



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 12/14/23

I (we) Irmarfer Structures US of 6957 Speedway Blvd, Suite 106
Name of Applicant / Business Business Address (Number & Street)

Las Vegas, Nevada 89115 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 457 Middle Road Industrial (I) - TA# 175.04-1-5
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

Proposed construction of four (4) mini-storage buildings of varying sizes (3000-5400 sf) with associated access drives, stormwater management and utilities.

Applicant: Irmarfer Structures US

Address: 6957 Speedway Blvd
Suite 106

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: Middle Road Storage LLC

Address: 457 Middle Rd
Henrietta, NY 14467

Phone #: [REDACTED]

Email: [REDACTED]

Engineer/Architect: BME Associates

Address: 10 Lift Bridge Lane East
Fairport, NY 14450

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: _____

Address: _____

Phone #: _____

Email: _____

Applicant Signature: 

Print Name: Jacob Berardi

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

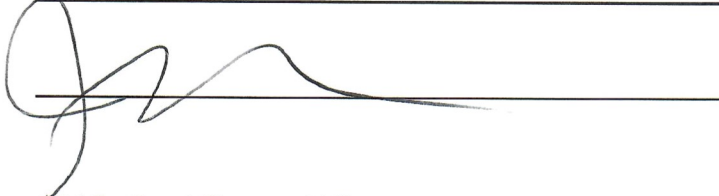
- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: Irmarfer Structures US

By: Jacob Berardi

Title: North American Sales/Rentals

Dated: 12/14/23

Signed: 

Owner: Middle Road Storage LLC

By: Same as applicant

Title: Same as applicant

Dated: 12/14/23

Signed: 

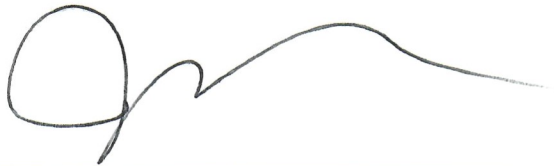
Authorization to Make Application

I, Jacob Berardi (Irmarfer Structures US), authorize

BME Associates to act as my agent to make application(s) to the Town of Henrietta

for the purpose of Site Plan application and any other required approvals, for the property

located at 457 Middle Road, Henrietta, NY 14467



Signature

12/14/23

Date



December 13, 2023

Planning Board
Town of Henrietta
475 Calkins Road
Henrietta, NY 14467

**Re: Preliminary/Final Site Plan Application
Middle Road Mini Storage, T.A. #175.04-1-5
LETTER OF INTENT**

2620A

Dear Board Members:

On behalf of the applicant Irmarfer Structures US, we submit the enclosed application for Planning Board Site Plan approval. We request to appear at the Planning Board's January 16th, 2024 meeting and we have enclosed the following application materials for your review.

- Letter of Intent
- Site Plan Application
 - Preliminary/Final Site Plans (14 complete sets)
 - Site Plan Application Form
 - Reimbursement of Fees Form
 - Site Plan Checklist
 - Engineering Review Charges Form
 - Short Form EAF
 - Architectural Rendering
 - Lighting Cut Sheets
 - ITE Trip Generation Counts
 - Engineers Report (1 copy)
 - \$150.00 Application Fee (Paid through Online Portal)
 - \$700.00 Site Plan Engineering Review Fee (Paid through Online Portal)

The ±1.8 acre parcel is located on Middle Road, bearing tax account number 175.04-1-5. The property is located on the western side of Middle Road approximately 1,650 feet south of the Lehigh Station Road (NYS RT 253). On February 13, 2019, the proposed project was issued a negative SEQR declaration (Town Board Resolution #4-76/2019), and the property was rezoned to (I) Industrial, (Town Board Resolution #4-77/2019), to be consistent with the adjacent industrially zoned parcels and allow for the proposed mini storage use.

The current proposal is consistent with the previously proposed development located on this property which received Site Plan approval from the Planning Board on May 14, 2019, and proposed four storage buildings of varying sizes, between 3,000 SF and 5,400 SF, totaling approximately 18,300. The previously proposed development also received three area variances from the Zoning Board of Appeals on May 9, 2019. The two area variances being requested with the current proposal for the mini storage buildings (front and rear setback) are identical to the ones previously approved. The third area variance previously granted was for a front setback reduction for a kiosk structure near the entry, however this kiosk is no longer included as part of the project.

The proposal now includes a public water service for domestic water use via a connection to the existing watermain along Middle Road. The water service will enter Building #4 where the meter and backflow

devices are located. A sanitary sewer lateral is now proposed that will also be installed to serve the site. An electric service will be requested to power the building mounted lights, electronic gate and associated card readers. Dark sky compliant lighting fixtures will be provided on the buildings for safety and security, but no pole mounted fixtures are proposed. No electrical power will be supplied inside of the storage units. No refuse or recycling areas are needed as the development will require any users to carry their garbage off-site with them. A stormwater management facility will be constructed in the front of the property to collect, detain and treat runoff prior to discharging into road side swale where it will continue to flow south as it does under existing conditions. The stormwater management plan meets the intent of the water quantity control and water quality treatment goals of the design standards, and a detailed stormwater pollution prevention plan (SWPPP) has been prepared and submitted for review with this application. There are no wetlands present at the property and the site is not located within a 100-year floodplain.

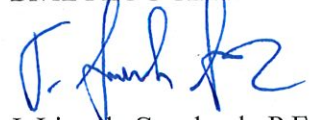
A single entrance to the property is proposed near the northern limits to maximize the available sight distances in both directions. A separate application is being made to the Monroe County Department of Transportation for the proposed entrance approval. A sliding gate and card reader system will be installed at the entrance, which has been set into the site to allow for stacking for greater than two cars with a temporary parking/turn around area. Trip Generation Tables from the ITE Trip Generation Manual 9th Edition have been included with this letter with the anticipated number of trips noted. The total estimated trip generation for a weekday is approximately 48 trips (24 vehicles entering and exiting). Both the AM and PM weekday peak hour trips are estimated at approximately 5-6 trips (3 vehicles entering and exiting). These thresholds are below the required number of trips to require a traffic study for the project.

There is an existing fence along the southern and western limits of the property, which borders NYS I-390 and the NYS Power Authorities' power lines. The development will include construction of a six-foot high chain link fence on the north and eastern sides of the property to enclose the units. A landscaped buffer has been proposed along the northern limits of the property to screen the adjacent single-family home. It should be noted the adjacent property to the north containing the single-family home is also zoned (I) Industrial.

The applicant is requesting area variances from the Zoning Board of Appeals to allow for a 90' front setback, where 125' is required for the mini-storage unit buildings, and a 29.5' front setback where 125' is required for the proposed kiosk structure, per Section 295-28(A) of the Town Code. The applicant is also requesting the Zoning Board approve a 33' rear yard setback where 60' is required for the mini-storage unit buildings, per Section 295-28(C). If the code required setbacks are maintained, then less than a third of the land would be available to configure the proposed storage units. The reduction of the front and rear setbacks provides the area needed to construct an economically viable project.

We will be in attendance at the January 16th, 2024, Planning Board meeting to present this application. If you require any additional information prior to then, please contact our office.

Very truly yours,
BME ASSOCIATES



J. Lincoln Swedrock, P.E.

/JGC

Encl.

c: Jacob Berardi



SITE PLAN CHECKLIST

PROJECT NAME: **Middle Road Mini Storage**

APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection **N/A**
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: Middle Road Mini Storage

APPLICATION No. _____

-
-
- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
 - 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
 - 14 List the names of existing streets, their legal width, and jurisdiction.
 - 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
 - 16 Show planned use for the proposed structure (i.e. office etc).
 - 17 Show proposed and/or existing setbacks.
 - 18 Show parking requirements (indicate the proposed and required).
 - 19 Show the fire lanes. **N/A**
 - 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
 - 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: Middle Road Mini Storage

APPLICATION No. _____

-
-
- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
 - 23 Please plan to bring samples of the proposed architectural materials to the meeting.
 - 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
 - 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
 - 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
 - 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
 - 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
 - 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
 - 30 Show wetland and buffer zone limits (when applicable). **N/A**
 - 31 Show floodplain and floodway limits (when applicable). **N/A**
 - 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
 - 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: **Middle Road Mini Storage**

APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components. **N/A**
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public. **N/A**
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed. **N/A**
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan. **N/A**
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: **Middle Road Mini Storage**

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required **14 sets**
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total). **N/A**

Prepared for: **Jacob Berardi**

Name of Developer

Irmarfer Structures US

Company Name

6957 Speedway Blvd, Suite 106

Street Address

Las Vegas, Nevada 89115

City, State, Zip



12/13/23

Date



SITE PLAN CHECKLIST

PROJECT NAME: **Middle Road Mini Storage**

APPLICATION No. _____

Telephone Number


Prepared by: **James Cretekos, P.E.**
Name of Consultant

12/13/23
Date

BME Associates
Company Name

10 Lift Bridge Lane East
Street Address

Fairport, NY 14450
City, State, Zip


Telephone Number

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	<u>Jacob Berardi</u>
Responsible Firm	<u>Irmarfer Structures US</u>
Street Address	<u>6957 Speedway Blvd, Suite 106</u>
City, State, Zip Code	<u>Las Vegas, Nevada 89115</u>
Telephone Number	<u>██████████</u>

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	<u>Jacob Berardi</u>
Responsible Firm	<u>Irmarfer Structures US</u>
Street Address	<u>6957 Speedway Blvd, Suite 106</u>
City, State, Zip Code	<u>Las Vegas, Nevada 89115</u>
Telephone Number	<u>██████████</u>

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By	<u>BME Associates</u>
Address	<u>10 Lift Bridge Lane East</u>
City, State Zip	<u>Fairport, NY 14450</u>
Telephone Number (<u>██████████</u>

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Middle Road Mini Storage			
Project Location (describe, and attach a location map): Middle Road, Town of Henrietta			
Brief Description of Proposed Action: Proposed +/-132 mini storage units on +/-1.8 acres located on Middle Road in the Town of Henrietta. Improvements include access drives, landscaping, utilities and a stormwater management facility.			
Name of Applicant or Sponsor: Irmarfer Structures US	Telephone	[REDACTED]	
	E-Mail	[REDACTED]	
Address: 6957 Speedway Blvd			
City/PO: Las Vegas	State: NV	Zip Code: 89115	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Henrietta Zoning & Planning Boards		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.8 acres	
b. Total acreage to be physically disturbed?		1.8 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.8 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Onsite Stormwater Management Facility _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ Onsite Stormwater Management Facility _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>BME Associates (Agent for applicant)</u> Date: <u>12/13/23</u> Signature: <u><i>Aaron Beyler</i></u> Title: <u>Engineer</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

Land Use: 151 Mini-Warehouse

Description

Mini-warehouses are buildings in which a number of storage units or vaults are rented for the storage of goods. They are typically referred to as "self-storage" facilities. Each unit is physically separated from other units, and access is usually provided through an overhead door or other common access point.

Additional Data

Truck trips accounted for 2 to 15 percent of the weekday traffic at the sites where data were available.

Vehicle occupancy ranged from 1.2 to 1.9 persons per automobile on an average weekday.

Peak hours of the generator—

The weekday P.M. peak hour was between 12:00 p.m. and 7:00 p.m. The Saturday peak hour was between 10:00 a.m. and 1:00 p.m. The Sunday peak hour was between 1:00 p.m. and 6:00 p.m.

For the purpose of this land use, the independent variable "occupied storage units" is defined as the number of units that have been rented.

The sites were surveyed between 1979 and 2008 in California, Colorado, Massachusetts, New Jersey and Texas.

Source Numbers

113, 212, 403, 551, 568, 642, 708, 724

Mini-Warehouse (151)

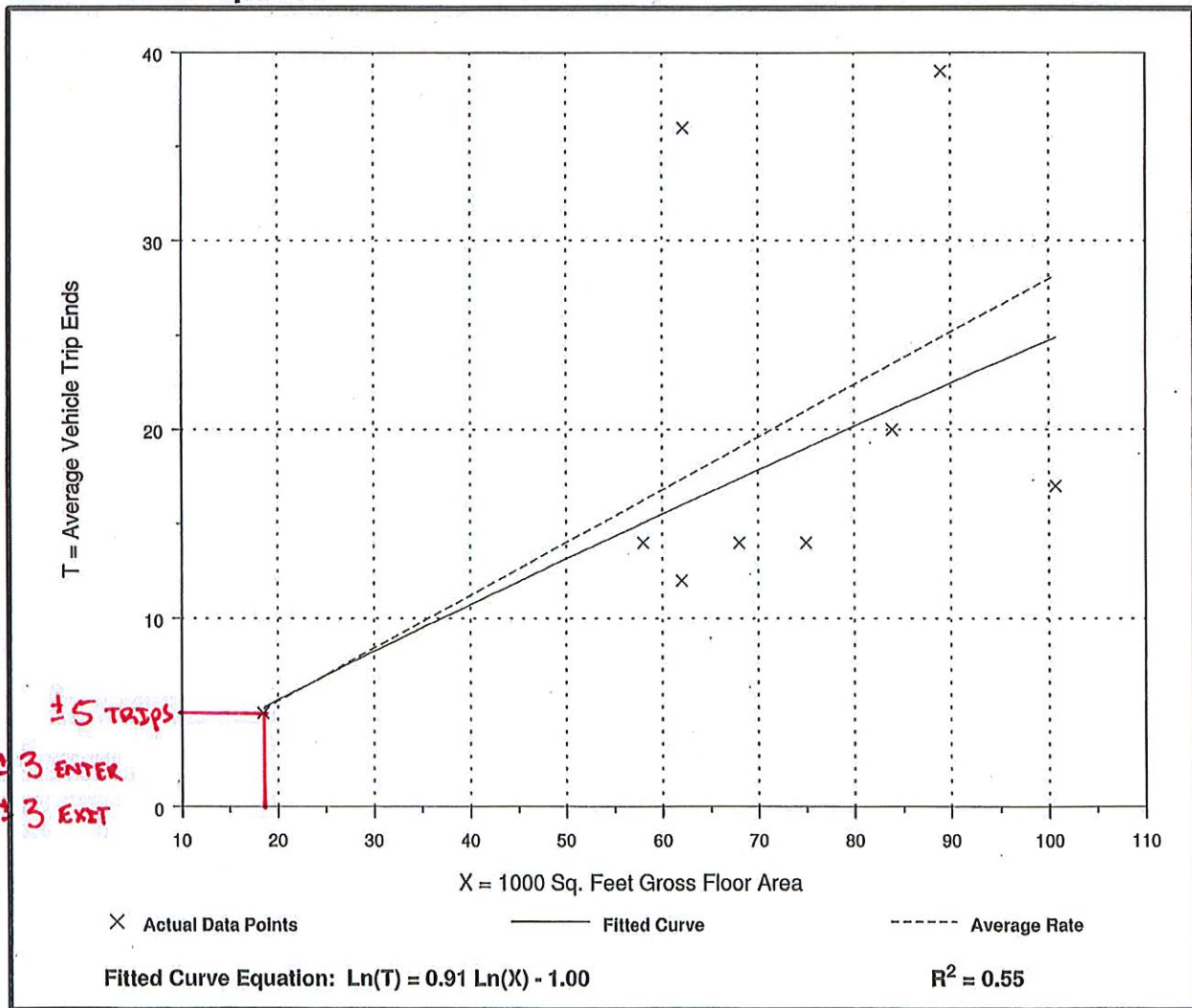
Average Vehicle Trip Ends vs: **1000 Sq. Feet Gross Floor Area**
 On a: **Weekday,**
A.M. Peak Hour of Generator

Number of Studies: 9
 Average 1000 Sq. Feet GFA: 69
 Directional Distribution: 48% entering, 52% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
0.28	0.17 - 0.58	0.54

Data Plot and Equation



Mini-Warehouse (151)

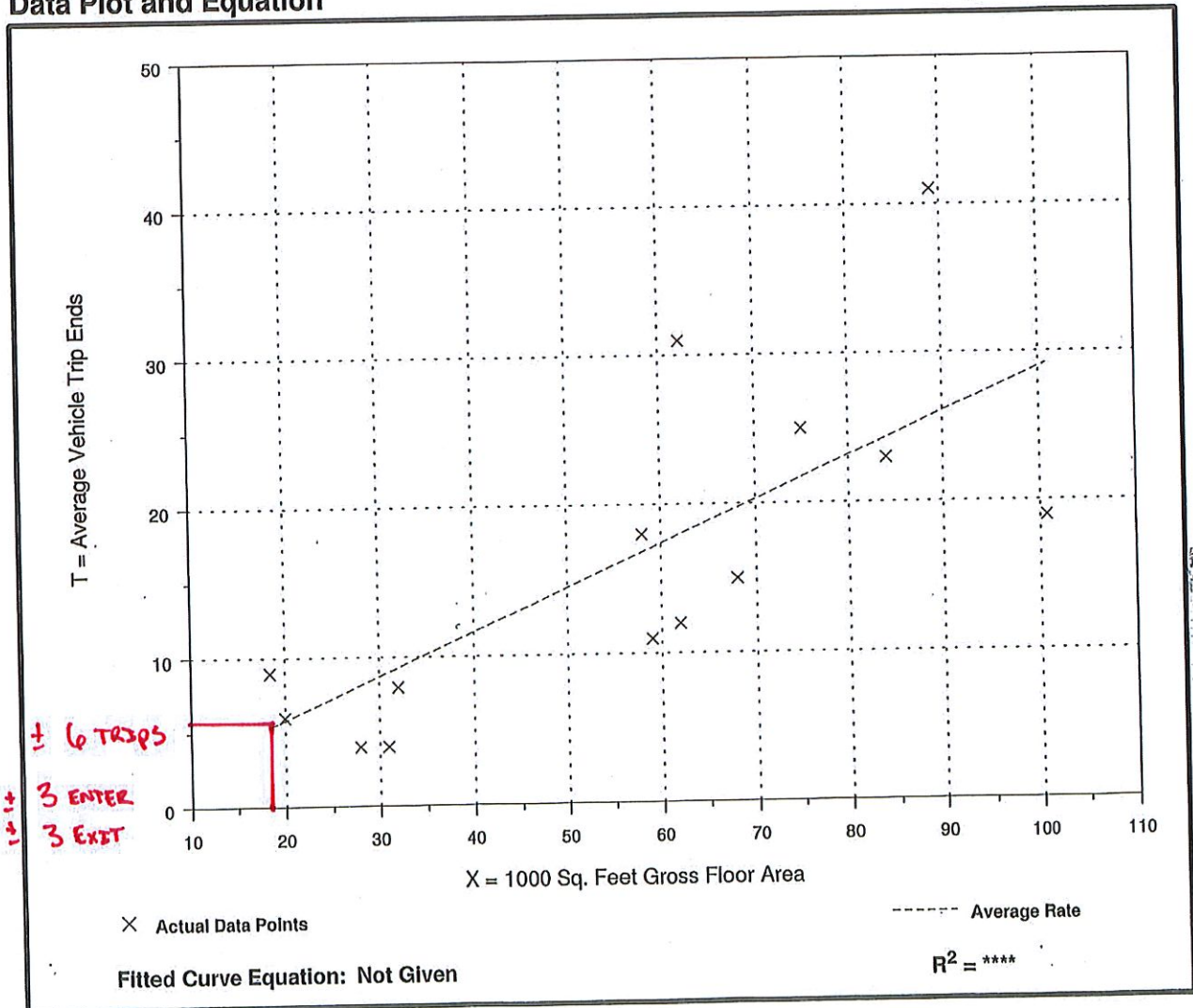
Average Vehicle Trip Ends vs: **1000 Sq. Feet Gross Floor Area**
 On a: **Weekday,**
P.M. Peak Hour of Generator

Number of Studies: 14
 Average 1000 Sq. Feet GFA: 56
 Directional Distribution: 53% entering, 47% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
0.29	0.13 - 0.50	0.54

Data Plot and Equation



Mini-Warehouse (151)

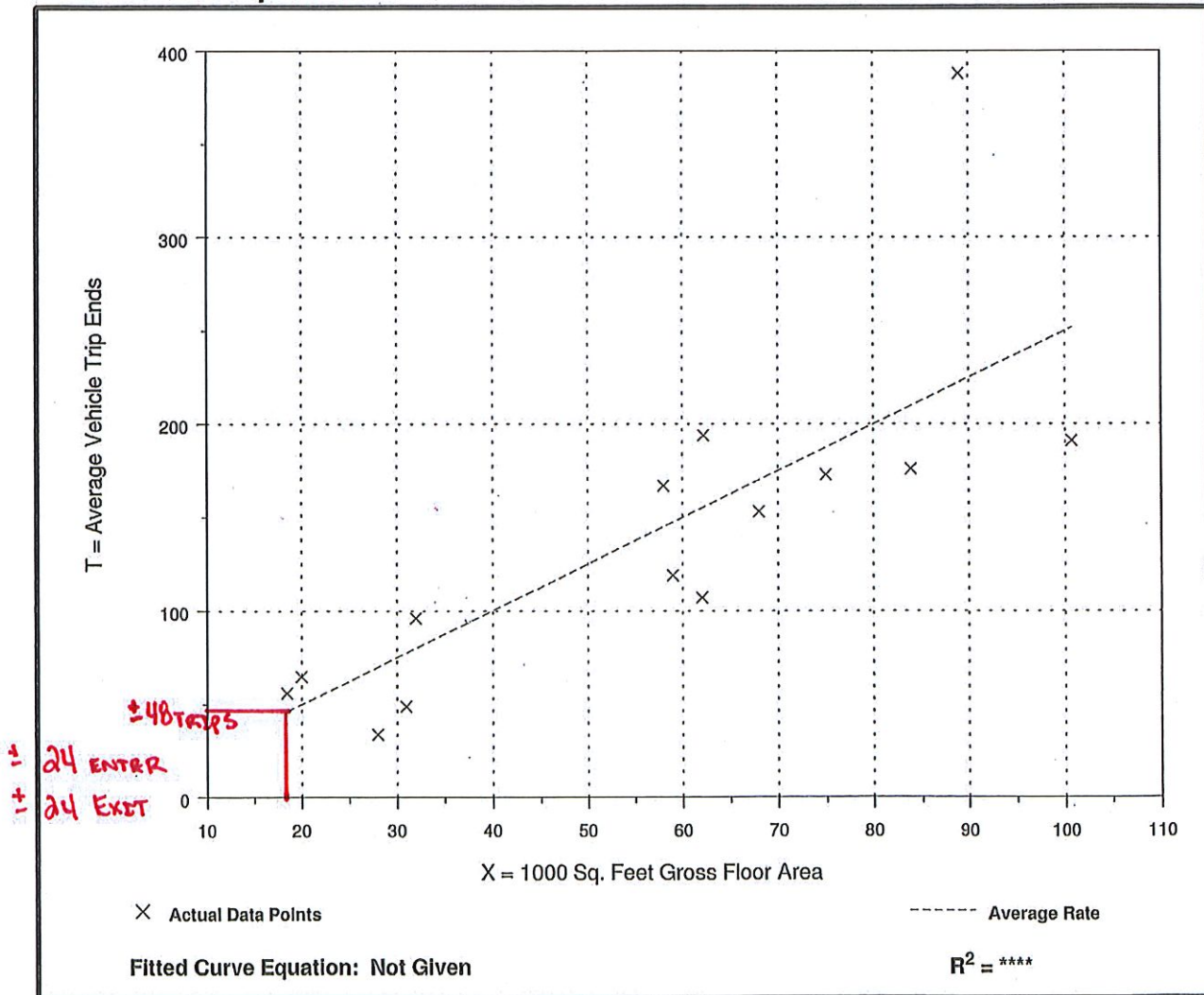
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: **Weekday**

Number of Studies: 14
Average 1000 Sq. Feet GFA: 56
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
2.50	1.21 - 4.36	1.78

Data Plot and Equation



E-WLT06 Series

LED Full Cutoff Wall Pack

Replaces 175W MH / 150W PSMH



Traditional Style with Increased Performance!

e-conolight's LED Full Cutoff Wall Pack outperforms traditional 150W PSMH versions by:

- Using up to 65% less energy
- Shining up to 6600 lumens
- Reducing light pollution

Efficient

- Reduced power consumption increases energy savings and decreases fixture maintenance

Recommended Use

- Building facades
- Perimeter lighting
- Parking areas & garages

Full Cutoff

- Reduced light pollution and sky glow
- Allows for control of spill light

Input Voltage

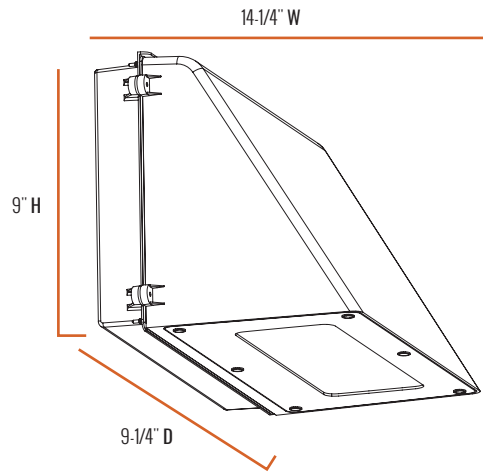
- Universal (120V through 277V Operation)

Certifications



Quality Products, Affordably Priced.

E-WLT06 Series



Series Overview

DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	SPACING
9-1/4" D x 14-1/4" W x 9" H	9.02 lbs.	10 to 15 feet	1 to 2 times the mounting height

Fixture Specifications

HOUSING	Low copper, die-cast aluminum housing and door frame Dark bronze polyester powder-coat finish
LENS ASSEMBLY	Tempered glass lens is thermal, shock and impact resistant White polycarbonate reflector
MOUNTING	1/2" threaded knockouts provided for conduit entry (one on top, one on each side) or mount over recessed junction box

Electrical Performance

OPERATING MINIMUM	LIFESPAN <small>L₇₀ AT 25°C (77°F)</small>	POWER FACTOR	TOTAL HARMONIC DISTORTION	DIMMABLE
-40°C (-40°F)	Estimated >100,000 Hours	> 0.9	< 20%	No
INPUT VOLTAGE	120V	208V	240V	277V
Current Draw (Amps)	0.55A	0.32A	0.27A	0.24A

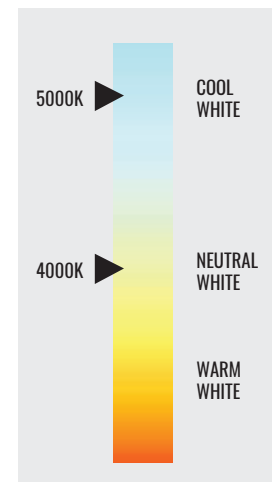
Warranty & Certifications

WARRANTY	UL LISTED	DLC
5-Year Limited	Wet Locations	Yes

Output Specifications

SKU	LIGHT OUTPUT	COLOR TEMP <small>(See chart)</small>	POWER CONSUMPTION	COLOR ACCURACY	REPLACES
E-WLT06A-F50Z	6600 Lumens	Cool White (5000K)	66W	≥ 70 CRI	175W MH / 150W PSMH
E-WLT06A-F40Z	6400 Lumens	Neutral White (4000K)	66W	≥ 70 CRI	175W MH

CORRELATED COLOR TEMPERATURE (CCT)



Due to continuous product improvement, information in this document is subject to change.

Revision Date: 08/14/17

1501 96th Street, Sturtevant, WI 53177 | Phone (888) 243-9445 | Fax (262) 504-5409 | www.e-conolight.com

E-WLT06 Series

Accessories

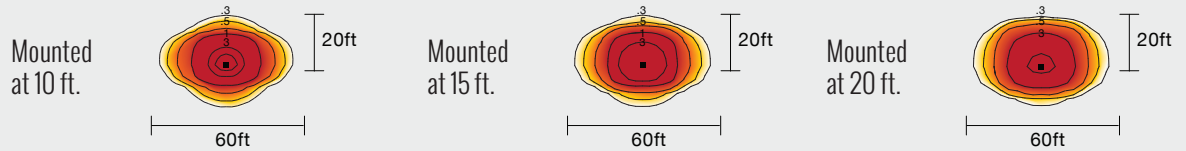


Photoeye -Button, 120V/208V/240V/277V

SKU: **E-ACP1** (120V)
E-ACP2 (208V/240V/277V)

USE: Photoeye is field installed.
 Drilling of the back box in the field is required.

Photometric Diagrams



All published photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture.

Generational Chart

OLD SERIES	NEW SERIES
E-WP13 Series	E-WLT06 Series



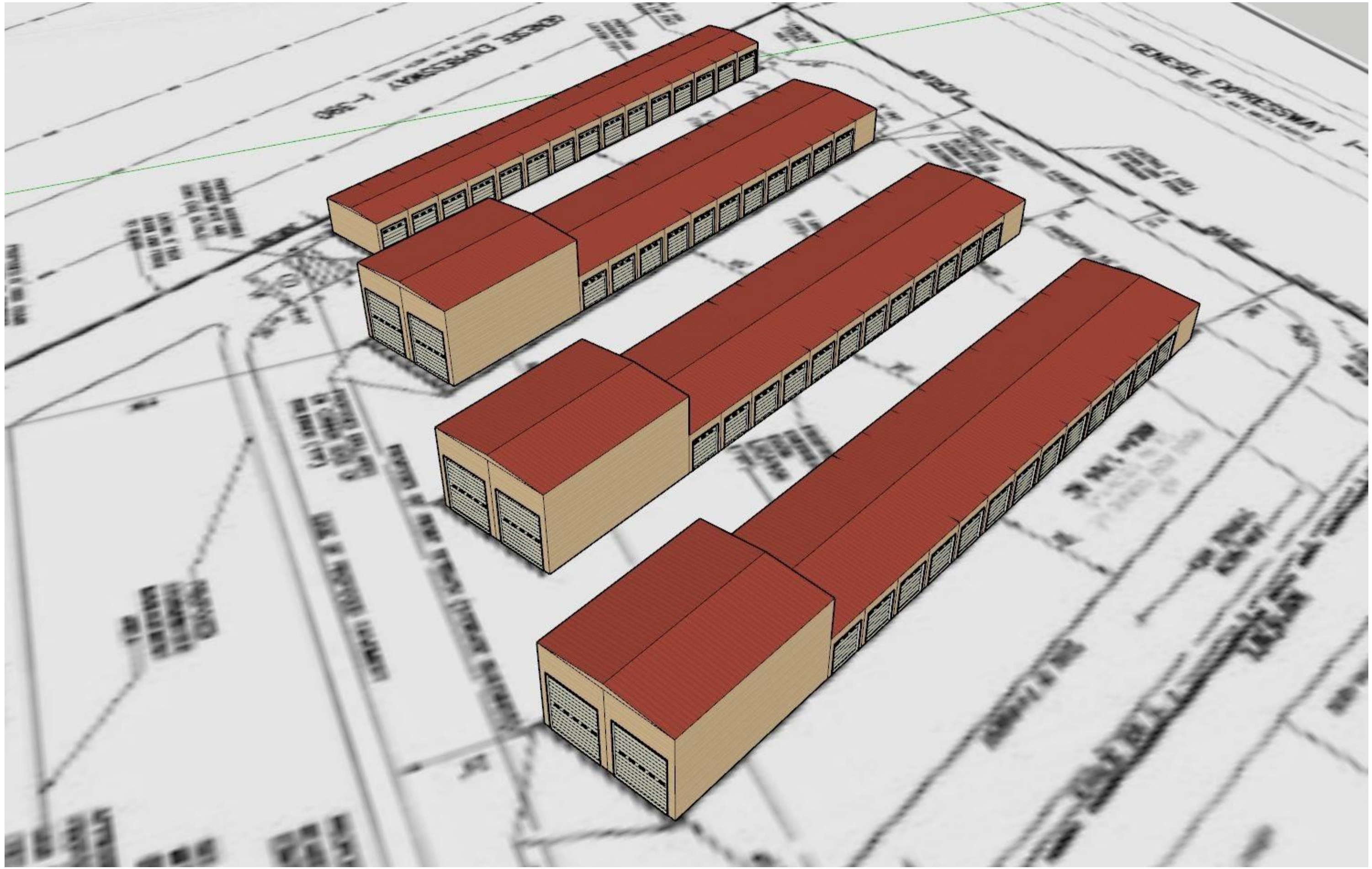
WARNING: Cancer and Reproductive Harm - www.p65warnings.ca.gov

Due to continuous product improvement, information in this document is subject to change.

Revision Date: 08/14/17

1501 96th Street, Sturtevant, WI 53177 | Phone (888) 243-9445 | Fax (262) 504-5409 | www.e-conolight.com



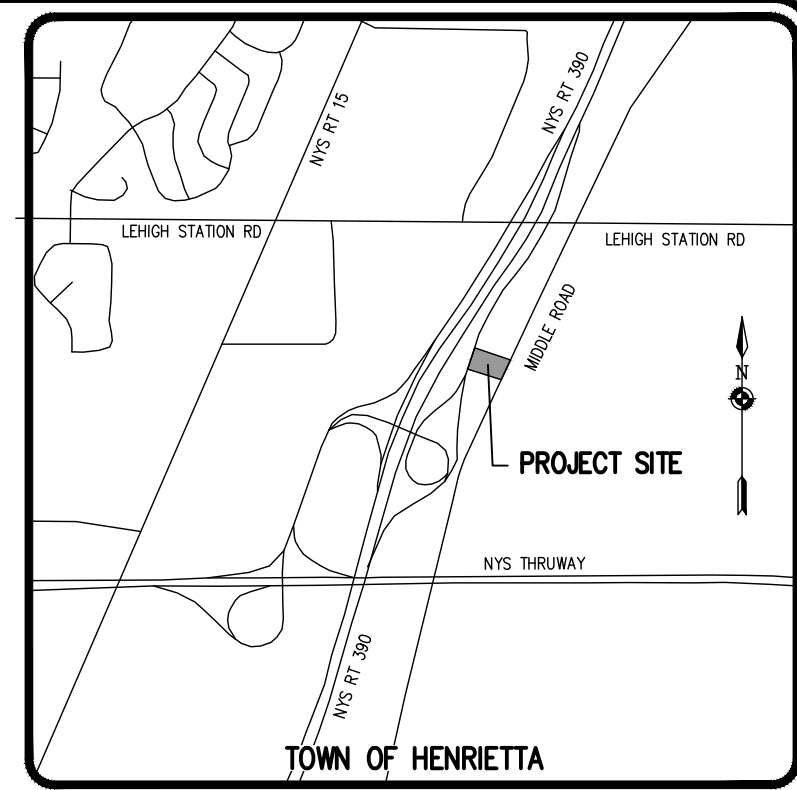
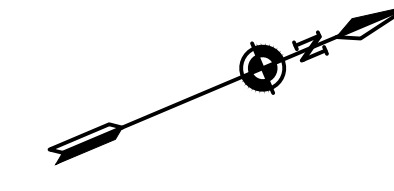


MIDDLE ROAD MINI STORAGE

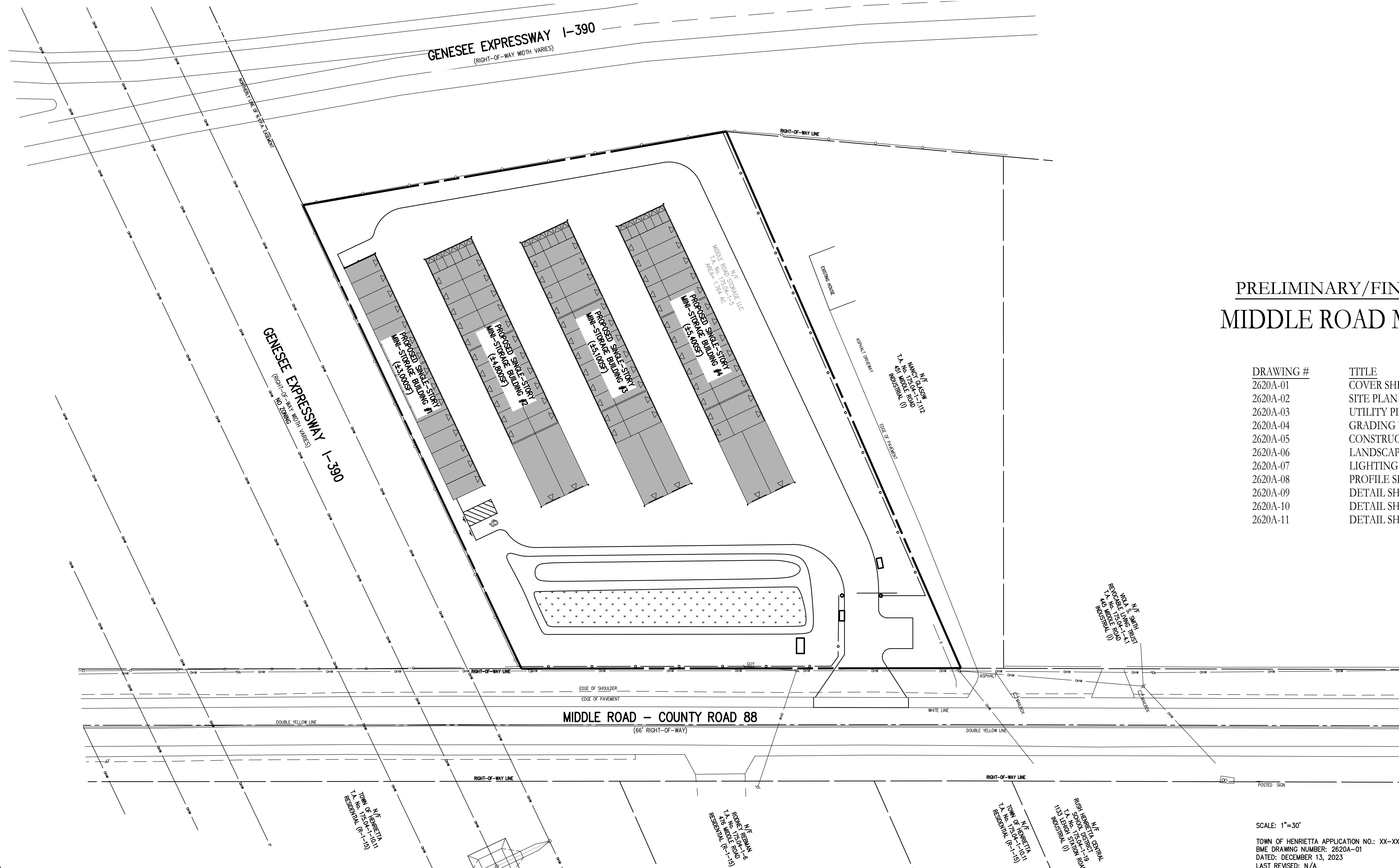
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
IRMARFER STRUCTURES US

6957 SPEEDWAY BLVD, SUITE 106
LAS VEGAS, NEVADA 89115



LOCATION MAP
NOT TO SCALE



PRELIMINARY/FINAL - SITE PLANS MIDDLE ROAD MINI STORAGE

DRAWING #	TITLE
2620A-01	COVER SHEET
2620A-02	SITE PLAN
2620A-03	UTILITY PLAN
2620A-04	GRADING PLAN
2620A-05	CONSTRUCTION AND EROSION CONTROL PLAN
2620A-06	LANDSCAPE PLAN
2620A-07	LIGHTING PLAN
2620A-08	PROFILE SHEET
2620A-09	DETAIL SHEET (1 OF 3)
2620A-10	DETAIL SHEET (2 OF 3)
2620A-11	DETAIL SHEET (3 OF 3)

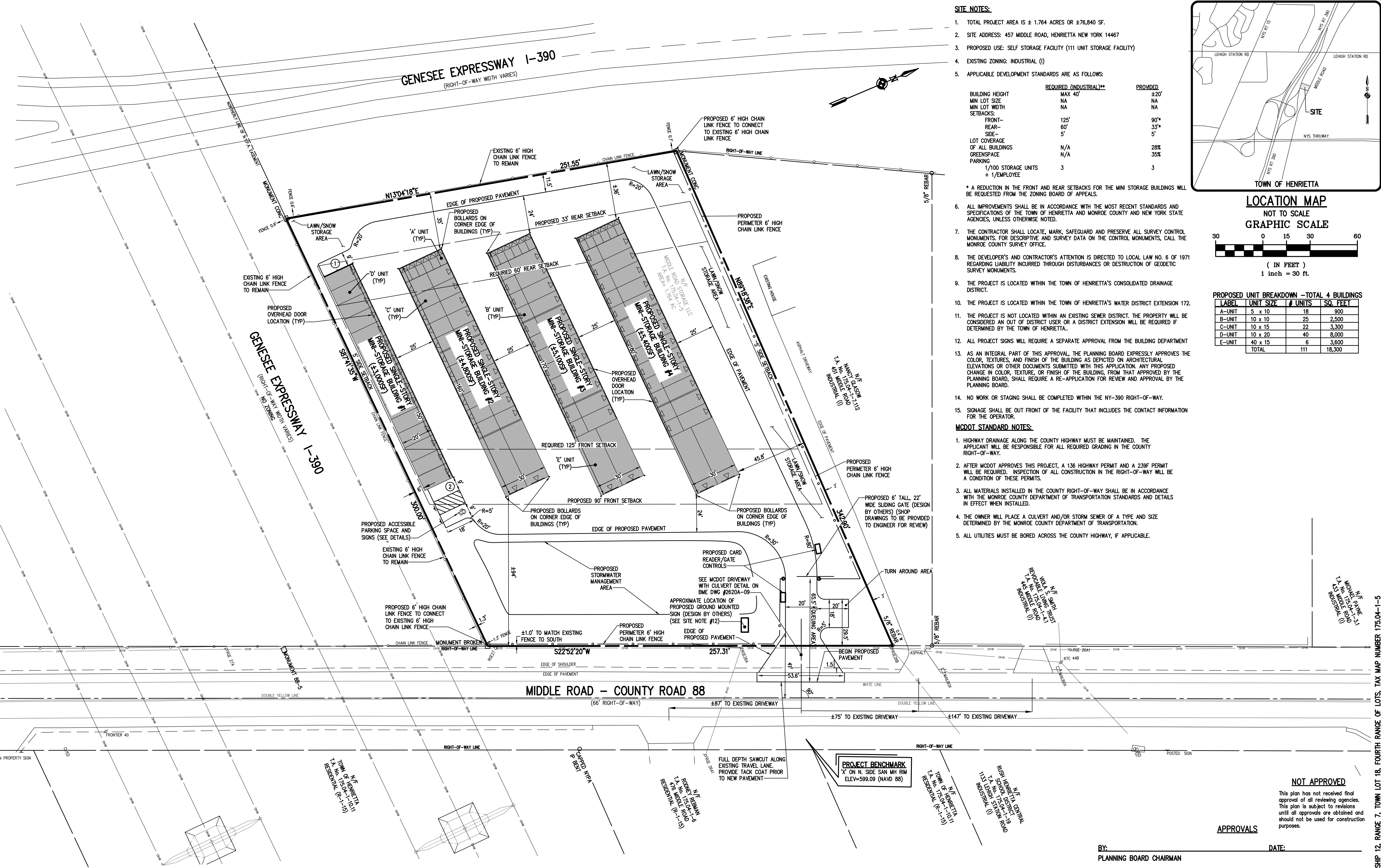
MONROE COUNTY
DEPT. OF TRANSPORTATION
APPROVED _____
DATE _____
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST FAIRPORT, NEW YORK 14450
PHONE 585-377-7360 FAX 585-377-7309
WWW.BMEPC.COM

SCALE: 1"=30'
TOWN OF HENRIETTA APPLICATION NO.: XX-XXXX
BME DRAWING NUMBER: 2620A-01
DATED: DECEMBER 13, 2023
LAST REVISED: N/A

P:\2620A\Drawings\Final\2620A_Cover_Sheet.dwg



LEGEND

	BOUNDARY LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED OVERHEAD DOOR

SURVEY REFERENCES:
 A PLAN ENTITLED "VIOLA SMITH SUBDIVISION," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 274 OF MAPS, PAGE 17.
 LIBER 12127 OF DEEDS, PAGE 160
 AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY

SURVEY NOTES:
 THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD 83), WESTERN ZONE. RECORD BEARINGS ARE SHOWN IN PARENTHESES.

SIGHT DISTANCE TABLES:

MIDDLE ROAD
 POSTED SPEED LIMIT: 45 mph

REQUIRED DISTANCES:

REQUIRED INTERSECTION SIGHT DISTANCE:	555'
REQUIRED STOPPING SIGHT DISTANCE:	425'

MEASURED DISTANCES ENTRANCE:

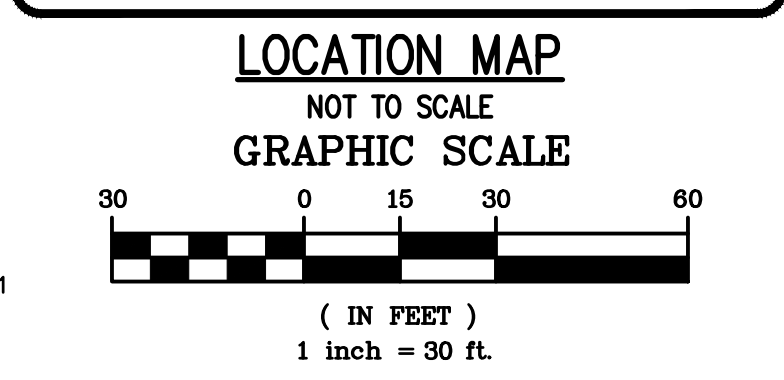
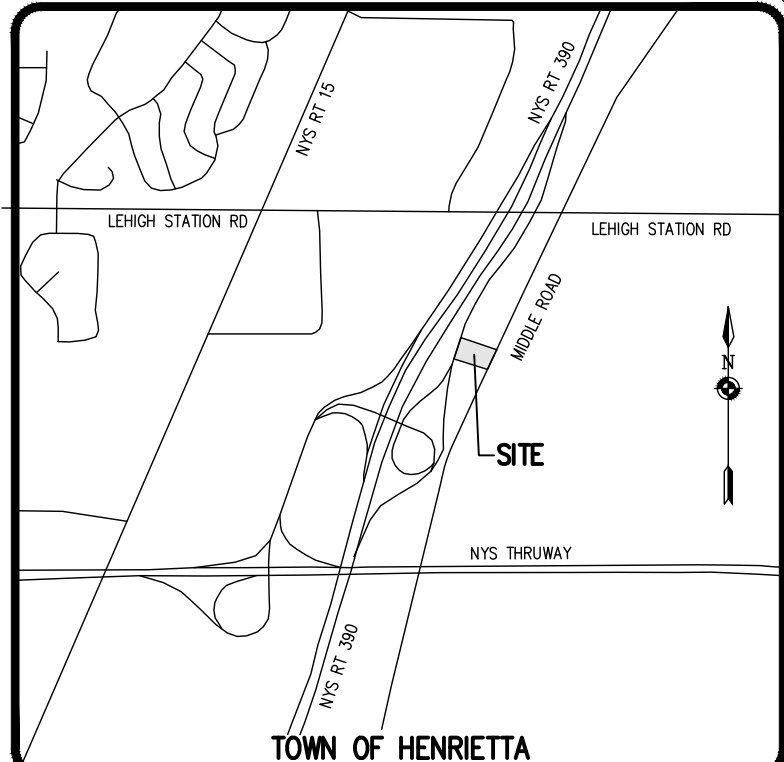
	(NORTH)	(SOUTH)
SIGHT DISTANCE (● ENTRANCE DRIVE):	892'	604'
STOPPING SIGHT DISTANCE (● ENTRANCE DRIVE):	715'	487'

SITE NOTES:

- TOTAL PROJECT AREA IS ± 1.764 ACRES OR ± 76,840 SF.
 - SITE ADDRESS: 457 MIDDLE ROAD, HENRIETTA NEW YORK 14467
 - PROPOSED USE: SELF STORAGE FACILITY (111 UNIT STORAGE FACILITY)
 - EXISTING ZONING: INDUSTRIAL (I)
 - APPLICABLE DEVELOPMENT STANDARDS ARE AS FOLLOWS:
- | | REQUIRED (INDUSTRIAL)** | PROVIDED |
|----------------------------------|-------------------------|----------|
| BUILDING HEIGHT | MAX 40' | ±20' |
| MIN LOT SIZE | NA | NA |
| MIN LOT WIDTH | NA | NA |
| SETBACKS: | | |
| FRONT- | 125' | 90'* |
| REAR- | 60' | 33'* |
| SIDE- | 5' | 5' |
| LOT COVERAGE OF ALL BUILDINGS | N/A | 28% |
| GREENSPACE | N/A | 35% |
| PARKING | | |
| 1/100 STORAGE UNITS + 1/EMPLOYEE | 3 | 3 |
- * A REDUCTION IN THE FRONT AND REAR SETBACKS FOR THE MINI STORAGE BUILDINGS WILL BE REQUESTED FROM THE ZONING BOARD OF APPEALS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA AND MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
 - THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
 - THE PROJECT IS LOCATED WITHIN THE TOWN OF HENRIETTA'S CONSOLIDATED DRAINAGE DISTRICT.
 - THE PROJECT IS LOCATED WITHIN THE TOWN OF HENRIETTA'S WATER DISTRICT EXTENSION 172.
 - THE PROJECT IS NOT LOCATED WITHIN AN EXISTING SEWER DISTRICT. THE PROPERTY WILL BE CONSIDERED AN OUT OF DISTRICT USER OR A DISTRICT EXTENSION WILL BE REQUIRED IF DETERMINED BY THE TOWN OF HENRIETTA.
 - ALL PROJECT SIGNS WILL REQUIRE A SEPARATE APPROVAL FROM THE BUILDING DEPARTMENT
 - AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES, AND FINISH OF THE BUILDING AS DEPICTED ON ARCHITECTURAL ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD, SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL BY THE PLANNING BOARD.
 - NO WORK OR STAGING SHALL BE COMPLETED WITHIN THE NY-390 RIGHT-OF-WAY.
 - SIGNAGE SHALL BE OUT FRONT OF THE FACILITY THAT INCLUDES THE CONTACT INFORMATION FOR THE OPERATOR.

MDOT STANDARD NOTES:

- HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY.
- AFTER MDOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
- ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
- THE OWNER WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION.
- ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY, IF APPLICABLE.

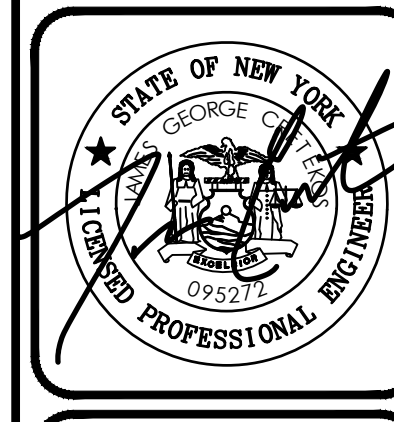


PROPOSED UNIT BREAKDOWN - TOTAL 4 BUILDINGS

LABEL	UNIT SIZE	# UNITS	SQ. FEET
A-UNIT	5 x 10	18	900
B-UNIT	10 x 10	25	2,500
C-UNIT	10 x 15	22	3,300
D-UNIT	10 x 20	40	8,000
E-UNIT	40 x 15	6	3,600
TOTAL		111	18,300

NO.	REVISIONS	DATE	BY
1	UPDATED FOR SITE PLAN APPLICATION	11/30/23	GC
2			
3			
4			
5			
6			
7			

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 HENRIETTA, NY 14450
 WWW.BME.COM
 PHONE: 585-377-7360
 FAX: 585-377-7369



MIDDLE ROAD MINI STORAGE
 TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 BRANDEE STRAUSS, P.E., S.E.
 6857 SPEEDWAY BLVD., SUITE 106
 LAS VEGAS, NEVADA 89115
 PRELIMINARY/FINAL
 SITE PLAN

PHILIPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 18, FOURTH RANGE OF LOTS, TAX MAP NUMBER 175.04-1-5

APPROVALS

BY: _____ DATE: _____
 PLANNING BOARD CHAIRMAN

BY: _____ DATE: _____
 DIRECTOR OF ENGINEERING AND PLANNING

BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS

BY: _____ DATE: _____
 HIGHWAY SUPERINTENDENT

BY: _____ DATE: _____
 DIRECTOR OF BUILDING / FIRE PREVENTION

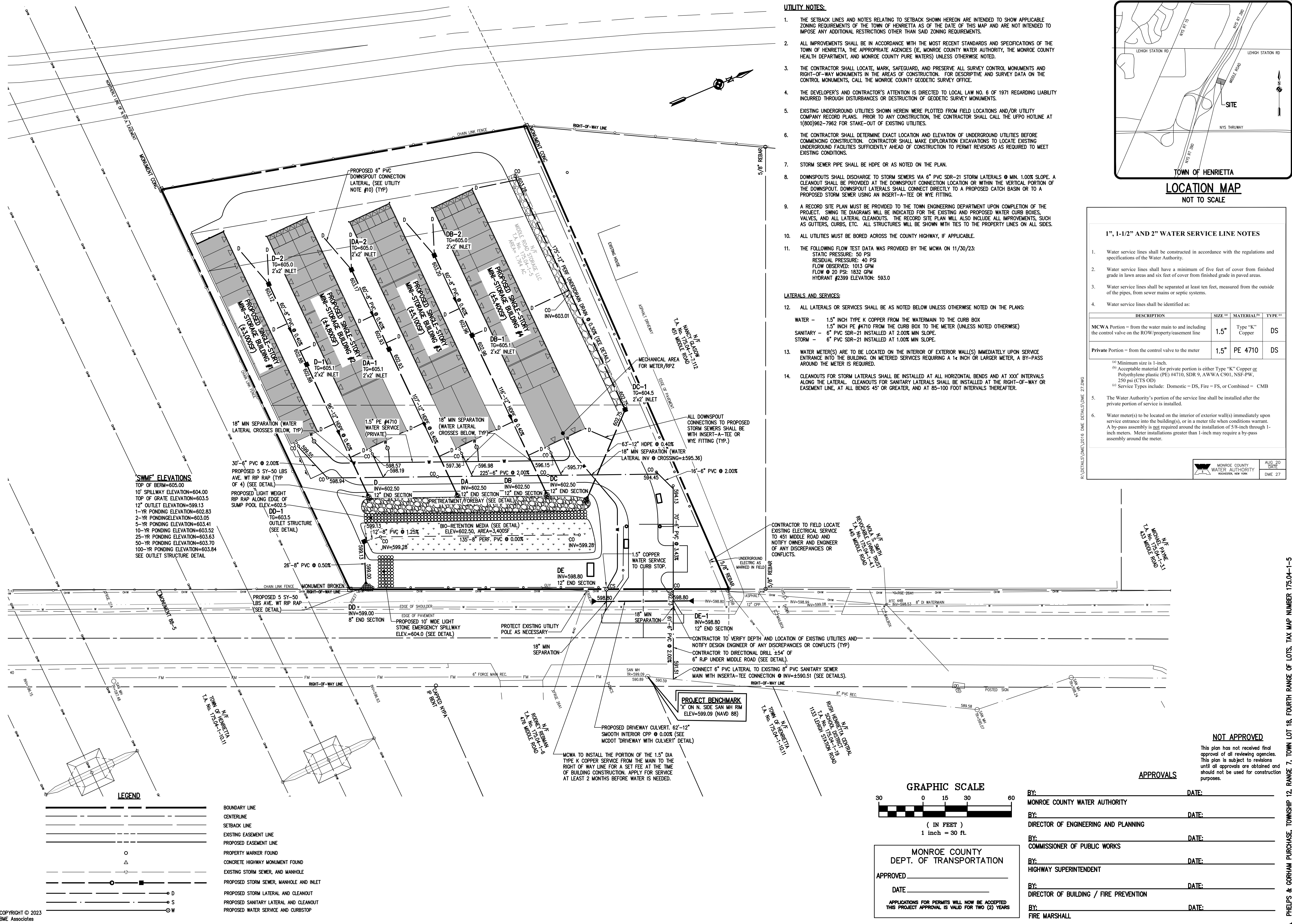
BY: _____ DATE: _____
 FIRE MARSHALL

MONROE COUNTY DEPT. OF TRANSPORTATION
 APPROVED _____
 DATE _____
 APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
 THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

NOT APPROVED
 This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

LEGEND

PROJECT	PROJECT MANAGER
LOCATION	J.L. SWEDROCK
CLIENT	PROJECT ENGINEER
	J.G. CRETEKOS
	DRAWN BY
	J.G. CRETEKOS
	SCALE
	DATE ISSUED
	1"=30'
	NOVEMBER 2023
	PROJECT NO.
	2620A
	DRAWING NO.
	02



"SMMF" ELEVATIONS

TOP OF BERM=605.00
10' SPILLWAY ELEVATION=604.00
TOP OF GRATE ELEVATION=603.5
12" OUTLET ELEVATION=599.13
1-YR PONDING ELEVATION=602.83
2-YR PONDING ELEVATION=603.05
5-YR PONDING ELEVATION=603.41
10-YR PONDING ELEVATION=603.52
25-YR PONDING ELEVATION=603.63
50-YR PONDING ELEVATION=603.70
100-YR PONDING ELEVATION=603.84

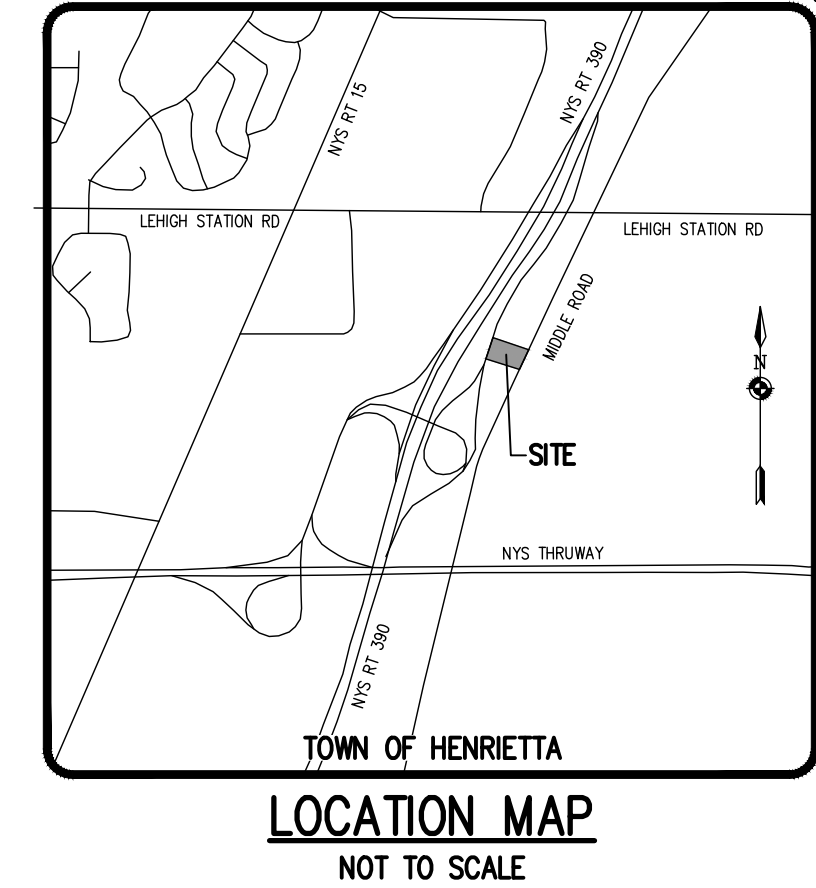
SEE OUTLET STRUCTURE DETAIL

LEGEND

--- BOUNDARY LINE
--- CENTERLINE
--- SETBACK LINE
--- EXISTING EASEMENT LINE
--- PROPOSED EASEMENT LINE
○ PROPERTY MARKER FOUND
△ CONCRETE HIGHWAY MONUMENT FOUND
--- EXISTING STORM SEWER, MANHOLE AND INLET
--- PROPOSED STORM SEWER, MANHOLE AND INLET
--- PROPOSED STORM LATERAL AND CLEANOUT
--- PROPOSED SANITARY LATERAL AND CLEANOUT
--- PROPOSED WATER SERVICE AND CURBSTOP

- UTILITY NOTES:**
- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF HENRIETTA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY WATER AUTHORITY, THE MONROE COUNTY HEALTH DEPARTMENT, AND MONROE COUNTY PURE WATERS) UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
 - THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
 - STORM SEWER PIPE SHALL BE HDPE OR AS NOTED ON THE PLAN.
 - DOWNSPROUTS SHALL DISCHARGE TO STORM SEWERS VIA 6" PVC SDR-21 STORM LATERALS @ MIN. 1.00% SLOPE. A CLEANOUT SHALL BE PROVIDED AT THE DOWNSPROUT CONNECTION LOCATION OR WITHIN THE VERTICAL PORTION OF THE DOWNSPROUT. DOWNSPROUT LATERALS SHALL CONNECT DIRECTLY TO A PROPOSED CATCH BASIN OR TO A PROPOSED STORM SEWER USING AN INSERT-A-TEE OR WYE FITTING.
 - A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES, AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.
 - ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY, IF APPLICABLE.
 - THE FOLLOWING FLOW TEST DATA WAS PROVIDED BY THE MCWA ON 11/30/23:
 STATIC PRESSURE: 50 PSI
 RESIDUAL PRESSURE: 40 PSI
 FLOW OBSERVED: 1013 GPM
 FLOW @ 20 PSI: 1832 GPM
 HYDRANT #2399 ELEVATION: 593.0

- LATERALS AND SERVICES:**
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:
 WATER - 1.5" INCH TYPE K COPPER FROM THE WATERMAIN TO THE CURB BOX
 1.5" INCH PE #4710 FROM THE CURB BOX TO THE METER (UNLESS NOTED OTHERWISE)
 SANITARY - 6" PVC SDR-21 INSTALLED AT 2.00% MIN SLOPE.
 STORM - 6" PVC SDR-21 INSTALLED AT 1.00% MIN SLOPE.
 - WATER METER(S) ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERED SERVICES REQUIRING A 1 1/2" INCH OR LARGER METER, A BY-PASS AROUND THE METER IS REQUIRED.
 - CLEANOUTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS AND AT XXX' INTERVALS ALONG THE LATERAL. CLEANOUTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45' OR GREATER, AND AT 85-100 FOOT INTERVALS THEREAFTER.



1", 1-1/2" AND 2" WATER SERVICE LINE NOTES

- Water service lines shall be constructed in accordance with the regulations and specifications of the Water Authority.
- Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.
- Water service lines shall be separated at least ten feet, measured from the outside of the pipes, from sewer mains or septic systems.
- Water service lines shall be identified as:

DESCRIPTION	SIZE ⁽¹⁾	MATERIAL ⁽²⁾	TYPE ⁽³⁾
MCWA Portion - from the water main to and including the control valve on the ROW/property/casement line	1.5"	Type "K" Copper	DS
Private Portion - from the control valve to the meter	1.5"	PE 4710	DS

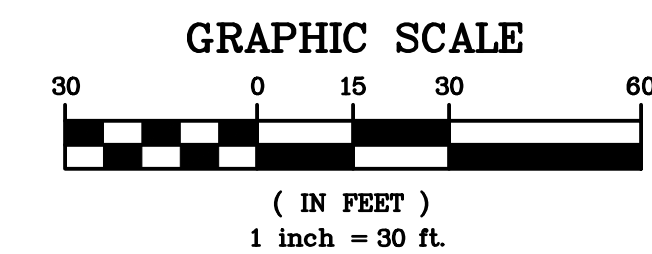
(1) Minimum size is 1-inch.
 (2) Acceptable material for private portion is either Type "K" Copper or Polyethylene plastic (PE) #4710, SDR 9, AWWA C901, NSF-PW, 250 psi (CTS OD)
 (3) Service Types include: Domestic = DS, Fire = FS, or Combined = CMB

The Water Authority's portion of the service line shall be installed after the private portion of service is installed.

Water meter(s) to be located on the interior of exterior wall(s) immediately upon service entrance into the building(s), or in a meter tile when conditions warrant. A by-pass assembly is not required around the installation of 5/8-inch through 1-inch meters. Meter installations greater than 1-inch may require a by-pass assembly around the meter.

MONROE COUNTY WATER AUTHORITY
ROCHESTER, NEW YORK

AUG 20 DATE
DME 27



MONROE COUNTY
DEPT. OF TRANSPORTATION

APPROVED _____
DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

APPROVALS

BY: _____	DATE: _____
MONROE COUNTY WATER AUTHORITY	
BY: _____	DATE: _____
DIRECTOR OF ENGINEERING AND PLANNING	
BY: _____	DATE: _____
COMMISSIONER OF PUBLIC WORKS	
BY: _____	DATE: _____
HIGHWAY SUPERINTENDENT	
BY: _____	DATE: _____
DIRECTOR OF BUILDING / FIRE PREVENTION	
BY: _____	DATE: _____
FIRE MARSHALL	

Drawing Alteration
 The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation 'altered by' followed by his signature and the date of each alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 WESTBANK PLAZA
 WESTBANK 1460
 WWW.BMEPCOM
 PHONE: 565-577-7360
 FAX: 565-577-7369

STATE OF NEW YORK
 GEORGE CHAMBERLAIN
 095217
 REGISTERED PROFESSIONAL ENGINEER

MIDDLE ROAD MINI STORAGE
 TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 BRASSER STRADUSSES, US
 6887 SPEEDWAY BLVD, SUITE 106
 LAS VEGAS, NEVADA 89115

PRELIMINARY/FINAL UTILITY PLAN

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT: MIDDLE ROAD MINI STORAGE
 LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 CLIENT: BRASSER STRADUSSES, US
 DRAWING TITLE: PRELIMINARY/FINAL UTILITY PLAN

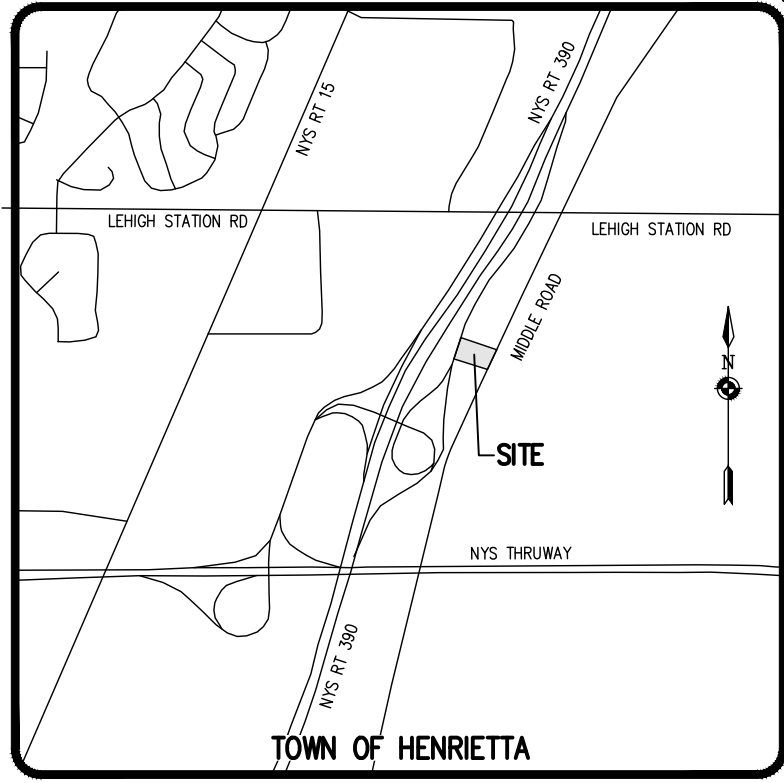
PROJECT MANAGER: J.L. SWEDROCK
 PROJECT ENGINEER: J.G. CRETEKOS
 DRAWN BY: R.R. GLITCH
 SCALE: 1"=30'
 DATE ISSUED: NOVEMBER 2023
 PROJECT NO.: 2620A
 DRAWING NO.: 03

PHLEPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 18, FOURTH RANGE OF LOTS, TAX MAP NUMBER 175.04-1-5

P:\2020A Drawings\Final\2020A Design Base.dwg

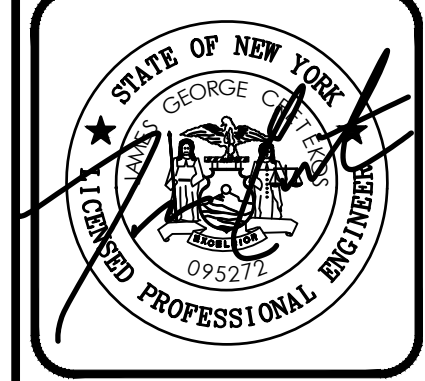
GRADING NOTES:

1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
2. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
3. EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
4. THE CONTRACTOR SHALL CONTROL DUST ON SITE AS DIRECTED BY THE SITE SUPERINTENDENT AND TOWN OF HENRIETTA.
5. HIGHWAY DRAINAGE ALONG MIDDLE ROAD TO BE MAINTAINED.
6. FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) OR PER A GEOTECHNICAL ENGINEER'S RECOMMENDATION. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE TOWN OF HENRIETTA WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
7. REVIEW OF THE FEMA MAPS DOES NOT INDICATE THE PROPERTY TO FALL WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN PER COMMUNITY-PANEL NUMBER 3605500342G EFFECTIVE DATE AUGUST 28, 2008.
8. REVIEW OF THE NATIONAL WETLANDS INVENTORY MAP DOES NOT INDICATE WETLANDS ON THE PROPERTY.
9. ALL ENTRANCES TO STORAGE UNITS SHALL BE AT ELEVATION 605.5
10. TOTAL DISTURBANCE = ±1.8 ACRES.



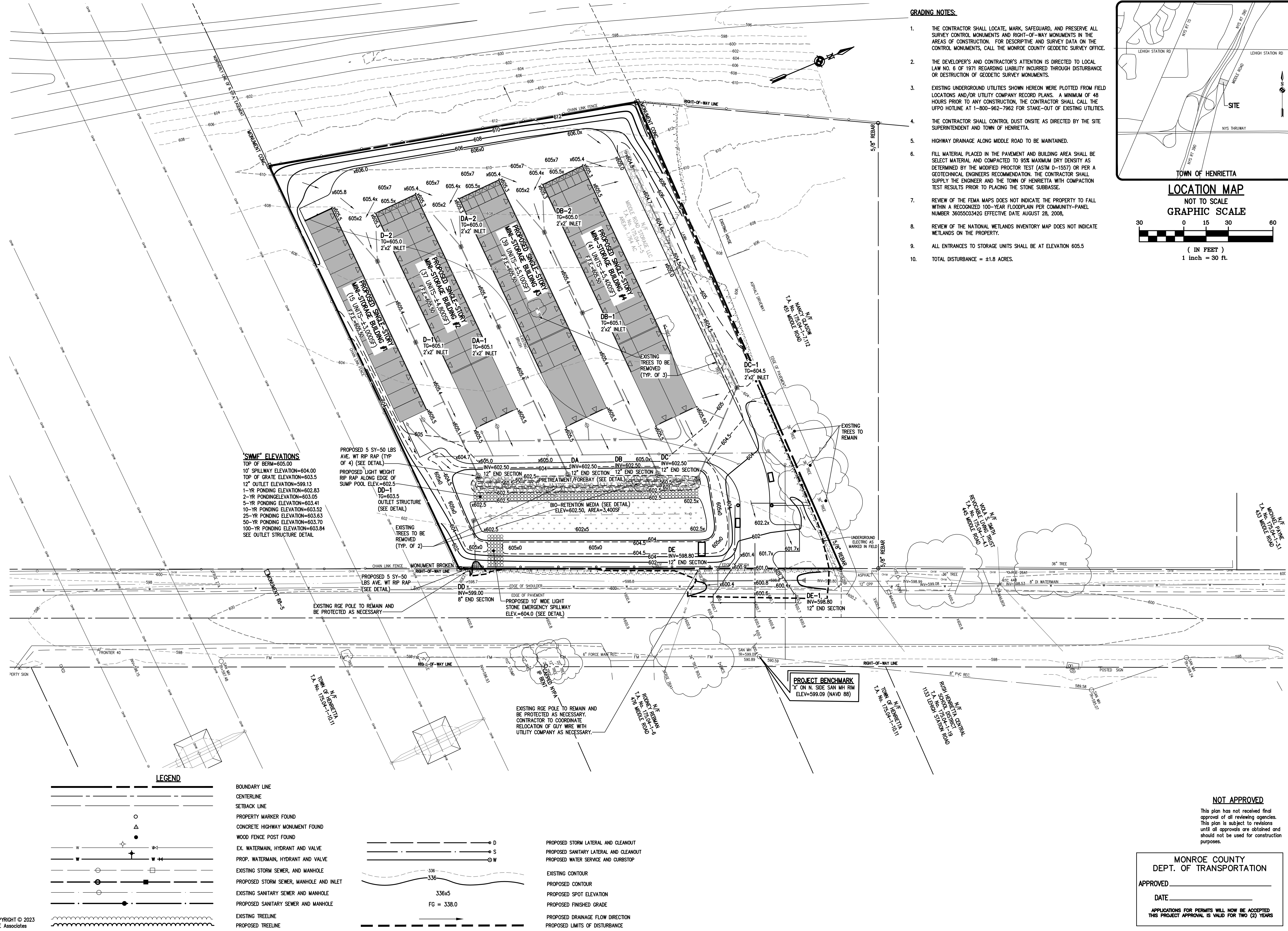
NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
HENRIETTA, NY 14450
WWW.BMEGROUP.COM
PHONE: 585-577-7360
FAX: 585-577-7309



MIDDLE ROAD MINI STORAGE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PLANNING STUDY/DESIGN/AS-BUILT
6887 SPEEDWAY BLVD, SUITE 108
LAS VEGAS, NEVADA 89115
PRELIMINARY/FINAL GRADING PLAN

PROJECT MANAGER
J.L. SWEDROCK
PROJECT ENGINEER
J.G. CRETEKOS
DRAWN BY
J.G. CRETEKOS
DATE ISSUED
NOVEMBER 2023
PROJECT NO.
2620A
DRAWING NO.
04



LEGEND

---	BOUNDARY LINE
---	CENTERLINE
---	SETBACK LINE
○	PROPERTY MARKER FOUND
△	CONCRETE HIGHWAY MONUMENT FOUND
●	WOOD FENCE POST FOUND
+	EX. WATERMAIN, HYDRANT AND VALVE
W	PROP. WATERMAIN, HYDRANT AND VALVE
○	EXISTING STORM SEWER, AND MANHOLE
○	PROPOSED STORM SEWER, MANHOLE AND INLET
○	EXISTING SANITARY SEWER AND MANHOLE
○	PROPOSED SANITARY SEWER AND MANHOLE
○	EXISTING TREELINE
○	PROPOSED TREELINE

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

MONROE COUNTY DEPT. OF TRANSPORTATION
APPROVED _____
DATE _____
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

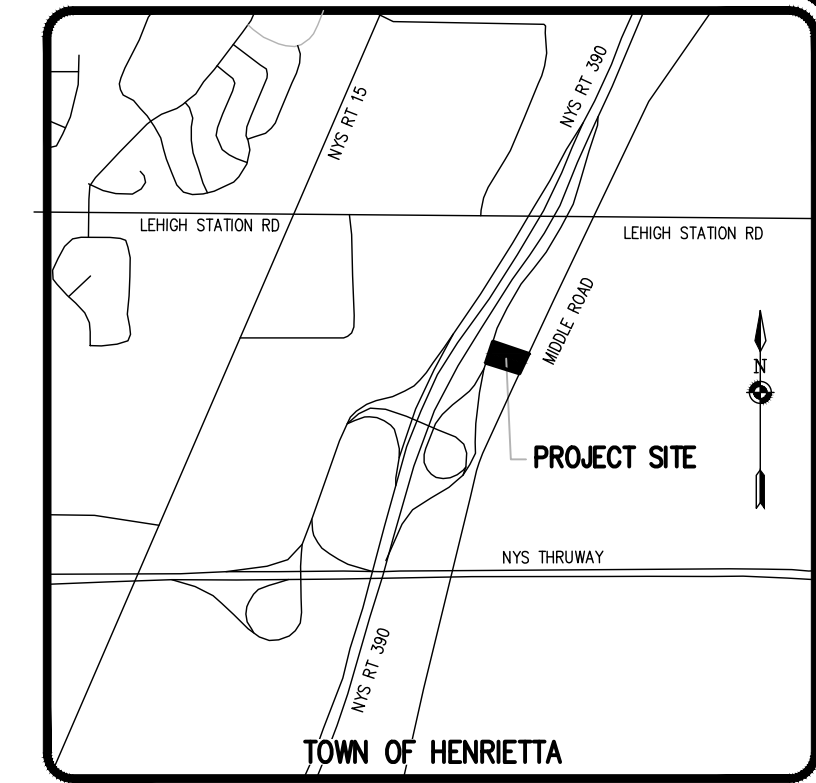
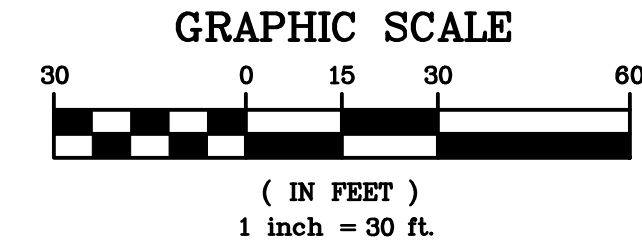
PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 18, FOURTH RANGE OF LOTS, TAX MAP NUMBER 175.04-1-5

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

MONROE COUNTY DEPT. OF TRANSPORTATION

APPROVED DATE APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



LOCATION MAP NOT TO SCALE

CONSTRUCTION EROSION CONTROL NOTES:

- 1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF HENRIETTA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL... 2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP... 3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP... 4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION... 5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION... 6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED... 7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY... 8. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDED... 9. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION... 10. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6 INCHES TOPSOIL... 11. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

Table with 2 columns: ANNUAL RYEGRASS, PERENNIAL RYEGRASS, OATS, WHITE CLOVER (+ INNOCULANT). Rows show LBS./ACRE and LBS./1000 SQ. FT.

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

Table with 4 columns: PERENNIAL RYE GRASS, RED FESCUE, KENTUCKY BLUEGRASS, LBS./ACRE, % BY PURITY, % GERM.

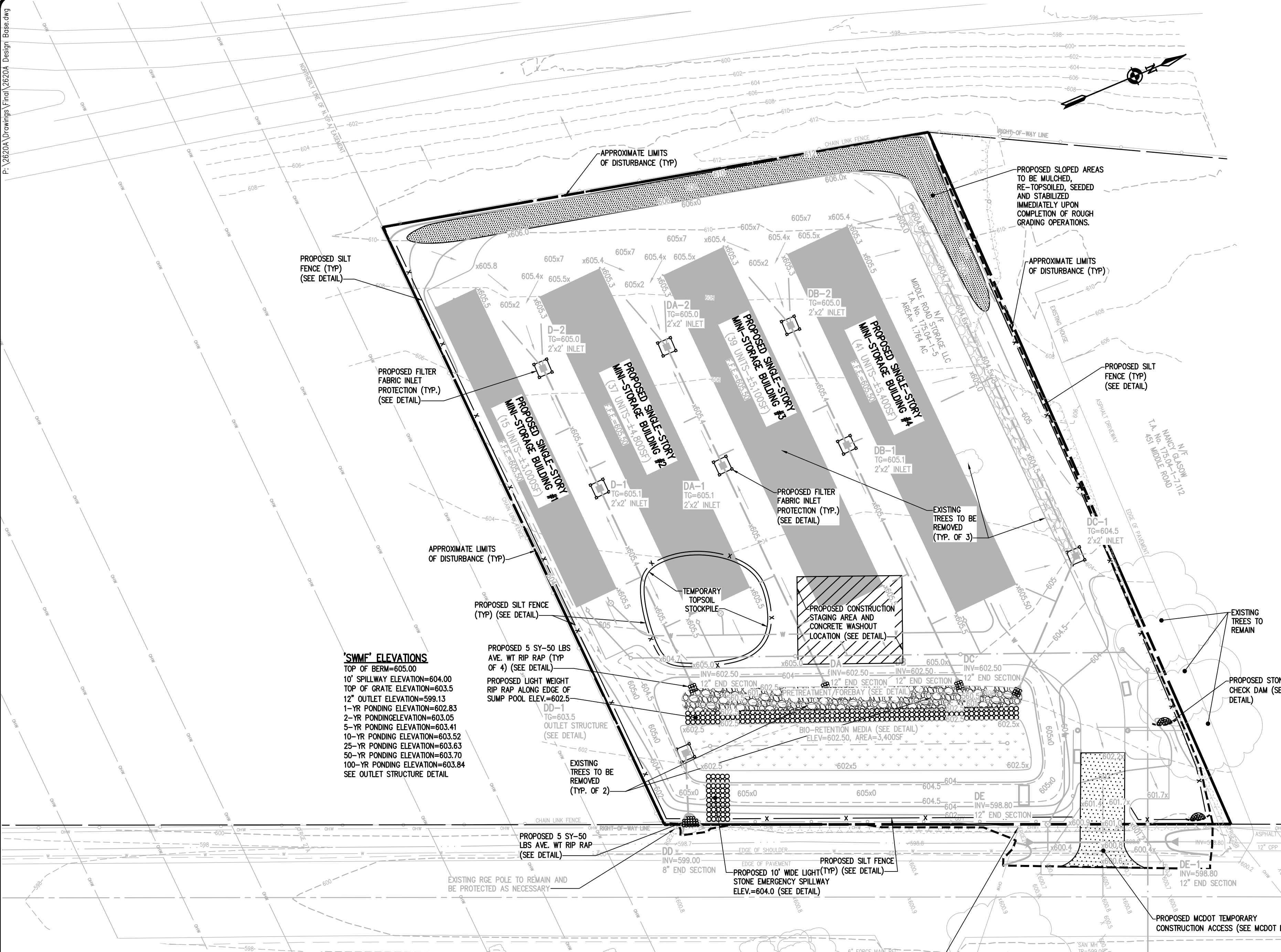
SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT. MULCH: STRAW OR WOOD FIBER MULCH MAY BE USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER. STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.

13. SLOPES 3:1 OR GREATER SHALL BE SEEDED WITH HEAVY MULCH AND MAY REQUIRE ADDITIONAL STABILIZATION MEASURES SUCH AS AN EROSION CONTROL BLANKET. ANY SLOPE GREATER THAN 1 ON 4 LONGER THAN 100' MAY REQUIRE ADDITIONAL STABILIZATION MEASURE AS DETERMINED BY THE TOWN INSPECTOR. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6" TOPSOIL AND SEEDED WITH FOLLOWING SEED MIX:

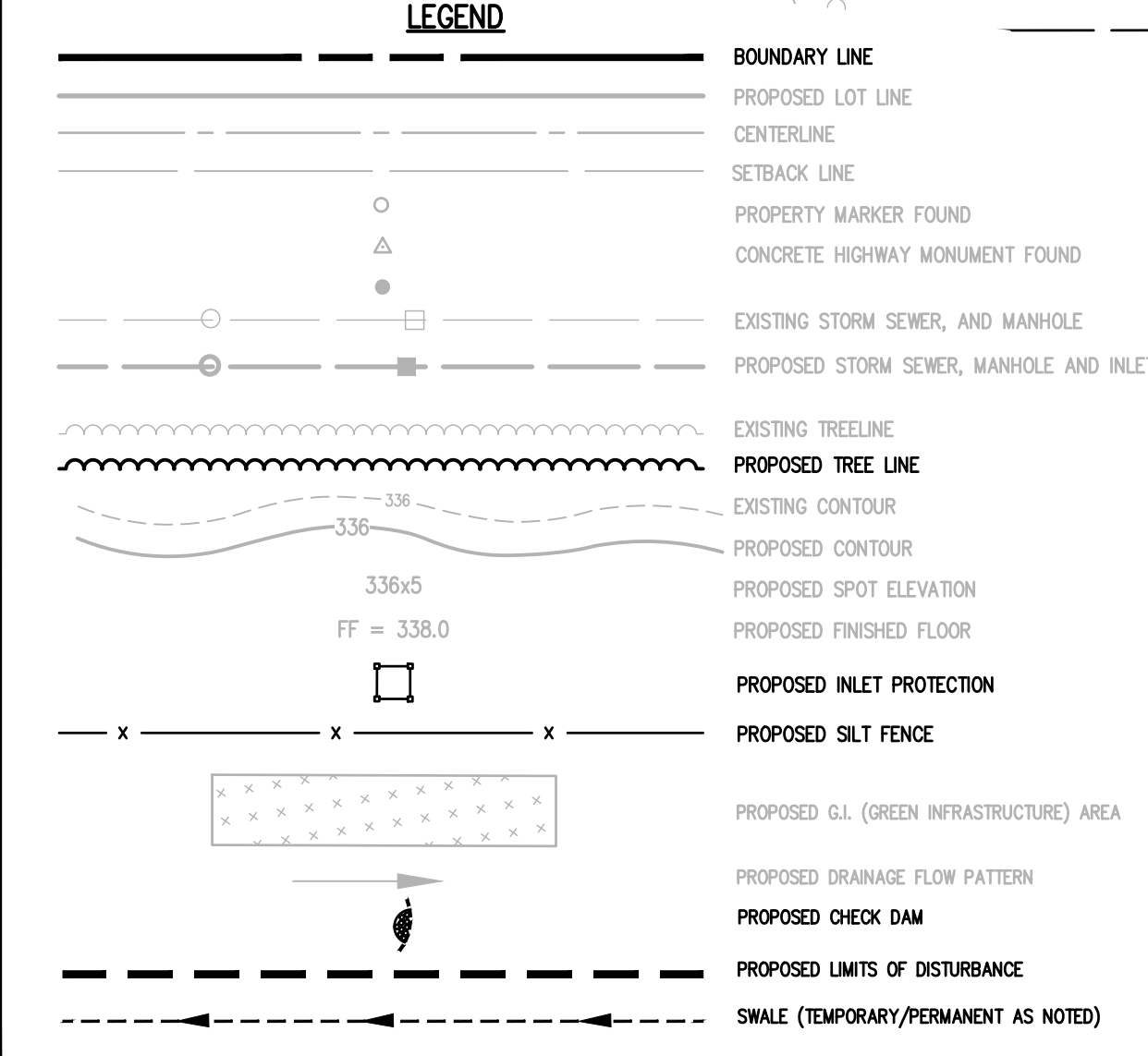
Table with 2 columns: NATIVE STEEP SLOPE MIX WITH ANNUAL RYE GRASS - ERNMX-181, 20% LOULUM MULTI FLORUM, 20% SCHIZACHYRIUM, 16% ELYMUS CANADENSIS, 10% PANICUM VIRGATUM 'SHELTER', 8% AGROSTIS PERENNANS, 8% TRIDENS FLAVUS, 5% COREOPSIS LANCEOLATA, 4% AGROSTIS SCABRA, 4% ELYMUS VIRGINICUS, 3% PENSTEMON DIGITALIS, 2% MONORADA FISTULOSA.

SEEDING RATE: 30 LBS PER ACRE OR 1 LB PER 1000 SF. INNOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S RECOMMENDED RATE). MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.

- 14. AREAS OR EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE ESC-1B (EAST COAST) OR AN APPROVED EQUIVALENT, AND BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATION... 15. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED... 16. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPENSED TO AN UNDISTURBED AREA... 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY... 18. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-15-002... 19. THE OWNER IS RESPONSIBLE TO RETAIN THE SWPPP DOCUMENTS FOR MINIMUM OF 5 YEARS AFTER PROJECT COMPLETION... 20. THE M54 MUST APPROVE ANY SWPPP MODIFICATIONS PRIOR TO IMPLEMENTATION... 21. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO MEET THE LATEST VERSION OF THE NYS ESC STANDARDS AND SPECIFICATIONS... 22. ALL WASTE MATERIALS, INCLUDING CONSTRUCTION DEBRIS AND TRASH THAT OCCUR ON-SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT IS IN ACCORDANCE WITH THE STATE AND LOCAL REGULATIONS. NO WASTE MATERIALS SHALL BE BURIED ON-SITE... 23. NO WORK OR STAGING SHALL BE COMPLETED WITHIN THE NY-390 RIGHT-OF-WAY.



SWMP ELEVATIONS table: TOP OF BERM=605.00, 10' SPILLWAY ELEVATION=604.00, TOP OF GRATE ELEVATION=603.5, 12" OUTLET ELEVATION=599.13, 1-YR PONDING ELEVATION=602.83, 5-YR PONDING ELEVATION=603.41, 10-YR PONDING ELEVATION=603.52, 25-YR PONDING ELEVATION=603.63, 50-YR PONDING ELEVATION=603.70, 100-YR PONDING ELEVATION=603.84. SEE OUTLET STRUCTURE DETAIL.



SEQUENCE OF CONSTRUCTION STEPS: TOTAL DISTURBANCE = ±1.8 ACRES

- STEP 1: (SITE PREPARATION) - INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION STAGING AREA... CLEAR AND GRUB AS REQUIRED FOR INSTALLATION OF SILT FENCE... STRIP TOPSOIL FROM ALL PROPOSED PAVEMENT, BUILDING, AND STORMWATER FACILITY AREAS... GRADE BIO-RETENTION AREA TO TOP OF BIO-RETENTION SOIL ELEVATION... STORMWATER MANAGEMENT (BIO-RETENTION AREA & PRE-TREATMENT) TO BE UTILIZED AS SEDIMENT BASIN... COMMENCE MASS GRADING OPERATIONS... FINE GRADE, TOPSOIL SEED AND MULCH... THE CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS... COMPLETE PAVEMENT/BUILDING BOXOUT AND REMAINING UTILITIES... REPLACE ALL LAWN AREAS WITH 6" TOPSOIL.

SEQUENCE OF CONSTRUCTION STEPS: STEP 3: (STABILIZATION & MONITORING)

- SEED AND MULCH ALL DISTURBED AS REQUIRED BY GP-0-15-002. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH... BIO-RETENTION FACILITIES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED... MONITOR SEDIMENT BASINS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION... MAINTAIN PERIMETER SILT FENCE... SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY STABILIZATION METHODOLOGY... DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES... STEP 4: (GREEN INFRASTRUCTURE STABILIZATION & MONITORING) - CONSTRUCT PERMANENT DESILTATION BASINS AND BIORETENTION AREAS AFTER UPSTREAM GROUND COVER HAS BEEN ESTABLISHED.

Drawing Alteration The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing. It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation altered by followed by his signature and the date of each alteration, and a specific description of the alteration.

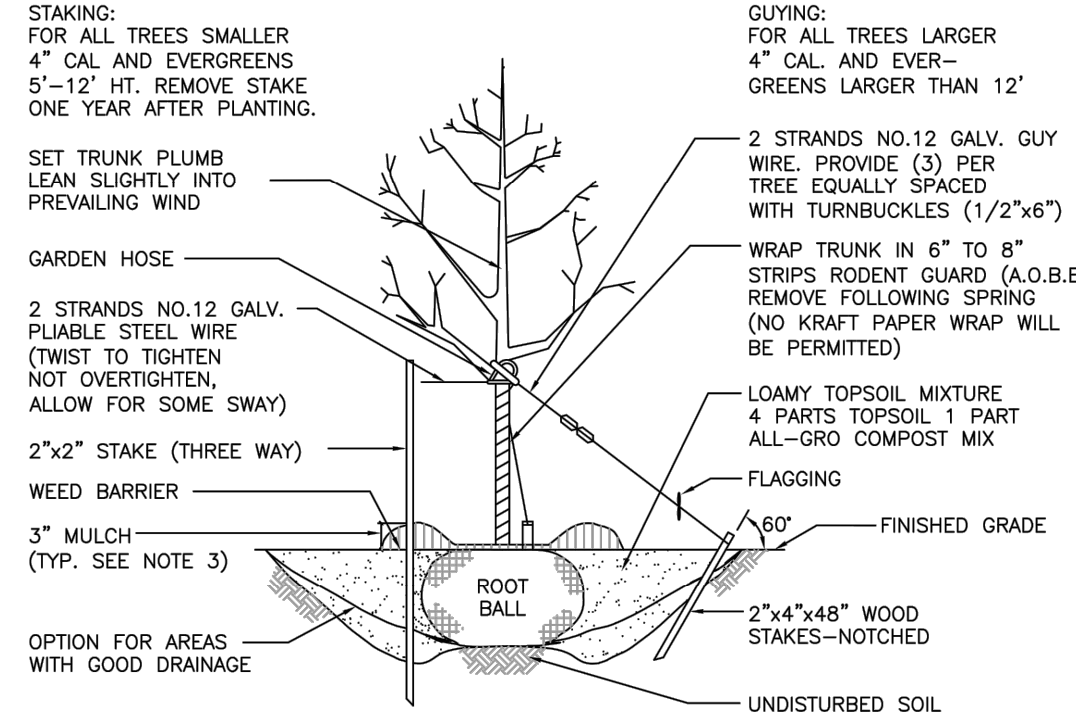
Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS 10 LIFT BRIDGE LANE EAST TOWN OF HENRIETTA, NY 14600 PHONE: 585-377-7260 FAX: 585-377-7269 WWW.BMEGROUP.COM



MIDDLE ROAD MINI STORAGE PROJECT LOCATION CLIENT: J.L. SWEDROCK PROJECT ENGINEER: J.G. CRETEKOS DRAWN BY: R. GLITCH SCALE: 1"=30' DATE ISSUED: NOVEMBER 2023 PROJECT NO.: 2620A DRAWING NO.: 05

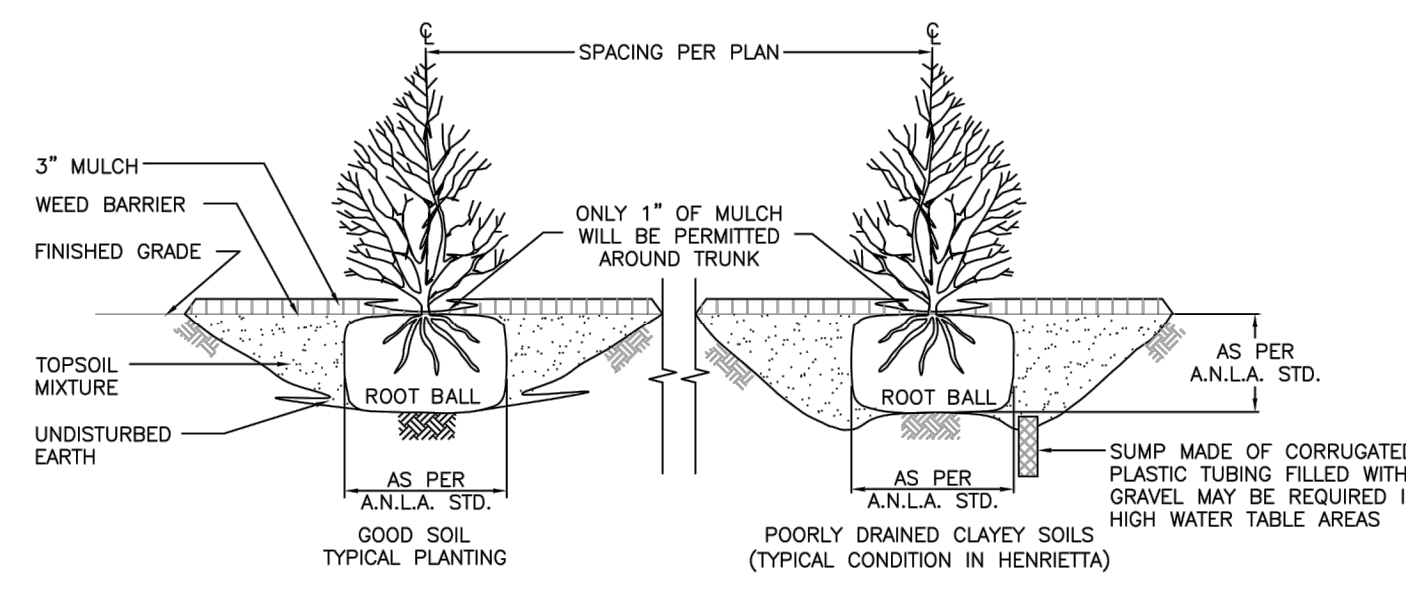
PHLEPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 7, TOWN LOT 18, FOURTH RANGE OF LOTS, TAX MAP NUMBER 175.04-1-5 PRELIMINARY/FINAL CONSTRUCTION EROSION CONTROL PLAN



- NOTES:**
1. USE 8" STAKES—DRIVE 48" BELOW GROUND.
 2. ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
 3. MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
 4. MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.

TREE PLANTING DETAIL
N.T.S.

TYPICAL TREE PLANTING DETAIL
SCALE: N.T.S. DATE: 11/10/2011 M-4b

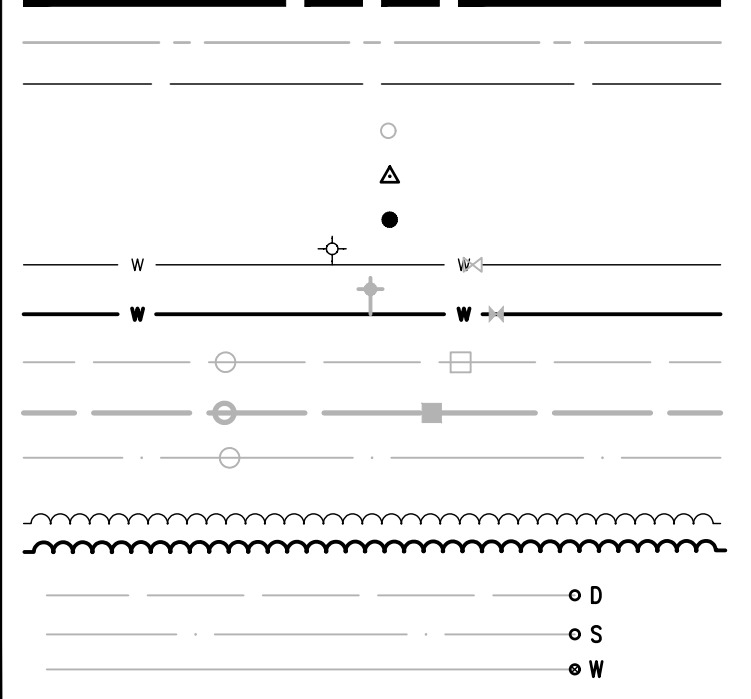


- NOTES:**
1. IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/3 OF THE BURLAP.
 2. PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.

SHRUB PLANTING DETAIL
N.T.S.

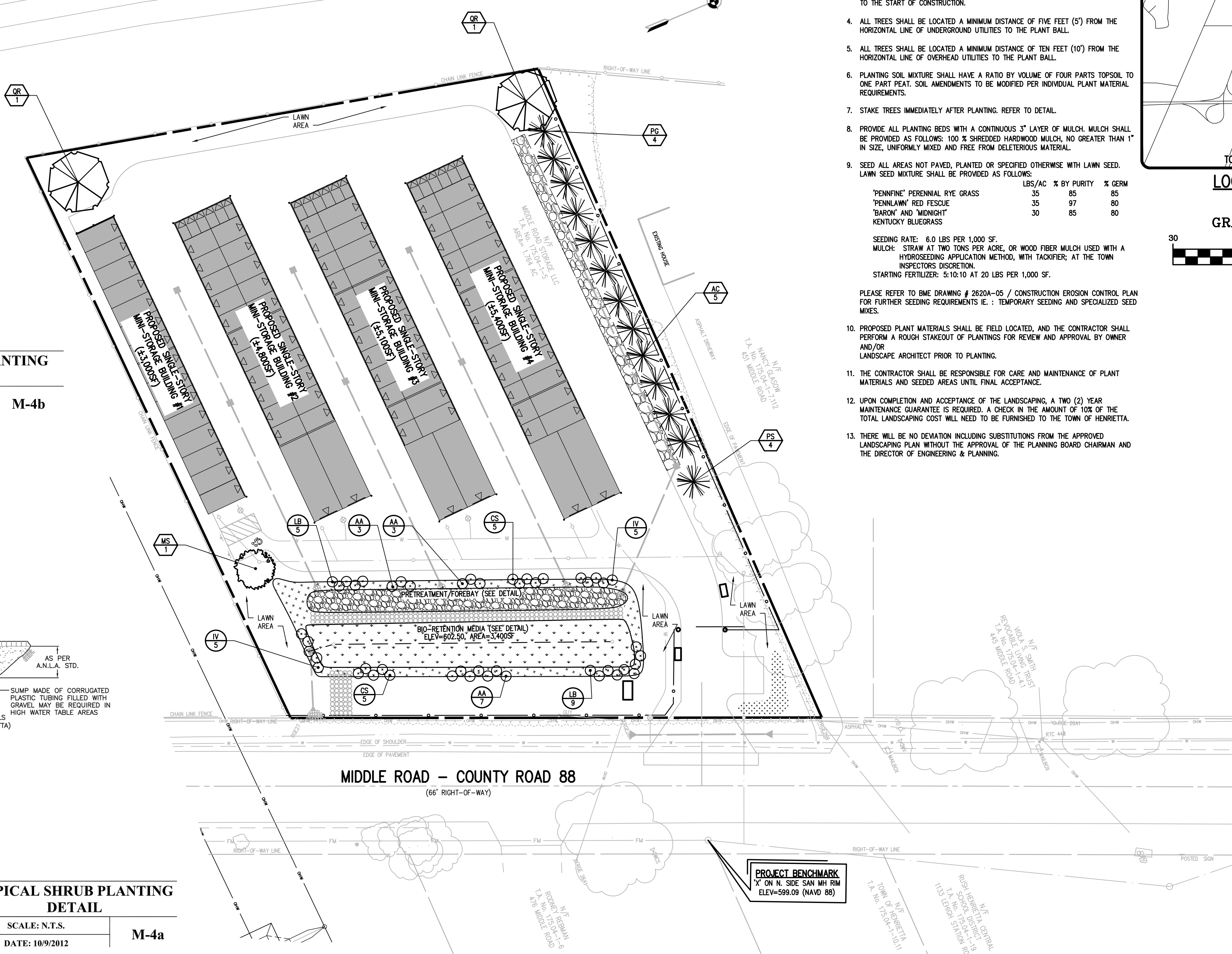
TYPICAL SHRUB PLANTING DETAIL
SCALE: N.T.S. DATE: 10/9/2012 M-4a

LEGEND



- BOUNDARY LINE
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
WOOD FENCE POST FOUND
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
EXISTING TREELINE
PROPOSED TREELINE
PROPOSED STORM LATERAL AND CLEANOUT
PROPOSED SANITARY LATERAL AND CLEANOUT
PROPOSED WATER SERVICE AND CURBSTOP

GENESEE EXPRESSWAY I-390
(RIGHT-OF-WAY WIDTH VARIES)

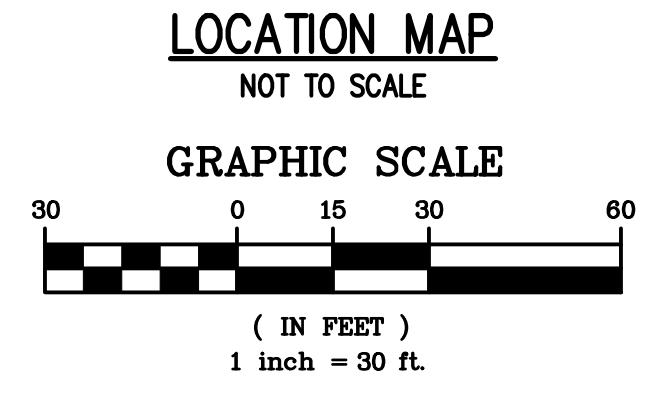
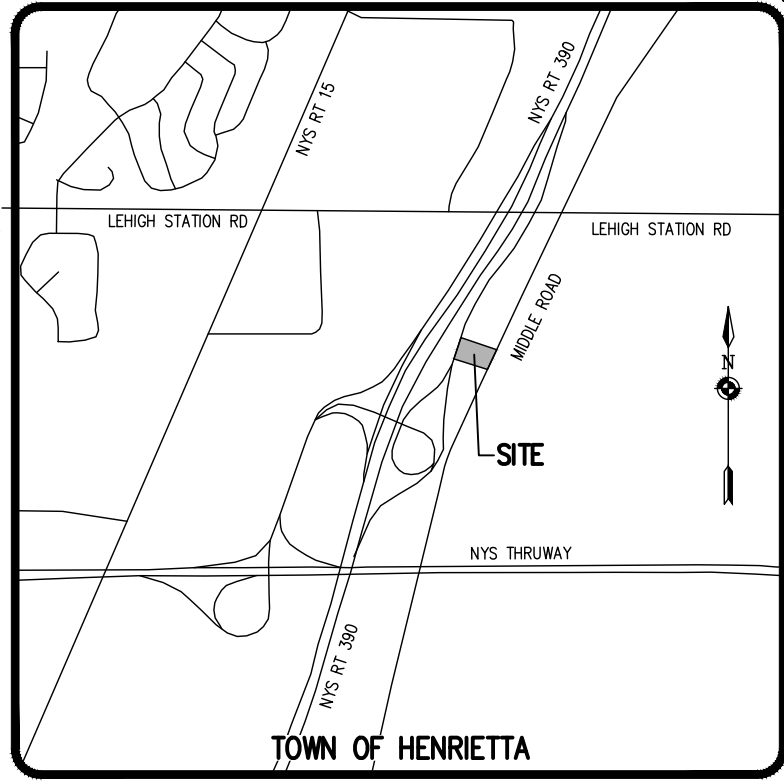


LANDSCAPE NOTES

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z601.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
4. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
5. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
6. PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
7. STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
8. PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS: 100% SHREDDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
9. SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

	LBS/AC	% BY PURITY	% GERM
'PENNFINE' PERENNIAL RYE GRASS	35	85	85
'PENNLAWN' RED FESCUE	35	97	80
'BARON' AND 'MIDNIGHT' KENTUCKY BLUEGRASS	30	85	80

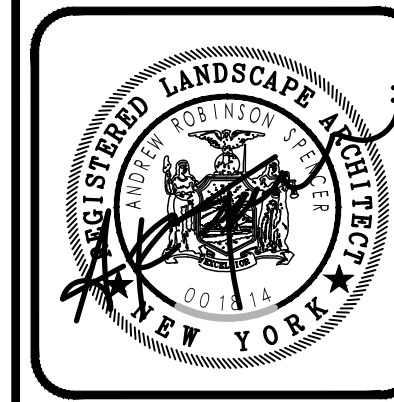
SEEDING RATE: 6.0 LBS PER 1,000 SF.
 MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER; AT THE TOWN INSPECTORS DISCRETION.
 STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.
10. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE.
12. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A TWO (2) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
13. THERE WILL BE NO DEVIATION INCLUDING SUBSTITUTIONS FROM THE APPROVED LANDSCAPING PLAN WITHOUT THE APPROVAL OF THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING & PLANNING.



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	DATE	BY	REVISIONS
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE: 585-577-7360
FAC: 585-577-7369
WWW.BMEINC.COM



MIDDLE ROAD MINI STORAGE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PRELIMINARY/FINAL
LANDSCAPE PLAN

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
J.L. SWEDROCK
PROJECT ENGINEER
J.G. CRETEKOS
DRAWN BY
A.R. SPENCER
SCALE
1"=30'
DATE ISSUED
NOVEMBER 2023
PROJECT NO.
2620A
DRAWING NO.
06

PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
1	MS	Malus sp. 'Cardinal'	Cardinal Crabapple	2.5"-3" cal	B&B	
2	QR	Quercus rubra	Red Oak	3"-3.5" cal	B&B	
EVERGREEN TREES						
5	AC	Abies concolor	White fir	6'-8" tall	B&B	
4	PC	Picea glauca	White Spruce	6'-8" tall	B&B	
4	PS	Pinus Strobus	White Pine	6'-8" tall	B&B	
STORMWATER MANAGEMENT AREA SHRUBS						
13	AA	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokecherry	24"	BR	
10	CS	Cornus sericea 'Cardinal'	Cardinal Redtwig Dogwood	24"	BR	
10	IV	Ilex Verticillata	Winterberry Holly	24"	BR	
14	LB	Lindera benzoin	Spicebush	24"	BR	

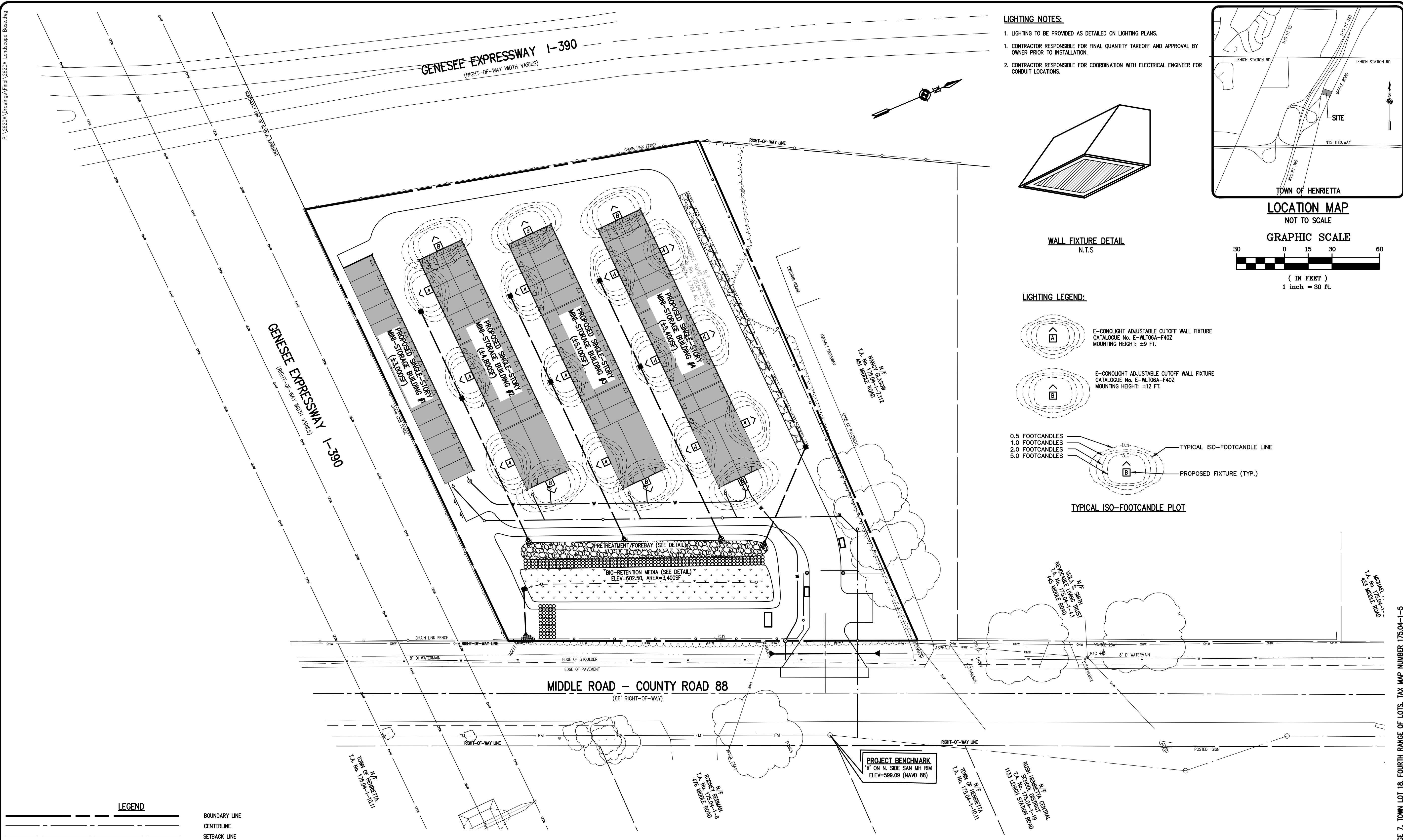
SEED MIX LEGEND:

- FLOODPLAIN MIX:
'FLOODPLAIN MIX'; Ernst Conservation Seeds (ERNM-154)
Seeding Rate: 30 lb per acre
Mulch: Straw or wood fiber mulch used with hydroseeding method, specified at two (2) tons/AC with tackifier as specified.
- STORMWATER MANAGEMENT POND MIX:
'OBL Wetland Mix'; Ernst Conservation Seeds (ERNM-131);
Seeding Rate: 15 LBS/AC. or 1/2 LB - 1/2 LB/1,000 SF.
- GREEN INFRASTRUCTURE MIX:
Mix of Sheep Fescue, Creeping Red Fescue and Hard Fescue, or approved no-mow Fescue mix. This area is only to be mowed once or twice a year. Contractor to provide seed mix details to engineer for review and approval prior to installation.

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

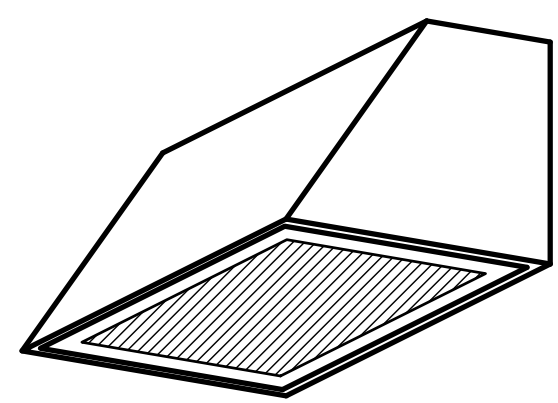
APPROVALS

BY: _____ DATE: _____
PLANNING BOARD CHAIRMAN



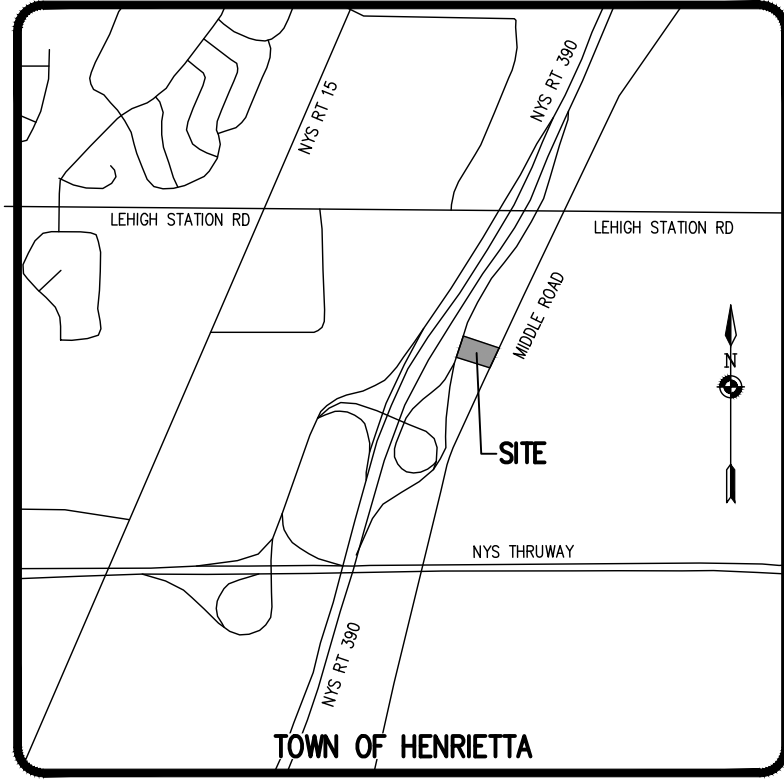
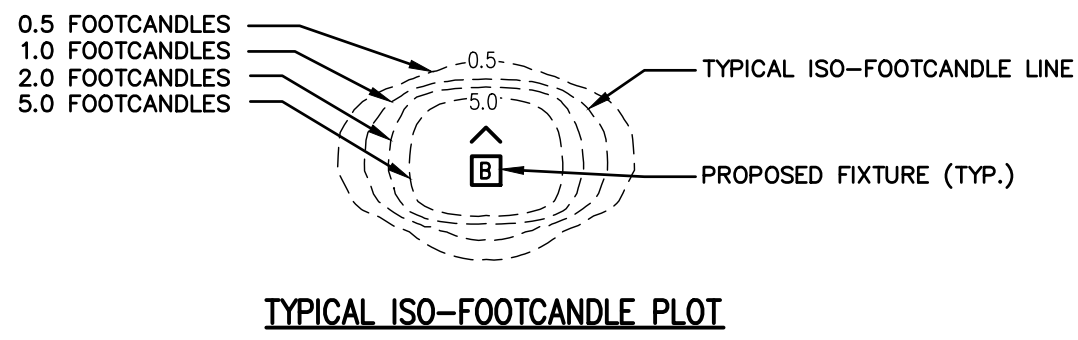
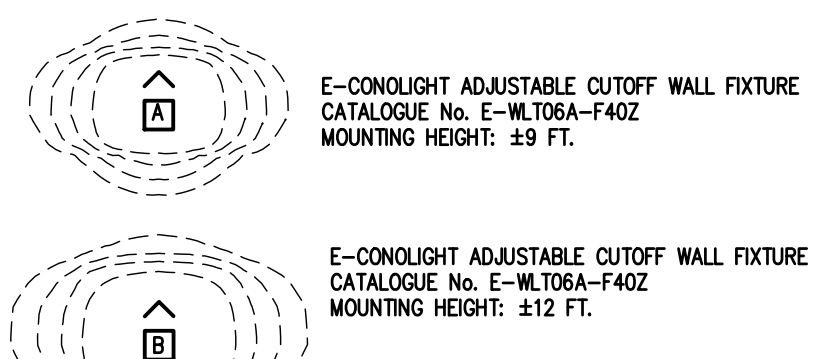
LIGHTING NOTES:

- LIGHTING TO BE PROVIDED AS DETAILED ON LIGHTING PLANS.
- CONTRACTOR RESPONSIBLE FOR FINAL QUANTITY TAKEOFF AND APPROVAL BY OWNER PRIOR TO INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR COORDINATION WITH ELECTRICAL ENGINEER FOR CONDUIT LOCATIONS.

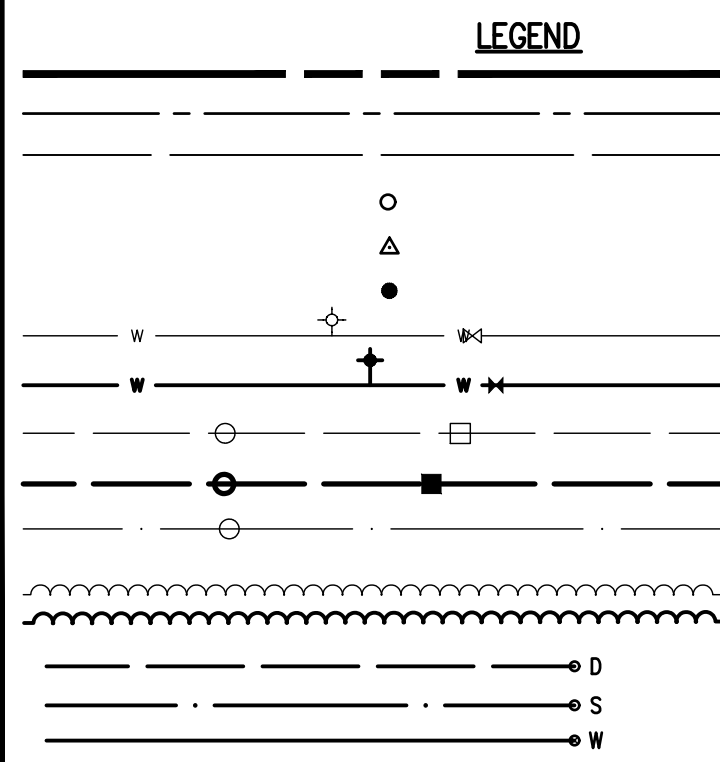
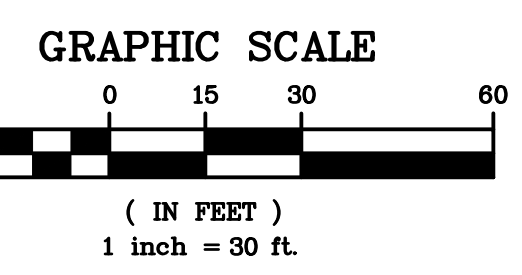


WALL FIXTURE DETAIL
N.T.S.

LIGHTING LEGEND:



LOCATION MAP
NOT TO SCALE



- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- WOOD FENCE POST FOUND
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREELINE
- PROPOSED STORM LATERAL AND CLEANOUT
- PROPOSED SANITARY LATERAL AND CLEANOUT
- PROPOSED WATER SERVICE AND CURBSTOP

LUMINAIRE SCHEDULE

SYMBOL	QTY.	LUMENS	LLF	MOUNTING HT.	LAMP	WATTAGE	DESCRIPTION
A	12	6400	1	9 FT.	66 WATT LED FIXTURE (4000K)	66	E-WLT06A-F40Z (OR APPROVED EQUAL)
B	6	6400	1	12 FT.	66 WATT LED FIXTURE (4000K)	66	E-WLT06A-F40Z (OR APPROVED EQUAL)

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: _____
PLANNING BOARD CHAIRMAN

DATE: _____

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

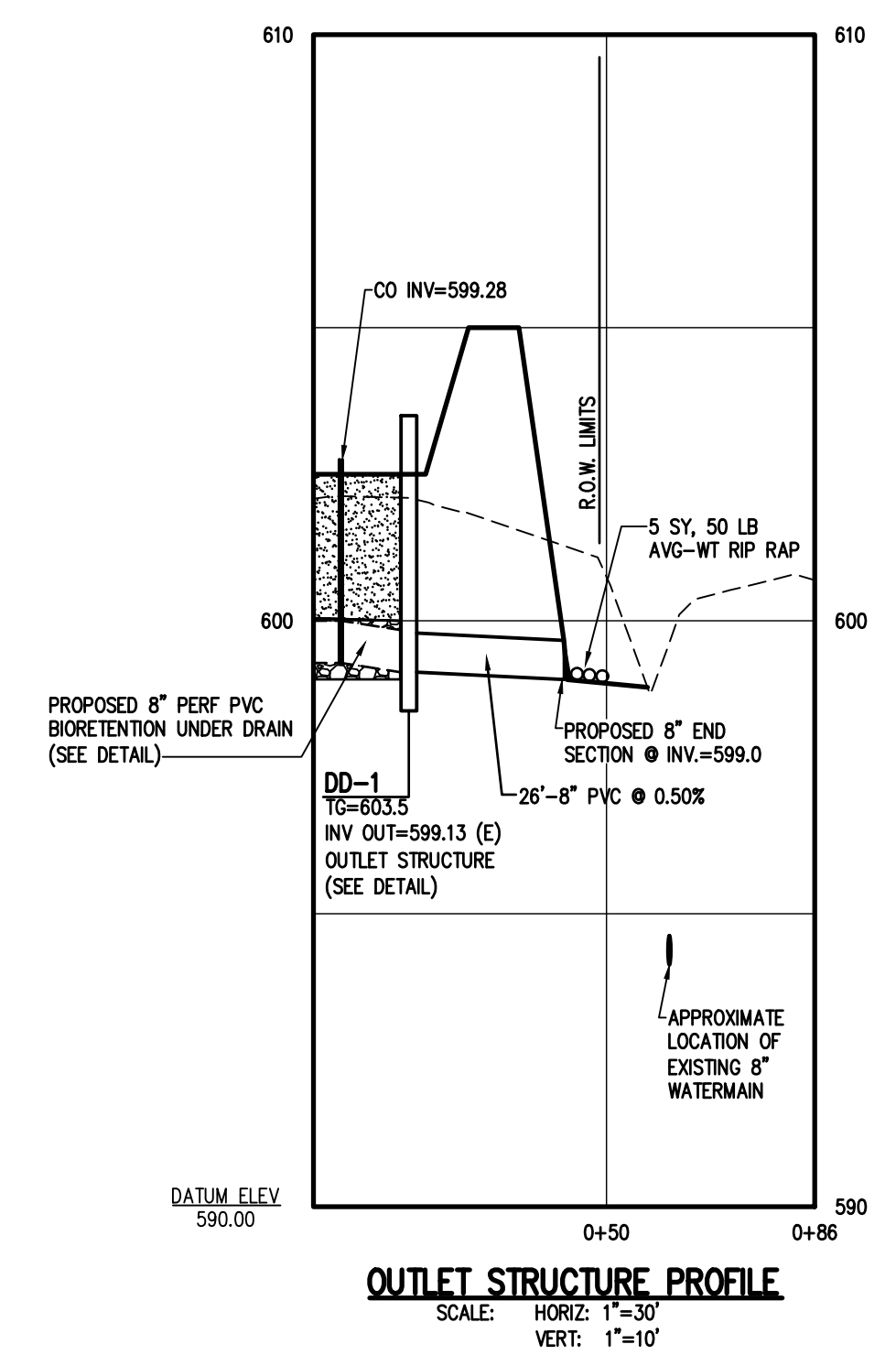
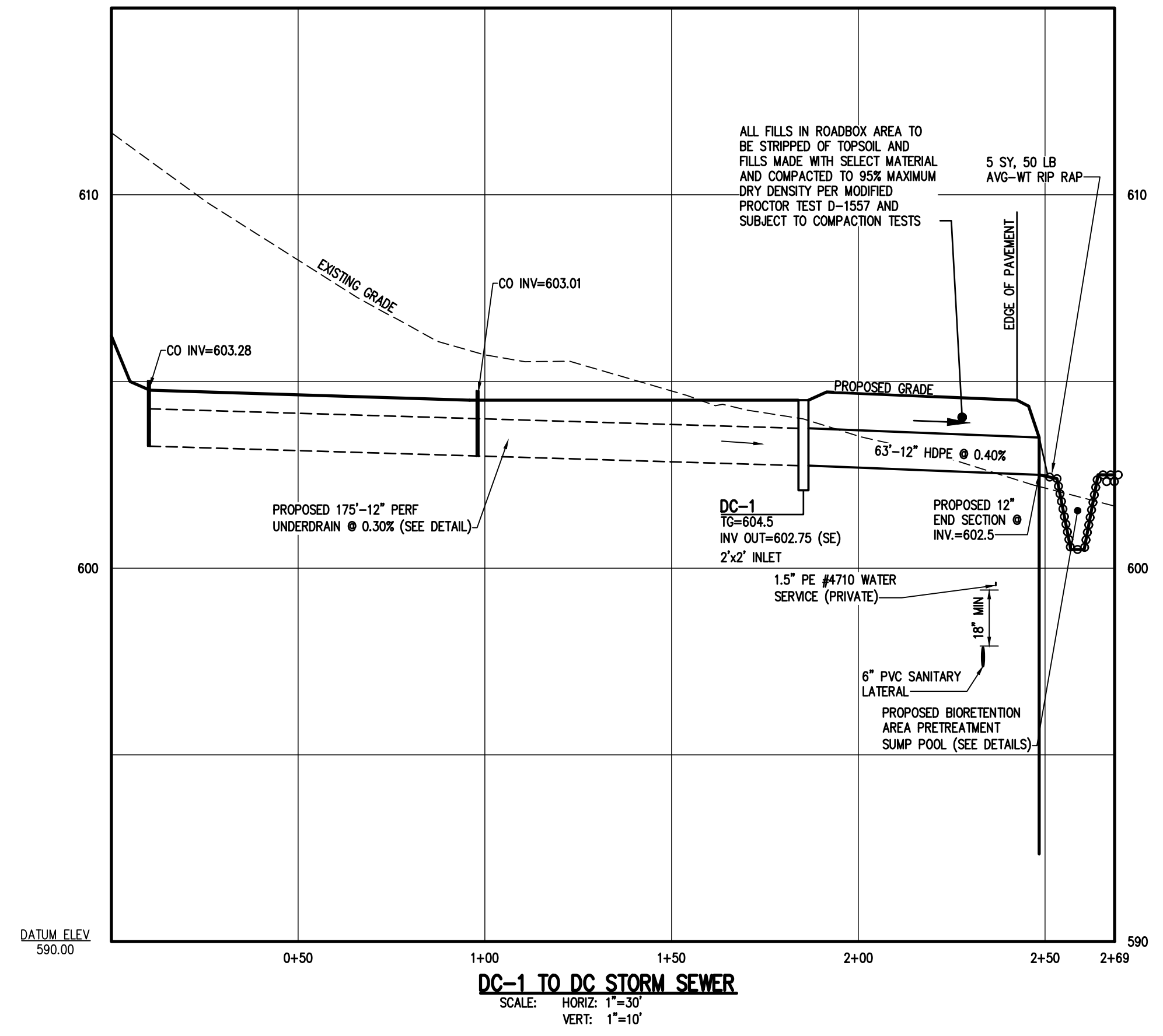
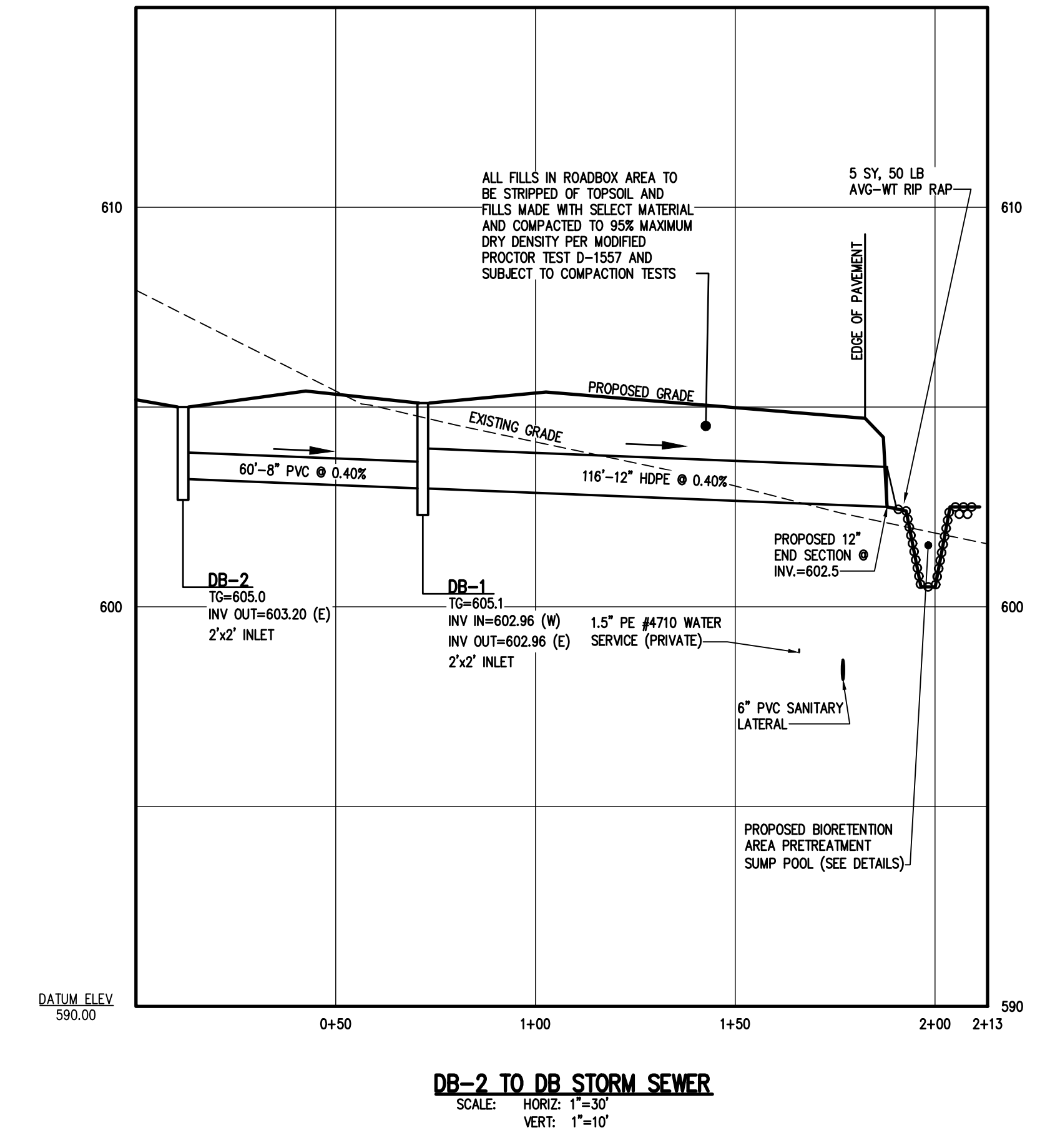
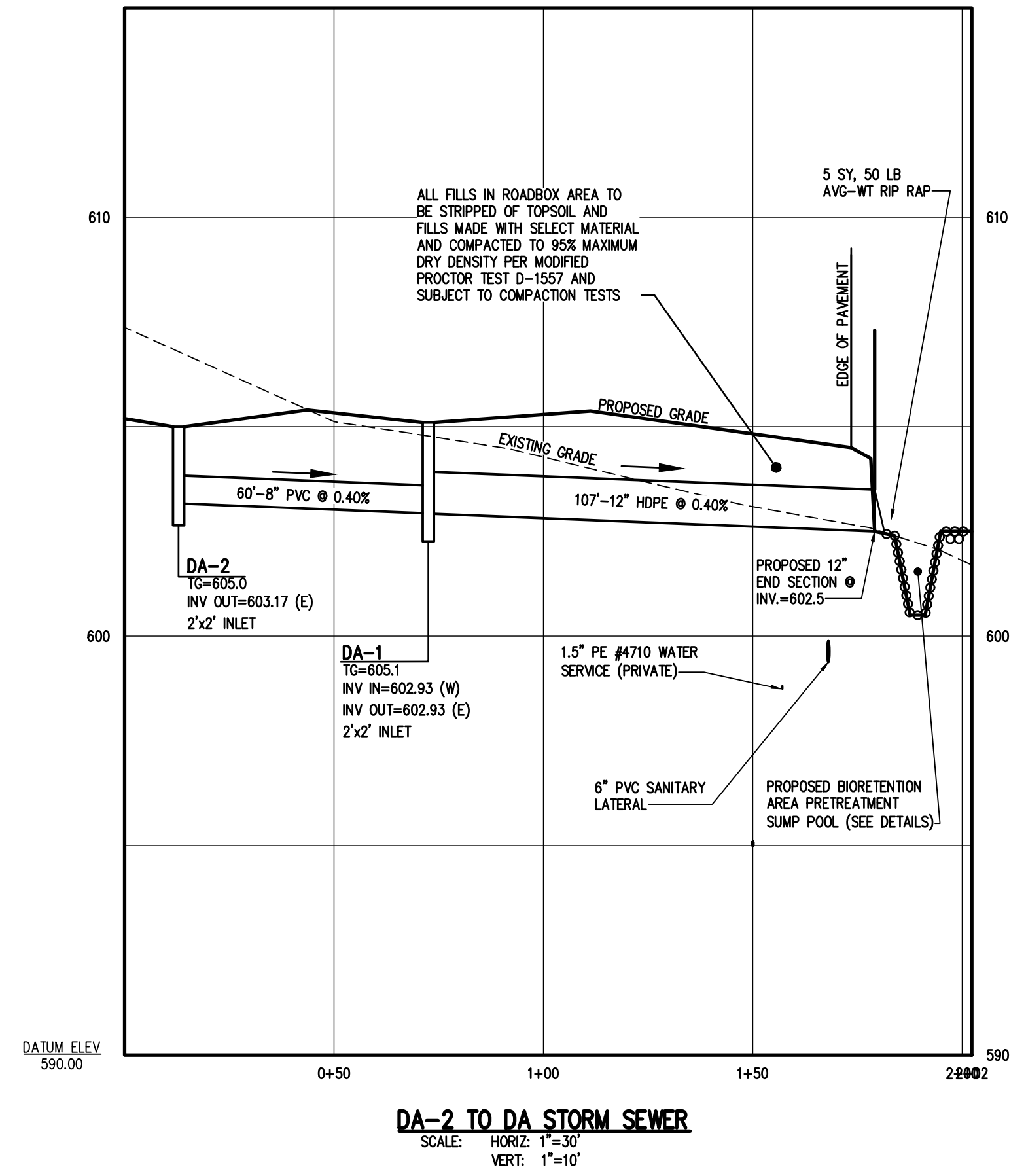
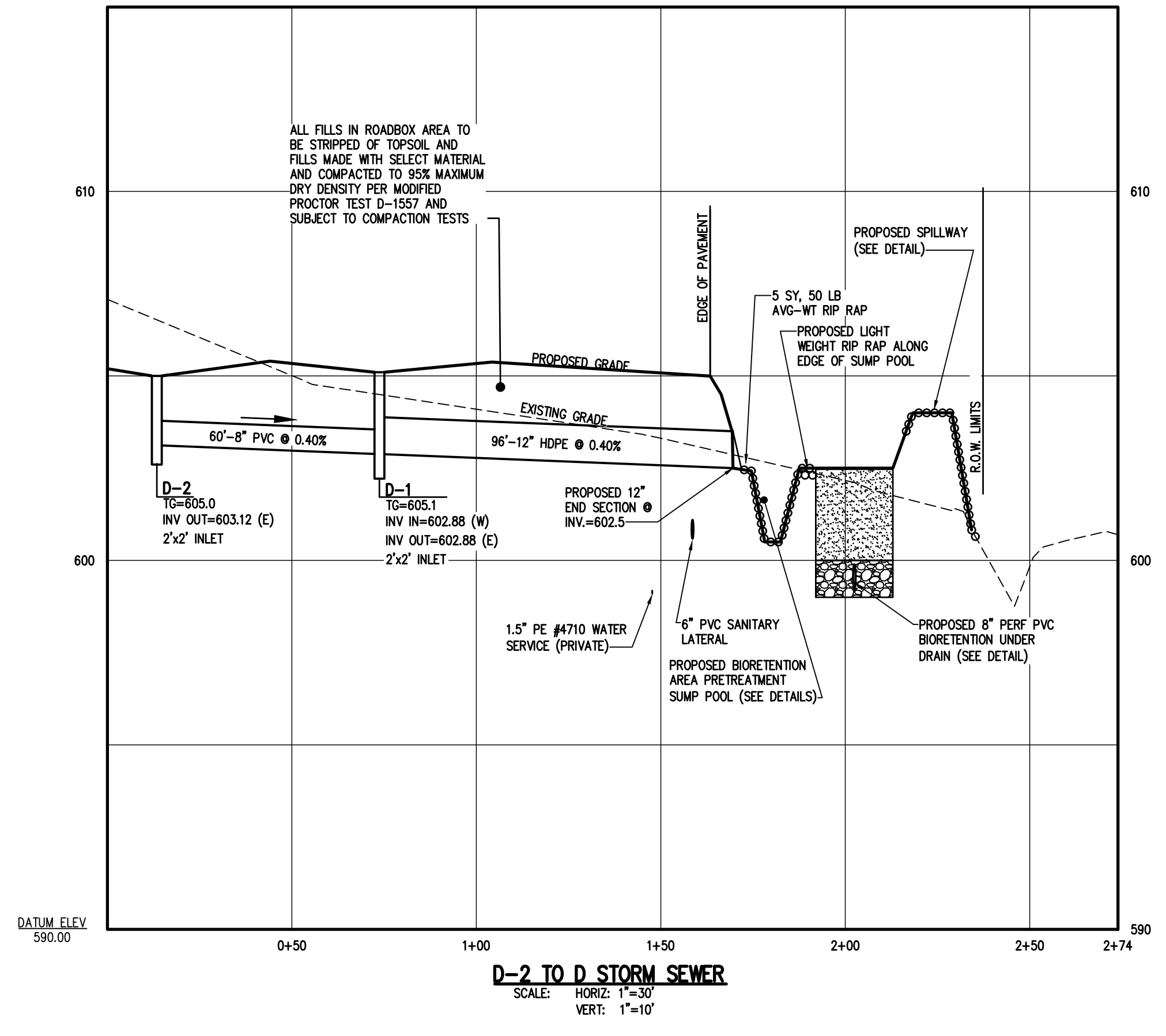
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
HENRIETTA, NY 14450
WWW.BME-LLC.COM
PHONE 565-377-7360
FAX 565-377-7309



MIDDLE ROAD MINI STORAGE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PROJECT LOCATION CLIENT DRAWING TITLE
PROJECT: MIDDLE ROAD MINI STORAGE
LOCATION: TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
CLIENT: BME ASSOCIATES, 10 LIFT BRIDGE LANE EAST, HENRIETTA, NY 14450
DRAWING TITLE: PRELIMINARY/FINAL LIGHTING PLAN

PROJECT MANAGER
J.L. SWEDROCK
PROJECT ENGINEER
J.G. CRETEKOS
DRAWN BY
A.R. SPENCER
SCALE 1"=30'
DATE ISSUED NOVEMBER 2023
PROJECT NO. 2620A
DRAWING NO. 07

P:\2620A Drawings\Plan\2620A Design Base.dwg

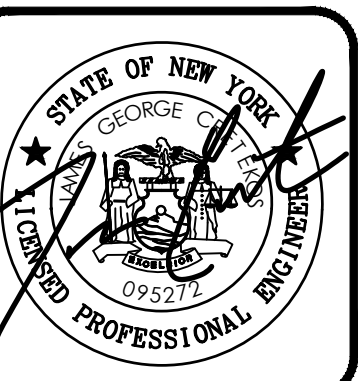


NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

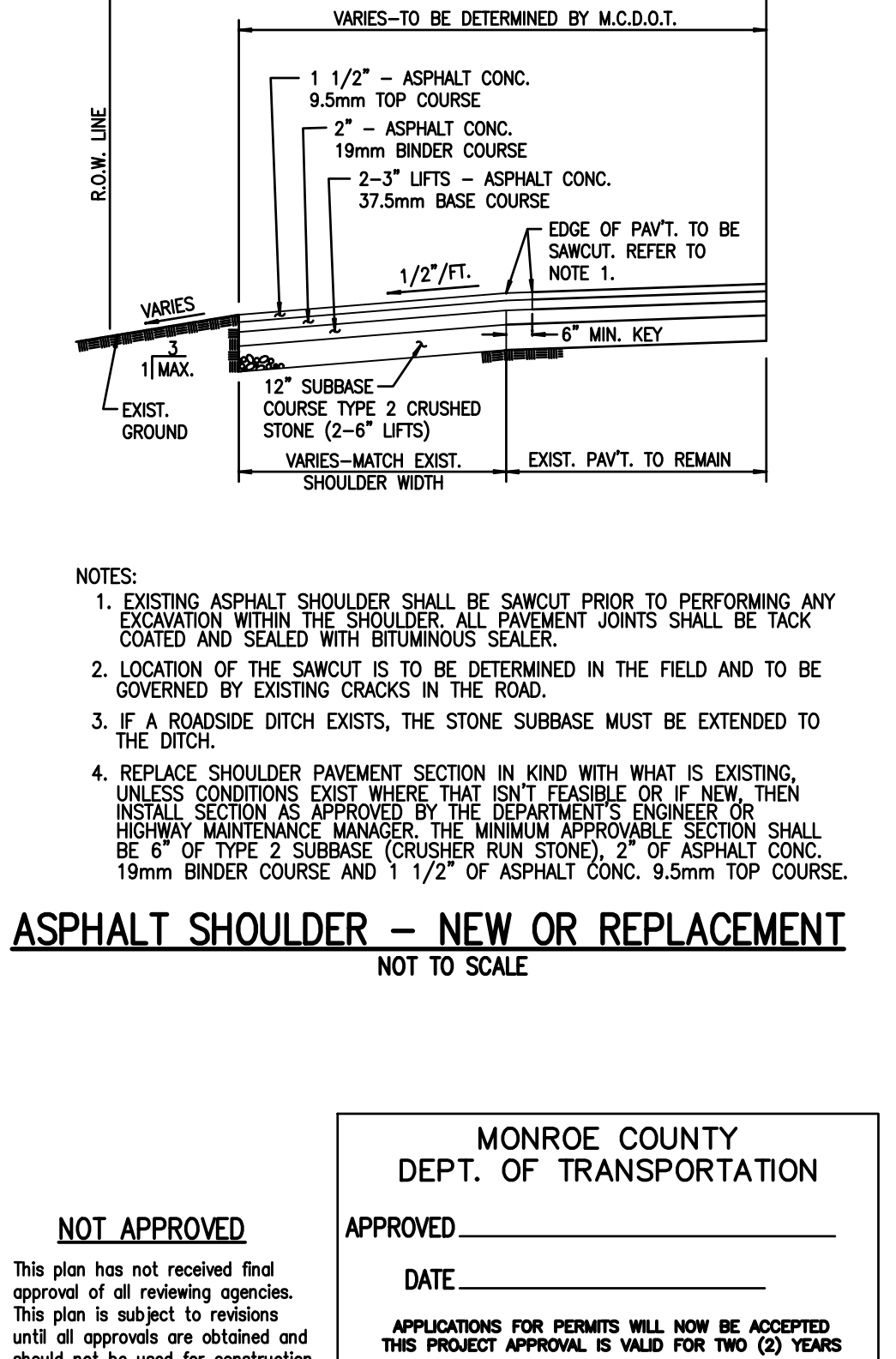
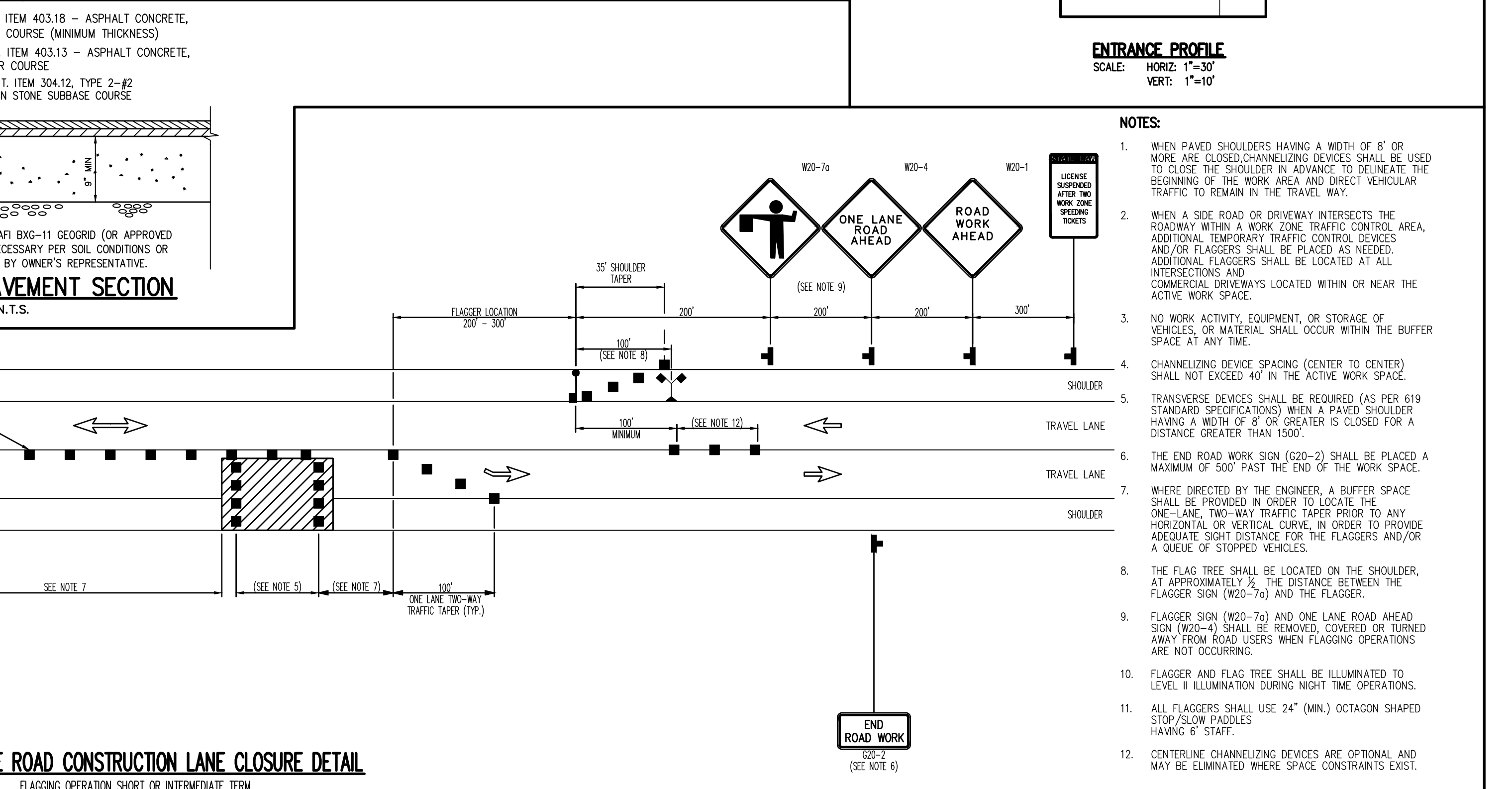
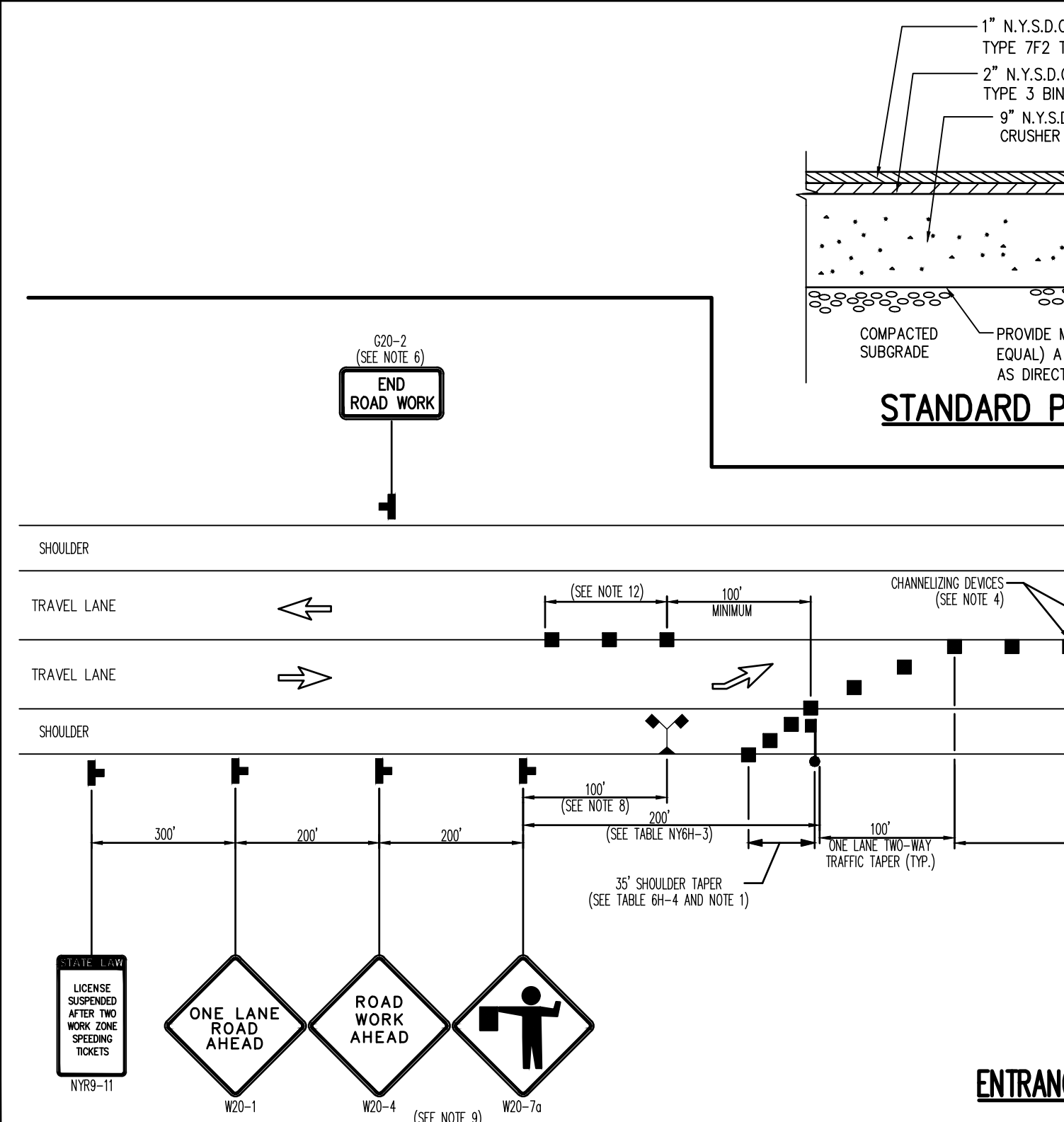
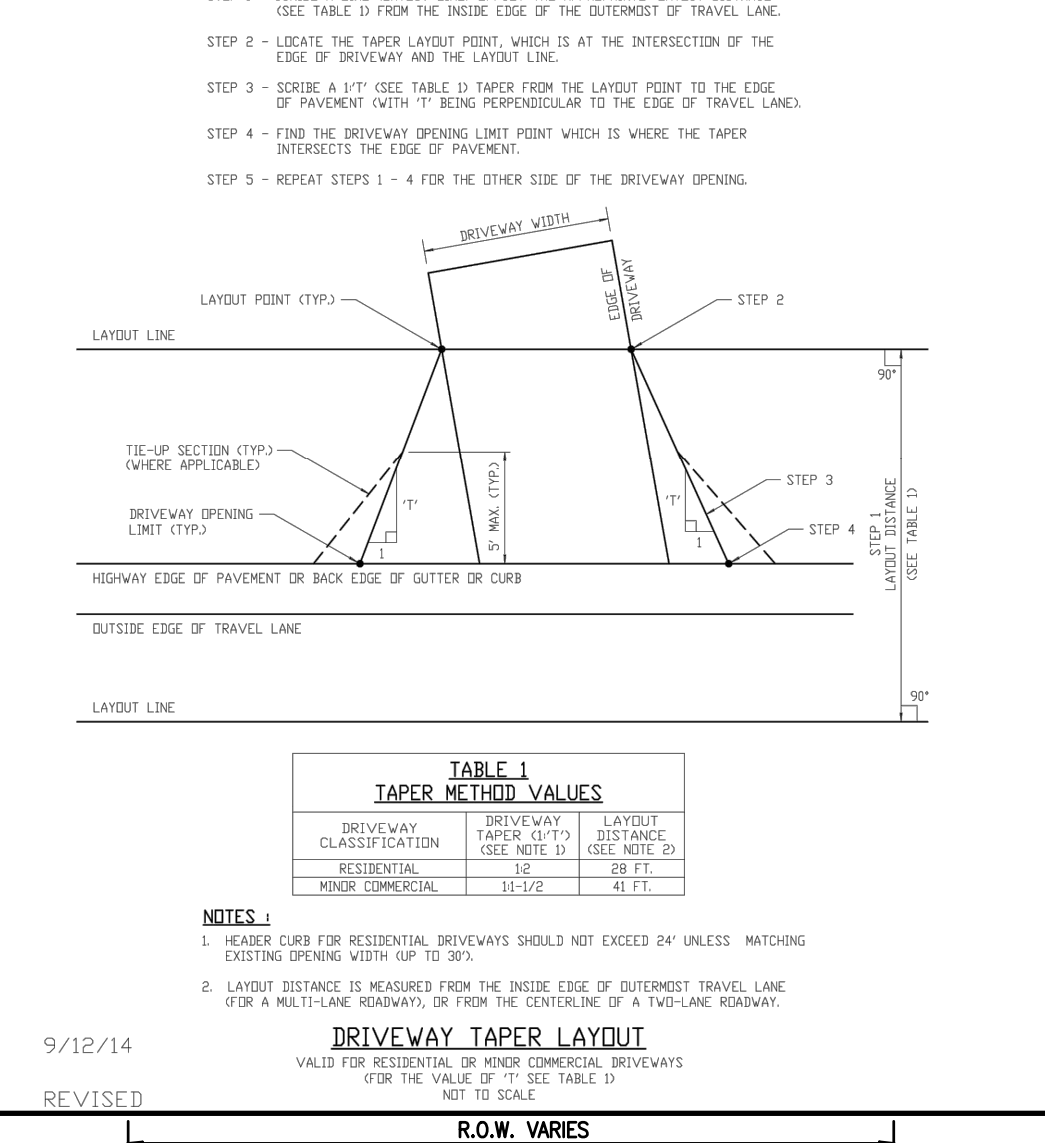
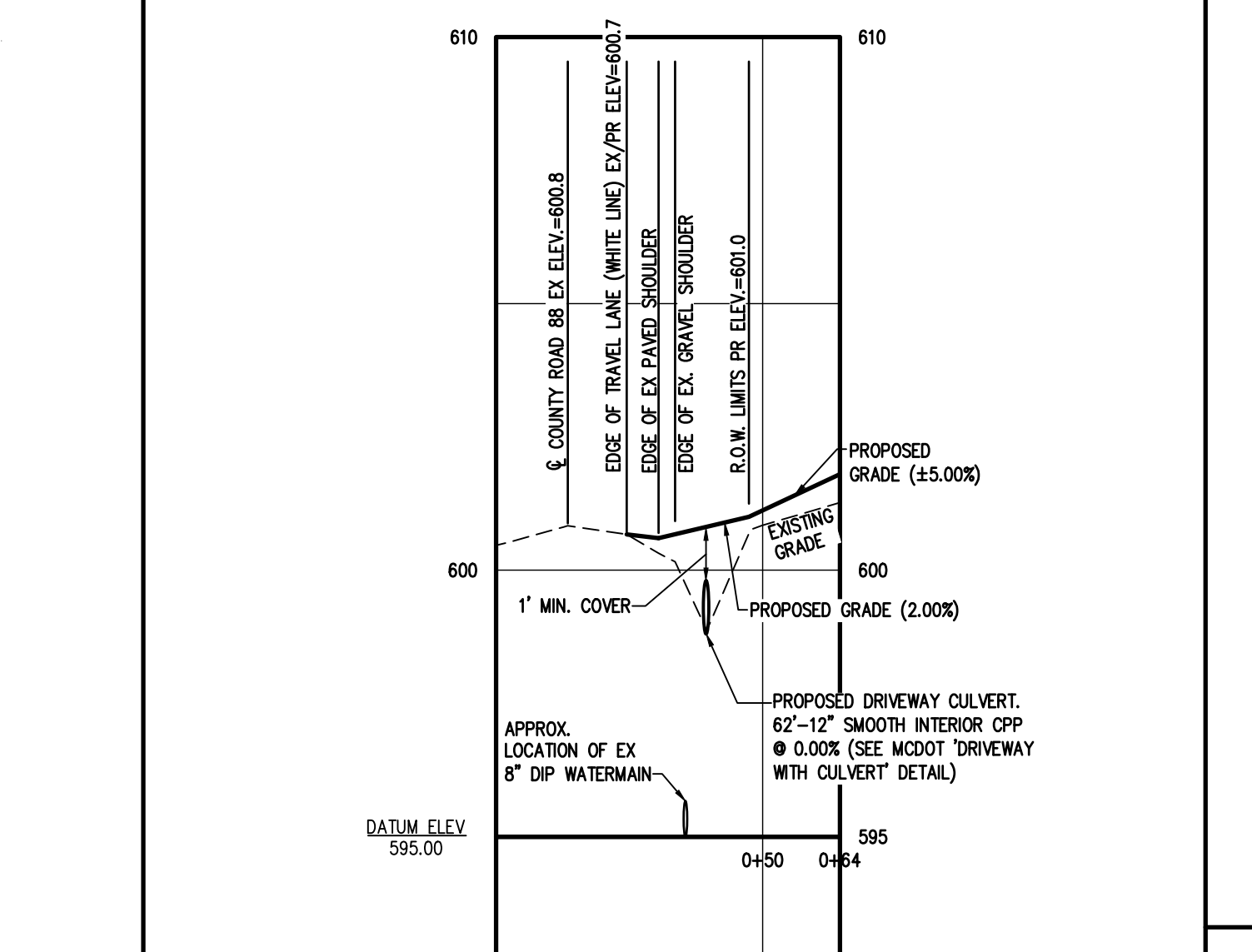
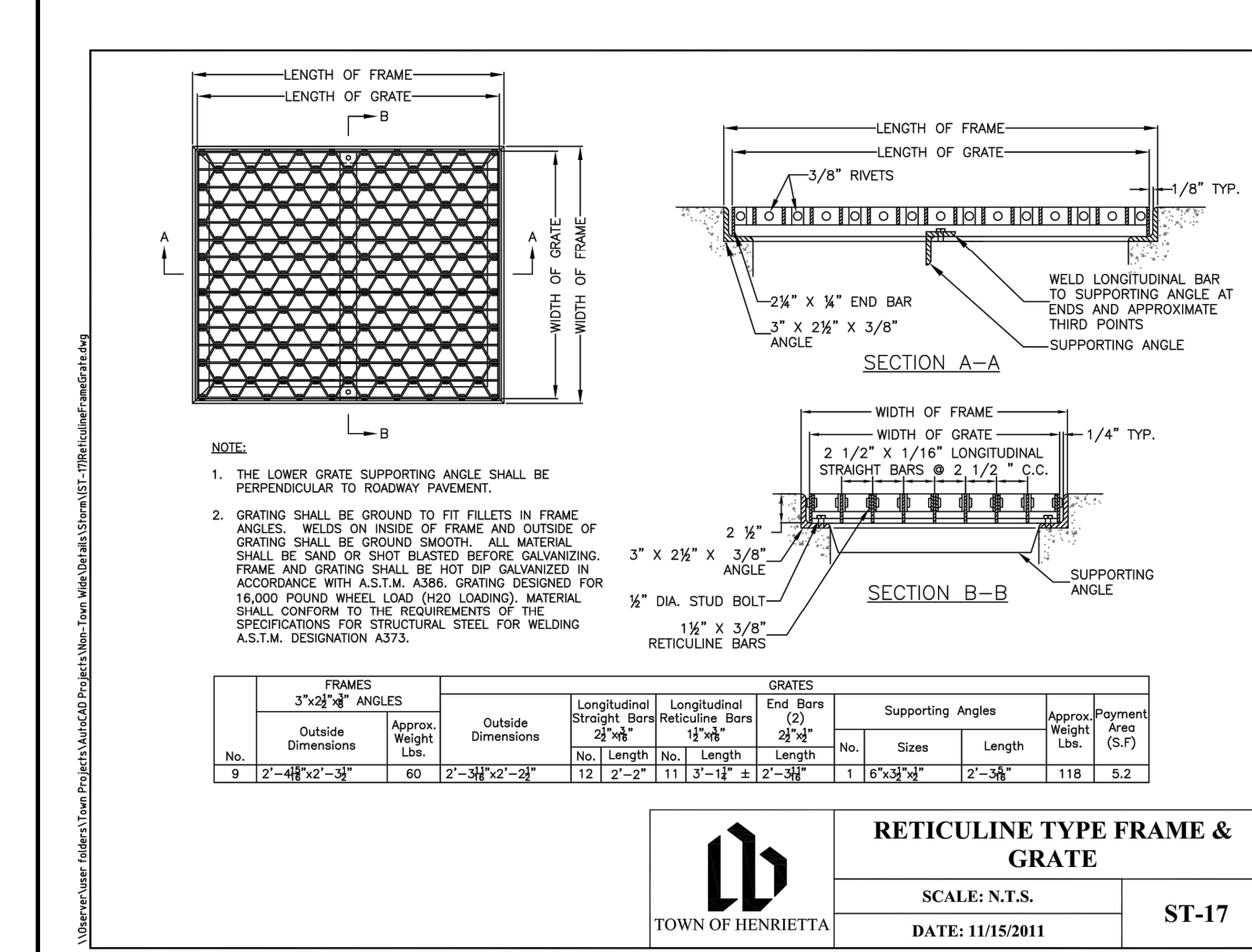
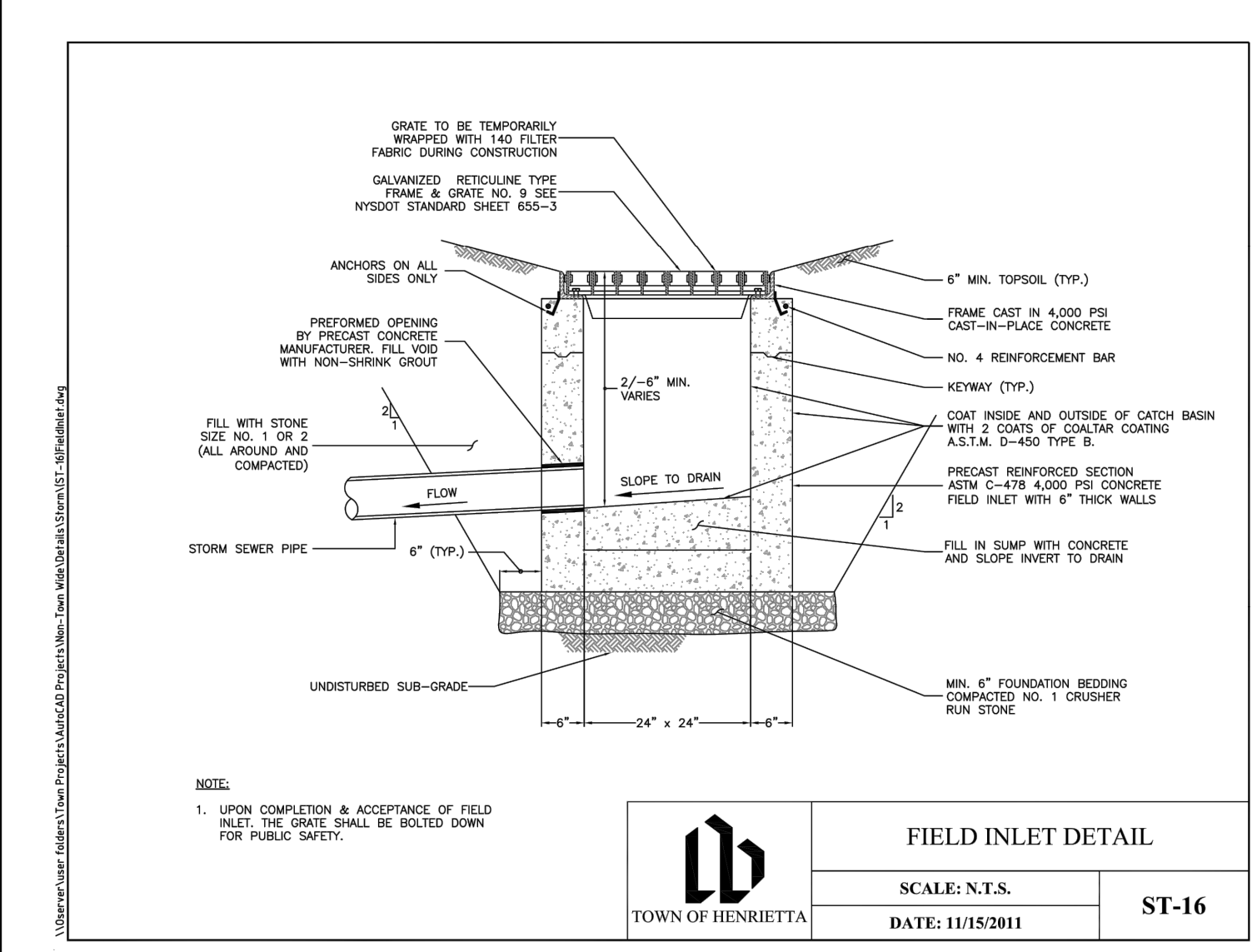
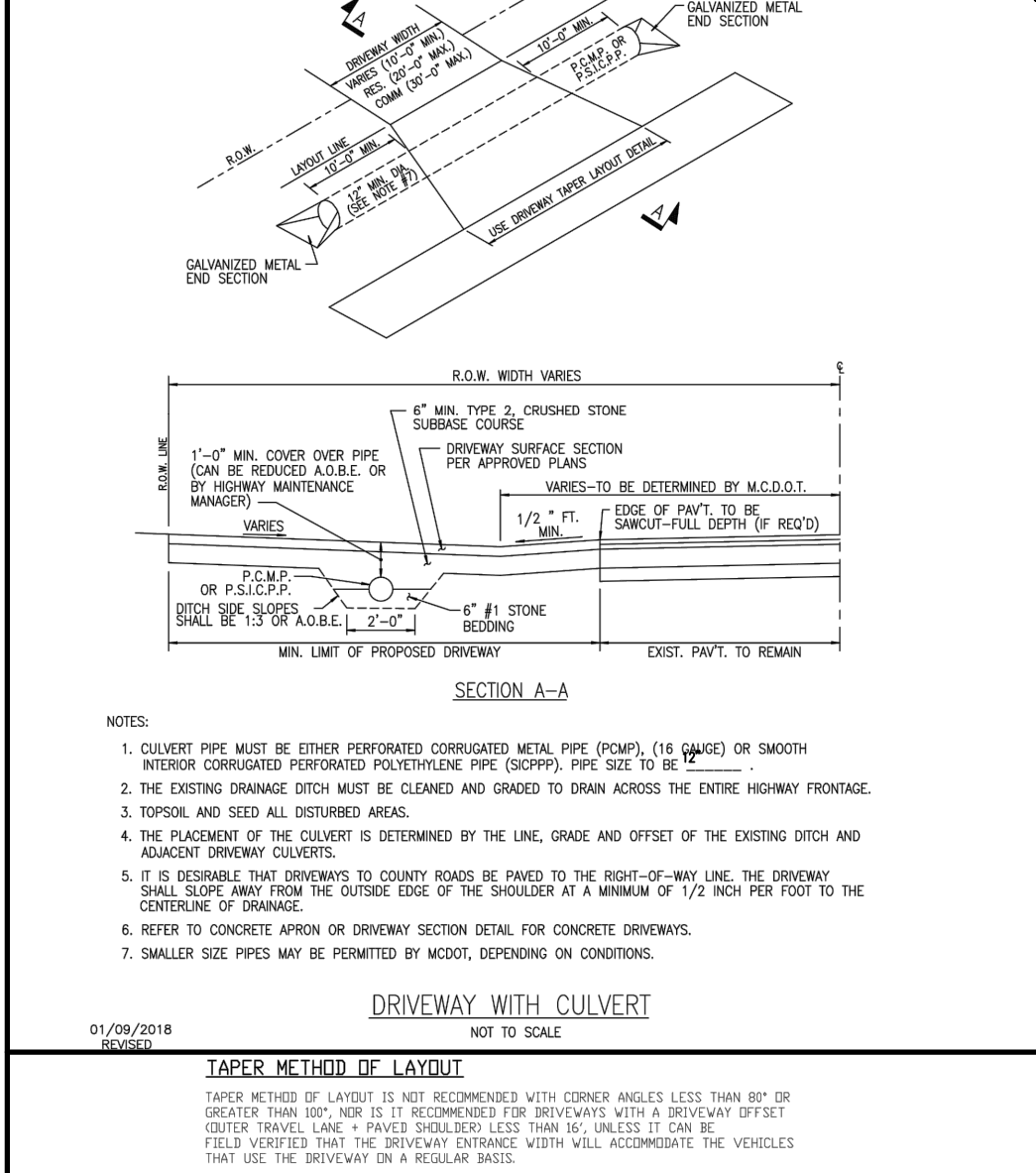
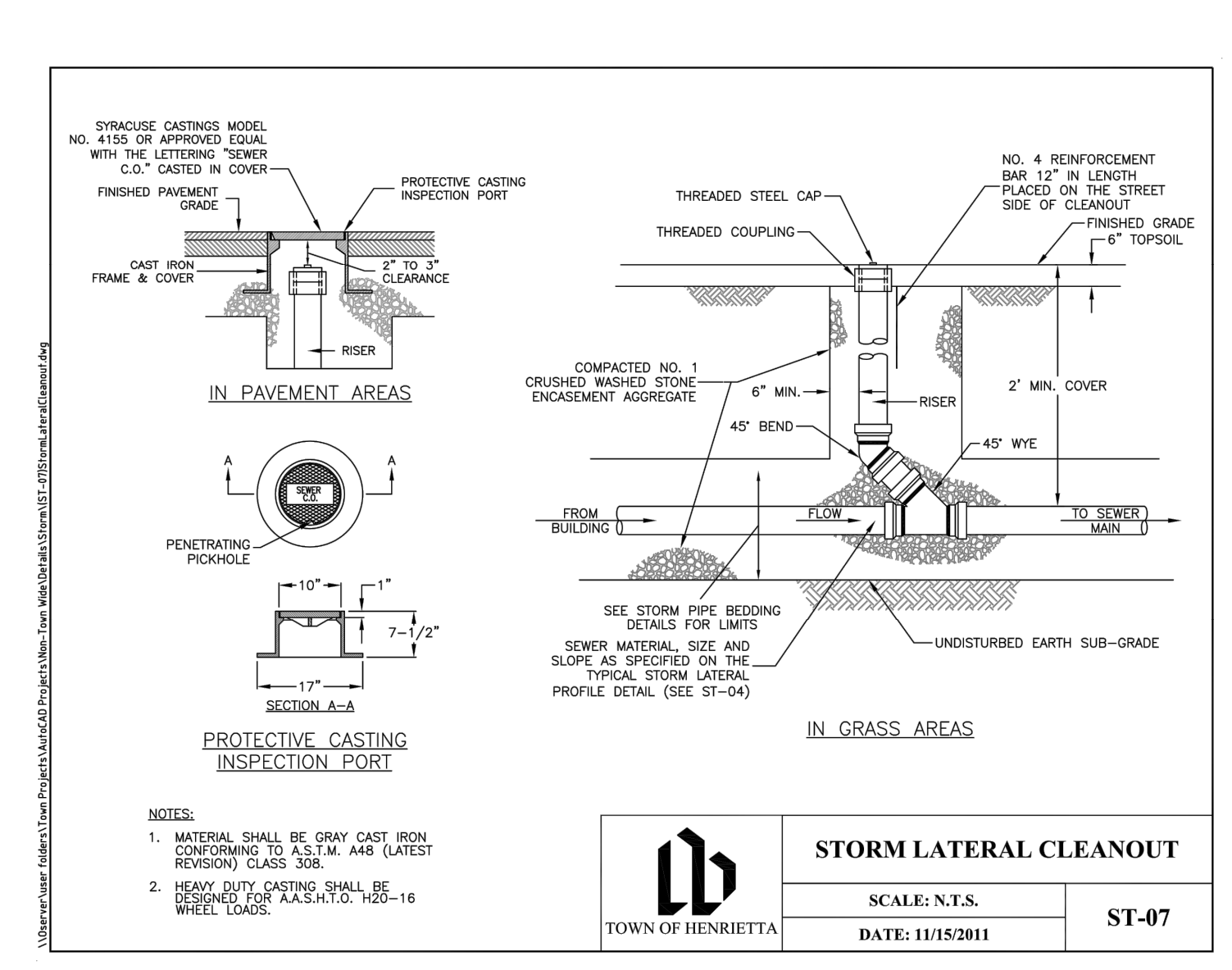
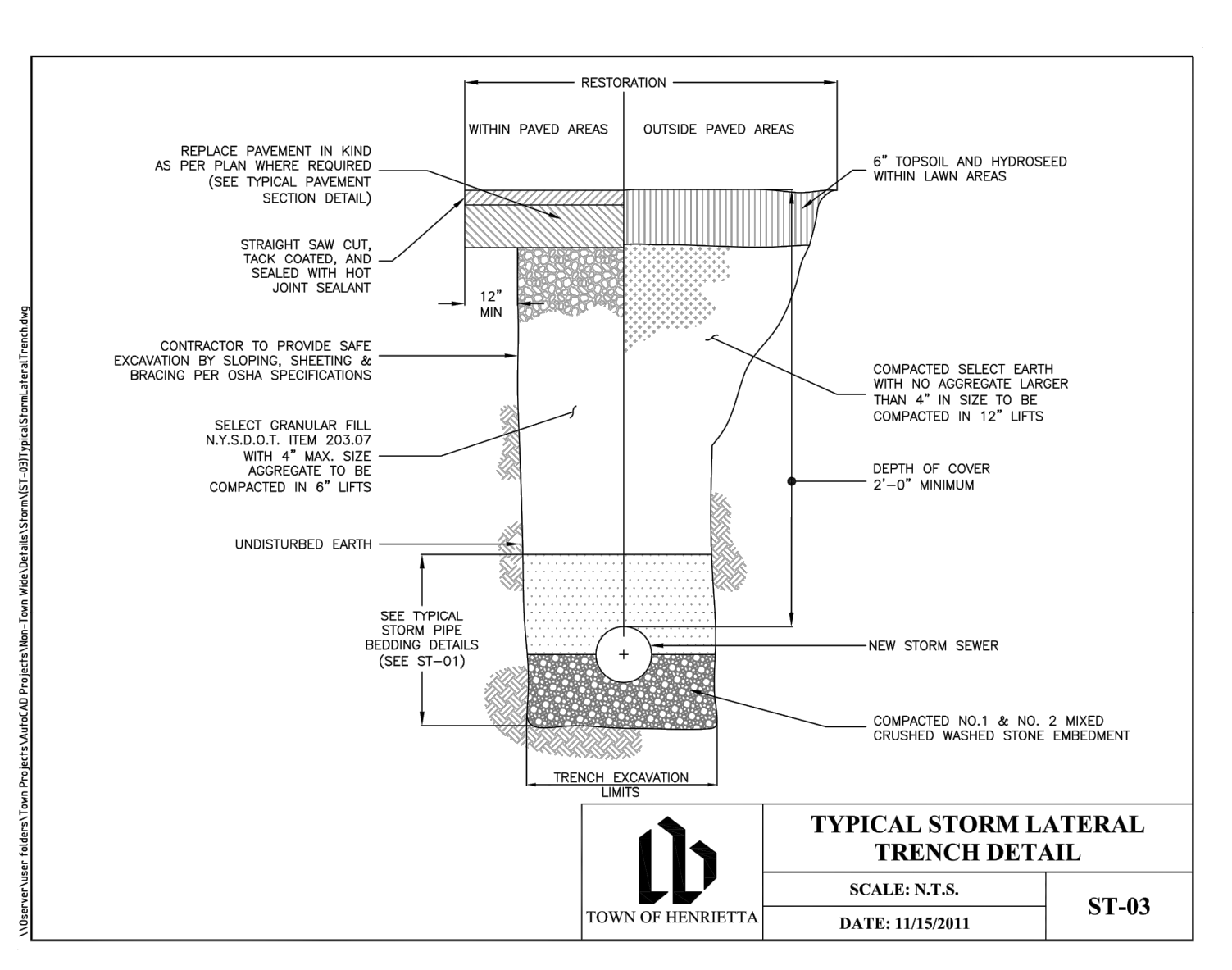
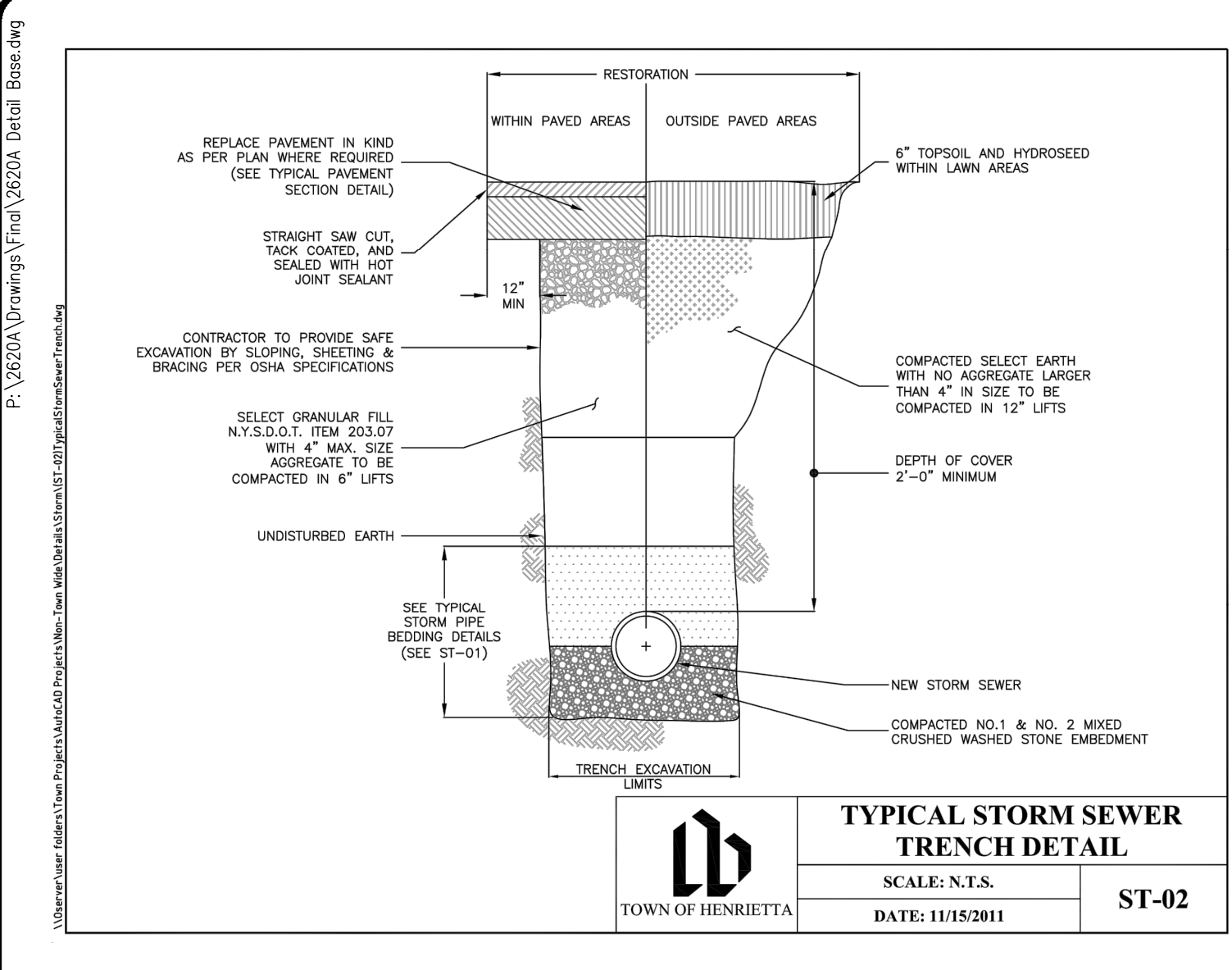
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
SUITE 1450
WWW.BMEGROUP.COM
PHONE: 565-577-7360
FAX: 565-577-7309



MIDDLE ROAD MINI STORAGE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
BRANDES ARCHITECTS, LLC
6887 SPEEDWAY BLVD, SUITE 108
LAS VEGAS, NEVADA 89115
PRELIMINARY/FINAL PROFILE SHEET

PROJECT: LOCATION: CLIENT: DRAWING TITLE:

PROJECT MANAGER: J.L. SWEDROCK
PROJECT ENGINEER: J.G. CRETEKOS
DRAWN BY: R. GLITCH
SCALE: AS SHOWN DATE ISSUED: NOVEMBER 2023
PROJECT NO. 2620A



Drawing Alteration from the following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation altered followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCKY HILL, CT 06291
PHONE: 860-377-7360
FAX: 860-377-7369
WWW.BMEGLOBAL.COM



MIDDLE ROAD MINI STORAGE
PROJECT LOCATION CLIENT DRAWING TITLE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
PLANNING STUDIOS, INC.
6857 SPEEDWAY, SUITE 108
LAS VEGAS, NEVADA 89115
PRELIMINARY/FINAL
DETAIL SHEET

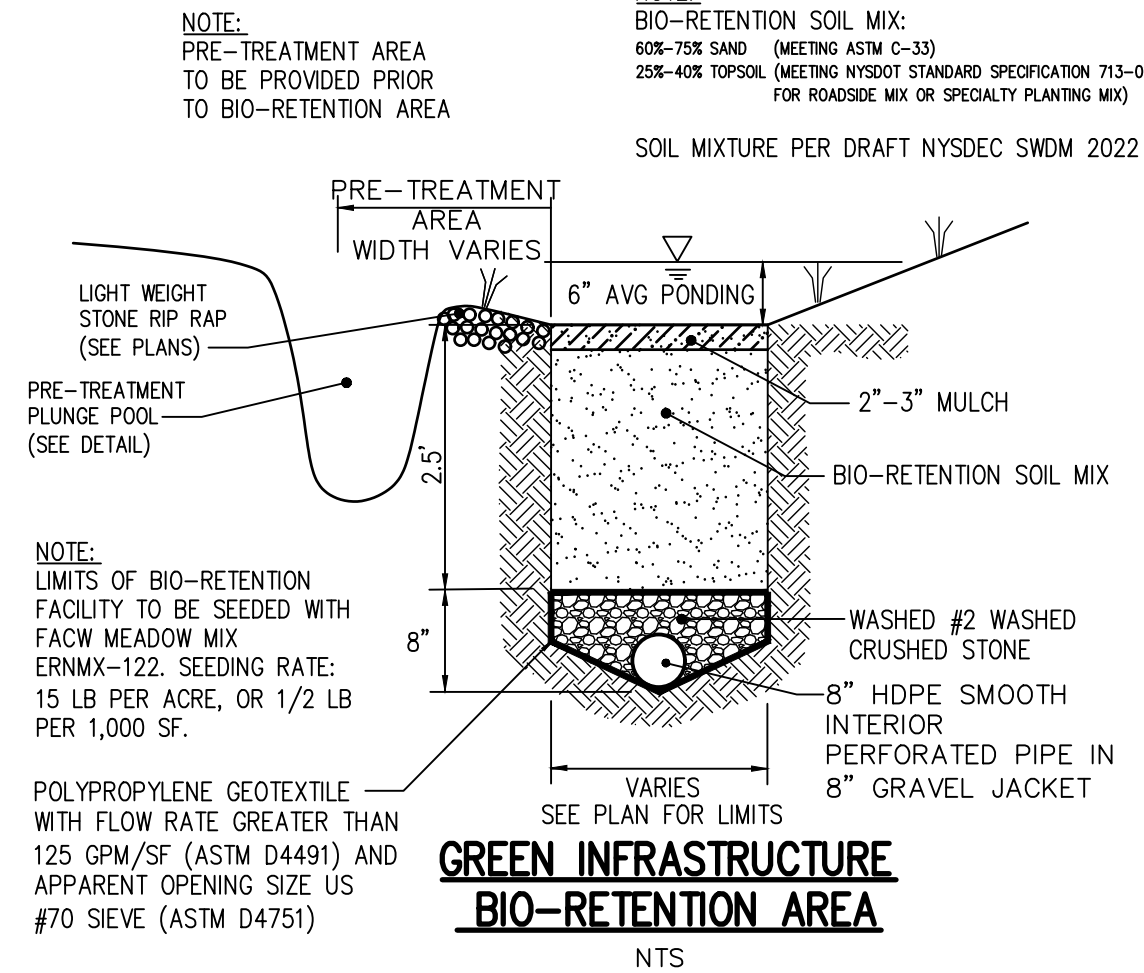
PROJECT MANAGER
J.L. SWEDROCK
PROJECT ENGINEER
J.G. CRETEKOS
DRAWN BY
J.G. CRETEKOS
SCALE DATE ISSUED
N.T.S. NOVEMBER 2023
PROJECT NO.
2620A
DRAWING NO.
09

Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 6 inches of topsoil	HSG C & D Aerate* and apply 6 inches of topsoil
Areas of cut or fill	HSG A & B Apply full Soil Restoration	HSG C & D Apply full Soil Restoration**
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)	
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.	

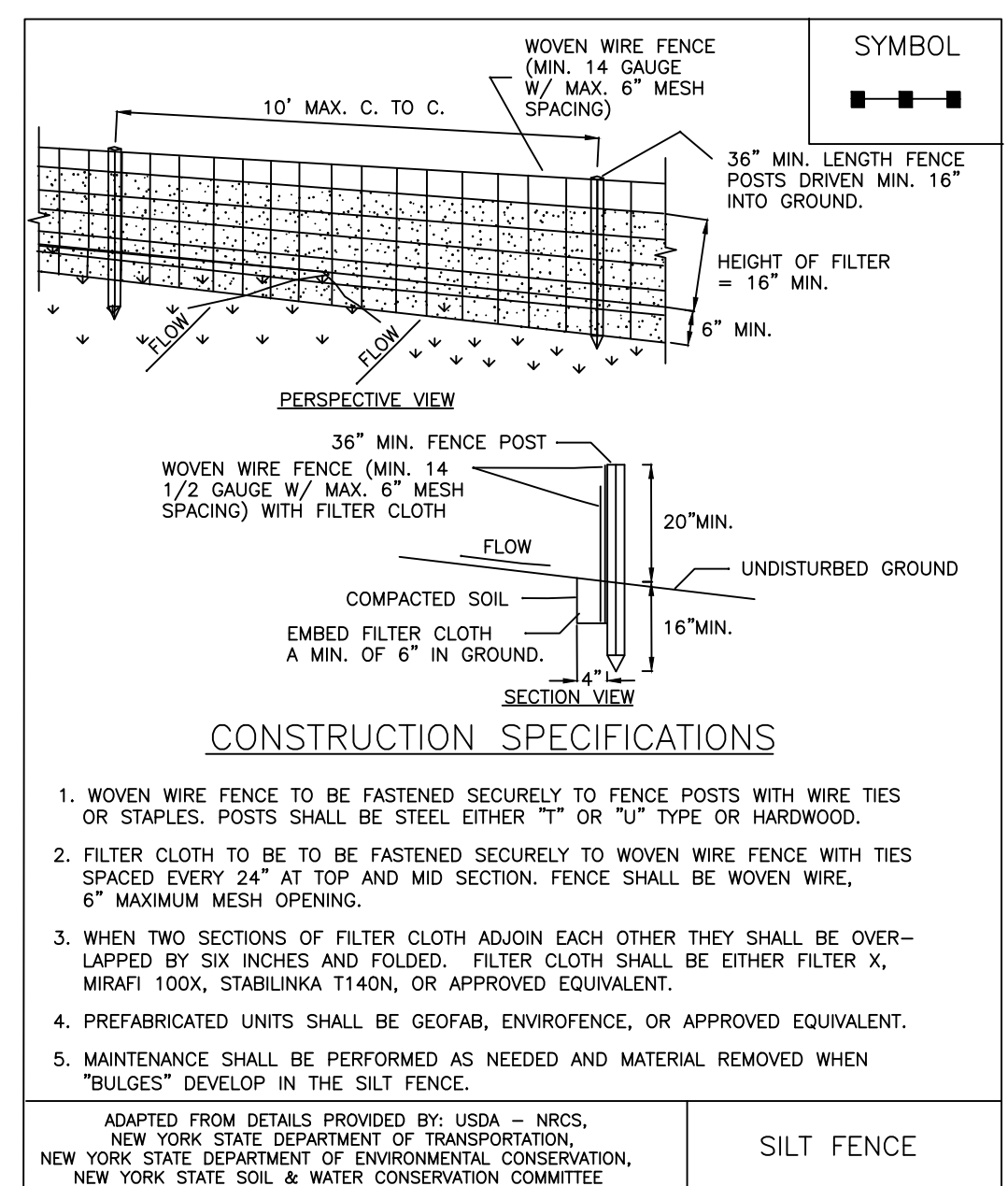
*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.
** Per "Deep Ripping and De-compaction, DEC 2008".

August 2010

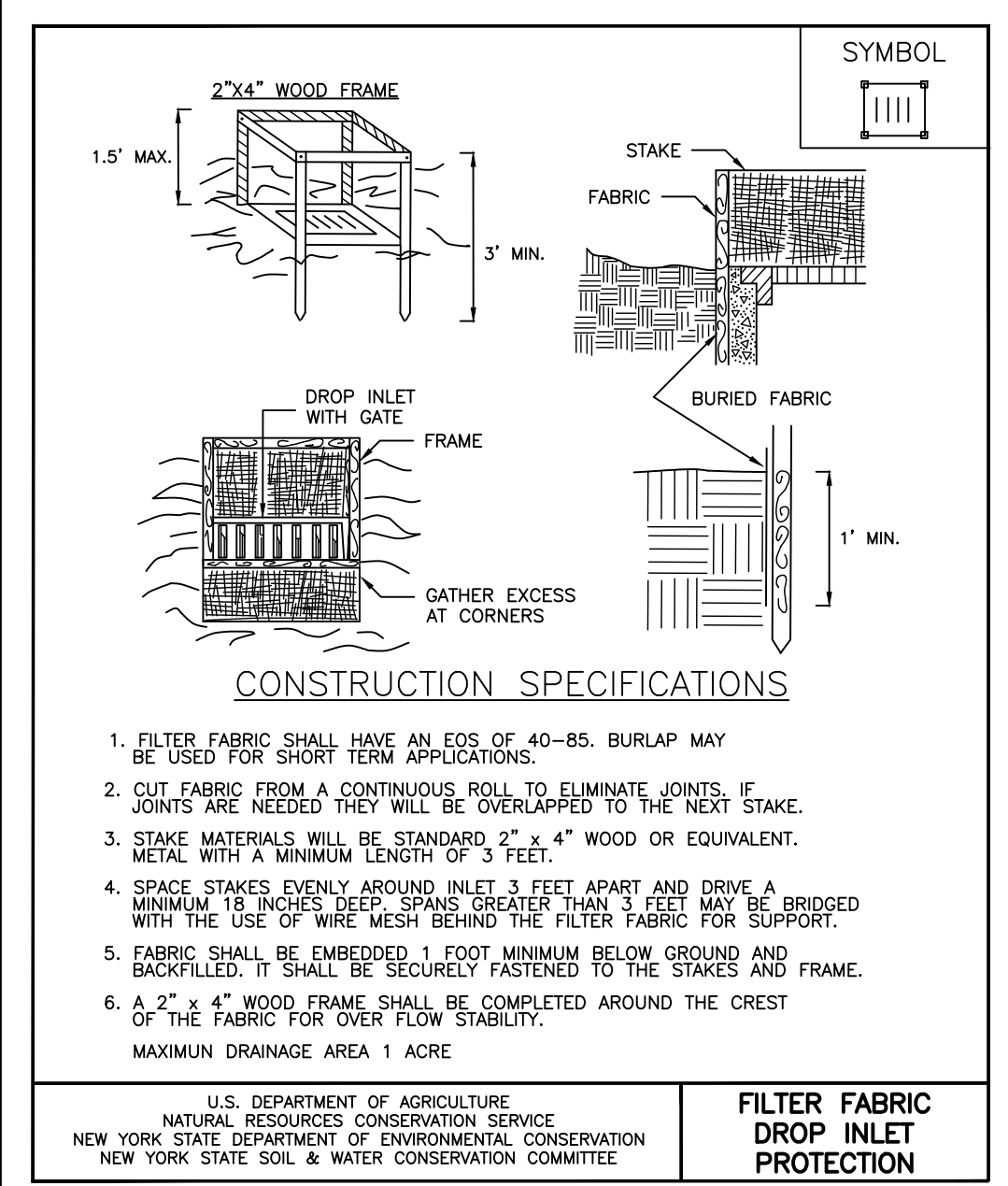
5-22



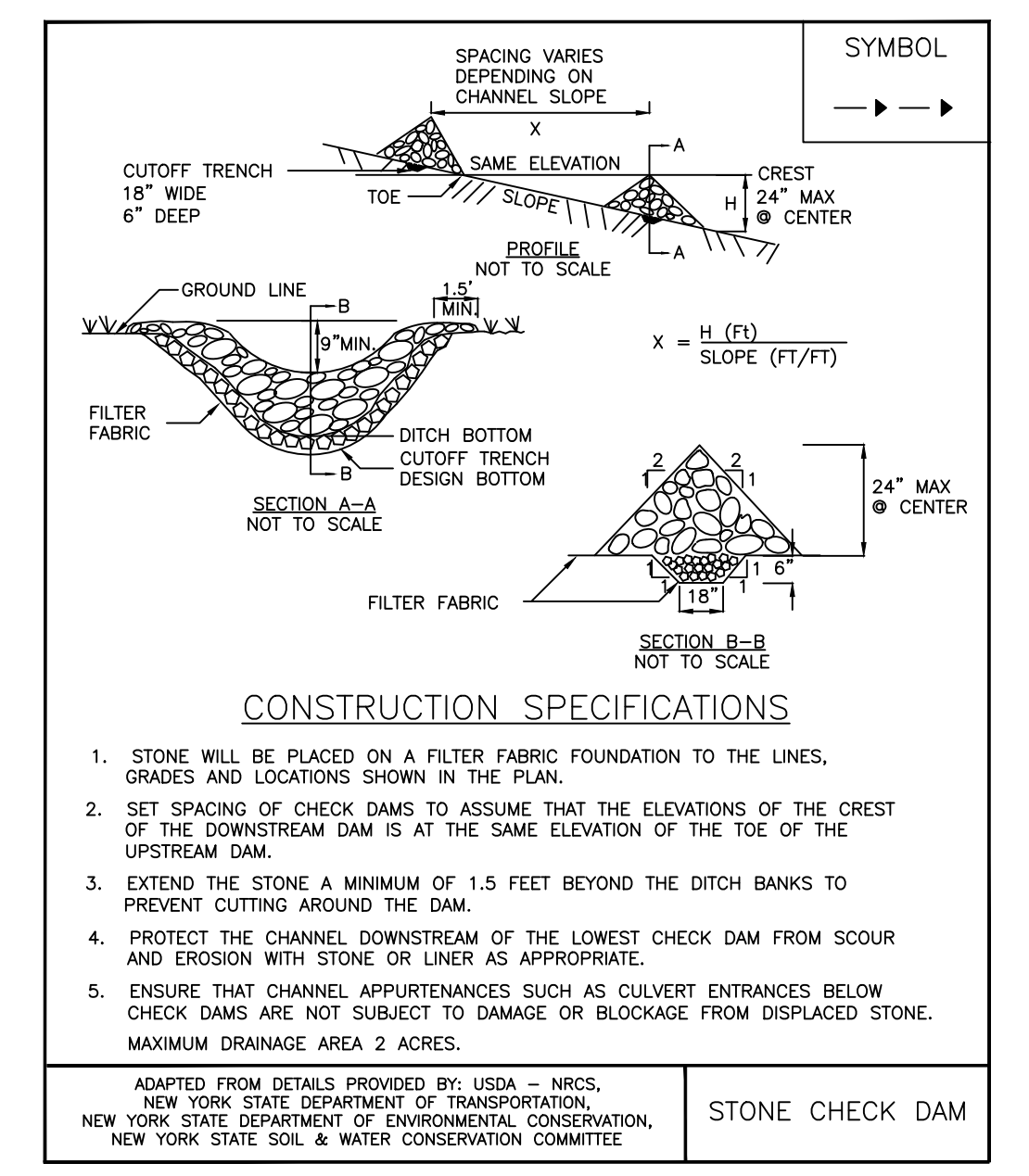
GREEN INFRASTRUCTURE BIO-RETENTION AREA



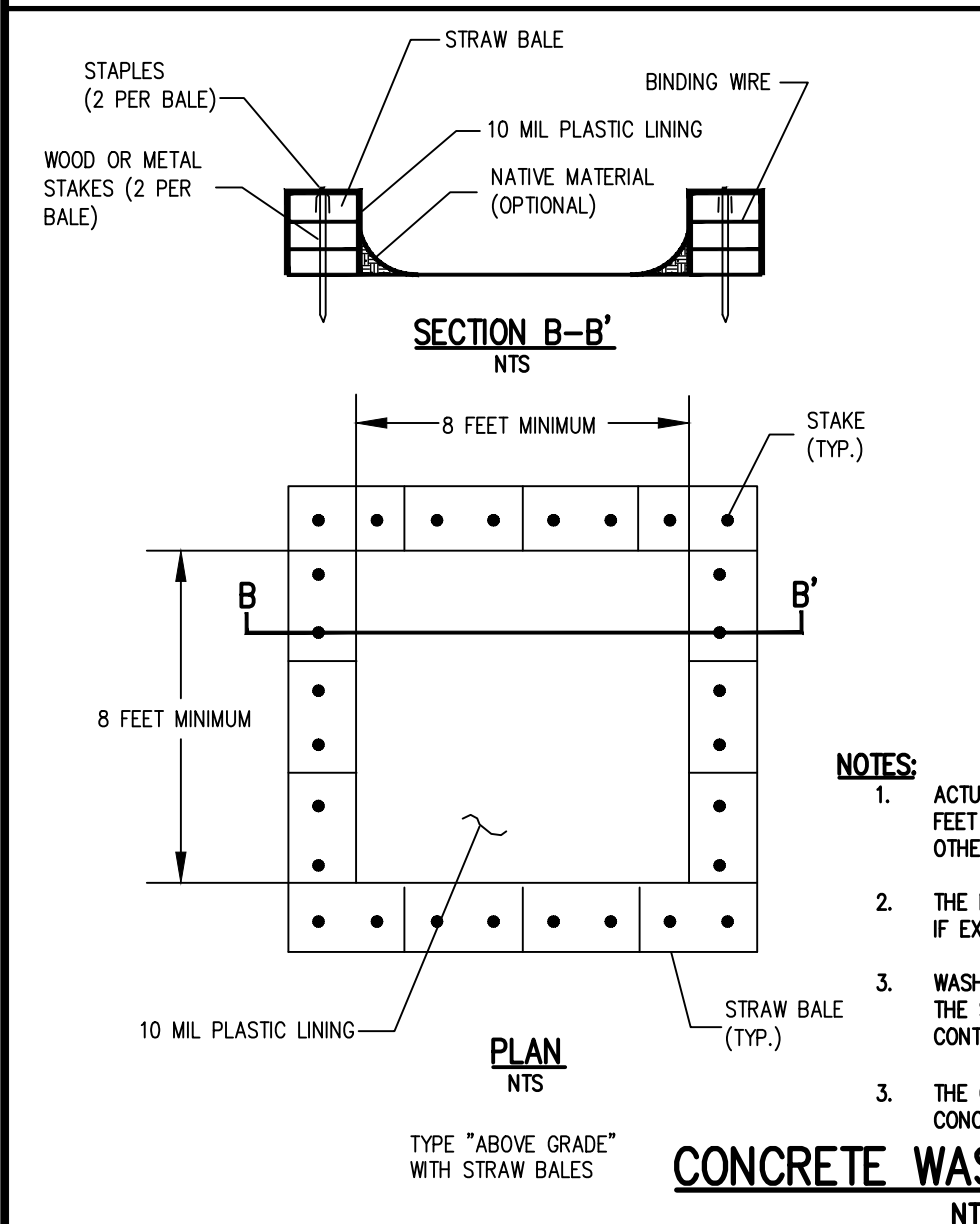
SILT FENCE



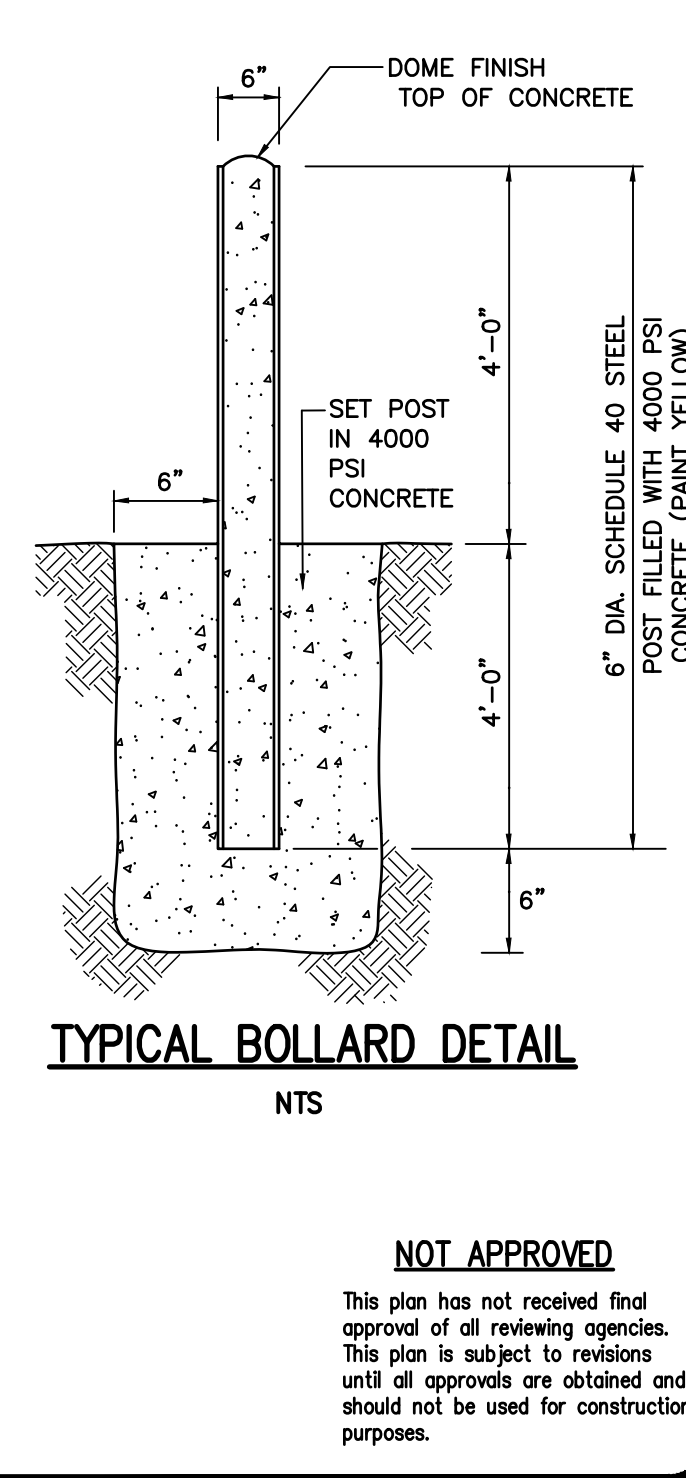
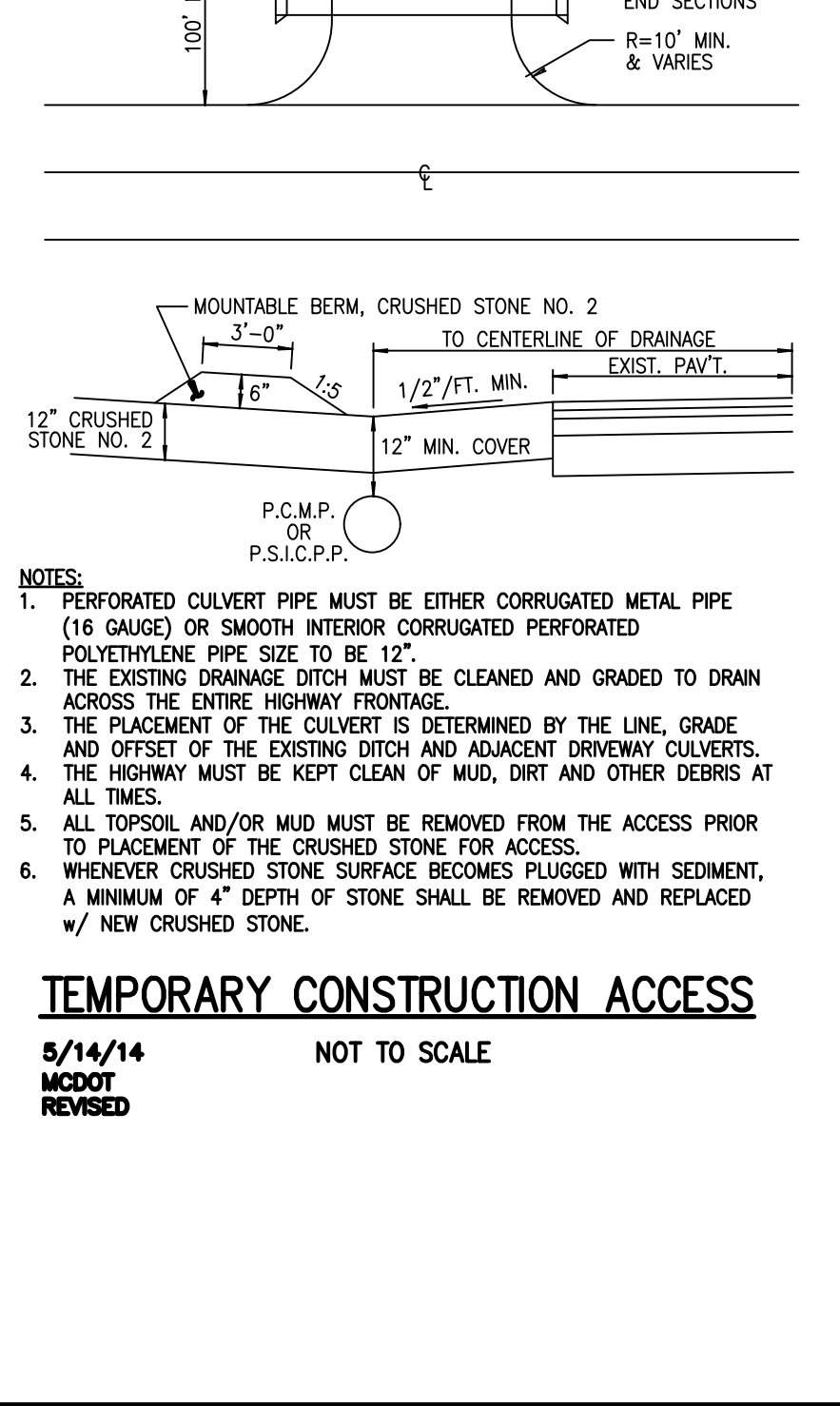
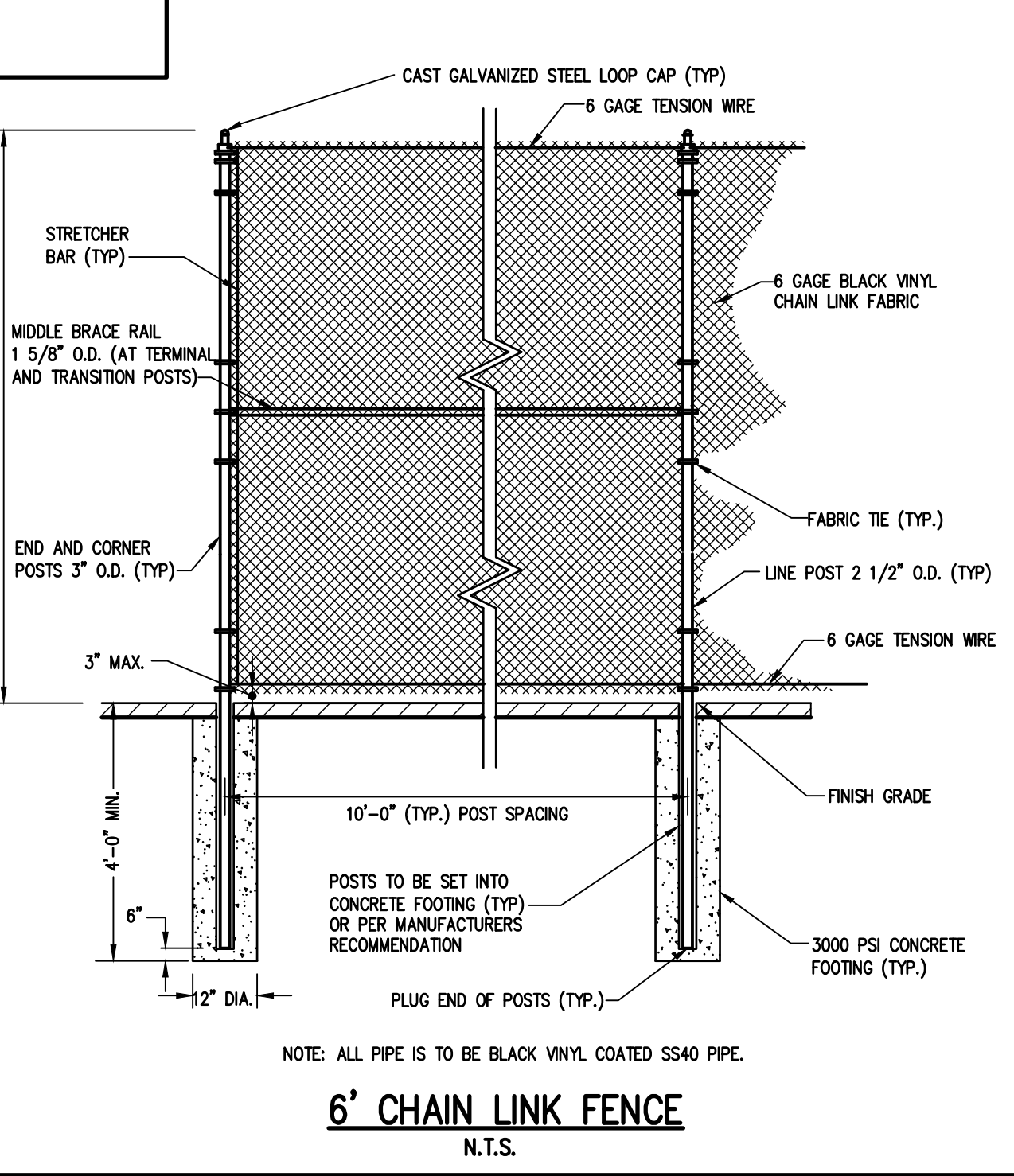
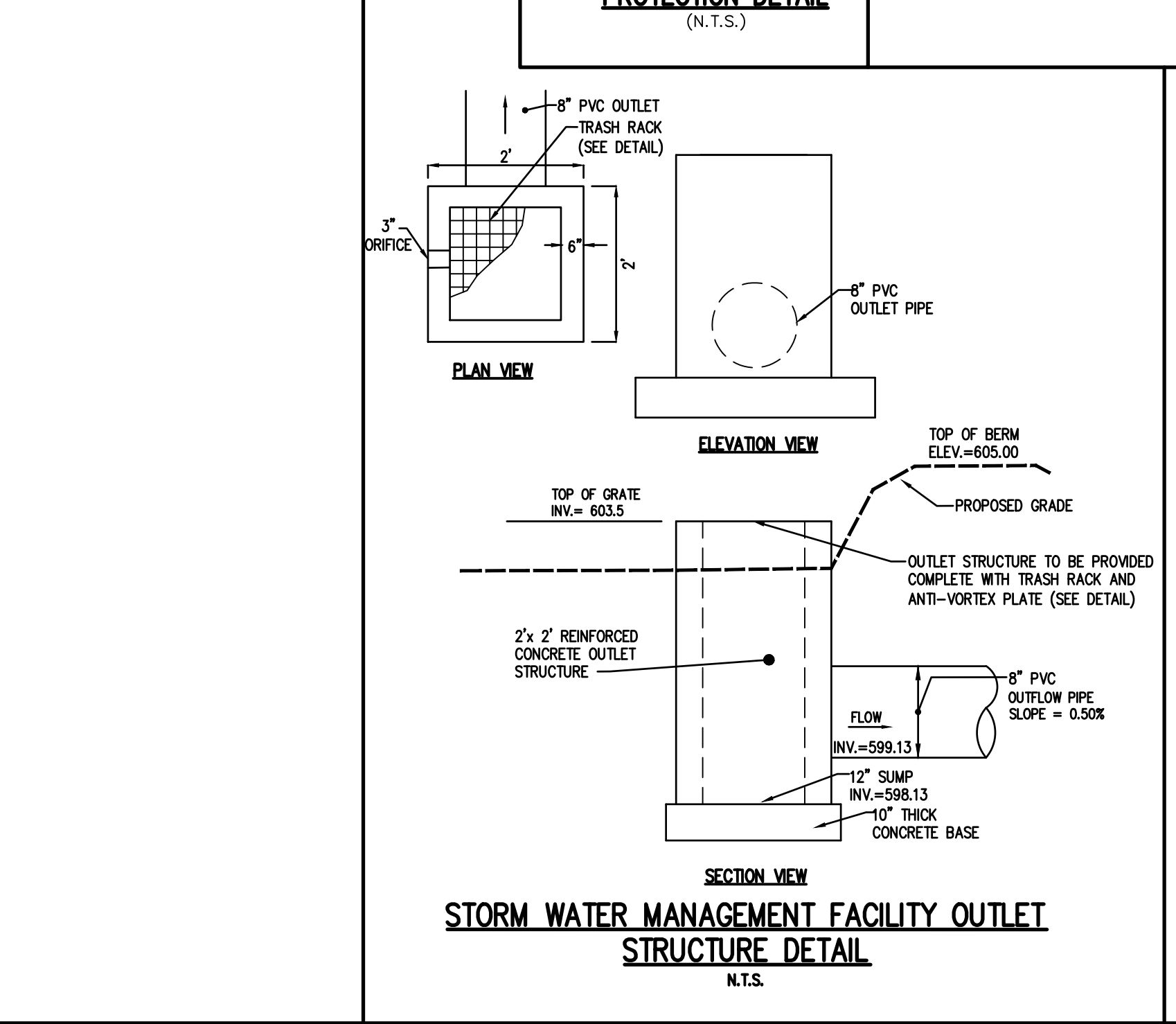
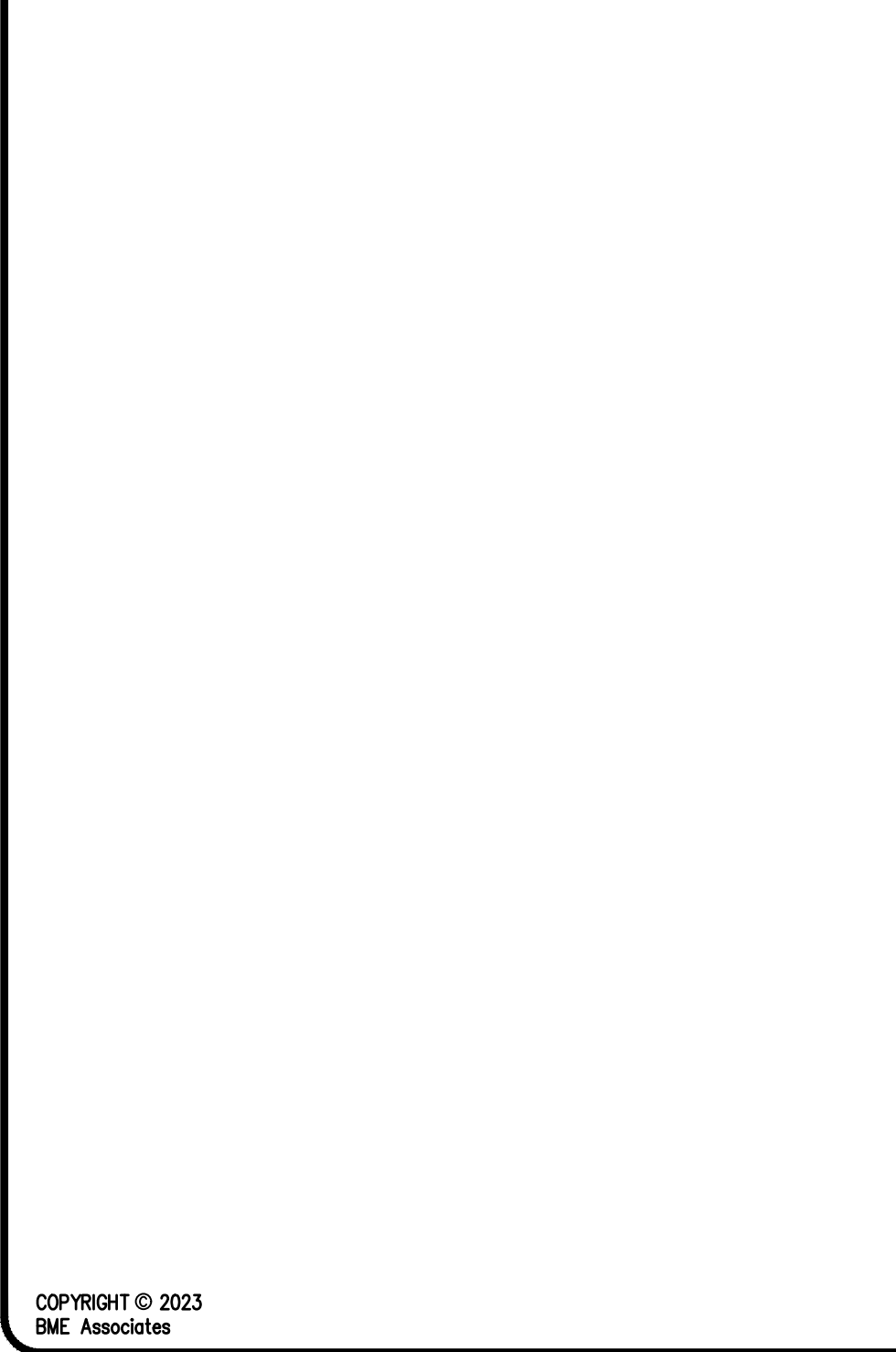
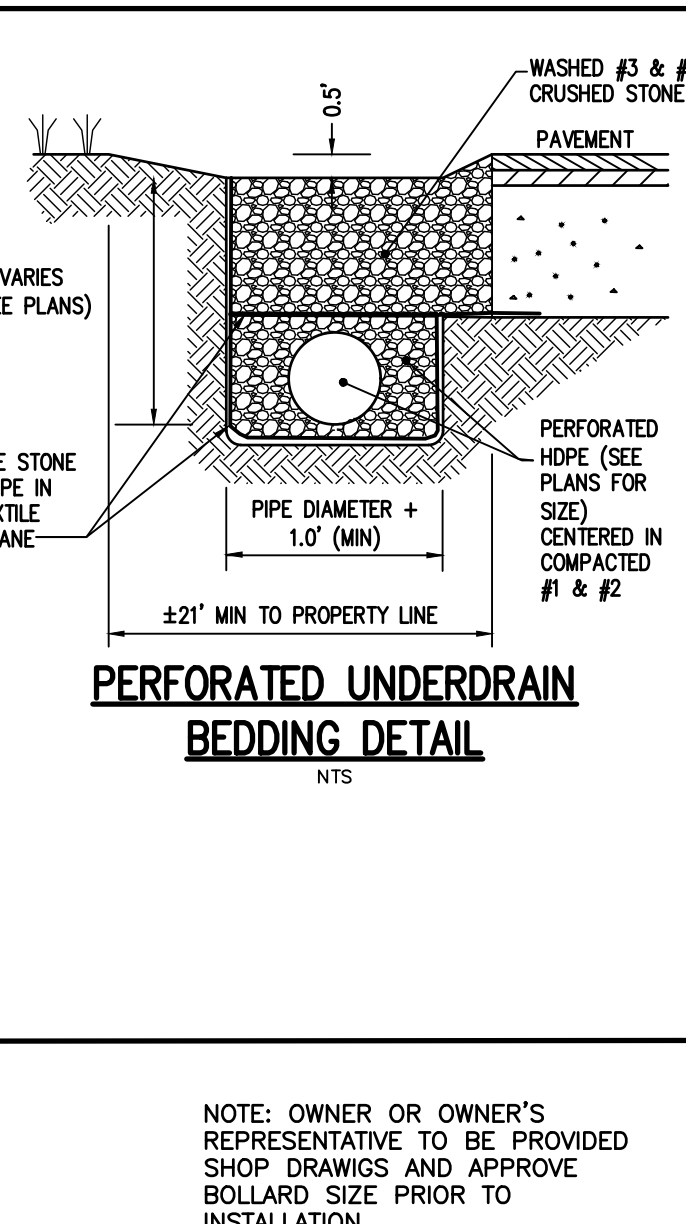
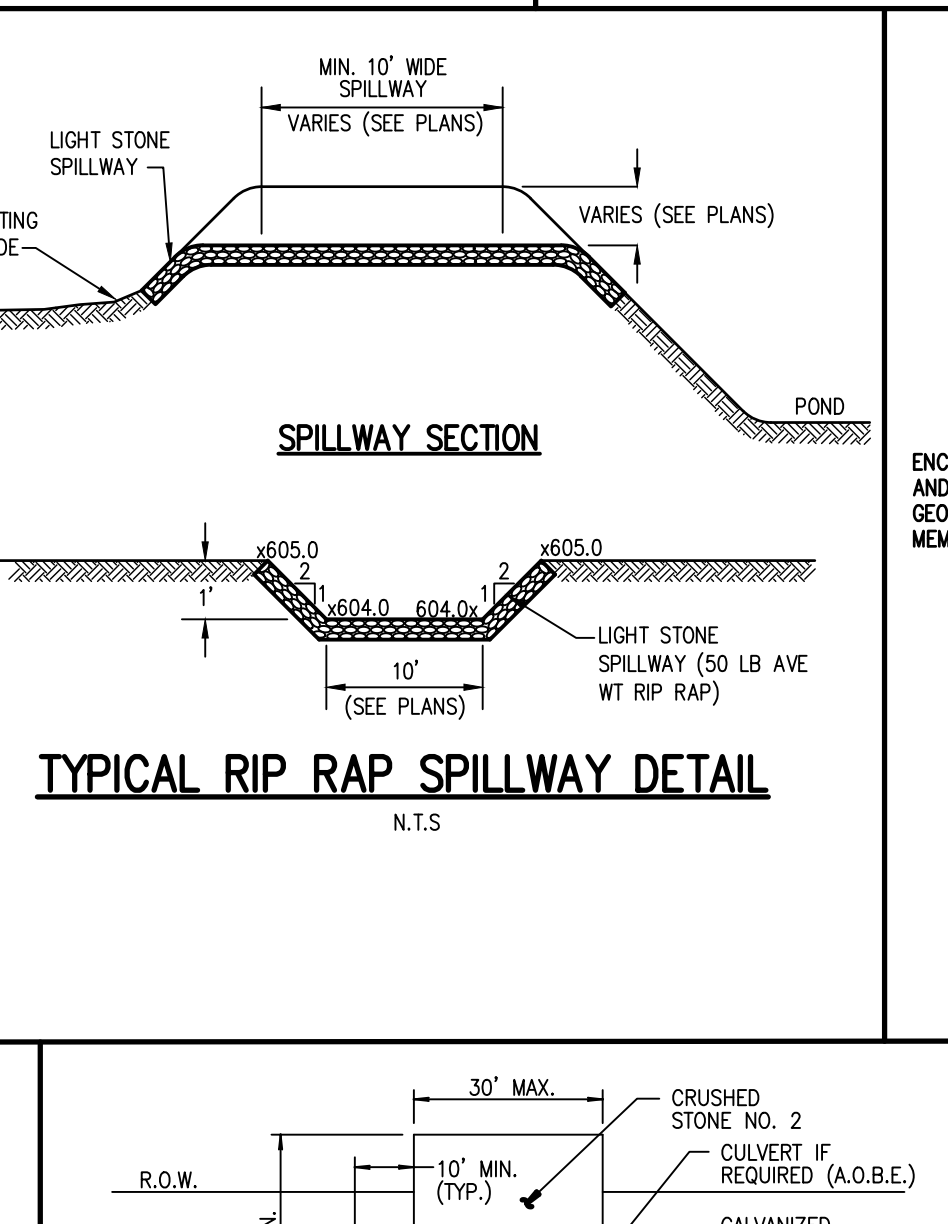
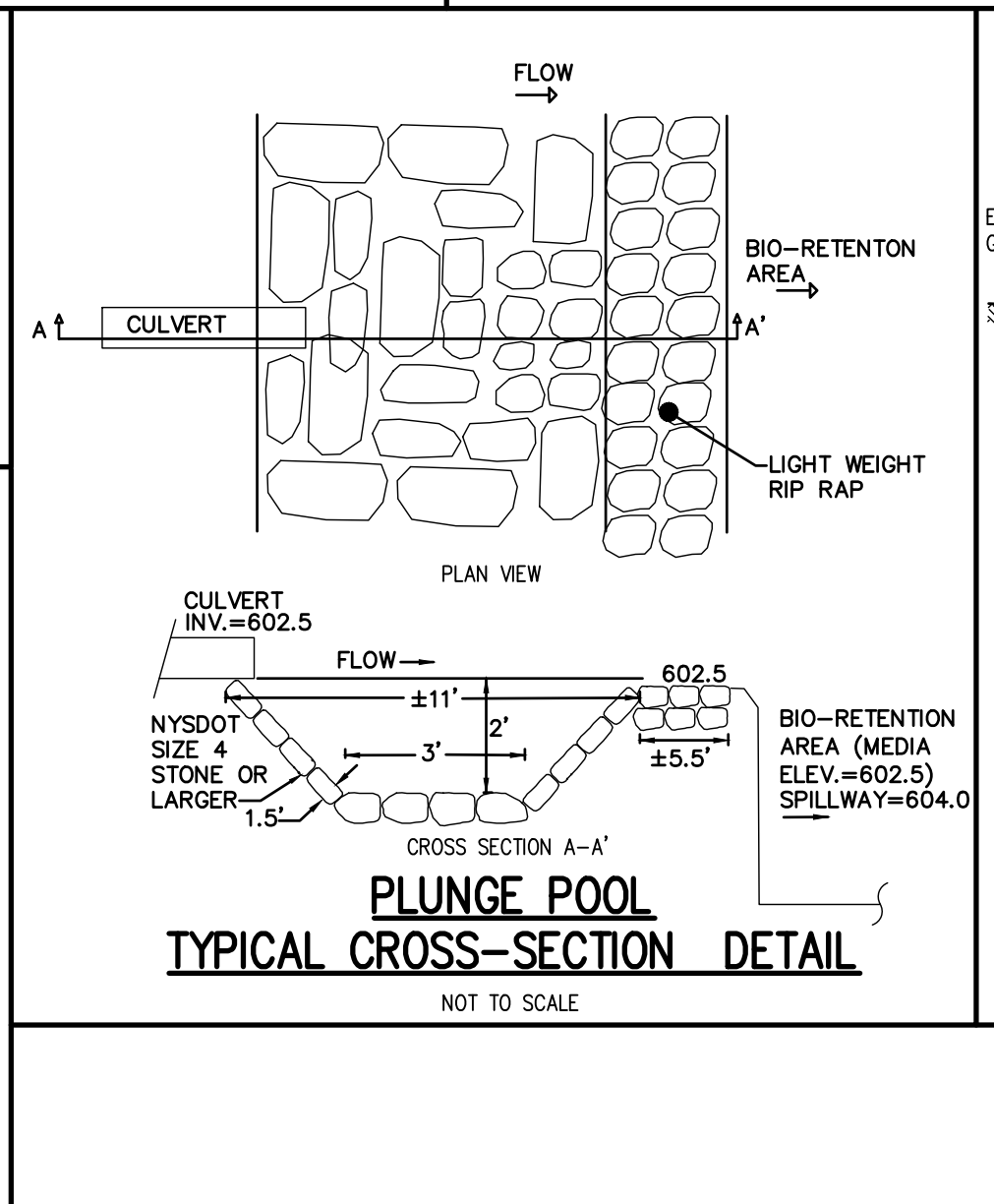
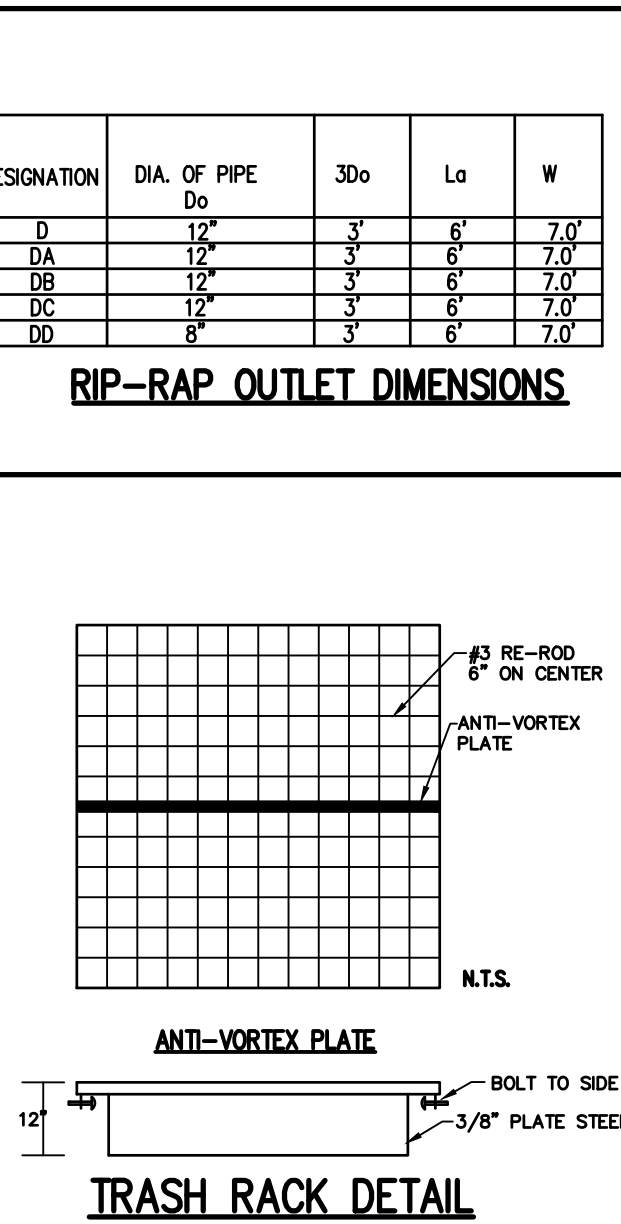
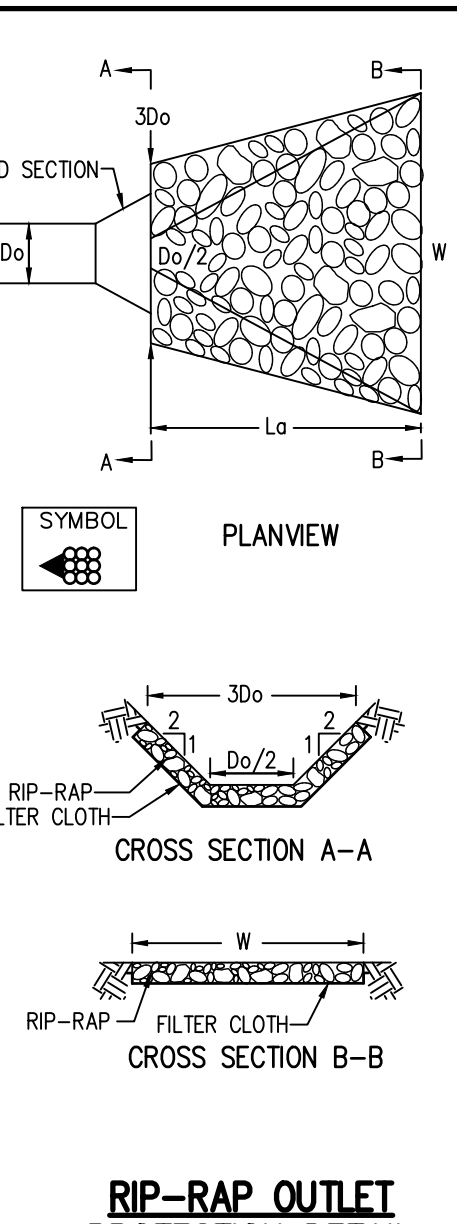
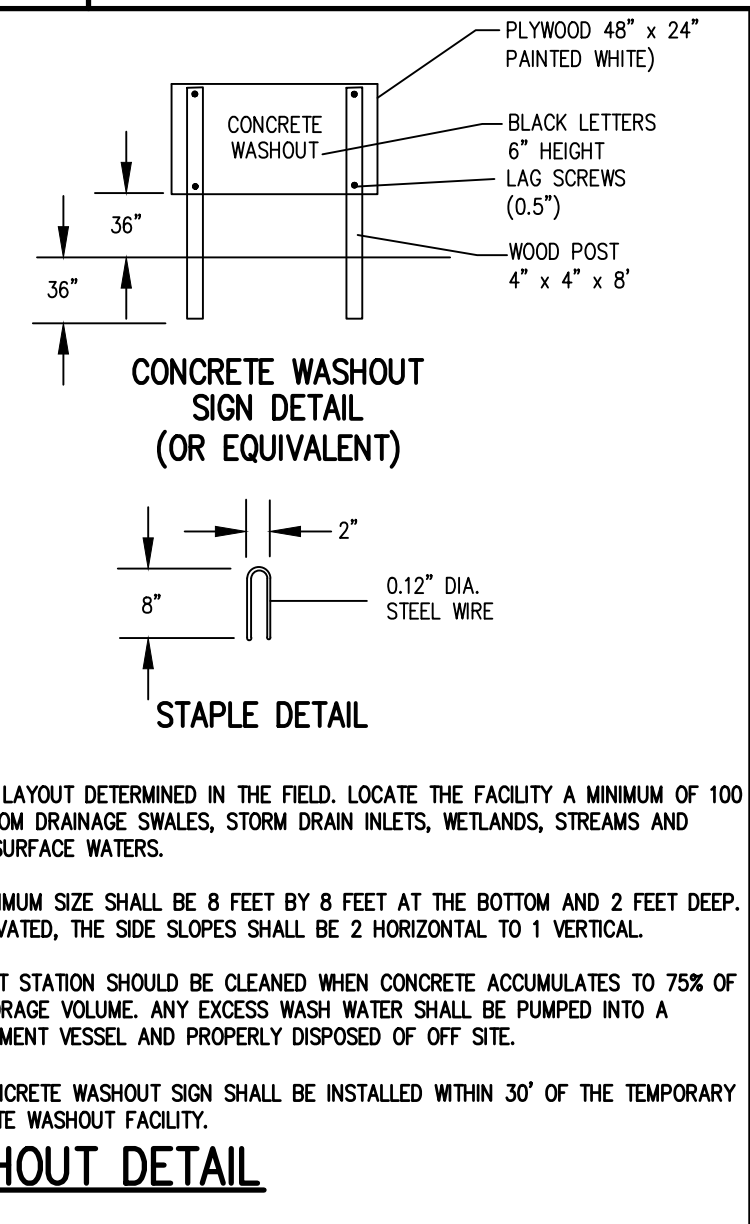
FILTER FABRIC DROP INLET PROTECTION



STONE CHECK DAM

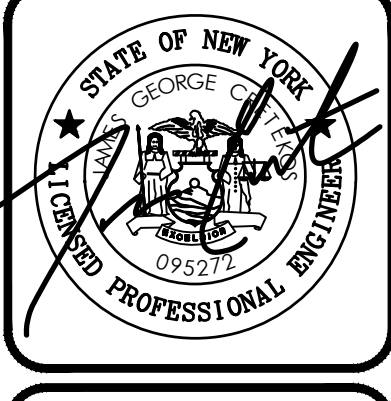


CONCRETE WASHOUT DETAIL



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

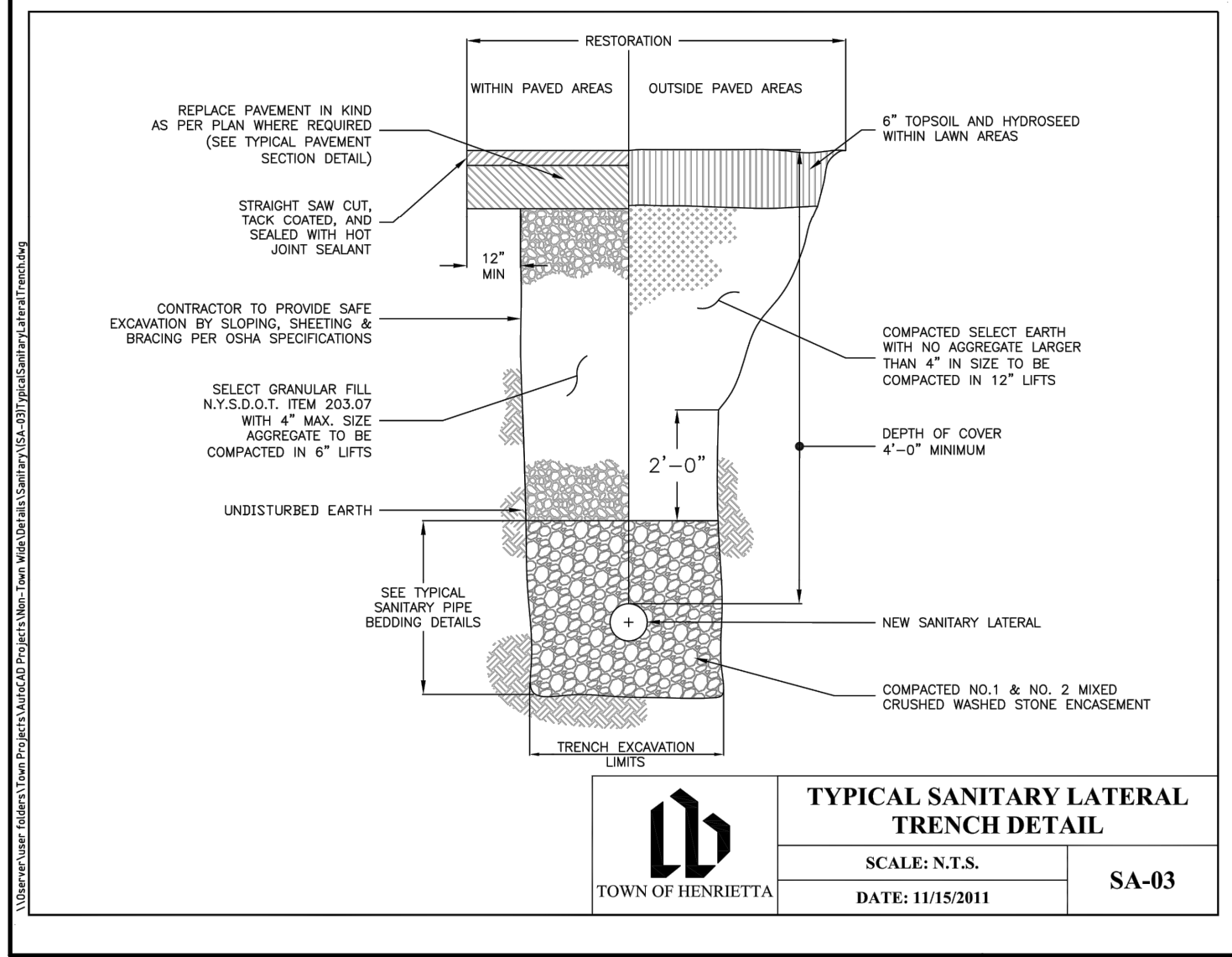
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEF.COM
PHONE: 585-377-7360
FAX: 585-377-7369



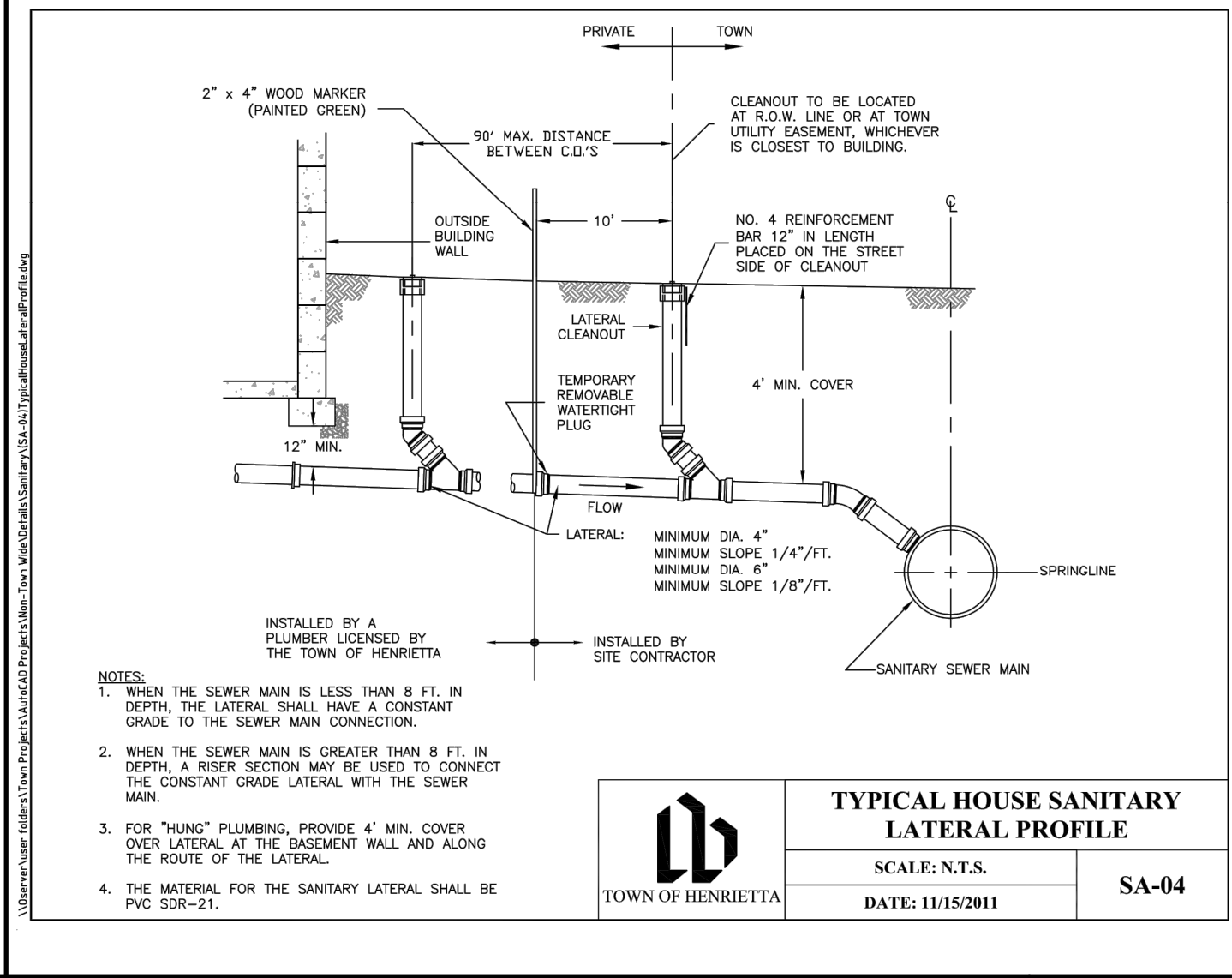
MIDDLE ROAD MINI STORAGE
PROJECT LOCATION CLIENT DRAWING TITLE
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
IRAMBER STRUCTURES US 106
680 LAS VEGAS, NEVADA, 89115
PRELIMINARY/FINAL
DETAIL SHEET

PROJECT NO. 2620A
DRAWING NO. 10
PROJECT MANAGER: J.L. SWEDROCK
PROJECT ENGINEER: J.G. CRETEKOS
DRAWN BY: J.G. CRETEKOS
SCALE: N.T.S.
DATE ISSUED: NOVEMBER 2023

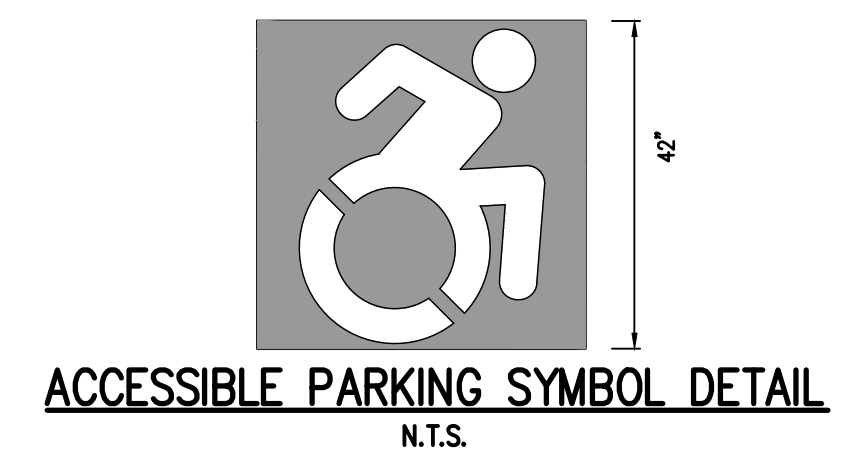
NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



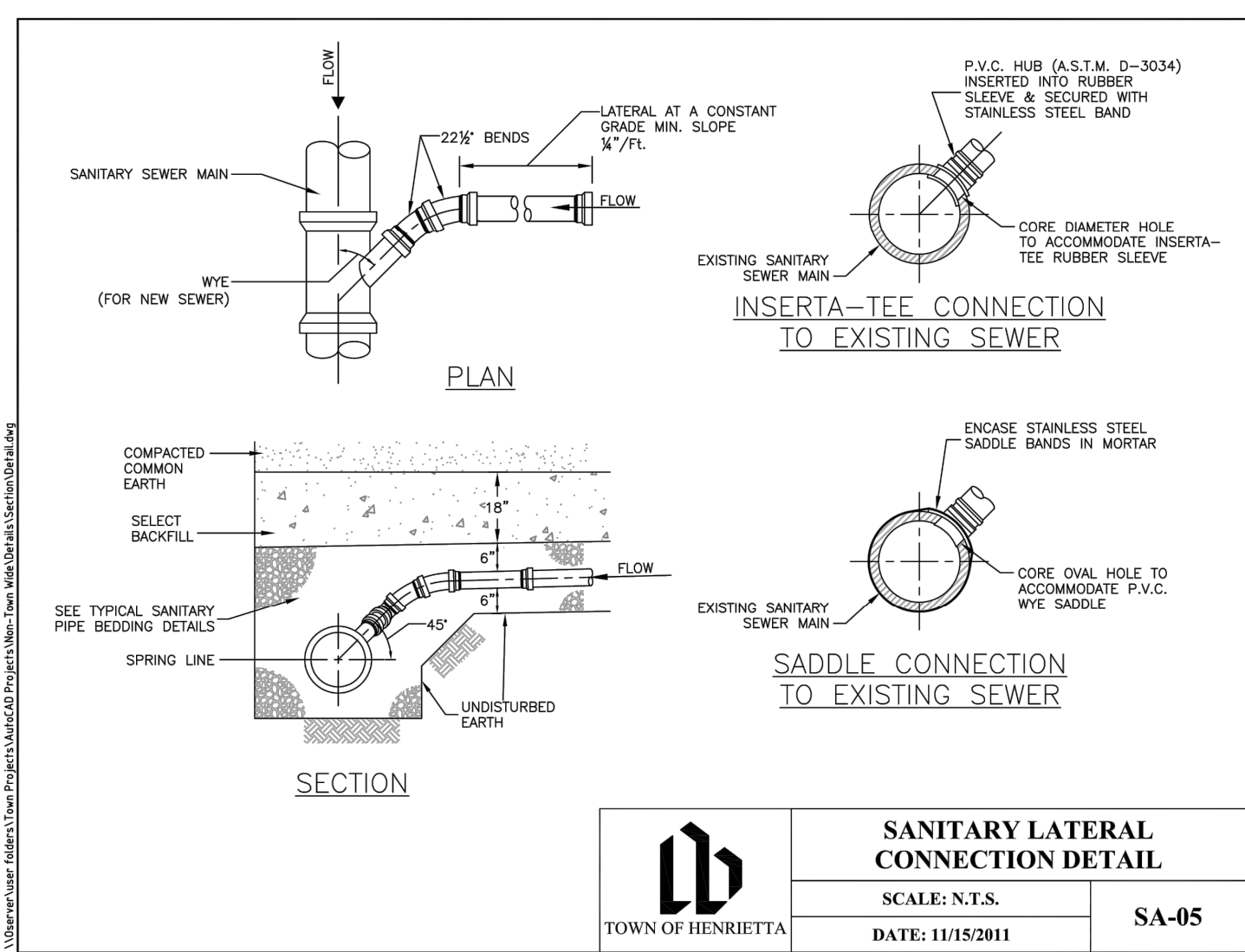
TOWN OF HENRIETTA
TYPICAL SANITARY LATERAL TRENCH DETAIL
 SCALE: N.T.S. DATE: 11/15/2011 SA-03



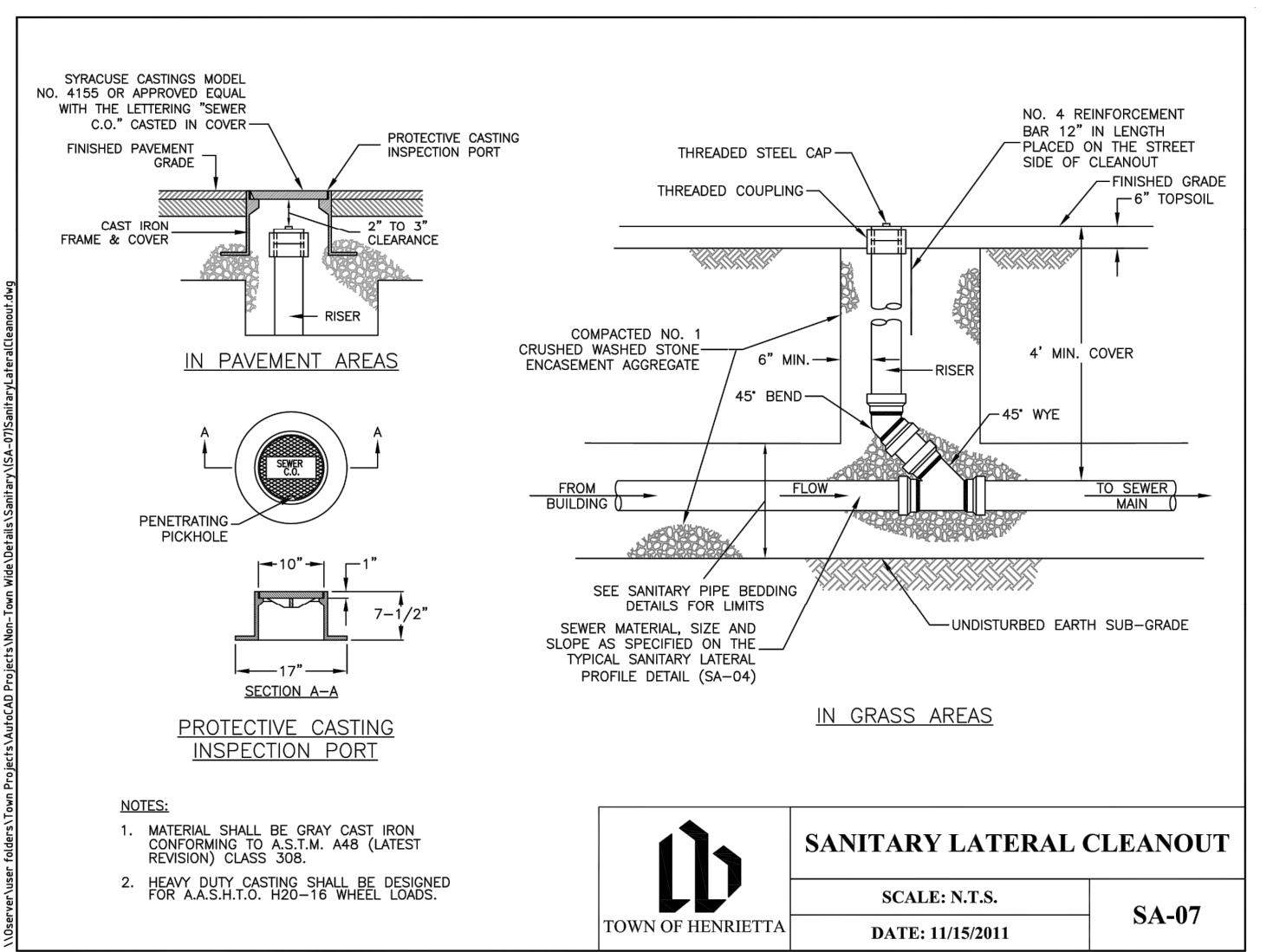
TOWN OF HENRIETTA
TYPICAL HOUSE SANITARY LATERAL PROFILE
 SCALE: N.T.S. DATE: 11/15/2011 SA-04



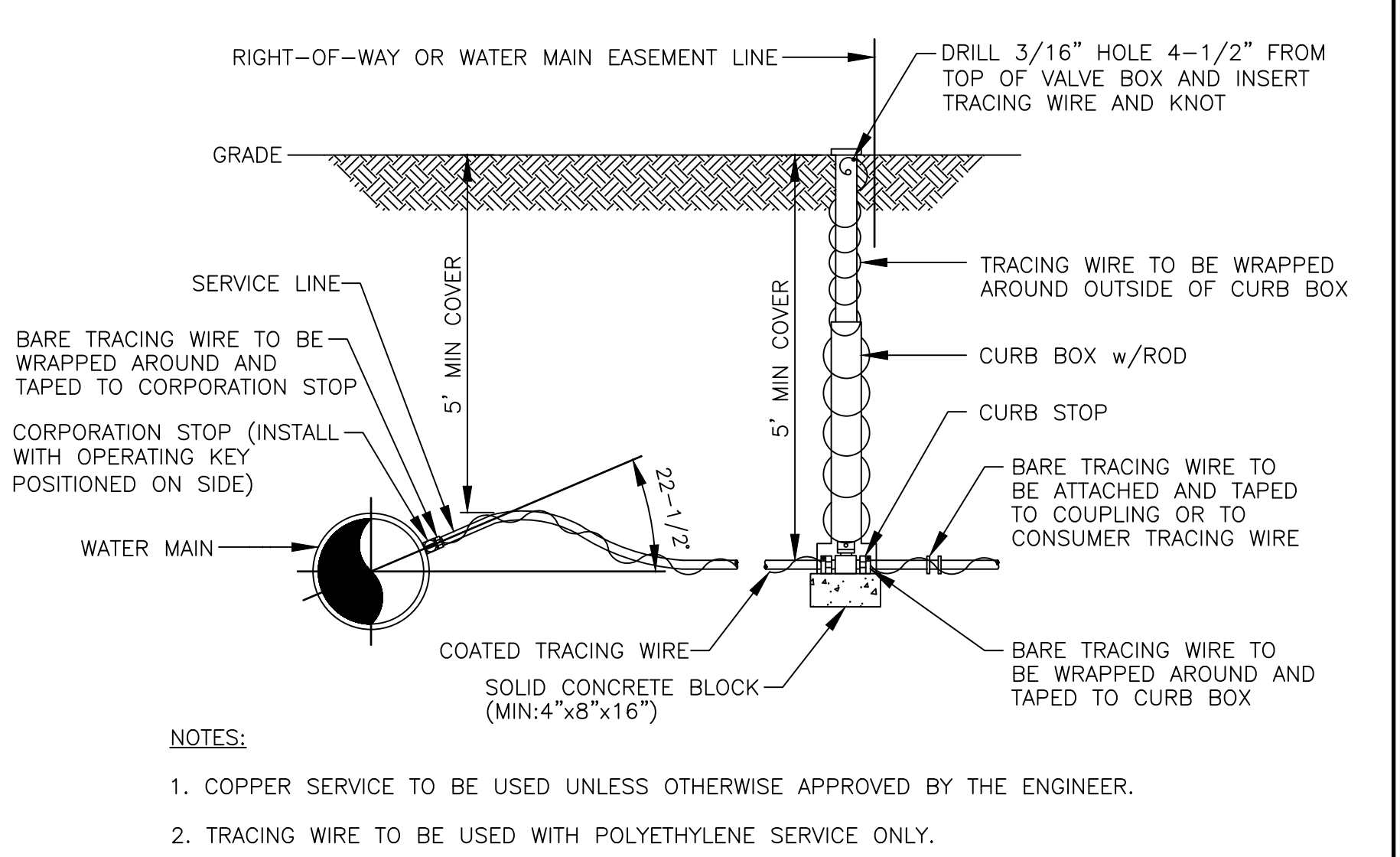
TOWN OF HENRIETTA
ACCESSIBLE PARKING SYMBOL DETAIL
 N.T.S.



TOWN OF HENRIETTA
SANITARY LATERAL CONNECTION DETAIL
 SCALE: N.T.S. DATE: 11/15/2011 SA-05

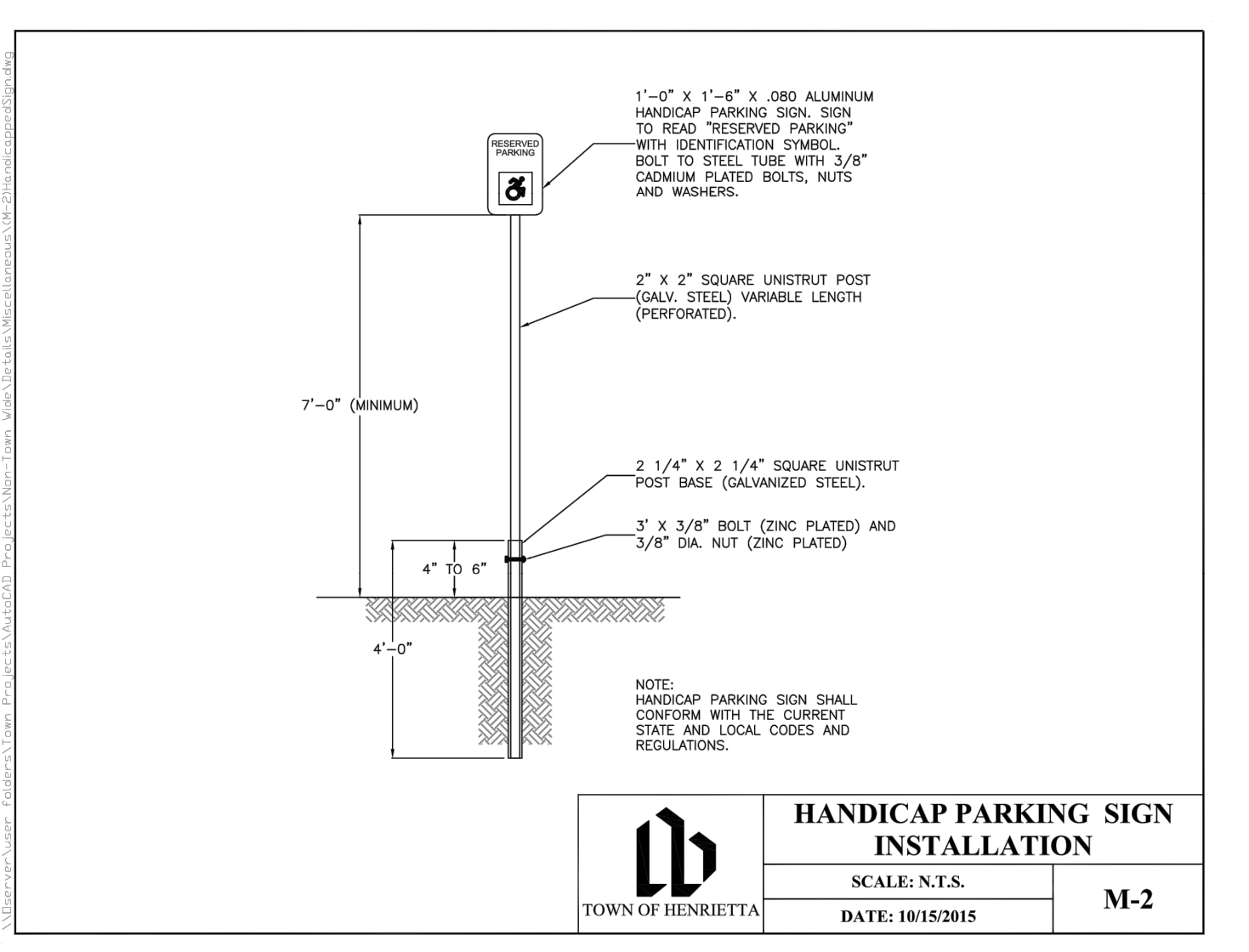


TOWN OF HENRIETTA
SANITARY LATERAL CLEANOUT
 SCALE: N.T.S. DATE: 11/15/2011 SA-07

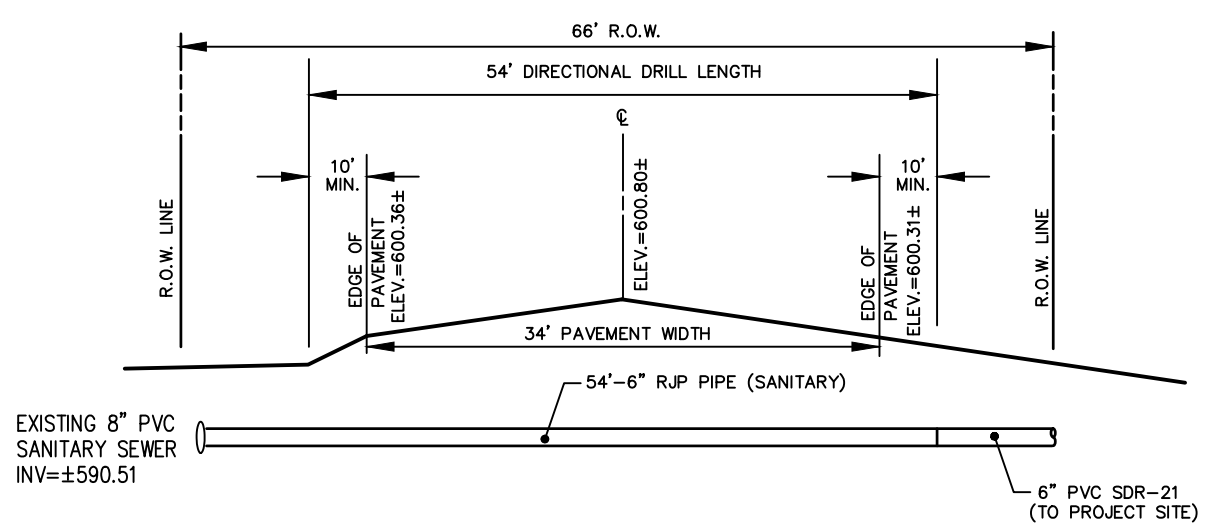


- NOTES:
1. COPPER SERVICE TO BE USED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 2. TRACING WIRE TO BE USED WITH POLYETHYLENE SERVICE ONLY.

SERVICE INSTALLATION
 NOT TO SCALE



TOWN OF HENRIETTA
HANDICAP PARKING SIGN INSTALLATION
 SCALE: N.T.S. DATE: 10/15/2015 M-2



DIRECTIONAL DRILLING DETAIL
 N.T.S.

Drawing Alteration
 The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 WWW.BMEPC.COM
 PHONE: 585-377-7360
 FAX: 585-377-7309



MIDDLE ROAD MINI STORAGE
 TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK STATE
 IRMAKER STRUCTURES US 106
 680 LAS VEGAS, NEVADA, 89116
PRELIMINARY/FINAL DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE
 PROJECT MANAGER
 J.L. SWEDROCK
 PROJECT ENGINEER
 J.G. CRETEKOS
 DRAWN BY
 J.G. CRETEKOS
 SCALE DATE ISSUED
 N.T.S. NOVEMBER 2023
 PROJECT NO.
2620A
 DRAWING NO.
11

NOT APPROVED
 This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.