

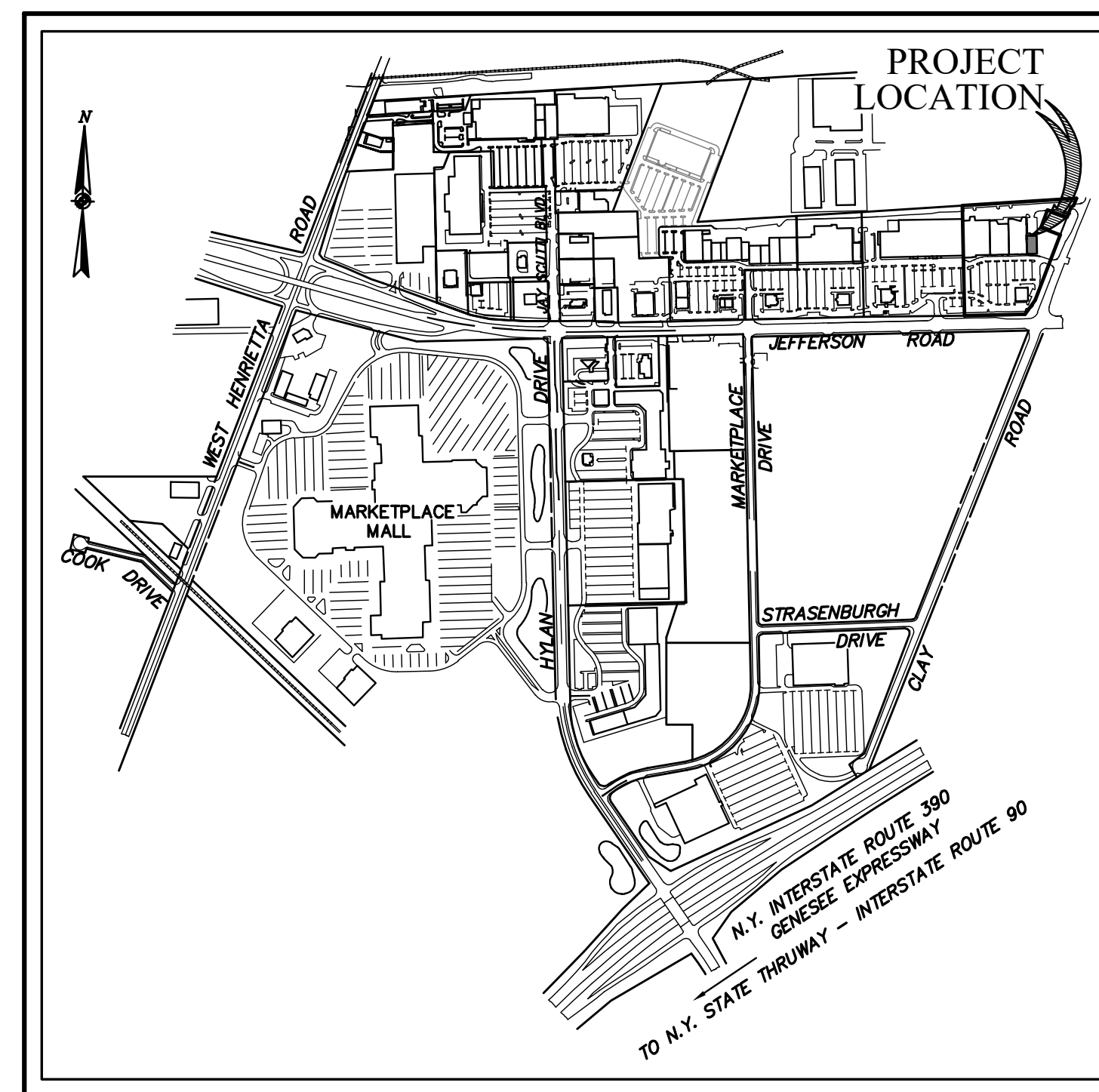
# MARKET SQUARE (EAST) SITE DEVELOPMENT PLANS

**8,600 SQ.FT. BUILDING EXPANSION  
790 JEFFERSON ROAD**

**TOWN OF HENRIETTA  
COUNTY OF MONROE  
STATE OF NEW YORK**

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CA502	DETAIL SHEET (SHEET 9 OF 9)



LOCATION SKETCH  
NOT TO SCALE

PREPARED FOR:  
**BENDERSON DEVELOPMENT, LLC**  
570 DELAWARE AVENUE  
BUFFALO, NEW YORK 14202  
PHONE: (716) 878-3997

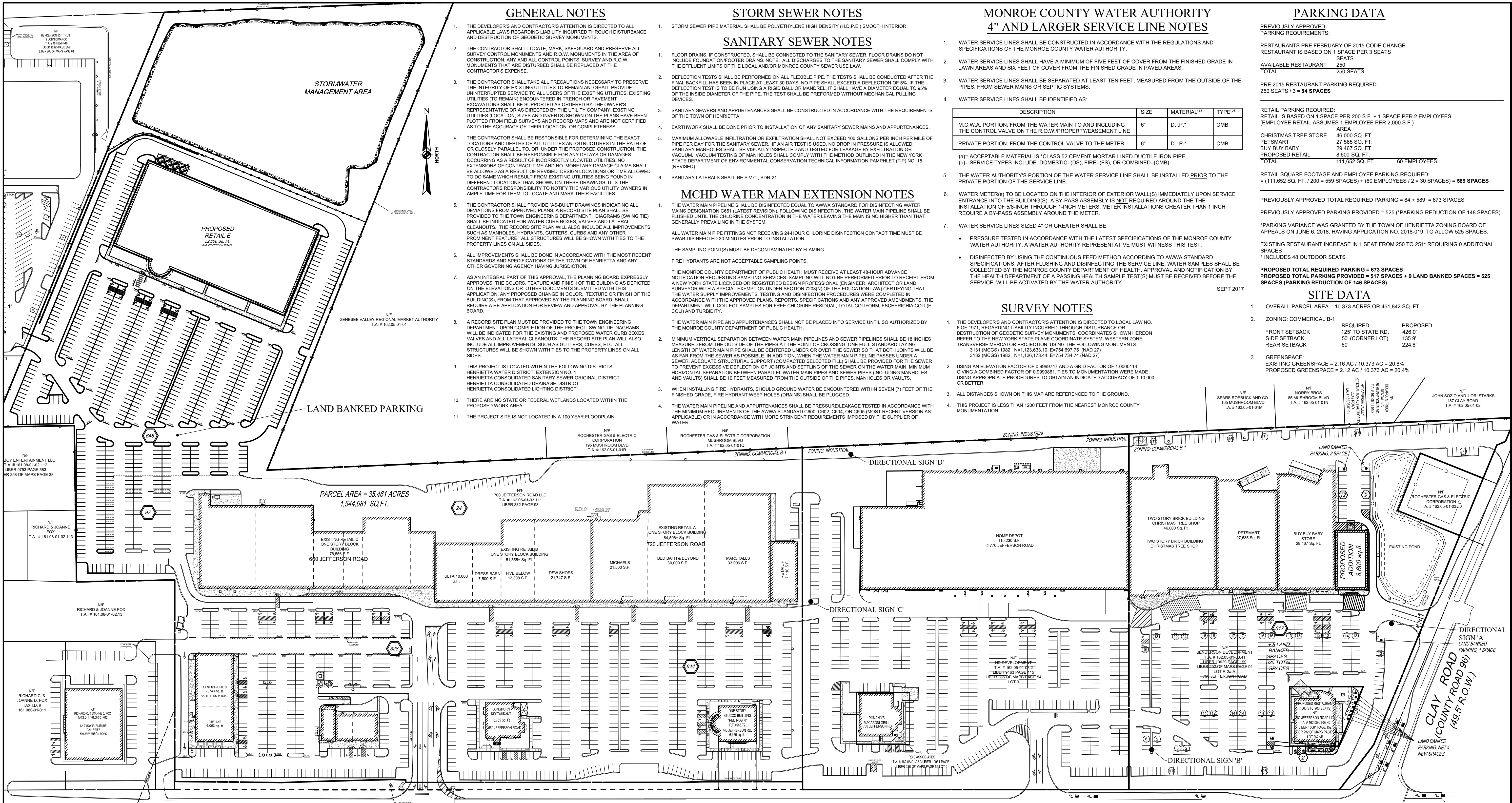


CIVIL  
ENGINEERING  
LAND  
SURVEYING  
LANDSCAPE  
ARCHITECTURE  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 488-3020

**MARKET SQUARE (EAST)**  
**SITE DEVELOPMENT PLANS**  
**8,600 SQ.FT. BUILDING EXPANSION**  
**790 JEFFERSON ROAD**  
**TOWN OF HENRIETTA**  
**COUNTY OF MONROE**  
**STATE OF NEW YORK**

TOWN APPLICATION NO. 18-011 AND 24-001  
APPROVAL PLANS  
PROJECT NO. B968-44 SHEET NO. GA001  
SHEET 1 OF 9

DATE: AUGUST 21, 2018  
REVISED: 04/02/2024



**GENERAL NOTES**

1. THE DEVELOPERS AND CONTRACTORS ATTENTION IS DIRECTED TO ALL APPLICABLE LAWS REGARDING LIABILITY INCURRED THROUGH DISTURBANCE AND DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
2. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREA OF CONSTRUCTION. ANY AND ALL CONTROL POINTS, SURVEY AND R.O.W. MONUMENTS THAT ARE DISTURBED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNERS REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY. EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
5. THE CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS INDICATING ALL DEVIATIONS FROM APPROVED PLANS. A RECORD SITE PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. DIAGRAMS (SWING TIE) SHALL BE INDICATED FOR WATER CURB BOXES, VALVES AND LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS SUCH AS MANHOLES, HYDRANTS, GUTTERS, CURBS AND ANY OTHER PROMINENT FEATURE. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.
6. ALL IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA AND ANY OTHER GOVERNING AGENCY HAVING JURISDICTION.
7. AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURE AND FINISH OF THE BUILDING AS DEPICTED ON THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE OR FINISH OF THE BUILDING(S), FROM THAT APPROVED BY THE PLANNING BOARD, SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL BY THE PLANNING BOARD.
8. A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING TIE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.
9. THIS PROJECT IS LOCATED WITHIN THE FOLLOWING DISTRICTS: HENRIETTA WATER DISTRICT, EXTENSION NO. 1 HENRIETTA CONSOLIDATED SANITARY SEWER ORIGINAL DISTRICT HENRIETTA CONSOLIDATED DRAINAGE DISTRICT HENRIETTA CONSOLIDATED LIGHTING DISTRICT
10. THERE ARE NO STATE OR FEDERAL WETLANDS LOCATED WITHIN THE PROPOSED WORK AREA.
11. THE PROJECT SITE IS NOT LOCATED IN A 100 YEAR FLOODPLAIN.

**STORM SEWER NOTES**

1. STORM SEWER PIPE MATERIAL SHALL BE POLYETHYLENE HIGH DENSITY (H.D.P.E.) SMOOTH INTERIOR.
1. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY SEWER SHALL COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
2. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TESTS SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
3. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF HENRIETTA.
4. EARTHWORK SHALL BE DONE PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES.
5. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, NO DROP IN PRESSURE IS ALLOWED. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
6. SANITARY LATERALS SHALL BE P.V.C. SDR-21.

**MCHD WATER MAIN EXTENSION NOTES**

1. THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C681 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
- ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
- THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR) WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.
- THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER. THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

**MONROE COUNTY WATER AUTHORITY  
4" AND LARGER SERVICE LINE NOTES**

1. WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM THE FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM THE FINISHED GRADE IN PAVED AREAS.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
4. WATER SERVICE LINES SHALL BE IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL <sup>(a)</sup>	TYPE <sup>(b)</sup>
M.C.W.A. PORTION: FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE R.O.W./PROPERTY/EASEMENT LINE	6"	D.I.P.*	CMB
PRIVATE PORTION: FROM THE CONTROL VALVE TO THE METER	6"	D.I.P.*	CMB

- (a)= ACCEPTABLE MATERIAL IS "CLASS 52 CEMENT MORTAR LINED DUCTILE IRON PIPE.  
(b)= SERVICE TYPES INCLUDE: DOMESTIC-(CDS), FIRE-(FS), OR COMBINED-(CMB)
5. THE WATER AUTHORITY'S PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED PRIOR TO THE PRIVATE PORTION OF THE SERVICE LINE.
  6. WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE METER. THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS, METER INSTALLATIONS GREATER THAN 1 INCH REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.
  7. WATER SERVICE LINES SIZED 4" OR GREATER SHALL BE:
    - PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
    - DISINFECTED BY USING THE CONTINUOUS FLOW METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED BY THE MONROE COUNTY DEPARTMENT OF HEALTH. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT OF A PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE ACTIVATED BY THE WATER AUTHORITY.

**SURVEY NOTES**

1. THE DEVELOPERS AND CONTRACTORS ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971, REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS. COORDINATES SHOWN HEREON REFER TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR PROJECTION, USING THE FOLLOWING MONUMENTS: 3131 (MCGS) 1982 N=1,122,635.10; E=754,897.75 (NAD 27) 3132 (MCGS) 1982 N=1,126,173.44; E=754,734.74 (NAD 27)
2. USING AN ELEVATION FACTOR OF 0.9999747 AND A GRID FACTOR OF 1.0000114, GIVING A COMBINED FACTOR OF 0.9999861, TIES TO MONUMENTATION WERE MADE USING APPROPRIATE PROCEDURES TO OBTAIN AN INDICATED ACCURACY OF 1:10,000 OR BETTER.
3. ALL DISTANCES SHOWN ON THIS MAP ARE REFERENCED TO THE GROUND.
4. THIS PROJECT IS LESS THAN 1200 FEET FROM THE NEAREST MONROE COUNTY MONUMENTATION.

**PARKING DATA**

**PREVIOUSLY APPROVED PARKING REQUIREMENTS:**

RESTAURANTS PRE FEBRUARY OF 2015 CODE CHANGE: RESTAURANT IS BASED ON 1 SPACE PER 3 SEATS

AVAILABLE RESTAURANT SEATS	250
TOTAL	250 SEATS

PRE 2015 RESTAURANT PARKING REQUIRED: 250 SEATS / 3 = 84 SPACES

RETAIL PARKING REQUIRED: RETAIL IS BASED ON 1 SPACE PER 200 S.F. + 1 SPACE PER 2 EMPLOYEES (EMPLOYEE RETAIL ASSUMES 1 EMPLOYEE PER 2,000 S.F.)

CHRISTMAS TREE STORE	46,000 SQ. FT.	
PETSMART	27,585 SQ. FT.	
BUY BUY BABY	29,467 SQ. FT.	
PROPOSED RETAIL	8,600 SQ. FT.	
TOTAL	111,652 SQ. FT.	60 EMPLOYEES

RETAIL SQUARE FOOTAGE AND EMPLOYEE PARKING REQUIRED: = (111,652 SQ. FT. / 200 = 559 SPACES) + (60 EMPLOYEES / 2 = 30 SPACES) = 589 SPACES

PREVIOUSLY APPROVED TOTAL REQUIRED PARKING = 84 + 589 = 673 SPACES

PREVIOUSLY APPROVED PARKING PROVIDED = 525 (\*PARKING REDUCTION OF 148 SPACES)

\*PARKING VARIANCE WAS GRANTED BY THE TOWN OF HENRIETTA ZONING BOARD OF APPEALS ON JUNE 6, 2018, HAVING APPLICATION NO. 2018-019, TO ALLOW 525 SPACES.

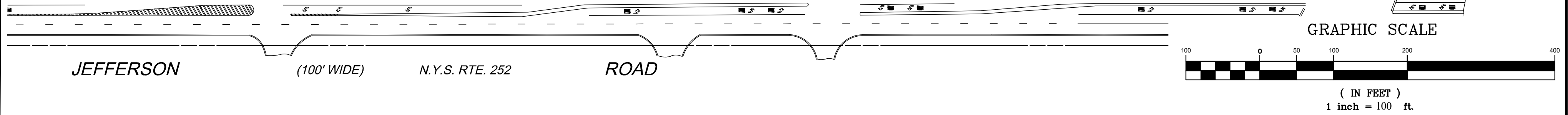
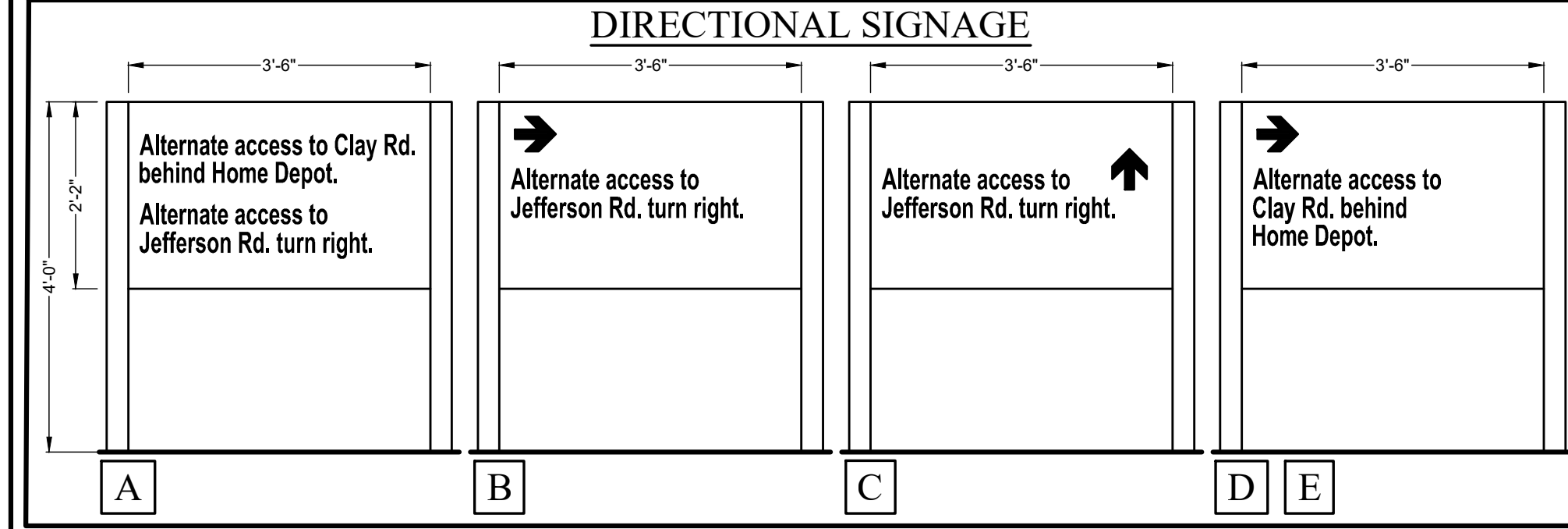
EXISTING RESTAURANT INCREASE IN 1 SEAT FROM 250 TO 251\* REQUIRING 0 ADDITIONAL SPACES

\* INCLUDES 48 OUTDOOR SEATS

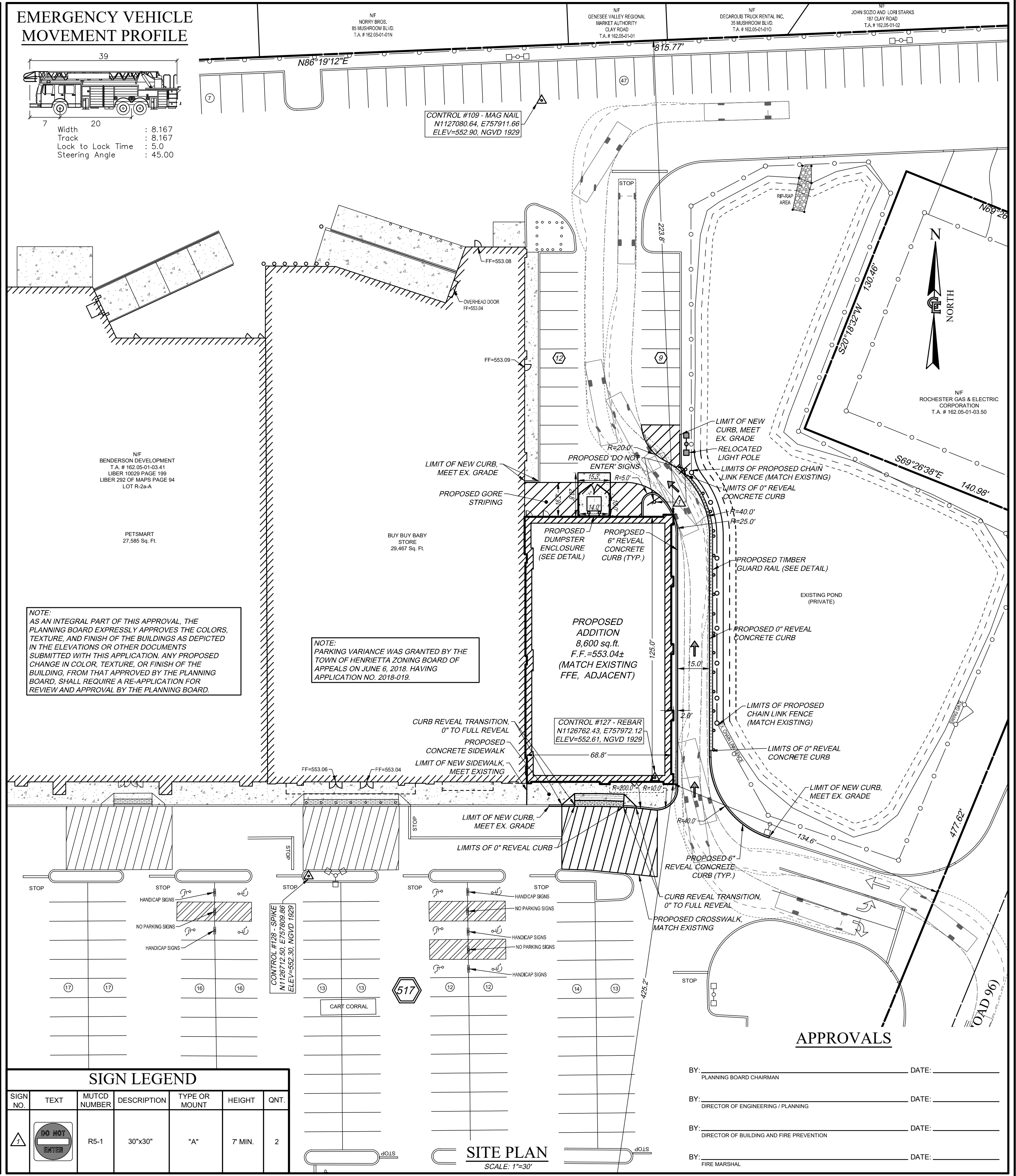
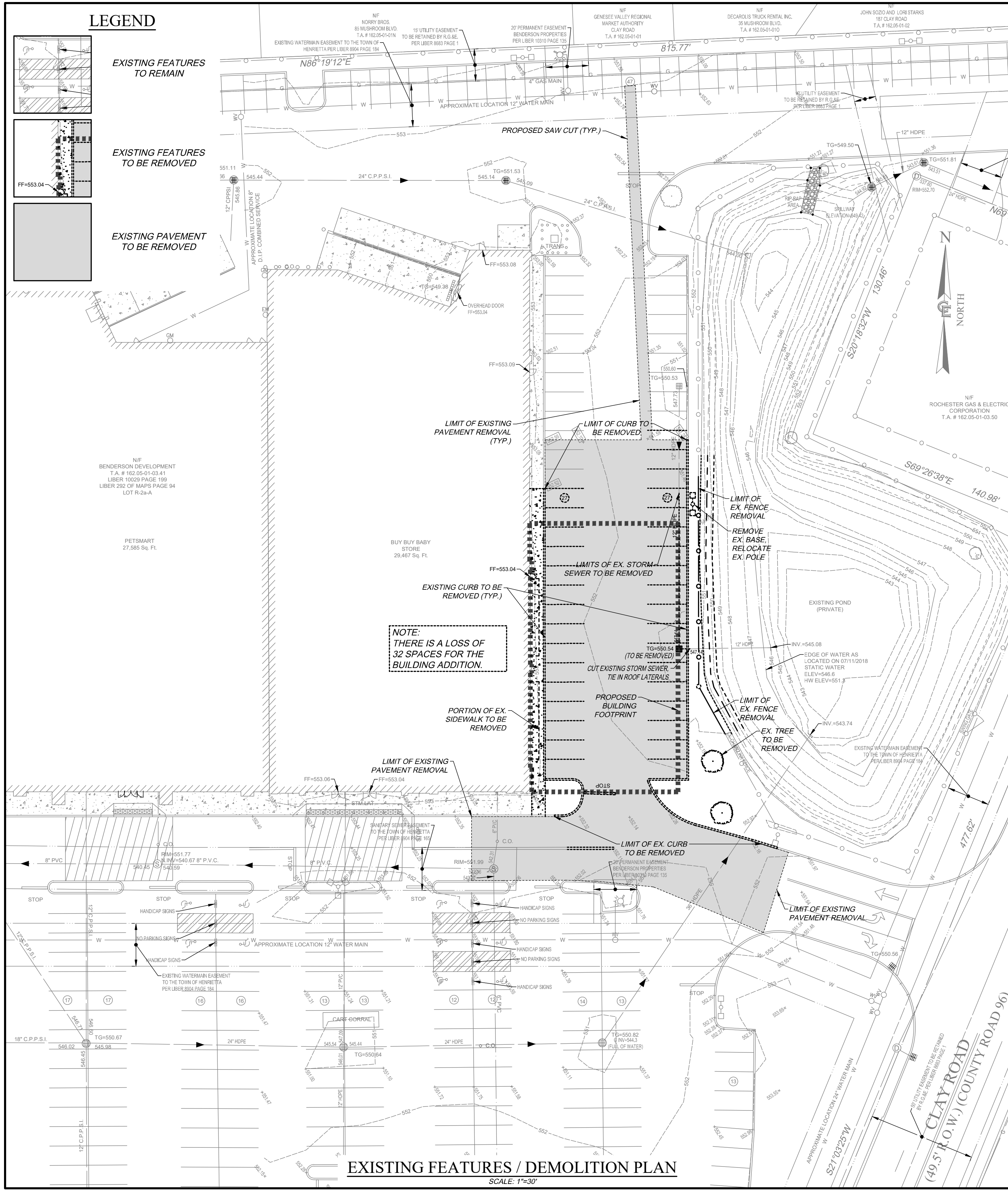
**SITE DATA**

1. OVERALL PARCEL AREA = 10.373 ACRES OR 451,842 SQ. FT.
2. ZONING: COMMERCIAL B-1
 

REQUIRED	125' TO STATE RD.	426.0'
PROPOSED	50' CORNER LOT	135.9'
	60'	224.8'
3. GREENSPACE: EXISTING GREENSPACE = 2.16 AC / 10.373 AC = 20.8%  
PROPOSED GREENSPACE = 2.12 AC / 10.373 AC = 20.4%



<p>5 04/02/2024 REVISED PER TOWN COMMENTS D.E.L. G.W.</p>		<p>PROJECT ENGINEER: G.W. DRAWN BY: D.E.L. BOUNDARY: --- TOP/OBASE: --- DATE: 08/21/2018 SCALE: 1"=100'</p>	<p>COPYRIGHT © 2023 COSTICH ENGINEERING, D.P.C.</p> <p>IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.</p>	<p>PROFESSIONAL ENGINEER MICHAEL O. RITTER 098184 NEW YORK STATE</p>	<p>TITLE OF PROJECT: MARKET SQUARE PLAZA (EAST) 8,600 SQ.FT. BUILDING EXPANSION</p> <p>TITLE OF DRAWING: OVERALL SITE PLAN</p> <p>LOCATION OF PROJECT: TAX PARCEL NO. 162.05-01-3.41, TOWN LOT 4 4th RANGE TOWNSHIP 12, RANGE 7, TRENDS AND GORHAM PURCHASE, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.</p> <p>CLIENT: BENDERSON DEVELOPMENT CO., LLC DWS #B968-44 570 DELAWARE AVENUE BUFFALO, NEW YORK 14202 CA100 SHEET 2 OF 9</p>
<p>4 08/02/2022 REVISED PER CLIENTS COMMENTS D.E.L. G.W.</p> <p>3 01/15/2019 REVISED PER TOWN COMMENTS, ADDED DIRECTIONAL SIGNAGE D.E.L. G.W.</p> <p>2 10/22/2018 REVISED PER TOWN COMMENTS D.E.L. G.W.</p> <p>1 09/17/2018 REVISED PER MCWA COMMENTS D.E.L. G.W.</p> <p>NO. DATE REVISION BY CHD. APVLS.</p>					

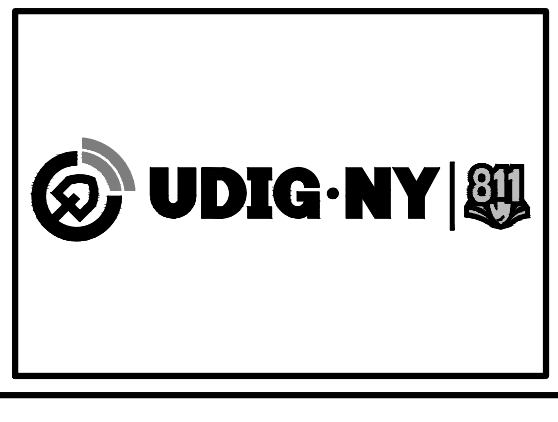


### SIGN LEGEND

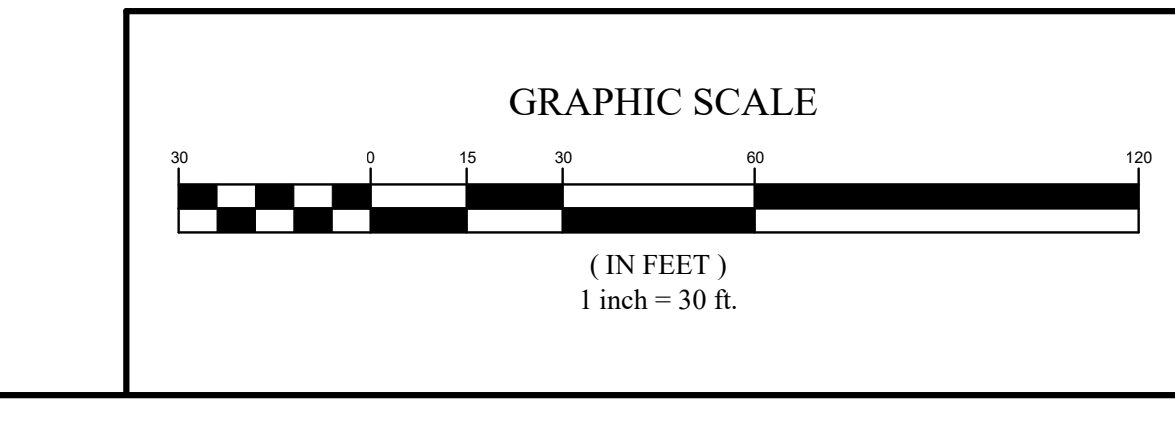
SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT	QNT.
17	NO STOP	R5-1	30"x30"	"A"	7 MIN.	2

### SITE PLAN

SCALE: 1"=30'



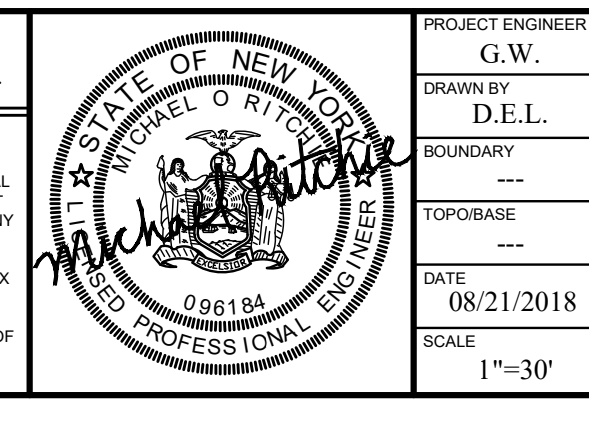
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NO.	DATE	REVISION	BY	CHKD.	APVLS.
5	04/02/2024	REVISED PER TOWN COMMENTS		D.E.L.	G.W.
4	10/11/2022	REVISED PER TOWN COMMENTS		R.C.C.	G.W.
3	09/26/2022	REVISED PER TOWN COMMENTS		R.C.C.	G.W.
2	08/02/2022	REVISED PER CLIENTS COMMENTS		D.E.L.	G.W.
1	10/22/2018	REVISED PER TOWN COMMENTS		D.E.L.	G.W.

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PROJECT ENGINEER  
G.W.  
DRAWN BY  
D.E.L.  
BOUNDARY  
TOP/BASE  
DATE  
08/21/2018  
SCALE  
1"=30'

**COSTICH ENGINEERING**  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

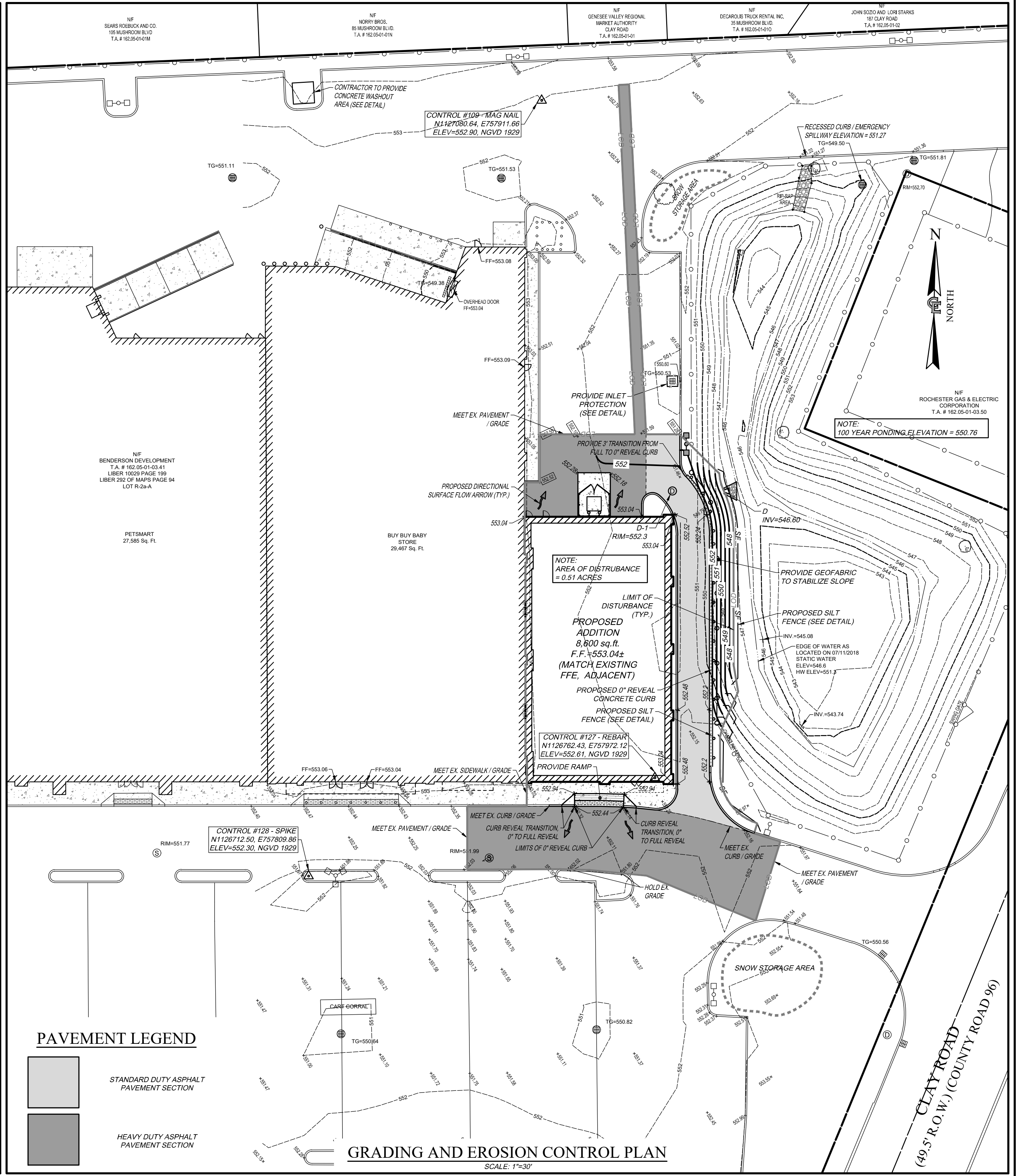
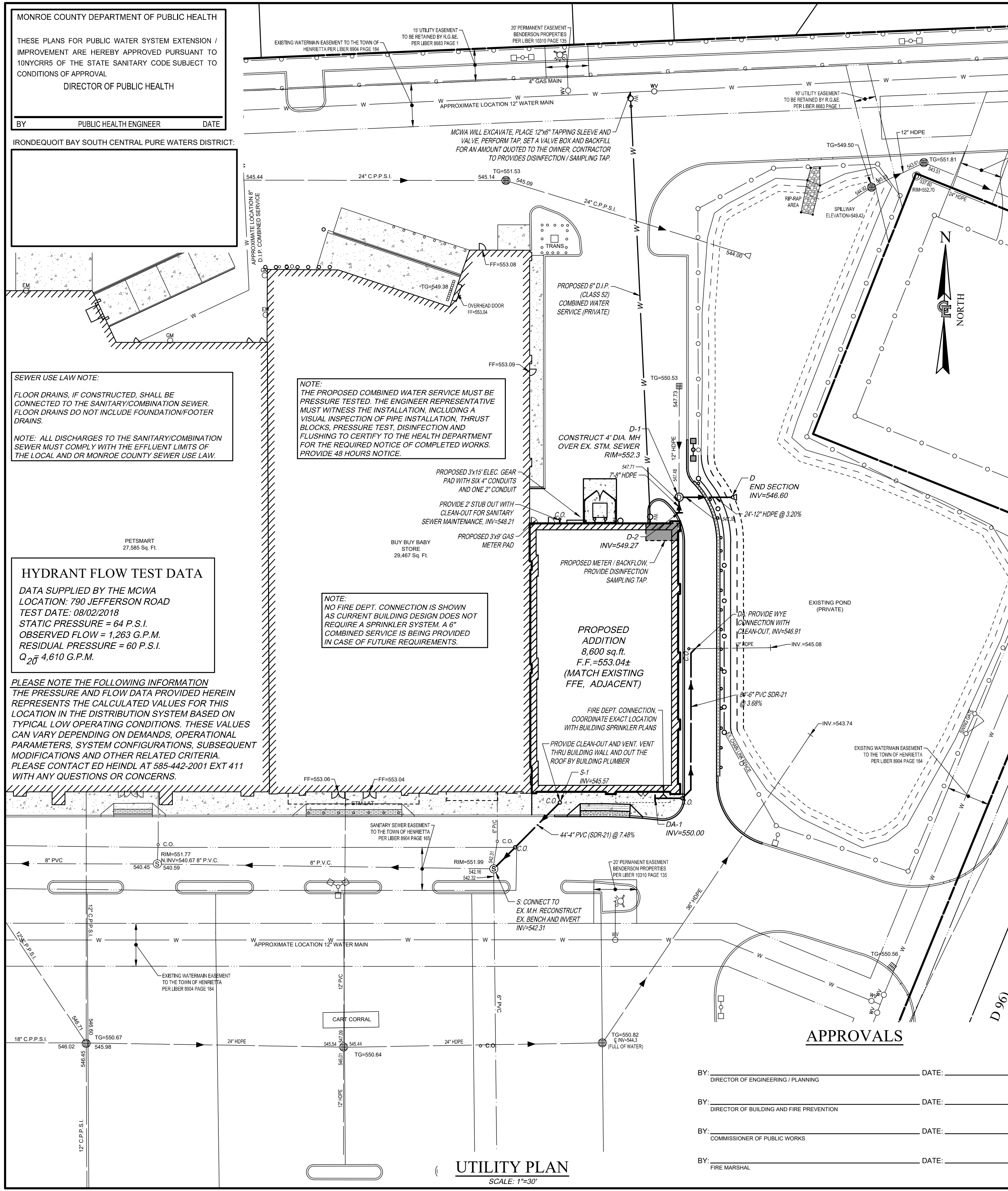
TITLE OF PROJECT  
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8,600 SQ.FT. BUILDING EXPANSION

TITLE OF DRAWING  
**EXISTING FEATURE / DEMOLITION AND SITE PLAN**

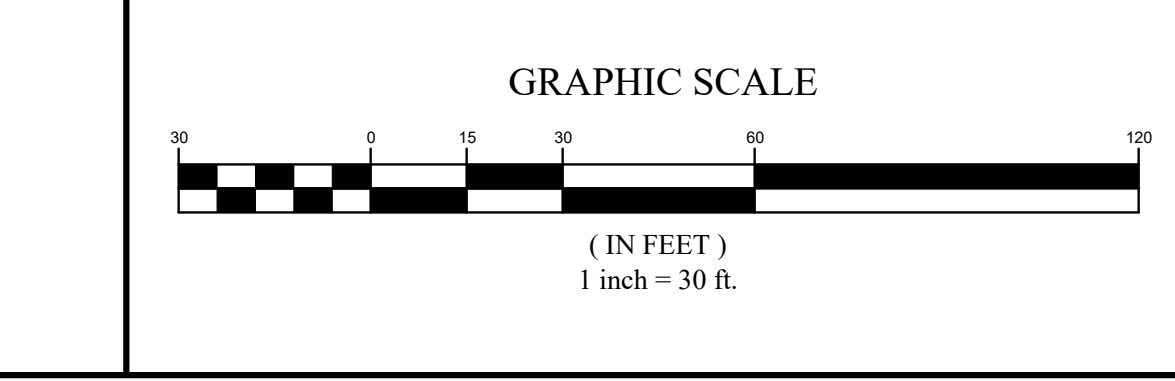
LOCATION OF PROJECT  
TAX PARCEL NO. 162-05-01-3-41, TOWN LOT 4  
4th RANGE TOWNSHIP 12, RANGE 7, PHELPS AND GORHAM PURCHASE,  
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.

CLIENT: BENDERSON DEVELOPMENT CO., LLC  
570 DELAWARE AVENUE  
BUFFALO, NEW YORK 14202

DWG # B968-44  
CA110  
SHEET 3 OF 9



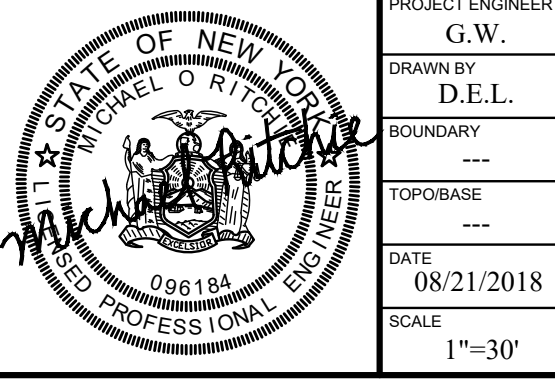
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6	01/24/2023	REVISED PER CLIENTS COMMENTS			
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PROJECT ENGINEER  
 G.W.  
 DRAWN BY  
 D.E.L.  
 BOUNDARY  
 ---  
 TOP/BASE  
 ---  
 DATE  
 08/21/2018  
 SCALE  
 1"=30'

**COSTICH ENGINEERING**  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

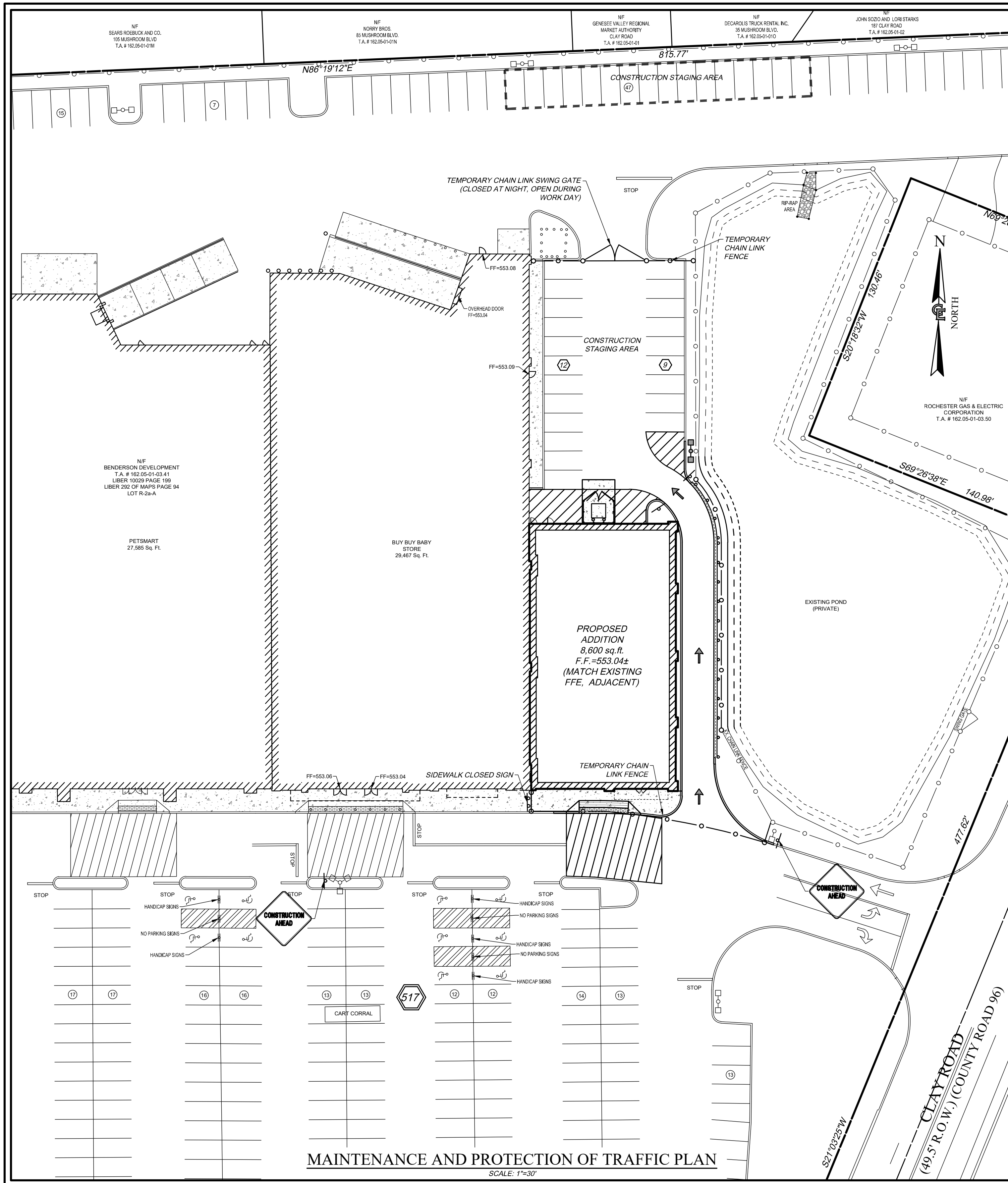
TITLE OF PROJECT  
**MARKET SQUARE PLAZA (EAST)  
 8,600 SQ.FT. BUILDING EXPANSION**

TITLE OF DRAWING  
**UTILITY, GRADING AND EROSION CONTROL PLAN**

LOCATION OF PROJECT  
 TAX PARCEL NO. 162-05-01-3-41, TOWN LOT 4  
 4th RANGE TOWNSHIP 12, RANGE 7, PHELPS AND GORHAM PURCHASE,  
 TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.

CLIENT/BENDERSON DEVELOPMENT CO., LLC  
 570 DELAWARE AVENUE  
 BUFFALO, NEW YORK 14202

DWG #B968-44  
 CA120  
 SHEET 4 OF 9

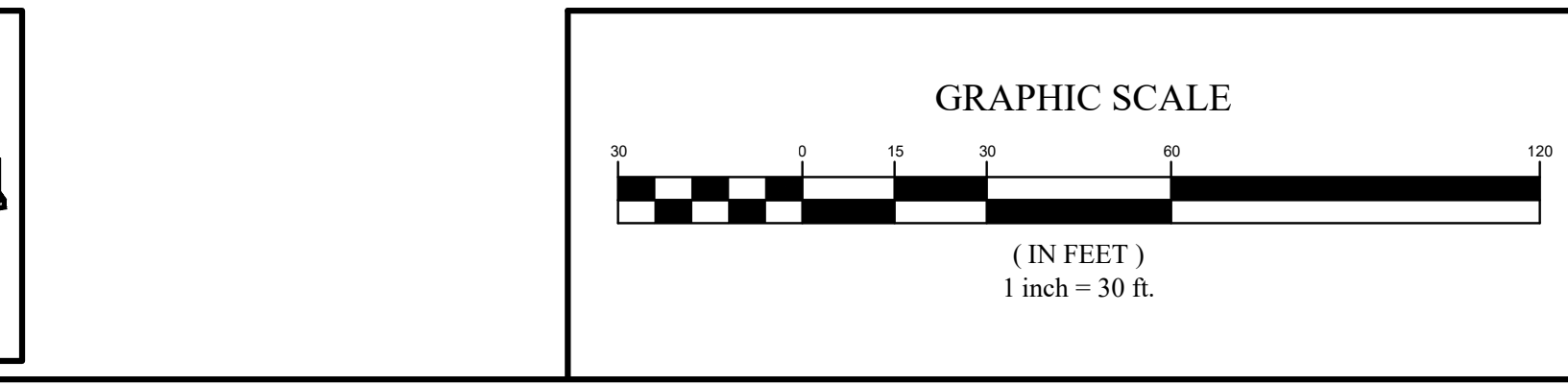
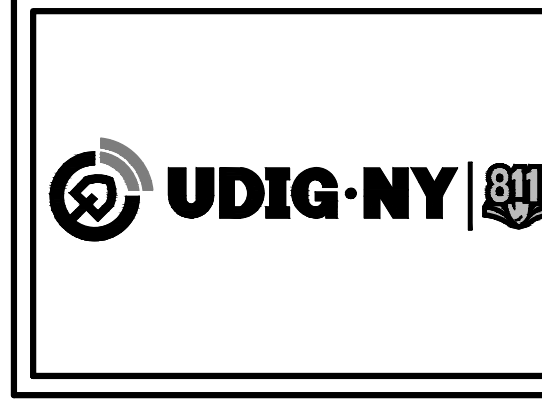
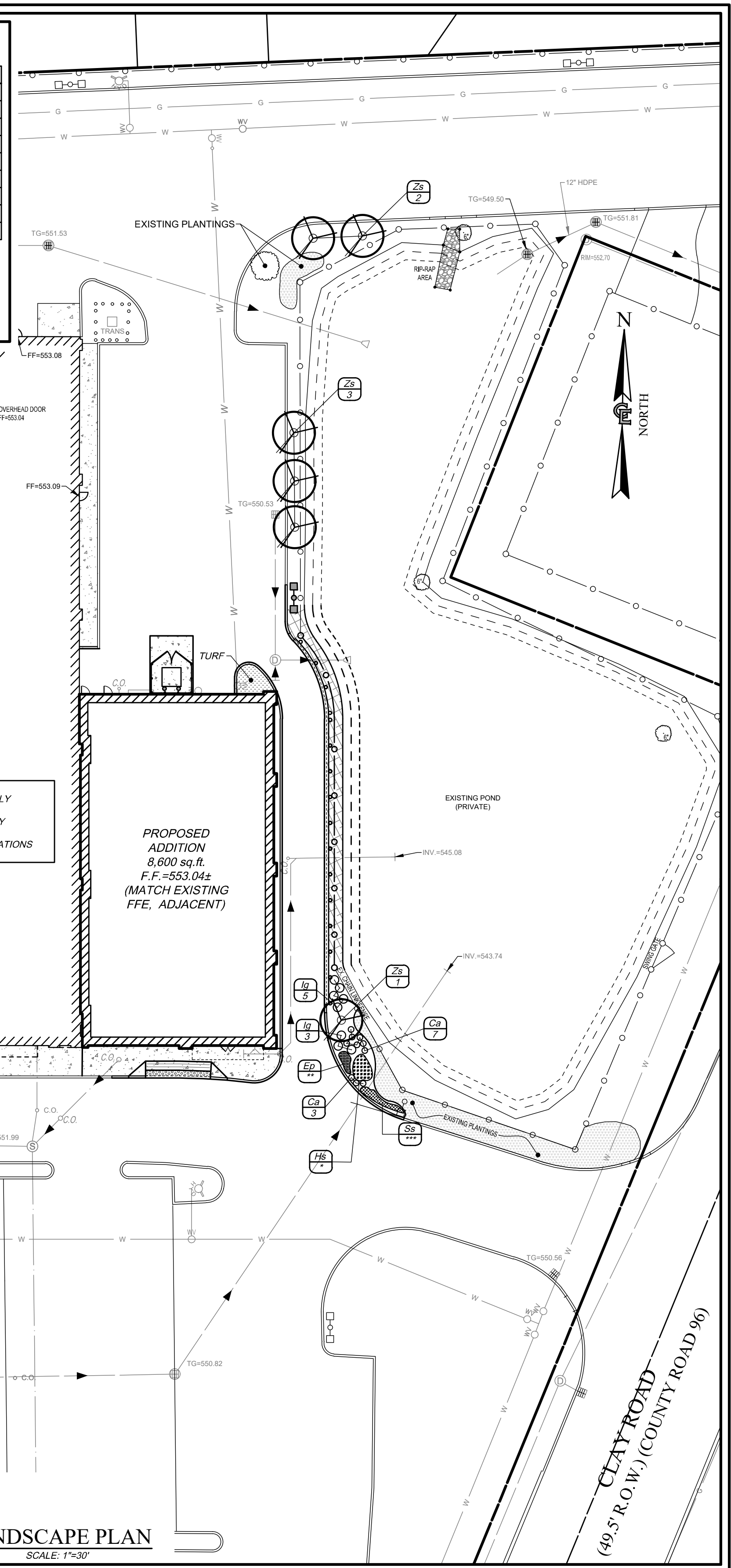
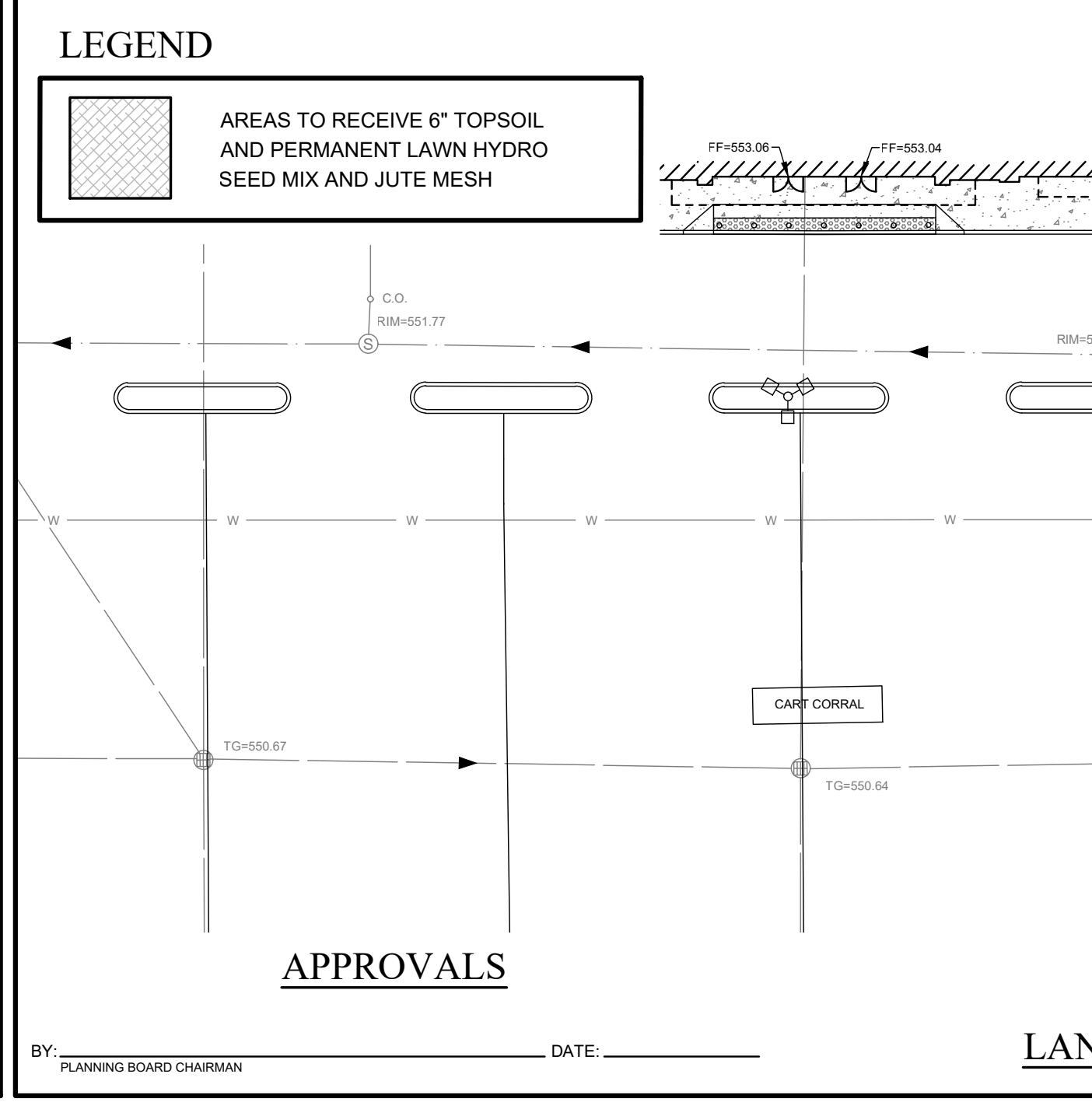


### PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS/ORNAIMENTAL TREES</b>				
6	Zs	ZELKOVA SERRATA	JAPANESE ZELKOVA	Cal. 3"-3.5"
<b>SHRUBS</b>				
8	Ig	ILEX GLABRA 'CHAMZIN'	NORDIC INKBERRY HOLLY	NO. 5
<b>PERENNIALS / GRASSES/GROUNDCOVER</b>				
32	Hs	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DWARF DAYLILY	NO. 2
16	Ep	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	NO. 2
10	Ca	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	NO. 3
16	Ss	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	NO. 2
	Turf	TRIO MIX		MIX

**ABBREVIATIONS:**  
 BB=BALLED & BURLAPPED HT=HEIGHT \*\*\*\*\* PERFERRED GRASS SEED - TRIO MIX  
 CAL=CALIPER IN INCHES NO.#=GALLON SIZE SEEDING RATE - 5 LBS PER 1,000 SQ. FT.  
 SP=SPREAD CONT.=CONTAINER 34% PERENNIAL RYEGRASS  
 \* 1 PLANT PER 2 SQ. FOOT 33% BOREAL CREEPING RED FESCUE  
 \*\* 1 PLANT PER 4 SQ. FOOT 33% KENBLUE KENTUCKY BLUEGRASS  
 \*\*\* 1 PLANT PER 4 SQ. FOOT Total: 100%

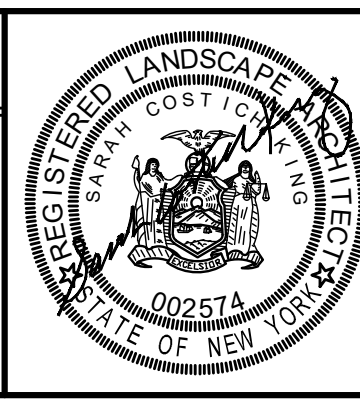
- ### LANDSCAPE NOTES
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION ANSI Z66.1.
  - THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
  - LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE OWNER/OWNER'S REPRESENTATIVE AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL IN SHRUB BEDS.
  - LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
  - SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNER'S REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
  - UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
  - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
  - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
  - ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" LAYER OF SHREDED HARDWOOD BARK MULCH.
  - STAKE TREES IMMEDIATELY AFTER PLANTING.
  - ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDED.
  - ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
  - ALL TREES INDICATED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS.
  - EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. ANY PLANTS INDICATED TO REMAIN THAT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS ARE TO BE REPLACED AT THE SAME SIZE AS THAT OF THE EXISTING PLANT BEING REMOVED.
- NOTE:** EXISTING PLANTS TO REMAIN, OR DIRECTLY ADJACENT TO THE WORK AREA SHALL BE PROTECTED DURING CONSTRUCTION. ANY PLANTS INDICATED TO REMAIN THAT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS ARE TO BE REPLACED IN KIND.



NO.	DATE	REVISION	BY	CHKD.	APVLS.
6	04/02/2024	REVISED PER TOWN COMMENTS		D.E.L.	G.W.
5	10/11/2022	REVISED PER TOWN COMMENTS		R.C.C.	G.W.
4	09/29/2022	REVISED PER TOWN COMMENTS		R.C.C.	G.W.
3	08/02/2022	REVISED PER CLIENTS COMMENTS		D.E.L.	G.W.
2	01/15/2019	REVISED PER TOWN COMMENTS		D.E.L.	G.W.
1	10/22/2018	REVISED PER TOWN COMMENTS		D.E.L.	G.W.

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PROJECT ENGINEER: G.W.  
 DRAWN BY: D.E.L.  
 BOUNDARY: ---  
 TOP/OBASE: ---  
 DATE: 08/21/2018  
 SCALE: 1"=30'

**COSTICH ENGINEERING**  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT: MARKET SQUARE PLAZA (EAST) 8,600 SQ.FT. BUILDING EXPANSION

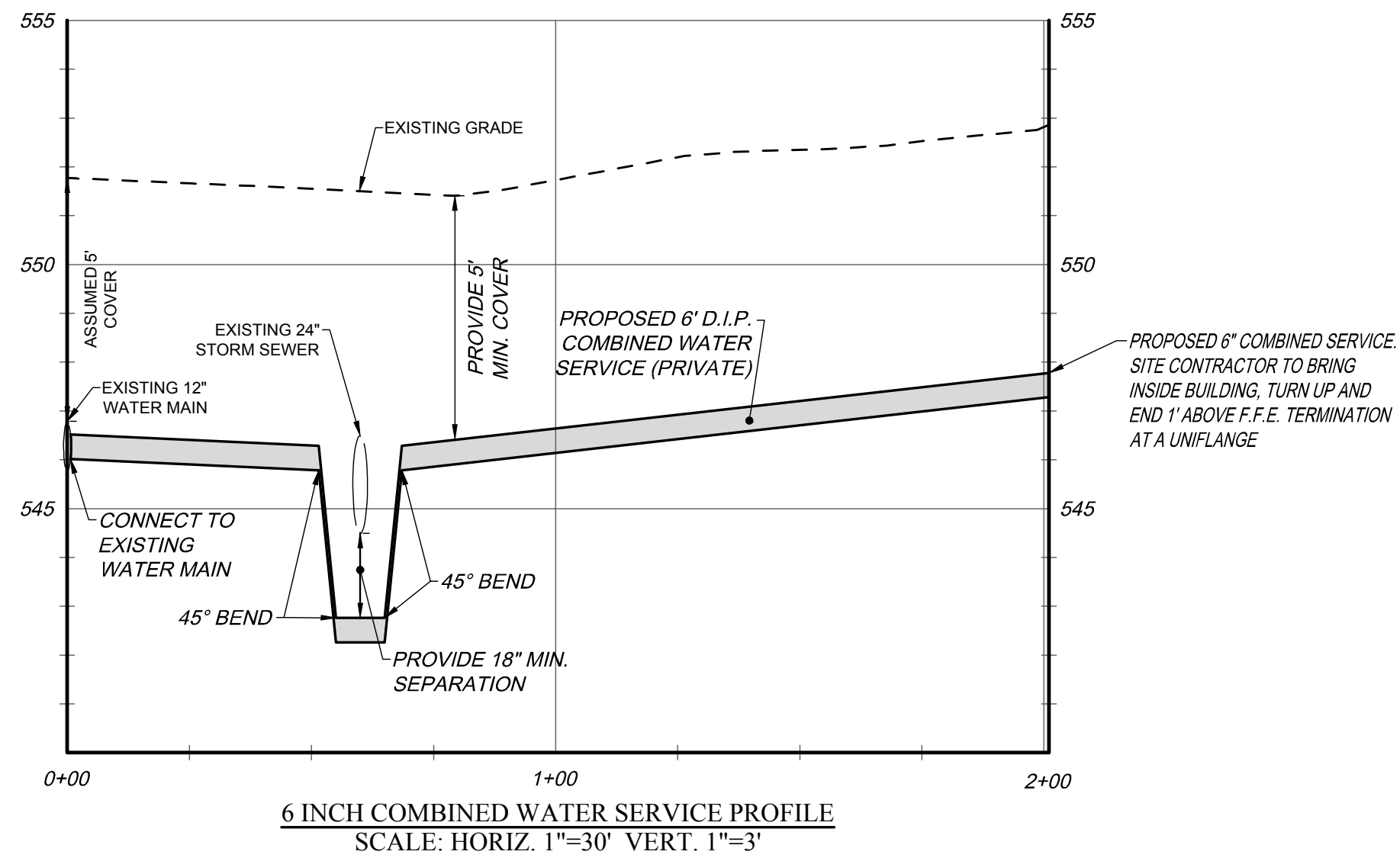
TITLE OF DRAWING: MAINTENANCE AND PROTECTION OF TRAFFIC AND LANDSCAPE PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 162-05-01-3-41, TOWN LOT 4

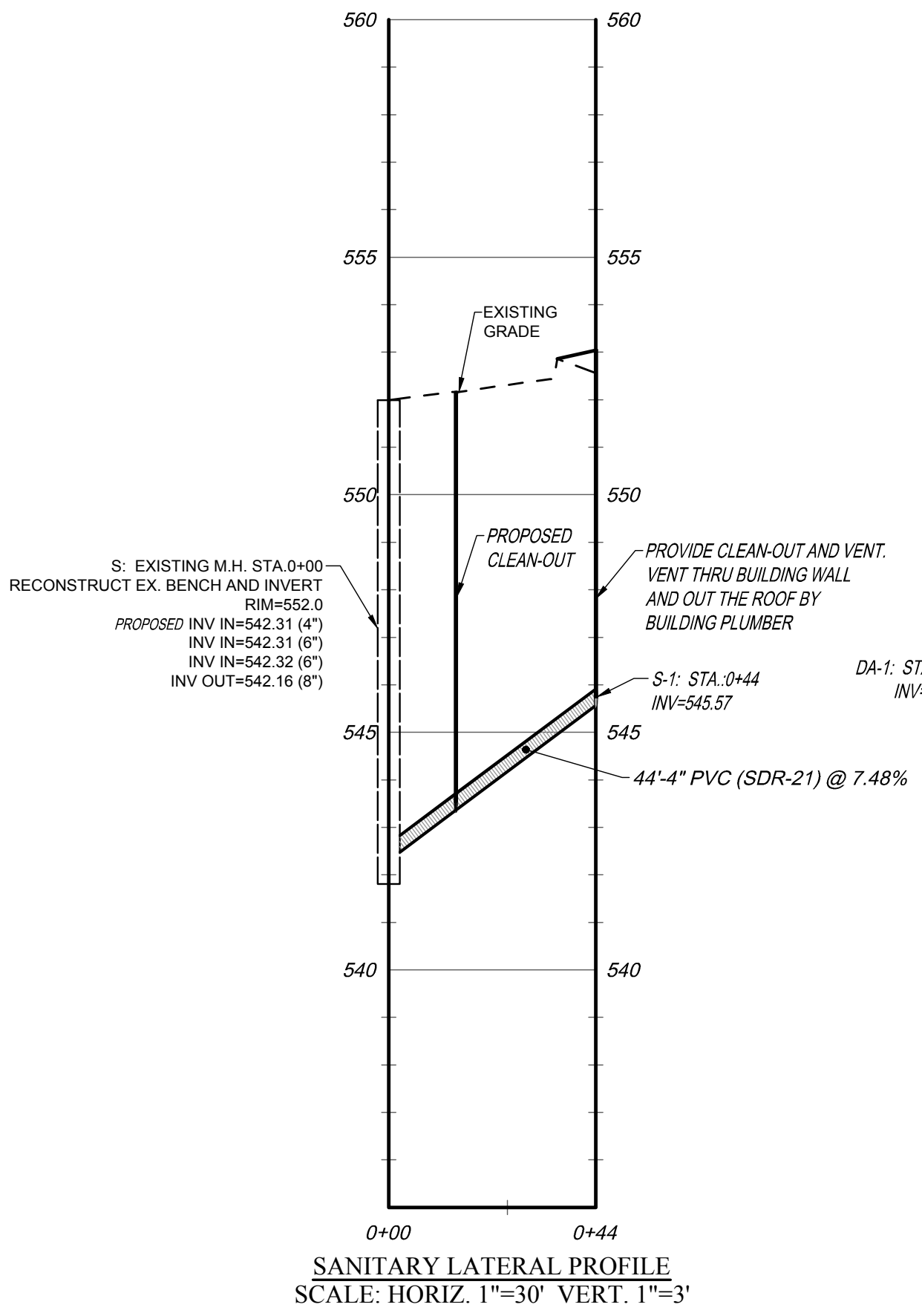
4th RANGE TOWNSHIP 12, RANGE 7, PHELPS AND GORHAM PURCHASE, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.

CLIENT: BENDERSON DEVELOPMENT CO., LLC DWS #B968-44  
 570 DELAWARE AVENUE  
 BUFFALO, NEW YORK 14202

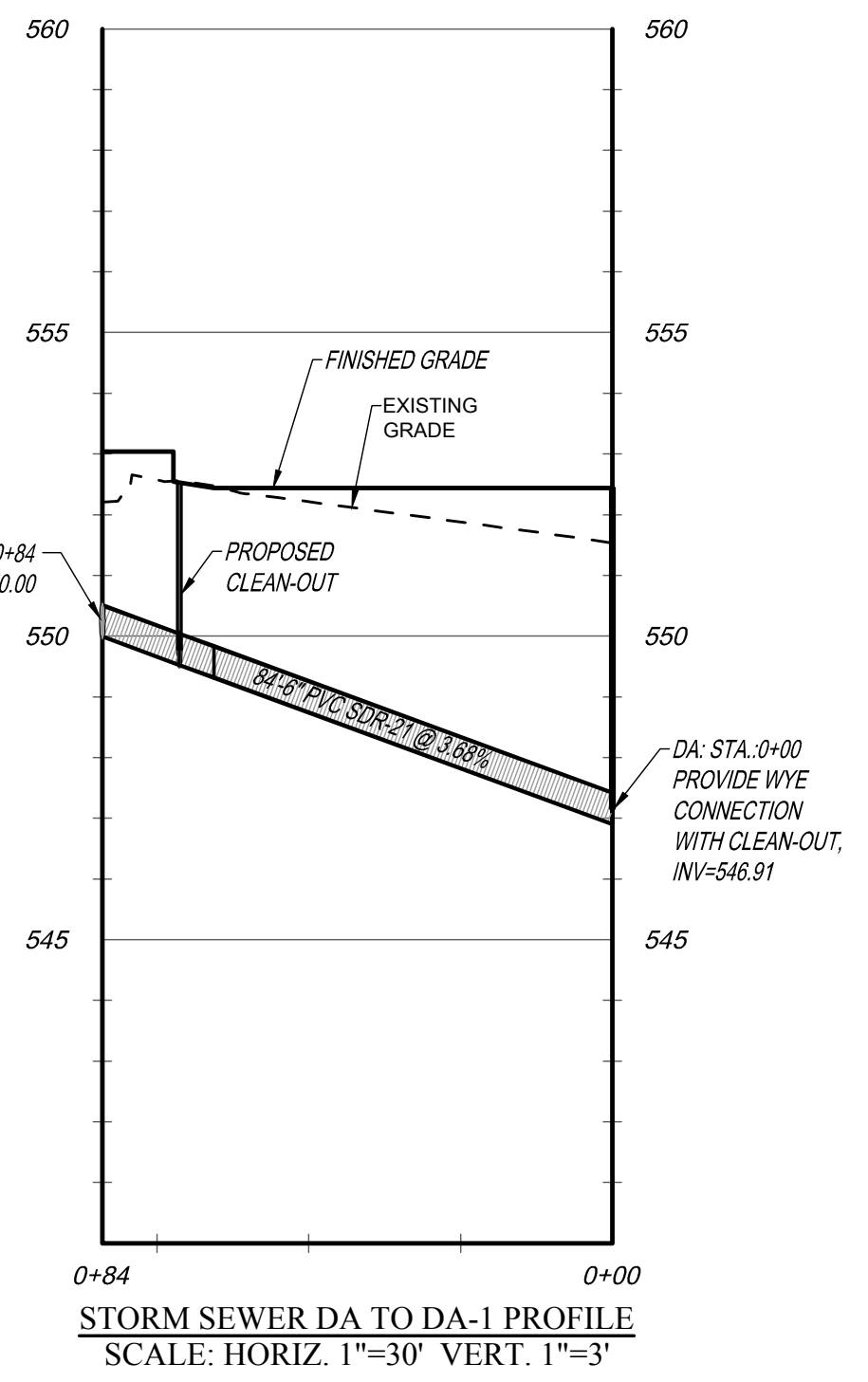
CA130  
 SHEET 5 OF 9



6 INCH COMBINED WATER SERVICE PROFILE  
SCALE: HORIZ. 1"=30' VERT. 1"=3'



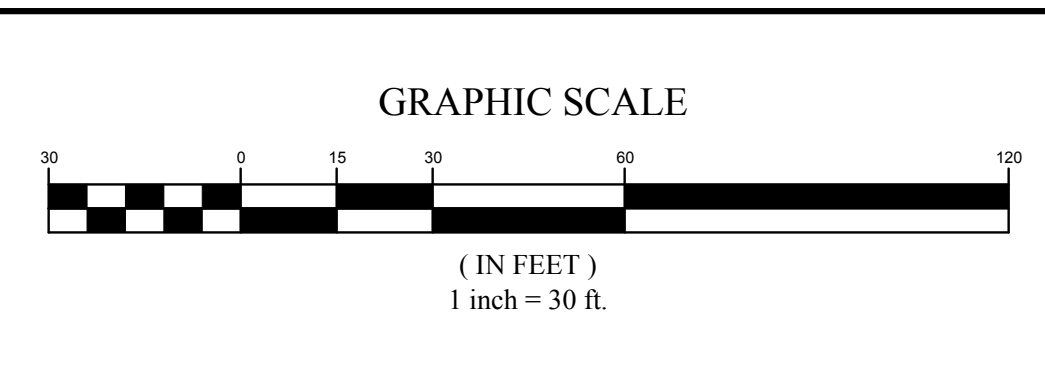
SANITARY LATERAL PROFILE  
SCALE: HORIZ. 1"=30' VERT. 1"=3'



STORM SEWER DA TO DA-1 PROFILE  
SCALE: HORIZ. 1"=30' VERT. 1"=3'



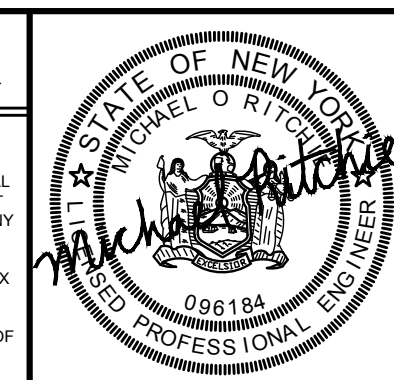
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



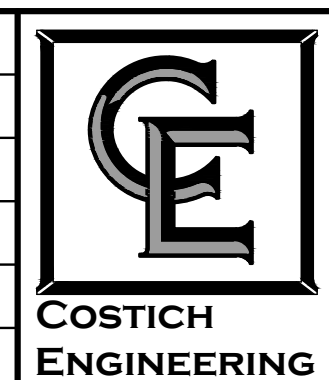
NO.	DATE	REVISION	BY	CHKD.	APVLS.
1	10/22/2018	REVISED PER TOWN COMMENTS			

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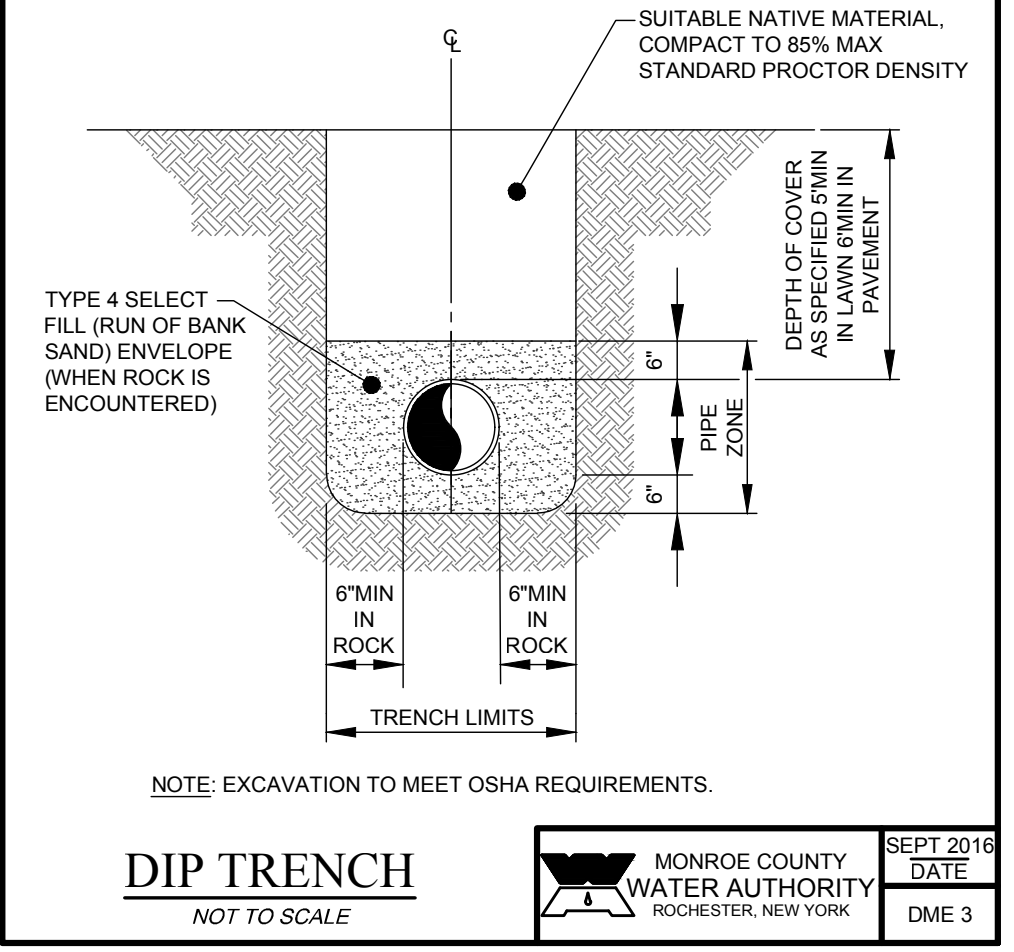
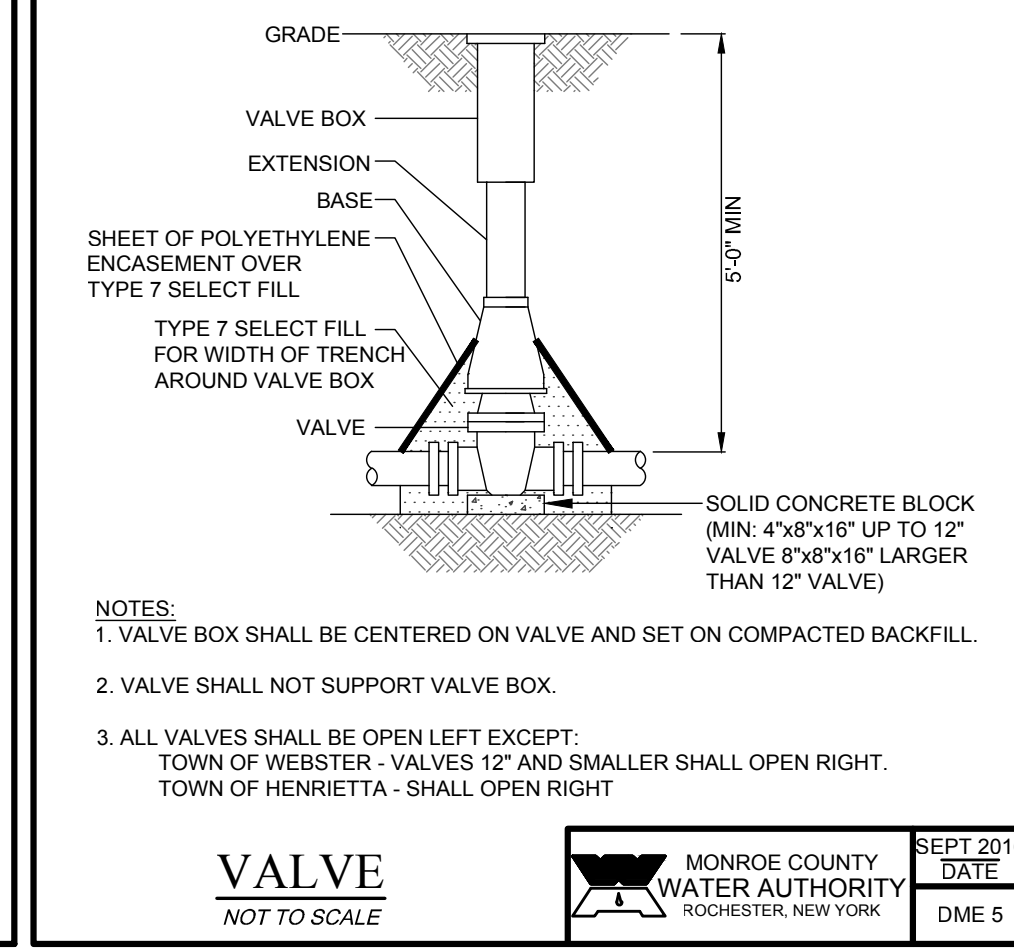
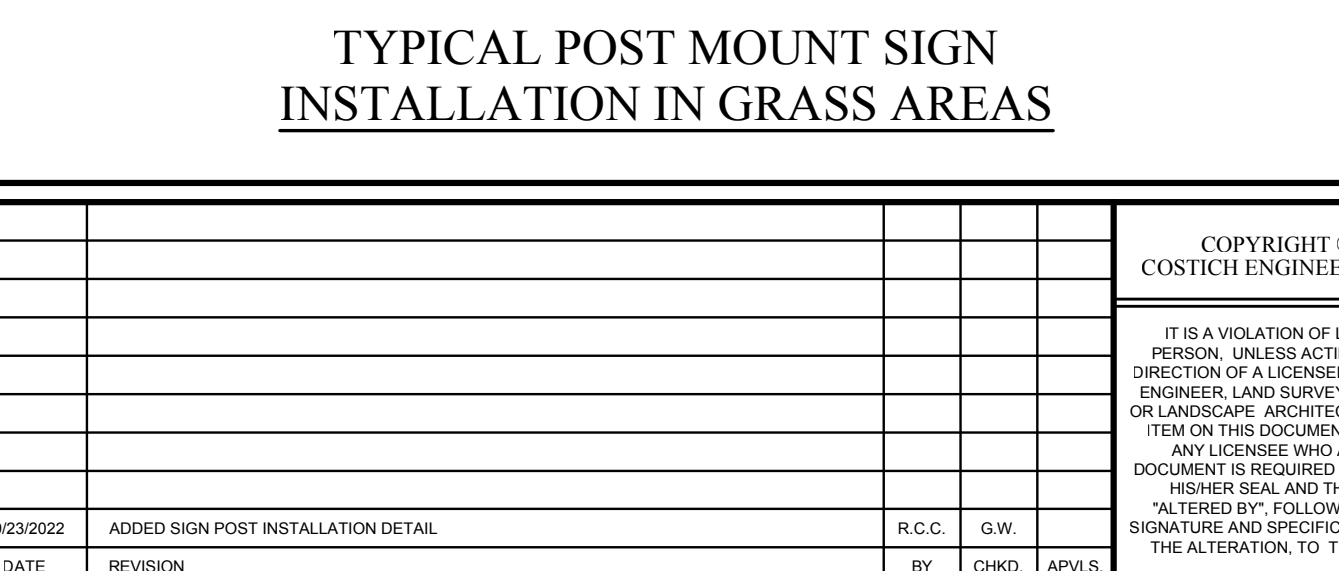
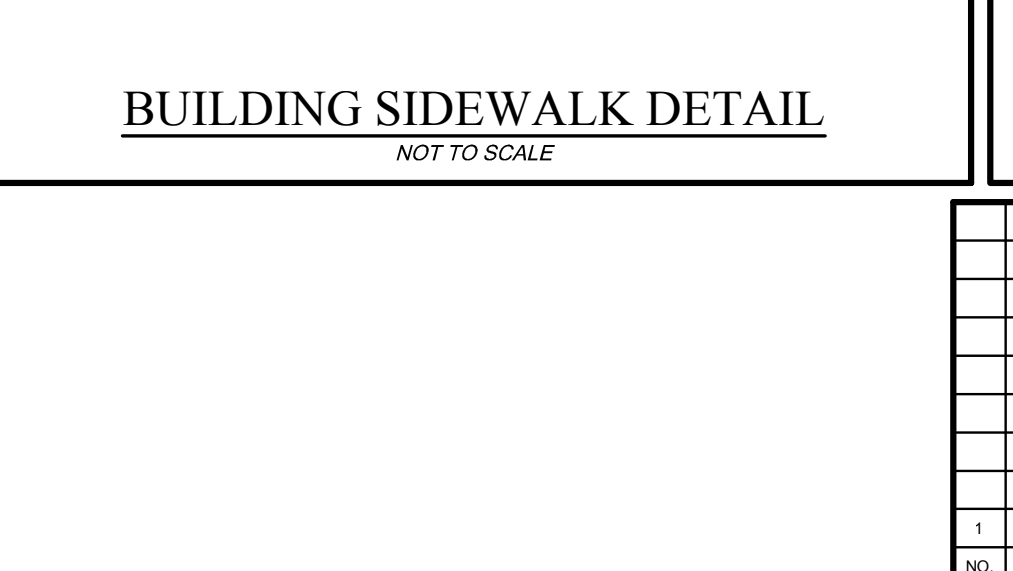
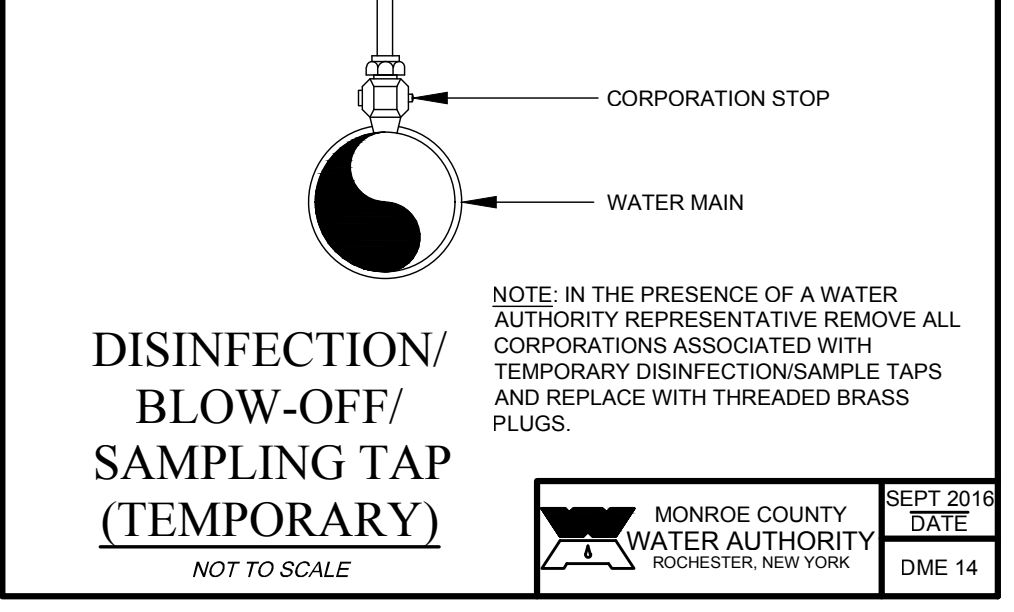
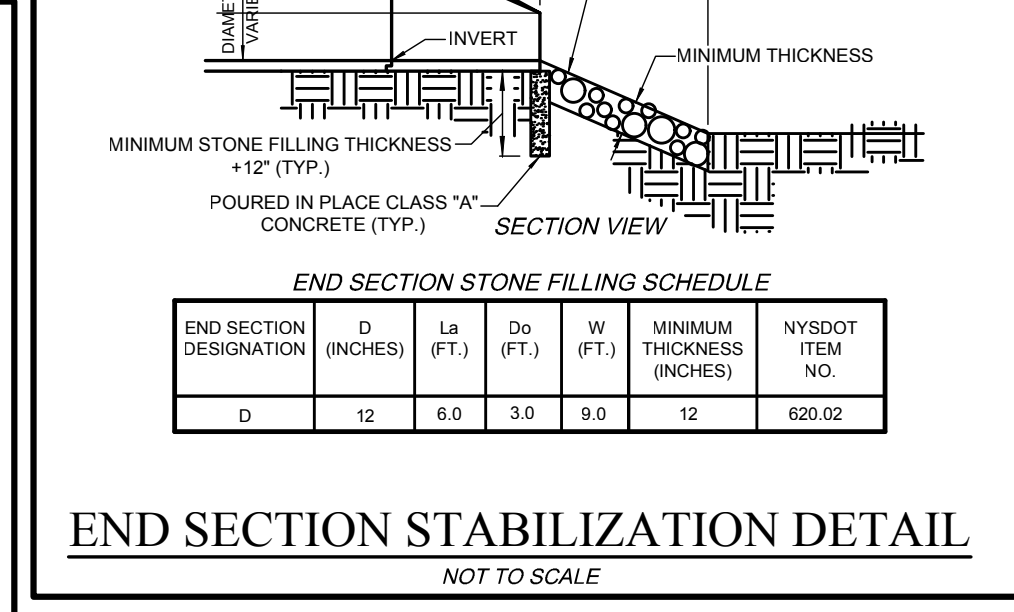
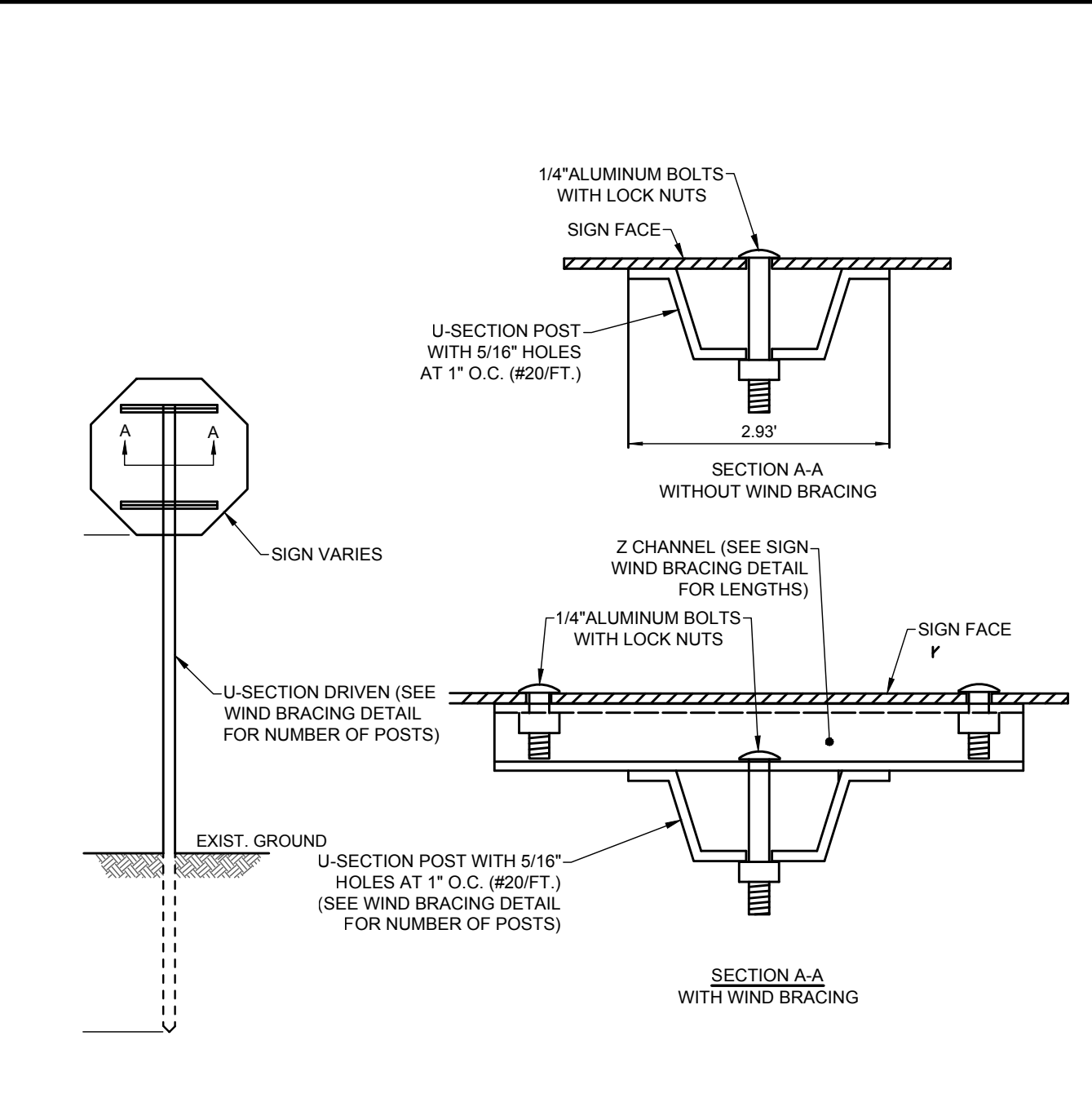
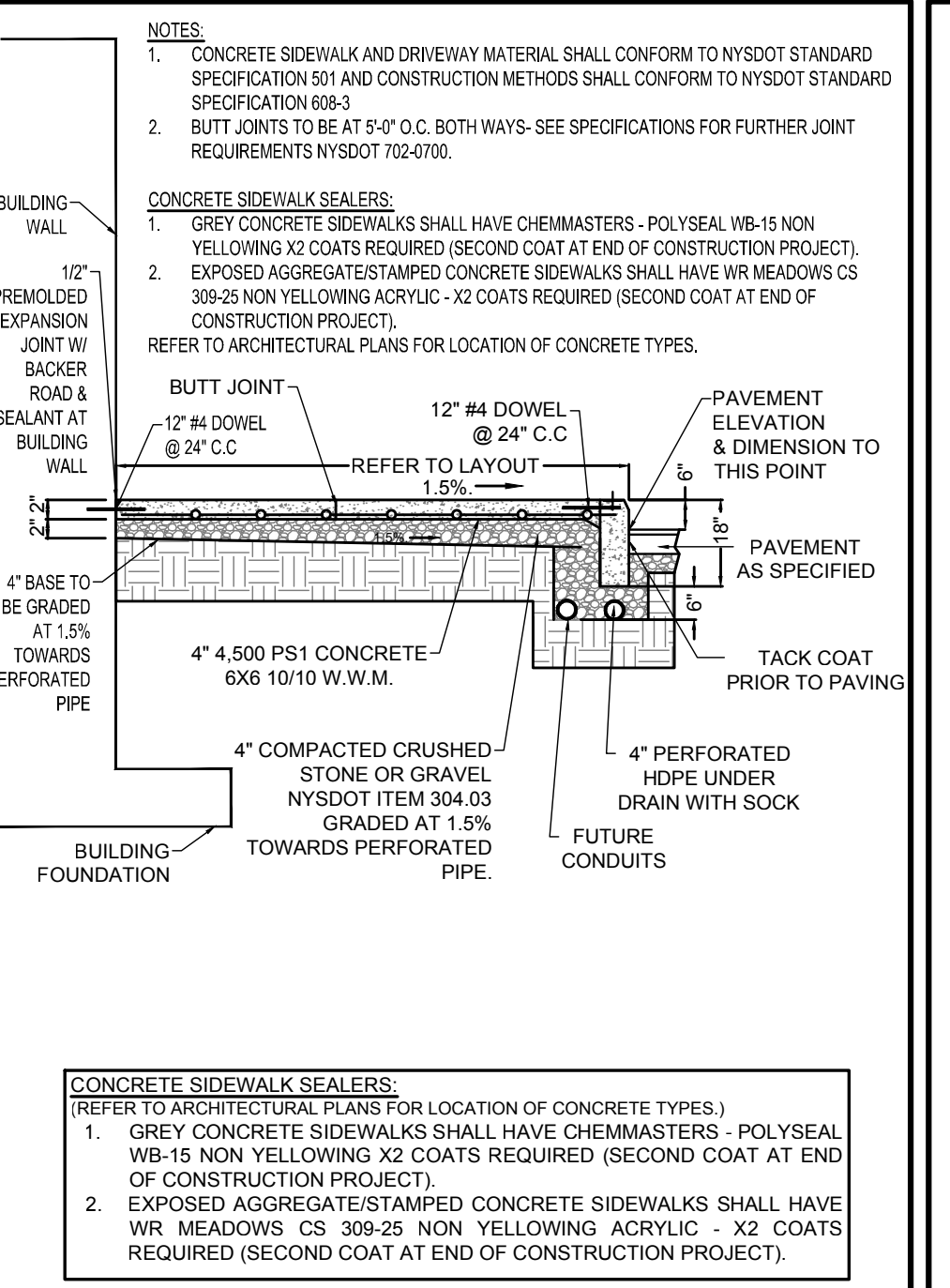
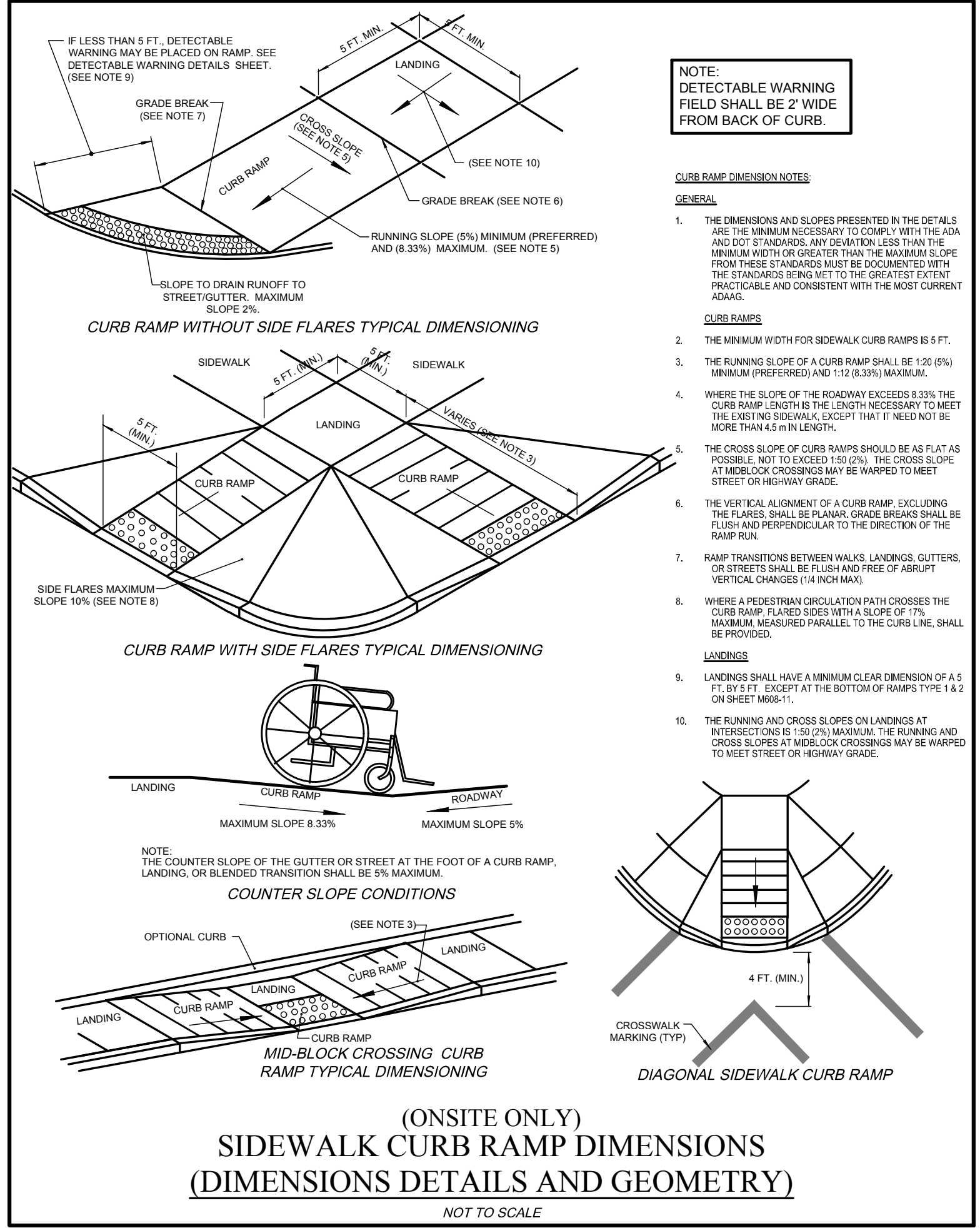
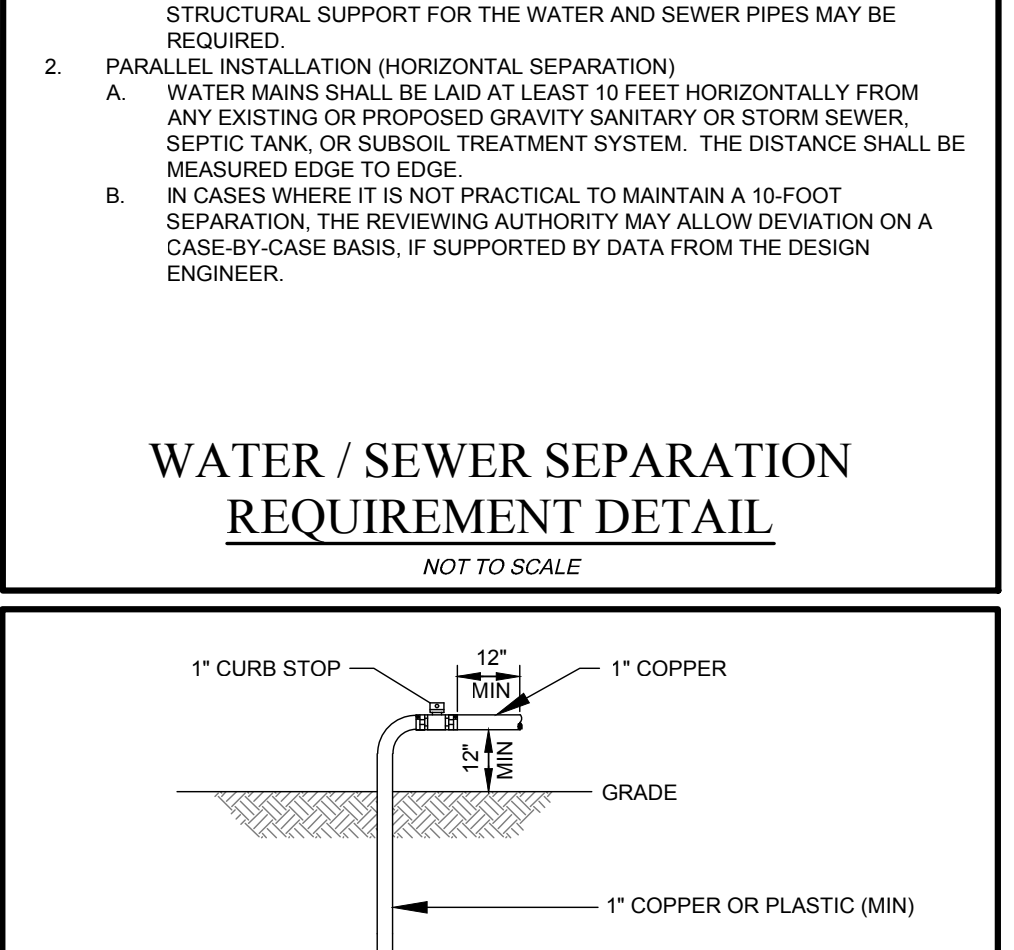
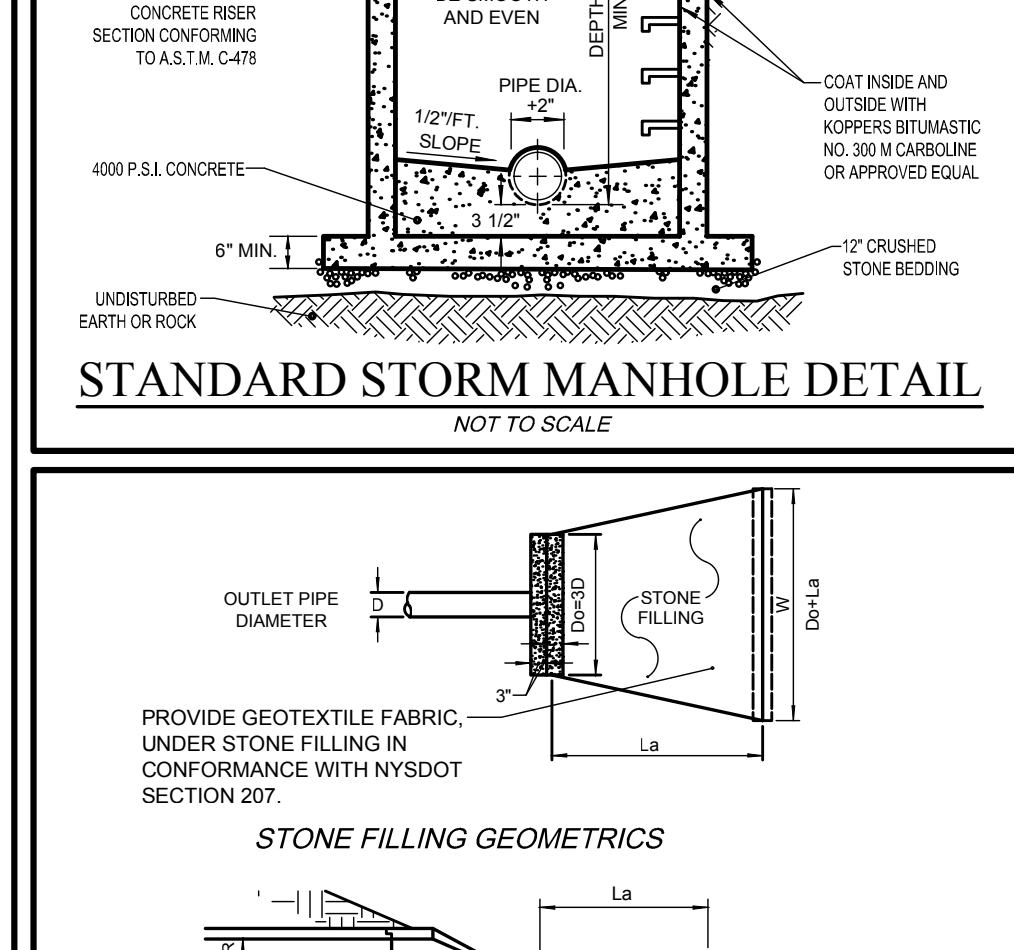
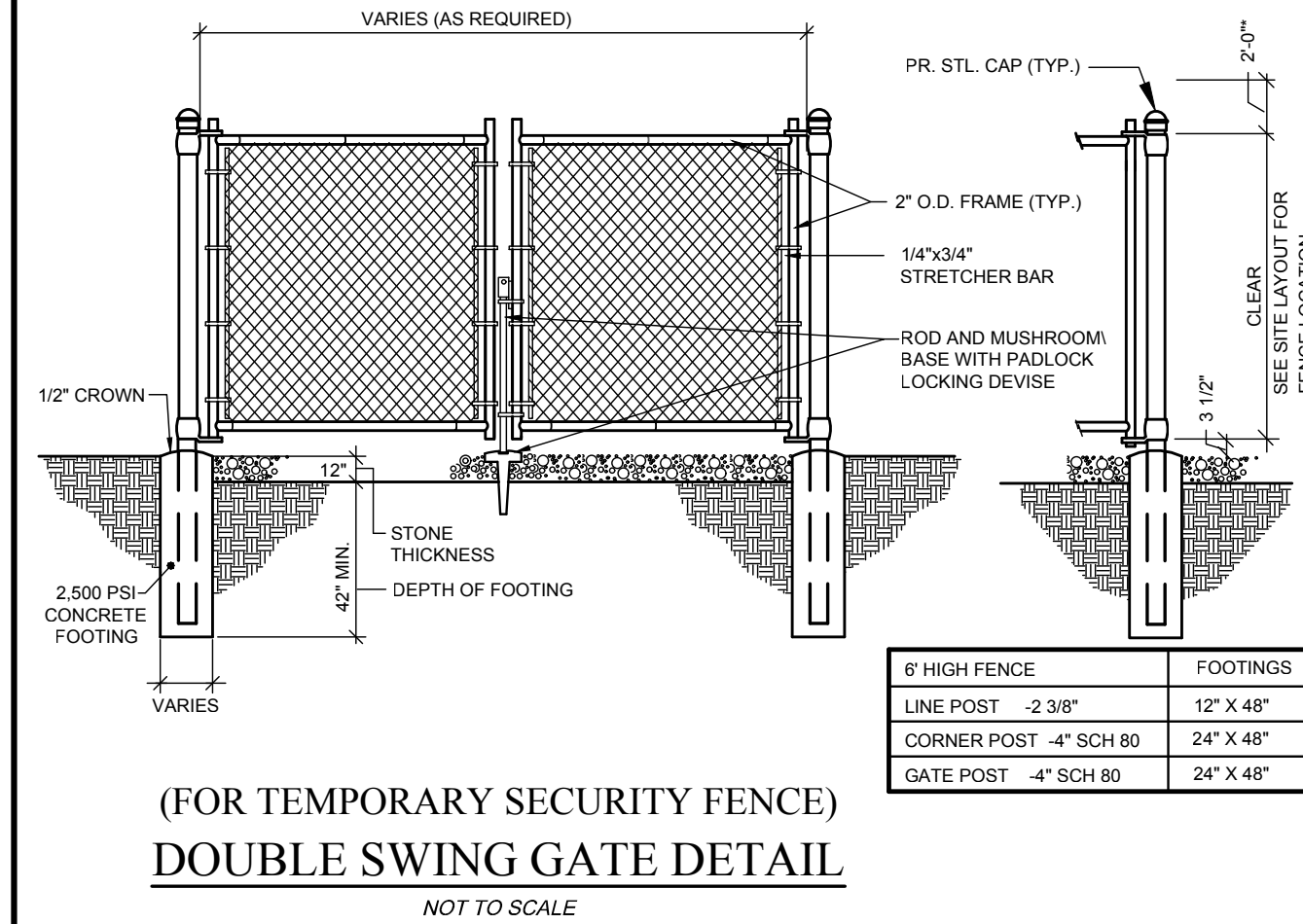
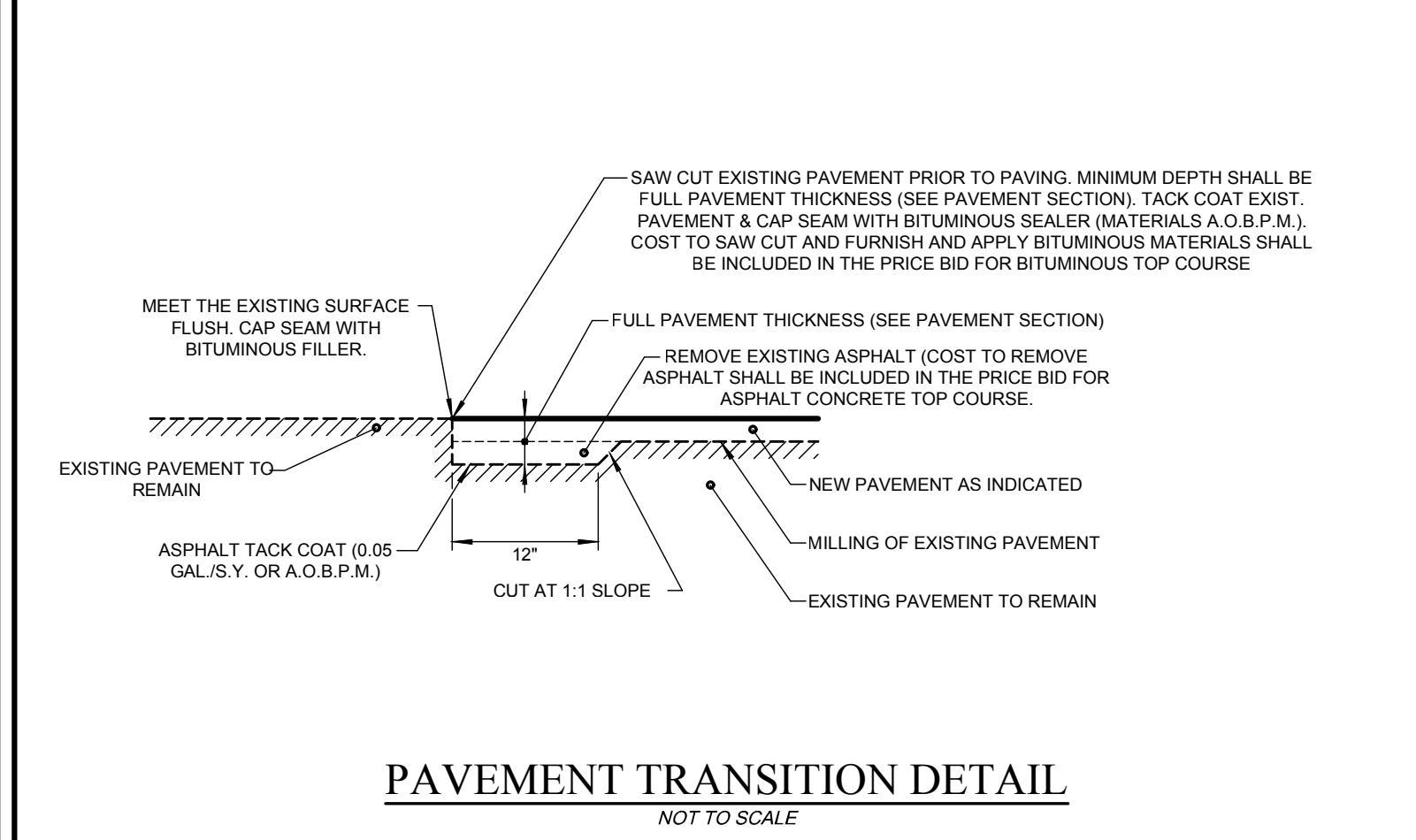
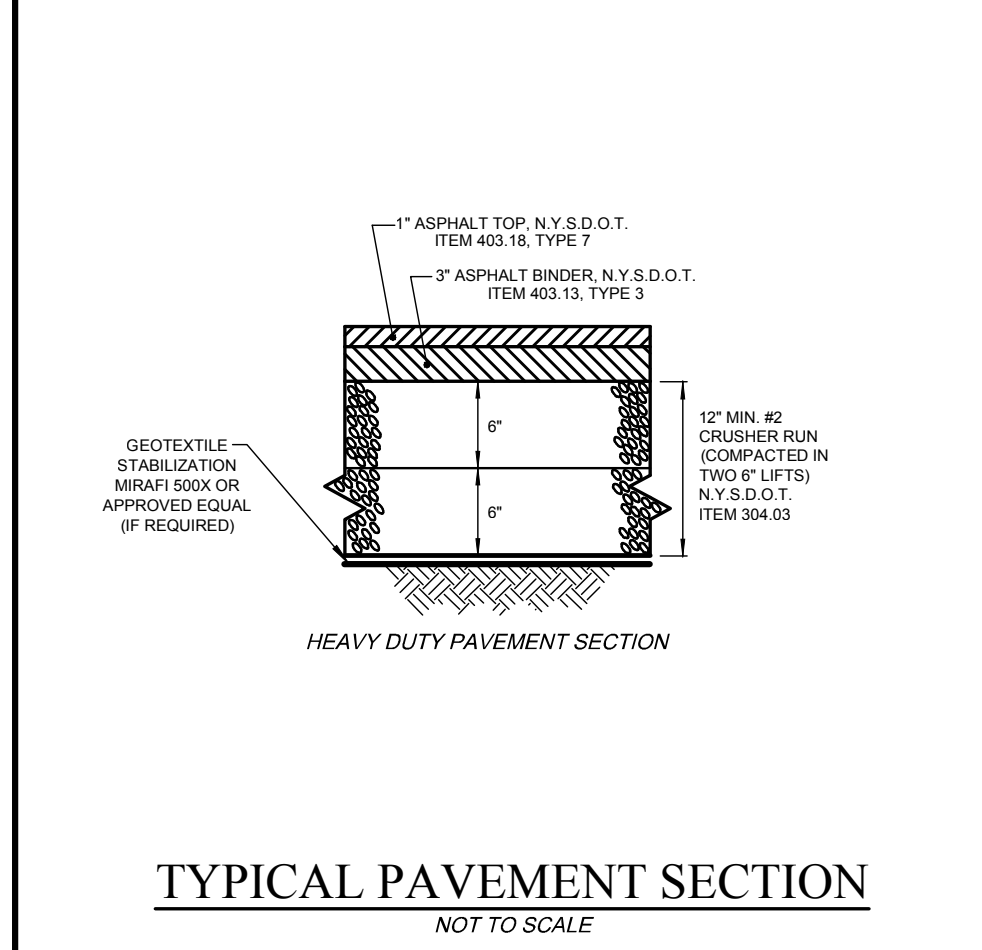
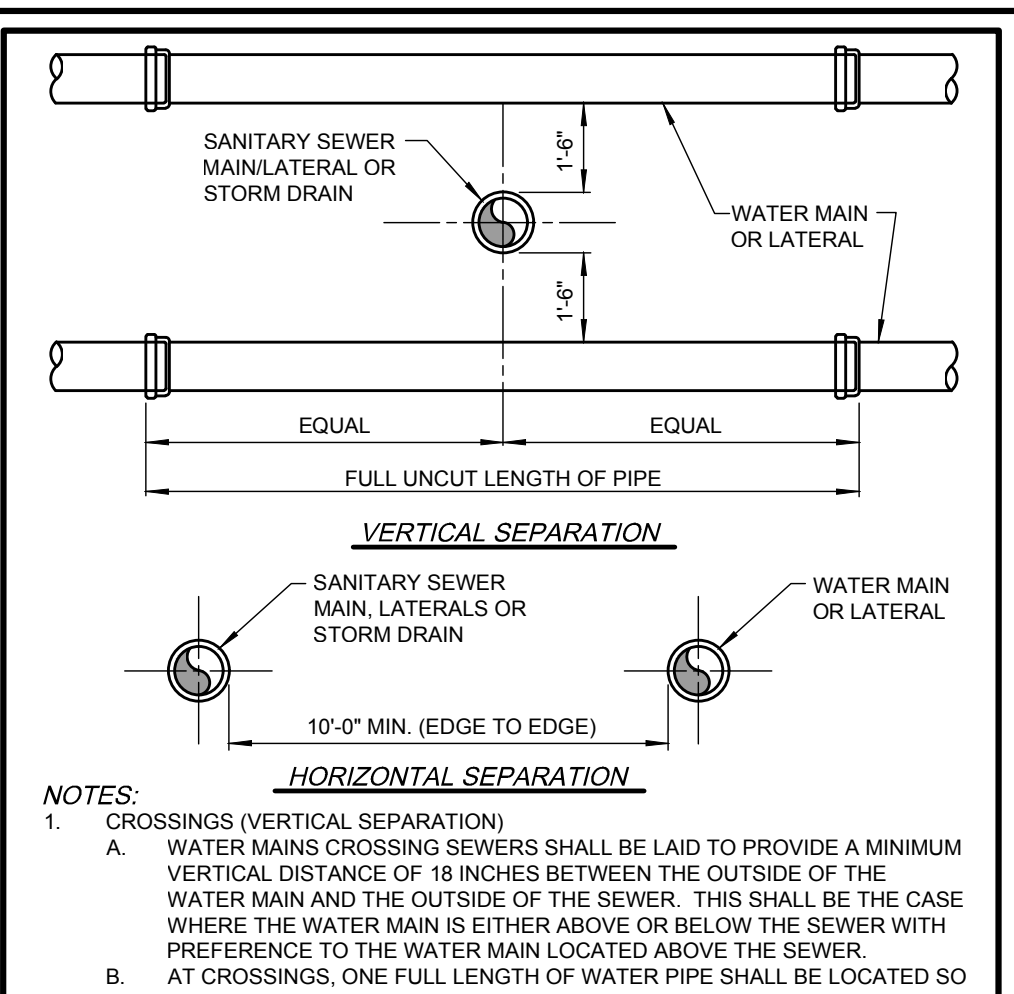
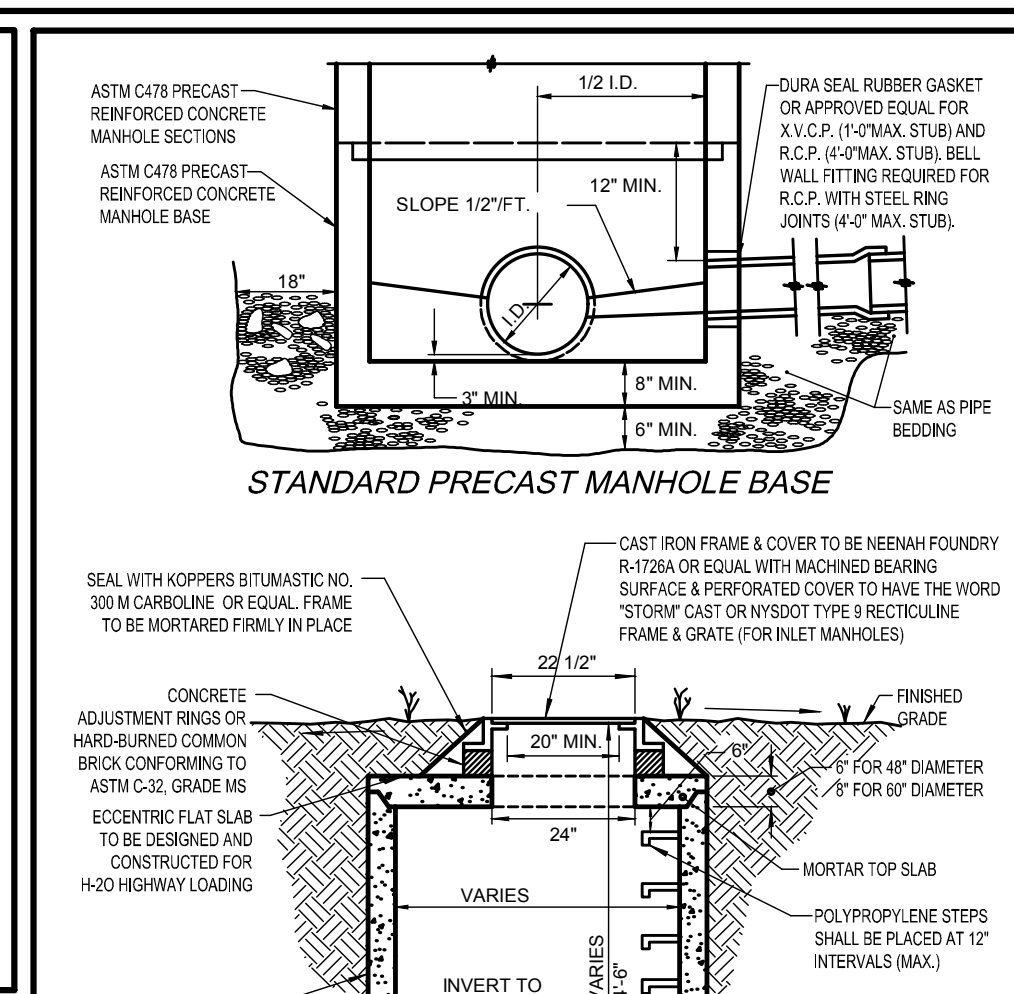
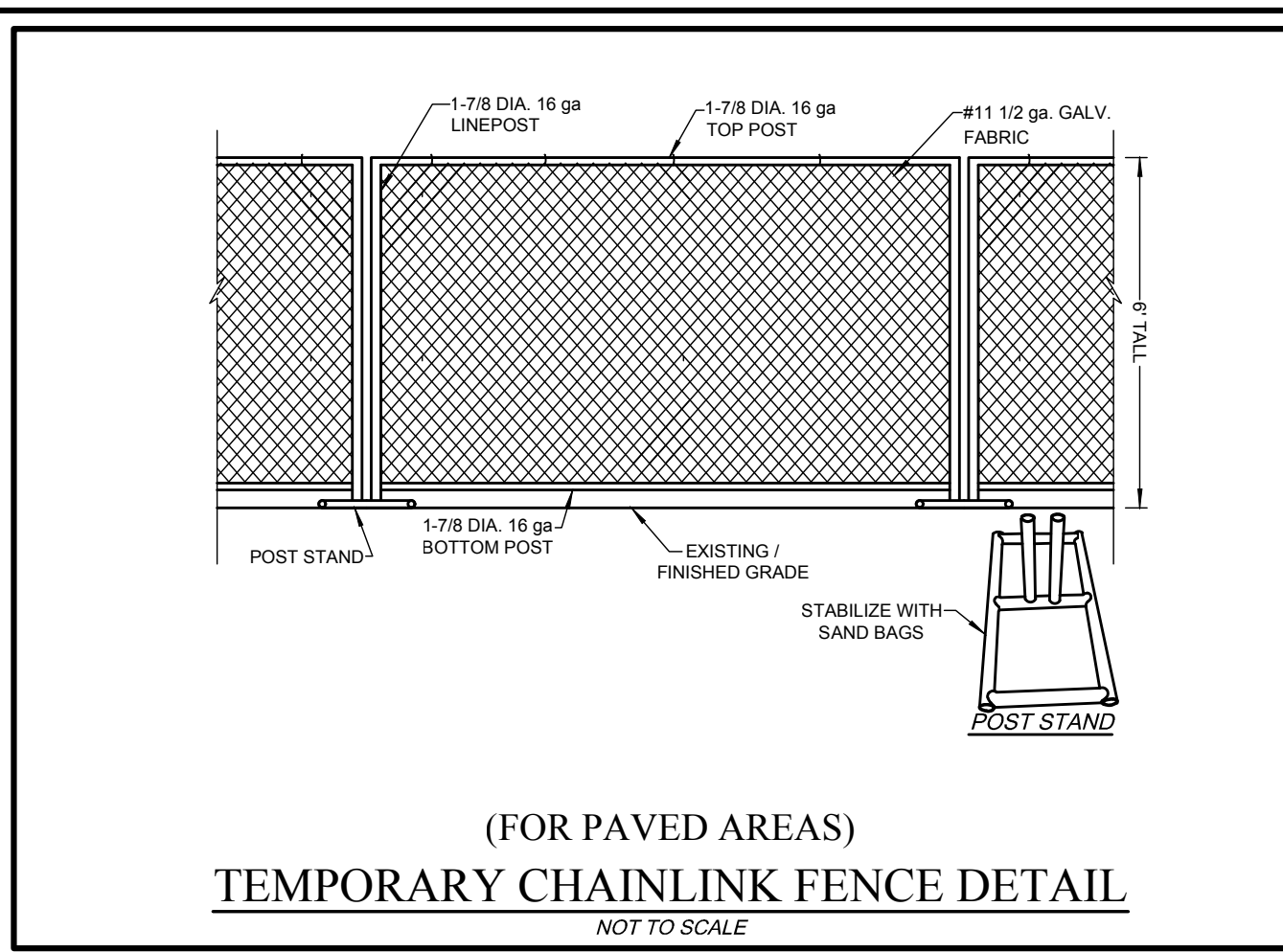
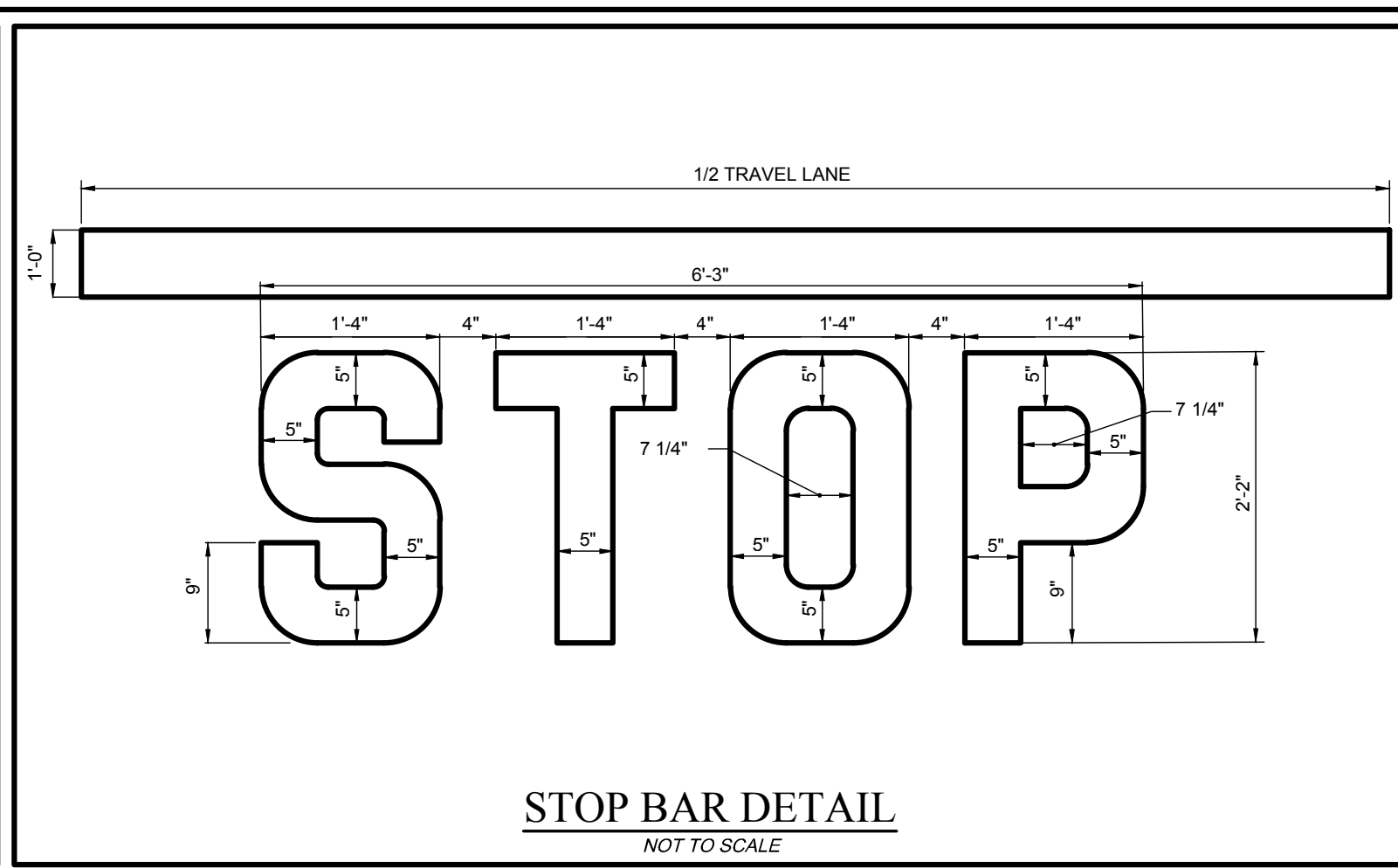
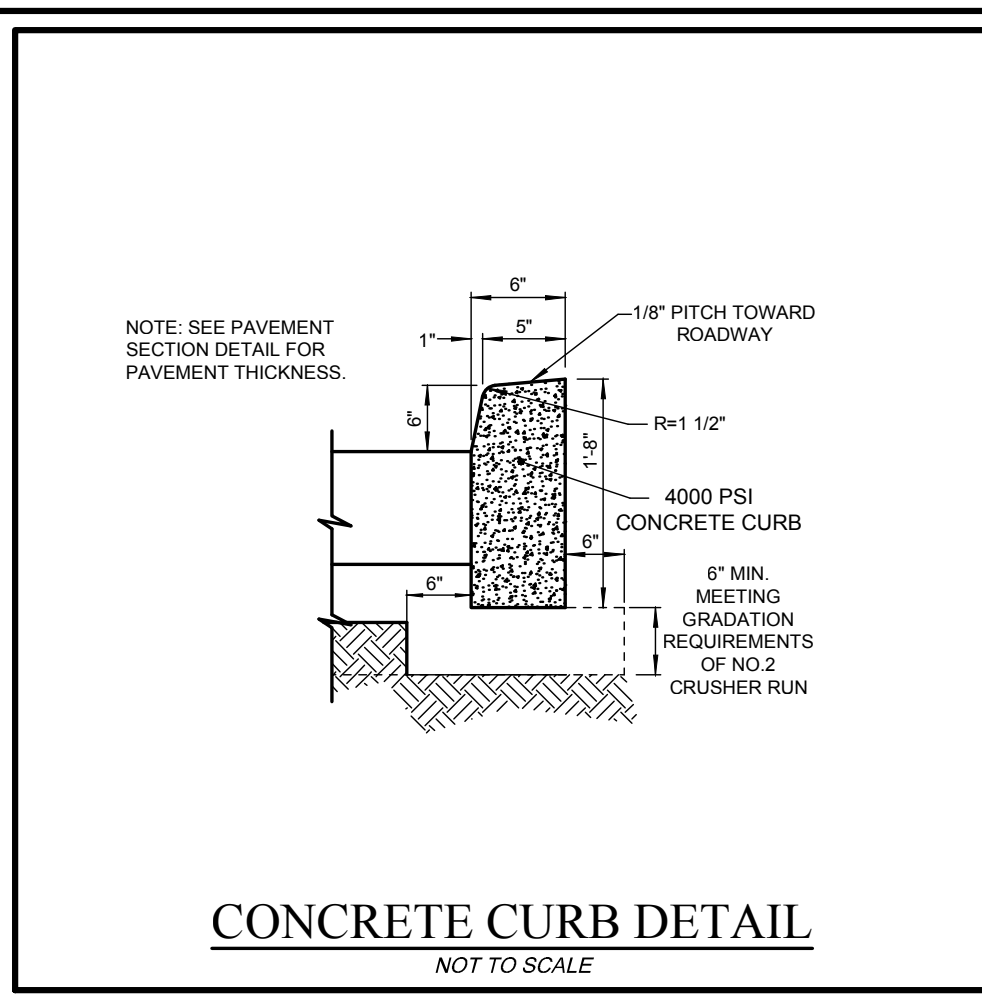


PROJECT ENGINEER: G.W.  
DRAWN BY: D.E.L.  
BOUNDARY: ---  
TOP/TOBASE: ---  
DATE: 08/21/2018  
SCALE: 1"=30'



- CIVIL ENGINEERING
  - LAND SURVEYING
  - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

TITLE OF PROJECT: MARKET SQUARE PLAZA (EAST) 8,600 SQ.FT. BUILDING EXPANSION  
TITLE OF DRAWING: UTILITY PROFILE SHEET  
LOCATION OF PROJECT: TAX PARCEL NO. 162-05-01-3-41, TOWN LOT 4  
4th RANGE TOWNSHIP 12, RANGE 7, PHELPS AND GORHAM PURCHASE, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.  
CLIENT: BENDERSON DEVELOPMENT CO., LLC  
570 DELAWARE AVENUE  
BUFFALO, NEW YORK 14202  
DWG #B968-44  
CA300  
SHEET 6 OF 9



PROJECT: MARKET SQUARE PLAZA (EAST) 8,600 SQ.FT. BUILDING EXPANSION  
 TITLE OF DRAWING: DETAIL SHEET  
 LOCATION OF PROJECT: TAX PARCEL NO. 162.05-01-3.41, TOWN LOT 4  
 4th RANGE TOWNSHIP 12, RANGE 7, TIER 1 PS AND GORHAM PURCHASE, TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.  
 CLIENT: BENDERSON DEVELOPMENT CO., LLC  
 570 DELAWARE AVENUE, BUFFALO, NEW YORK 14202  
 DWS #B968-44  
 CA500 SHEET 7 OF 9

PROJECT ENGINEER: G.W.  
 DRAWN BY: D.E.L.  
 BOUNDARY: ---  
 TOP/BASE: ---  
 DATE: 08/21/2018  
 SCALE: N.T.W.

CIVIL ENGINEERING  
 LAND PLANNING  
 SURVEYING  
 217 LAKE AVENUE, ROCHESTER, NEW YORK 14608  
 (585) 458-3020

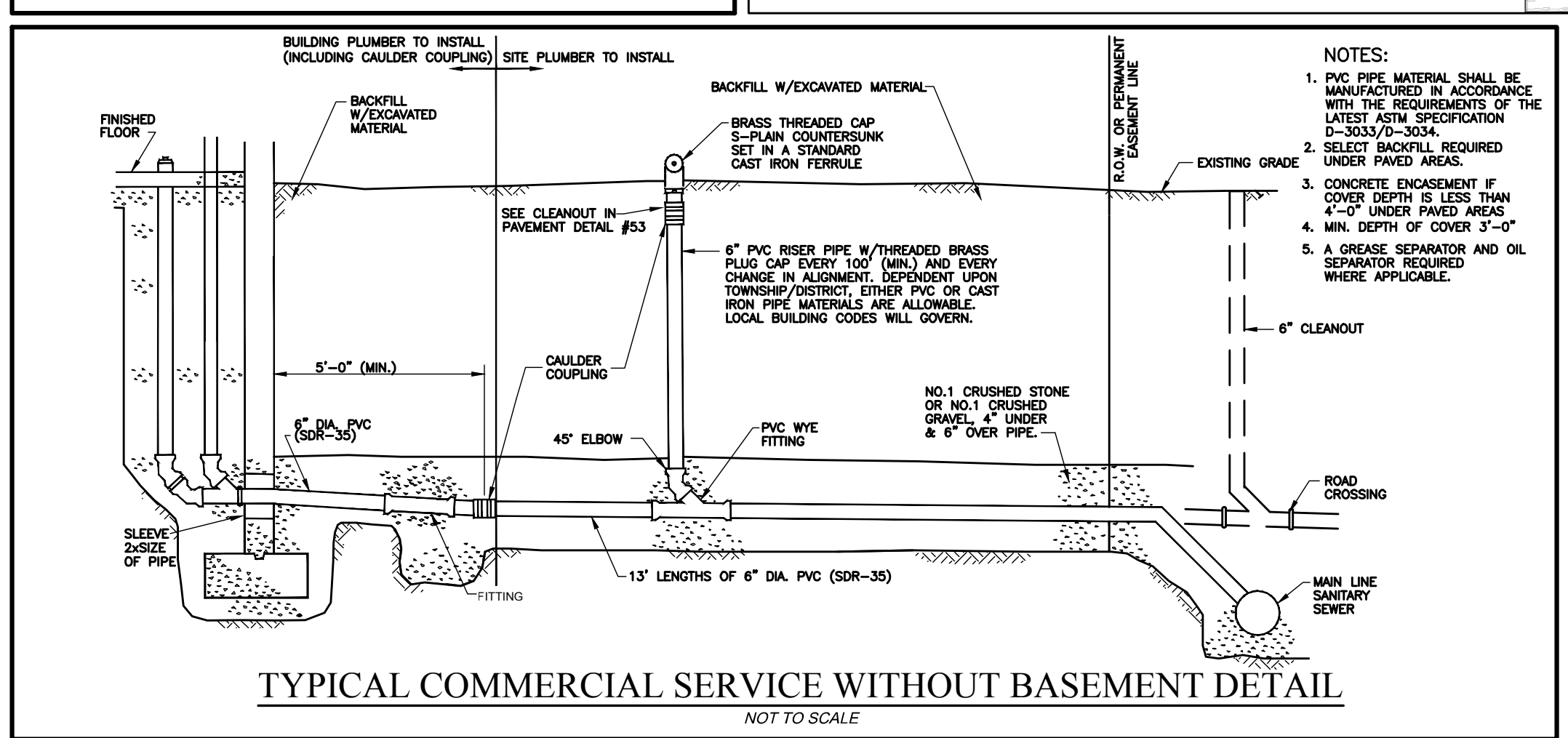
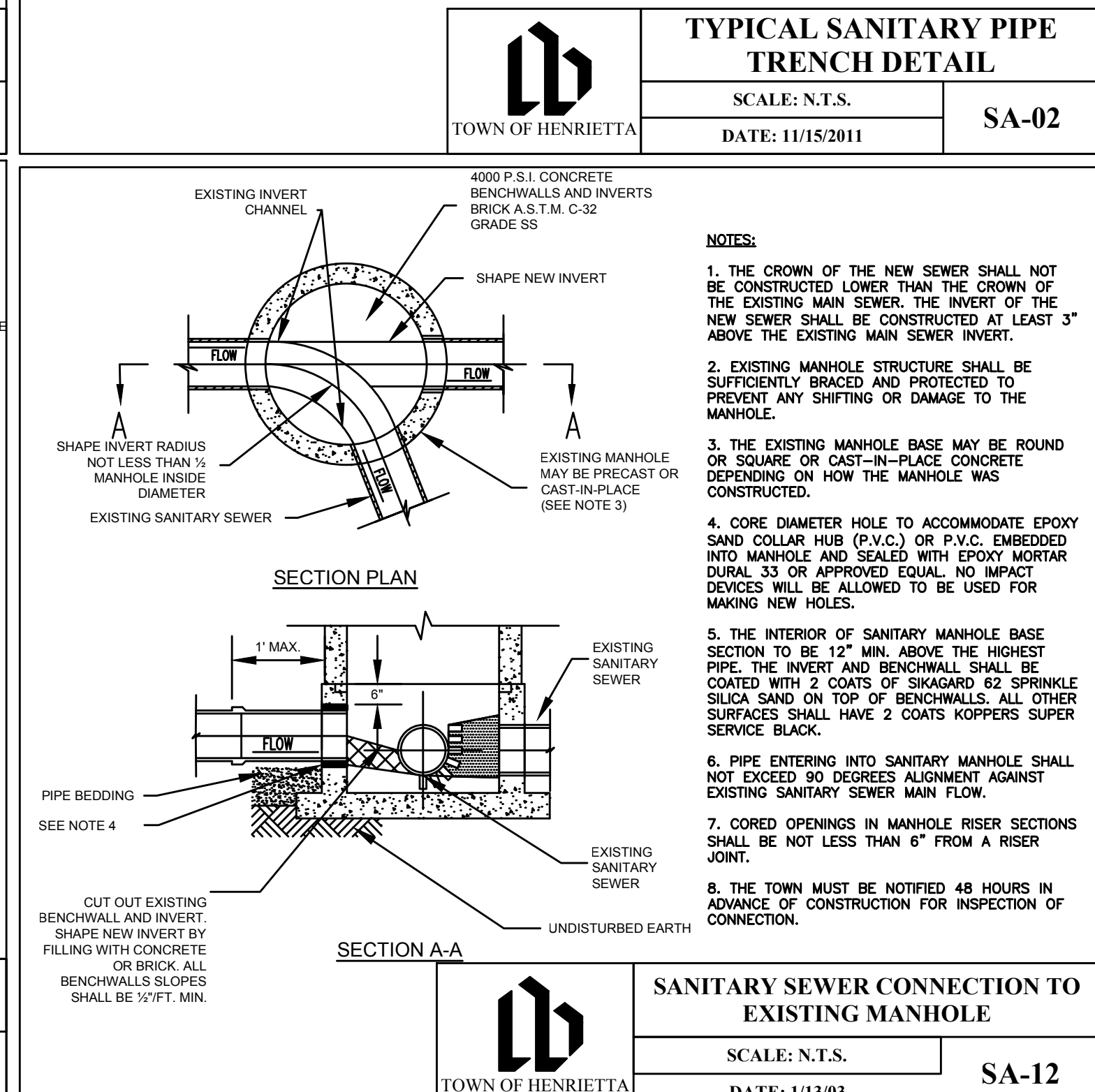
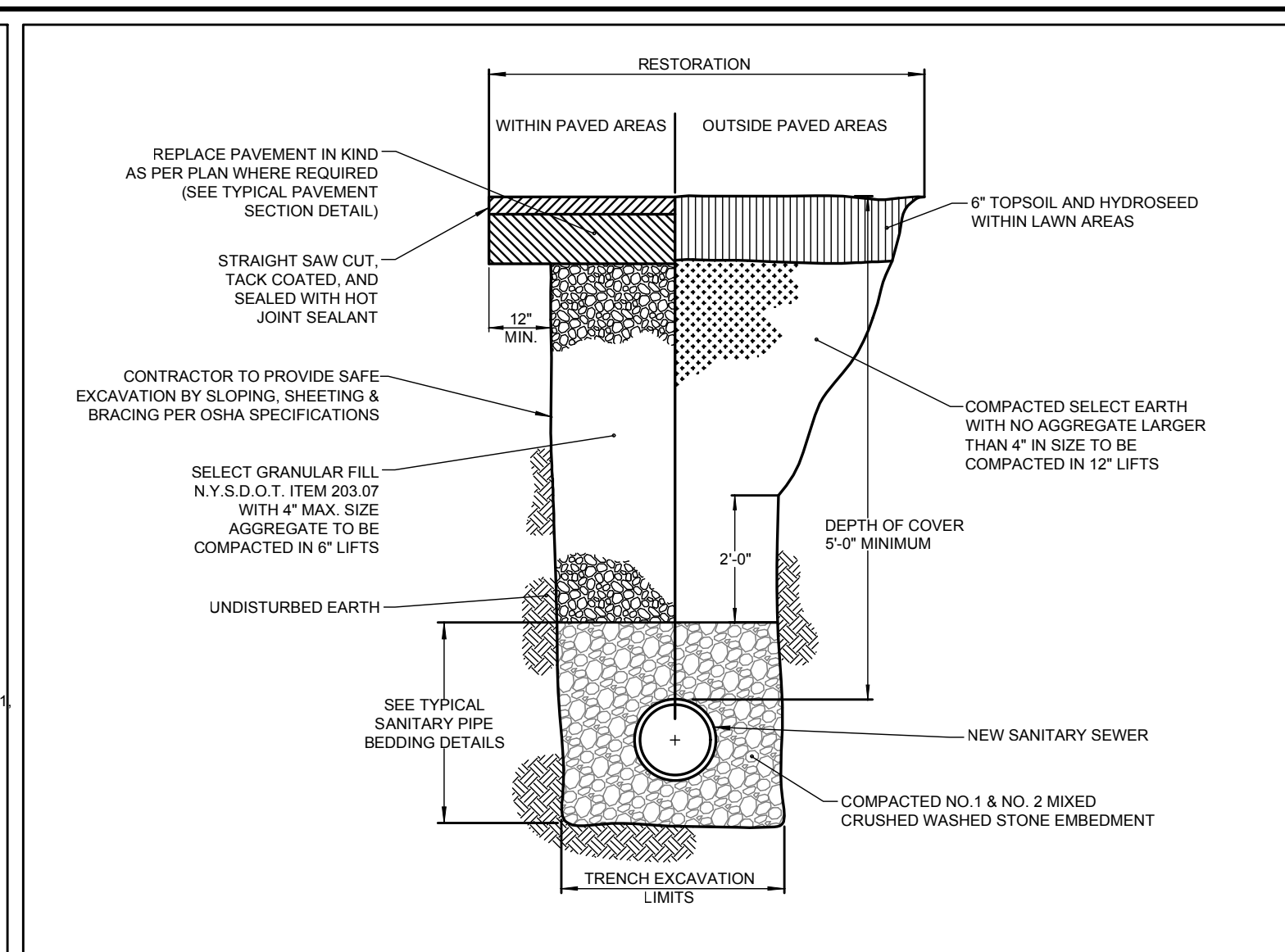
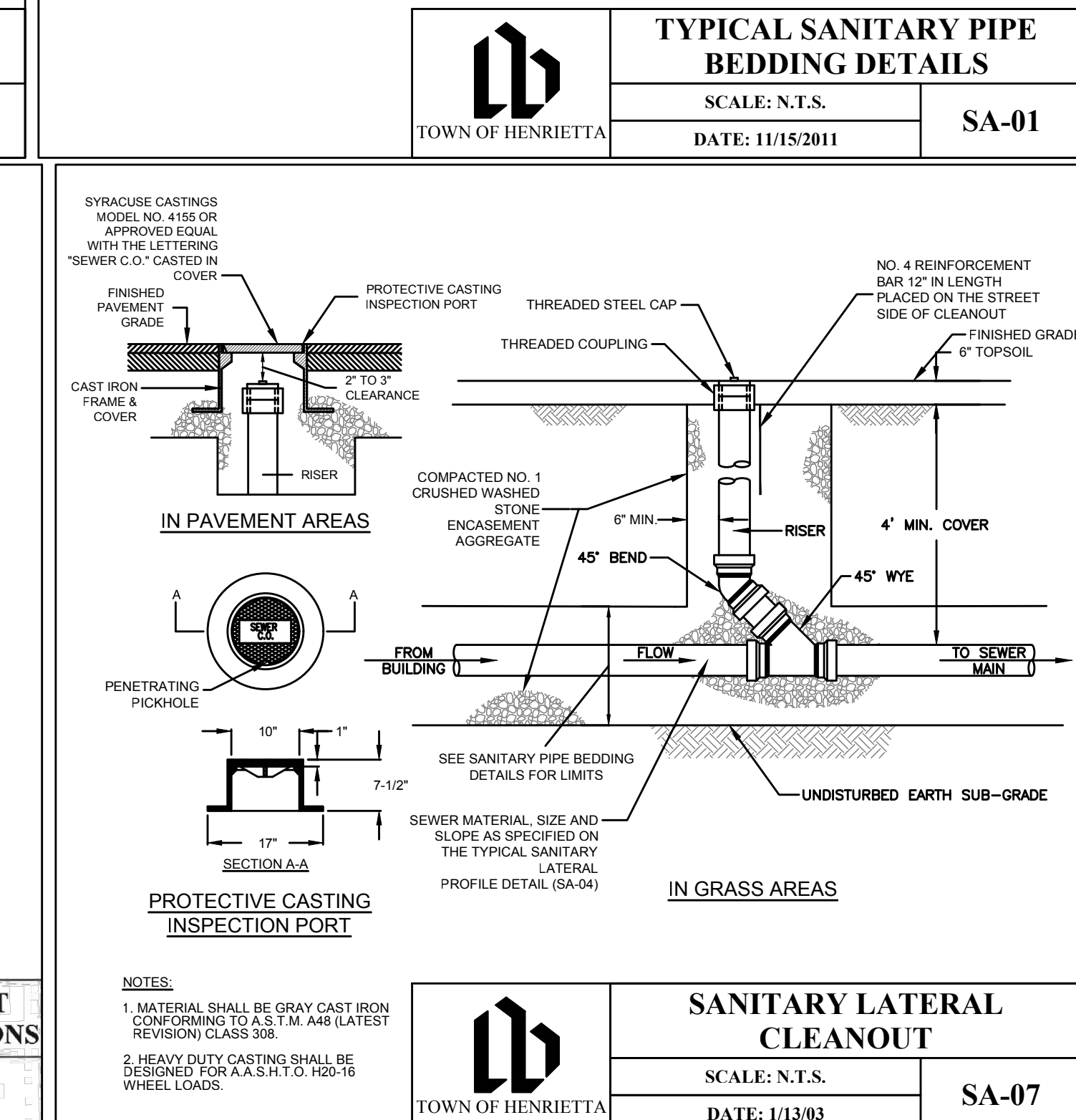
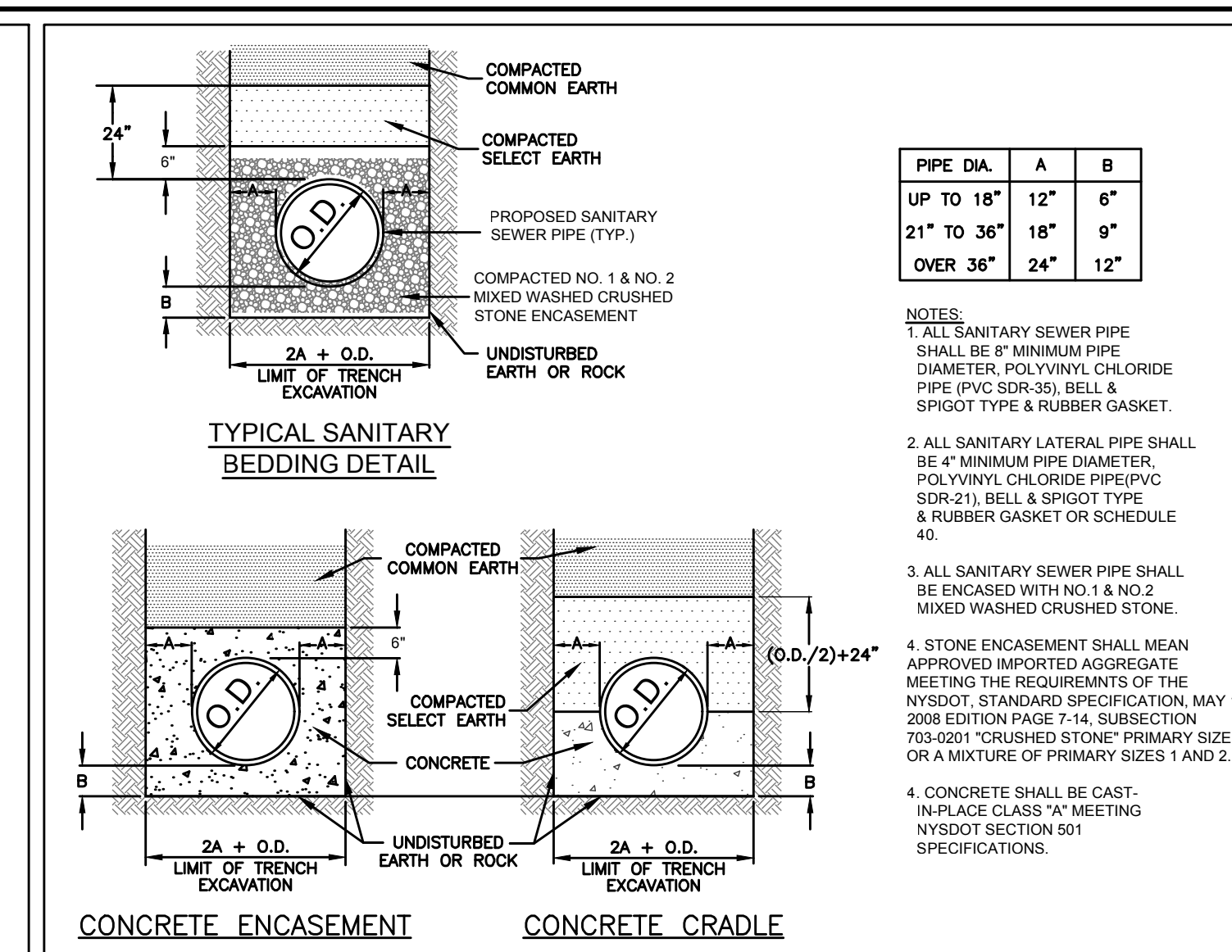
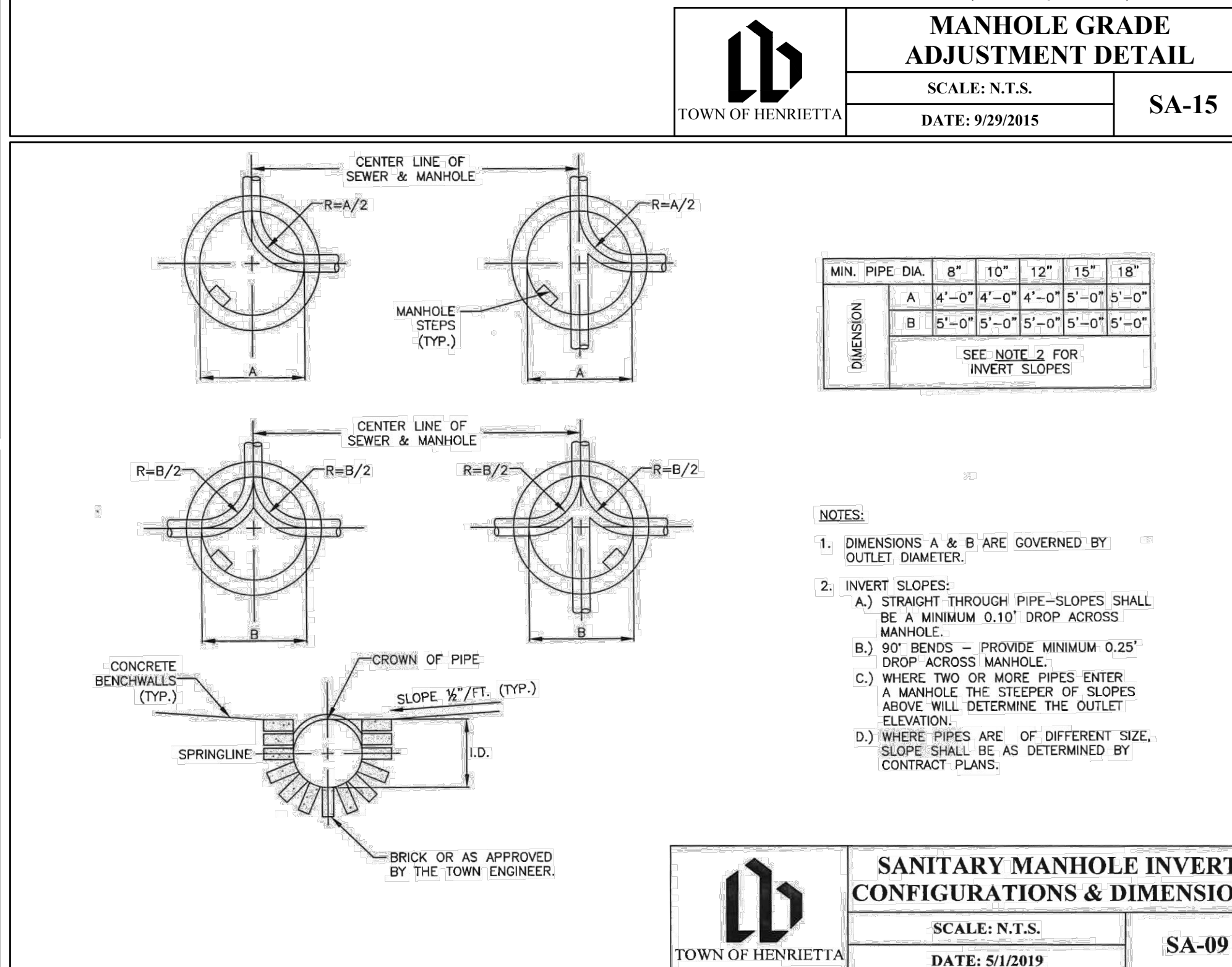
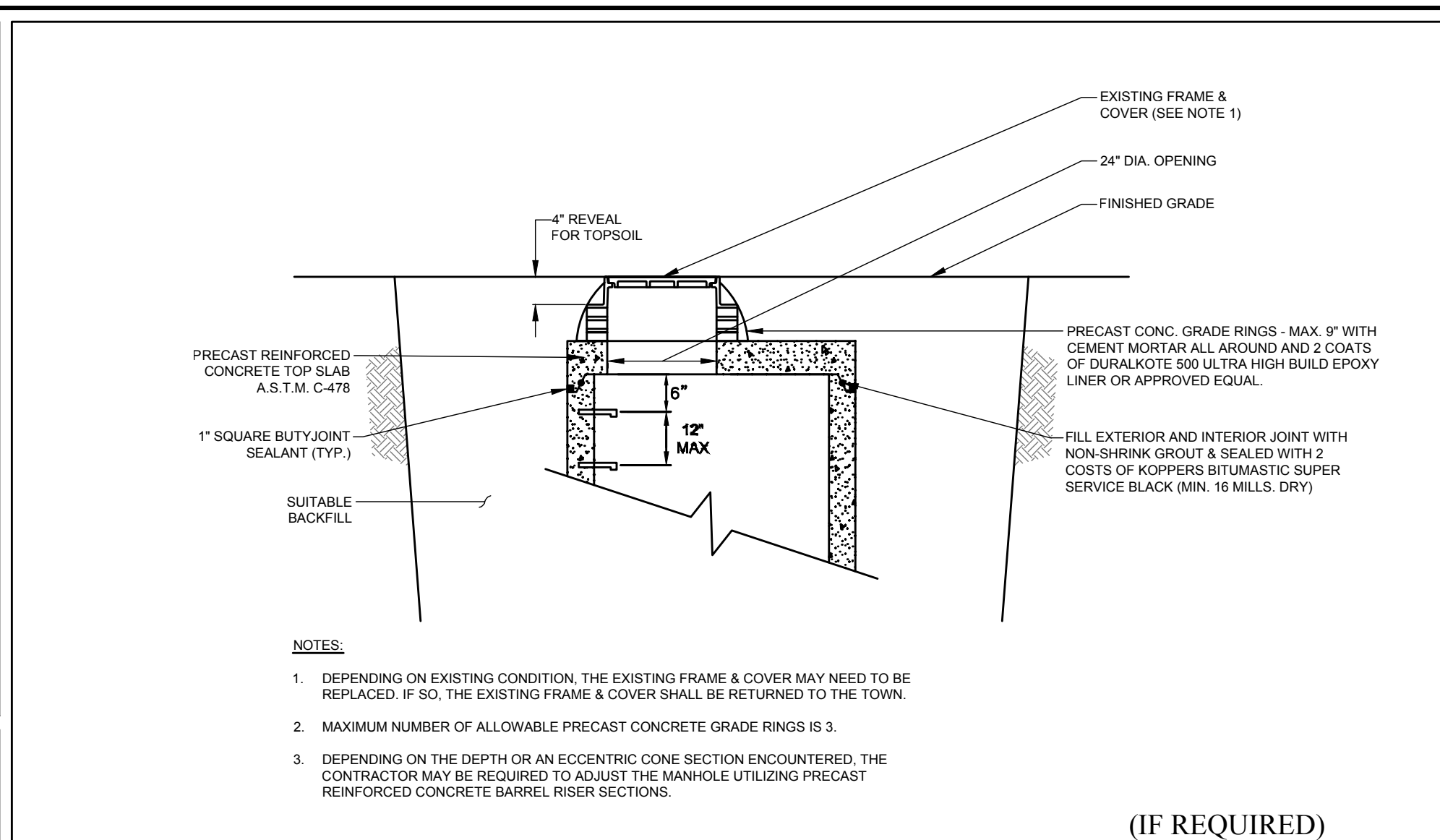
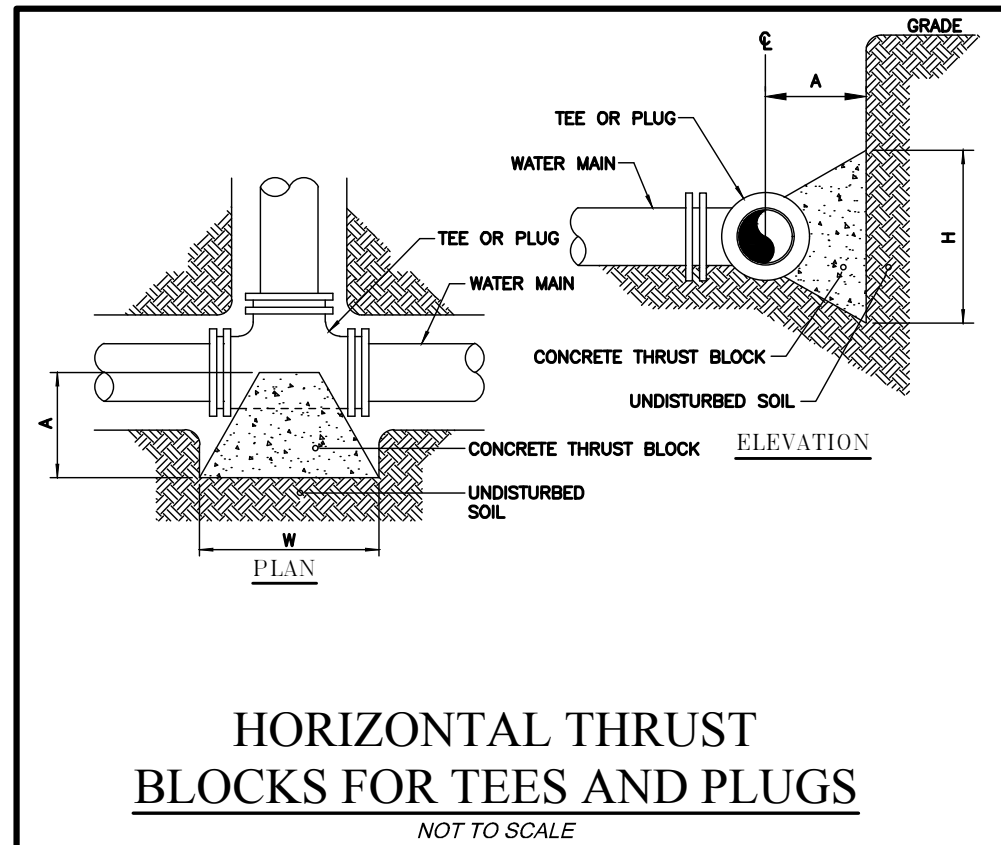
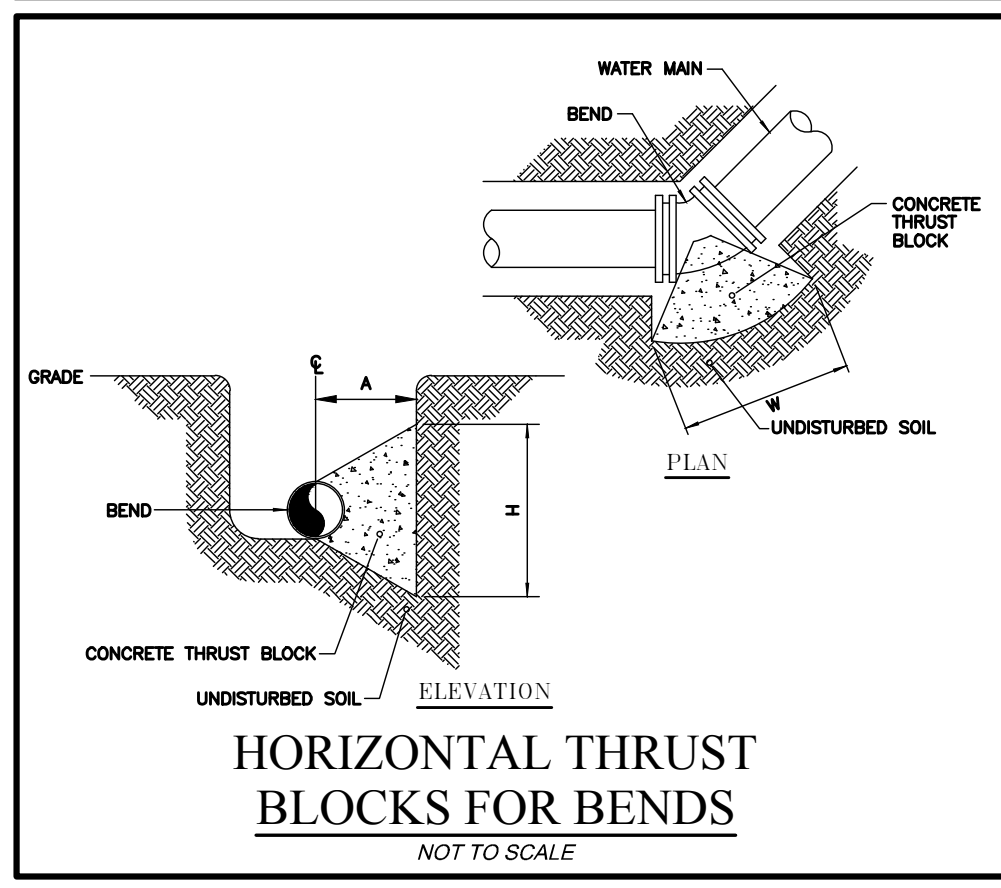
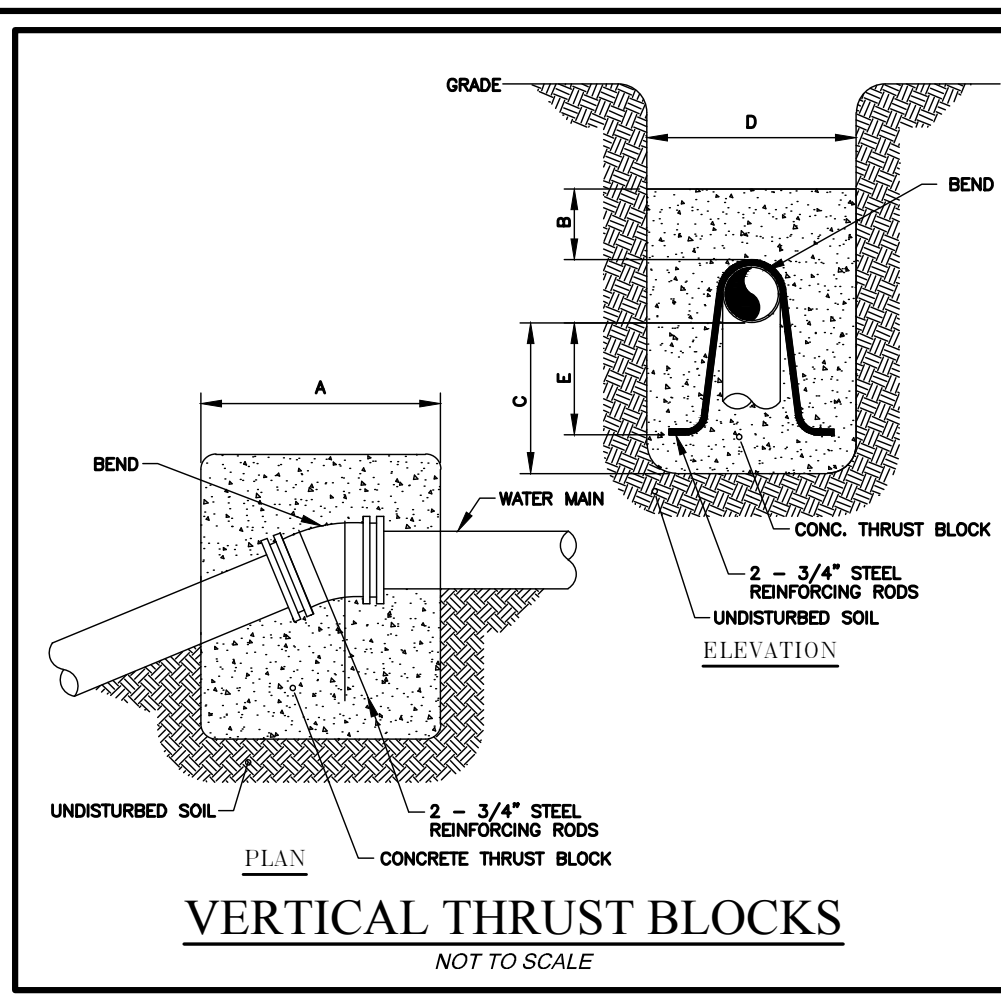
MONROE COUNTY WATER AUTHORITY  
 ROCHESTER, NEW YORK  
 DATE: SEPT 2016  
 DME 5

MONROE COUNTY WATER AUTHORITY  
 ROCHESTER, NEW YORK  
 DATE: SEPT 2016  
 DME 14

MONROE COUNTY WATER AUTHORITY  
 ROCHESTER, NEW YORK  
 DATE: SEPT 2016  
 DME 3

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NO.	DATE	REVISION	BY	CHKD.	APVLS.
1	09/23/2022	ADDED SIGN POST INSTALLATION DETAIL	R.C.C.	G.W.	



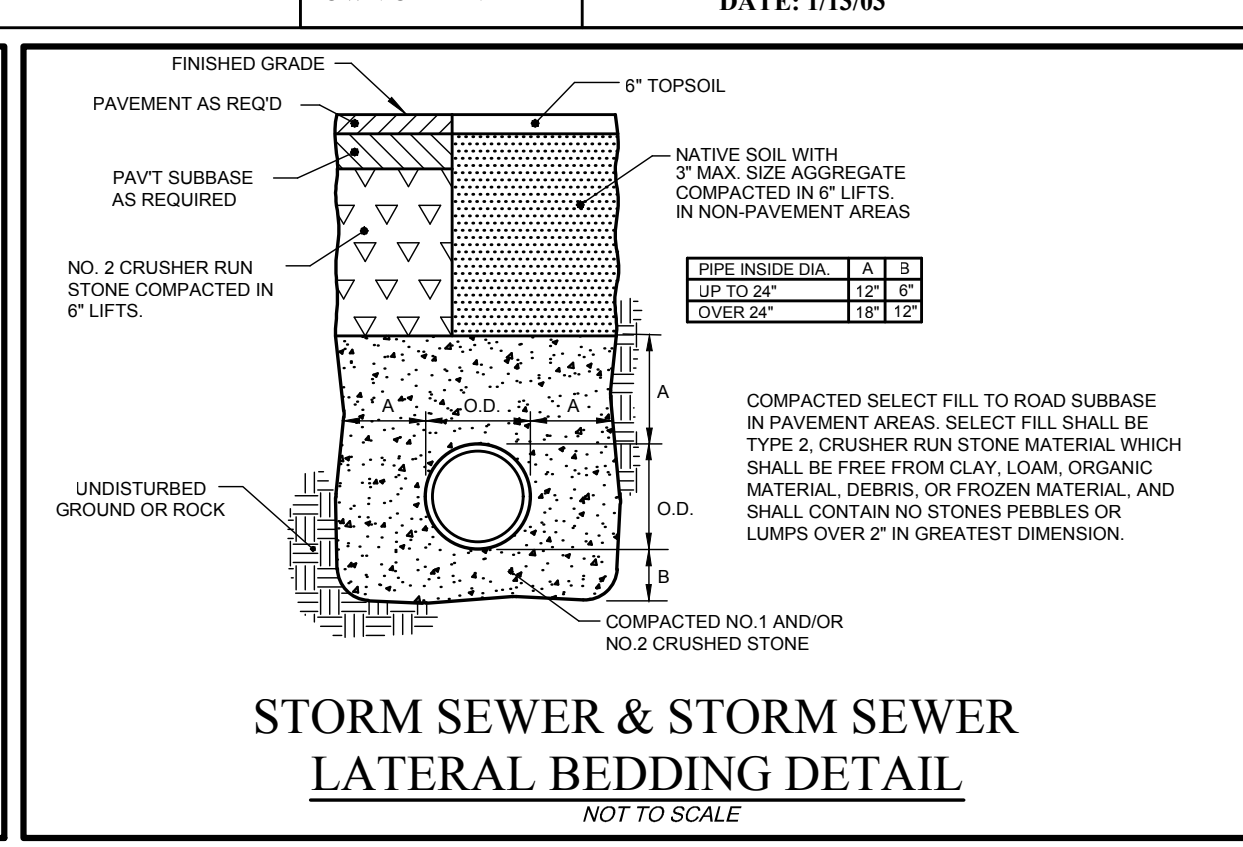
**HORIZONTAL THRUST BLOCK CHART**  
NOT TO SCALE

FITTING	MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL		
	H	W	A
4" x 11-1/4" BEND	0.75	0.75	1.5
4" x 22-1/2" BEND	0.75	1.0	1.0
4" x 45" BEND	1.25	1.5	1.0
4" x 90" BEND	1.5	2.0	1.0
4" TEE OR PLUG	1.25	2.0	1.0
6" x 11-1/4" BEND	1.0	1.0	1.5
6" x 22-1/2" BEND	1.0	1.5	1.5
6" x 45" BEND	1.5	2.0	1.5
6" x 90" BEND	2.0	2.5	1.5
6" TEE OR PLUG	1.5	2.5	1.5
8" x 11-1/4" BEND	1.0	1.0	1.5
8" x 22-1/2" BEND	1.0	1.5	1.5
8" x 45" BEND	1.5	2.0	1.5
8" x 90" BEND	2.0	2.5	1.5
8" TEE OR PLUG	1.5	2.5	1.5
10" x 11-1/4" BEND	1.0	1.0	1.5
10" x 22-1/2" BEND	1.0	1.5	1.5
10" x 45" BEND	1.5	2.0	1.5
10" x 90" BEND	2.0	2.5	1.5
10" TEE OR PLUG	1.5	2.5	1.5

NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).

**VERTICAL THRUST BLOCK CHART**  
NOT TO SCALE

BEND	MINIMUM VOLUME OF CONCRETE	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
4" x 11-1/4"	0.6F	2.0	0.5	1.5	2.0	1.0
4" x 22-1/2"	1.1F	2.5	1.0	1.5	2.5	1.0
4" x 45"	2.0F	3.0	1.0	2.0	2.5	1.0
6" x 11-1/4"	1.00 CY	3.0	1.0	1.3	3.0	1.0
6" x 22-1/2"	1.50 CY	4.0	1.0	1.8	3.0	1.5
6" x 45"	2.50 CY	6.0	1.5	2.0	3.0	1.7
8" x 11-1/4"	1.00 CY	3.0	1.0	1.3	3.0	1.0
8" x 22-1/2"	1.50 CY	4.0	1.0	1.8	3.0	1.5
8" x 45"	2.50 CY	6.0	1.5	2.0	3.0	1.7
10" x 11-1/4"	1.50 CY	5.0	1.0	1.5	3.0	1.3
10" x 22-1/2"	2.00 CY	6.0	1.5	2.5	3.0	2.0
10" x 45"	3.50 CY	8.0	2.5	3.0	3.0	2.5
12" x 11-1/4"	2.50 CY	5.0	1.0	2.1	3.0	1.8
10" x 22-1/2"	3.50 CY	7.5	2.0	3.5	3.0	2.3
10" x 45"	6.00 CY	9.0	2.5	3.4	4.0	3.0



NO.	DATE	REVISION	BY	CHKD.	APVLS.
3	01/24/2023	ADDED TYPICAL COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL	D.E.L.	G.W.	
2	10/10/2022	REPLACED DETAIL SA-89 WITH CURRENT TOWN DETAIL	R.C.C.	G.W.	
1	09/23/2022	UPDATED TOWN INLET MANHOLE DETAIL	R.C.C.	G.W.	

TOWN OF HENRIETTA

MANHOLE GRADE ADJUSTMENT DETAIL  
SCALE: N.T.S. SA-15  
DATE: 9/29/2015

SANITARY MANHOLE INVERT CONFIGURATIONS & DIMENSIONS  
SCALE: N.T.S. SA-09  
DATE: 5/1/2019

SANITARY LATERAL CLEANOUT  
SCALE: N.T.S. SA-07  
DATE: 1/13/03

TYPICAL SANITARY BEDDING DETAILS  
SCALE: N.T.S. SA-01  
DATE: 11/15/2011

TYPICAL SANITARY PIPE TRENCH DETAIL  
SCALE: N.T.S. SA-02  
DATE: 11/15/2011

TOWN OF HENRIETTA

SANITARY SEWER CONNECTION TO EXISTING MANHOLE  
SCALE: N.T.S. SA-12  
DATE: 1/13/03

STORM SEWER & STORM SEWER LATERAL BEDDING DETAIL  
NOT TO SCALE

PROJECT ENGINEER: G.W. D.E.L.  
BOUNDARY: ---  
TOPBASE: ---  
DATE: 08/21/2018  
SCALE: N.T.W.

COSTICH ENGINEERING

217 LAKE AVENUE  
ROCHESTER, NEW YORK 14608  
(585) 458-3020

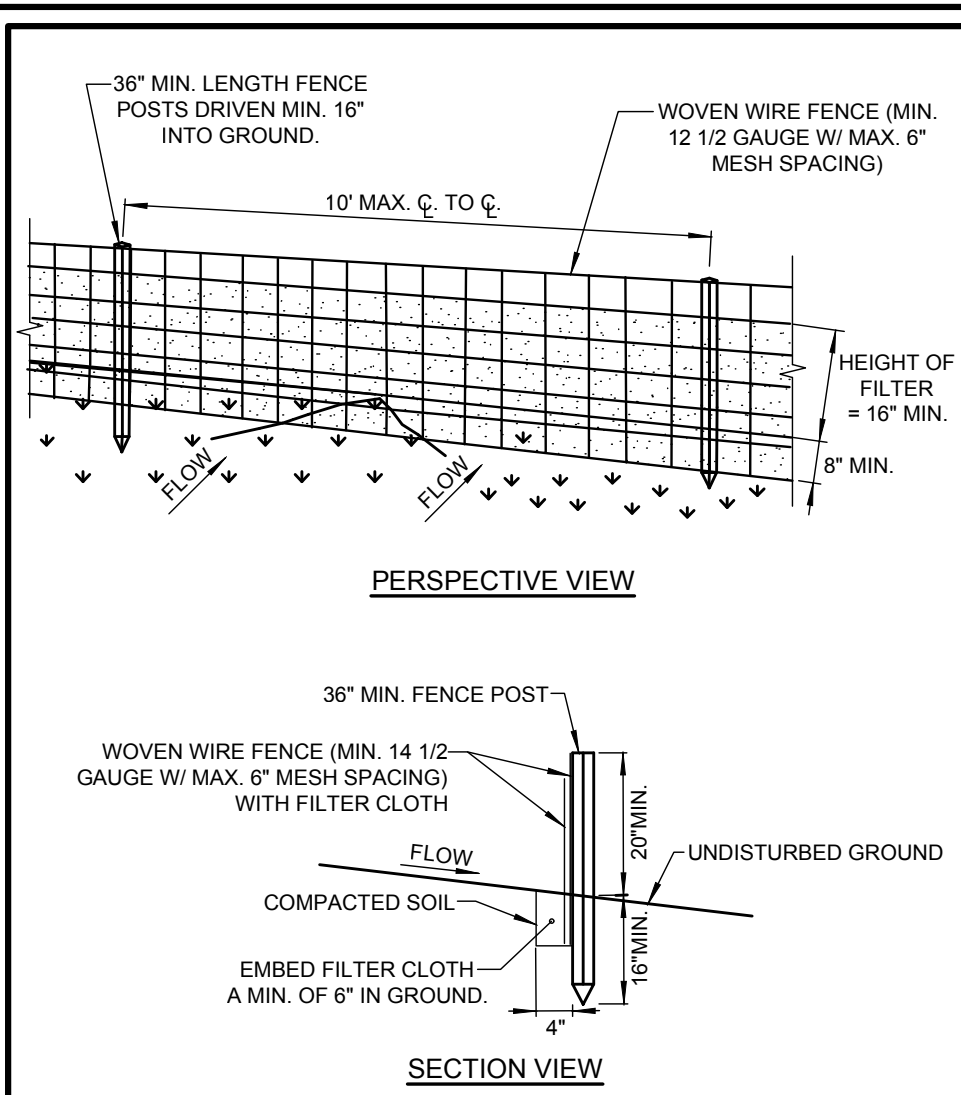
TITLE OF PROJECT: MARKET SQUARE PLAZA (EAST) 8,600 SQ.FT. BUILDING EXPANSION  
TITLE OF DRAWING: DETAIL SHEET

LOCATION OF PROJECT: TAX PARCEL NO. 162-05-01-3-41, TOWN LOT 4  
4th RANGE TOWNSHIP 12, RANGE 7, TIER 15 AND GORHAM PURCHASE,  
TOWN OF HENRIETTA, COUNTY OF MONROE, STATE OF N.Y.

CLIENT: BENTON DEVELOPMENT CO., LLC  
570 DELAWARE AVENUE  
BUFFALO, NEW YORK 14202

DWG #B968-44  
CA501  
SHEET 8 OF 9



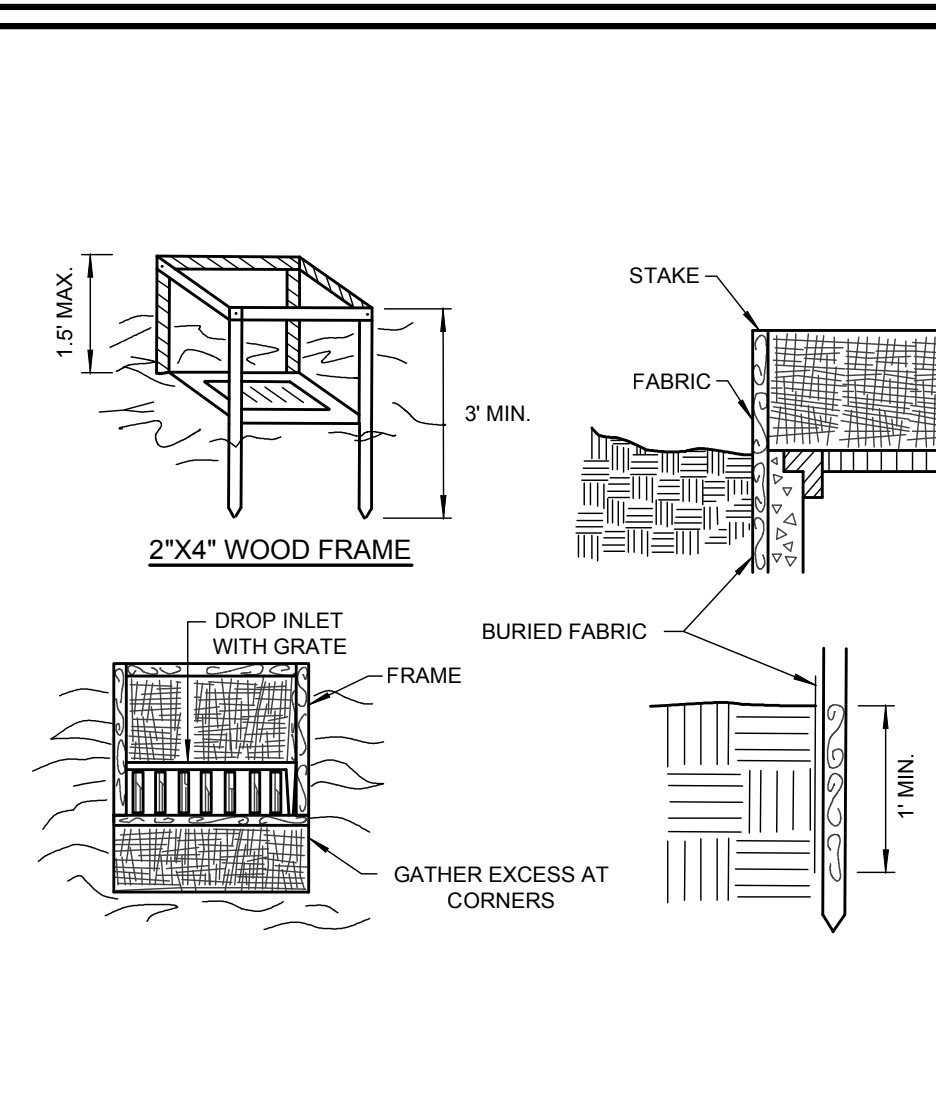


**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENINGS.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T40N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

**SILT FENCE DETAIL**

NOT TO SCALE



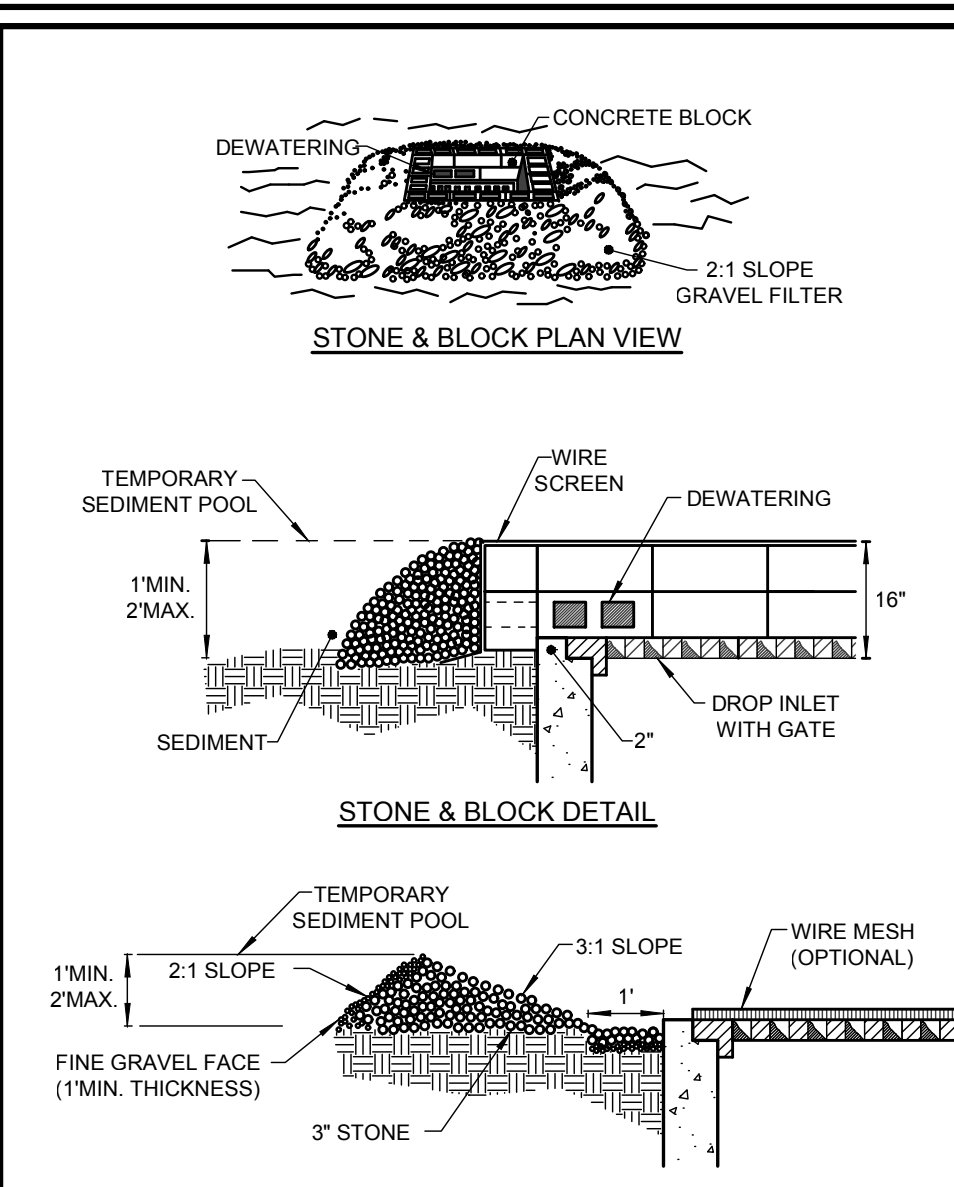
**CONSTRUCTION SPECIFICATIONS**

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

MAXIMUM DRAINAGE AREA 1 ACRE

**FILTER FABRIC DROP INLET PROTECTION DETAIL**

NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS**

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

**STONE AND BLOCK DROP INLET PROTECTION DETAIL**

NOT TO SCALE

### STANDARD AND SPECIFICATIONS FOR CONCRETE TRUCK WASHOUT

leaching of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes or tears, and anchored beyond the top of the pit with an earthen berm, sand bags, stone, or other structural appearance except at the access point.

If pre-fabricated washouts are used they must ensure the capture and containment of the concrete wash and be sized based on the expected frequency of concrete pours. They shall be sited as noted in the location criteria.

**Maintenance**

- All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip.
- Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site.
- Dispose of the hardened material off-site in a construction/demolition landfill. On-site disposal may be allowed if this has been approved and accepted as part of the projects SWPPP. In that case, the material should be recycled as specified, or buried and covered with a minimum of 2 feet of clean compacted earthfill that is permanently stabilized to prevent erosion.
- The plastic liner shall be replaced with each cleaning of the washout facility.
- Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.

**Definition & Scope**

A temporary excavated or above ground lined constructed pit where concrete truck mixers and equipment can be washed after their loads have been discharged, to prevent highly alkaline runoff from entering storm drainage systems or leaching into soil.

**Conditions Where Practice Applies**

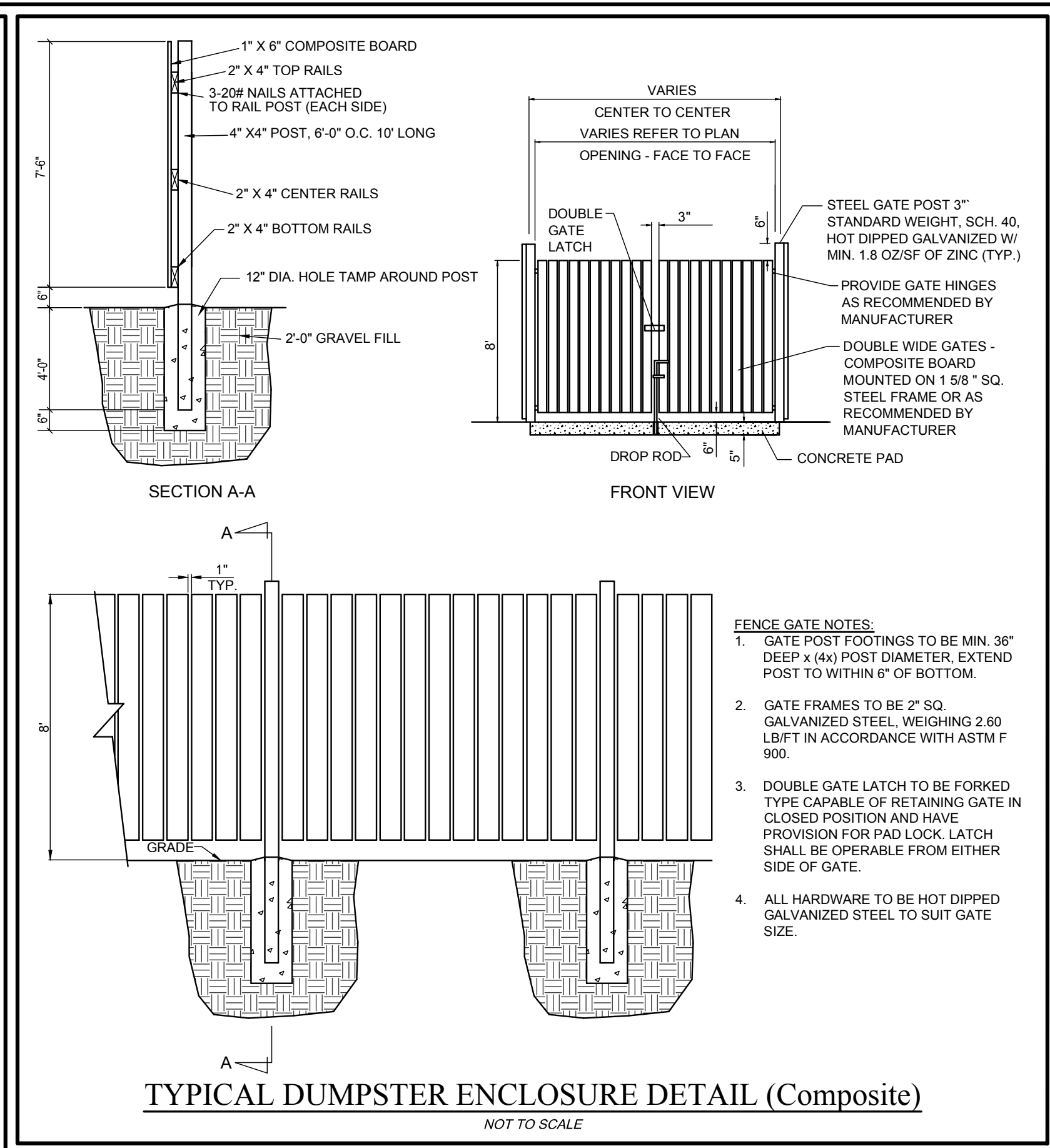
Washout facilities shall be provided for every project where concrete will be poured or otherwise formed on the site. This facility will receive highly alkaline wash water from the cleaning of chutes, mixers, hoppers, vibrators, placing equipment, trowels, and screeds. Under no circumstances will wash water from these operations be allowed to infiltrate into the soil or enter surface waters.

**Design Criteria**

**Capacity:** The washout facility should be sized to contain solids, wash water, and rainfall and sized to allow for the evaporation of the wash water and rainfall. Wash water shall be estimated at 7 gallons per chute and 50 gallons per hopper of the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2 horizontal to 1 vertical.

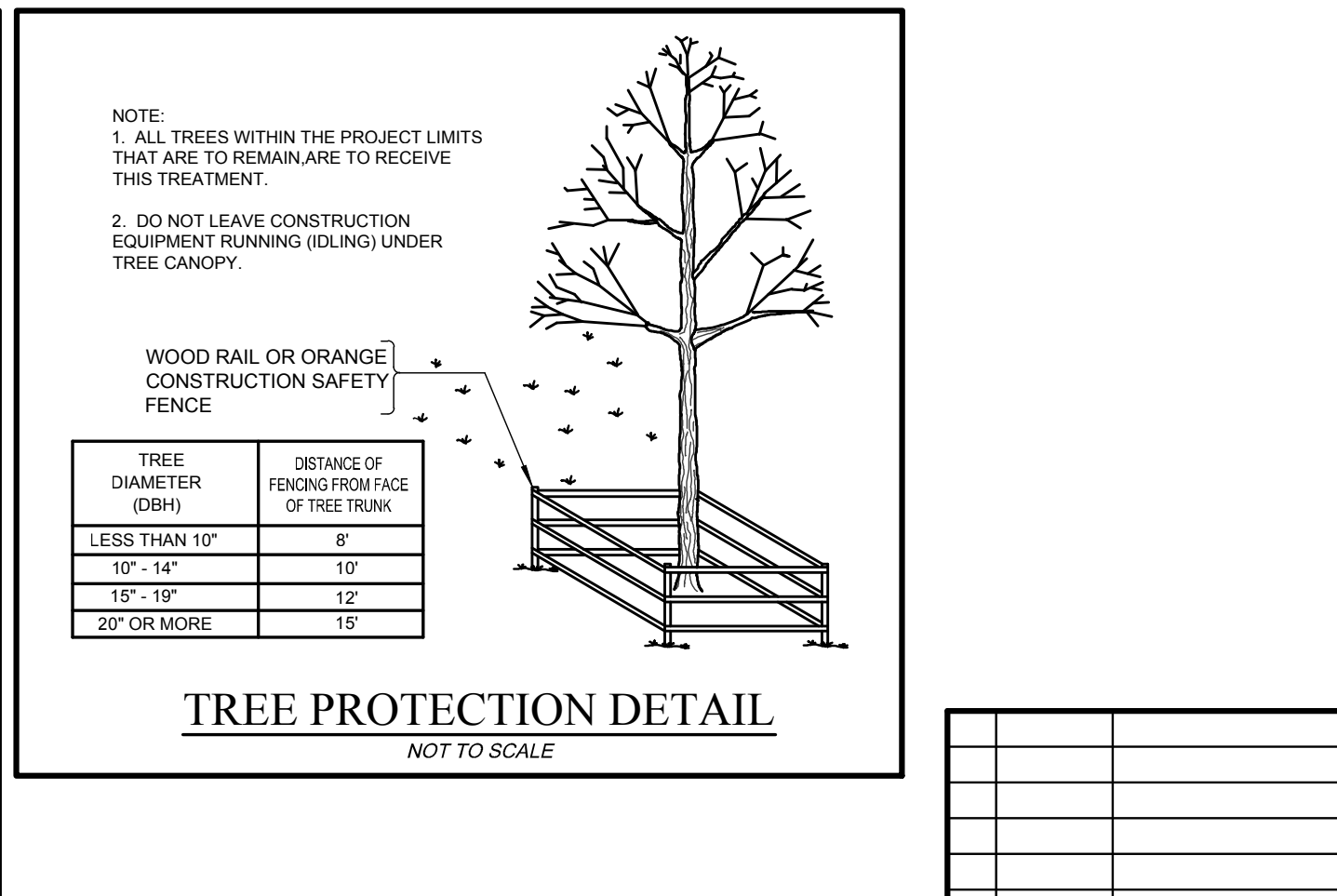
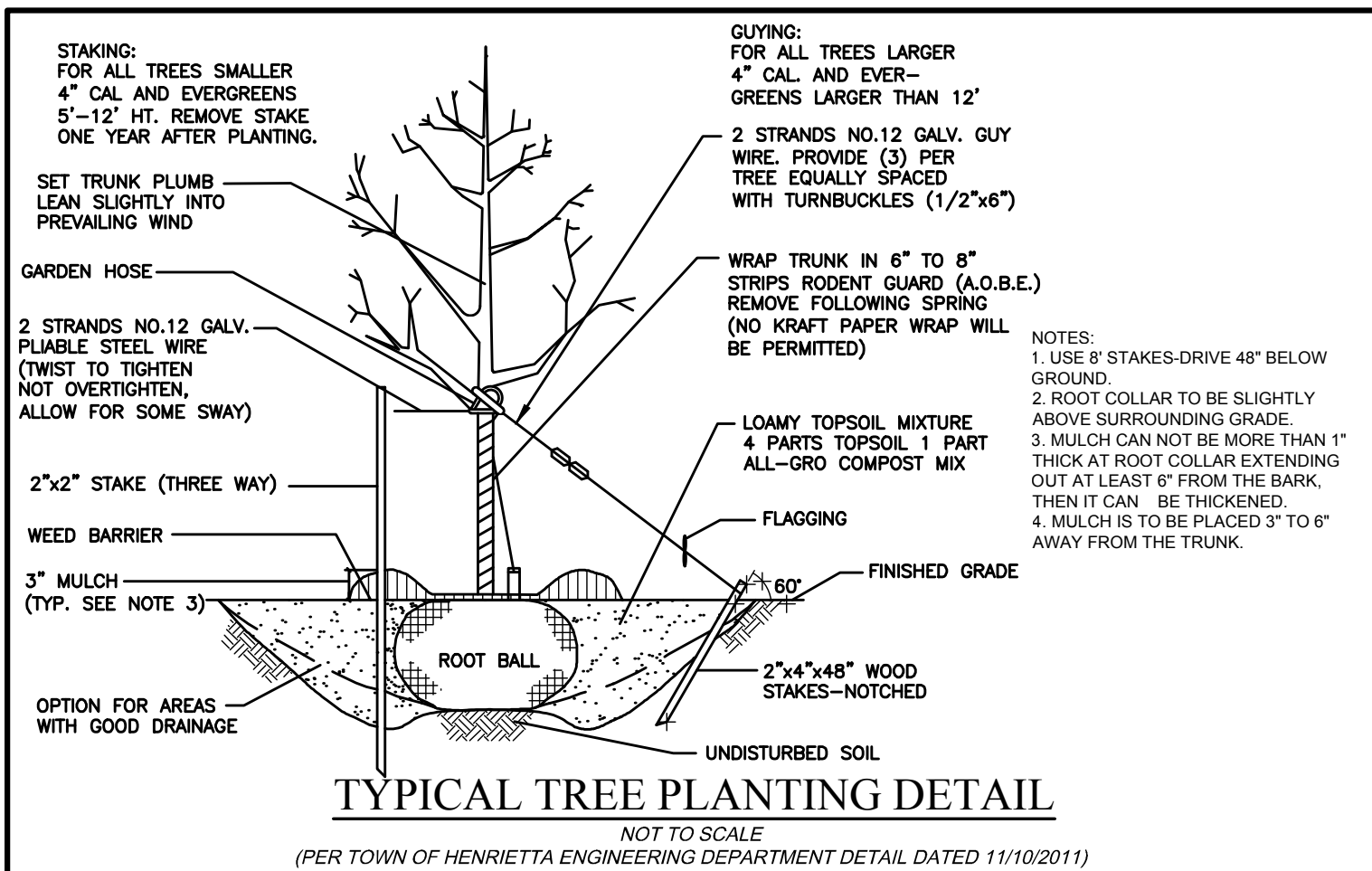
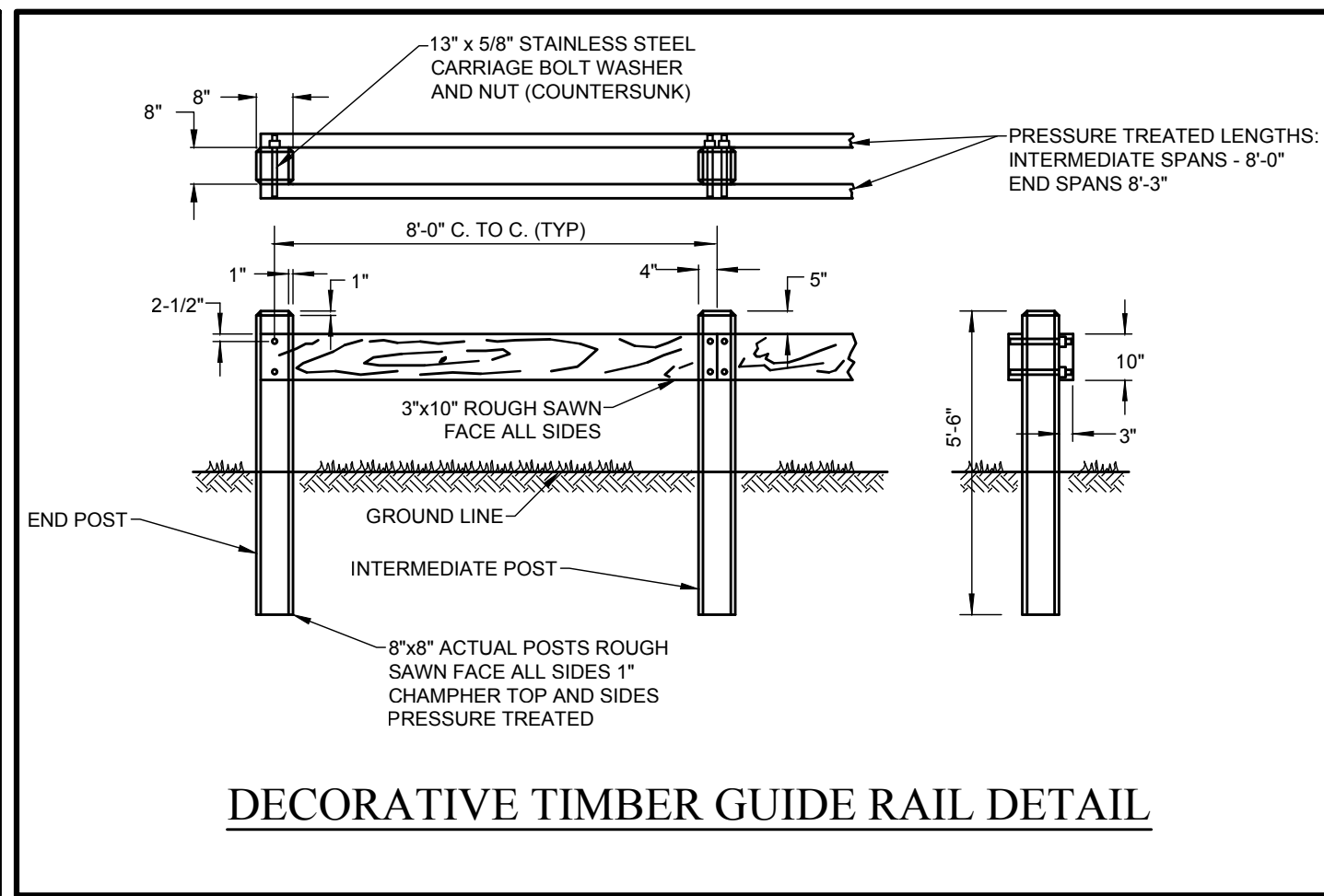
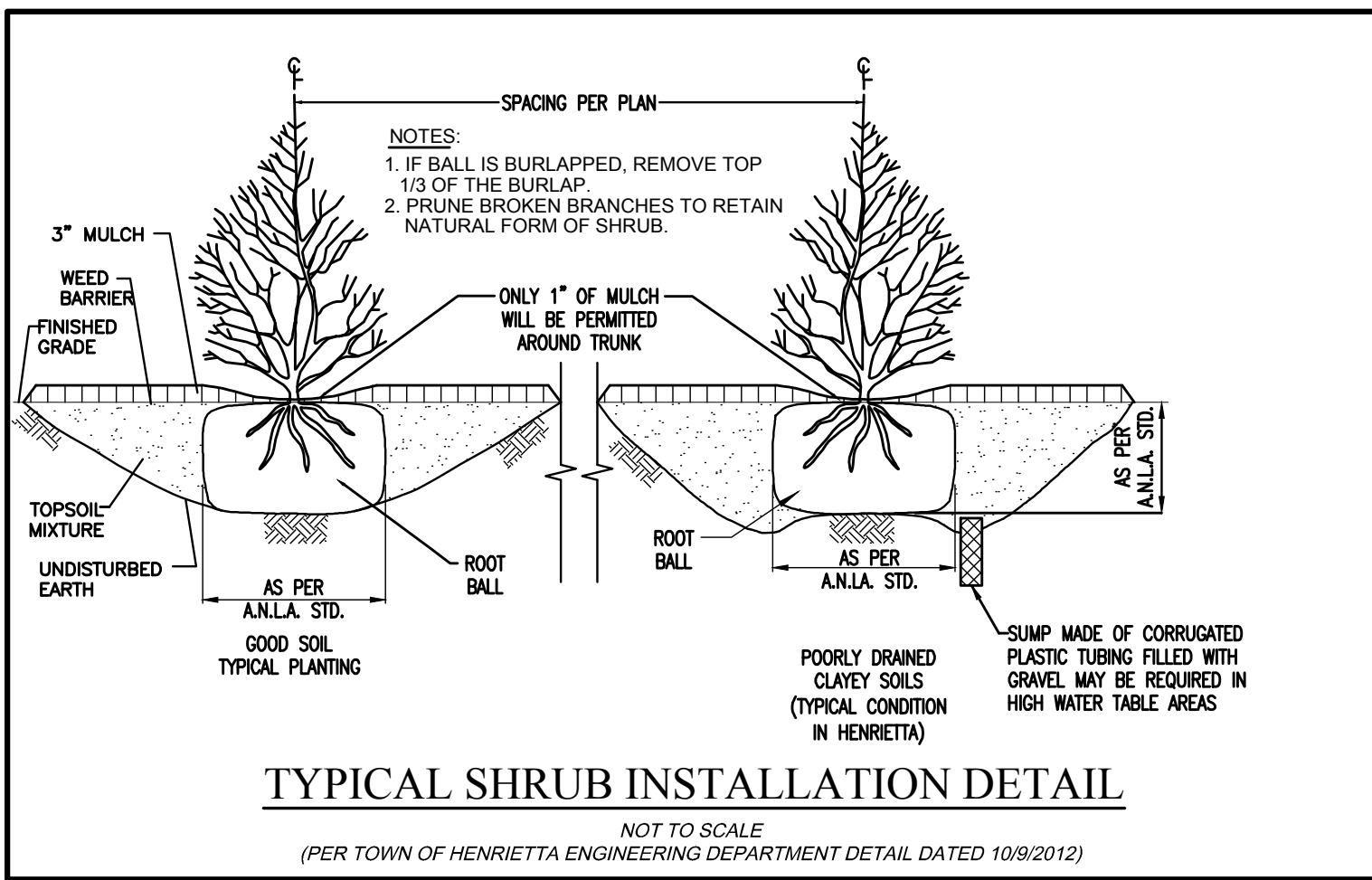
**Location:** Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

**Liner:** All washout facilities will be lined to prevent



**TYPICAL DUMPSTER ENCLOSURE DETAIL (Composite)**

NOT TO SCALE



NO.	DATE	REVISION	BY	CHKD.	APVLS.
2	03/08/2024	REVISED CONCRETE WASHOUT DETAIL	D.E.L.	G.W.	
1	10/10/2022	ADDED DECORATIVE TIMBER GUARD RAIL DETAIL	R.C.C.	G.W.	

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PROJECT ENGINEER: G.W.  
DRAWN BY: D.E.L.  
BOUNDARY: ---  
TOP/OBASE: ---  
DATE: 08/21/2018  
SCALE: N.T.W.

**COSTICH ENGINEERING**

217 LAKE AVENUE  
ROCHESTER, NEW YORK 14608  
(585) 458-3020

TITLE OF PROJECT: MARKET SQUARE PLAZA (EAST) 8,600 SQ.FT. BUILDING EXPANSION

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CLIENT: BENDERSON DEVELOPMENT CO., LLC  
570 DELAWARE AVENUE  
BUFFALO, NEW YORK 14202

DWG #B968-44  
CA502  
SHEET 9 OF 9