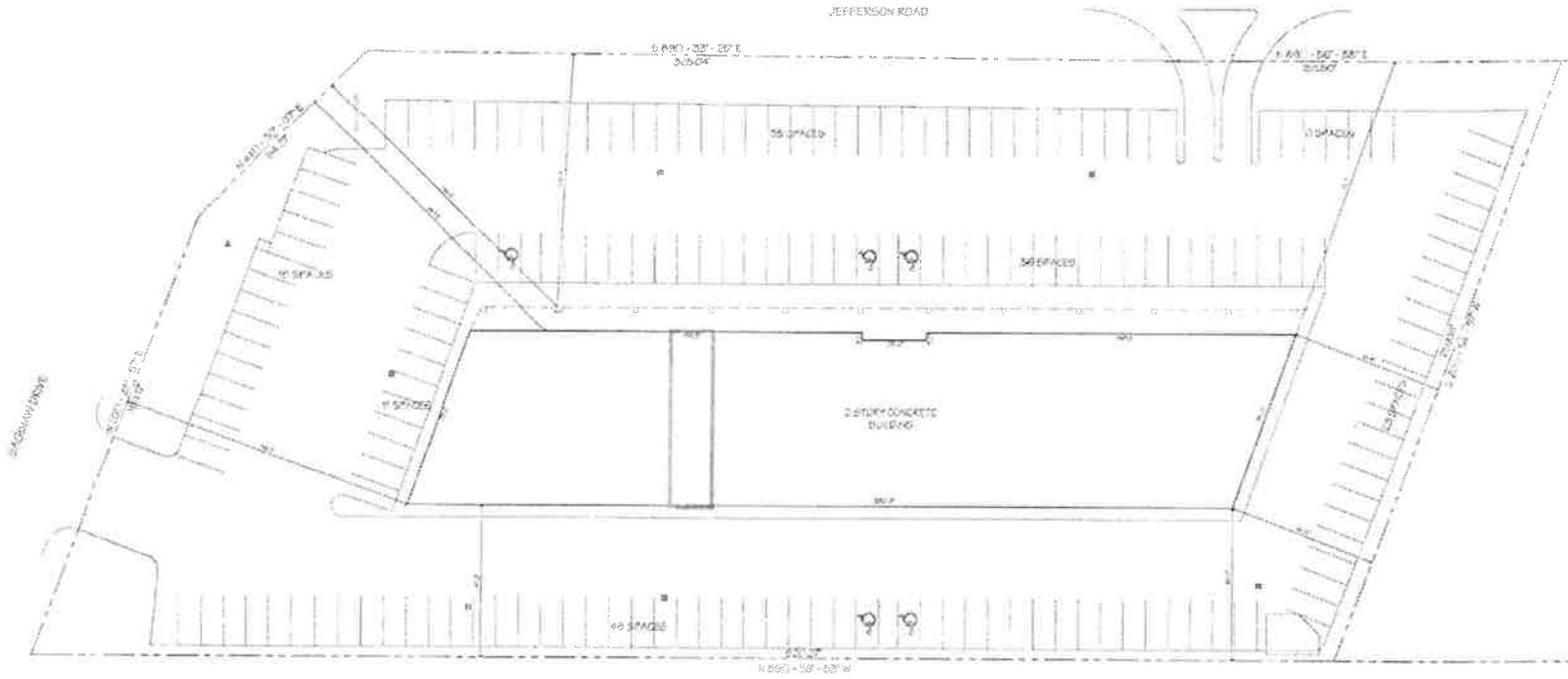
To Whom It May Concern:

This is a letter of authorization for purposes of obtaining a Special Use Permit per Town Code. Saginaw Plaza "The Building" located at 1425 Jefferson Road is a commercial building zoned as Industrial Mixed-Use. The Tenant, Laddu Gopal, Inc., is a prepared Indian food shop that will plan to sell ready-made South Asian foods. Their hours of operation will be Monday through Sunday 9am to 9pm. The Tenant is proposing for an application for Special Use to be accepted for them to operate in the proposed location in the Building. Thank you for your consideration and anticipated cooperation.

Sincerely,



Yilmaz B. Yoruk
Yoruk Management Company
[REDACTED]




SITE PLAN
 SCALE: 1" = 20' 0"
 SITE PLAN BASED ON SITE DESIGN FROM PLANNING SECTION

REV.	DESCRIPTION	BY	DATE

SABENAW PLAZA
 SITE PLAN
 FENITY ASSOCIATES ARCHITECTS
 1111 W. WASHINGTON ST., SUITE 100
 MILWAUKEE, WI 53233
 TEL: 414.224.1111 FAX: 414.224.1112
 WWW.FENITY.COM

FENITY ASSOCIATES ARCHITECTS
 1111 W. WASHINGTON ST., SUITE 100
 MILWAUKEE, WI 53233
 TEL: 414.224.1111 FAX: 414.224.1112
 WWW.FENITY.COM



APPROVED BY: [Signature]
 TITLE: [Title]
 DATE: [Date]

DRAWN BY: [Signature]
 ISSUE DATE: 10/2/23