



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: _____

I (we) CHS Mobile Integrated Health Care of 280 Calkins Road
Name of Applicant / Business Business Address (Number & Street)

Henrietta, NY 14623 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 280 Calkins Road R-1-15
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: October 19, 2021 Number: 21-014

DESCRIPTION OF PROPOSAL: _____

7,200 S.F. expansion for the storage and parking of ambulances and other emergency vehicles to the existing building.

Applicant: CHS Mobile Integrated Health Care

Address: 280 Calkins Road
Rochester, NY 14623

Phone #: [REDACTED]

Email: [REDACTED]

Property Owner: CHS Mobile Integrated Health Care

Address: 280 Calkins Road
Rochester, NY 14623

Phone #: [REDACTED]

Email: [REDACTED]

Applicant Signature: 

Engineer/Architect: Passero Associates

Address: 242 W Main St. S100
Rochester, NY 14614

Phone #: [REDACTED]

Email: [REDACTED]

Business Owner: CHS Mobile Integrated Health Care

Address: 280 Calkins Road
Rochester, NY 14623

Phone #: [REDACTED]

Email: [REDACTED]

Print Name: Francis Manzo

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant/Business Owner: CHS Mobile Integrated Health Care

By: Frank Manzo

Title: CEO

Dated: 1/17/24

Signed: 

Property Owner: CHS Mobile Integrated Health Care

By: Frank Manzo

Title: CEO

Dated: 1/17/24

Signed: 

January 17, 2024

Town of Henrietta
Attn: Mr. James W. Grunert, Chair
475 Calkins Road
Henrietta, NY 14467

**RE: CHS Mobile Integrated Health Care
Letter of Intent – Site Plan Application**

Dear Chairman Grunert:

On behalf of our client, CHS Mobile Integrated Health Care, we respectfully submit a Site Plan application for the February 20, 2024, Planning Board meeting.

The project aims to expand the capabilities of the existing facility to meet increased demand for ambulatory and emergency response vehicles in the surrounding area. This expansion will be 7,200 sf and will be used for storage and parking for ambulances and other emergency vehicles. This project was recently approved by the planning board in 2021, and is now being resubmitted for reapproval after the previous approvals have expired.

Proposed landscaping and mulch areas are proposed along the frontage of the building, and other site improvements include regrading of the site to ensure positive drainage, and relocation of the existing flagpole on site.

In support of our application, we have enclosed the following:

- (1) Letter of Intent
- (1) Site Plan Application
- (1) Statement of Applicant and Owner w/Respect of Reimbursement
- (1) Authorization Letter
- (1) Site Plan Checklist
- (4) Sets of Site Plans and Elevations
- (1) Application Fee \$150.00
- (1) Engineering Review Fee \$700.00

We look forward to presenting this application to the Planning Board at their February 20, 2024, meeting. If you have any questions, please contact me at (585) 325-1000. Thank you for your consideration.

Sincerely,



Joshua Saxton, E.I.T.
Project Manager

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

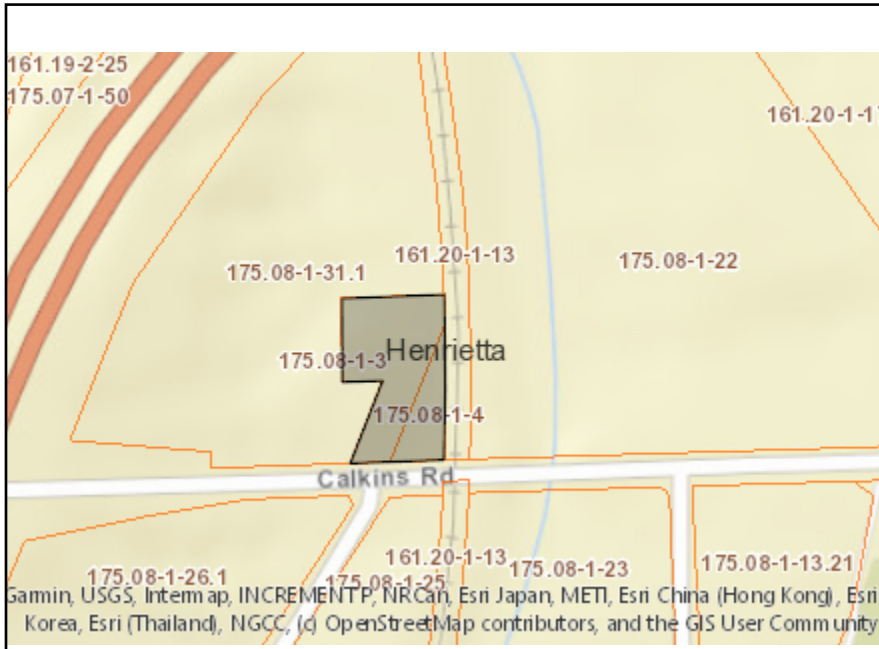
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		[REDACTED]	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: <u>1/17/24</u></p> <p>Signature: <u></u> Title: _____</p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



280 Calkins Road
Rochester, NY 14623
P: 585-334-4190
F: 585-334-8172
chsmobilehealth.org

1/12/2024

Town Planning and Zoning Departments
Town of Henrietta

Re: CHS Mobile Integrated Health Care

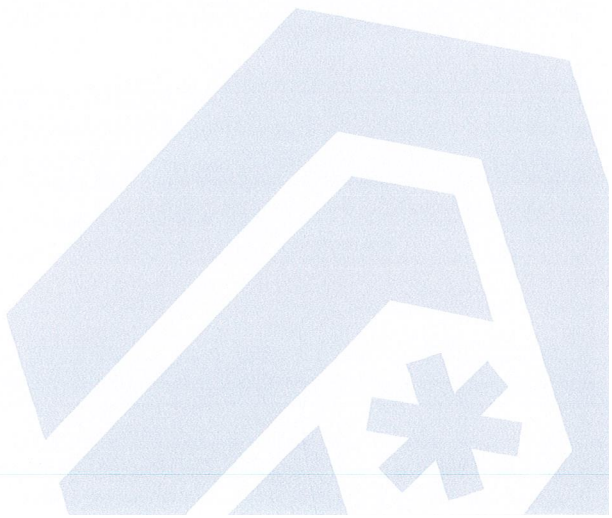
To whom it may concern:

I, Francis Manzo, CEO of subject property at 280 Calkins Road, give permission and consent to Passero Associates to make the necessary applications to all Town Boards (Planning & Zoning), Permits and Approvals on my behalf for the above project.

Thank you,

A handwritten signature in blue ink, appearing to read "Francis Manzo".

Francis Manzo
CEO





SITE PLAN CHECKLIST

PROJECT NAME: CHS Mobile Integrated Health Care Expansion APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: CHS Mobile Integrated Health Care Expansion APPLICATION No. _____

- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
- 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: CHS Mobile Integrated Health Care Expansion APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
- 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- 30 Show wetland and buffer zone limits (when applicable).
- 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
- 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: CHS Mobile Integrated Health Care Expansion APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: CHS Mobile Integrated Health Care Expansion APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required (26)
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: CHS Mobile Integrated Health Care
Name of Developer

1/12/2024
Date

Company Name

280 Calkins Road
Street Address

Henrietta, NY 14623
City, State, Zip

334-4190



SITE PLAN CHECKLIST

PROJECT NAME: CHS Mobile Integrated Health Care Expansion APPLICATION No. _____

Prepared by: Joshua Saxton
Name of Consultant

1/12/24
Date

Passero Associates
Company Name

242 W. Main Street S100
Street Address

Rochester, NY 14614
City, State, Zip

585-325-1000
Telephone Number

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	<u>Reginald Allen</u>
Responsible Firm	<u>CHS Mobile Healthcare</u>
Street Address	<u>280 Calkins Road</u>
City, State, Zip Code	<u>Henrietta, NY 14623</u>
Telephone Number	<u>(585) 334-4190</u>

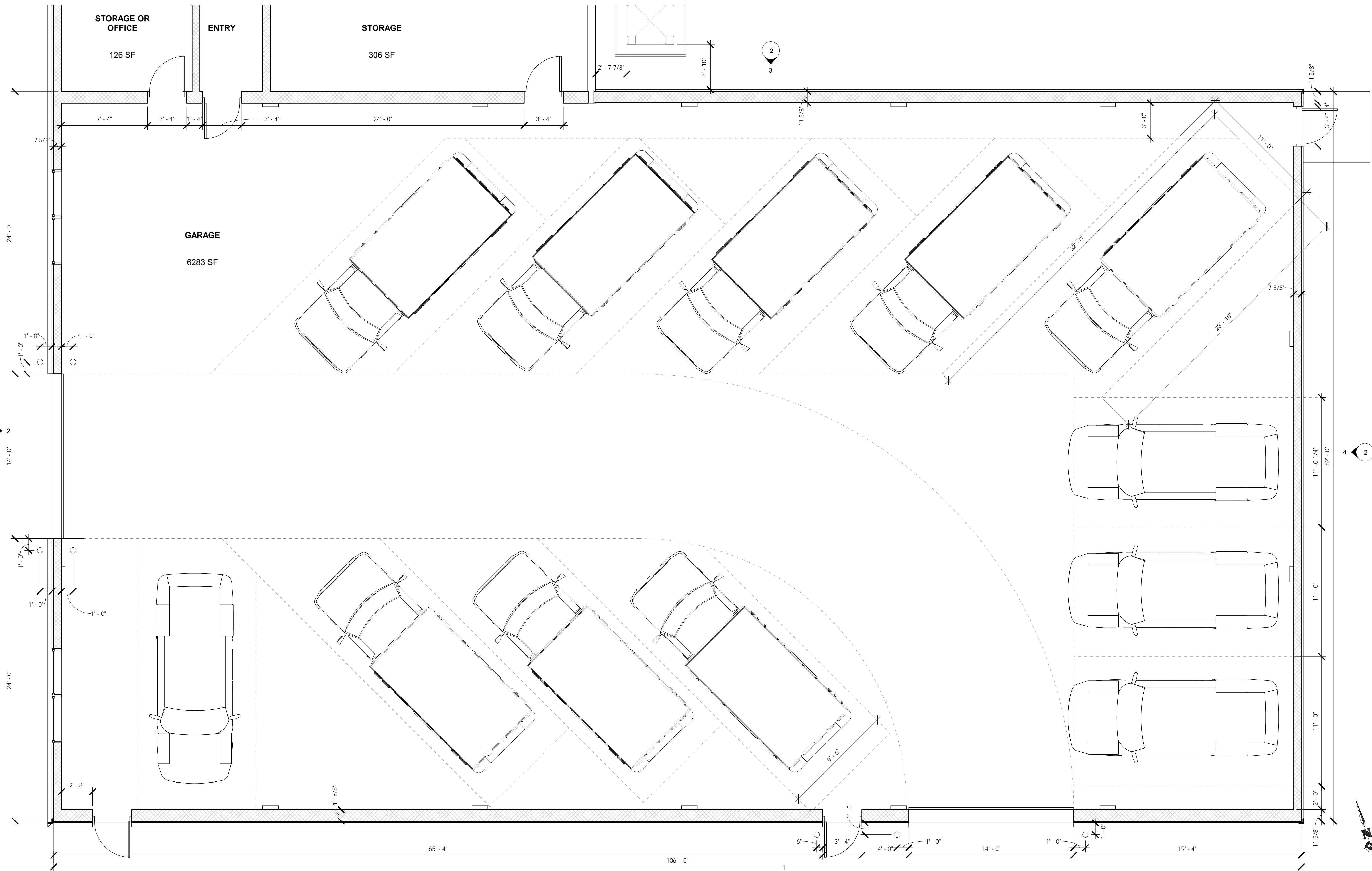
Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual	<u>Same</u>
Responsible Firm	<u></u>
Street Address	<u></u>
City, State, Zip Code	<u></u>
Telephone Number	<u>()</u>

Note: When this information has been provided by another party, the following information needs to be provided:

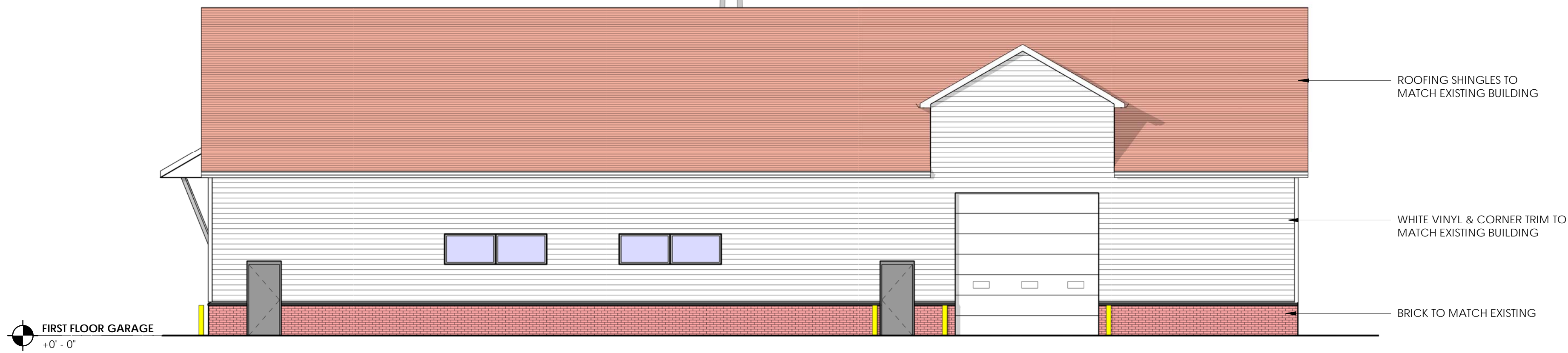
Provided By	<u>Passero Associates</u>
Address	<u>242 W. Main St. S100</u>
City, State Zip	<u>Rochester, NY 14614</u>
Telephone Number	<u>(585) 325-1000</u>



1 FIRST FLOOR
 0' 1' 2' 4' 8'
 1/4" = 1'-0"

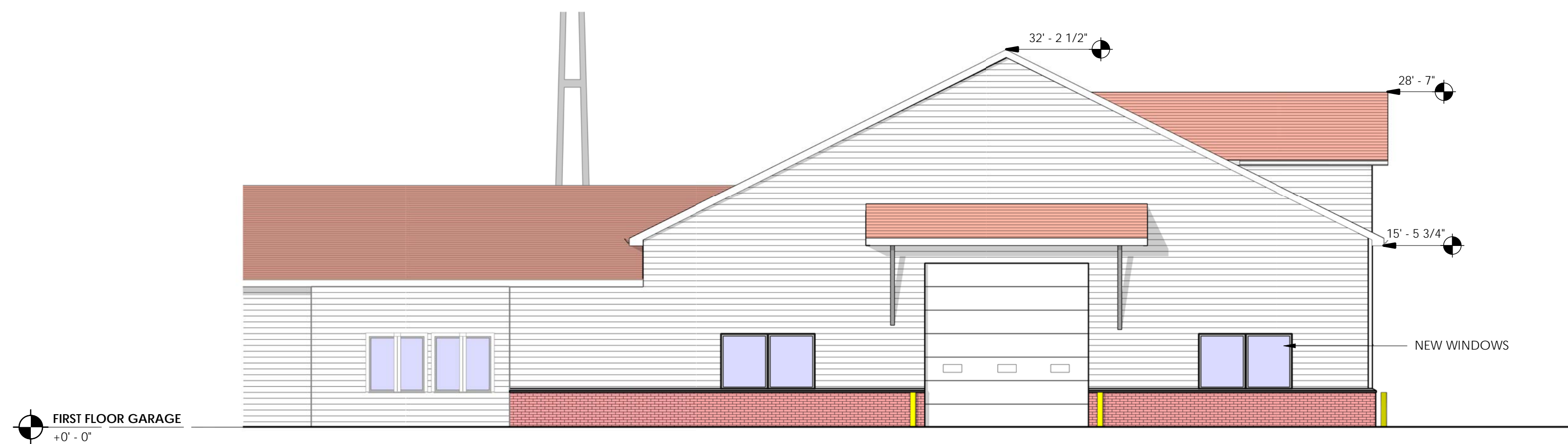
CHS MOBILE HEALTHCARE - GARAGE EXPANSION

20140109.0007
 SEPTEMBER 15, 2021



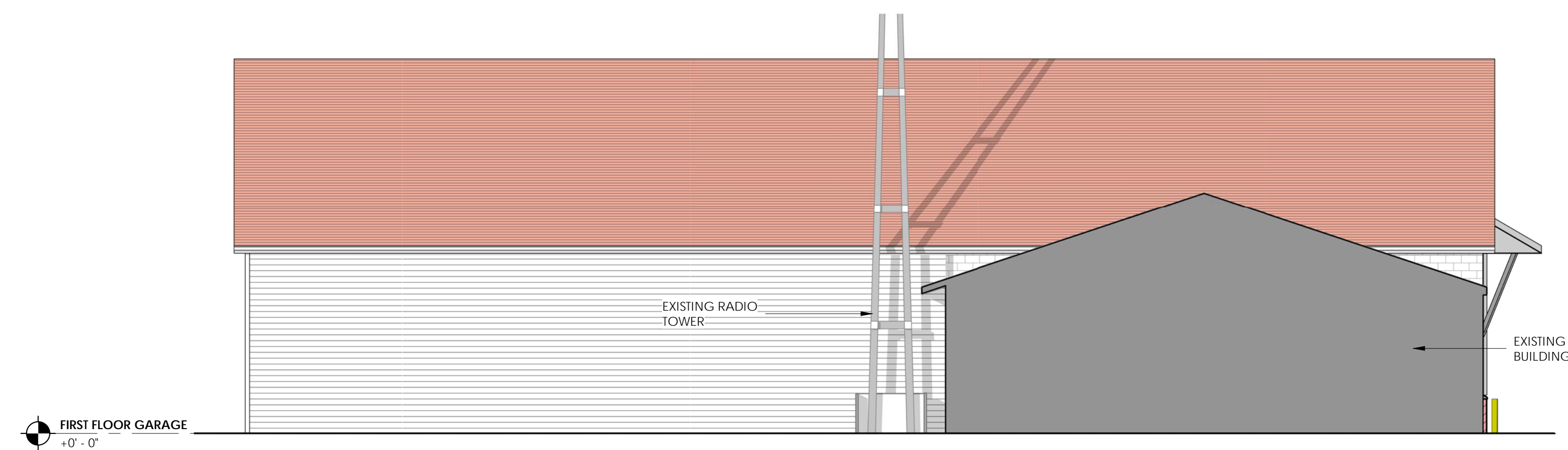
1 SOUTH ELEVATION - FACING CALKINS ROAD

0' 2' 4' 8' 16'
1/8" = 1'-0"



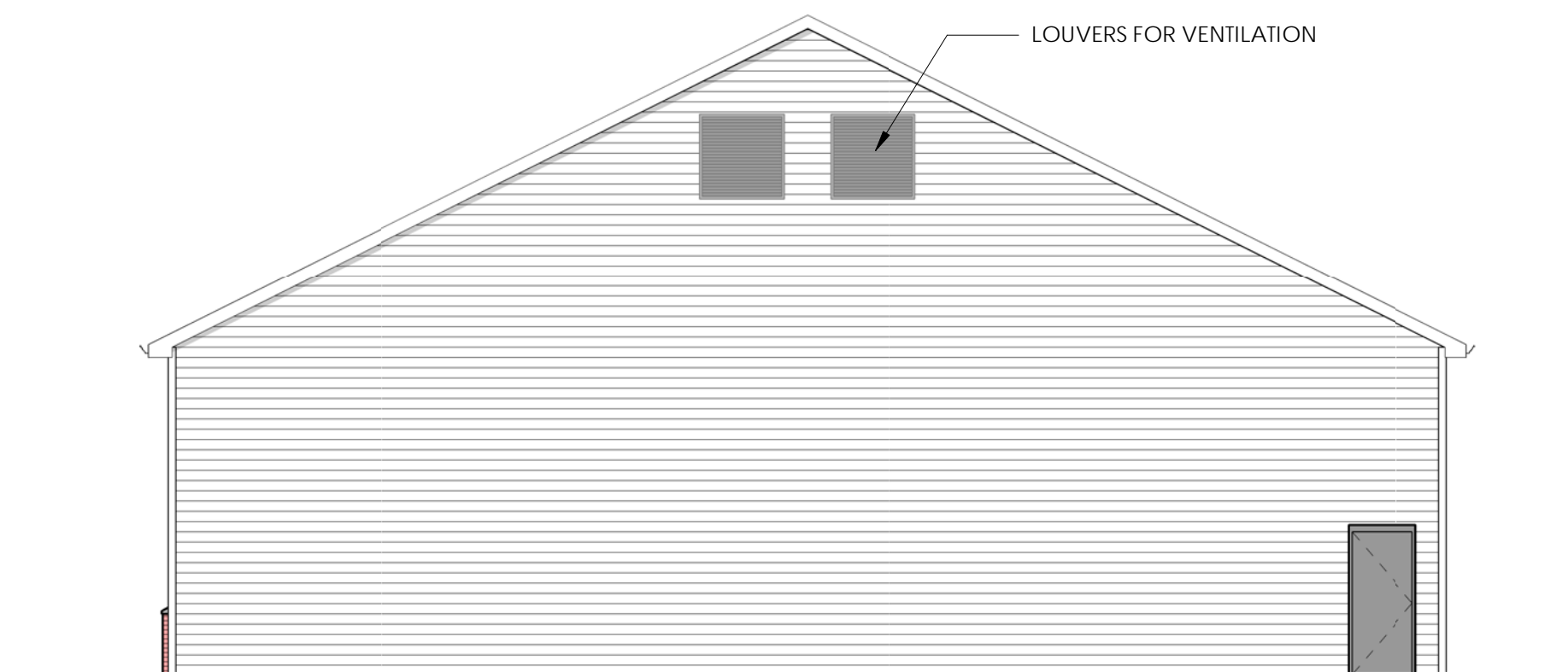
2 WEST ELEVATION - FACING CHS DRIVE LANE

0' 2' 4' 8' 16'
1/8" = 1'-0"



3 NORTH ELEVATION

0' 2' 4' 8' 16'
1/8" = 1'-0"



4 EAST ELEVATION

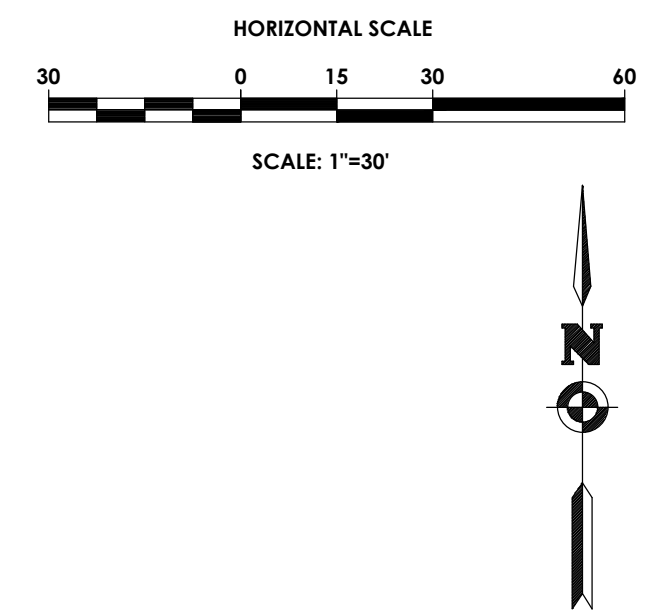
0' 2' 4' 8' 16'
1/8" = 1'-0"

SITE PLANS FOR

CHS MOBILE INTEGRATED HEALTH CARE EXPANSION

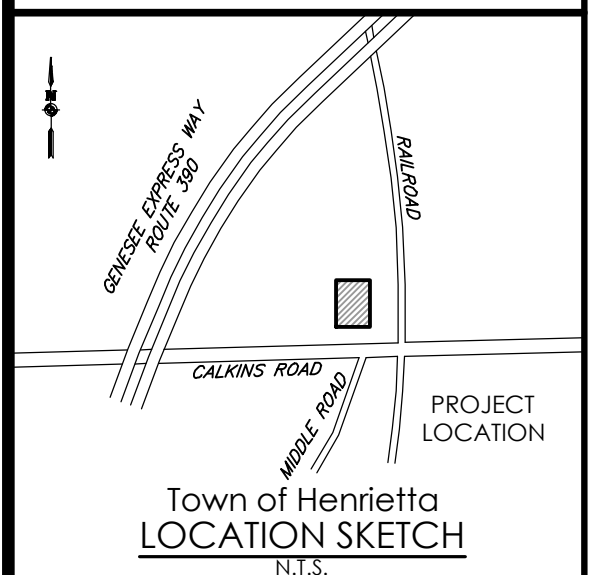
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

P.N. 20213188.0001



DRAWING INDEX

- C 101 COVER
- C 102 SITE PLAN
- C 103 EXISTING CONDITIONS/DEMOLITION PLAN
- C 104 UTILITY PLAN
- C 105 GRADING & EROSION CONTROL PLAN
- C 106 LANDSCAPING PLAN
- C 201 DETAILS
- C 202 MCDOT PLAN
- C 203 MCDOT DETAILS



Client:

PASSERO ASSOCIATES
 242 West Main Street Suite 100 (585) 325-1000
 Rochester, New York 14614 Fax: (585) 325-1691
 Principal-in-Charge Jess Sudol, PE
 Project Manager David Cox, PE
 Designed by Joshua Saxton, EIT



Revisions			
No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	AS	PRE-BID ADDENDA 2

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7309 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

COVER

CHS MOBILE EXPANSION

Town/City: HENRIETTA
 County: MONROE State: NEW YORK

Project No.
20213188.0001

Drawing No. C 101	Sheet No. 1
-----------------------------	-----------------------

Scale:
1" = 30'

Date
JUNE, 2022

MONROE COUNTY
DEPT. OF TRANSPORTATION

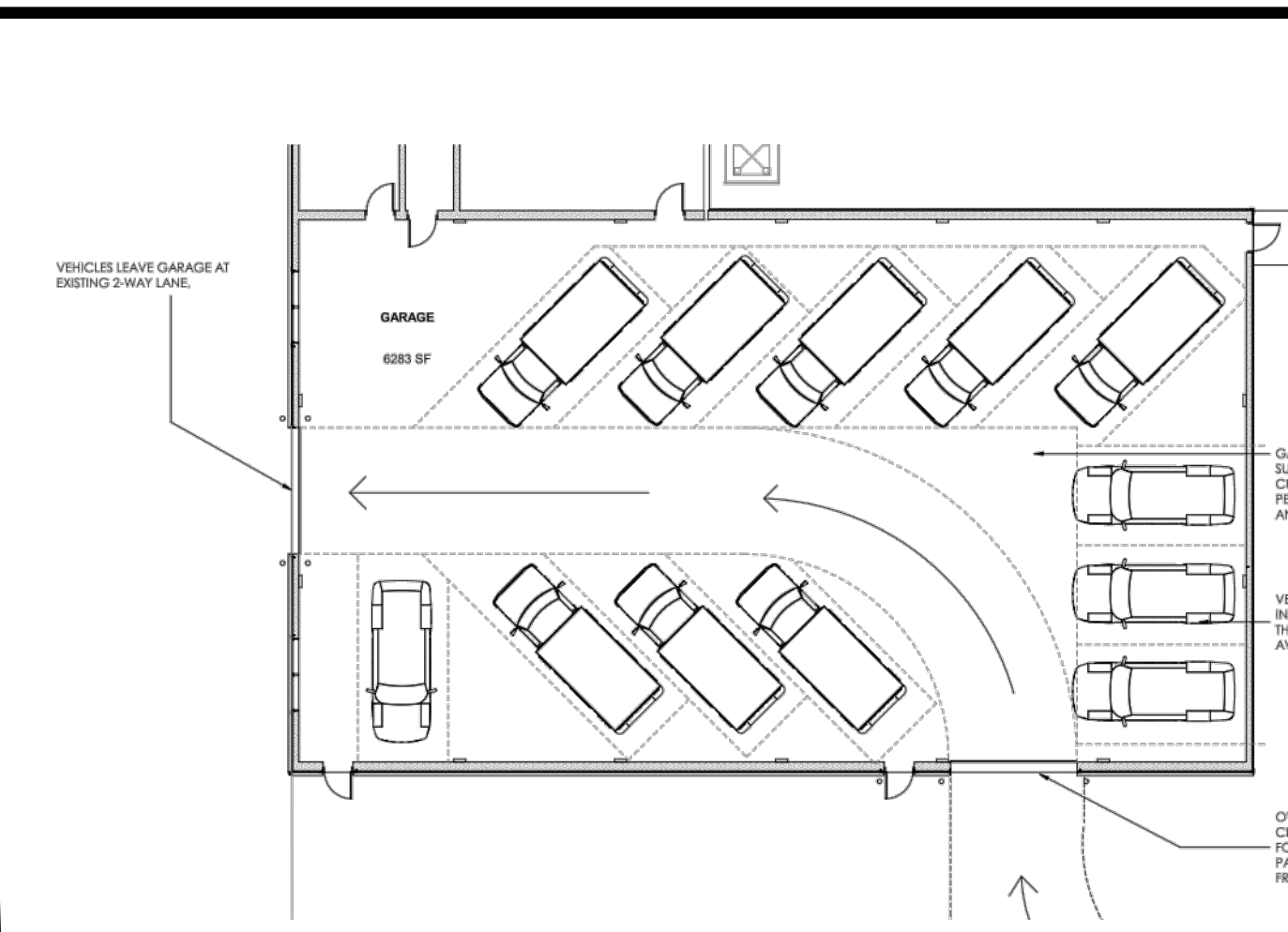
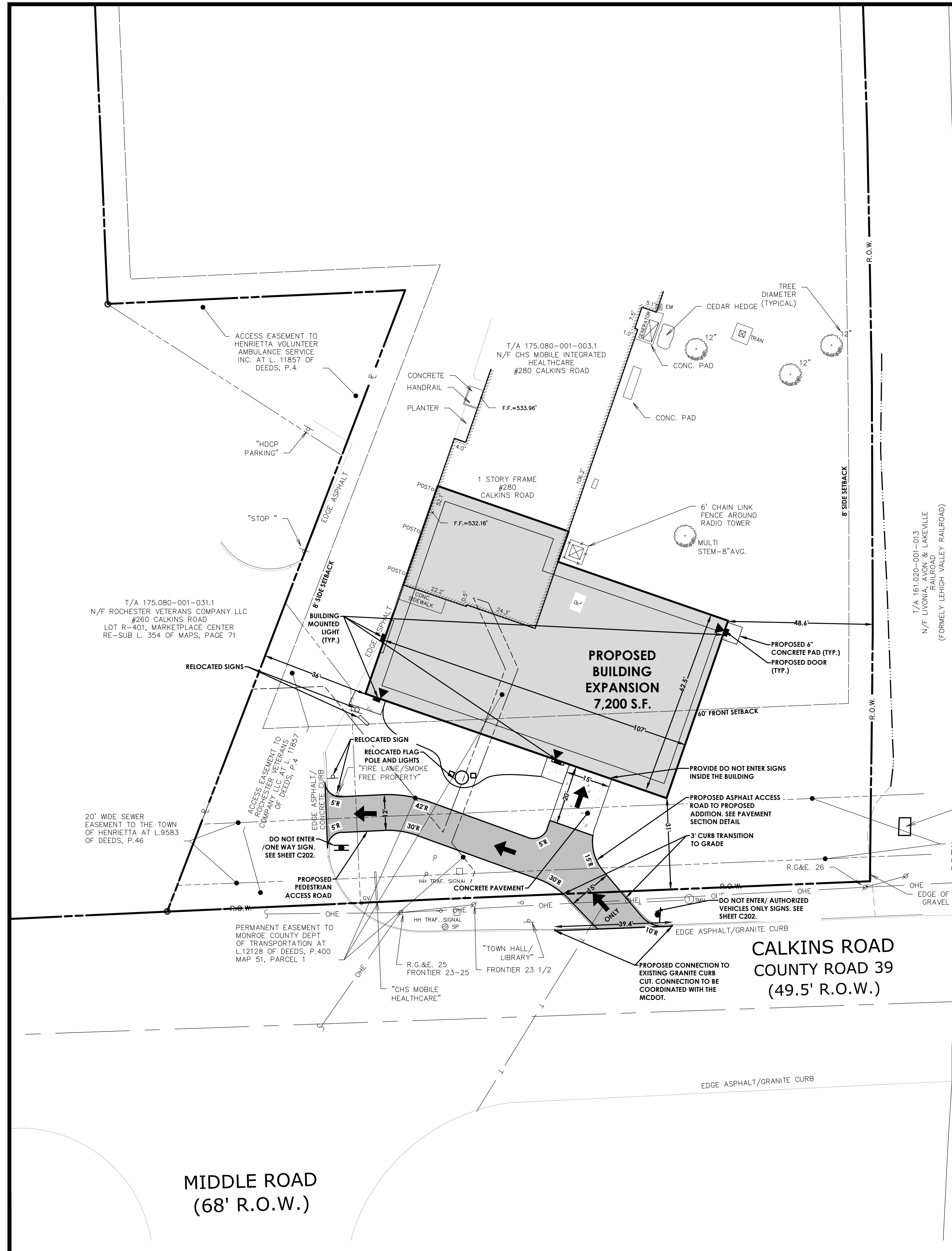
APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
 THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

Y:\PROJECTS-NEW\2021\20213188\20213188.0001_01_CAD_BIM_MODELS\CIVIL\20213188.0001_COVER.DWG 1/17/2024 9:07 AM Joshua Saxton

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1-WAY DRIVE LANE

THE FOLLOWING DESIGN SHEET IS INTENDED TO PROVIDE ADDITIONAL CLARIFICATION ON HOW VEHICLES OPERATE WITHIN THE BUILDING AND HOW THE 1-WAY LANE WILL BE UTILIZED.

NOTES:

- LINES DENOTING ROADS ARE FOR REFERENCE ONLY AND MAY NOT BE EXACT, PLEASE SEE CIVIL DRAWINGS.
- OVERHEAD DOORS TO REMAIN CLOSED WHEN NOT ACTIVELY BEING USED. CLOSED DOORS BLOCKING PATH OF TRAVEL ALONG WITH SIGNAGE USED TO CREATE CLEAR WARNING TO PEDESTRIAN DRIVERS NOT TO PULL IN.
- GARAGE IS PRIVATE FOR SURPLUS VEHICLES NOT CURRENTLY IN SERVICE AND PEDESTRIAN ACCESS IS NOT ANTICIPATED.
- VEHICLES ARE PARKED WITHIN THE GARAGE FACING THE EXIT TO THE 2-WAY LANE. VEHICLES PULL IN AND THEN BACK INTO THEIR RESPECTIVE SPACES.
- WHILE DESIGN INTENT IS FOR USE BY CHS MOBILE HEALTHCARE VEHICLES ONLY, IF THERE WAS SOME FORM OF EMERGENCY AND A PEDESTRIAN VEHICLE HAD TO PASS THROUGH THE BUILDING, PARKING IS ARRANGED IN SUCH A WAY AS TO ALLOW A VEHICLE TO PASS THROUGH.

AS-BUILT NOTE

A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING TIE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES. THE RECORD MAP WILL INCLUDE RECORD CONTOURS AND VOLUMES AS COMPARED TO DESIGN VOLUMES AND CONTOURS FOR ALL STORMWATER PONDS. A SEPARATE MONUMENT RECORD MAP WILL BE PROVIDED TO THE TOWN OF HENRIETTA.

MCDOT NOTES

1. AFTER MCDOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
2. HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY.
3. ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DETAILS IN EFFECT WHEN INSTALLED.

ARCHITECTURAL NOTE

AS AN INTEGRAL PART OF THIS APPROVAL THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES AND FINISH OF THE BUILDING AS DEPICTED ON THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THE APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL OF THE PLANNING BOARD.

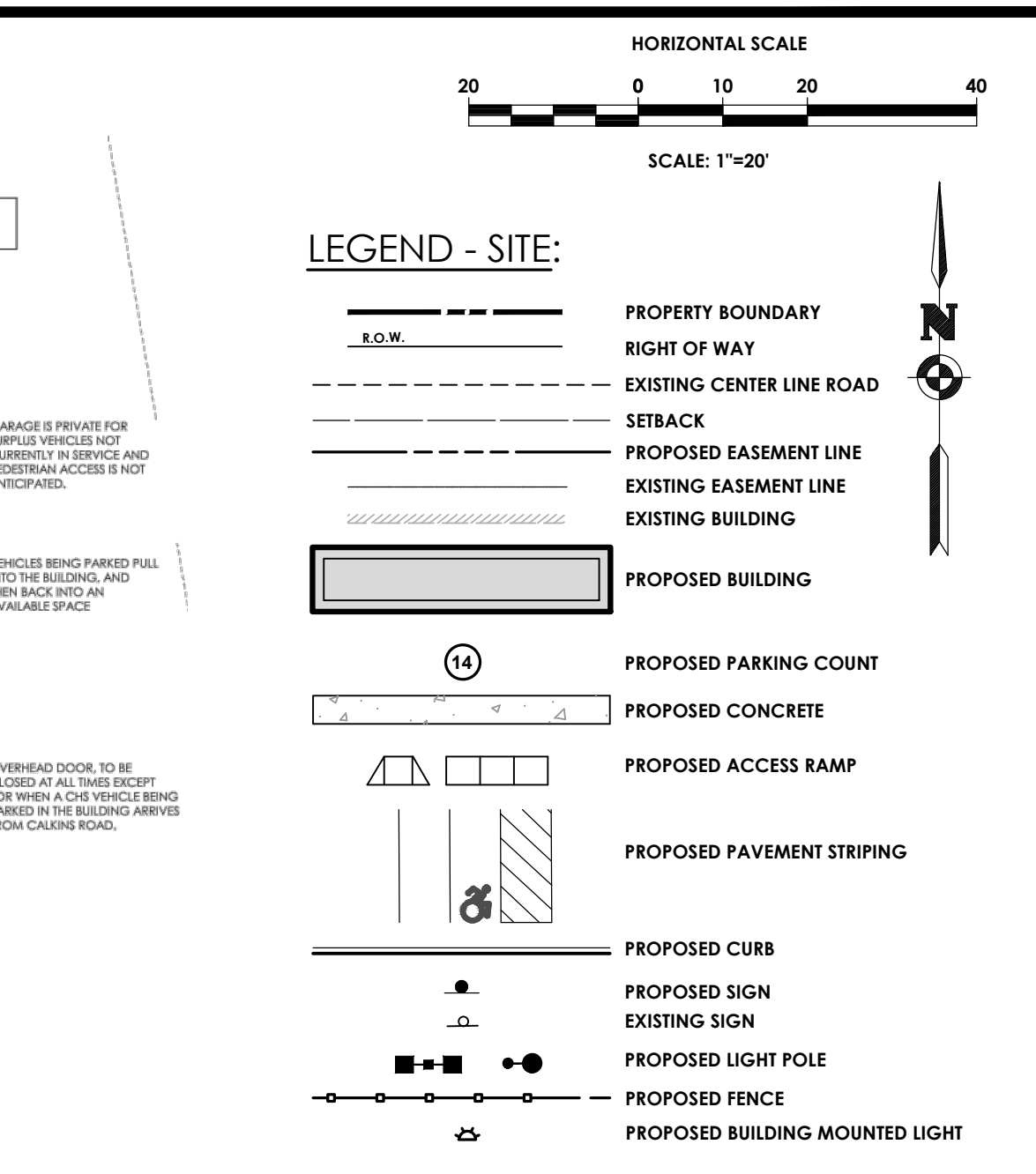
SIGHT DISTANCE FOR RIGHT IN - ONLY ACCESS (CALKINS ROAD)

POSTED LIMIT = 35 MPH
 DISTANCE RIGHT = 650' (REQ'D 335')
 DISTANCE LEFT = 520' (REQ'D 390')

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____ DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



SITE DATA

1. TAX ACCOUNT NUMBER:	175.08-01-03.1
2. PARCEL ADDRESS:	280 CALKINS ROAD & 292 CALKINS ROAD
3. TOTAL PARCEL AREA:	2.17 ACRES (94,525 S.F.)
4. AREA OF DISTURBANCE:	0.37 ACRES (16,117 S.F.)
5. EXISTING ZONING:	RESIDENTIAL DISTRICT R-1-15
6. PROPOSED ZONING:	RESIDENTIAL DISTRICT R-1-15
7. EXISTING USE:	HEALTH FACILITY
8. AREA REQUIREMENTS:	

PROPOSED ZONING DISTRICT: R-1-15

LOT	REQUIRED	PROPOSED
WIDTH	80' MIN	236'
AREA	15,000 SF MIN	93,900 SF
OPEN SPACE	25% (EX-45%)	39%
SETBACK		
FRONT	60'	31'
SIDE	8' MIN	36'
REAR	10'	72'
BUILDING		
HEIGHT	35' MAX	23' 10"
PARKING		
STALLS (QTY.)	1 PER 200 SF OF FLOOR AREA 105	53
STALL SIZE (PERPENDICULAR)	9' x 18'	9' x 18'
STALL SIZE (PARALLEL)	10' x 20'	10' x 20'
DRIVE AISLE (WIDTH)	15' MIN	24'

* VARIANCE REQUIRED

	NO	YES
8. STATE REGULATED WETLANDS (NYSDEC WETLAND INVENTORY):	X	
9. FEDERALLY REGULATED WETLANDS (U.S. F.W.S. N.W.1):	X	
10. FLOOD PLAIN (FEMA NFHL): FIRM PANEL: 36055C0334G DATED: 08/28/2008	X	
11. PUBLIC WATER PROVIDED BY:	MCWA	
12. ELECTRIC SERVICE PROVIDED BY:	RG&E	
13. GAS SERVICE PROVIDED BY:	RG&E	
14. SANITARY SEWER PROVIDED BY:	TOWN OF HENRIETTA	
15. STORM SEWER & DRAINAGE FACILITIES WILL BE PRIVATE AND MAINTAINED BY THE OWNER		
16. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY		

APPROVED BY _____ DATE _____
 PLANNING BOARD CHAIRMAN

APPROVED BY _____ DATE _____
 DIRECTOR OF ENGINEERING AND PLANNING

APPROVED BY _____ DATE _____
 FIRE MARSHAL

APPROVED BY _____ DATE _____
 DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY _____ DATE _____
 COMMISSIONER OF PUBLIC WORKS

engineering architecture

Town of Henrietta
LOCATION SKETCH
N.T.S.

Client:

PASSERO ASSOCIATES

242 West Main Street Suite 100 (585) 325-1000
 Rochester, New York 14614 Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, PE
 Project Manager: David Cox, PE
 Designed by: Joshua Saxton, EIT

Revisions

No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	ADS	PRE-BID ADDENDA 2

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7309 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

SITE PLAN

CHS MOBILE EXPANSION

Town/City: HENRIETTA
 County: MONROE State: NEW YORK

Project No.
20213188.0001

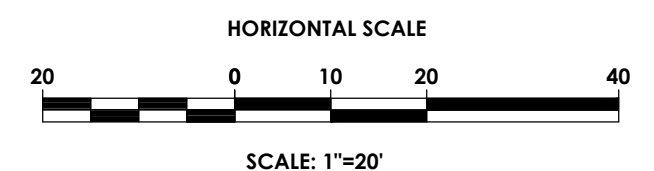
Drawing No. Sheet No.
C 102 2

Scale:
1" = 20'

Date
JUNE, 2022

TOWN APP. NO. 21-014

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LEGEND - EXISTING:

- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING TREE/BRUSH LINE

LEGEND - DEMO:

- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SIGN
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED

DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
- WITHIN LIMIT LINES, ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
- PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
- CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXISTING FEATURES TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
- CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 6 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
- ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
- ALL UTILITIES NOT SLATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL UPON COMPLETION OF DEMOLITION. THIS INCLUDES BYPASS PUMPING, IF NECESSARY.
- EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
- AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
- CONTRACTOR RESPONSIBLE FOR OBTAIN ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.
- IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.
- ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.
- THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.
- ALL SPOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE.
- ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE, (MEETING NYS DOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.

REFERENCE:

- LIBER 10774 OF DEEDS, PAGE 609
- LIBER 354 OF MAPS, PAGE 71, ENTITLED "RESUBDIVISION MARKETPLACE CENTER SECTION 400 AND 500"
- LIBER 330 OF MAPS, PAGE 17 & 18, ENTITLED "SUBDIVISION MARKETPLACE CENTER SECTION 400 AND 500"
- LIBER 288 OF MAPS, PAGE 33, ENTITLED "MARKETPLACE CENTER SECTION 300"
- CIVIL PLAN SET PREPARED BY BERGMAN ASSOCIATES ENTITLED "ADDITION & RENOVATION TO HENRIETTA VOLUNTEER AMBULANCE SERVICE, INC." DATED JULY 2, 2003
- DEEDS FILED IN THE MONROE COUNTY CLERKS OFFICE AS SHOWN HEREON.

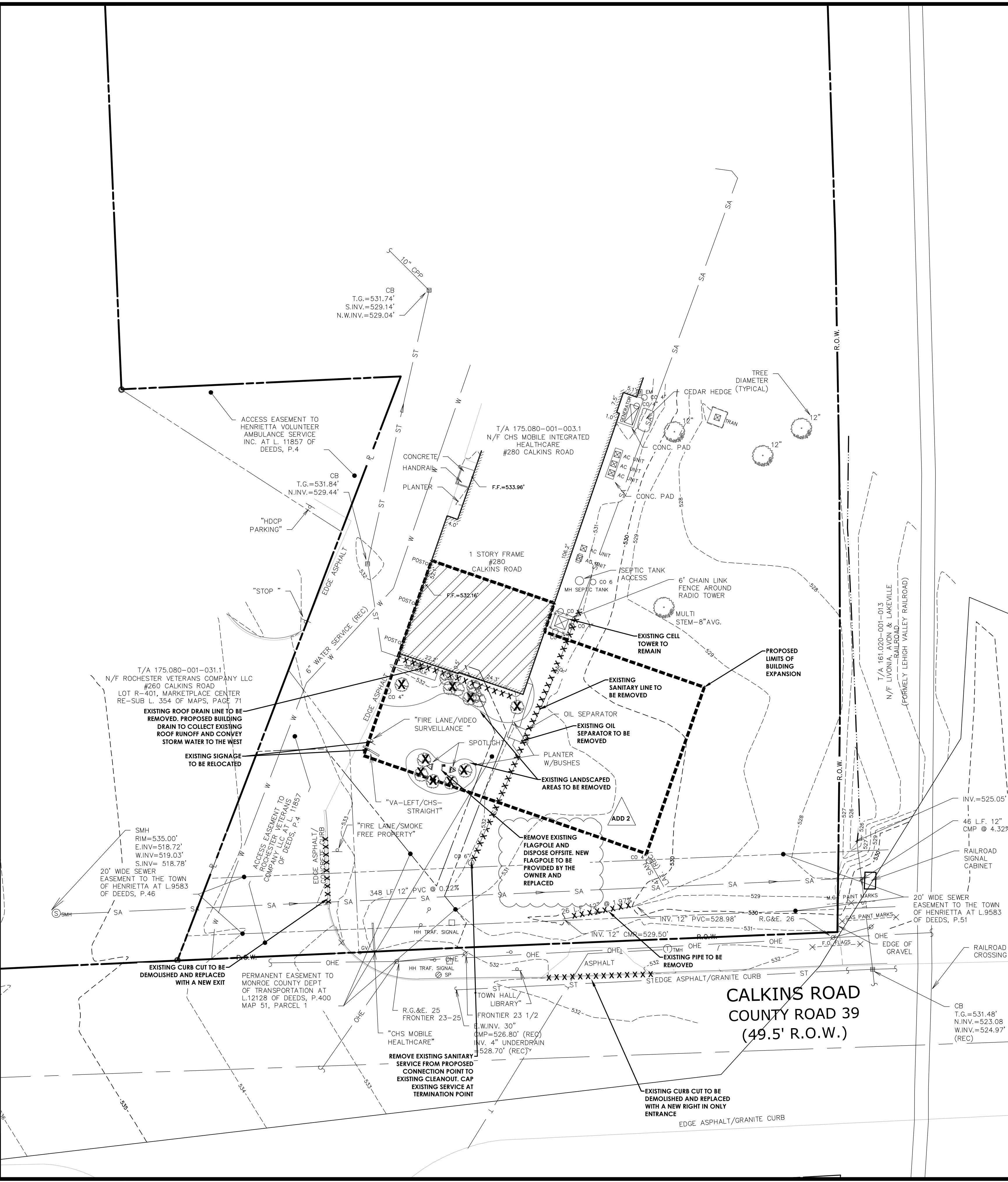
SURVEY NOTES:

- THE HORIZONTAL DATUM HEREON IS REFERENCED TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM, NAD 83 (2011 ADJ.) USING RTK GPS FROM THE NYSNET CONTINUOUSLY OPERATING REFERENCE STATIONS.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 88 ELEVATIONS USING RTK GPS FROM THE NYSNET CONTINUOUSLY OPERATING REFERENCE STATIONS.
- DISTANCES SHOWN HEREON ARE GROUND DISTANCES. BEARINGS AND COORDINATES ARE REFERENCED TO GRID.
- SURVEY FIELD WORK ON THIS SURVEY WAS DONE TO AN ACCURACY GREATER THAN ONE PART IN 10,000. (1:10,000) USING MONUMENTS REFERENCED HEREON.
MCGS MONUMENT 3143 NORTHING 1,119,381.44 EASTING 754,070.85 (NAD 27) ELEV. 532.90 (NGVD 29)
NORTHING 1,119,420.69 EASTING 1,402,428.97 (NAD 83) ELEV. 532.35 (NAVD 88)
MCGS MONUMENT 3141 NORTHING 1,119,221.36 EASTING 751,386.26 (NAD 27) ELEV. N/A (NGVD 29)
NORTHING 1,119,260.61 EASTING 1,399,744.38 (NAD 83) ELEV. 539.77 (NAVD 88)
MCGS MONUMENT 3130 NORTHING 1,120,634.81 EASTING 755,842.36 (NAD 27) ELEV. N/A (NGVD 29)
NORTHING 1,120,673.68 EASTING 1,404,200.62 (NAD 83) ELEV. 545.73 (NAVD 88)
- NO ABSTRACT OF TITLE WAS PROVIDED FOR THIS SURVEY
- COMBINED SCALE FACTOR= 0.99999257

MONUMENT PRESERVATION NOTE:

"THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 4 OF 2019 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS."

"THE DEVELOPER AND CONTRACTOR MUST LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT OF WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA FOR GEODETIC CONTROL MONUMENTS, GO TO THE COUNTY OF MONROE SURVEYORS OFFICE WEBSITE AND ACCESS THE GIS BASED INTERNET WEB VIEWER, OR CONTACT THE MONROE COUNTY SURVEYORS OFFICE."



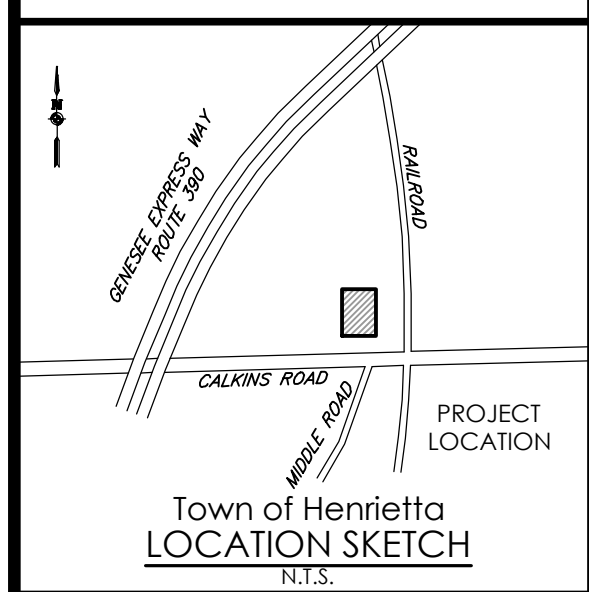
**CALKINS ROAD
COUNTY ROAD 39
(49.5' R.O.W.)**

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



Town of Henrietta
LOCATION SKETCH
N.T.S.

Client: _____

PASSERO ASSOCIATES
242 West Main Street Suite 100 (585) 325-1000
Rochester, New York 14614 Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, PE
Project Manager: David Cox, PE
Designed by: Joshua Saxton, EIT



Revisions

No.	Date	By	Description
1	11/14/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	ASD	PRE-BID ADDENDA 2

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 149 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

EXISTING CONDITIONS

**CHS MOBILE
EXPANSION**

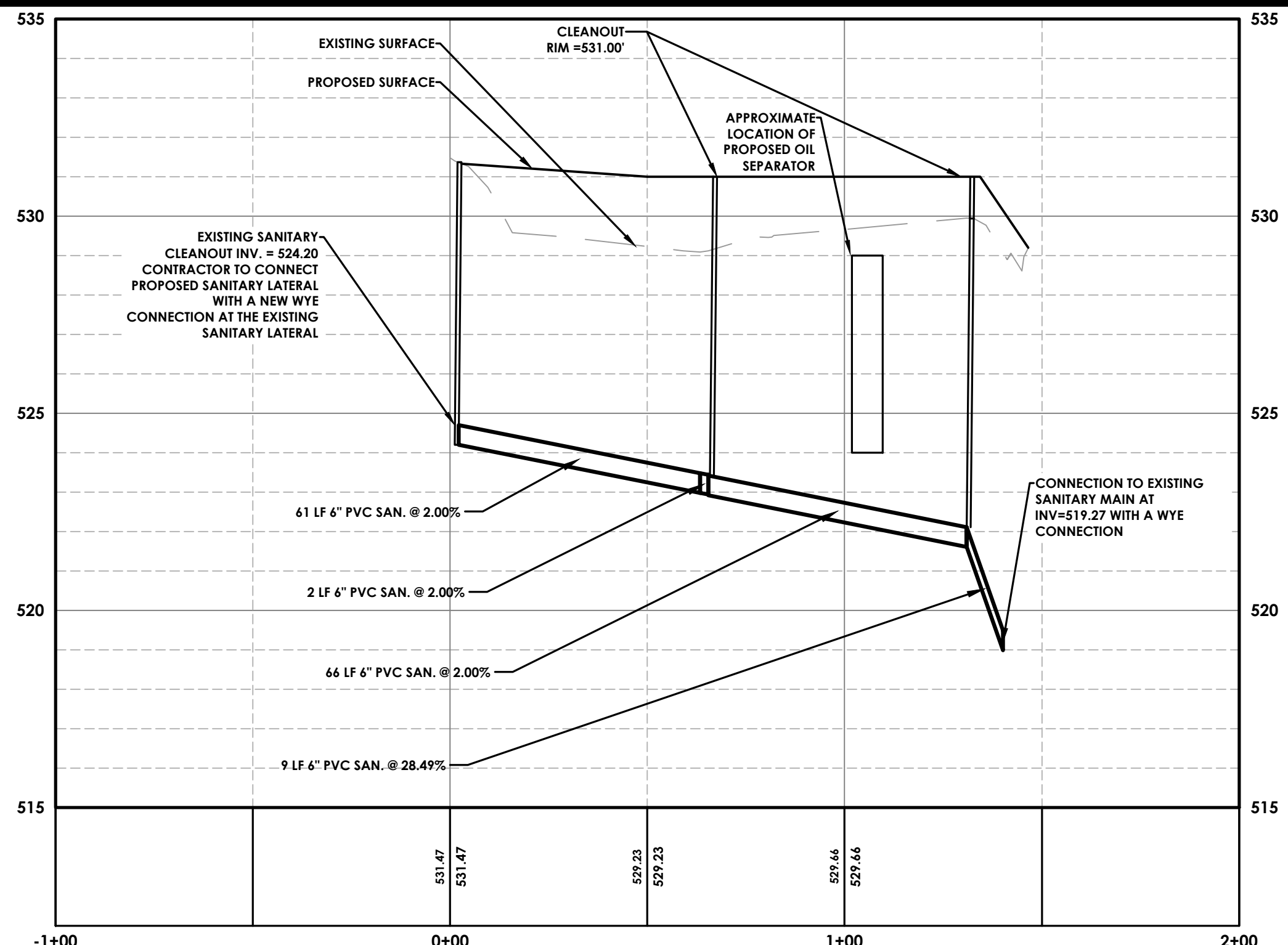
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No: **20213188.0001**

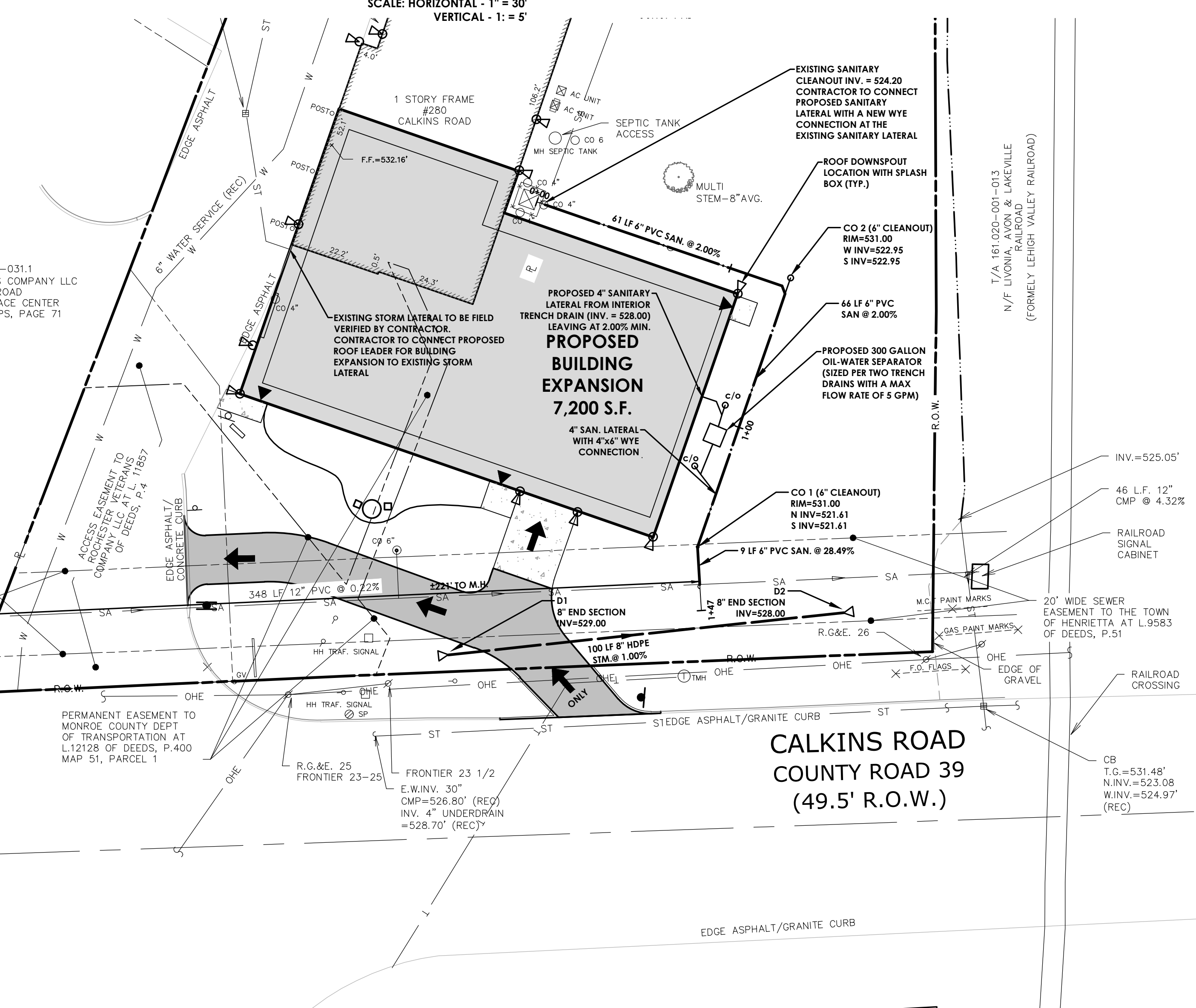
Drawing No: **C 103** Sheet No: **3**

Scale: **1" = 20'**

Date: **JUNE, 2022**



PROPOSED SANITARY PROFILE
SCALE: HORIZONTAL - 1" = 30'
VERTICAL - 1" = 5'



UTILITY NOTES:

- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR LOCATION, PENETRATION, AND SIZES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH ALL SUBCONTRACTORS FOR PROPER UTILITY CONNECTION LOCATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY DESCRIBED TO ENGINEER AND ARCHITECT.
- THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
- THE CONTRACTOR IS REQUIRED TO COORDINATE WITH SITE CONTRACTOR/PLUMBER & SEWER CONTRACTOR TO PREDETERMINE THE NECESSARY WYE & CLEANOUT LOCATION ON THE STORM SEWER SYSTEM. THE STORM SEWER SYSTEM IS RECOMMENDED AND MAY BE MODIFIED TO PROVIDE ADEQUATE ROOF DRAINAGE CONNECTIONS.
- THRUST BLOCKS ON THE WATERMAIN ARE REQUIRED AT BENDS, TEES OR PLUGS. SEE DETAIL SHEETS FOR THRUST BLOCK DETAILS.
- WATERMAIN TAPS ARE TO BE A MINIMUM OF 4' APART.
- ANY UTILITY WORK WITHIN THE MCDOT RIGHT OF WAY WILL REQUIRE A SEPARATE SUBMISSION WITH RELEVANT DETAILS AND SEPARATE UTILITY WORK PERMITS

STORM NOTES

- STORM SEWER LATERAL MATERIAL SHALL BE PVC SDR-21 6" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FT.
- STORM SEWER MATERIAL INCLUDING CROSSOVERS SHALL BE ADS HDPE 12" MIN. FOUNDATION DRAINS WILL BE CONNECTED TO STORM WATER SYSTEM. DOWNSPOUTS TO BE CONNECTED TO STORM SEWER WHERE APPLICABLE. AND CONTRACTOR SHALL PROVIDE APPROPRIATE FITTINGS TO CONNECT STORM SYSTEM TO ROOF LEADERS. OTHERWISE THE DOWNSPOUT SHALL DISCHARGE TO SPLASH BLOCKS.
- AFTER PROJECT COMPLETION, THE STORM SYSTEM SHALL BE FLUSHED. ALL DEPOSITED SEDIMENT AT THE SEWER OUTLET SHALL BE REMOVED.
- SITE CONTRACTOR TO VERIFY LOCATION OF ALL DOWNSPOUTS W/ ARCHITECTS AND PROVIDE APPROPRIATE FITTINGS & PIPING TO CONNECT DOWNSPOUTS TO STORM LATERAL (TYP.)

SANITARY NOTES

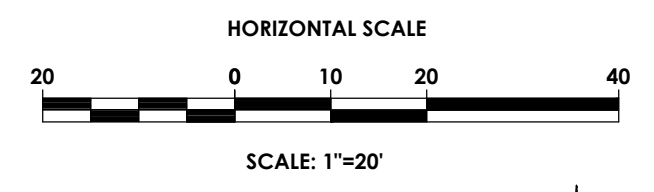
- SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND LOCAL MUNICIPALITY
- MATERIALS
 - MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
 - ASTM D-3034 (4" THRU 15")
 - ASTM F-478 (18" THRU 48")
 - LATERALS - 4" MIN. INSTALLED AT 1/2" PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
 - JOINTING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
 - MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
- INFILTRATION AND EXFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS.
- AN AIR TEST IS TO BE USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM C-828-80, ENTITLED STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPELINES; SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
- VACUUM TESTING OF MANHOLES IS REQUIRED. THE CONTRACTOR IS CAUTIONED TO SPEAK TO THE SUPERINTENDENT OF SEWERS PRIOR TO COMMENCING WITH PLANS TO VACUUM TEST.
- DEFLECTION TEST - TEN STATE STANDARDS.
 - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDRELL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
- ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE HENRIETTA SEWER DISTRICT.
- ALL HOUSE LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
- FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER. (FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES OR VAULTS.

GENERAL NOTES

- THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE AND MONROE COUNTY HEALTH DEPARTMENTS.
- WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY.
- THE MINIMUM GRADE AT THE HOUSE SHALL BE 1" ABOVE THE EDGE OF THE PAVEMENT.
- THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
- ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF THE UTILITY.
- ANY AND ALL UTILITY LOCATIONS, SIZES OR TYPES, TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
- ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF HENRIETTA DATED THE MOST CURRENT REVISION.
- THIS PROJECT WILL BE IN ACCORDANCE WITH THE TOWN OF HENRIETTA HIGHWAY FRONTAGE POLICY.
- ALL WORK DONE IN THE CALKINS ROAD R.O.W. SUCH AS CURB CUTS, BORING, ETC. WILL REQUIRE PERMITS FROM THE MCDOT. BONDS WILL ALSO NEED TO BE POSTED.
- THE APPLICANT WILL COMPARE THE PROPOSED HYDROLOGIC PARAMETERS AGAINST THE PARAMETERS PROVIDED IN THIS SWPPP. SHOULD THE FUTURE PROJECT SITE PARAMETERS INCREASE WATER QUALITY REQUIREMENTS OR WATER QUANTITY OUTPUT ABOVE WHAT IS STATED IN THIS SWPPP, THEN THE APPLICANT WILL BE REQUIRED TO PROVIDE ADDITIONAL STORMWATER MANAGEMENT MEASURES THAT MEET THE NYSDEC (NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION) STANDARDS PROCLAIMED WITH THE PROJECT SWPPP.

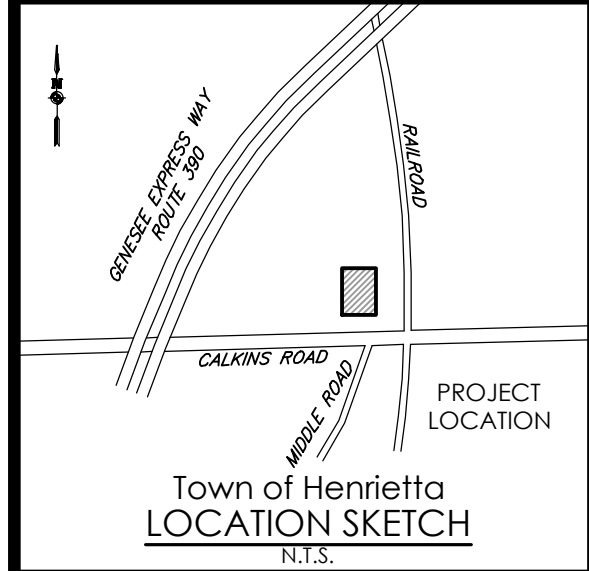
DISTRICT NOTE:

THIS PARCEL IS LOCATED IN THE FOLLOWING DISTRICTS:
 - SANITARY SEWER DISTRICT #171
 - WATER DISTRICT #35
 - CONSOLIDATED DRAINAGE DISTRICT



LEGEND - UTILITIES:

- R.O.W.
- PROPERTY BOUNDARY
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC



Town of Henrietta
LOCATION SKETCH
N.T.S.

Client:

PASSERO ASSOCIATES
 242 West Main Street Suite 100 (585) 325-1000
 Rochester, New York 14614 Fax: (585) 325-1691
 Principal-in-Charge: Jess Sudol, PE
 Project Manager: David Cox, PE
 Designed by: Joshua Saxton, EIT



Revisions

No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	DS	PRE-BID ADDENDA 2

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

Irondequoit Bay South Central Pure Waters District
 Review Number _____
 Conforms to Monroe County
 Pure Waters Master Plan
 Signature _____ Date _____

APPROVALS

- APPROVED BY _____ DATE _____
 MONROE COUNTY WATER AUTHORITY
- APPROVED BY _____ DATE _____
 DIRECTOR OF ENGINEERING AND PLANNING
- APPROVED BY _____ DATE _____
 FIRE MARSHAL
- APPROVED BY _____ DATE _____
 DIRECTOR OF BUILDING AND FIRE PREVENTION
- APPROVED BY _____ DATE _____
 COMMISSIONER OF PUBLIC WORKS

UTILITIES

CHS MOBILE EXPANSION

Town/City: HENRIETTA
 County: MONROE State: NEW YORK

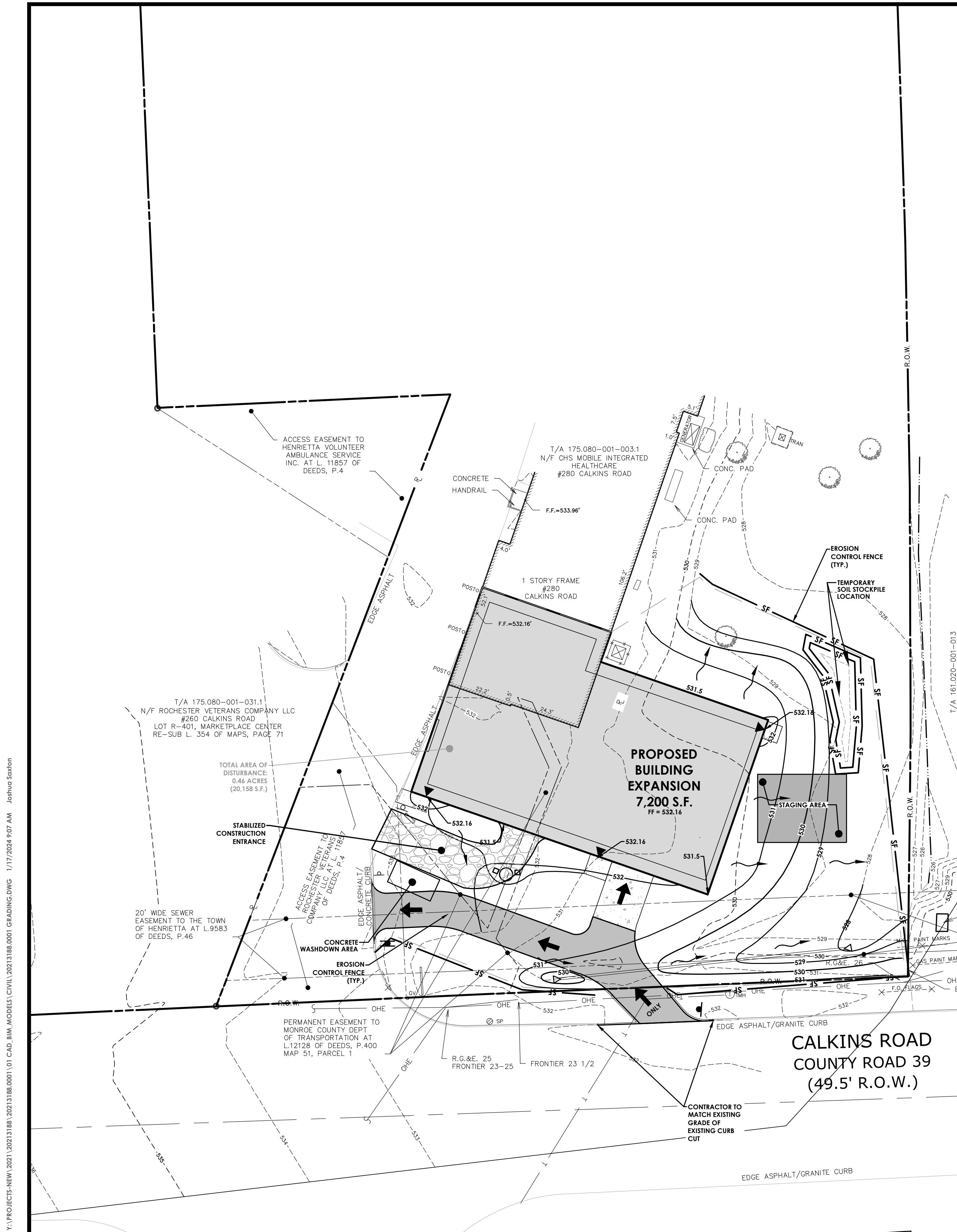
Project No.
20213188.0001

Drawing No. **C 104** Sheet No. **4**

Scale:
1" = 20'

Date
JUNE, 2022

Y:\PROJECTS-NEW\2021\20213188\20213188.0001 UTILITIES.DWG 1/17/2024 9:07 AM Joshua Saxton



TOPSOIL AND SEEDING NOTES:

1. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS (BEDS AND ISLANDS).
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
3. REMOVE ALL EXISTING VEGETATION DURING GRADING PROCESS. WITHIN THE PROPOSED LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS. ALL NATIVE AND EXISTING VEGETATION WILL BE RETAINED TO THE GREATEST EXTENT PRACTICABLE.
4. APPLY MINIMUM OF SIX (6) INCHES OF TOPSOIL FINE GRADE AND "ROCKHOUND" LEAVING TOPSOIL IN A LOOSE AND FRIABLE CONDITION FOR SEEDING.
5. LIME SOIL OR ADD OTHER ORGANIC AMENDMENTS AS NECESSARY TO ACHIEVE A SOIL pH BETWEEN 5.5 - 7.0.
6. LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
7. SEEDING SHOULD BEGIN IMMEDIATELY UPON COMPLETION OF FINE GRADING. SEED SHOULD BE PRESSED INTO THE SOIL TO CREATE GOOD SEED-TO-SOIL CONTACT, NO DEEPER THAN THE THICKNESS OF THE SEED.
8. FERTILIZING, APPLY 10-0-10 FERTILIZER EVENLY AT THE RATE OF 20 POUNDS PER 1000 SQ FT. NO FERTILIZER CONTAINING PHOSPHORUS IS PERMITTED ON SITE.
9. SEED SHOULD BE APPLIED EITHER BY HAND BROADCASTING OR HYDRO SEEDING. TWO PASSES SHALL BE MADE IN PERPENDICULAR DIRECTIONS TO INSURE PROPER COVERAGE.
10. LAWN SEED MIX

NORMAL MIX: SEEDING RATE: 4 LBS./1,000 SQ.FT
 LOW MAINTENANCE FESCUE LAWN
 PREFERRED SEED: LOW MAINTENANCE GRASS SEED MIX OR APPROVED EQUAL

25% FIRELY HARD FESCUE
 25% BIG HORN GT HARD/SHEEP
 20% INTRIGUE CHEWINGS FESCUE
 20% QUATRO SHEEP FESCUE
 10% MINOTAUR HARD FESCUE

11. DRY APPLICATION MULCH
 - A. STRAW MULCH SHOULD BE APPLIED TO NEWLY SEEDED AREAS WITHIN 12 HOURS IF HYDRO MULCH IS NOT UTILIZED.
 - B. DRY APPLICATION, STRAW: STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEEDS. WEIGHT SHALL BE BASED ON A 15 PERCENT MOISTURE CONTENT.
 - C. DRY APPLICATION: WITHIN ONE DAY AFTER SEEDING, COVER THE SEEDED AREAS WITH A UNIFORM BLANKET OF STRAW MULCH AT THE RATE OF 100 POUNDS PER 1000 SQ FT OF SEEDED AREA.
12. HYDRO APPLICATION: APPLY APPROVED MULCH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDED RATES OF APPLICATION. APPLY SEEDING MATERIALS WITH AN APPROVED HYDRO SEEDER.

A. COLORED WOOD CELLULOSE FIBER PRODUCT SPECIFICALLY DESIGNED FOR USE AS A HYDRO-MECHANICAL APPLIED MULCH. ACCEPTABLE PRODUCT: CONWED HYDRO MULCH, CONWED FIBERS, 231 4TH STREET SW, HICKORY, NC

13. FILL TANK WITH WATER AND AGITATE WHILE ADDING SEEDING MATERIALS. USE SUFFICIENT FERTILIZER, MULCH, AND SEED TO OBTAIN THE SPECIFIED APPLICATION RATE. ADD SEED TO THE TANK AFTER THE FERTILIZER AND MULCH HAVE BEEN ADDED. MAINTAIN CONSTANT AGITATION TO KEEP CONTENTS IN HOMOGENEOUS SUSPENSION. PROLONGED DELAYS IN APPLICATION OR AGITATION THAT MAY BE INJURIOUS TO THE SEED WILL BE THE BASIS OF REJECTION OF MATERIAL REMAINING IN TANK.
14. DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

EROSION AND SEDIMENT CONTROL NOTES:

IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYS DOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTOR'S INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTOR'S MODIFIED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.

1. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYS DOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN "EROSION AND SEDIMENT CONTROL SUPERVISOR" FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING EARTHWORK.
2. THE DESIGNATED "EROSION AND SEDIMENT CONTROL SUPERVISOR" SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
3. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.
5. UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NEEDED TO ESTABLISH A SATISFACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.
6. NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND, NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER A WATER BODY OR WETLAND. ANY MATERIAL OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED AND DEPOSITED IN AN UPLAND AREA.
7. THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FILL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. ANY POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILED MATERIAL.

COMPACTION NOTES

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

NYSDEC SOIL RESTORATION REQUIREMENTS

GRADING NOTES:

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
4. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.
5. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

HORIZONTAL SCALE
 20 0 10 20 40
 SCALE: 1"=20'

LEGEND - GRADING:

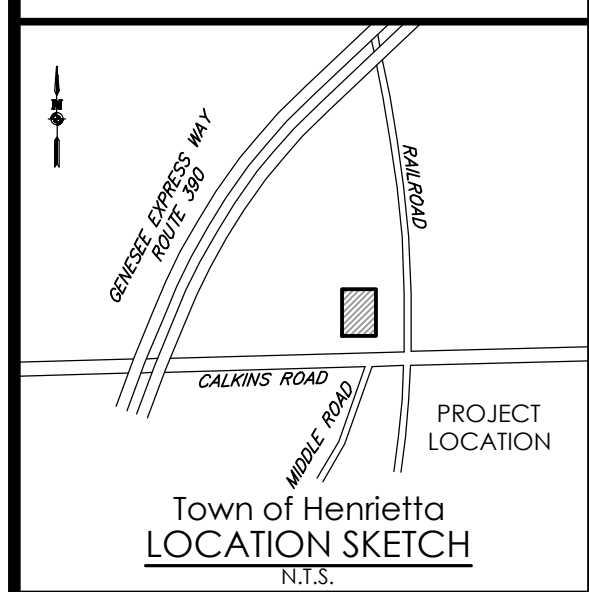
- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SILT FENCE
- PROPOSED STORM SEWER, INLET
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- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SILT FENCE
- TOP OF: CURB (C), WALL (W), STAIRS (S), RAMP (R)
- BOTTOM OF: CURB (C), WALL (W), STAIRS (S), RAMP (R)
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

CONSTRUCTION SEQUENCE FOR GENERAL EROSION CONTROL NOTES:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL PERIMETER SILT FENCING
3. INSTALL TEMPORARY SEDIMENT TRAPS.
4. CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS.
5. STRIP TOPSOIL AND STOCKPILE FOR LATER USE, IF DISTURBANCE IS GREATER THAN 5 ACRES THEN THE SITE SHALL BE INSPECTED TWICE A WEEK.
6. GRADE IMPROVEMENT AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
7. CONSTRUCT DROP INLET PROTECTION DEVICES AFTER STORM STRUCTURE INSTALLATION AS SHOWN ON THIS PLAN.
8. CONSTRUCT TRUCK WASHDOWN AREA
9. CONSTRUCT PONDS.
10. REPLACE TOPSOIL AND FINE GRADE.
11. HYDRO-SEED ALL DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
12. UPON APPROVAL OF THE TOWN, REMOVE ALL TEMPORARY SILTATION CONTROLS.
13. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
14. MINIMUM OF 4" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
15. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE. CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SILTATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER RE-VEGETATION HAS BEEN ESTABLISHED.
17. ALL END SECTIONS WILL BE PROVIDED WITH RIP-RAP APRONS.
18. ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
19. ALL EROSION CONTROL MEASURES WILL BE REMOVED AFTER APPROVED BY A QUALIFIED PROFESSIONAL.

SOIL RESTORATION NOTES:

1. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
2. ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE CLEANED OFF SITE.
3. APPLY TOPSOIL TO A DEPTH OF 6 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
4. VEGETATE AS REQUIRED BY APPROVED PLAN.



Town of Henrietta
 LOCATION SKETCH
 N.T.S.

Client:

PASSERO ASSOCIATES
 242 West Main Street Suite 100 (585) 325-1000
 Rochester, New York 14614 Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, PE
 Project Manager: David Cox, PE
 Designed by: Joshua Saxton, EIT



Revisions

No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	AS	PRE-BID ADDENDA 2

GRADING

CHS MOBILE EXPANSION

Town/City: HENRIETTA
 County: MONROE State: NEW YORK

Project No:
20213188.0001

Drawing No. Sheet No.
C 105 5

Scale:
1" = 20'

Date:
JUNE, 2022

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PLANT SCHEDULE

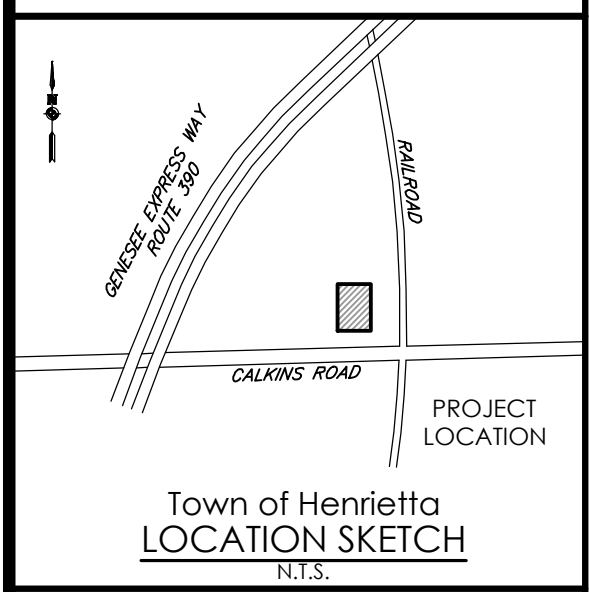
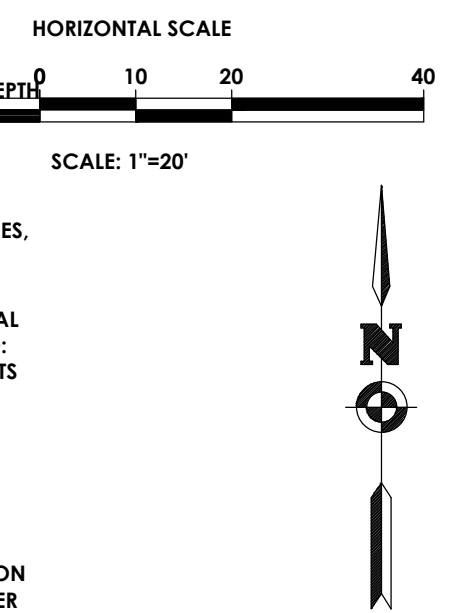
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	MATURE HEIGHT	NATIVE
AR	2	ACER RUBRUM "RED SUNSET"	RED SUNSET MAPLE	3-3.5"	B&B	AS SHOWN	40-45'	YES	
FLOWERING AND ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	MATURE HEIGHT	NATIVE
MJ	1	MAGNOLIA "JANE"	JANE DWARF MAGNOLIA	4-5"	B&B	4'-5"	6'-8"	YES	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	MATURE HEIGHT	NATIVE
CA	6	CLETHRA ALNIFOLIA "SIXTEEN CANDLES"	SIXTEEN CANDLES SUMMERSWEET	2-3"	#3	3'-5"	3'-4"	YES	
RA	10	RHUS AROMATICA "GRO-LOW"	GRO-LOW FRAGRANT SUMAC	18-24"	#3	6'-10"	2'-6"	YES	
RK	5	ROSA "KNOCK-OUT"	KNOCKOUT ROSE "PINK"	18-24"	#3	3'-4"	3'-4"	NO	
PERENNIALS*	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	MATURE HEIGHT	NATIVE
AH	6	ANEMONE X HYBRIDA "SERENADE"	SERENADE JAPANESE ANEMONE	10-12"	#2	2-3"	3-4"		
CS	4	CHRYSANTHEMUM X SUPERBUM "BECKY"	"BECKY" SHASTA DAISY	10-12"	#2	2-3"	2-3"		
EP	4	ECHINACEA PURPUREA	PURPLE CONEFLOWER	15-18"	#3	2-3"	2-4"	YES	
HS	6	HEMEROCALLIS X "STELLA D'ORO"	STAR OF GOLD DWARF LILY	10-12"	#2	1-1.5"	1-1.5"		
PAL	6	PENNISETUM ALOPECUROIDES "LITTLE BUNNY"	"LITTLE BUNNY" FOUNTAIN GRASS	12-15"	#2	1-2"	1.5-2"		
PAB	2	PEROVSKIA ATRIPLICIFOLIA "BLUE JEAN BABY"	"BLUE JEAN BABY" RUSSIAN SAGE	18-24"	#3	3-5"	2-4"		
RF	4	RUDBECKIA FULGIDA	BLACK EYED SUSAN	12-15"	#3	2-3"	2-2.5"	YES	

*PERENNIALS TO BE PLACED IN FRONT PLANTER ALONG W/ SHRUBS IN CONTINUOUS MULCH BEDS

LANDSCAPING NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN AND STATE DESIGN STANDARDS AND CODES.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS DELIVERED AND INSTALLED ON THIS PROJECT.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY IN THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AN MEET SIZE REQUIREMENTS AS INDICATED ON THE PLANT LIST.
- ALL TREES MUST BE STRAIGHT-TRUNKED, INJURY FREE, HAVE A FULL, SYMMETRICAL CROWN (HEAD) AND MEET ALL REQUIREMENTS SPECIFIED (E.G. SINGLE STEM, MULTI-STEM, HEAVY BRANCHED, ETC.).
- ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT, THE PLANNING BOARD CHAIRMAN, AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS. THE BID PRICE SUBMITTED WILL ASSUME THAT ALL PLANT MATERIALS DELINEATED WILL BE SUPPLIED AND INSTALLED. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR DESIGN LANDSCAPE ARCHITECT (OWNER'S REPRESENTATIVE) PRIOR TO COMPLETING A BID PRICE.
- ALL GRADING AND UTILITY WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- THE FINAL LOCATION OF TREES AND OTHER LANDSCAPING SHALL BE DETERMINED IN THE FIELD BASED ON UTILITY STAKEOUT AND SHALL NOT CONFLICT WITH TRAFFIC SIGNS AND/OR UTILITIES. STAKE OUT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- ANY CONCERNS RELATED TO SITE CONDITIONS AND/OR PLANT LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL (ON-SITE OR IMPORTED), 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE AND 10 LBS. 5-0-5 PLANTING FERTILIZER, MIXED THOROUGHLY PER CUBIC YARD.

- MULCH ALL PLANT BEDS, AND INDIVIDUAL TREES IN LAWN AREAS WITH SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES UNLESS OTHERWISE SPECIFIED ON PLANTING DETAILS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT DUE TO SITE CONDITIONS.
- ANY PLANT WHICH TURNS BROWN, DEFOLIATES OR DIES PRIOR TO FINAL ACCEPTANCE BY THE OWNER, OR DESIGN LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE (LIST).
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIALS AND LAWN AREAS UNTIL THE PROJECT HAS RECEIVED FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: WATERING, MULCHING, FERTILIZING, SPRAYING (FUNGICIDE, PESTICIDE, ANTI-DESICANT), AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING.
- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE MOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
- ALL AREAS DISTURBED BY SITE GRADING AND/OR UTILITY INSTALLATION SHALL RECEIVE APPROVED TOPSOIL (BASED ON APPROVED SAMPLES SUBMITTED BY THE CONTRACTOR) AND SPREAD TO A DEPTH NOT LESS THAN SIX (6) INCHES AFTER COMPACTION. TOPSOIL PLACED FOR LAWNS SHALL BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. THIS IS EXCLUDING FOUNDATION PLANT BEDS, AND ENTRANCE AREAS.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE SITE PLAN ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO CALL FOR A UTILITY STAKEOUT PRIOR TO COMMENCING PLANT INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES WHICH OCCURS AS A RESULT OF LANDSCAPE INSTALLATION OPERATIONS.
- EXISTING TREES INDICATED TO BE REMOVED SHALL OCCUR UNDER THE SITE CONTRACT FOR THIS PROJECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANTINGS OR RESTORATION OF THE DISTURBED AREA (LAWNS, PLANT BEDS, ISLANDS).
- PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL TREE AND PLANT BED AREAS.
- ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.
- THE APPLICANT WILL BE REQUIRED TO LANDBANK 3 TREES TO THE TOWN OF HENRIETTA.
- ALL TREES TO BE CONTINUOUSLY WATERED WITH TWO (2) WATER BAGS PER TREE. BAGS ARE TO BE INSPECTED TWICE A WEEK TO ENSURE THAT THEY ARE FILLED AS REQUIRED.



Client:

PASSERO ASSOCIATES
 242 West Main Street Suite 100
 Rochester, New York 14614
 (585) 325-1000
 Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, PE
 Project Manager: David Cox, PE
 Designed by: Joshua Saxton, EIT

Revisions			
No.	Date	By	Description
1			

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LANDSCAPING PLAN
CHS MOBILE
EXPANSION

Town/City: HENRIETTA
 County: MONROE State: NEW YORK

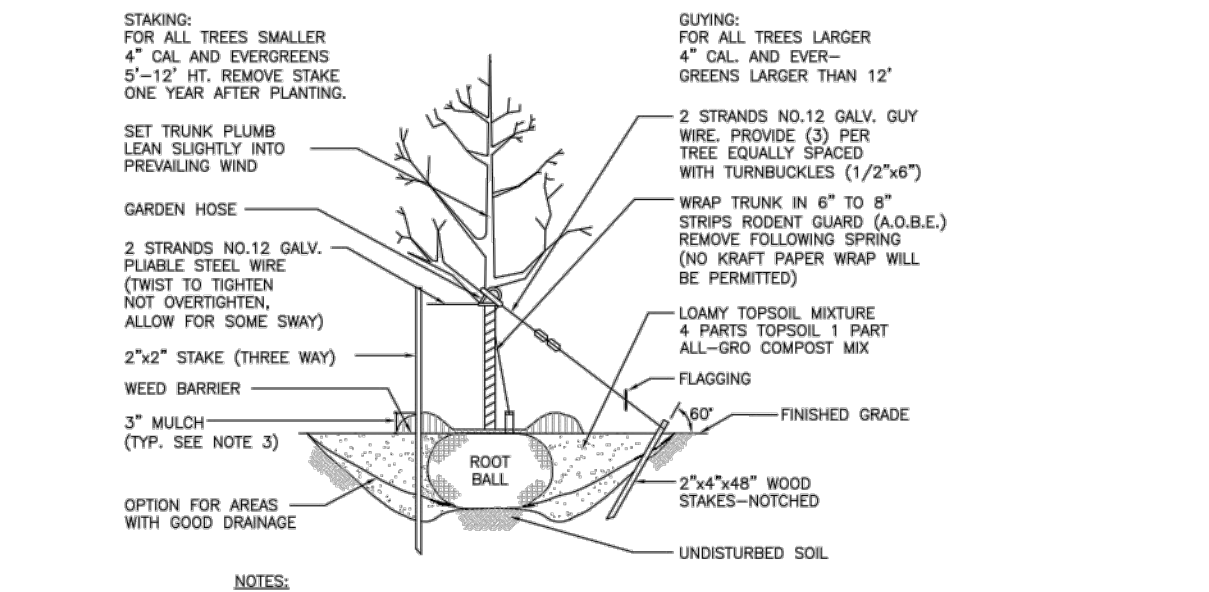
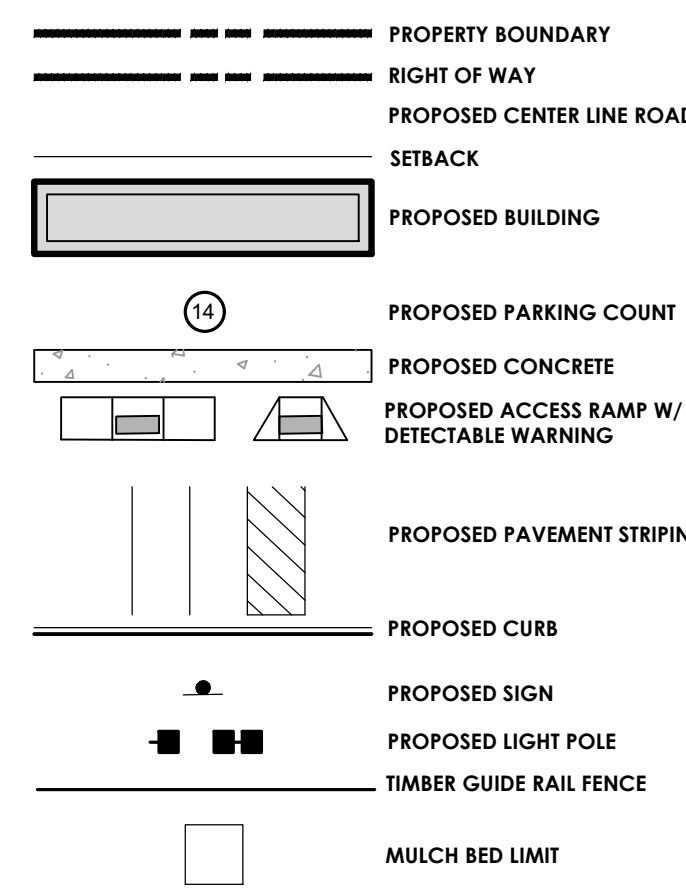
Project No.
20213188.0001

Drawing No. C 106 Sheet No. 6

Scale: 1" = 20'

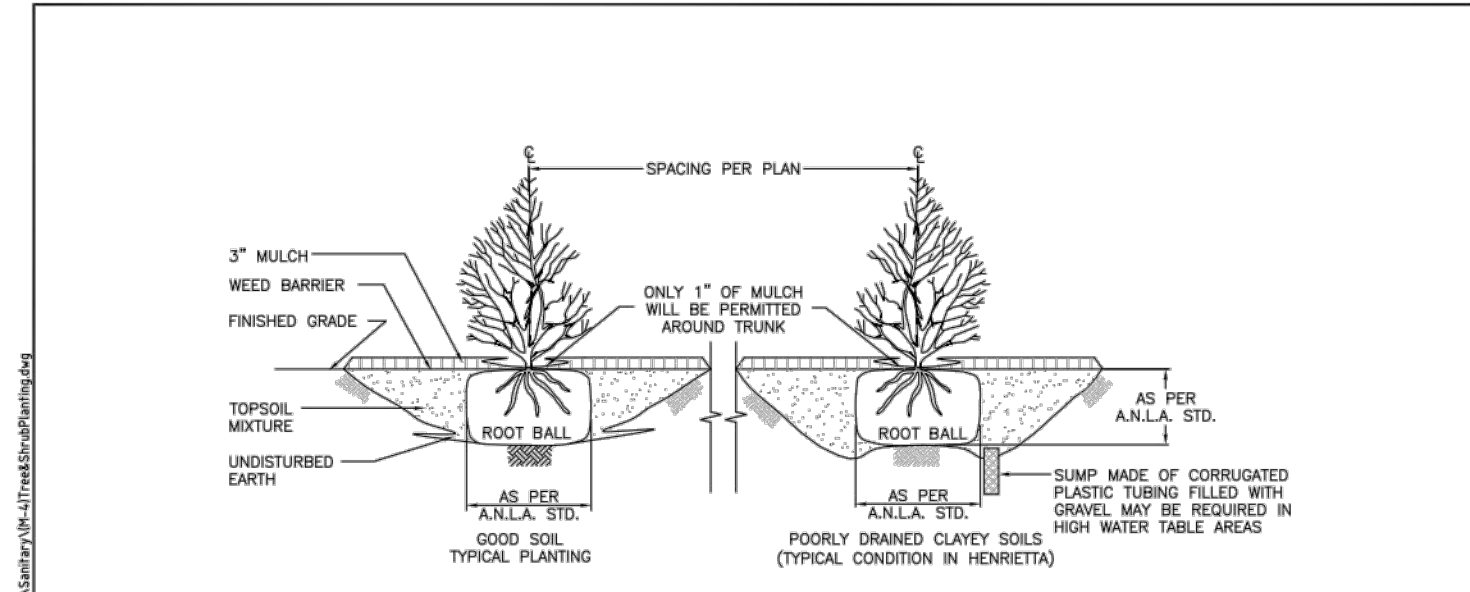
Date: SEPTEMBER, 2021

LEGEND:



NOTES:

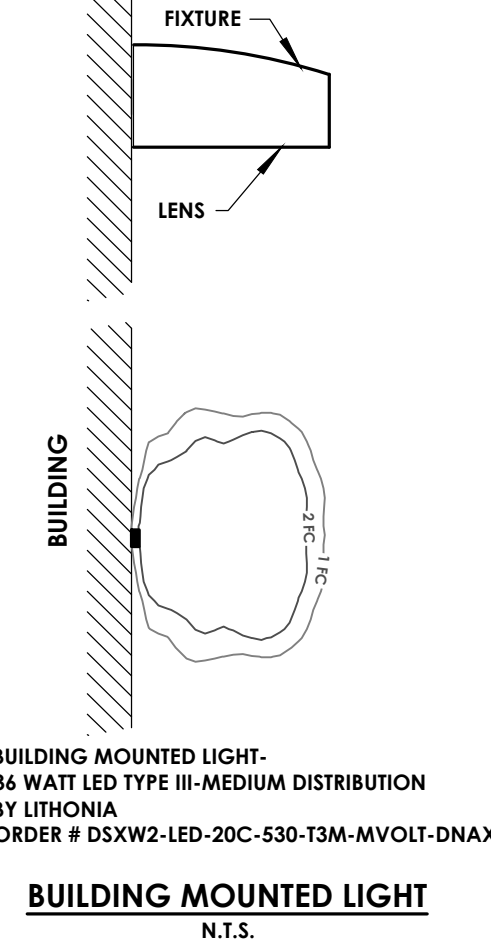
- USE 8" STAKES-DRIVE 48" BELOW GROUND.
- ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
- MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKER.
- MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.



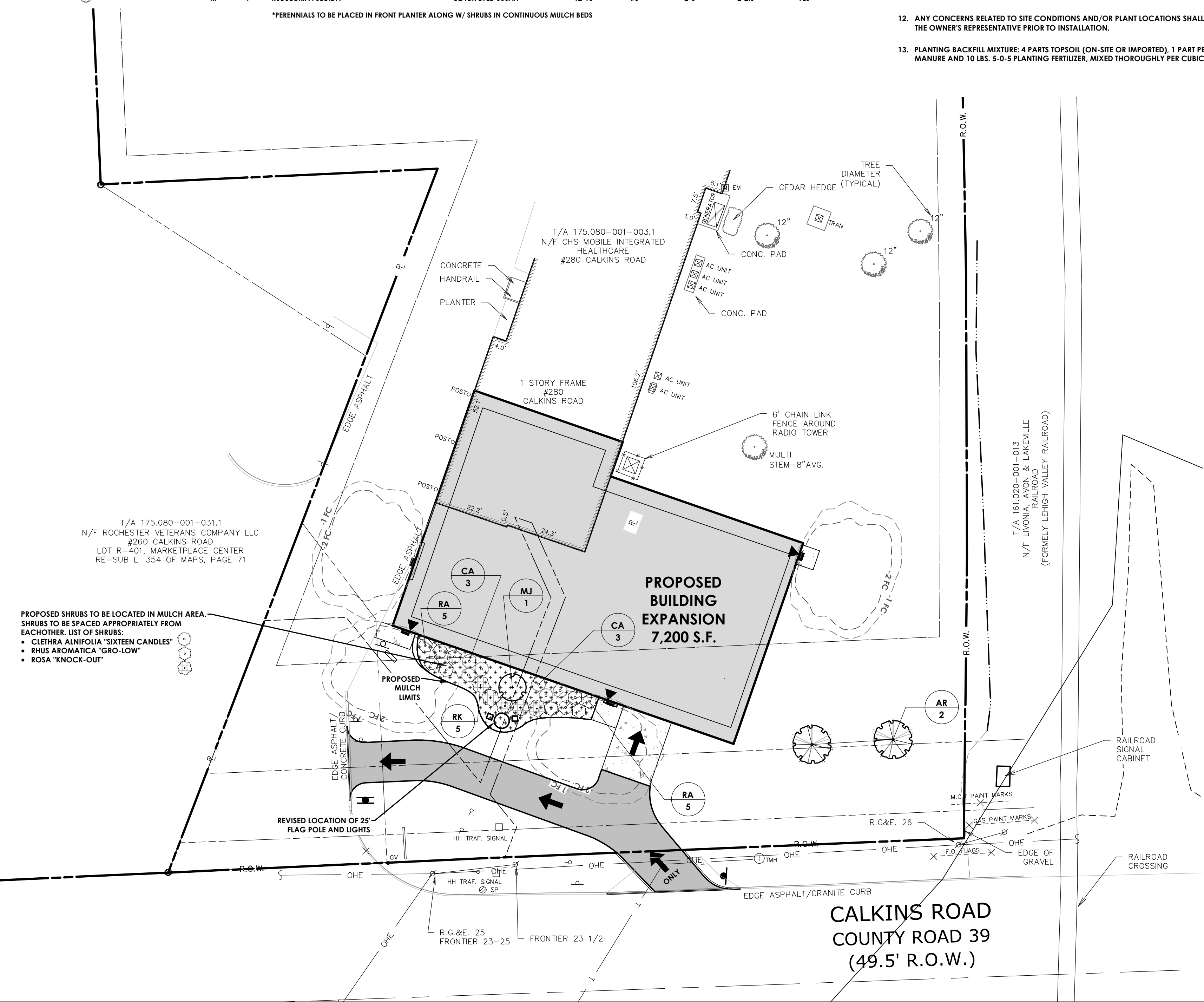
NOTES:

- IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/3 OF THE BURLAP.
- PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.

TOWN OF HENRIETTA
 SCALE: N.T.S.
 DATE: 10/9/2012
 M-4a



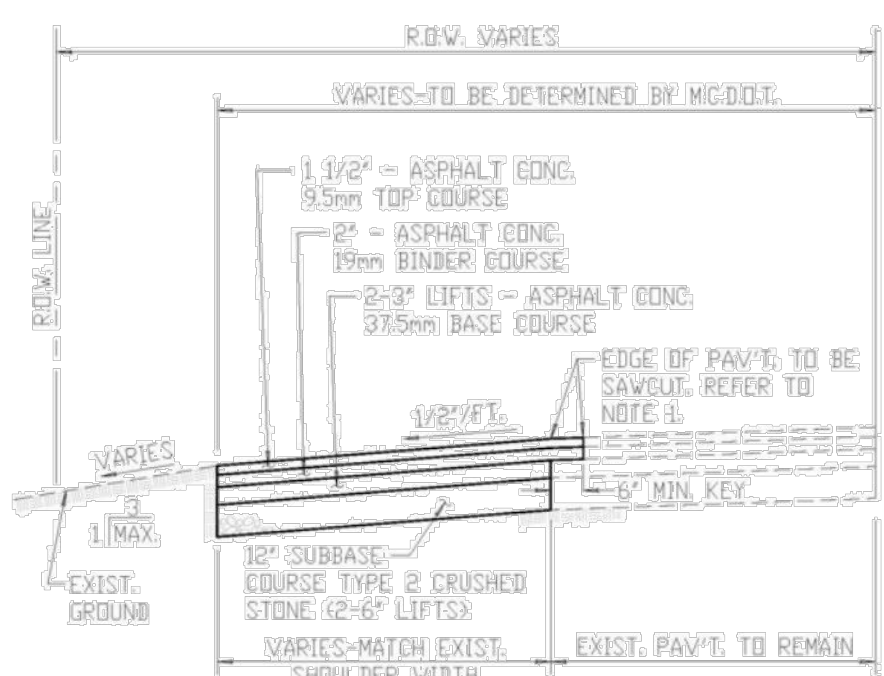
BUILDING MOUNTED LIGHT
 N.T.S.



Y:\PROJECTS-NEW\2021\20213188\20213188.0001_01_CAD_BIM_MODELS\CIVIL\20213188.0001_LANDSCAPING.DWG 1/17/2024 9:08 AM Joshua Saxton

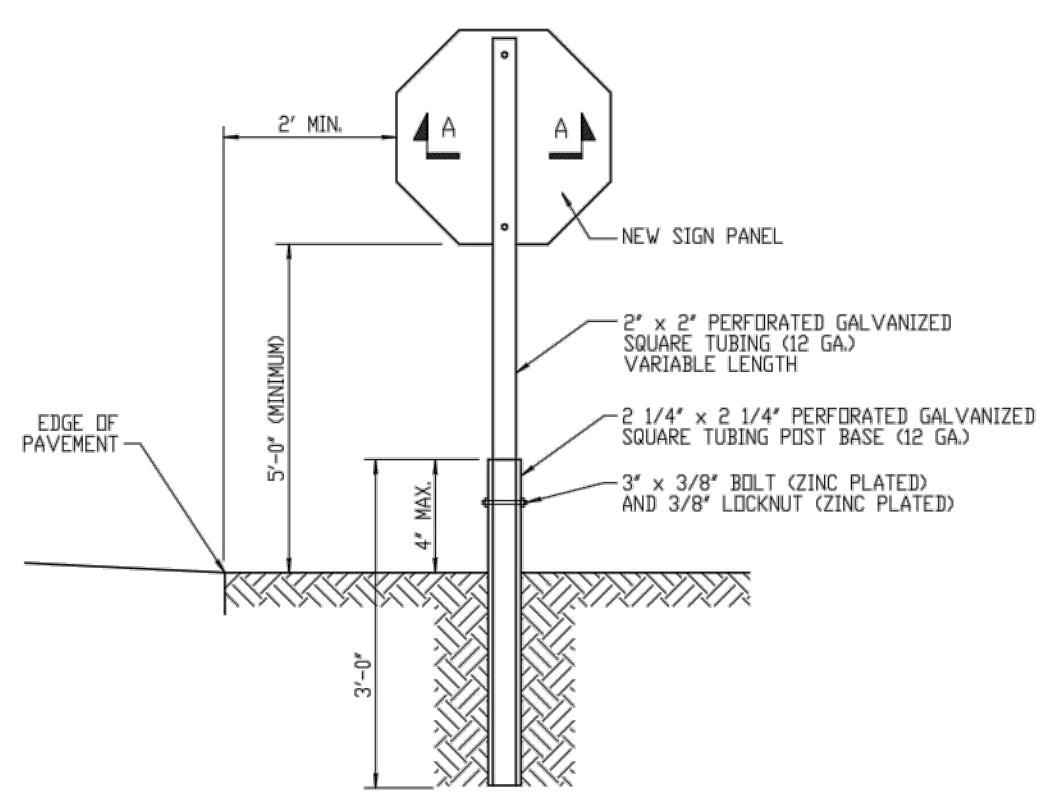
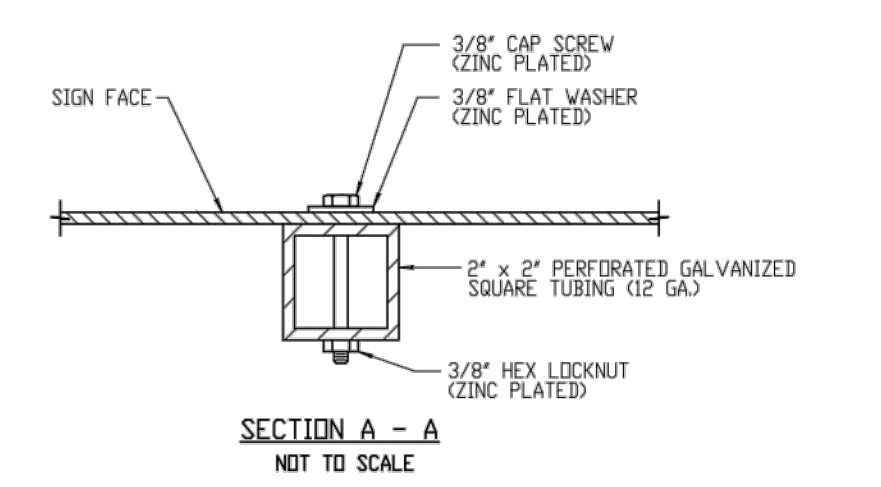
APPROVED BY: _____ DATE: _____
 PLANNING BOARD CHAIRMAN

NOT FOR CONSTRUCTION

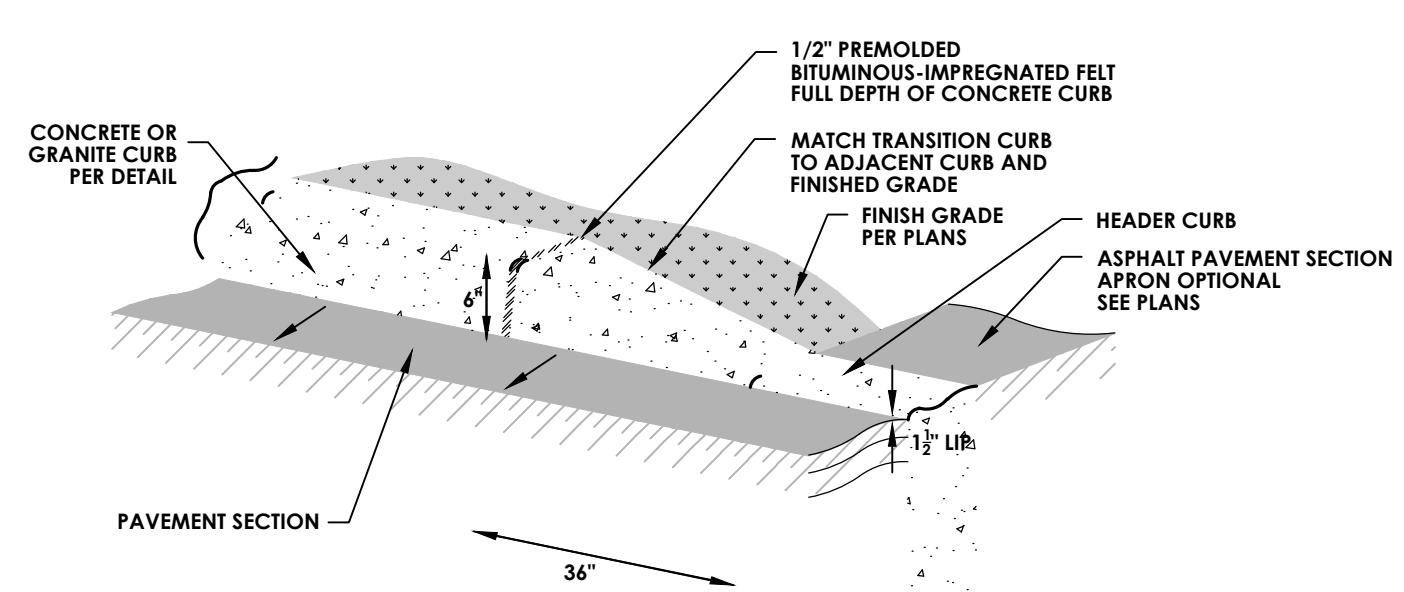


- NOTES:
- EXISTING ASPHALT SHOULDER SHALL BE SAWCUT PRIOR TO PERFORMING ANY EXCAVATION WITHIN THE SHOULDER. ALL PAVEMENT JOINTS SHALL BE TACK COATED AND SEALED WITH BITUMINOUS SEALER.
 - LOCATION OF THE SAWCUT IS TO BE DETERMINED IN THE FIELD AND TO BE GOVERNED BY EXISTING CRACKS IN THE ROAD.
 - IF A ROADSIDE DITCH EXISTS, THE STONE SUBBASE MUST BE EXTENDED TO THE DITCH.
 - REPLACE SHOULDER PAVEMENT SECTION IN KIND WITH WHAT IS EXISTING, UNLESS CONDITIONS EXIST WHERE THAT IS NOT FEASIBLE OR IF NEW, THEN INSTALL SECTION AS APPROVED BY THE DEPARTMENT'S ENGINEER OR HIGHWAY MAINTENANCE MANAGER. THE MINIMUM APPROVED SECTION SHALL BE 6\"/>

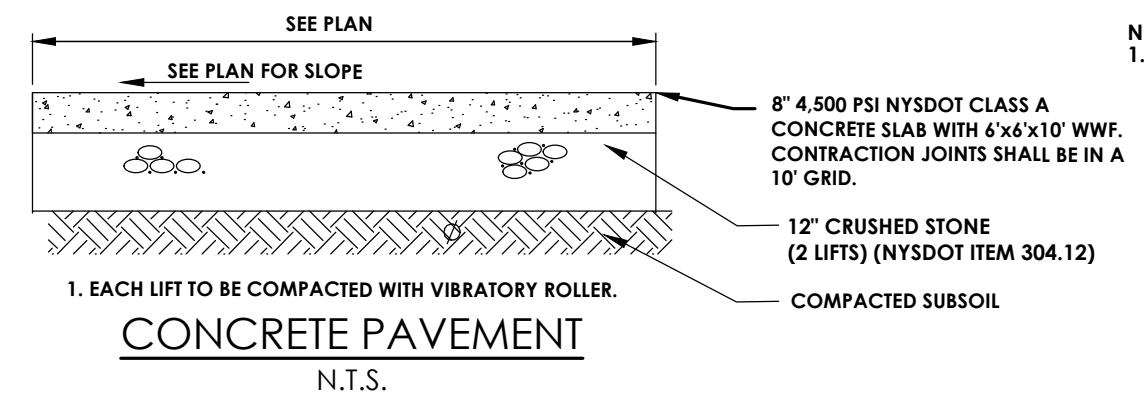
ASPHALT SHOULDER - NEW OR REPLACEMENT
NOT TO SCALE



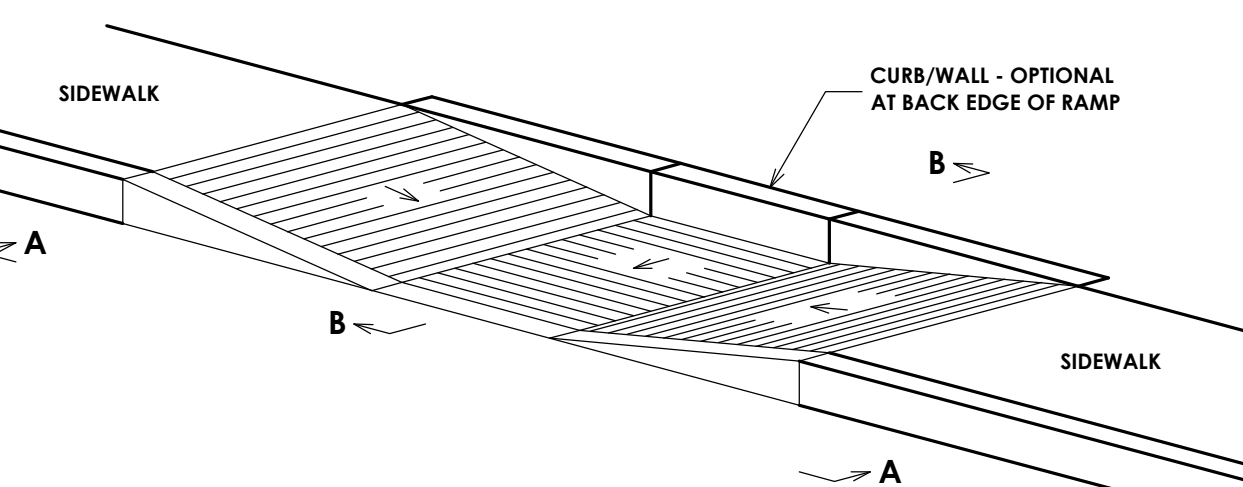
POST MOUNTED SIGN INSTALLATION IN SOIL WITHOUT CURB OR GUTTER
NOT TO SCALE
12/12/13 REVISED



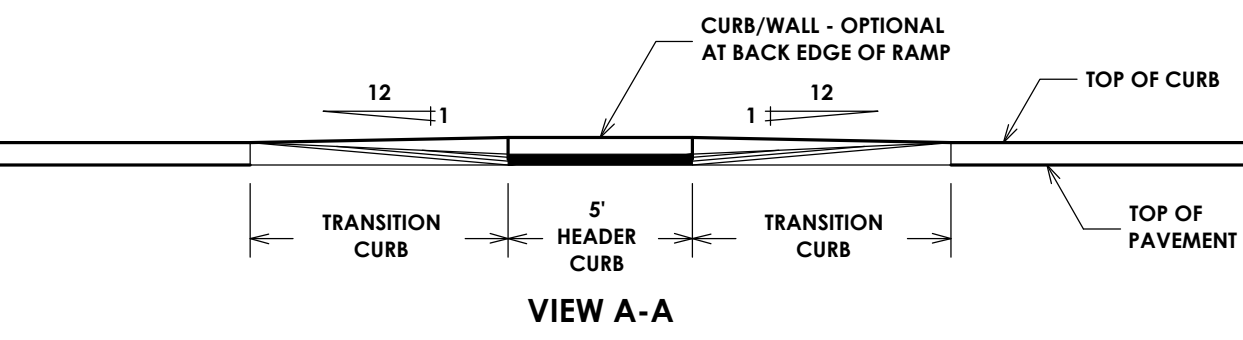
CONCRETE OR GRANITE CURB PER DETAIL
NOT TO SCALE



CONCRETE PAVEMENT
N.T.S.



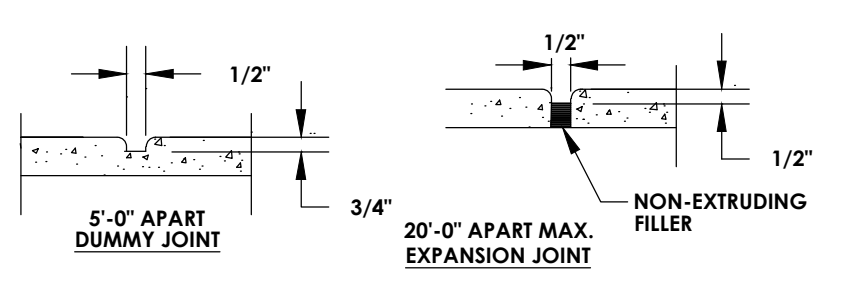
ACCESS RAMP TYPE C ISOMETRIC



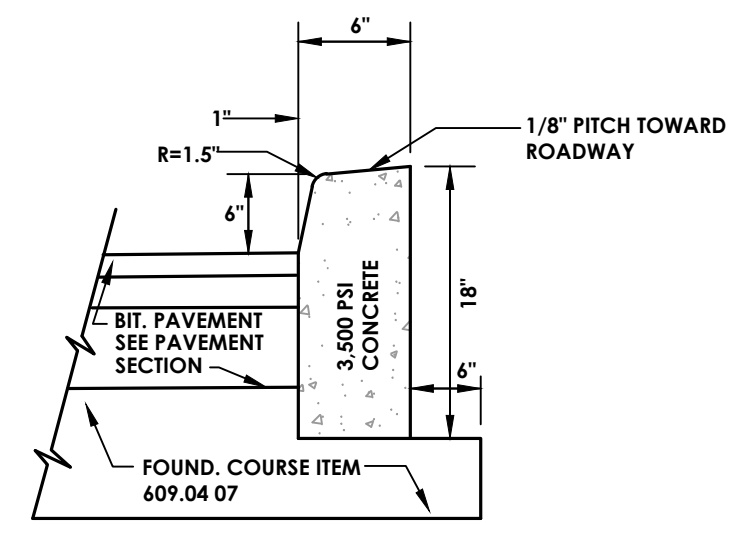
VIEW A-A

- NOTES:
- 1:12 IS MAXIMUM SLOPE OF ACCESS RAMP AND SIDE FLARES.
 - SURFACE OF ACCESS RAMP IS TO BE STABLE, FIRM AND SLIP-RESISTANT. TEXTURE SURFACE WITH COARSE BROOM RUNNING TRANSVERSE TO SLOPE OF ACCESS RAMP.

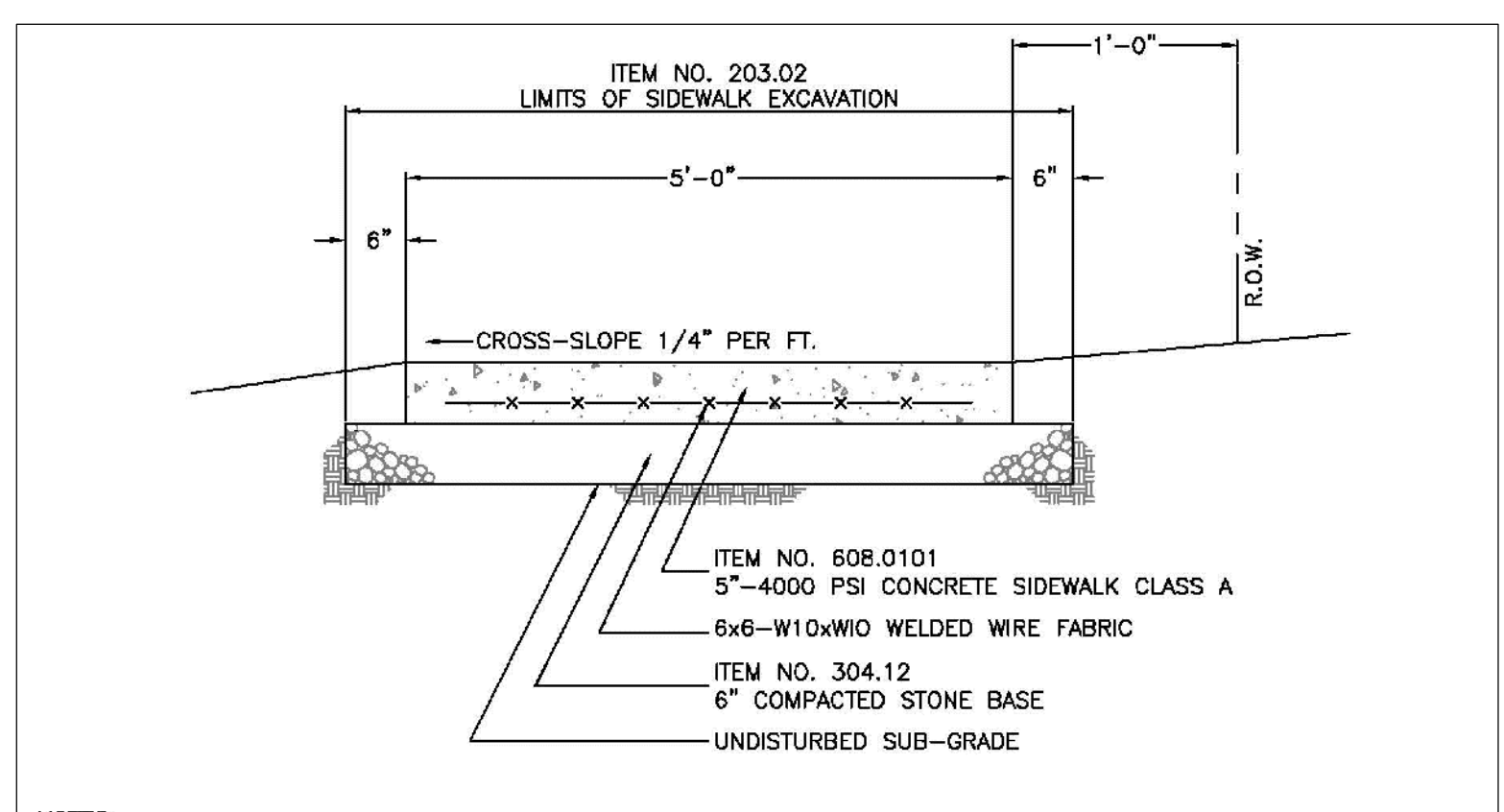
SIDWALK ACCESS RAMP
N.T.S.



SIDWALK CONSTRUCTION JOINTS
N.T.S.

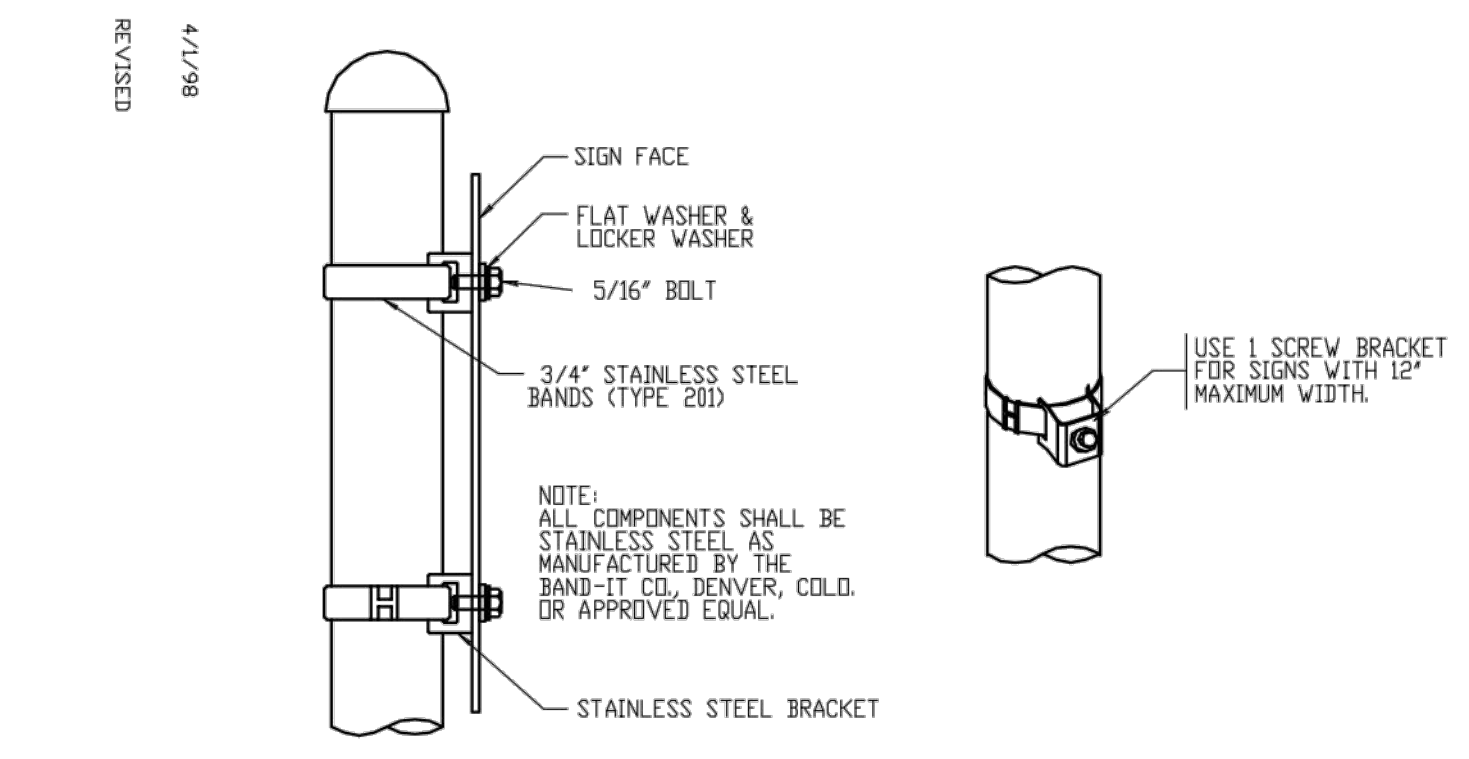


CONCRETE CURB DETAIL
N.T.S.

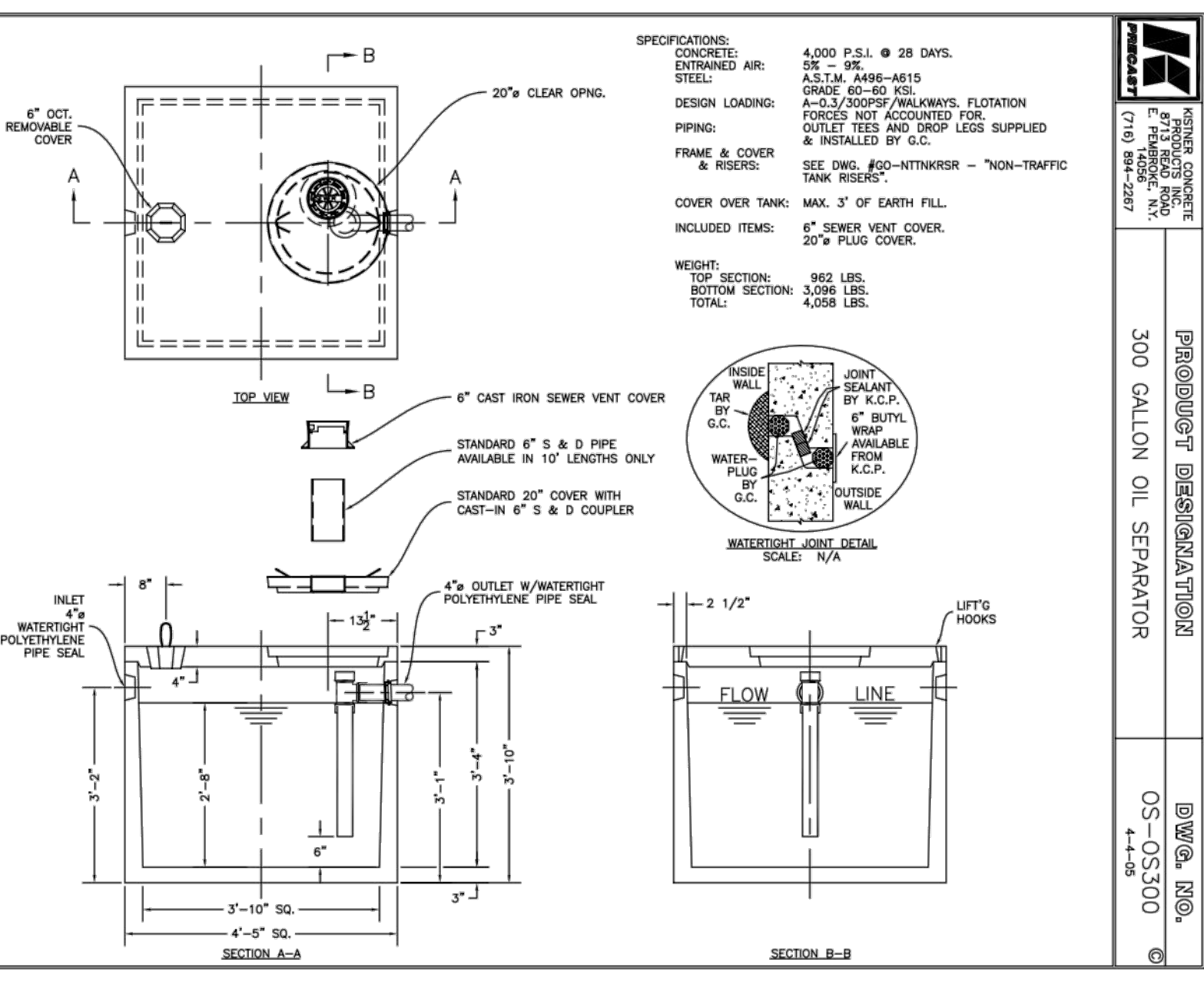


- NOTES:
- MINIMUM CONCRETE STRENGTH SHALL BE 4000PSI AT 28 DAYS.
 - COMPACTED STONE BASE SHALL COMPLY WITH NYSDOT ITEM 304.12, TYPE 2.
 - CROSS SLOPE GRADE SHALL BE AS SHOWN ON DETAIL WHENEVER POSSIBLE AND SLOPED TOWARDS ROAD PAVEMENT.
 - WELDED WIRE FABRIC SHALL COMPLY WITH NYSDOT SPECIFICATION 709-02.
 - BROOM FINISH REQUIRED ON ALL SIDEWALKS.
 - CONTRACTOR MUST GRADE LAWN 2\"/>

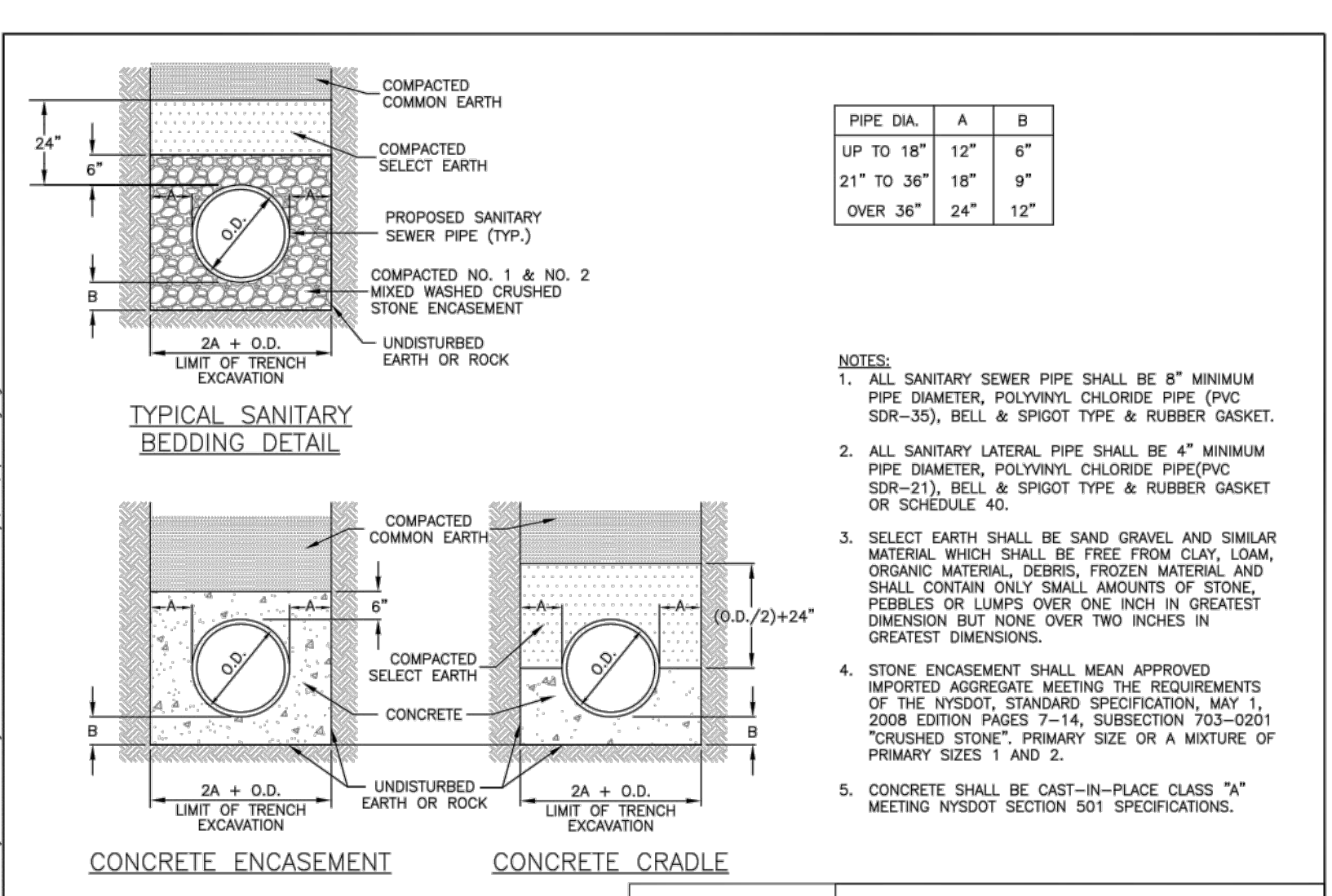
STANDARD CONCRETE SIDEWALK
SCALE: N.T.S. DATE: 01/21/2014
RD-12d



MOUNTING SIGN ON STEEL POLE
NOT TO SCALE



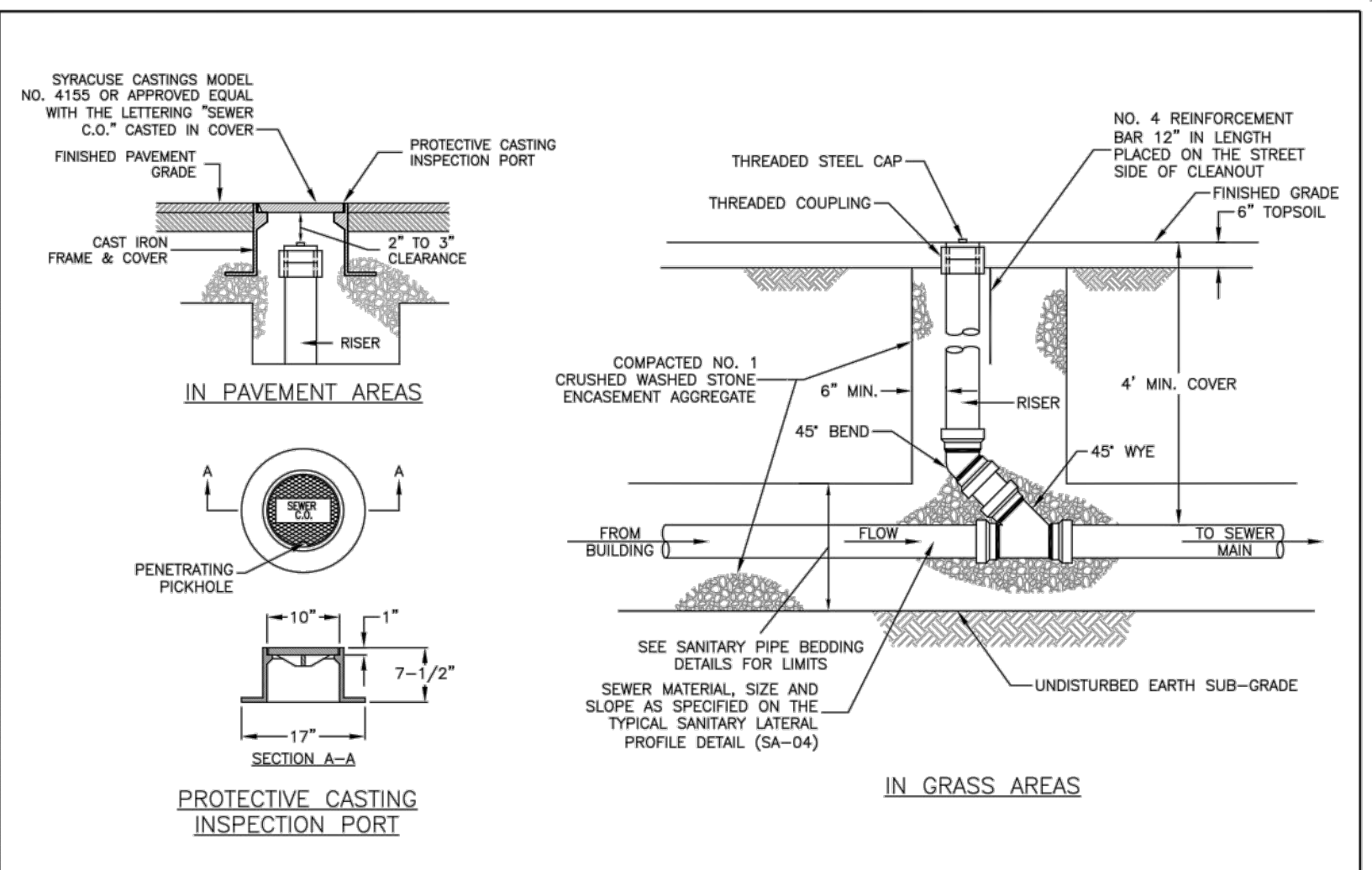
300 GALLON OIL SEPARATOR
PROBOUT DESIGNATION
DWG. NO. OS-0300
1-10-09



PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

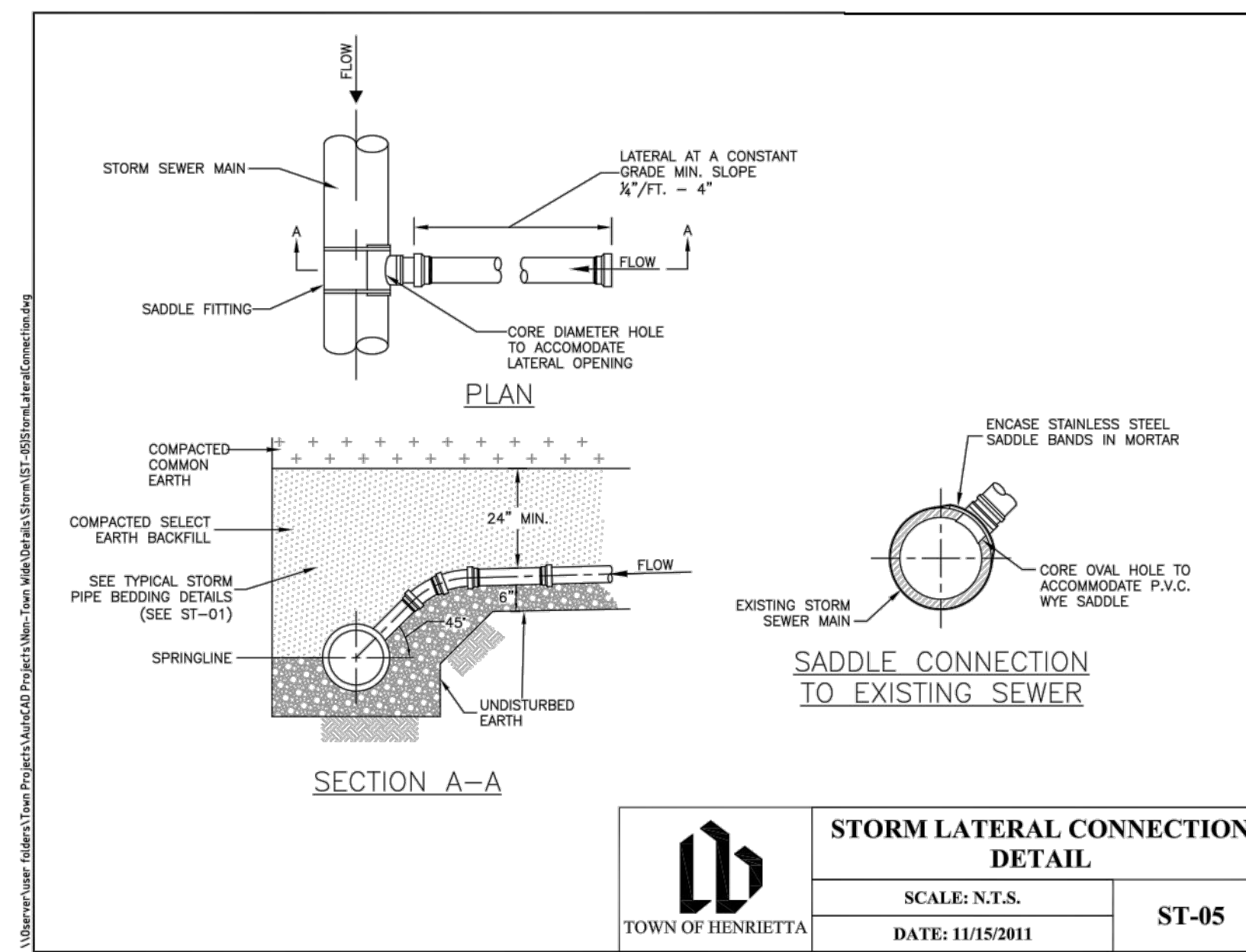
- NOTES:
- ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
 - ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
 - SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
 - STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYSDOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 - CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYSDOT SECTION 501 SPECIFICATIONS.

TYPICAL SANITARY PIPE BEDDING DETAILS
SCALE: N.T.S. DATE: 11/15/2011
SA-01

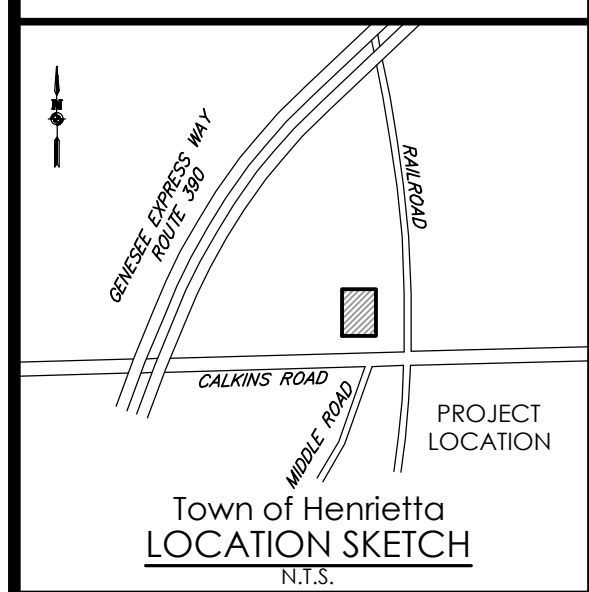


- NOTES:
- MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 308.
 - HEAVY DUTY CASTING SHALL BE DESIGNED FOR A.A.S.H.T.O. 100-16 WHEEL LOADS.

SANITARY LATERAL CLEANOUT
SCALE: N.T.S. DATE: 11/15/2011
SA-07



STORM LATERAL CONNECTION DETAIL
SCALE: N.T.S. DATE: 11/15/2011
ST-05



Town of Henrietta LOCATION SKETCH
N.T.S.

Client:
PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: Jess Sudol, PE
Project Manager: David Cox, PE
Designed by: Joshua Saxton, EIT



Revisions

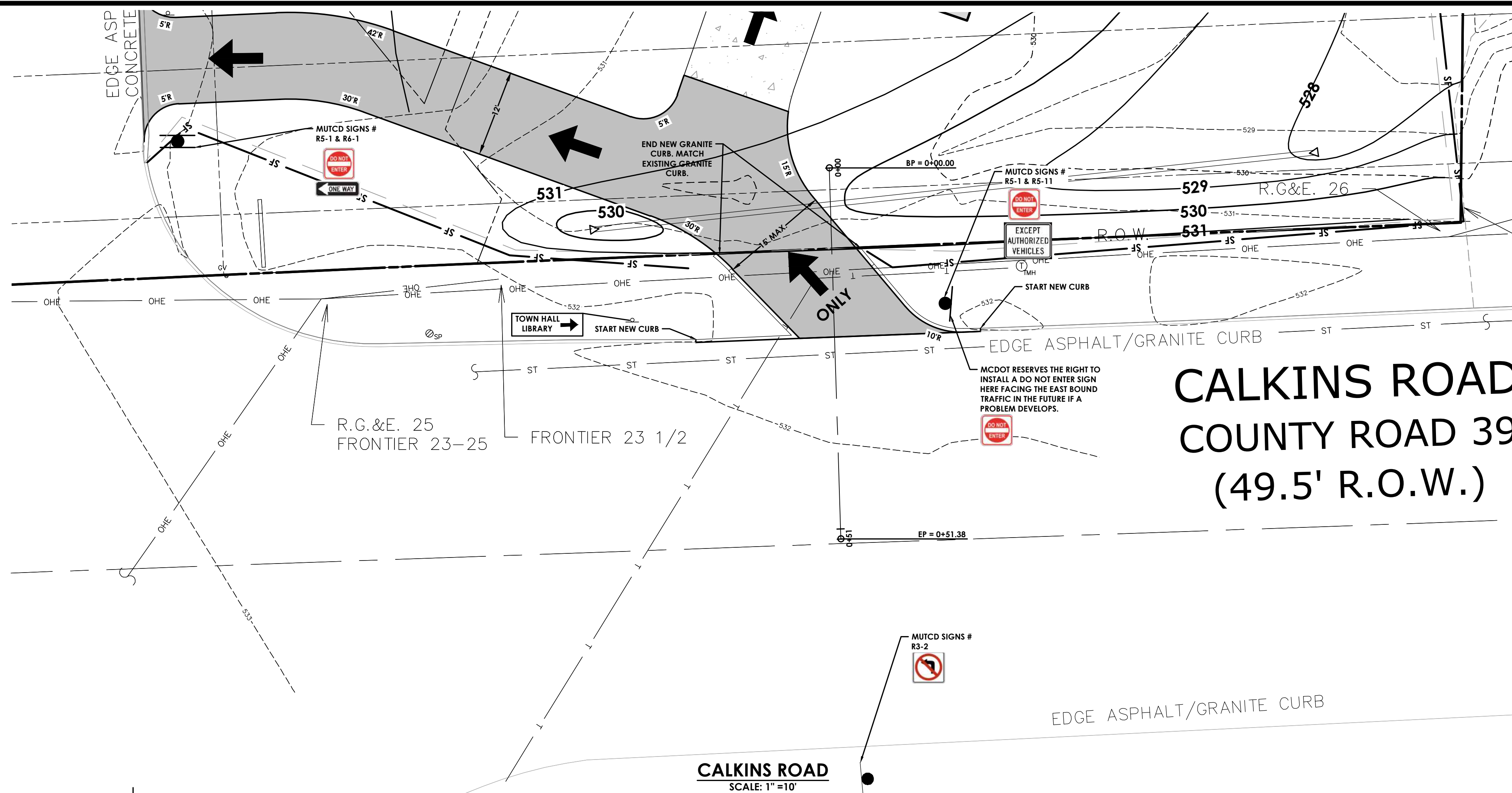
No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	ADS	PRE-BID ADDENDA 2

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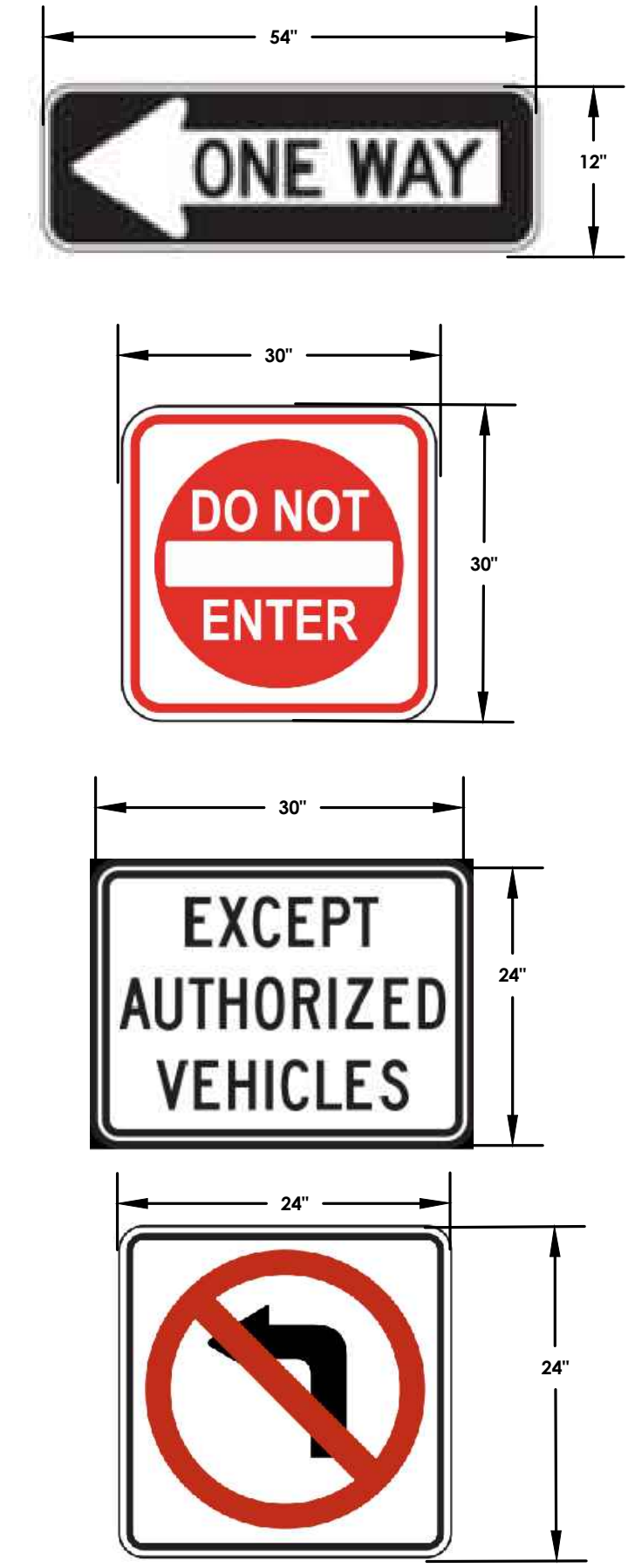
DETAILS
CHS MOBILE EXPANSION

Town/City: HENRIETTA
County: MONROE State: NEW YORK
Project No: **20213188.0001**
Drawing No: **C 201** Sheet No: **7**
Scale: **N.T.S.**
Date: **JUNE, 2022**

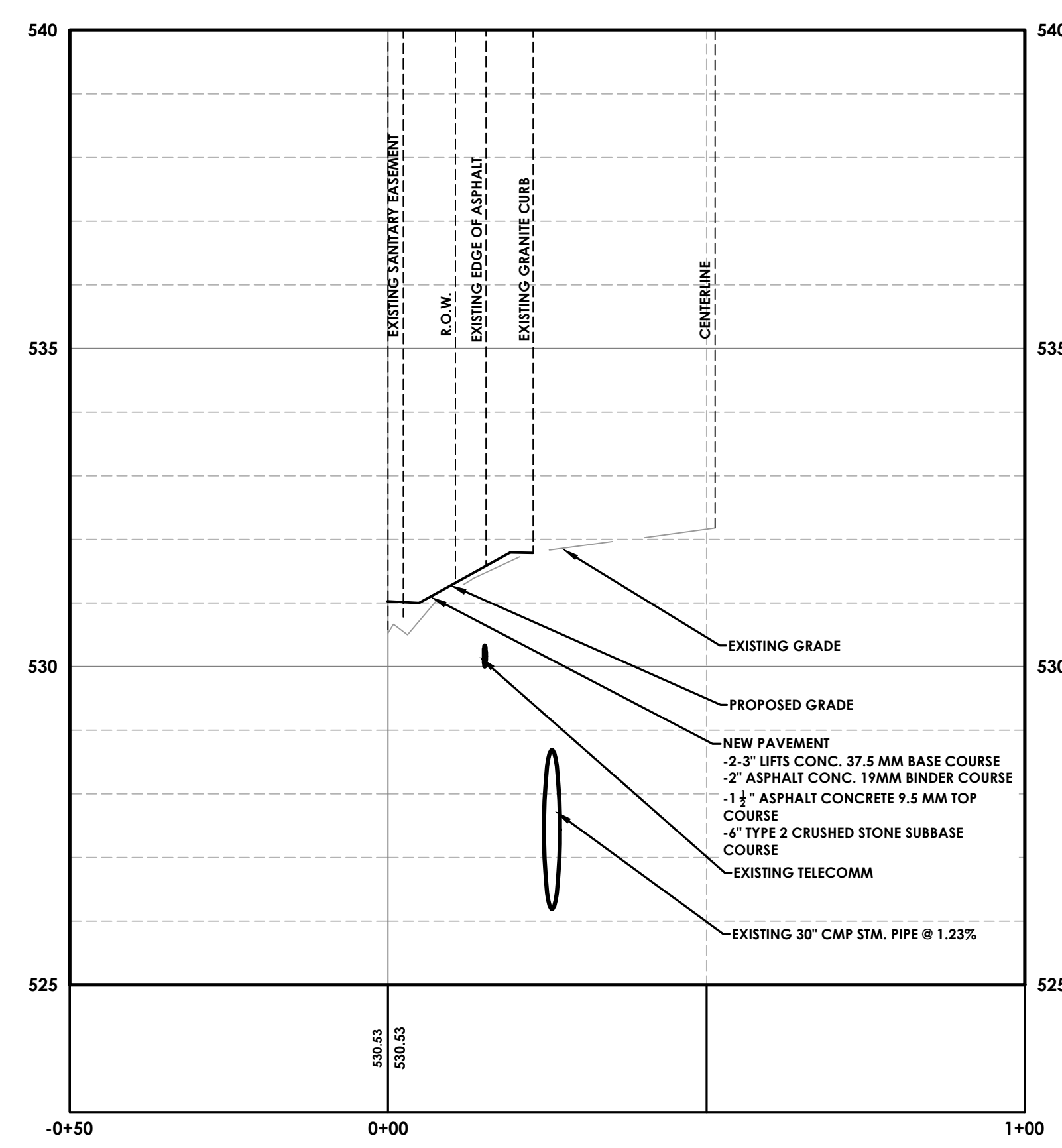
Y:\PROJECTS-NEW\2021\2021188\2021188_0001_01_CAD_BIM_MODELS\CIVIL\2021188_0001_MCDOT_PLAN.DWG 1/17/2024 9:08 AM Joshua Saxton



CALKINS ROAD COUNTY ROAD 39 (49.5' R.O.W.)



MUTCD SIGN DIMENSIONS
N.T.S.
*ALL GROUND MOUNTED SIGNS MUST UTILIZE 3M HIP SIGN SHEETING



CALKINS ROAD PROFILE
SCALE: HORIZONTAL - 1" = 20'
VERTICAL - 1" = 5'

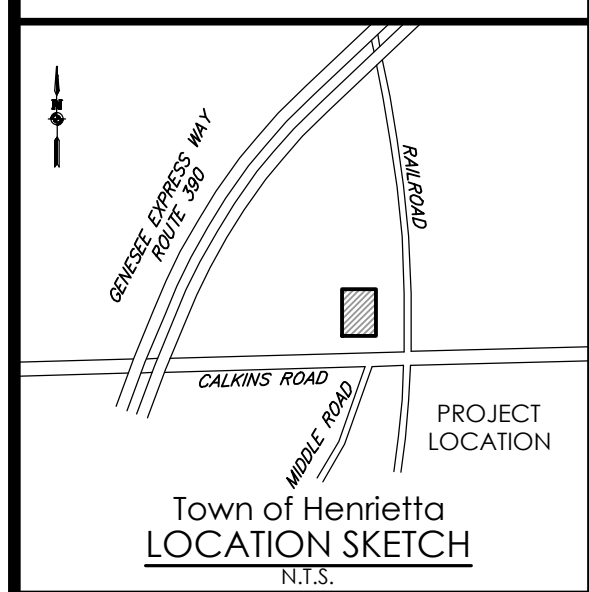
SIGHT DISTANCE (CALKINS ROAD)	
POSTED LIMIT = 35 MPH	
DISTANCE RIGHT = 650' (REQ'D 335')	
DISTANCE LEFT = 520' (REQ'D 390')	

- MCDOT NOTES**
- AFTER MCDOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
 - ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY.
 - HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE OWNER WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE MONROE COUNTY DIRECTOR OF TRANSPORTATION.
 - ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DETAILS IN EFFECT WHEN INSTALLED.
 - AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR TO MCDOT, UPON PROJECT COMPLETION.

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____
DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS



Client: _____

PASSERO ASSOCIATES
242 West Main Street Suite 100 (585) 325-1000
Rochester, New York 14614 Fax: (585) 325-1691

Principal-in-Charge: Jess Sudol, PE
Project Manager: David Cox, PE
Designed by: Joshua Saxton, EIT



Revisions			
No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	JS	PRE-BID ADDENDA 2

MCDOT PLAN

CHS MOBILE EXPANSION

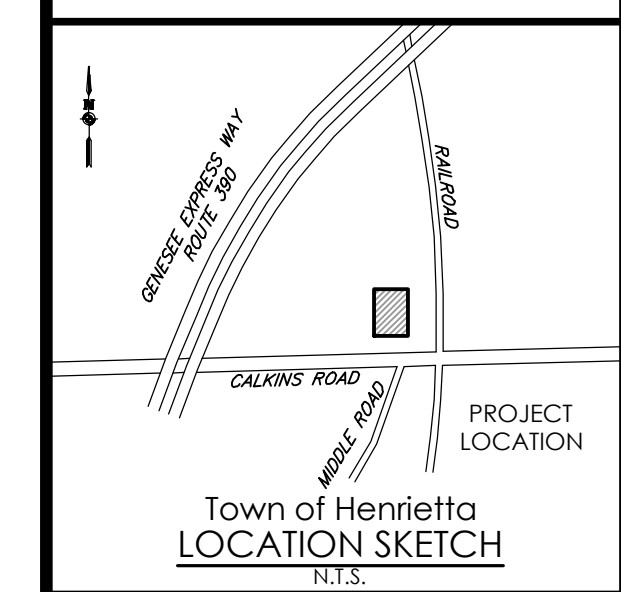
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No: **20213188.0001**

Drawing No. C 202	Sheet No. 8
--------------------------	--------------------

Scale: **N.T.S.**

Date: **JUNE, 2022**



Town of Henrietta
LOCATION SKETCH
N.T.S.

Client:

PASSERO ASSOCIATES

242 West Main Street Suite 100 (585) 325-1000
Rochester, New York 14614 Fax: (585) 325-1691
Principal-in-Charge: Jess Sudol, PE
Project Manager: David Cox, PE
Designed by: Joshua Saxton, EIT



Revisions			
No.	Date	By	Description
1	11/16/21	BM	PER TOWN COMMENTS
2	12/1/21	BM	PER MCDOT COMMENTS
3	10/27/22	ADS	PRE-BID ADDENDA 2

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MCDOT DETAILS

CHS MOBILE EXPANSION

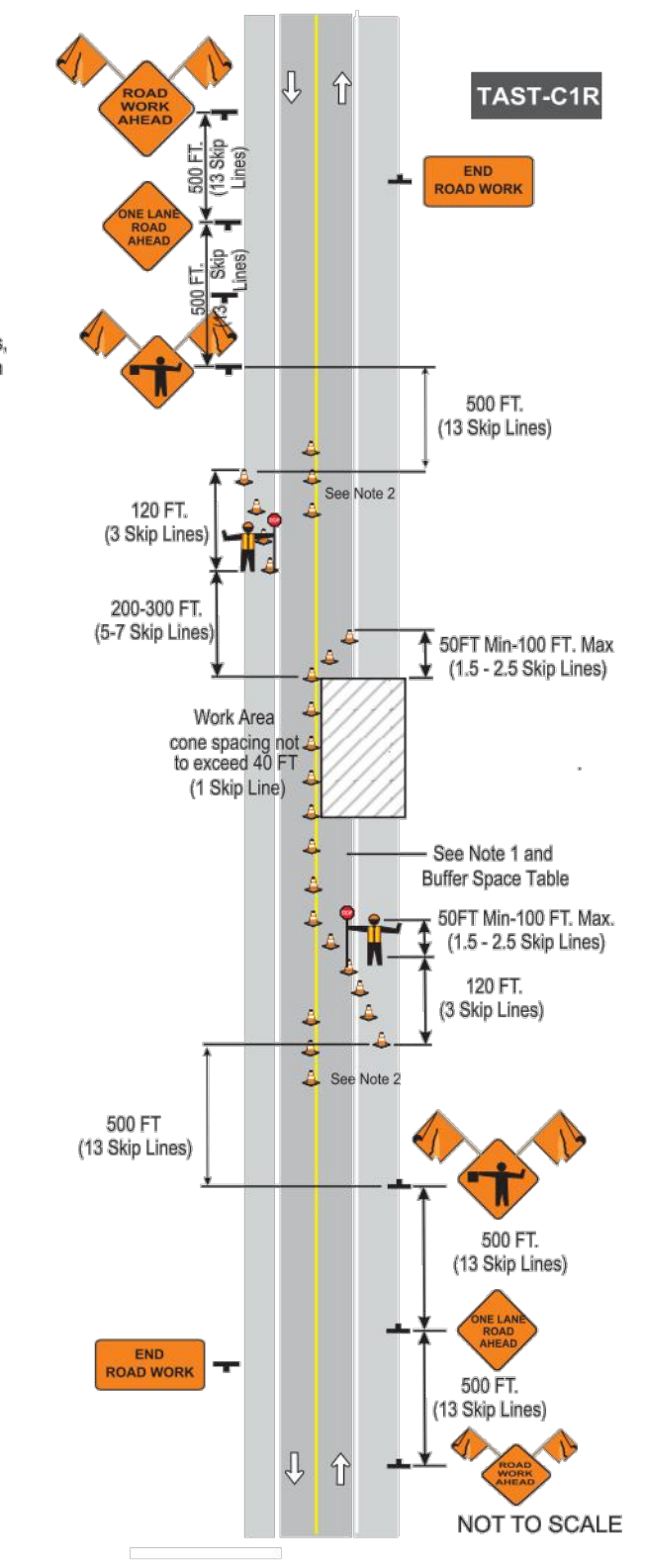
Town/City: HENRIETTA
County: MONROE State: NEW YORK

Project No:
20213188.0001

Drawing No. Sheet No.
C 203 9

Scale:
N.T.S.

Date:
JUNE, 2022

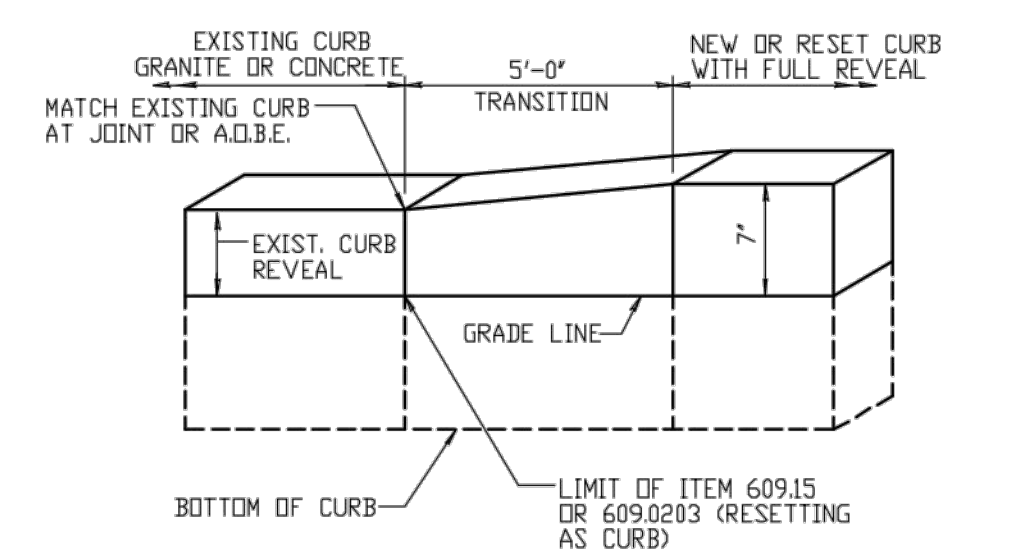


RURAL HIGHWAY

Notes:
1. Barrier vehicles are not required for flagging operations. A buffer space may be provided where traffic conditions allow.
2. Centerline cones are optional, and when used place them 100 FT (Min.) from flagger. Cone spacing not to exceed 80 FT (2 Skip Lines).
3. Flagger Symbol Sign (W20-7) and 'ONE LANE ROAD AHEAD' Sign (W20-4) shall be removed, covered or turned away from road users when flagging operations are not occurring.
4. Should the traffic queue up prior to the advance warning signs, the 'BE PREPARED TO STOP' sign can be added to the sign series and shall be moved to a location prior to the queued traffic.

Speed Limit	Buffer Space
30	200' (3 Skip Lines)
35	250' (~8 Skip Lines)
40	300' (~8 Skip Lines)
45	350' (9 Skip Lines)
50	425' (~11 Skip Lines)
55	495' (~13 Skip Lines)

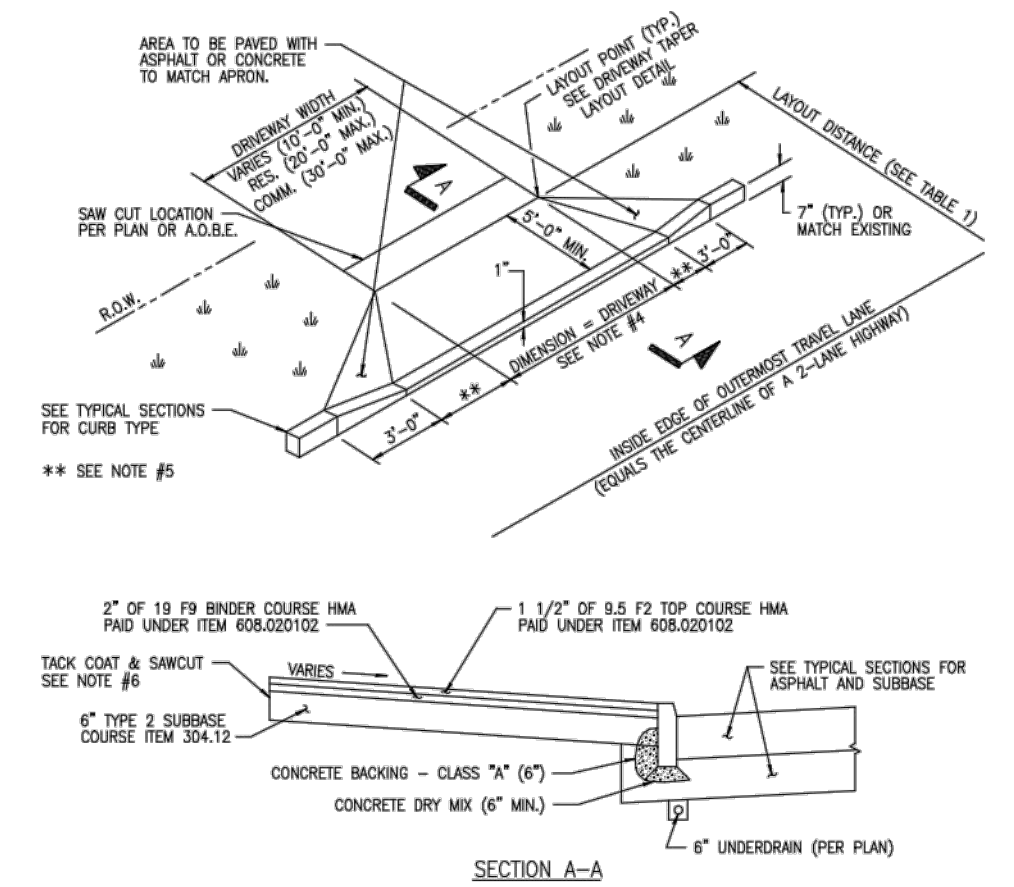
WORK ZONE TRAFFIC CONTROL
SHORT-TERM STATIONARY OPERATION INVOLVING DAYTIME LANE CLOSURE WITH FLAGGERS ON RURAL TWO-LANE, TWO-WAY CONVENTIONAL HIGHWAY
NOVEMBER 2019 TAST-C1R



GRANITE CURB TRANSITION (SIDE STREETS WITH CURBS AND MAJOR DRIVEWAYS)

NOT TO SCALE

2/14/03
REVISED

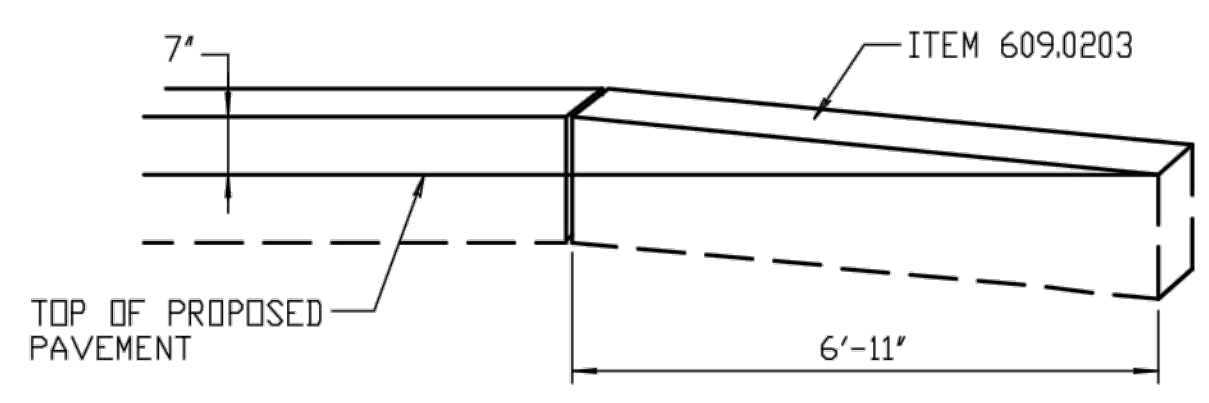


- NOTES:
1. TOPSOIL AND SEED ALL DISTURBED AREAS WITH TOPSOIL ITEM NO. 613.0101 AND SEED ITEM 610.02020040.
2. EXPANSION JOINT MATERIAL TO BE PLACED A.D.B.E.
3. WIDTH OF DRIVEWAY APRONS AT THE LAYOUT POINT SHALL MATCH EXISTING WIDTH.
4. SEE DRIVEWAY RESTORATION TABLE FOR DROP CURB LENGTH.
5. TO BE DETERMINED BY TAPER METHOD OF LAYOUT.
6. COST FOR SAWCUTTING DRIVEWAY AND TACK COAT SHALL BE INCLUDED IN THE PRICE BID FOR ITEM 608.020102.
7. CURB SECTION SHOWN, GUTTER SECTION SIMILAR. HIGHWAY EDGE OF PAVEMENT (CURB FACE) EQUALS BACK EDGE OF PROPOSED GUTTER. TIP-UP SECTION IS APPLICABLE ONLY WITH CURBING.

DRIVEWAY APRON WITH GRANITE CURB INSTALLATION

NOT TO SCALE

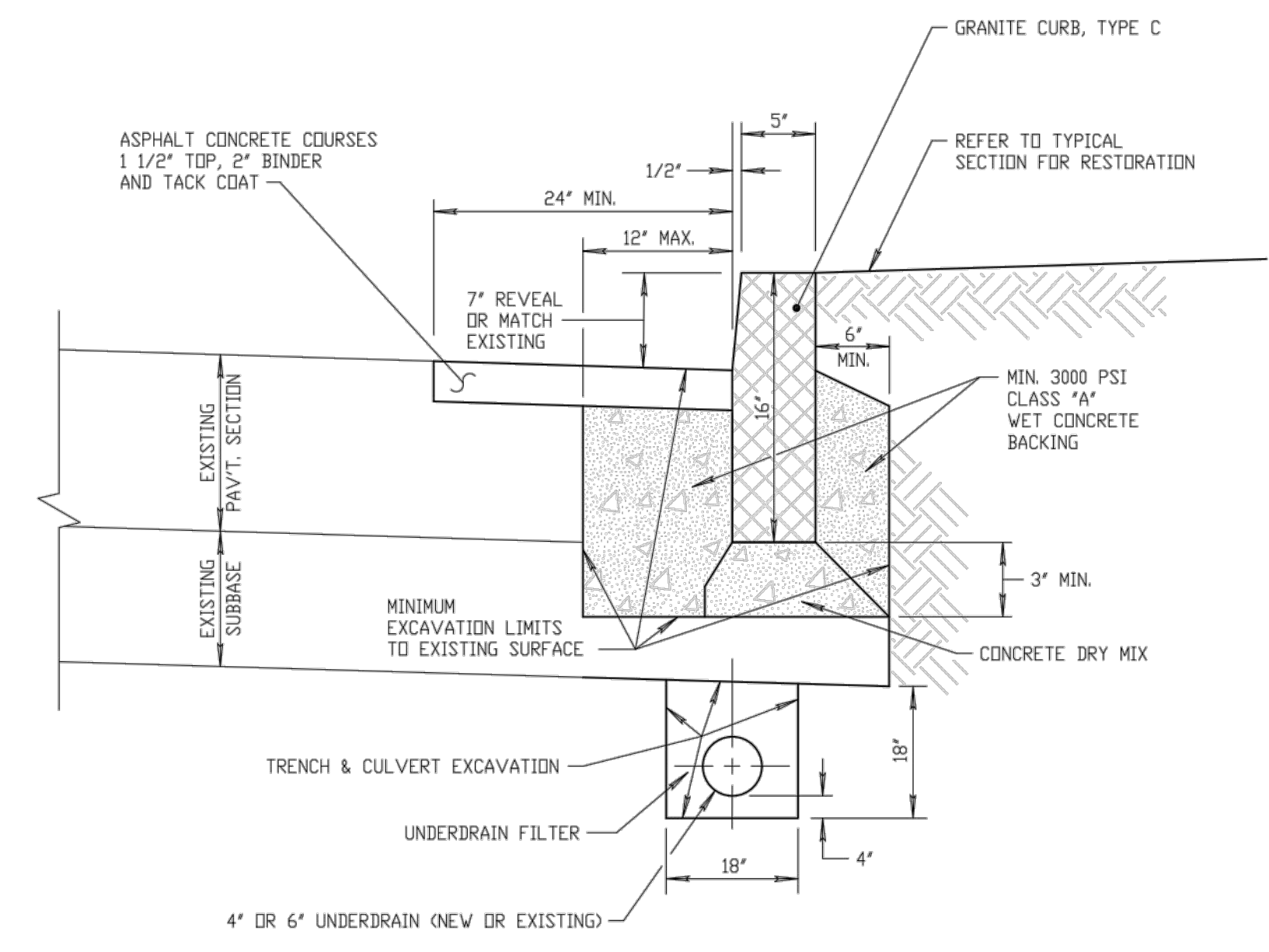
12/13/18
REVISED



GRANITE CURB TERMINATION

NOT TO SCALE

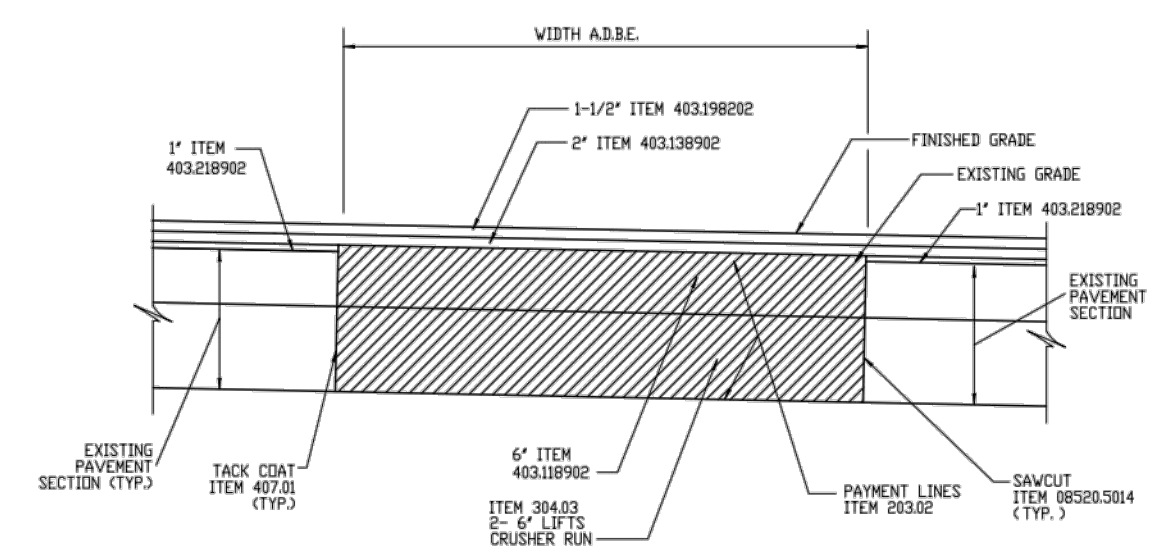
3/1/06
REVISED



GRANITE CURB REPLACEMENT WITH PERFORATED UNDERDRAIN

NOT TO SCALE

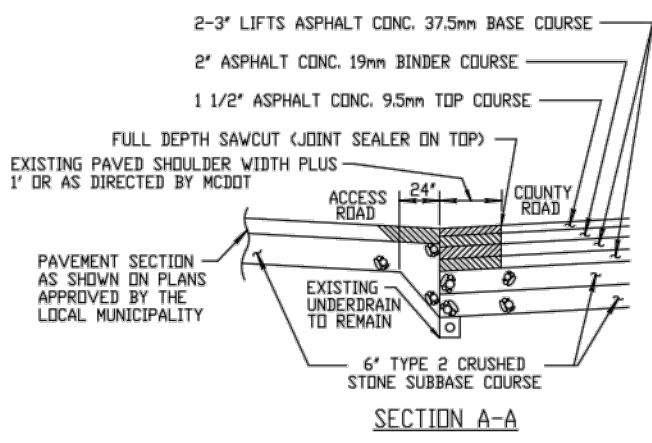
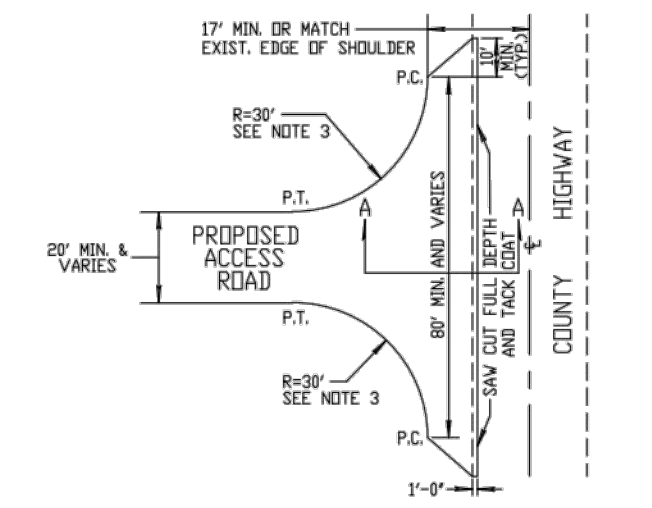
9/25/14
REVISED



- NOTES:
1. FINAL LOCATIONS AND DIMENSIONS OF FULL DEPTH REPLACEMENT AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER PRIOR TO THE PLACEMENT OF THE TRIMMING AND LEVELING COURSE. (ITEM 403.289902).

TRENCH REPLACEMENT - FULL DEPTH WITH ASPHALT OVERLAY

NOT TO SCALE

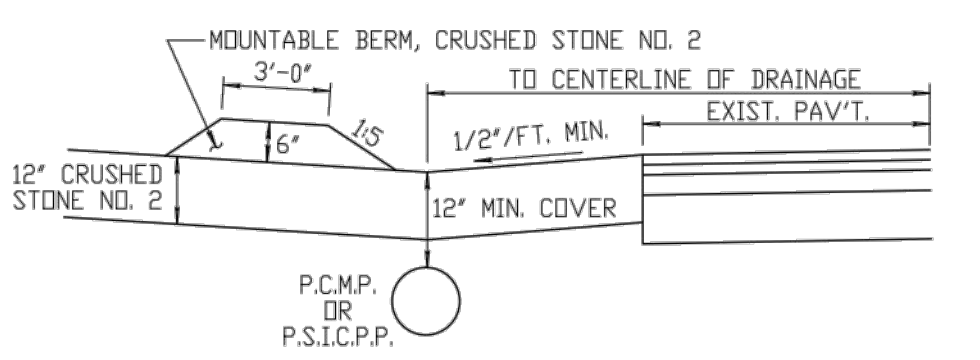
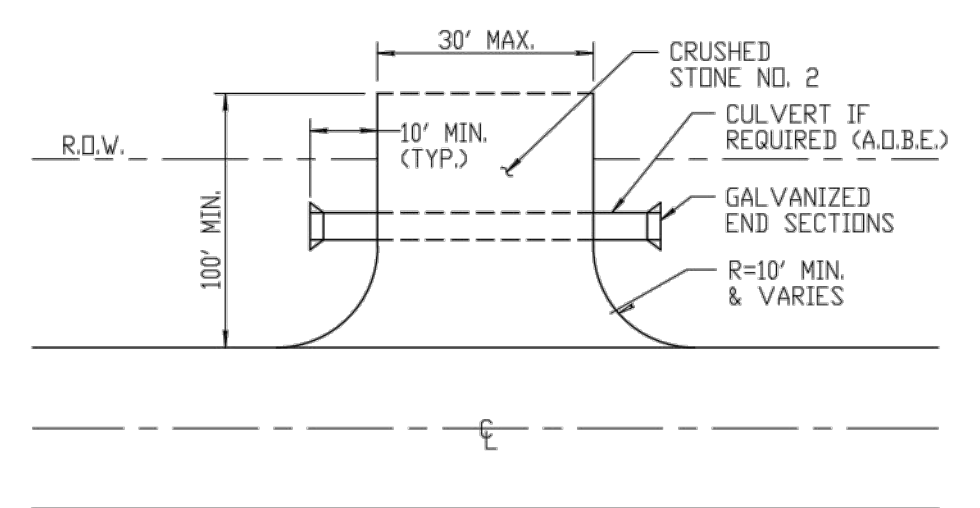


- NOTES:
1. ALL ACCESS ROADS SHALL MEET THE COUNTY HIGHWAY AT A RIGHT ANGLE (90°), UNLESS OTHERWISE AUTHORIZED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS OR DESIGNEE.
2. RIGHT-OF-WAY WIDTH VARIES.
3. RADIUS MAY VARY DEPENDING ON PROPOSED VEHICLE USAGE FOR ACCESS ROAD.

ACCESS ROAD CONNECTION WITHOUT CURB OR GUTTER TO A COUNTY HIGHWAY WITH SHOULDER

NOT TO SCALE

REVISED 4/27/2021



- NOTES:
1. PERFORATED CULVERT PIPE MUST BE EITHER CORRUGATED METAL PIPE (16 GAUGE) OR SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE. SIZE TO BE DETERMINED BY THE ENGINEER.
2. THE EXISTING DRAINAGE DITCH MUST BE CLEANED AND GRADED TO DRAIN ACROSS THE ENTIRE HIGHWAY FRONTAGE.
3. THE PLACEMENT OF THE CULVERT IS DETERMINED BY THE LINE, GRADE AND OFFSET OF THE EXISTING DITCH AND ADJACENT DRIVEWAY CULVERTS.
4. THE HIGHWAY MUST BE KEPT CLEAN OF MUD, DIRT AND OTHER DEBRIS AT ALL TIMES.
5. ALL TOPSOIL AND/OR MUD MUST BE REMOVED FROM THE ACCESS PRIOR TO PLACEMENT OF THE CRUSHED STONE FOR ACCESS.
6. WHENEVER CRUSHED STONE SURFACE BECOMES PLUGGED WITH SEDIMENT, A MINIMUM OF 4\"/>

TEMPORARY CONSTRUCTION ACCESS

NOT TO SCALE

5/14/14
REVISED