

April 17, 2024

Town of Henrietta
Attn: Chairman Grunert/Planning Board
475 Calkins Road
Henrietta, NY 14467

RE: Starbucks- Planning Board – Site Plan Submission

Dear Chairman Grunert & Planning Board Members:

On behalf of our client, FSI Construction, we respectfully request to be placed on the May 21, 2024, Planning Board Agenda for a Site Plan Preliminary / Final review of the proposed Starbucks at 1100 Jefferson Road.

The existing site is currently developed with parking that services the existing plaza. A portion of the parking lot area is to be redeveloped to accommodate a proposed ± 1650 SF Starbucks coffee shop with drive thru. The proposed design will accommodate the necessary parking for the proposed use, while reducing the impervious area and increasing landscape and greenspace on the site through the incorporation of new grass islands. The proposed business will operate during or about the hours of 5:30 a.m. to 8:00 p.m.

In addition to the development of the Starbucks restaurant, modifications to the main entrance boulevard off of Jefferson Road will be incorporated to improve the existing functionality of the plaza. This work will realign the intersection in the plaza to create a more traditional four-way intersection which will improve its safety and functionality for motorists.

A parking study was also conducted for this plaza to confirm that the amount of parking reduced as a part of the development will not negatively impact the existing businesses in the plaza. It was found the plaza has sufficient parking even with the reduced parking. A copy of the parking study has been included for review, but please note the report was supplied to the town on April 7th 2023,

This project was also granted its special use permit for restaurant use on March 7th 2024 from the Henrietta Town Board for:

- Sit Down meal Service
- Take Out meal Service
- Outdoor Seating
- Drive thru Service

In support of our request, attached please find:

- (1) Letter of Intent
- (1) Application Form and Statement of Applicant & Owner w/Respect of Professional & Consulting Fees
- (14) Site Plans
- (1) Letter of Authorization
- (1) Site Plan Checklist
- (1) Short Form EAF
- (1) Check for \$150.00 (Application Fee) & (1) check for \$700 (Engineering Review Fee)
- (1) Electronic Copy -drawings@henreitta.org

Please forward any questions to the email below in regard to this application:
jsaxton@passero.com.

Sincerely,



Joshua Saxton, EIT
Project Manager

JS:paf

CC: File
FSI Construction



TOWN OF HENRIETTA Site Plan Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: _____

I (we) Frank Imburgia/Team FSI of 2213 Brighton Henrietta TL Road
Name of Applicant / Business Business Address (Number & Street)

Rochester, NY 14623 hereby apply to the Planning Board for
Town, State, Zip

Site Plan Review OR Other: _____

on property located at 1100 Jefferson Road Commercial B-1 | 162.060-1-007
(Street & Number) (Zoning District & Tax Account No.)

Previous Reviews, if any, Date: _____ Number: _____

DESCRIPTION OF PROPOSAL: _____

The development of a 1, 250 Sq Ft Starbucks with drive-through service and associated parking. The development is located in an existing parking lot for the Plaza at 1100 Jefferson Road.

Applicant: Team FSI/Frank Imburgia
Address: 2213 Brighton Henrietta TL Rd
Rochester, NY 14623

Phone #: [REDACTED]
Email: [REDACTED]

Engineer/Architect: Passero Associates| Josh Saxton
Address: 242 W. Main St. S100
Rochester, NY 14614

Phone #: 585.325.1000
Email: jsaxton@passero.com

Property Owner: 1100 Jefferson Partners LLC
Address: 2213 Brighton Henrietta TL Rd
Rochester, NY 14623

Phone #: [REDACTED]
Email: [REDACTED]

Business Owner: Starbucks
Address: 2401 Utah Ave.
Seattle, WA 98134

Phone #: [REDACTED]
Email: _____

Applicant Signature:

Print Name: Frank Imburgia

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant/Business Owner: Team FSI/Frank Imburgia

By: Frank Imburgia

Title: Member / Manager

Dated: 2-13-2024

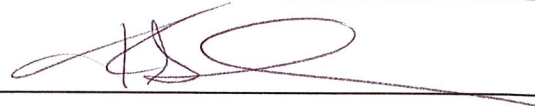
Signed: 

Property Owner: 1100 Jefferson Partners, LLC

By: Frank Imburgia

Title: Member / Manager

Dated: 2-13-2024

Signed: 

February 12, 2024

Planning Board
Town of Henrietta

Re: 1100 Jefferson Road - Starbucks

To whom it may concern:

I, Frank Imburgia, owner/manager/applicant (FSI) of subject property at 1100 Jefferson Road, Rochester, NY 14623 (TA# 162.060-1-007), give permission and consent to 1100 Jefferson Partners, LLC and Passero Associates to make the necessary applications and presentations to all Town Boards (Town, Planning & Zoning), Permits and Approvals on my behalf for the above project.

Thank you.

Signature: _____



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)			
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):			
<input type="checkbox"/> Parkland			

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: <u><i>Justin Switzer</i></u> Title: _____		



SITE PLAN CHECKLIST

PROJECT NAME: Starbucks 1100 Jefferson

APPLICATION No. _____

- 1 Acceptable plans size to match the New York State Legal Filing Size (22" x 34"), prepared with india ink on mylar.
- 2 Except in the simplest form of site plan application, the proposal package should contain at least the following drawings:
 - a. Site Plan
 - b. Utility Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Lighting Plan
 - f. Profiles and Construction Details
 - g. Building Elevations
- 3 The Title Block should contain the following:
 - a. Proposed Name of Development
 - b. Location of Development
 - c. Name, Address, and Telephone Number of Developer or Applicant
 - d. Name, Address, and Seal of Engineer, Architect, and/or Land Surveyor
- 4 Show General Location Map (sketch). North should be located at the top of the drawing.
- 5 A scale of not more than fifty feet to the inch is to be used.
- 6 Show names and tax account numbers of adjacent lands.
- 7 Indicate zoning by note. If more than one area, delineate the zoning on the plan view.
- 8 By plan note, list all variances and special permits accompanied by Application Number and approval date.
- 9 Show dimensions and bearings or angles of all property boundary lines. Show area to nearest square foot and 0.00+ acres
- 10 Show a tie distance from the proposed site to nearest road intersection
- 11 Show location width and type of all existing and/or proposed easements on the plan. Also, tabulate all of the easements on the plan and key by identifying numbers.



SITE PLAN CHECKLIST

PROJECT NAME: Starbucks 1100 Jefferson

APPLICATION No. _____

- 12 All State, County, and Town Survey Monuments on the site and within 100 feet of the site must be shown. Indicate on the plan the proposed protection from damage for the "on site" monuments. If no monuments exist on the site, a certification to that affect shall be placed on the plan by the surveyor.
- 13 A Letter of Credit in the amount of \$1,000.00 per monument will be required as protective measure for all Town, County, State, and Federal Monuments on site or those affected by the proposed construction.
- 14 List the names of existing streets, their legal width, and jurisdiction.
- 15 Show all existing driveways (curb cuts) within two hundred (200) feet of the proposed development as well as driveways (curb cuts) within two hundred (200) feet on the opposite side of the road.
- 16 Show planned use for the proposed structure (i.e. office etc).
- 17 Show proposed and/or existing setbacks.
- 18 Show parking requirements (indicate the proposed and required).
- 19 Show the fire lanes.
- 20 The Landscaping Plan must be of the same scale as the Site Plan and contain the following minimums:
 - a. To scale plot of proposed trees and/or shrubs
 - b. The plan must contain a table of quantities. *See Appendix for proper requirements.*
 - c. Enlargement details for areas of proposal that are not legible at the plan scale.
 - d. The Planning Board requires that the Landscape Plan be signed off by a Licensed Landscape Architect or Certified Nursery Professional.
 - e. The Planning Board may also require that the proposed landscape be installed by a Certified New York State Nurseryman.
 - f. The Planning Board may require a Letter of Credit in the amount of the Landscape Contract and that the Letter of Credit be for a two year period to guarantee growth.
 - g. The Planning Board may also require that a Landscape Record Drawing, certified by a Licensed Archited, be provided. (Note: a Letter of Credit will be required to insure completion.)
- 21 All architecture plans must include elevation drawings of the proposed structure and be fully dimensioned, horizontally and vertically.



SITE PLAN CHECKLIST

PROJECT NAME: Starbucks 1100 Jefferson

APPLICATION No. _____

- 22 Indicate the architectural treatment of the proposed and/or existing buildings, including the type and color of the proposed finish materials. All proposed buildings should have a masonry front (road view) elevation. Renovation to existing buildings will be evaluated on an individual basis.
- 23 Please plan to bring samples of the proposed architectural materials to the meeting.
- 24 The following statement should appear on all Site Plans:
"As an integral part of this approval, the Planning Board expressly approves the color, textures, and finish of the building as depicted on site elevations or other documents submitted with this application. Any proposed change in color, texture, or finish of the building, from that approved by the Planning Board shall require a re-application for review and approval of the Planning Board."
- 25 A separate Lighting Plan will be provided showing the proposed lighting to the nearest candle power, as measured at ground level. See Appendix.
- 26 Indicate existing and/or proposed lighting locations, including height, type, and wattage. The Planning Board may require that a Lighting Record Plan certified by a Professional Engineer be supplied.
- 27 Show existing and proposed contours based on U.S.C. & G.S. Datum. Reference source of datum and show plan benchmarks. All contours shall be carried a minimum of one hundred (100) feet offsite.
- 28 Show existing drainage system and proposed drainage system. Storm drainage to offsite facilities must be shown on plan and profile to the satisfaction of the Town Engineering Department.
- 29 If the parking lot is to be used for stormwater detention, limits of this area are to be indicated on the site and grading plans.
- 30 Show wetland and buffer zone limits (when applicable).
- 31 Show floodplain and floodway limits (when applicable).
- 32 In plan and profile, show location, size, rim elevations, and all invert elevations of the existing sanitary sewers. Include the nearest manhole on either side of the proposed development.
- 33 In plan and profile, show location of the proposed sanitary sewer systems including sewer systems including proposed laterals (plan only). Include all proposed elevations, grades, pipe



SITE PLAN CHECKLIST

PROJECT NAME: Starbucks 1100 Jefferson

APPLICATION No. _____

sizes, and details of any water crossings.

- 34 Show location and size of proposed water services and/or watermains including shutoff valves.
- 35 Show location of fire protection systems components.
- 36 Show location of dumpster (when applicable). All dumpsters must be enclosed in a masonry enclosure on three side with a gate on the fourth and shall be finished to match the proposed or existing structure. The closure should not be visible to the public.
- 37 Indicate a curbed landscape mall with a minimum width of twenty (20) feet as required in commercial lands and industrial lands granted commercial use by special permit. Full depth cast-in-place concrete curb or granite curb must be installed.
- 38 The Site Plan must be prepared from a current Instrument Survey (less than 12 months old). The Instrument Survey shall be certified as having been prepared using the current New York State Association of Professional Land Surveyors (NYSAPLS) Code of Practice and the Genesee Valley Land Surveyors Association - Monroe County Bar Association (GVLSA-MCBA) Standards. Credit the Instrument Survey and supply four copies of the map the Town Engineer.
- 39 If the site contains materials to be buried on site, the Burial Area should be outlined on the Site and Grading Plan.
- 40 Site distance, existing and required, must be shown at driveway locations on all main roads. See Appendix.
- 41 Upon Site Plan Approval, a Letter of Credit shall be furnished to ensure site plan improvements and requirements. See Appendix.
- 42 Required supporting data and/or Reports:
 - a. Environmental Assessment Form (one copy)
(Short Form or Part I Long Form)
 - b. Drainage Report (two copies)
 - c. Traffic Report if required (twelve copies)
 - d. Lighting catalog cuts (copy with each set of plans)
 - e. Architectural Renderings
 - f. Letter of Credit Estimate (one copy).
 - g. Engineering Review Charge and Engineering Site Inspection Charge Form.



SITE PLAN CHECKLIST

PROJECT NAME: Starbucks 1100 Jefferson

APPLICATION No. _____

See Appendix.

- 43 Thirty (30) sets of folded plans will be required
- 44 Is this project a TYPE I Action? If so, then an additional seven (7) sets of plans will be required for the Coordinated Review process (37 sets of plans total).

Prepared for: _____
Name of Developer

_____ Date

Company Name

Street Address

City, State, Zip





SITE PLAN CHECKLIST

PROJECT NAME: Starbucks 1100 Jefferson

APPLICATION No. _____

Telephone Number

Prepared by: _____
Name of Consultant

_____ Date

Company Name

Street Address

City, State, Zip

Telephone Number

SITE PLAN CHECKLIST APPENDIX

- 1 Landscape Table
- 2 Sight Distance Table
- 3 Short Environmental Form
- 4 Letter of Credit Summary
- 5 Plan Review Charge and Site Inspection Charge Form Letter
- 6 Engineering Review Charge and Engineering Site Inspection Charge Form
- 7 Sample Lighting Plan

LANDSCAPE TABLE

- 1 The Landscape Table must include identification symbol, quantities, common name, botanical name, caliper for deciduous trees, or heights for evergreen trees, and a remarks column.
- 2 All deciduous trees must be a minimum of 3 inches to 3 1/2 inches in diameter, as measured at caliper (6 inches above ground).
- 3 All ornamental deciduous trees must be a minimum of 2 1/2 inches to 3 inches in diameter, as measured at caliper (6 inches above ground).
- 4 All evergreen trees must be a minimum height of 6 feet to 8 feet, unless otherwise requested, bagged and balled.
- 5 Low shrubs should be a minimum of 24 inches high.
- 6 Along arterial and collector roads, the Planning Board requires the use of salt resistant species.

Application Number: _____

**Site Plan and Subdivision Application
Engineering Review Charges**

All Site Plan and Subdivision Applications are subject to be reviewed by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual _____
Responsible Firm _____
Street Address _____
City, State, Zip Code _____
Telephone Number XXXXXXXXXX _____

Engineering Site Inspection Charges

All Residential and Business Development are subject to be inspected by the Town Engineering Department and/or Consultant Forces. All costs incurred in providing this service are a direct charge to the Applicant or his designee. The responsible person and/or party in this matter shall be identified in the following listing:

Responsible Individual _____
Responsible Firm _____
Street Address _____
City, State, Zip Code _____
Telephone Number () _____

Note: When this information has been provided by another party, the following information needs to be provided:

Provided By _____
Address _____
City, State Zip _____
Telephone Number () _____

January 9, 2024

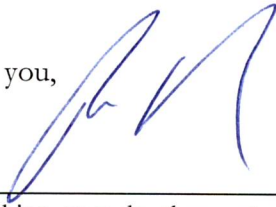
Town Planning and Zoning Departments
Town of Henrietta

Re: 1100 Jefferson Road – Starbucks

To whom it may concern:

I, David Shipe, store development manager for Starbucks Corporation, confirm we are pursuing a location at subject property, 1100 Jefferson Road, Rochester, NY 14623 (TA# 162.060-1-007). Passero Associates is authorized to make the necessary applications and presentations to all Town Boards (Planning & Zoning), Permits and Approvals on our behalf for the above project.

Thank you,



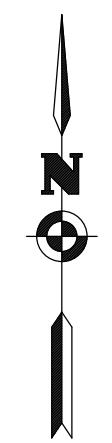
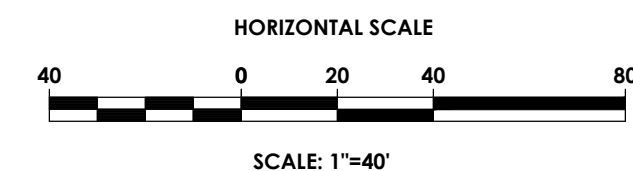
David Shipe, store development manager, Starbucks Corporation

SITE DEVELOPMENT PLANS FOR

JEFFERSON STARBUCKS

HENRIETTA, MONROE, NEW YORK

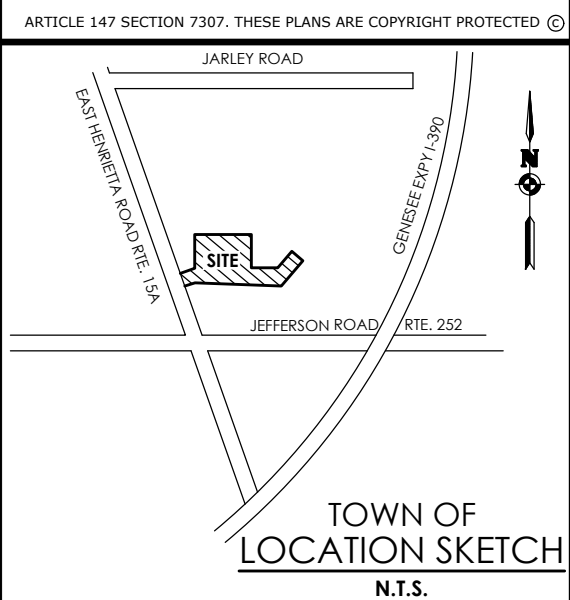
P.N. 20233509.0001



PA
 PASSERO ASSOCIATES
 engineering architecture

DRAWING INDEX

C 101	COVER
C 102	SITE PLAN
C 103	EXISTING CONDITIONS & DEMOLITION PLAN
C 104	UTILITY PLAN
C 105	GRADING PLAN
C 106	LANDSCAPE PLAN
C 107	LIGHTING PLAN
C 201-208	NOTES & DETAILS



Client:
 FSI
 2213 BRIGHTON HENRIETTA
 TOWN LINE ROAD
 ROCHESTER, NY 14623

PASSERO ASSOCIATES
 242 West Main Street Suite 100
 Rochester, New York 14614
 (585) 325-1000
 Fax: (585) 325-1691
 Principal-in-Charge: DAVID COX
 Project Manager: DAVID COX
 Designed by: JOSHUA SAXTON



Revisions

No.	Date	By	Description
1			

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

COVER
JEFFERSON STARBUCKS

Town/City: Henrietta
 County: Monroe State: New York

Project No.
20233509.0001

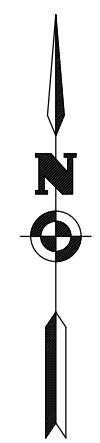
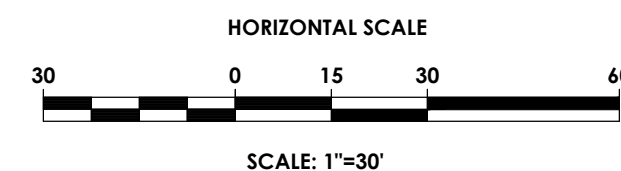
Drawing No.
C 101

Scale:
1" = 40'

Date
APRIL 2024

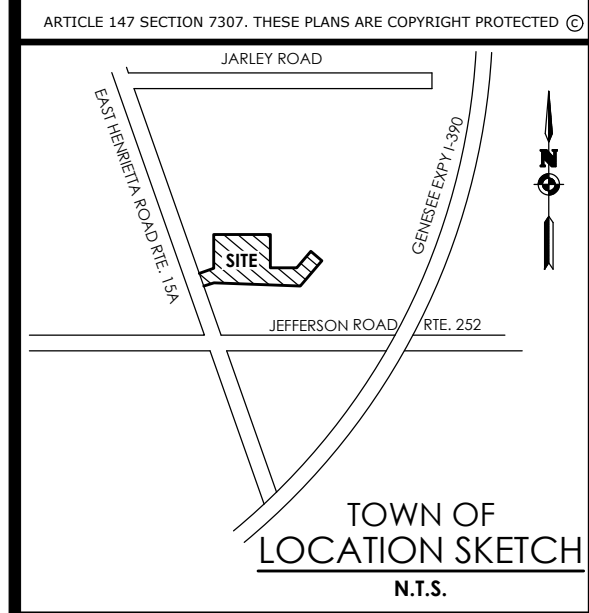
NOT FOR CONSTRUCTION





LEGEND - DEMO:

- PROPERTY BOUNDARY
- - - R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- SETBACK
- 520 EXISTING MAJOR CONTOUR
- 521 EXISTING MINOR CONTOUR
- CB EXISTING STORM SEWER & MH
- HYD EXISTING WATER SERVICE & VALVE
- WV EXISTING SIGN
- MH EXISTING SANITARY SEWER AND MANHOLE
- LP EXISTING ELECTRIC LINE & POLE
- MH EXIST. LIGHT POLE
- HH EXIST. ELECTRIC MANHOLE
- GV EXIST. GAS VALVE
- G EXIST. GAS MAIN
- W EXIST. WATER MAIN
- E EXIST. ELECTRIC LINE
- EXISTING FEATURE TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED



Client:
FSI
2213 BRIGHTON HENRIETTA
TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: **DAVID COX**
Project Manager: **DAVID COX**
Designed by: **JOSHUA SAXTON**

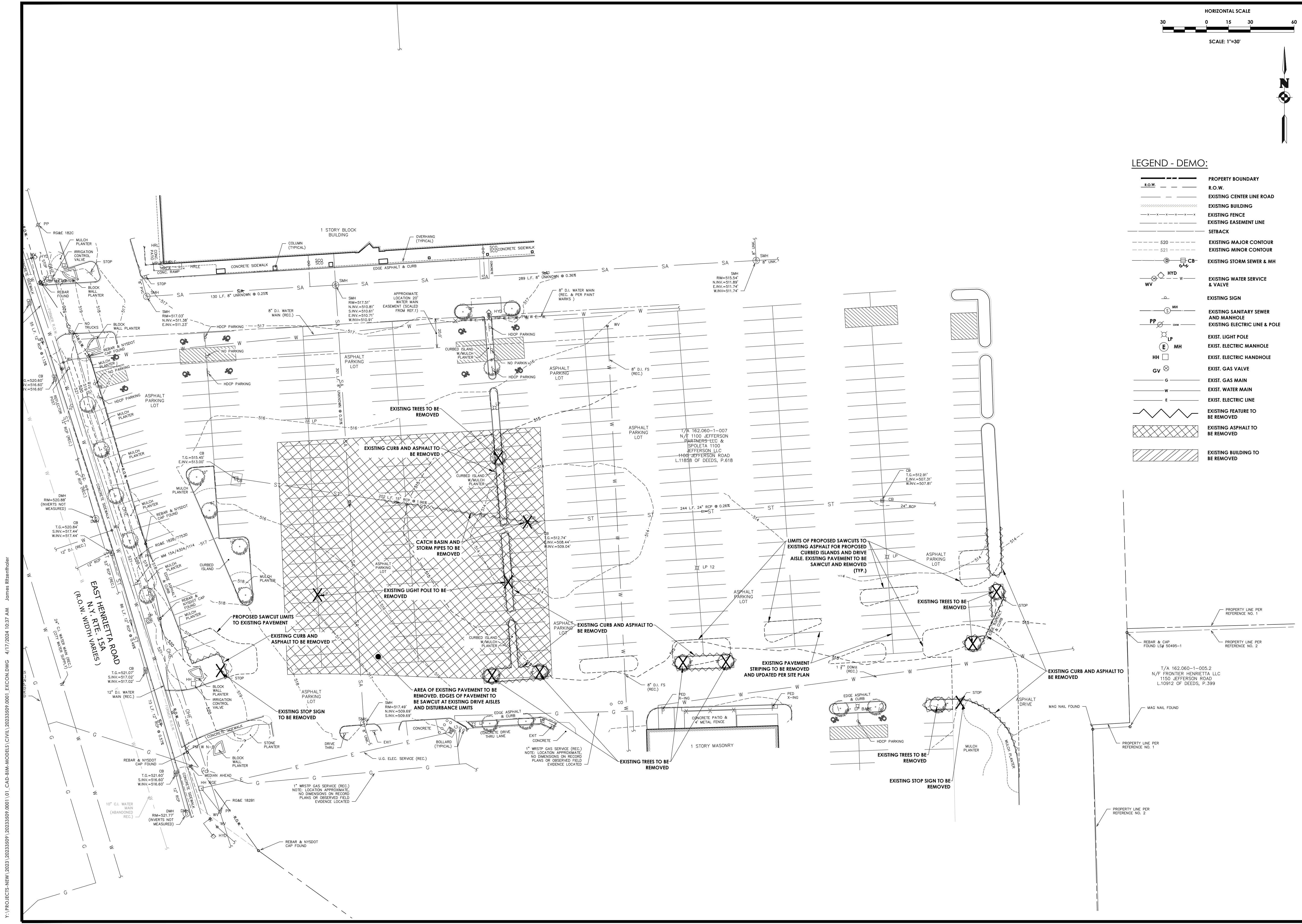


Revisions			
No.	Date	By	Description
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EXISTING CONDITIONS & DEMOLITION PLAN
JEFFERSON STARBUCKS

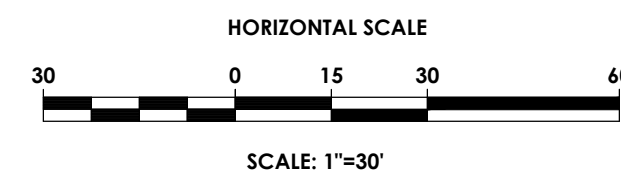
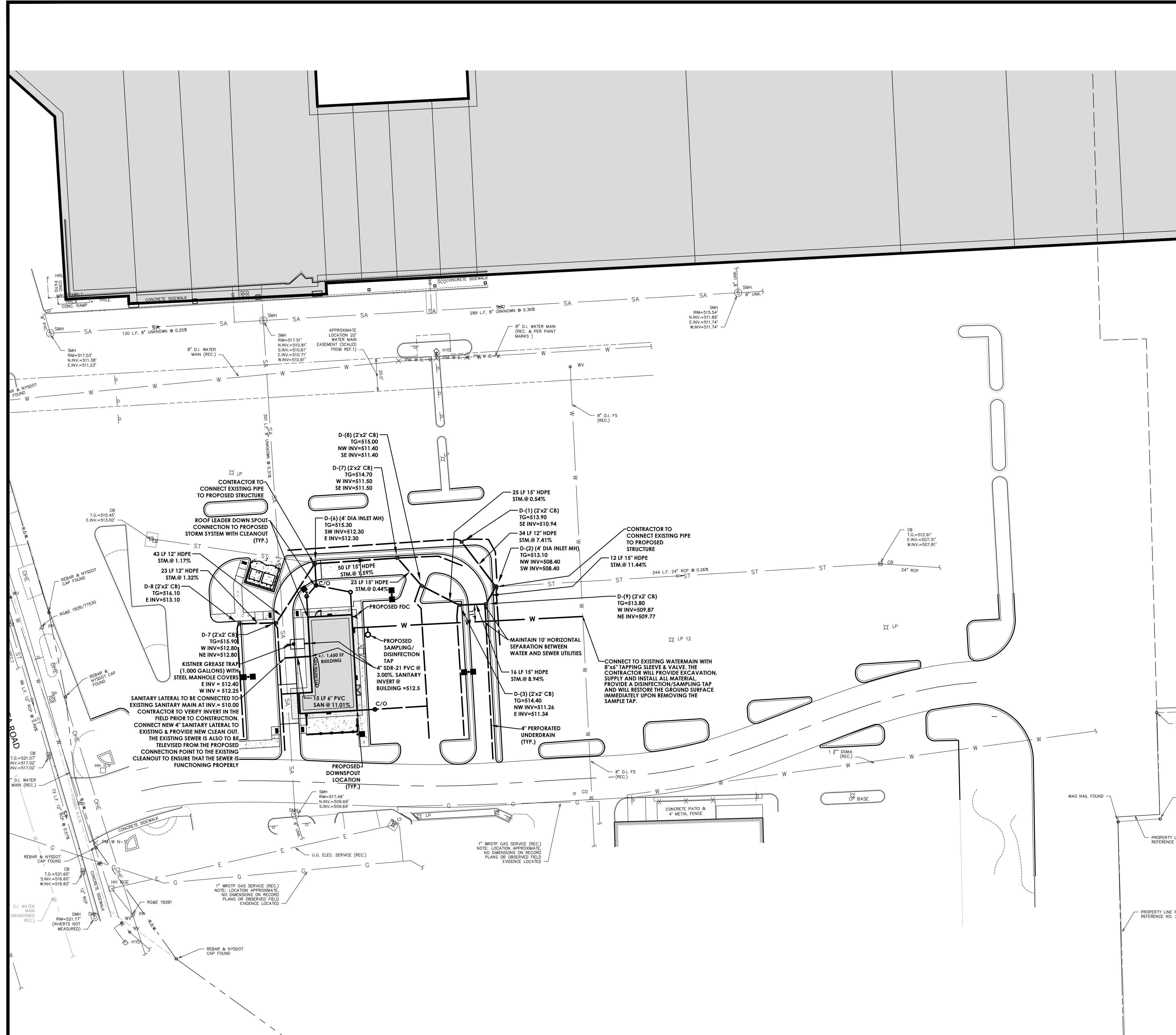
Town/City: Henrietta
County: Monroe State: New York
Project No.: **20233509.0001**
Drawing No.: **C 103**
Scale: **1" = 30'**
Date: **APRIL 2024**

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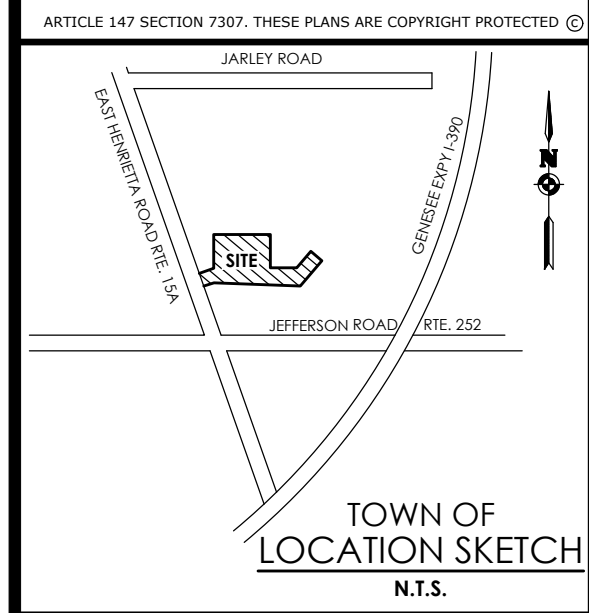


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- LEGEND - UTILITIES:**
- PROPERTY BOUNDARY
 - R.O.W.
 - EXISTING CENTER LINE ROAD
 - EXISTING BUILDING
 - EXISTING FENCE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED BUILDING
 - PROPOSED CONCRETE
 - PROPOSED SIGN
 - PROPOSED LIGHT
 - PROPOSED STORM SEWER, INLET MH, CB & END SECTION
 - EXISTING STORM SEWER & MH
 - PROPOSED WATER SERVICE W/ HYDRANT & VALVE
 - EXISTING WATER SERVICE & VALVE
 - PROPOSED SANITARY SEWER AND MANHOLE
 - PROPOSED SANITARY SEWER FORCEMAIN
 - EXISTING SANITARY SEWER AND MANHOLE
 - EXISTING ELECTRIC LINE & POLE
 - EXIST. LIGHT POLE
 - EXIST. ELECTRIC MANHOLE
 - EXIST. ELECTRIC HANDHOLE
 - EXIST. GAS VALVE
 - EXIST. GAS MAIN
 - EXIST. WATER MAIN
 - EXIST. ELECTRIC LINE
 - PROPOSED UNDERGROUND ELECTRIC



Client:
FSI
2213 BRIGHTON HENRIETTA
TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: DAVID COX
Project Manager: DAVID COX
Designed by: JOSHUA SAXTON



Revisions

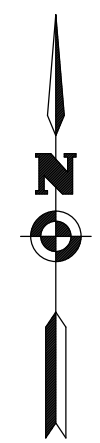
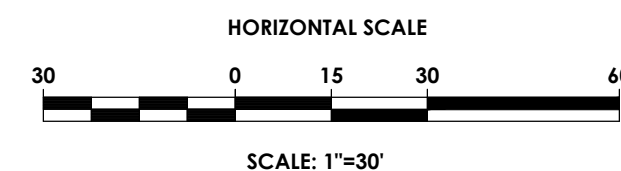
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UTILITY PLAN
JEFFERSON STARBUCKS

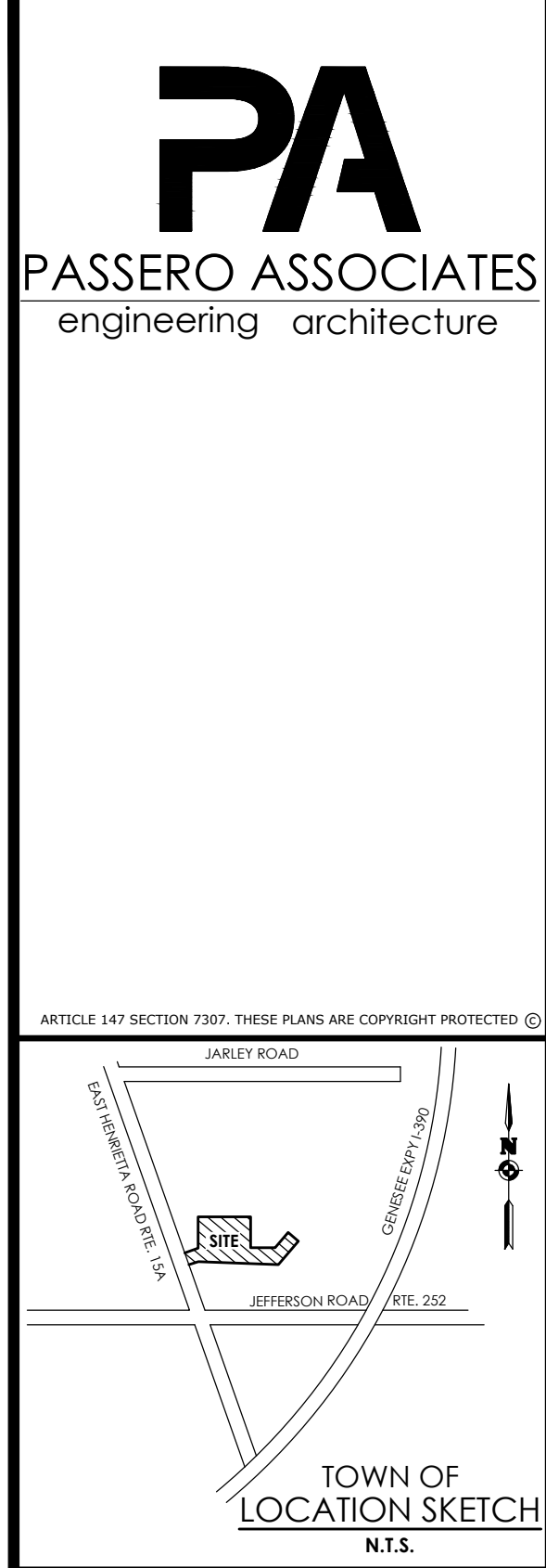
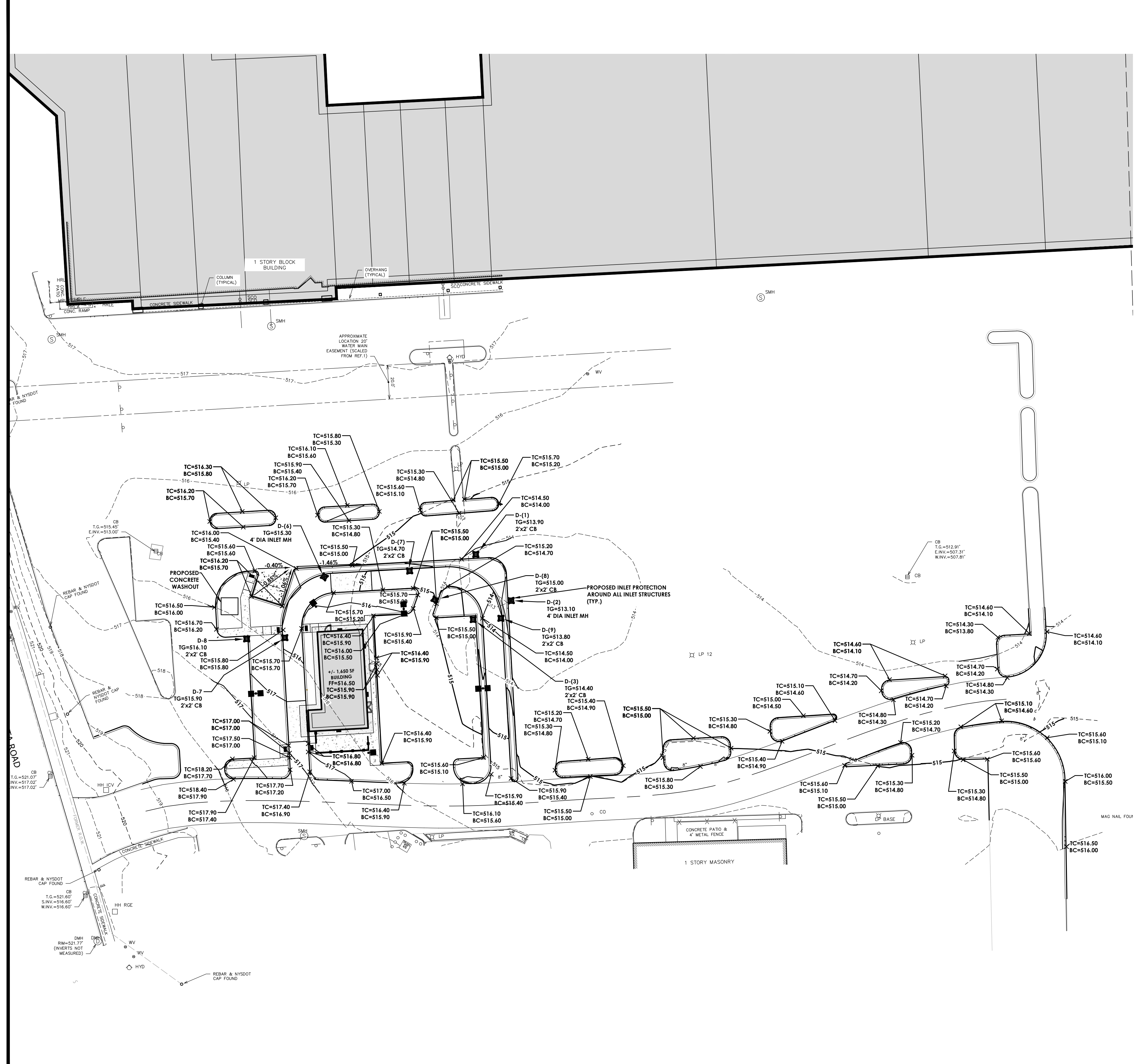
Town/City: Henrietta
County: Monroe State: New York
Project No.: 20233509.0001
Drawing No.: C 104
Scale: 1" = 30'
Date: APRIL 2024

NOT FOR CONSTRUCTION



LEGEND - GRADING:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SILT FENCE
- PROPOSED STORM SEWER, INLET
- MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SILT FENCE
- TC=492.9 BC=492.4
- X 492.7
- X 491.5
- TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R)
- *BOTTOM ELEVATIONS ARE TO EXPOSED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR FOUNDATION COURSE DESIGN UNDERGROUND AND SUBMIT TO CIVIL ENGINEER.
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION



Client:
FSI
 2213 BRIGHTON HENRIETTA
 TOWN LINE ROAD
 ROCHESTER, NY 14623

PASSERO ASSOCIATES
 242 West Main Street Suite 100
 Rochester, New York 14614
 Principal-in-Charge: **DAVID COX**
 Project Manager: **DAVID COX**
 Designed by: **JOSHUA SAXTON**



Revisions			
No.	Date	By	Description
1			

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GRADING PLAN
JEFFERSON STARBUCKS

Town/City: Henrietta
 County: Monroe State: New York
 Project No.: **20233509.0001**
 Drawing No.: **C 105**
 Scale: **1" = 30'**
 Date: **APRIL 2024**

NOT FOR CONSTRUCTION

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GENERAL NOTES:

- THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE AND MONROE COUNTY HEALTH DEPARTMENTS.
- WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY
- THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
- ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF THE UTILITY.
- ANY AND ALL CULVERT LOCATIONS, SIZES OR TYPES, TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
- ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF HENRIETTA DATED THE MOST CURRENT REVISION.

EROSION AND SEDIMENT CONTROL NOTES:

(OCTOBER 2017)

- IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYS DOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTORS INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTORS MODIFIED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.
- IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYS DOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN 'EROSION AND SEDIMENT CONTROL SUPERVISOR' FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING EARTHWORK.
- THE DESIGNATED 'EROSION AND SEDIMENT CONTROL SUPERVISOR' SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIRECTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.
- UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NECESSARY TO MAINTAIN A CONTINUOUS FACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.

NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND, NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER A WATER BODY OR WETLAND. ANY MATERIAL, OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED AND DEPOSITED IN AN UPLAND AREA.

- THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FILL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. ANY POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILE MATERIAL.

GENERAL EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED, INSTALLED AND MAINTAINED PER THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF HENRIETTA.
- ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
- ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
- ALL MASS EARTHWORK SHALL BE COMPLETE PRIOR TO UTILITY INSTALLATION.
- ALL FILL SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER MODIFIED PROCTOR TEST. THIS SHALL BE CERTIFIED BY ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
- FILL MATERIAL SHALL BE CAPABLE OF 3000 #/SF COMPACTION DENSITY. SELECT FILL CAN BE USED AS 304.02, 304.03, 304.05.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE NYSDEC SPECIFICATIONS FOR DESIGN AND EROSION AND SEDIMENT CONTROL.

CONSTRUCTION SEQUENCE FOR

GENERAL EROSION CONTROL NOTES:

- INSTALL PERIMETER SILT FENCING.
- CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS AND PLACE SEDIMENT TRAPS.
- STRIP TOPSOIL AND STOCKPILE FOR LATER USE.
- INSTALL STORMWATER CHAMBERS AND UNDERGROUND PIPE STORAGE.
- GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
- RELOCATE EXISTING TRIBUTARY PER PLANS. ENSURE THAT BANKS ARE STABILIZED ONCE RELOCATION HAS BEEN COMPLETED.
- CONSTRUCT DROP INLET PROTECTION DEVICES AFTER STORM STRUCTURE INSTALLATION AS SHOWN ON THIS PLAN.
- CONSTRUCT TRUCK WASHDOWN AREA
- REPLACE TOPSOIL AND FINE GRADE
- HYDRO-SEED ALL DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
- UPON APPROVAL OF THE TOWN, REMOVE ALL TEMPORARY SITUATION CONTROLS.
- SLOPES SHALL NOT EXCEED 1" VERTICAL TO 3" HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
- MINIMUM OF 6" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS AOR: CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITUATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER RE-VEGETATION HAS BEEN ESTABLISHED.
- ALL END SECTIONS WILL BE PROVIDED WITH RIP-RAP APRONS.
- FINALIZE GRADING IN INFILTRATION-BIOTRETENTION AREAS WITH REQUIRED SOIL MIX.
- ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ALL EROSION CONTROL MEASURES WILL BE REMOVED AFTER APPROVED BY A QUALIFIED PROFESSIONAL

ARCHITECTURAL NOTE

AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLOR, TEXTURES AND FINISH OF THE BUILDING AS DEPICTED ON THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THE APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD SHALL REQUIRE A RE-APPLICATION FORE REVIEW AND APPROVAL OF THE PLANNING BOARD.

AS-BUILT NOTE

A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.

DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
- WITHIN LIMIT LINES, ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
- PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
- CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXISTING FEATURES PROPOSED TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
- CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 6 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
- ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
- ALL UTILITIES NOT STATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL AT ALL TIMES. THIS INCLUDES BYPASS PUMPING SLURM AND SANITARY FLOWS, IF NECESSARY

- EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
- AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.

- CONTRACTOR RESPONSIBLE FOR OBTAIN ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.

- IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.

- ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.

- THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.

- ALL SPOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE. ANY AND ALL SPOILS OR UNSUITABLE MATERIALS (INCLUDING BUT NOT LIMITED TO, CONCRETE DEBRIS, METAL DEBRIS, WOOD OR TREE DEBRIS) UNCOVERED OR EXCAVATED DURING EXCAVATION OPERATIONS, SHALL BE DISPOSED OF, AT THE CONTRACTORS EXPENSE. VOIDS LEFT BY THIS MATERIAL REMOVAL SHALL BE REPLACED WITH SUITABLE FILL, MEETING NYS DOT SECTION 203 AND THE PROJECTS GEOTECHNICAL REPORT/RECOMMENDATIONS. ALL FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

- ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE, (MEETING NYS DOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.

- CONTRACTOR TO CONFIRM ELEVATION & EXTENTS OF EXISTING ON SITE AND PRIVATE UTILITIES. THIS UTILITY LOCATION SHALL BE INCLUDED IN THEIR BID. ALL INFORMATION SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO THE START OF WORK. ANY UTILITIES NEEDING REPAIR, REPLACEMENT OR RELOCATION DUE TO INSTALLATION OF PROPOSED FEATURES, SHALL BE INCLUDED IN THE CONTRACTORS BID.

CONSTRUCTION SEQUENCE FOR STEEP SLOPE STABILIZATION / JUTE MESH INSTALLATION FOR SLOPES OF 1:3 OR GREATER:

- STRIP TOPSOIL ON SLOPE.
- GRADE SLOPE PER PLAN. CONTRACTOR SHALL TAKE CARE TO NOT OVER EXCAVATE EMBANKMENT.
- REPLACE TOPSOIL.
- TRACK TOPSOIL WITH A BULLDOZER IN A DIRECTION PERPENDICULAR TO THE PROPOSED CONTOUR LINES.
- IMMEDIATELY SEED AND FERTILIZE TOPSOIL PER PLAN.
- IMMEDIATELY APPLY JUTE MESH BY UNROLLING THE PRODUCT DOWN THE SLOPE. DO NOT STRETCH THE MESH, ALLOWING IT TO FULLY CONTACT THE SOIL.
- SECURE THE JUTE MESH WITH STAPLES (11 GAUGE - 8"x1"x8") 24" APART THOUGH OUT THE MATTING (APPROXIMATELY 200 STAPLES PER 100 SY). STAPLES SHOULD BE DRIVEN FLUSH WITH THE GROUND.
- SECURE BEGINNING AND END OF ROLL BY ANCHORING THE MATTING INTO 4" DEEP SLOTS CUT INTO THE SOIL. THEN STAPLE MATTING AT CHECK SLOTS.

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THIS PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEEMED NECESSARY BY THE TOWN OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN THE STORM SEWER SYSTEM UNTIL THE PROJECT IS DEVELOPED AND APPROVED BY THE TOWN AND OWNER.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STONE FILL. CORRECTIVE ACTIONS, AS IDENTIFIED BY THE DEVELOPER'S QUALIFIED SWPPP MONITOR OR A TOWN REPRESENTATIVE, SHALL BE INITIATED WITHIN 24 HOURS OF BEING REPORTED. THE TOWN MAY REVIEW THE PROJECT SITE AT ANY TIME. REVIEW OF EROSION CONTROL MEASURES BY THE TOWN DOES NOT RELIEVE THE DEVELOPER OF HIS OBLIGATIONS UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITY. (GP-0-20-001).

GRADING NOTES:

- THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
- THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
- CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

PAVING NOTES:

- THE CONTRACTOR SHALL SAW-CUT THE EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS WITH A NEAT, STRAIGHT AND VERTICAL EDGE AT ITS MATCH WITH NEW CONSTRUCTION. NEW PAVEMENT AND SIDEWALK SHALL BE WARPED TO MATCH TO EXISTING IN A SMOOTH TRANSITION. ALL EDGES ON EXISTING PAVEMENT SHALL BE TACK-COATED.
- ALL EDGES ON EXISTING SIDEWALKS SHALL HAVE A BITUMINOUS EXPANSION JOINT AT THEIR MATCH WITH NEW SIDEWALK.
- ALL BACKFILL MATERIAL SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-1557.
- ALL AREAS UNDER ROADWAY PAVEMENT THAT ARE EXCAVATED OR UNDERMINED SHALL BE BACKFILLED WITH CRUSHED STONE, COMPLYING WITH NYS DOT STANDARD SPECIFICATION ITEM NO. 304.12, AND SHALL BE PLACED AND COMPACTED IN 6" LIFTS UP TO THE ROADWAY SECTION SUBBASE ELEVATION.
- PRIOR TO THE PLACEMENT OF THE ROADWAY STONE SUBBASE COURSE, THE SUBGRADE SHALL BE PROOF-ROLLED TO ENSURE A STABLE CONDITION. CONTRACTOR SHALL REPAIR ANY DEFECT IN THE SUBGRADE CONDITION PRIOR TO PLACEMENT OF THE STONE SUBBASE COURSE. THE CONTRACTOR SHALL ALSO SHAPE THE SUBGRADE TO THE PROPOSED CROSS-SLOPE AND PROFILE PRIOR TO THE PLACEMENT OF ANY SUBBASE COURSE MATERIALS OR PAVEMENT MATERIALS.
- ALL EXISTING WATER VALVES, GAS VALVES, ELECTRIC/TELEPHONE HANDHOLES, MANHOLES AND ANY OTHER UTILITY SURFACE FEATURES SHALL BE ADJUSTED TO NEW FINISHED GRADE ELEVATION.
- ALL NEW CURBING SHALL BE BACKED WITH FILL AT A 1:5 SLOPE MINIMUM.

COMPACTION NOTES

- THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS, WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
- THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

SOIL RESTORATION NOTES:

- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE CLEANED OFF SITE.
- APPLY TOPSOIL TO A DEPTH OF 4 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
- VEGETATE AS REQUIRED BY APPROVED PLAN.

TOPSOIL AND SEEDING NOTES:

- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPEARDING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS (BEDS AND ISLANDS).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- REMOVE ALL EXISTING VEGETATION DURING GRADING PROCESS.
- APPLY MINIMUM OF SIX (6) INCHES OF CLEAN TOPSOIL(INCORPORATED OR SCREEN ON - SITE) AND FINE GRADE, LEAVING TOPSOIL IN A LOOSE AND FRIABLE CONDITION FOR SEEDING.
- SLIME SOIL OR ADD OTHER ORGANIC AMENDMENTS AS NECESSARY TO ACHIEVE A SOIL pH BETWEEN 5.5 - 7.0.
- LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- SEEDING SHOULD BEGIM IMMEDIATELY UPON COMPLETION OF FINE GRADING. SEED SHOULD BE PRESSED INTO THE SOIL TO CREATE GOOD SEED-TO-SOIL CONTACT, NO DEEPER THAN THE THICKNESS OF THE SEED.
- FERTILIZING, APPLY 10-10-10 FERTILIZER EVENLY AT THE RATE OF 20 POUNDS PER 1000 SQ FT. NO FERTILIZER CONTAINING PHOSPHORUS IS PERMITTED ON SITE.
- SEED SHOULD BE APPLIED EITHER BY HAND BROADCASTING OR HYDRO SEEDING. TWO PASSES SHALL BE MADE IN PERPENDICULAR DIRECTIONS TO INSURE PROPER COVERAGE.

- LAWN SEED MIX:
MIX A: SEEDING RATE: 6 LBS./1,000 SQ.FT
LOW MAINTENANCE FESCUE LAWN
PREFERRED SEED : LOW MAINTENANCE GRASS SEED MIX OR APPROVED EQUAL
25% FIREFLY HARD FESCUE
25% BIG HORN GT HARD/SHEEP
20% INTRIGUE CHEWINGS FESCUE
20% QUATRO SHEEP FESCUE
10% MINOTAUR HARD FESCUE
MIX B: SEEDING RATE: 4LBS./1,000 SQ.FT
OCCASIONAL WET - WET LOCATIONS:
20% RED TOP
20% ALKALI GRASS
10% AUTUMN BENTGRASS
20% VIRGINIA WILD RYEGRASS
20% FLY SEEDS
10% FOWL BLUEGRASS
- DRY APPLICATION: STRAW, STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEEDS. WEIGHT SHALL BE BASED ON A 15 PERCENT MOISTURE CONTENT.
C. DRY APPLICATION: WITHIN ONE DAY AFTER SEEDING, COVER THE SEEDED AREAS WITH A UNIFORM BLANKET OF STRAW MULCH AT THE RATE OF 100 POUNDS PER 1000 SQFT OF SEEDED AREA.

- HYDRO APPLICATION: APPLY APPROVED MULCH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDED RATES OF APPLICATION. APPLY SEEDING MATERIALS WITH AN APPROVED HYDRO SEEDER.
A. COLORED WOOD CELLULOSE FIBER PRODUCT SPECIFICALLY DESIGNED FOR USE AS A HYDRO-MECHANICAL APPLIED MULCH. ACCEPTABLE PRODUCT: CONWED HYDRO MULCH, CONWED FIBERS, 231 4TH STREET SW, HICKORY, NC
- FILL TANK WITH WATER AND AGITATE WHILE ADDING SEEDING MATERIALS. USE SUFFICIENT FERTILIZER, MULCH, AND SEED TO OBTAIN THE SPECIFIED APPLICATION RATE. ADD SEED TO THE TANK AFTER THE FERTILIZER AND MULCH HAVE BEEN ADDED. MAINTAIN CONSTANT AGITATION TO KEEP CONTENTS IN HOMOGENEOUS SUSPENSION. PROLONGED DELAYS IN APPLICATION OR AGITATION THAT MAY BE INJURIOUS TO THE SEED WILL BE THE BASIS OF REJECTION OF MATERIAL REMAINING IN TANK.

14. DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

- DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

SEEDING NOTES:

ALL AREAS OF THE PROJECT SITE THAT INVOLVE SOIL DISTURBING ACTIVITIES ARE REQUIRED TO PROVIDE THE FOLLOWING SEED MIXTURES DURING CONSTRUCTION:

ADD 4" TOPSOIL & TEMPORARY SEEDING: RYEGRASS (ANNUAL OR PERENNIAL) @ 30LBS. PER ACRE OR 0.7 LBS. PER 1000 SQUARE FEET.

ADD 4" TOPSOIL & PERMANENT SEEDING: 65% KENTUCKY BLUEGRASS BLEND @ 85LBS. PER ACRES OR 2.0-2.6 LBS. PER 1000 SQUARE FEET 20% PERENNIAL RYEGRASS @ 26-35 LBS. PER ACRE OR 0.6-0.8 LBS. PER 1000 SQUARE FEET 15% FINE FESCUE @ 19-26 LBS. PER ACRE OR 0.4-0.6 LBS. PER 1000 SQUARE FEET.

FOR ALL SEEDING & STABILIZATION MEASURES IT IS THE RESPONSIBILITY OF THE OWNER & DEVELOPER TO ENSURE THAT FINAL STABILIZATION OCCURS AS REQUIRED BY THE NYSDEC. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN(S).

*ALL SEED MIXTURES USED SHALL FOLLOW THE RECOMMENDATIONS OF THE NYS SEDIMENT AND EROSION CONTROL HANDBOOK.

LANDSCAPING NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN OF HENRIETTA, AND STATE DESIGN STANDARDS AND CODES.
- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID. SUBMITTAL TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS DELIVERED AND INSTALLED ON THIS PROJECT.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY IN THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AND MEET SIZE REQUIREMENTS AS INDICATED ON THE PLANT LIST.
- ALL TREES MUST BE STRAIGHT-TRUNKED, INJURY FREE, HAVE A FULL, SYMMETRICAL CROWN (HEAD) AND MEET ALL REQUIREMENTS SPECIFIED (E.G. SINGLE STEM, MULTI-STEM, HEAVY BRANCHED, ETC.).
- CRABAPPLE AND PEAR VARIETIES ARE CONSIDERED A FALL PLANTING HAZARD. THE CONTRACTOR SHALL TAKE SPECIAL CARE IN PLANTING AND WATERING THESE PLANTS.
- ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS. THE BID PRICE SUBMITTED WILL ASSUME THAT ALL PLANT MATERIALS DELINEATED WILL BE SUPPLIED AND INSTALLED. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR DESIGN LANDSCAPE ARCHITECT (OWNER'S REPRESENTATIVE) PRIOR TO COMPLETING A BID PRICE.
- ALL GRADING AND UTILITY WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- THE FINAL LOCATION OF TREES AND OTHER LANDSCAPING SHALL BE DETERMINED IN THE FIELD BASED ON UTILITY STAKEOUT AND SHALL NOT CONFLICT WITH TRAFFIC SIGNS AND/OR UTILITIES. STAKE OUT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- ANY CONCERNS RELATED TO SITE CONDITIONS AND/OR PLANT LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ROTATED BACKFILL MIXTURE: 4 PARTS TOPSOIL (ON-SITE OR IMPORTED), 1 PART PEAT MOSS, 1/2 PART WELF ROOT MANURE AND 10 LBS. 5-0-5
- PLANTING FERTILIZER, MIXED THOROUGHLY PER CUBIC YARD.
- MULCH ALL PLANT BEDS, AND INDIVIDUAL TREES IN LAWN AREAS WITH SHREDED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3") INCHES UNLESS OTHERWISE SPECIFIED ON PLANNING DETAILS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT DUE TO SITE CONDITIONS.
- ANY PLANT WHICH TURNS BROWN, DEFOLIATES OR DIES PRIOR TO FINAL ACCEPTANCE BY THE OWNER, OR DESIGN LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE (LIST).
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIALS AND LAWN AREAS UNTIL THE PROJECT HAS RECEIVED FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: WATERING, MULCHING, FERTILIZING, SPRAYING (FUNGICIDE, PESTICIDE, ANTI-DESICANT), AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING.

- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, THE LANDSCAPE MATERIALS SHALL BE GUARANTEED FOR THREE (3) YEARS. THE GUARANTEE SHALL BE INCLUSIVE OF ALL MATERIAL AND LABOR COSTS. AT THE END OF THE GUARANTEE PERIOD THE OWNER'S REPRESENTATIVE WILL INSPECT ALL PLANT MATERIALS. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REQUIRED REPLACEMENTS WITH PLANT MATERIALS MEETING THE SPECIFICATIONS (E.G. SPECIES, SIZE AND CHARACTER).

- ALL AREAS DISTURBED BY SITE GRADING AND/OR UTILITY INSTALLATION SHALL RECEIVE APPROVED TOPSOIL (BASED ON APPROVED SAMPLES SUBMITTED BY THE CONTRACTOR) AND SPREAD TO A DEPTH NOT LESS THAN SIX (6") INCHES AFTER COMPACTION. TOPSOIL PLACED FOR LAWNS SHALL BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. THIS IS EXCLUDING FOUNDATION PLANT BEDS, AND ENTRANCE AREAS.

- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE SITE PLAN ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO CALL FOR A UTILITY STAKEOUT PRIOR TO COMMENCING PLANT INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES WHICH OCCURS AS A RESULT OF LANDSCAPE INSTALLATION OPERATIONS.

- EXISTING TREES INDICATED TO BE REMOVED SHALL OCCUR UNDER THE SITE CONTRACT FOR THIS PROJECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANTINGS OR RESTORATION OF THE DISTURBED AREA (LAWNS, PLANT BEDS, ISLANDS).

- PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL TREE AND PLANT BED AREAS.

- ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.

ELECTRIC & GAS SERVICE COORDINATION NOTES:

- ELECTRIC AND PLUMBING CONTRACTORS SHALL COORDINATE WITH EACH OTHER AND DIRECTLY WITH ROCHESTER GAS & ELECTRIC (RG&E) ELECTRIC AND GAS DEPARTMENTS FOR METER AND SERVICE LOCATIONS PRIOR TO INSTALLATION.
- ELECTRIC AND PLUMBING CONTRACTORS SHALL ALLOW FOR THE NECESSARY PROVISIONS WHEN INSTALLING METERS AND SERVICES IN ACCORDANCE WITH RG&E DESIGN AND INSTALLATION GUIDELINES.
- ELECTRIC AND PLUMBING CONTRACTORS SHALL DIRECTLY COORDINATE WITH EACH OTHER AND DIRECTLY WITH RG&E FOR ELECTRIC AND GAS START-UP.

PUBLIC WATER SERVICE LINE NOTES

(4" & GREATER):

- WATER SERVICE (2) LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATION AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
- WATER SERVICE (2) LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET COVER FROM FINISHED GRADE IN PAVED AREAS.
- WATER SERVICE (2) LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- WATER SERVICE LINES SHALL BE AS IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL (a) TYPE (b)	D
MCWA PORTION - FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	6"	D.I.P.*	CMB
PRIVATE PORTION - FROM THE CONTROL VALVE TO THE 8"	8"	D.I.P.*	CMB

- ACCEPTABLE MATERIAL IS "CLASS 52 CEMENT MORTAR LINED DUCTILE IRON PIPE
- SERVICE TYPES INCLUDE: DOMESTIC - DS, FIRE - FS, OR COMBINED - CMB
- THE MCWA PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED TO THE PRIVATE PORTION OF THE SERVICE LINE.
- WATER METERS) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF ½ INCH THROUGH 1-INCH METERS. 1 ½ INCH + 2-INCH METER INSTALLATIONS MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER. METER INSTALLATION OF 2-INCH OR GREATER REQUIRE A BYPASS ASSEMBLY AROUND THE METER.
- WATER SERVICE LINES 8" OR GREATER SHALL BE "PRESSURE TESTED" IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST. -DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED IN ACCORDANCE WITH THE DEPARTMENT OF HEALTH THAT HAS JURISDICTION OF EH AREAS REQUIREMENTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT OF PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE CERTIFIED TO THE WATER AUTHORITY.

STORM NOTES

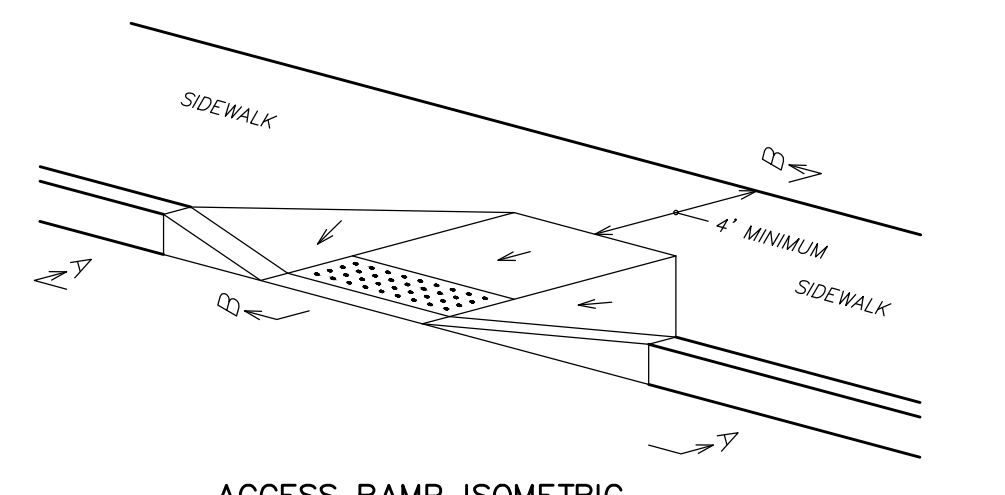
- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY
- PROPOSED STORM SEWER LATERAL MATERIAL: PVC SDR-21 6" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FT. STORM SEWER MATERIAL: ADS HOPE 12" MIN.
- FOUNDATION DRAINS SHALL BE CONNECTED TO STORM WATER SYSTEM VIA SUMP PUMPS. DOWNSPOUTS SHALL BE CONNECTED TO STORM SEWER WHERE APPLICABLE. WHERE NOTED ON THE PLANS DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS.
- UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

- SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND LOCAL MUNICIPALITY
- MATERIALS
- MANS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
ASTM D-3034 (4" THRU 15")
ASTM F-679 (18" THRU 48")
- LATERALS - 4" MIN. INSTALLED AT ½" PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
- JOINING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
- MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
- INFILTRATION AND EXFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS.
- AN AIR TEST IS REQUIRED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM C-828-80, ENTITLED STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPELINES; SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
- VACUUM TESTING OF MANHOLES IS REQUIRED. THE CONTRACTOR IS CAUTIONED TO SPEAK TO THE SUPERINTENDENT OF SEWERS PRIOR TO COMMENCING WITH PLANS TO VACUUM TEST.

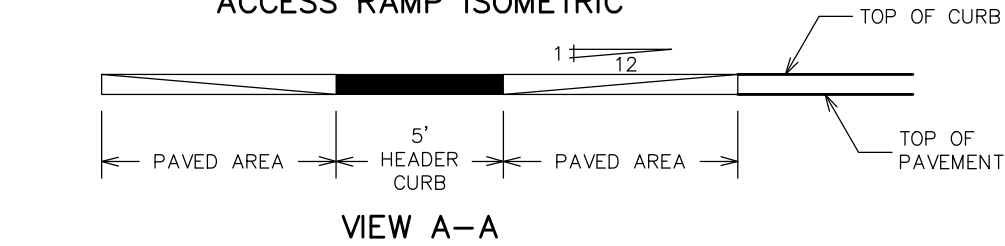
- DEFLECTION TEST - TEN STATE STANDARDS.
6.A. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
6.B. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDRELL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
6.C. NO PIPE SHALL EXCEED A DEFLECTION OF 5%.

- ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE HENRIETTA SEWER DISTRICT.
- ALL SANITARY SEWERS SHALL BE TELEVIEWED PRIOR TO ANY INSTALLATIONS TO CONFIRM DOWNSTREAM SEWER CONDITION, AFTER FINAL BACKFILL IS IN PLACE AT LEAST 30 DAYS.
- FLOOR DRAINS: IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER (FLOOR DRAINS SHOULD NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY / COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

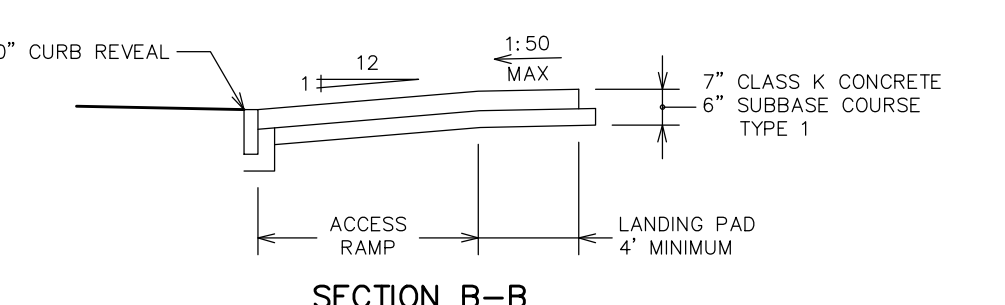
- SEPARATION - MINIMUM V



ACCESS RAMP ISOMETRIC



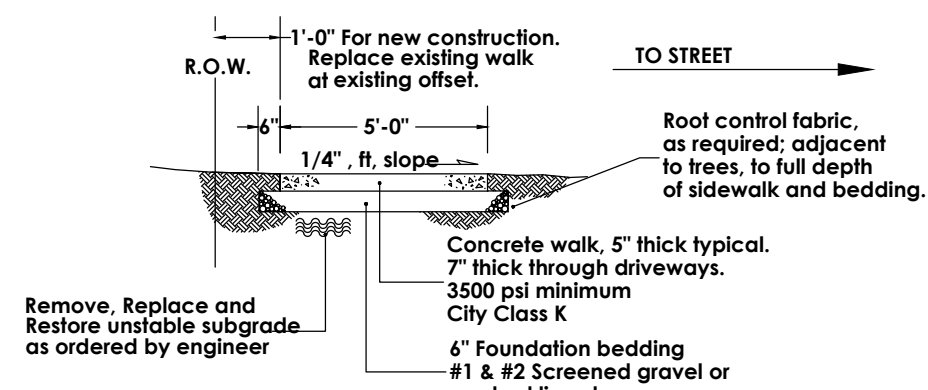
VIEW A-A



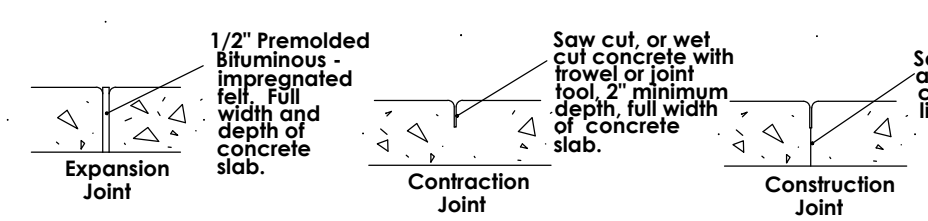
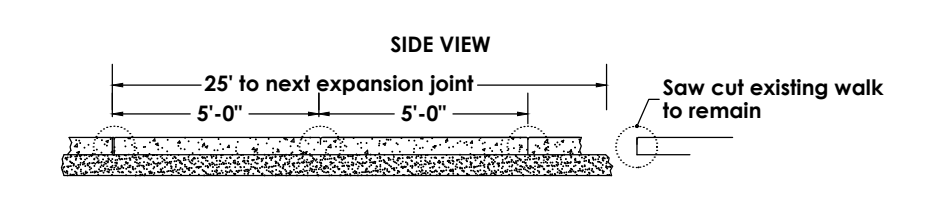
SECTION B-B

- NOTES:
- 1:12 IS MAXIMUM SLOPE OF ACCESS RAMP AND SIDE FLARE IN PAVED AREA.
 - SURFACE OF ACCESS RAMP IS TO BE STABLE, FIRM AND SLIP-RESISTANT. TEXTURE SURFACE WITH COARSE BROOM RUNNING TRANSVERSE TO SLOPE OF ACCESS RAMP.
 - ENTIRE AREA OF ACCESS RAMP AND LANDING PAD IS TO BE 7 INCH THICK CONCRETE.

SIDEWALK RAMP DETAIL
N.T.S.

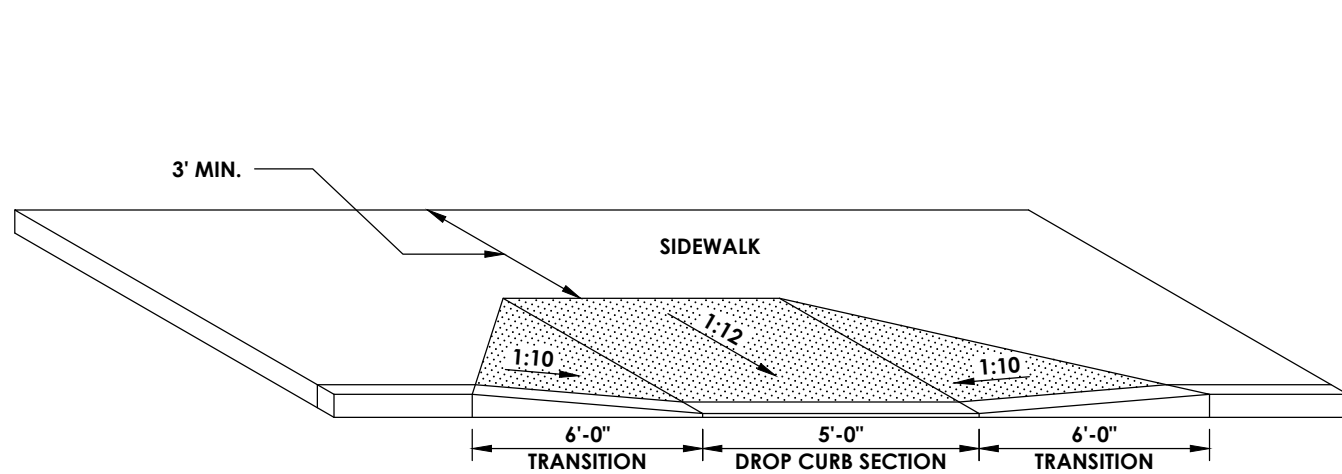


TYPICAL HANDICAP RAMP
N.T.S.

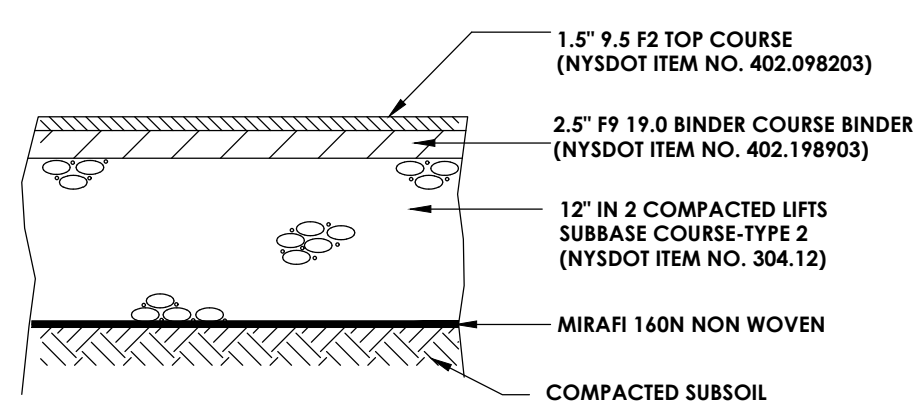


- NOTES:
- 1) The gravel or stone base shall be placed on a well graded and compacted subgrade. The gravel or stone base shall be thoroughly compacted.
 - 2) All exposed surfaces shall be broomed and edges finished with a 1.4" radius edging tool. The finished concrete surface shall be treated with a clear, non-yellowing curing compound.
 - 3) No concrete shall be placed before April 20th, or after October 31st. No concrete shall be placed unless the ambient air surface temperature is above 40 degrees.
 - 4) All work shall meet these specifications.
 - 5) All work shall conform to ADA requirements.

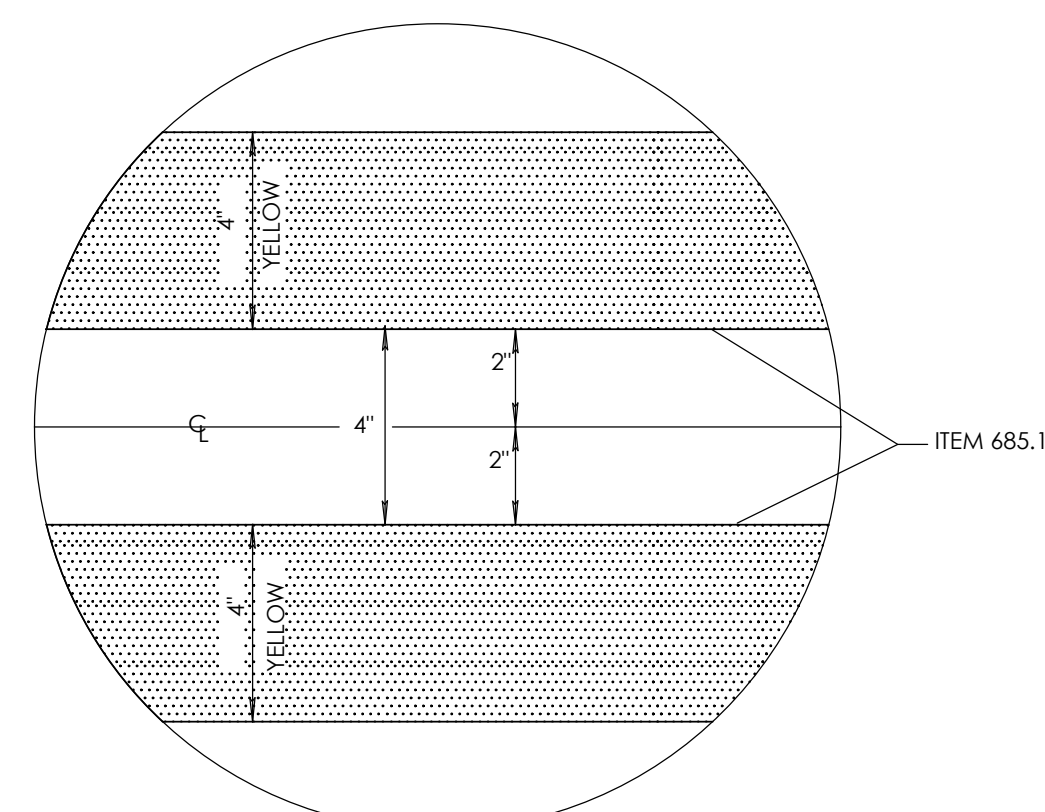
TYPICAL SIDEWALK DETAIL
N.T.S.



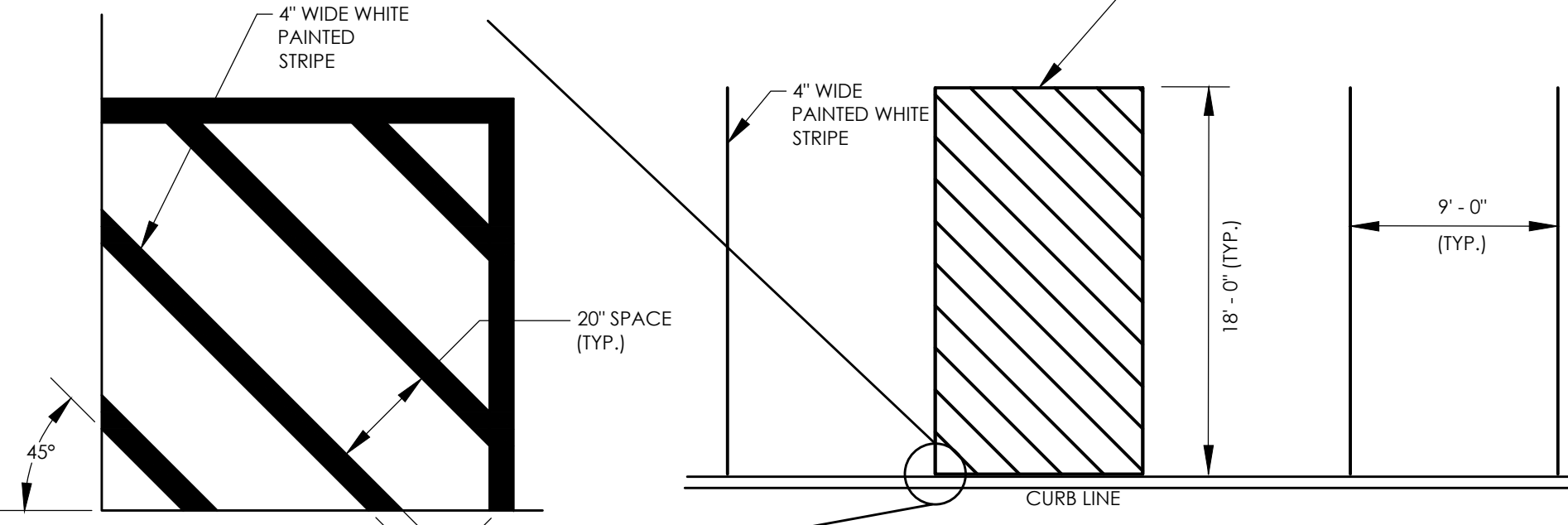
TYPICAL HANDICAP RAMP
N.T.S.



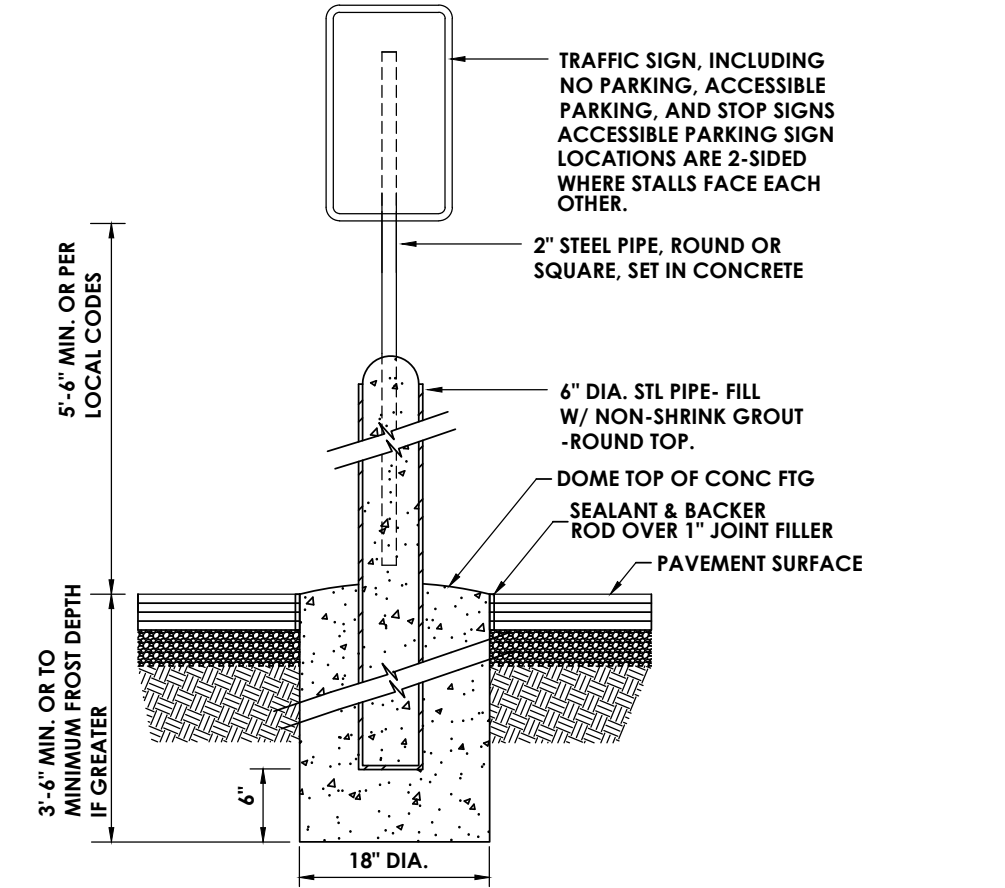
PAVEMENT SECTION
N.T.S.



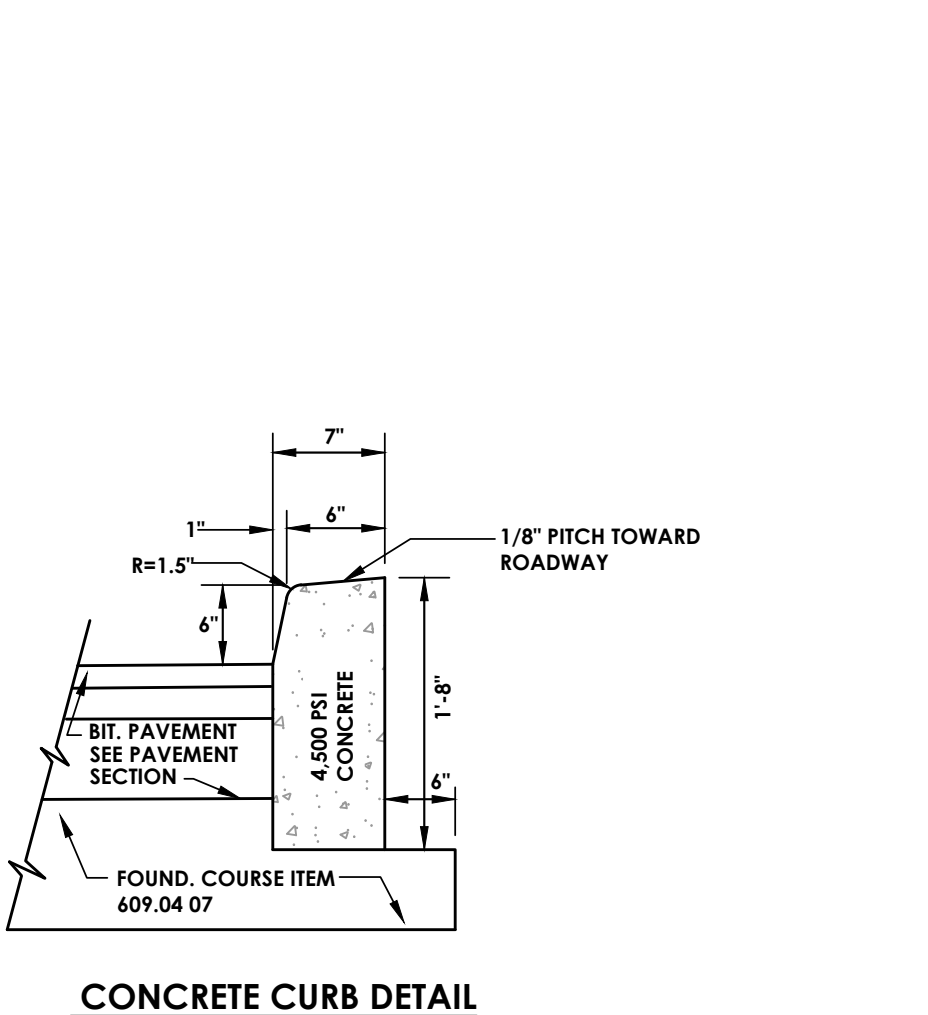
DOUBLE YELLOW CENTERLINE
N.T.S.



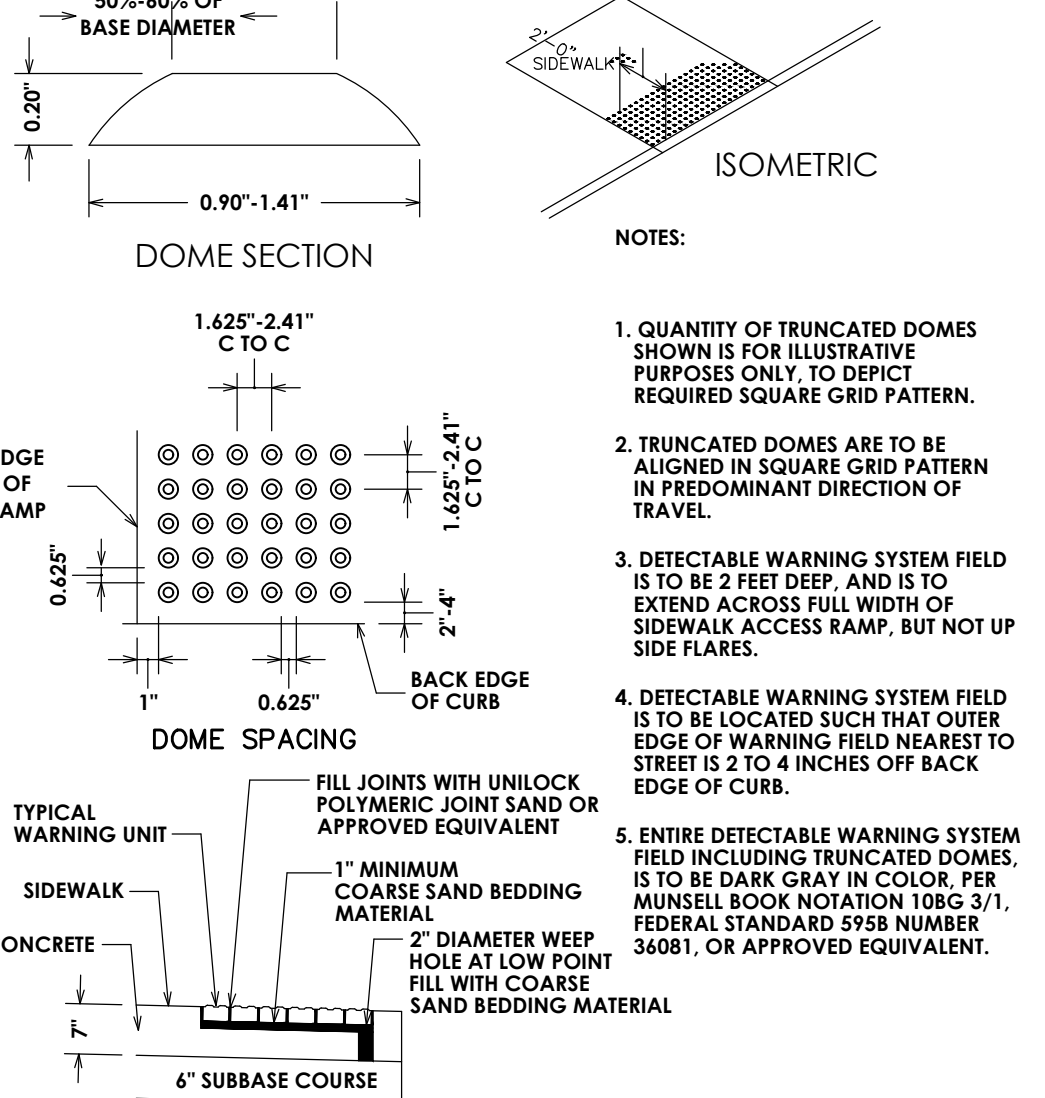
TYPICAL PARKING PAVEMENT MARKING LAYOUT
N.T.S.



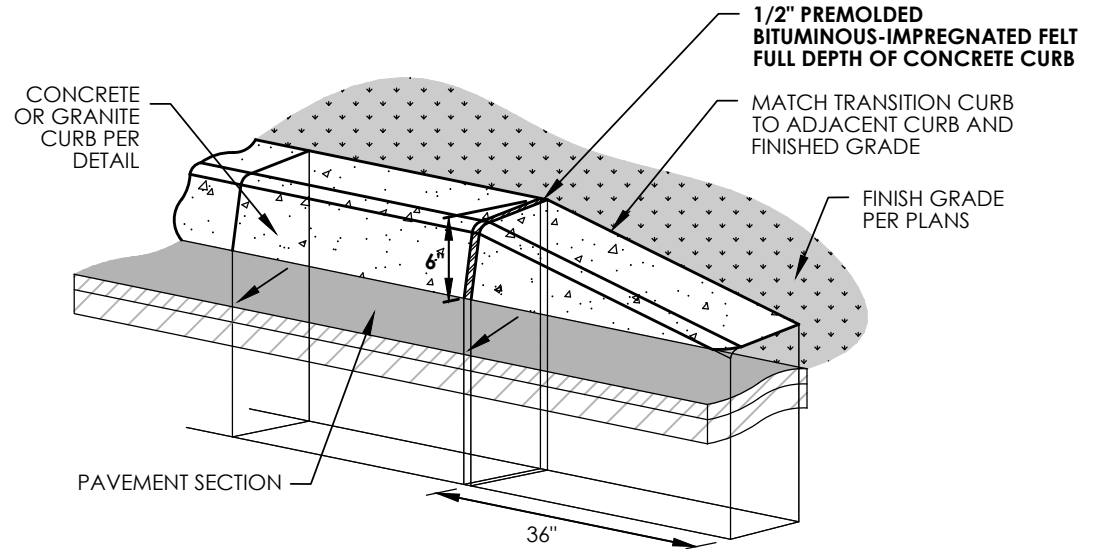
TYPICAL POST MOUNT HANDICAP SIGN INSTALLATION
(SIGN IN PARKING LOT OR DRIVE)
N.T.S.



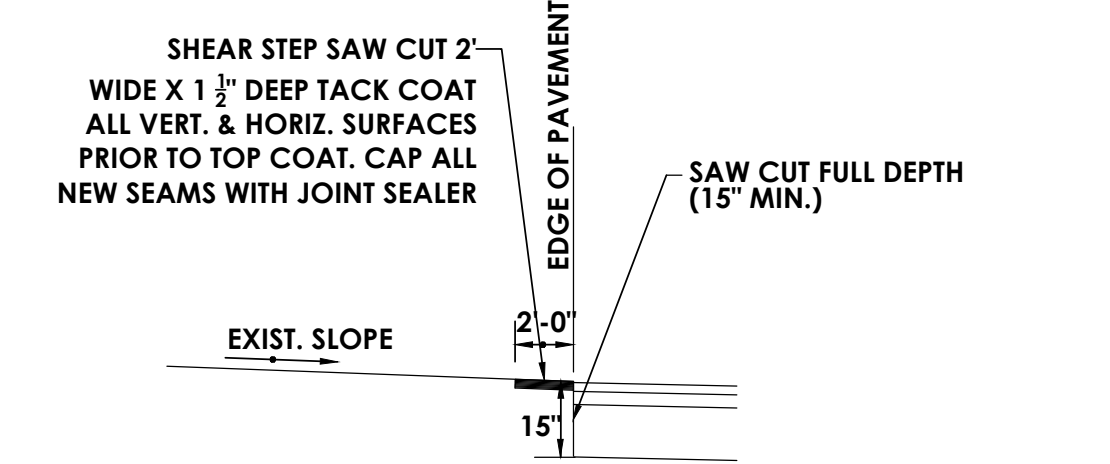
CONCRETE CURB DETAIL
N.T.S.



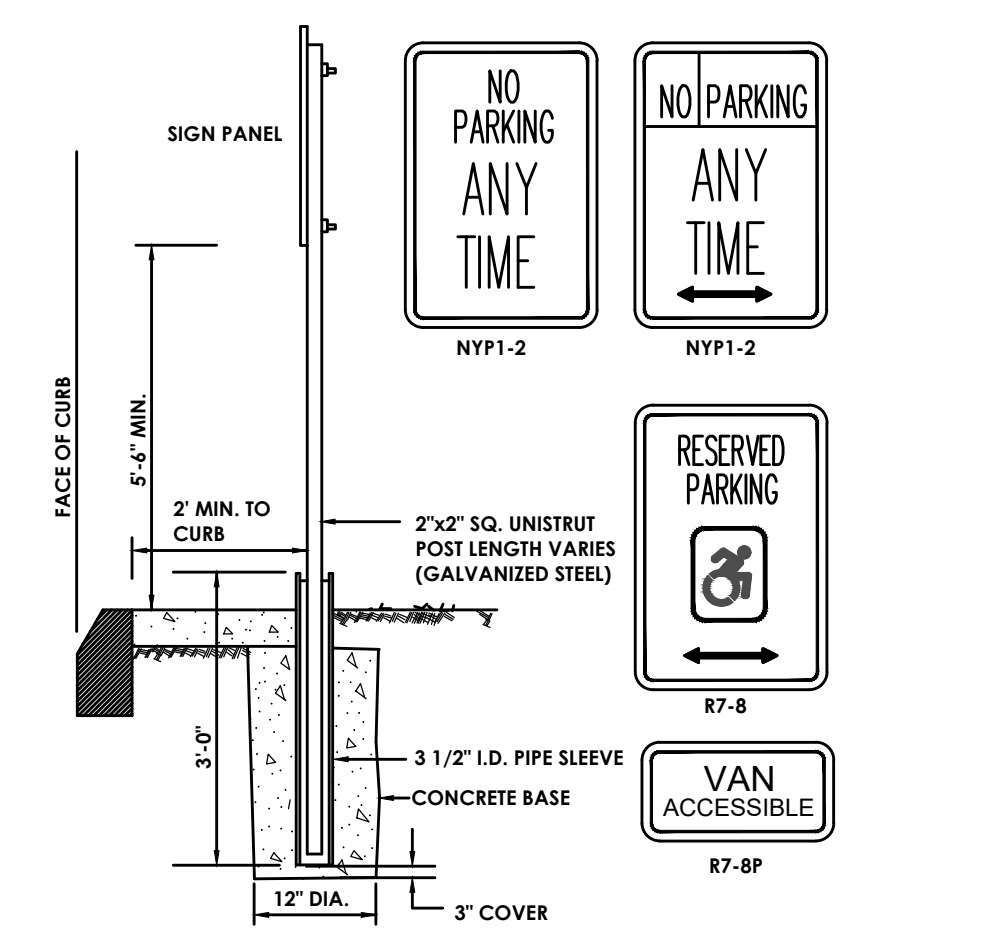
DETECTABLE WARNING SURFACE DETAIL
N.T.S.



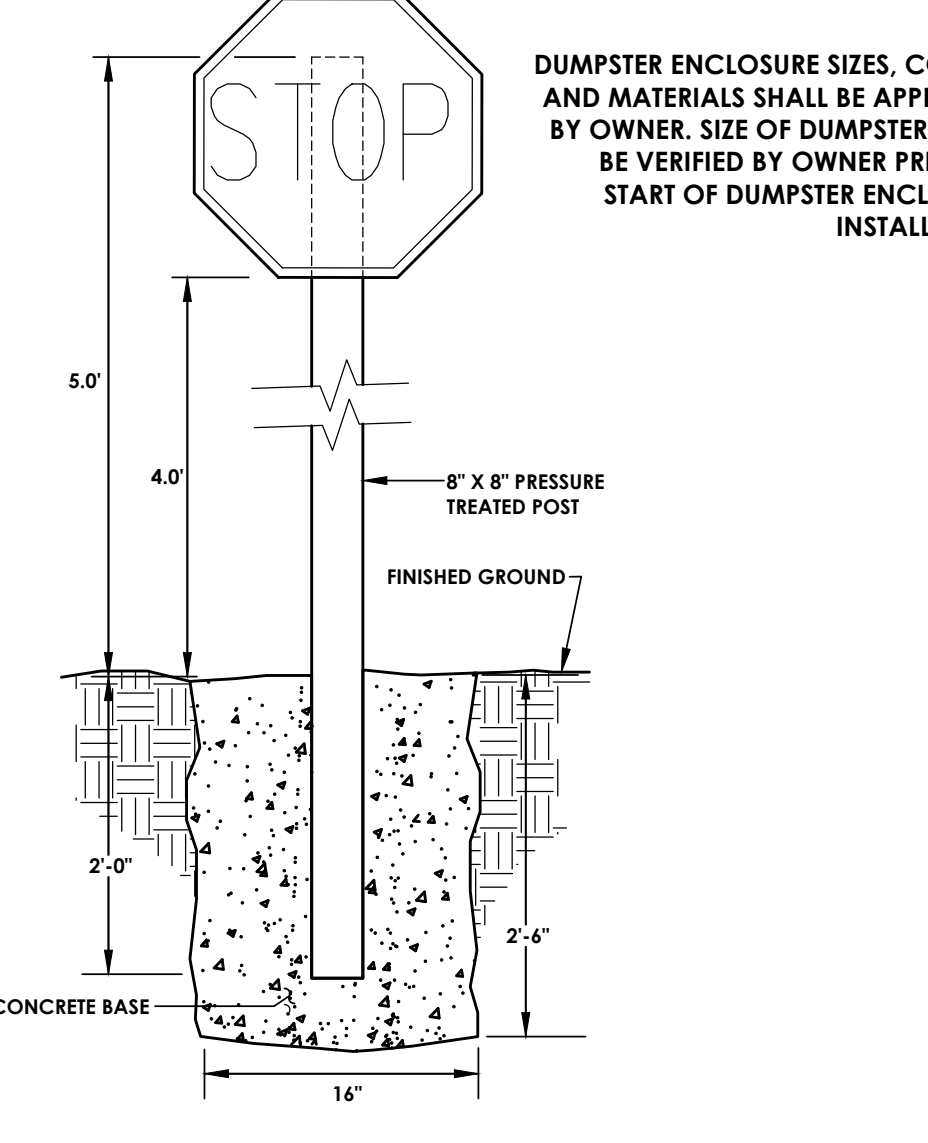
TRANSITION CURB TO GRADE
N.T.S.



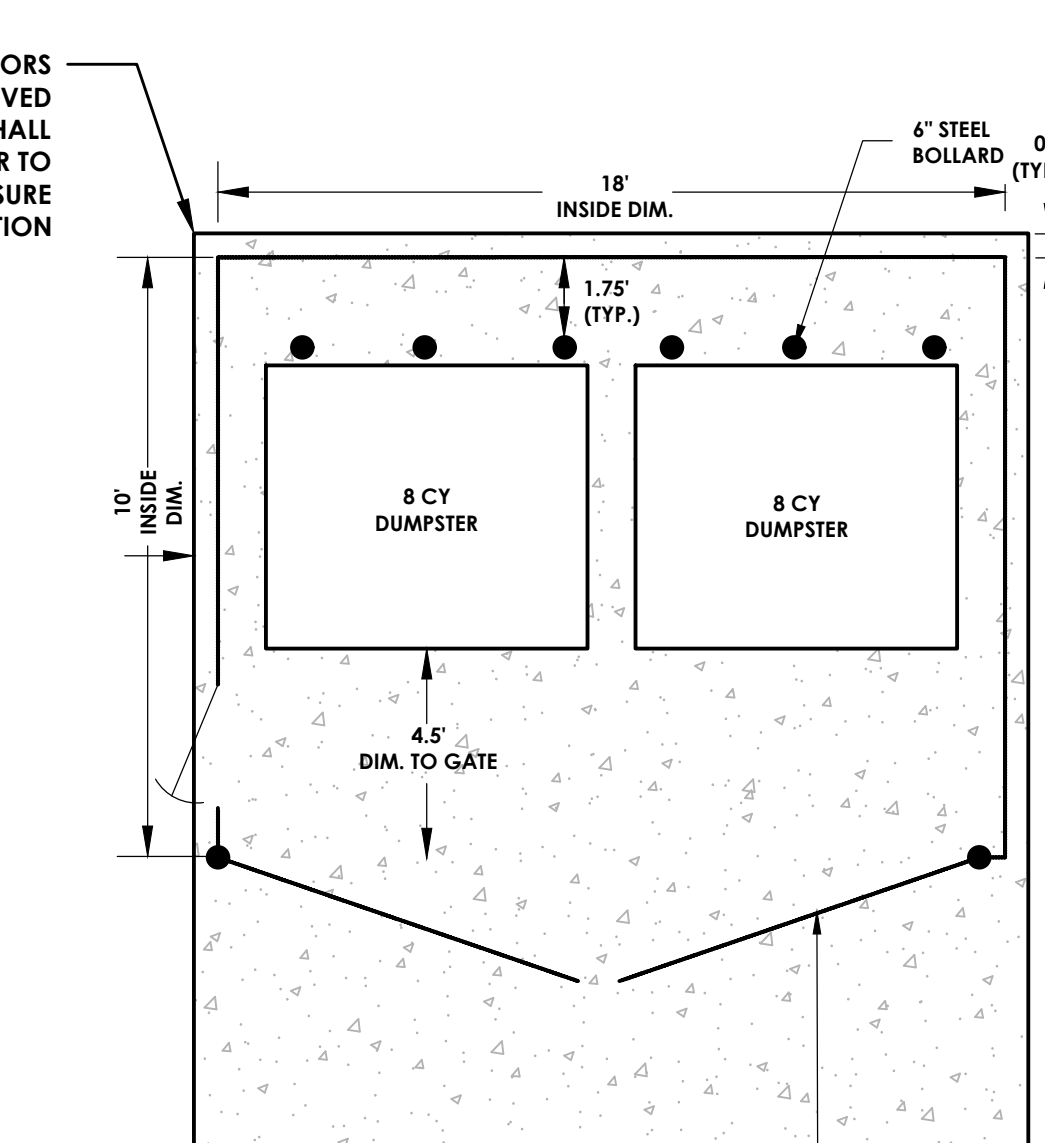
PAVEMENT KEY
(FOR CONNECTION TO EXISTING PAVEMENT)
N.T.S.



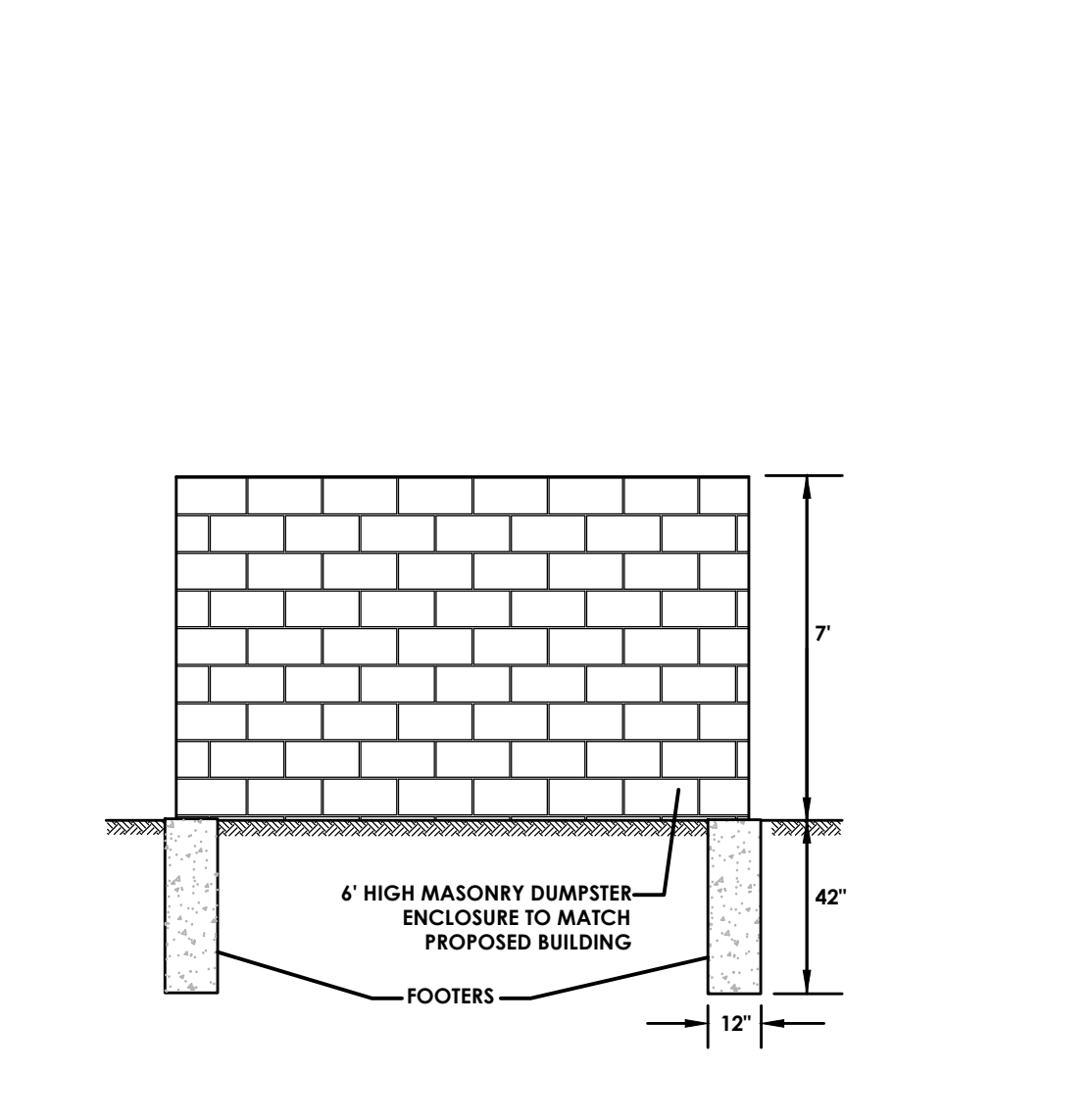
TYPICAL POST MOUNT HANDICAP SIGN INSTALLATION
(SIGN IN LANDSCAPE AREA OR SIDEWALK)
N.T.S.



TIMBER SIGN POST
N.T.S.



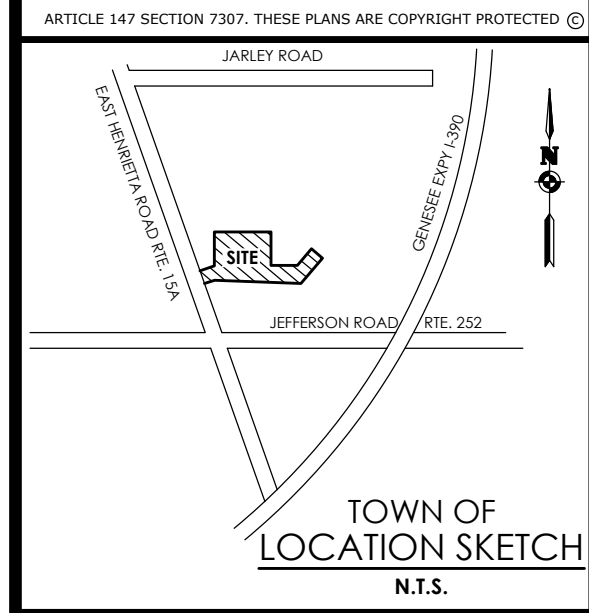
ENCLOSURE PLAN
N.T.S.



DUMPSTER ENCLOSURE DETAIL
N.T.S.



MODIFIED INTERNATIONAL SYMBOL OF ACCESS
N.T.S.



Client:
FSI
2213 BRIGHTON HENRIETTA
TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
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Principal-in-Charge: DAVID COX
Project Manager: DAVID COX
Designed by: JOSHUA SAXTON



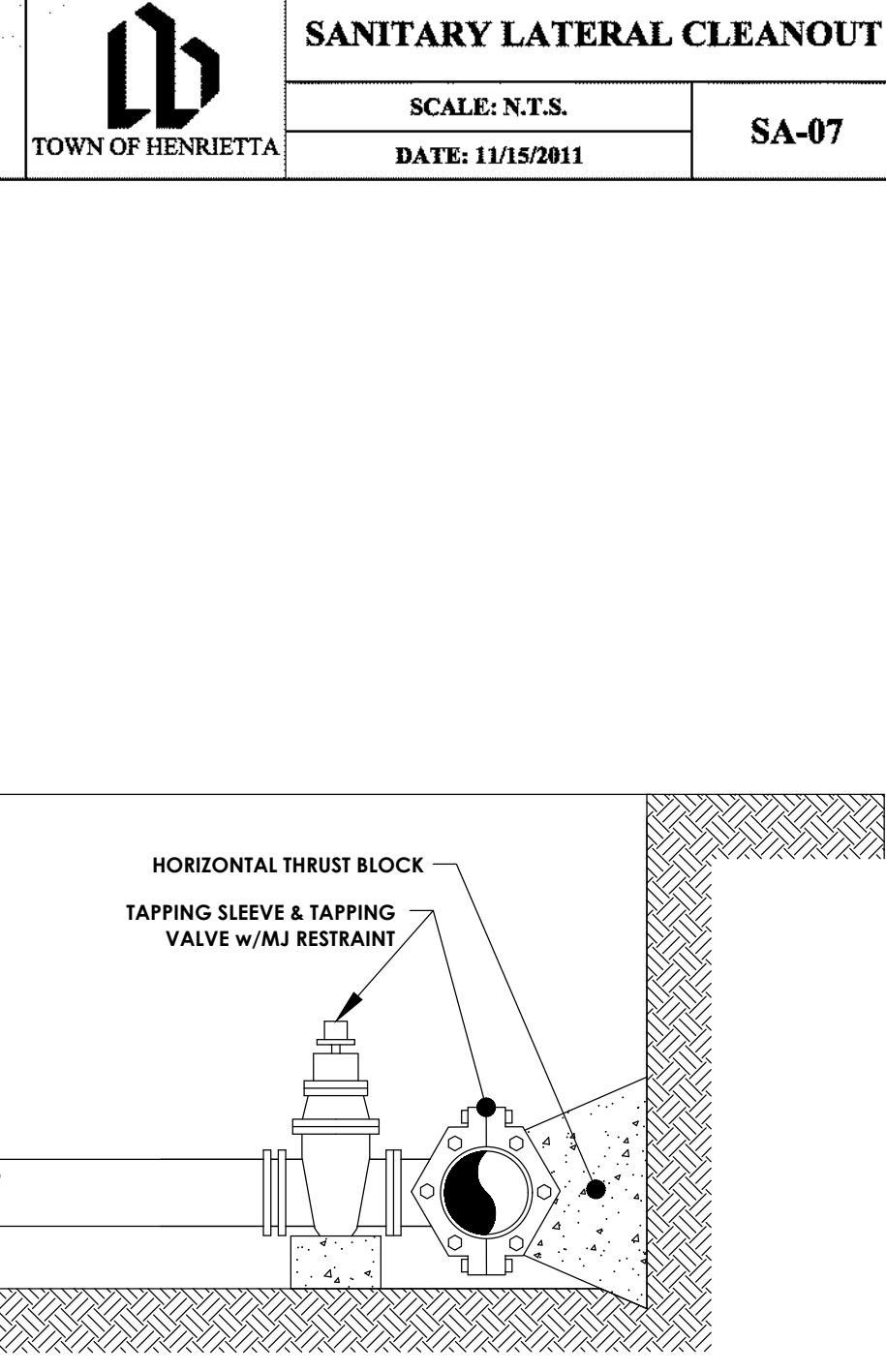
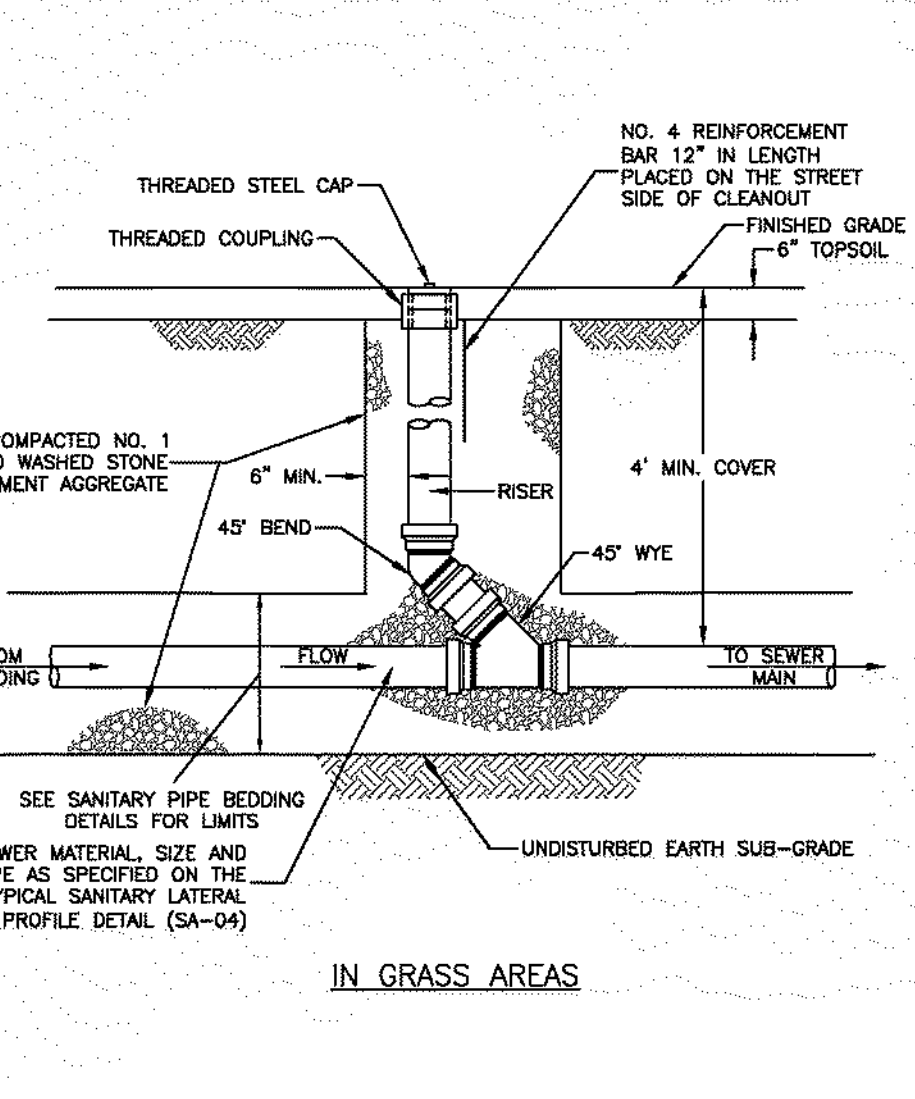
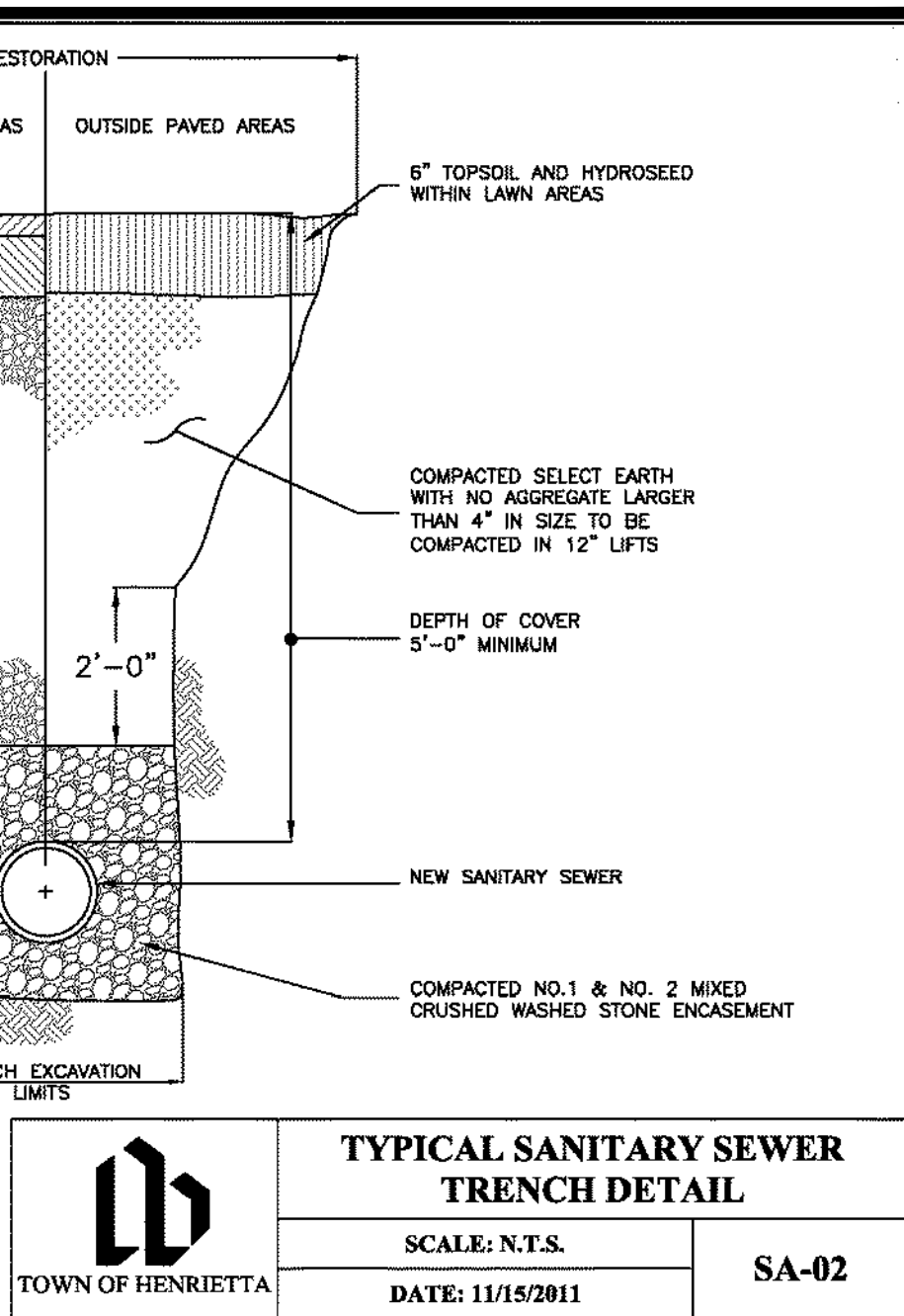
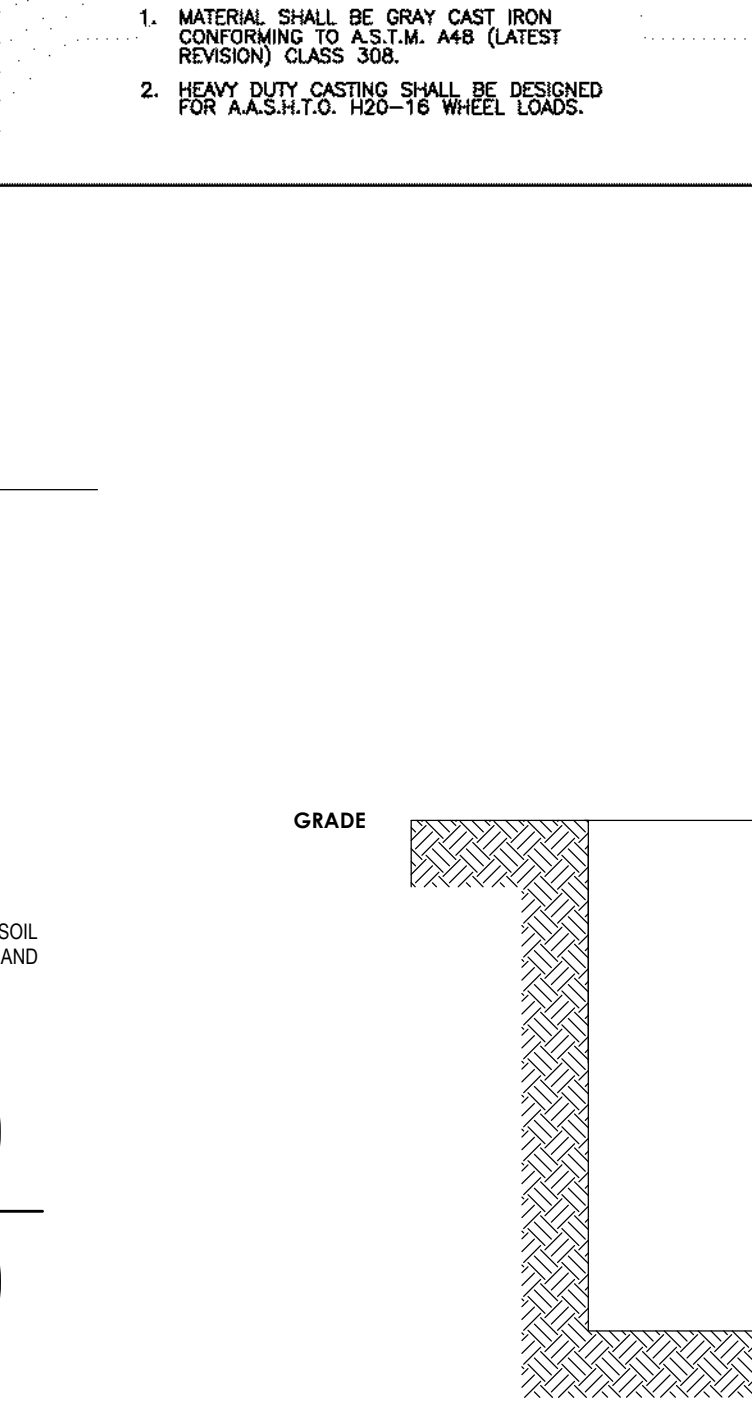
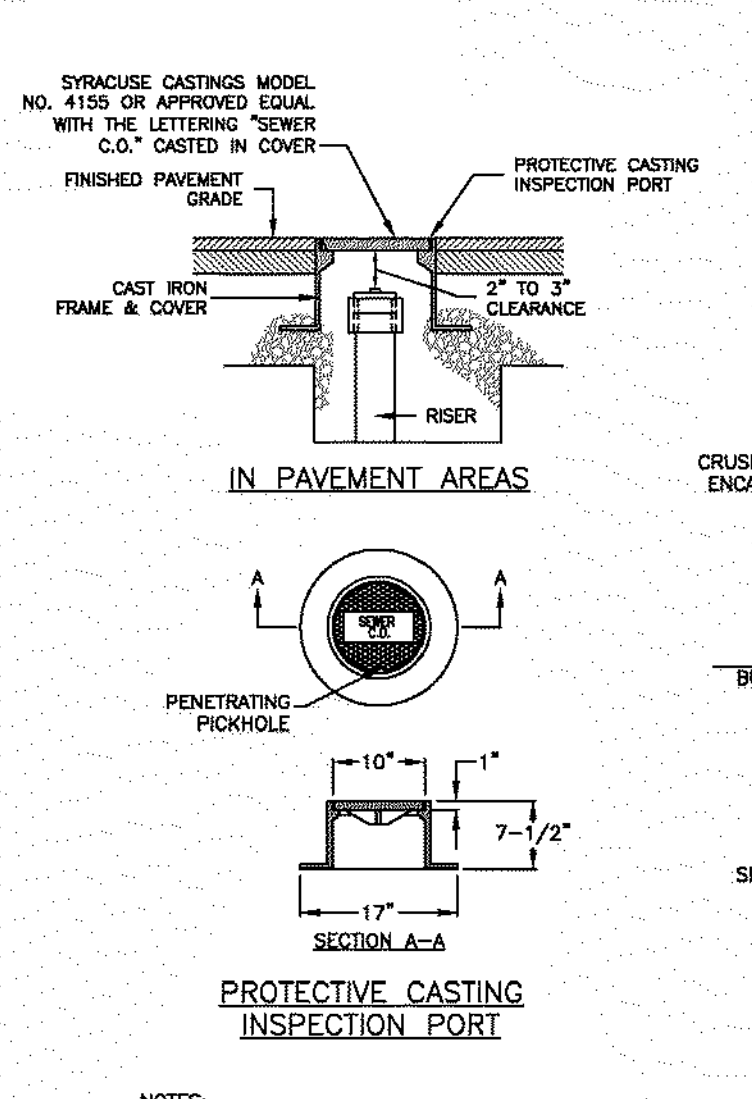
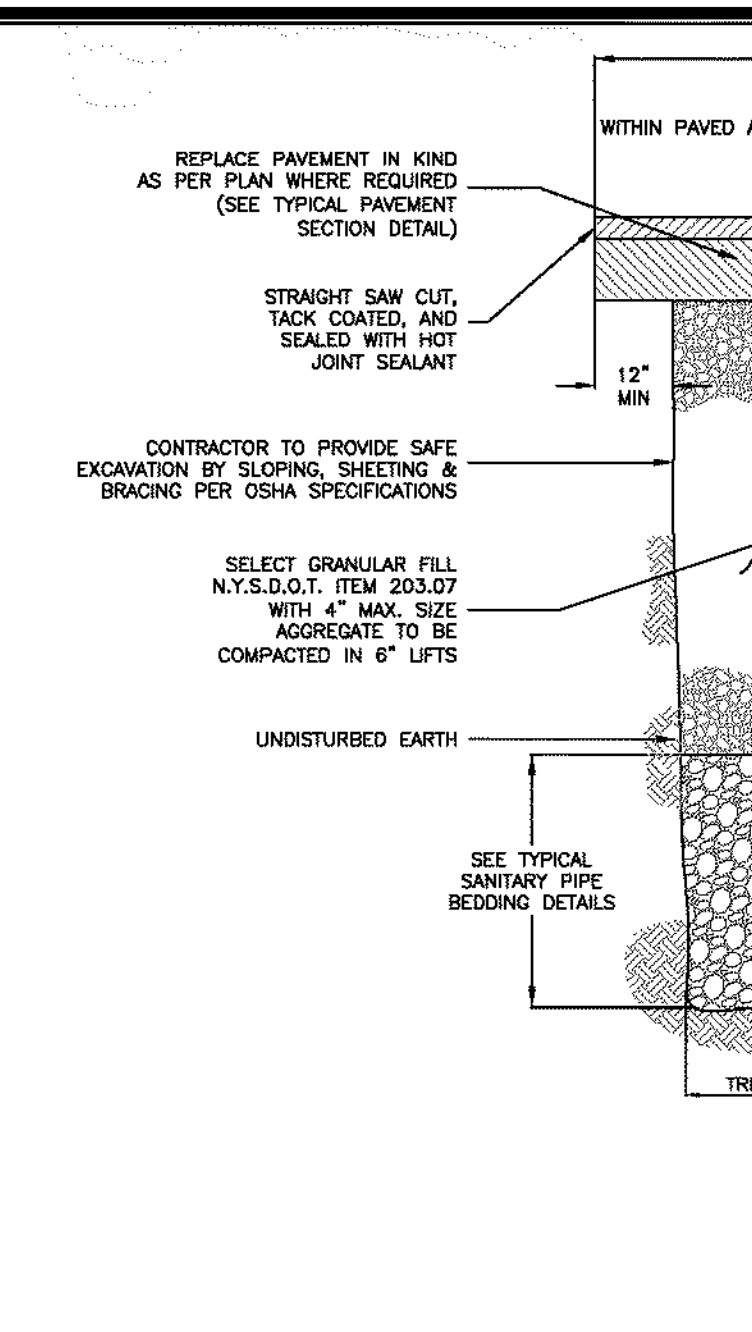
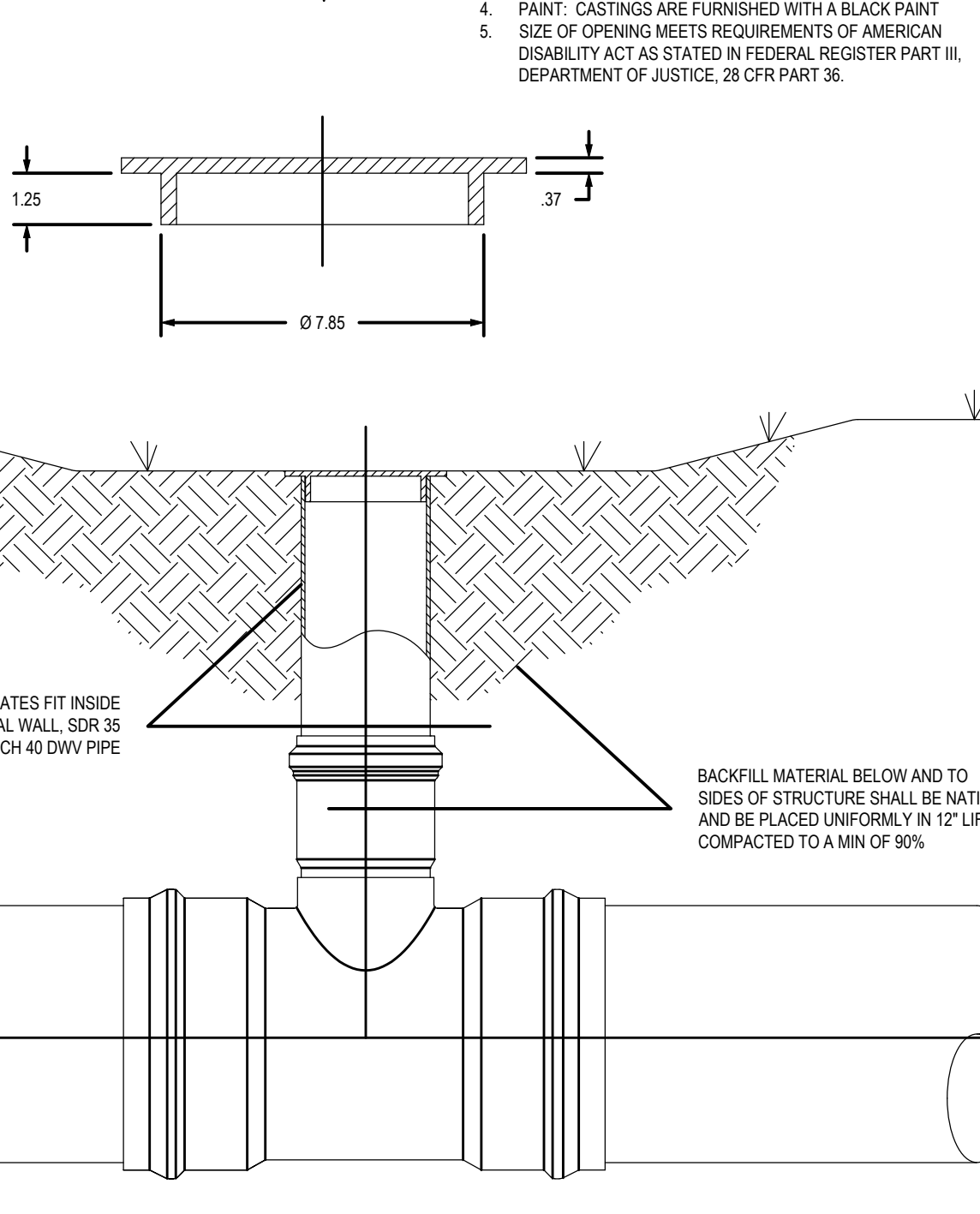
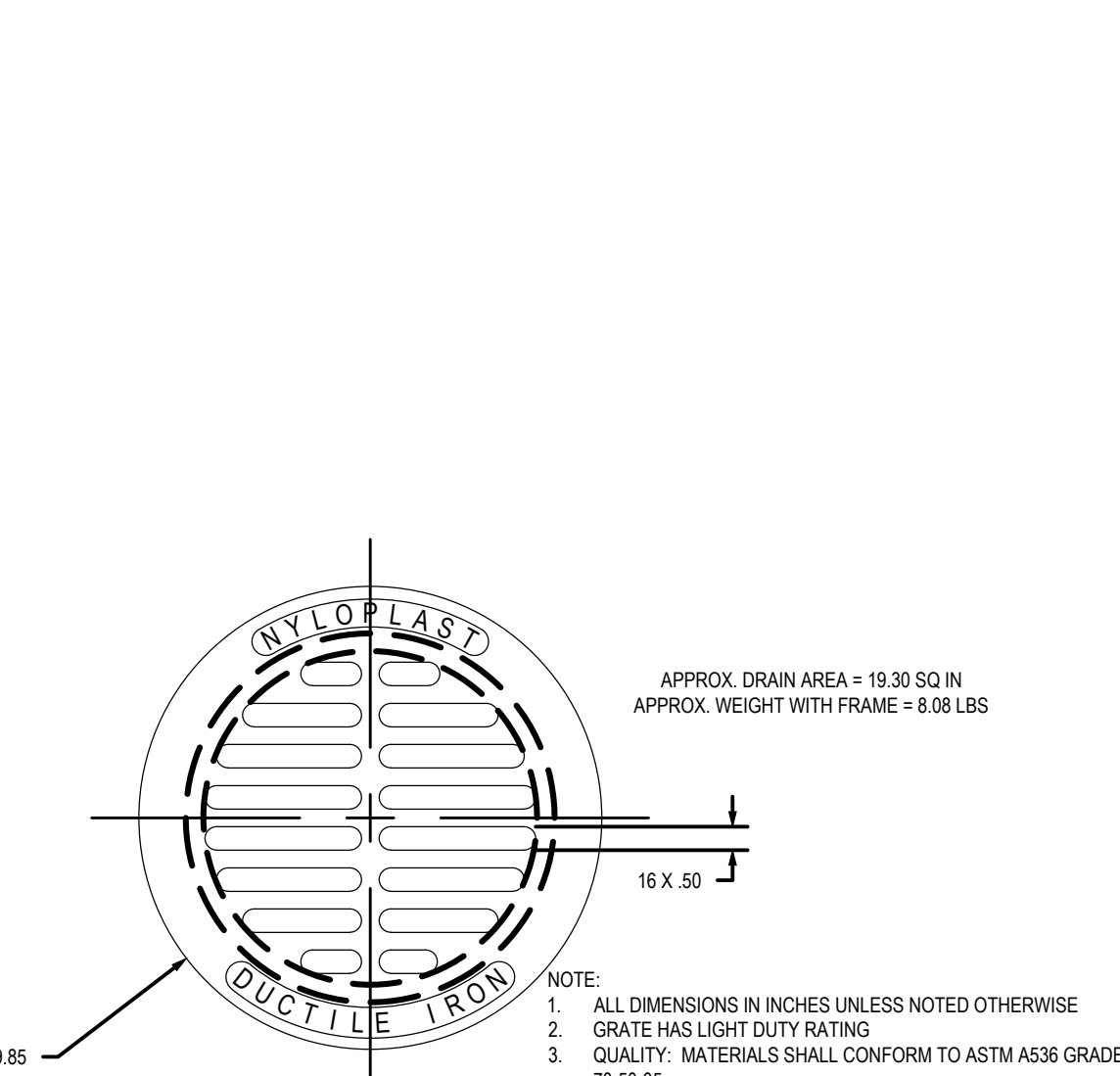
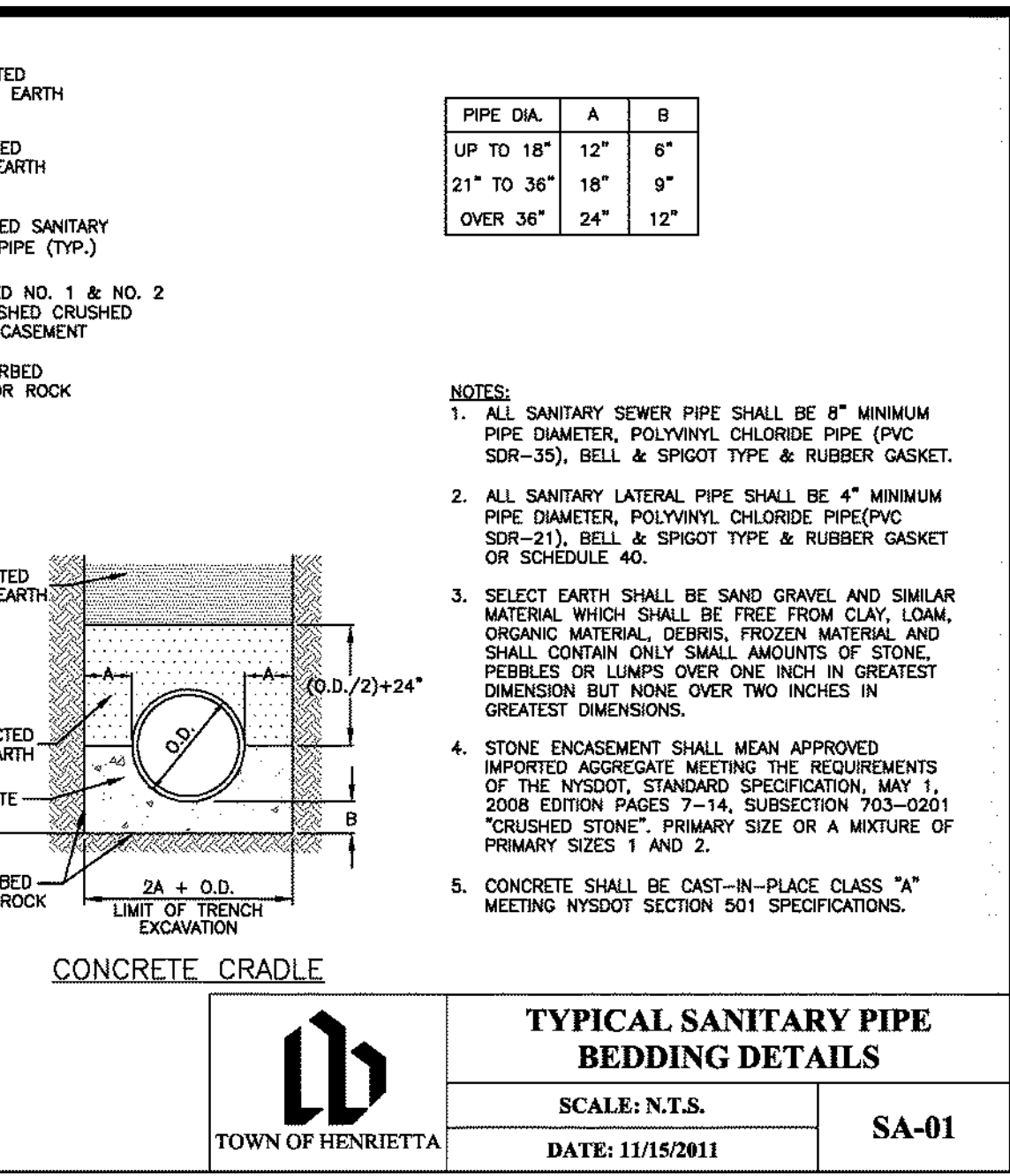
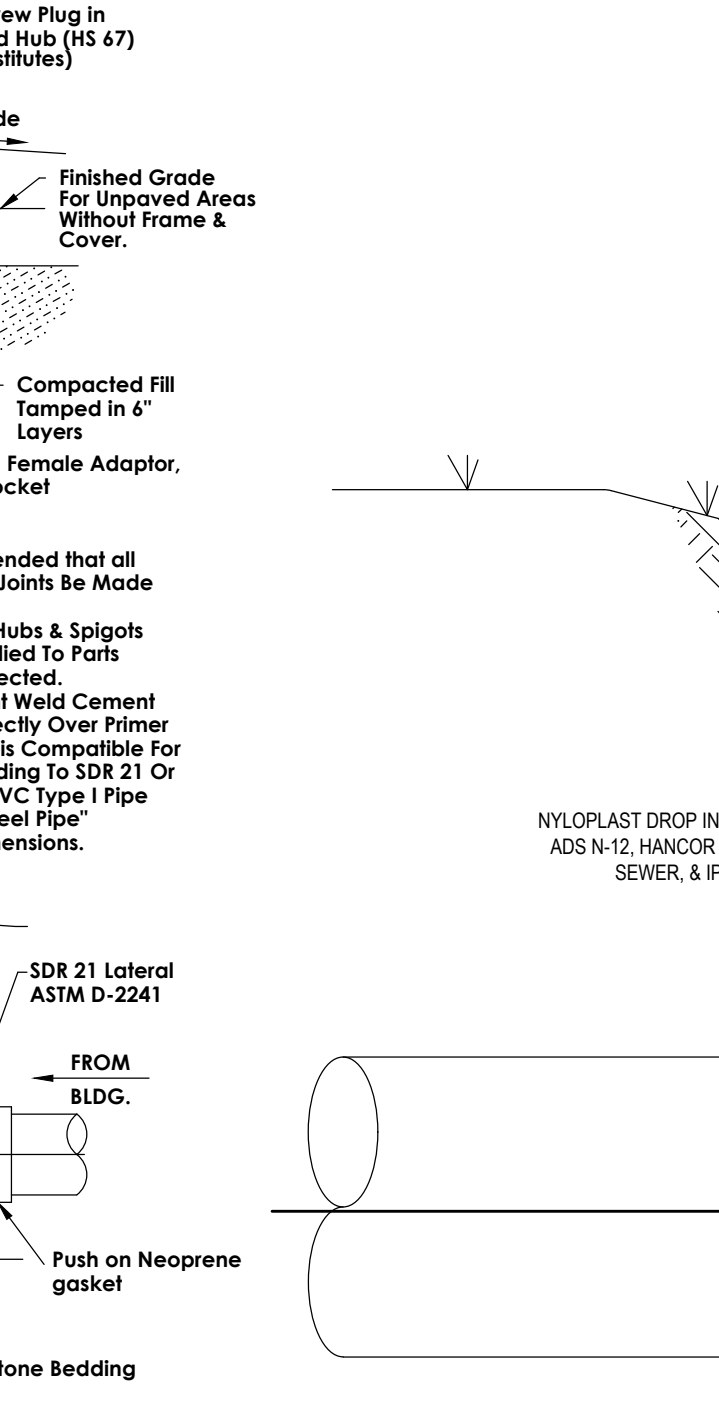
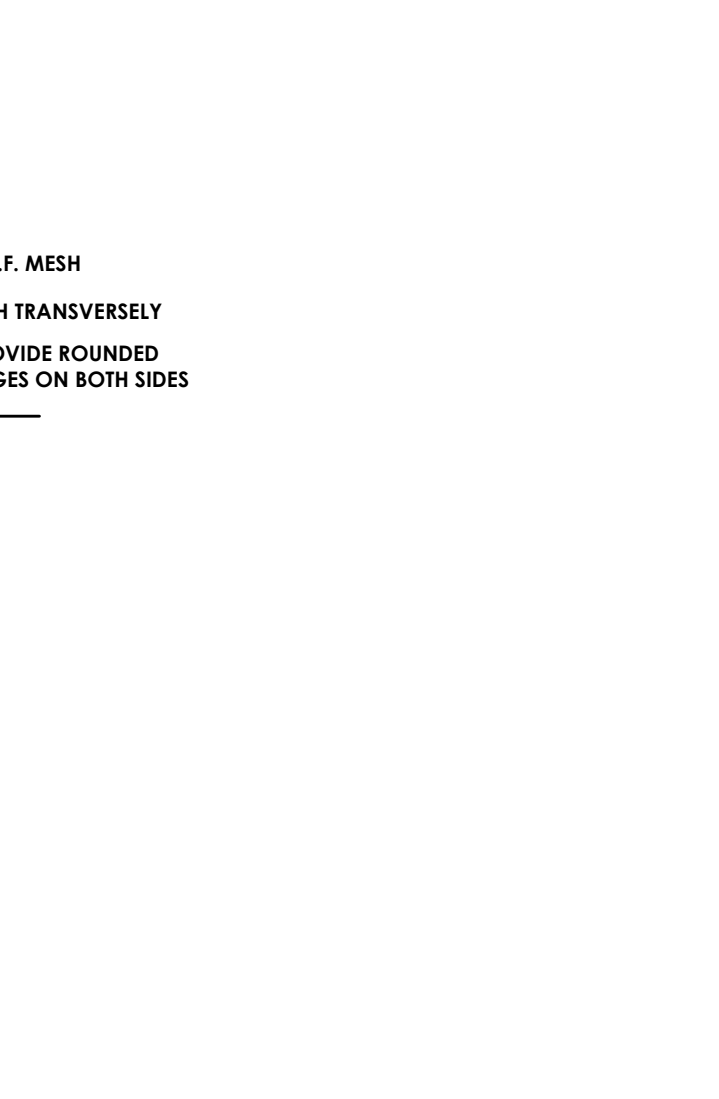
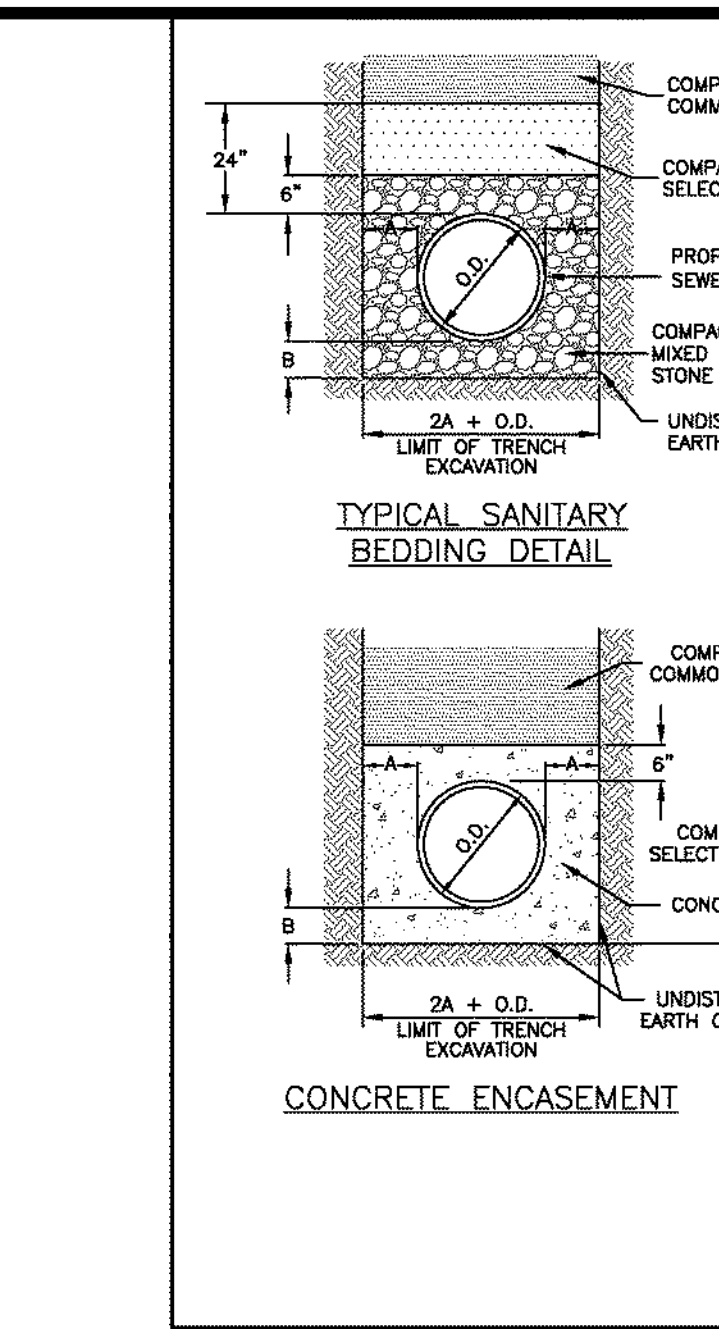
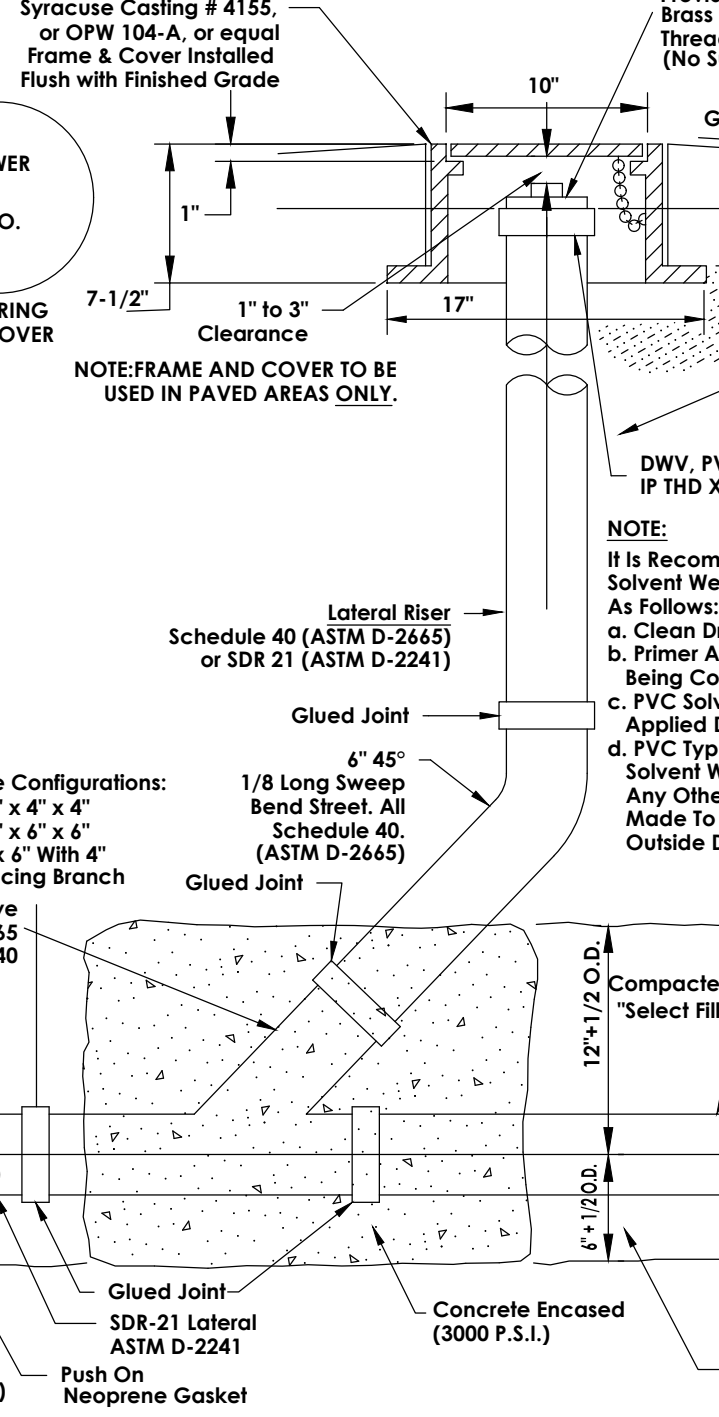
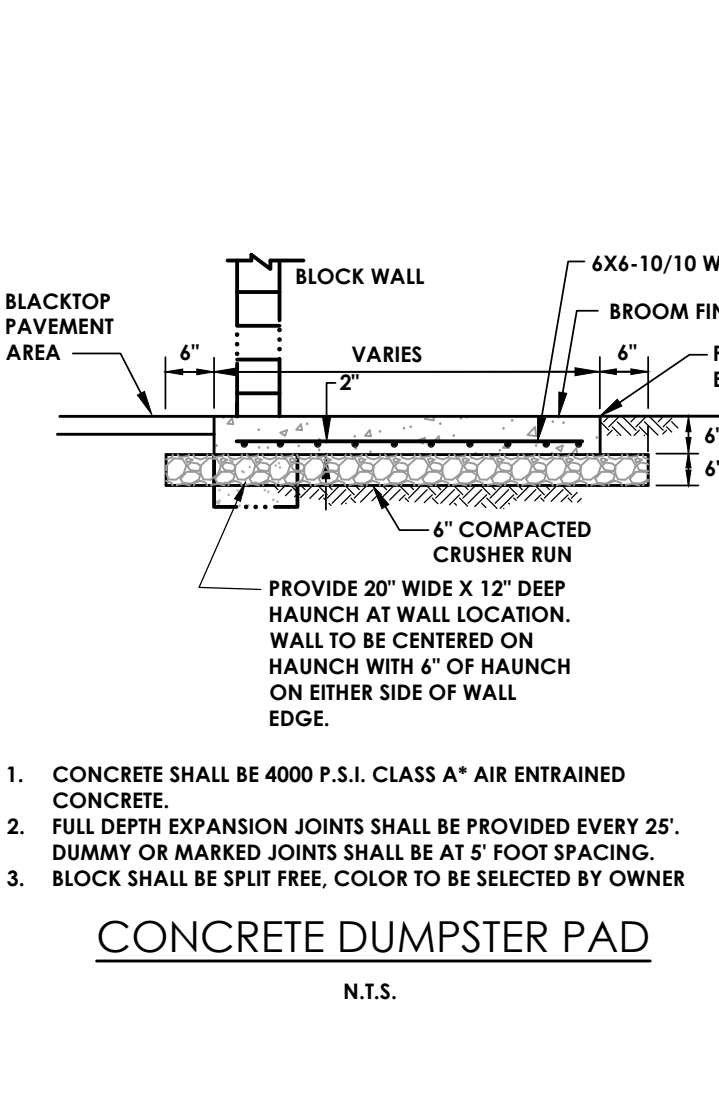
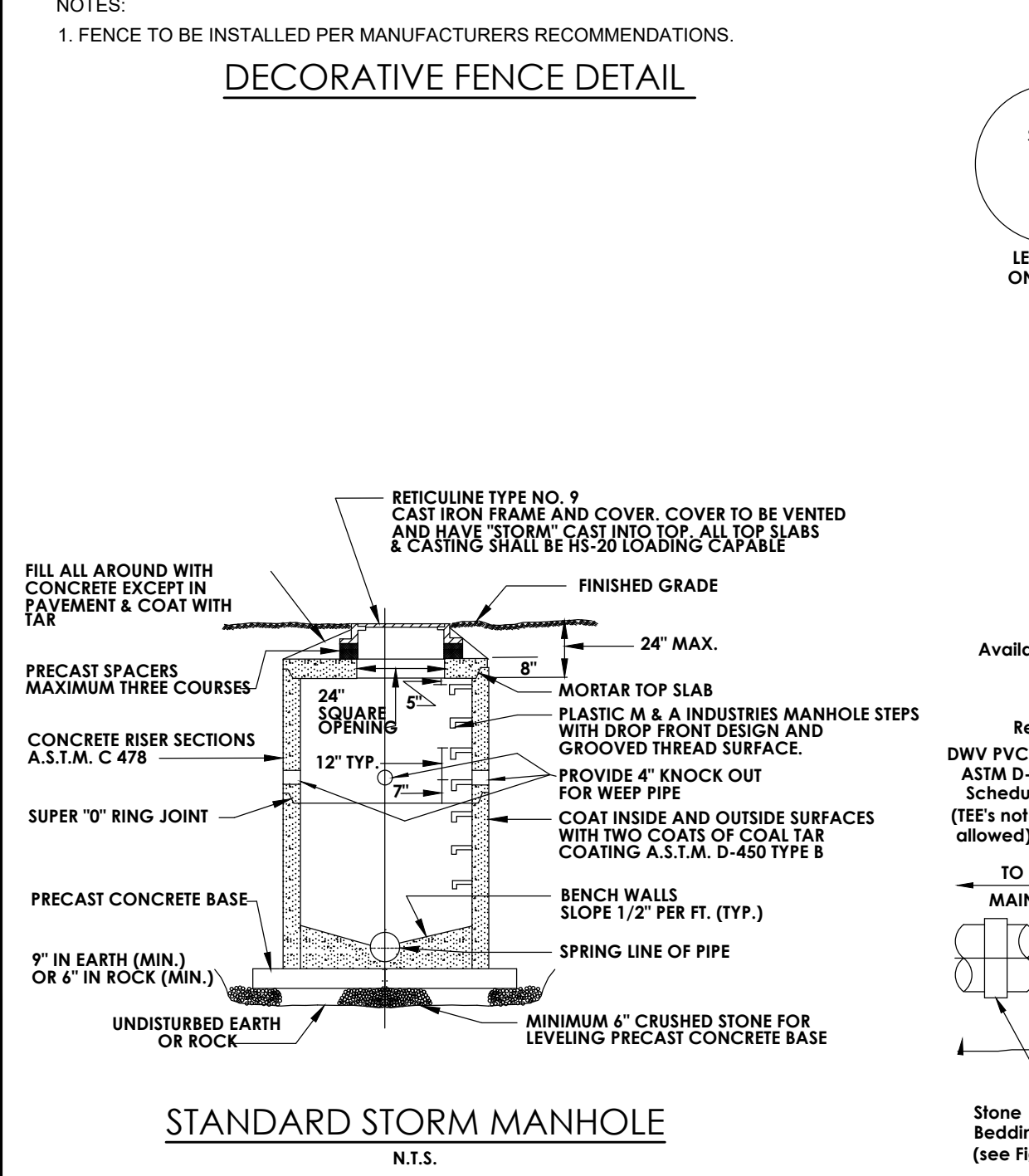
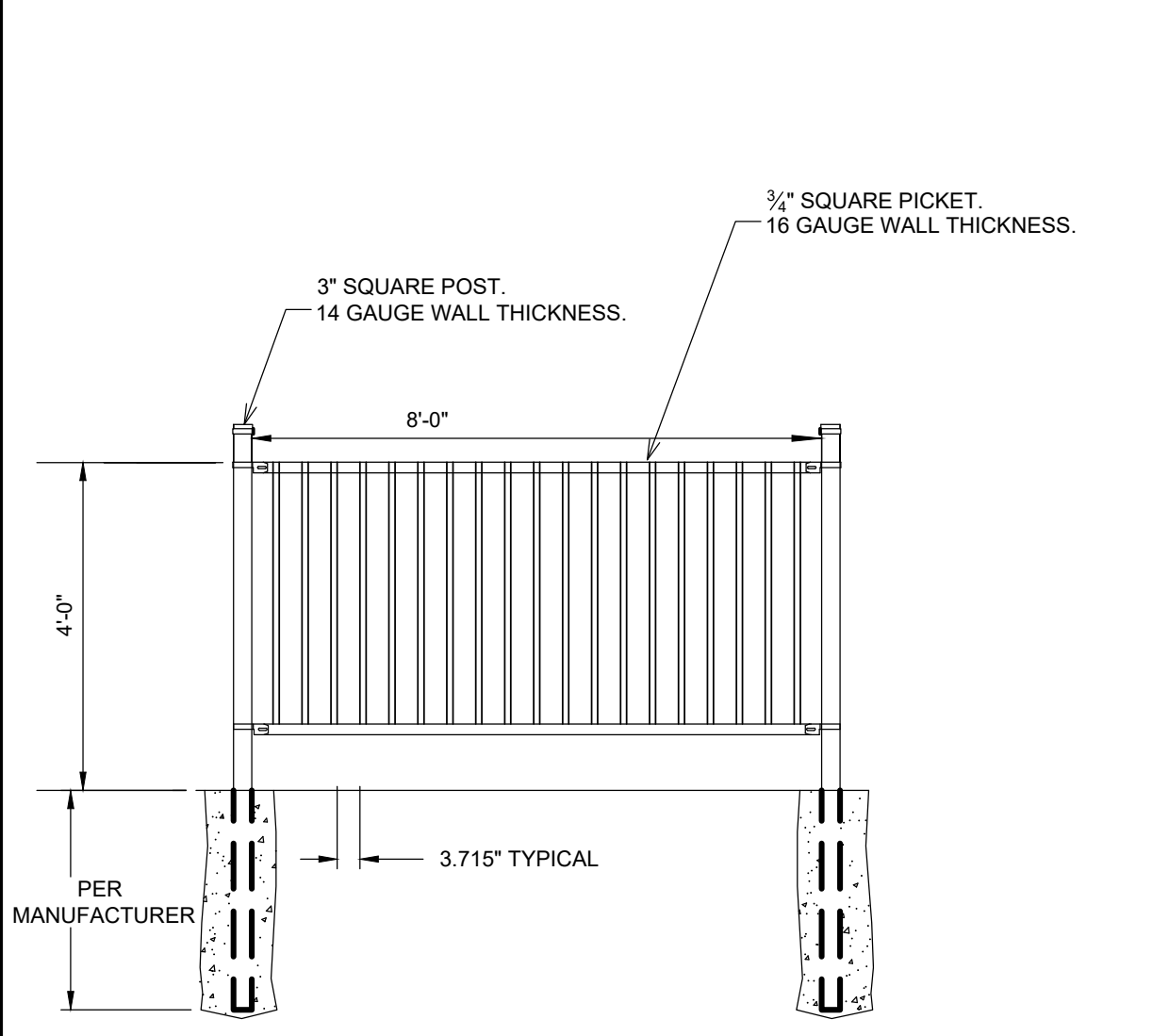
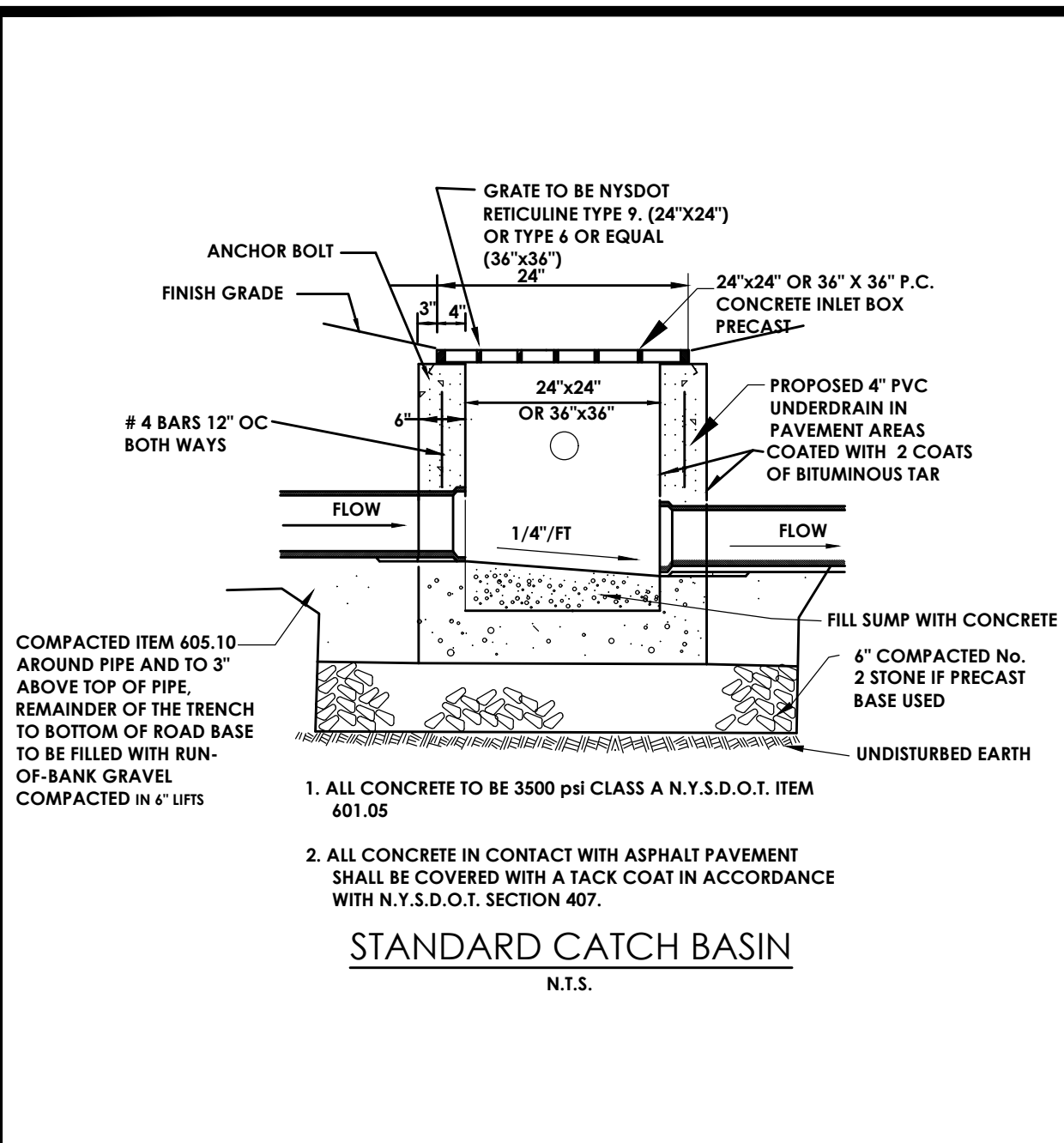
Revisions			
No.	Date	By	Description
1			

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NOTES AND DETAILS
JEFFERSON STARBUCKS

Town/City: Henrietta
County: Monroe State: New York
Project No:
20233509.0001
Drawing No:
C 202
Scale:
N.T.S.
Date
APRIL 2024

NOT FOR CONSTRUCTION



PA
PASSERO ASSOCIATES
engineering architecture

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JARLEY ROAD
CONVERSE EXP LRD
JEFFERSON ROAD, PLE. 252
TOWN OF HENRIETTA
N.T.S.

Client:
FSI
2213 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: DAVID COX
Project Manager: DAVID COX
Designed by: JOSHUA SAXTON

STATE OF NEW YORK
JESSIE DANIEL STUBBS
No. 2235
Professional Engineer

Revisions

No.	Date	By	Description
1			

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NOTES AND DETAILS
JEFFERSON STARBUCKS

Town/City: Henrietta
County: Monroe
State: New York

Project No.: 20233509.0001

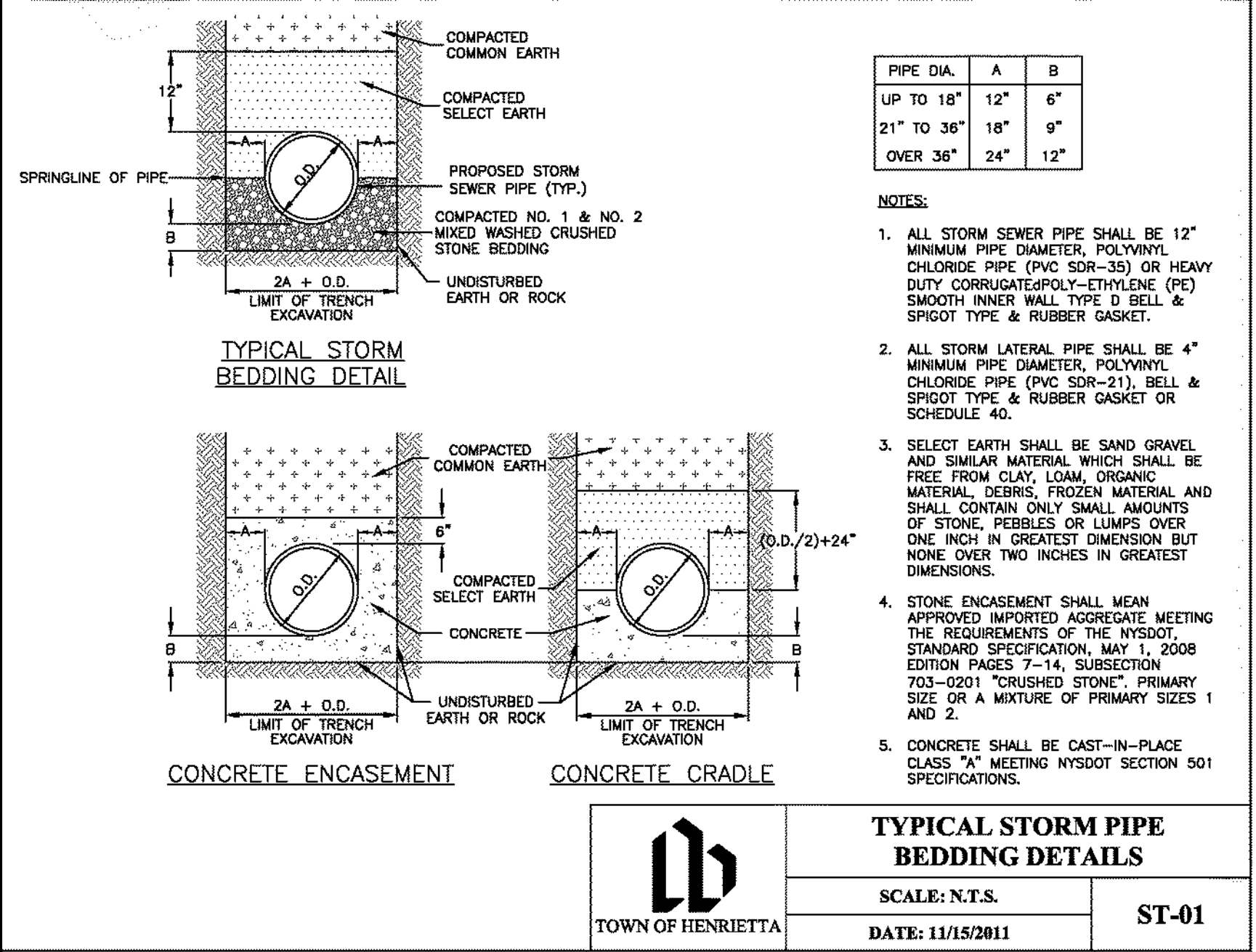
Drawing No.: C 203

Scale: N.T.S.

Date: APRIL 2024

NOT FOR CONSTRUCTION

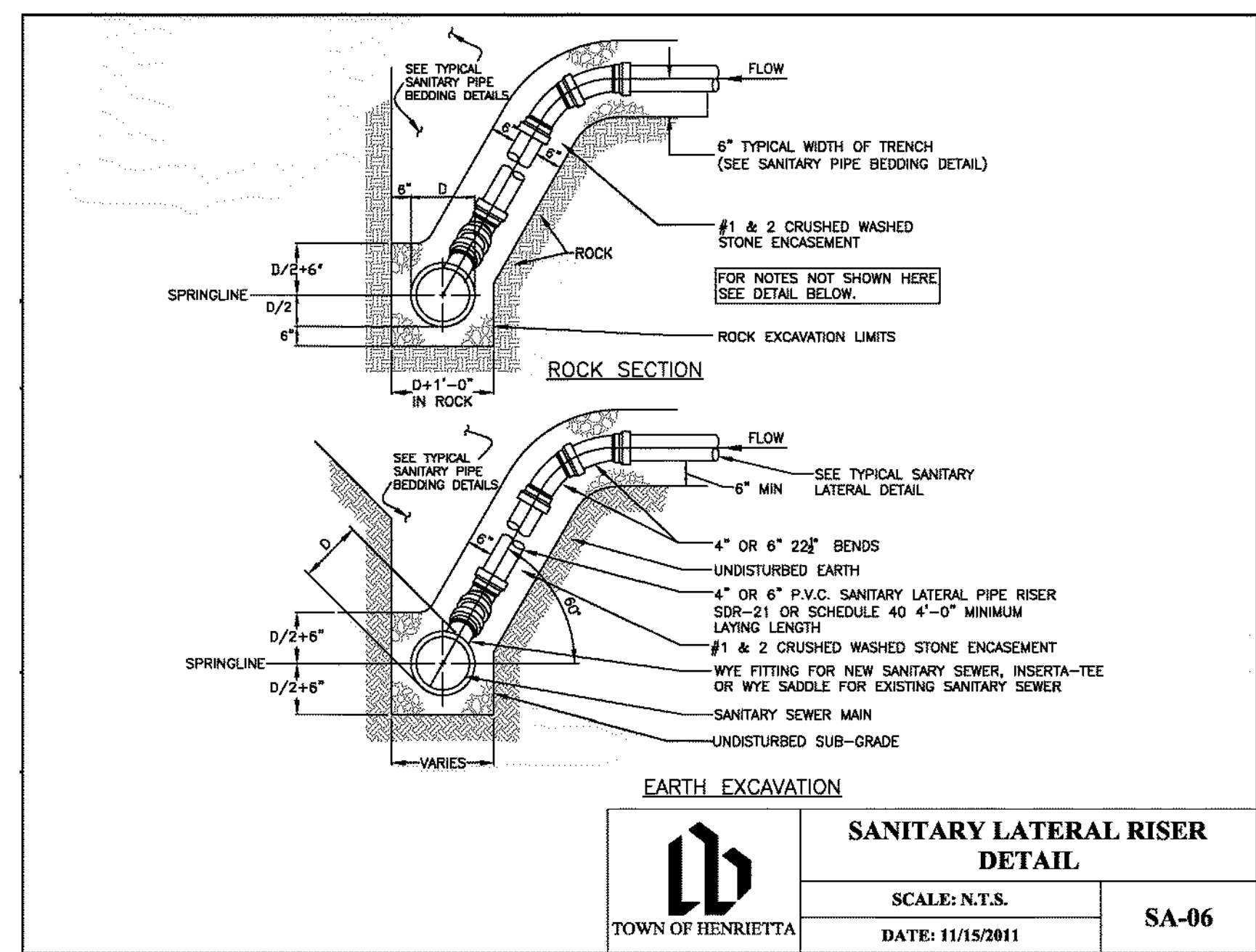
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TOWN OF HENRIETTA

TYPICAL STORM PIPE BEDDING DETAILS

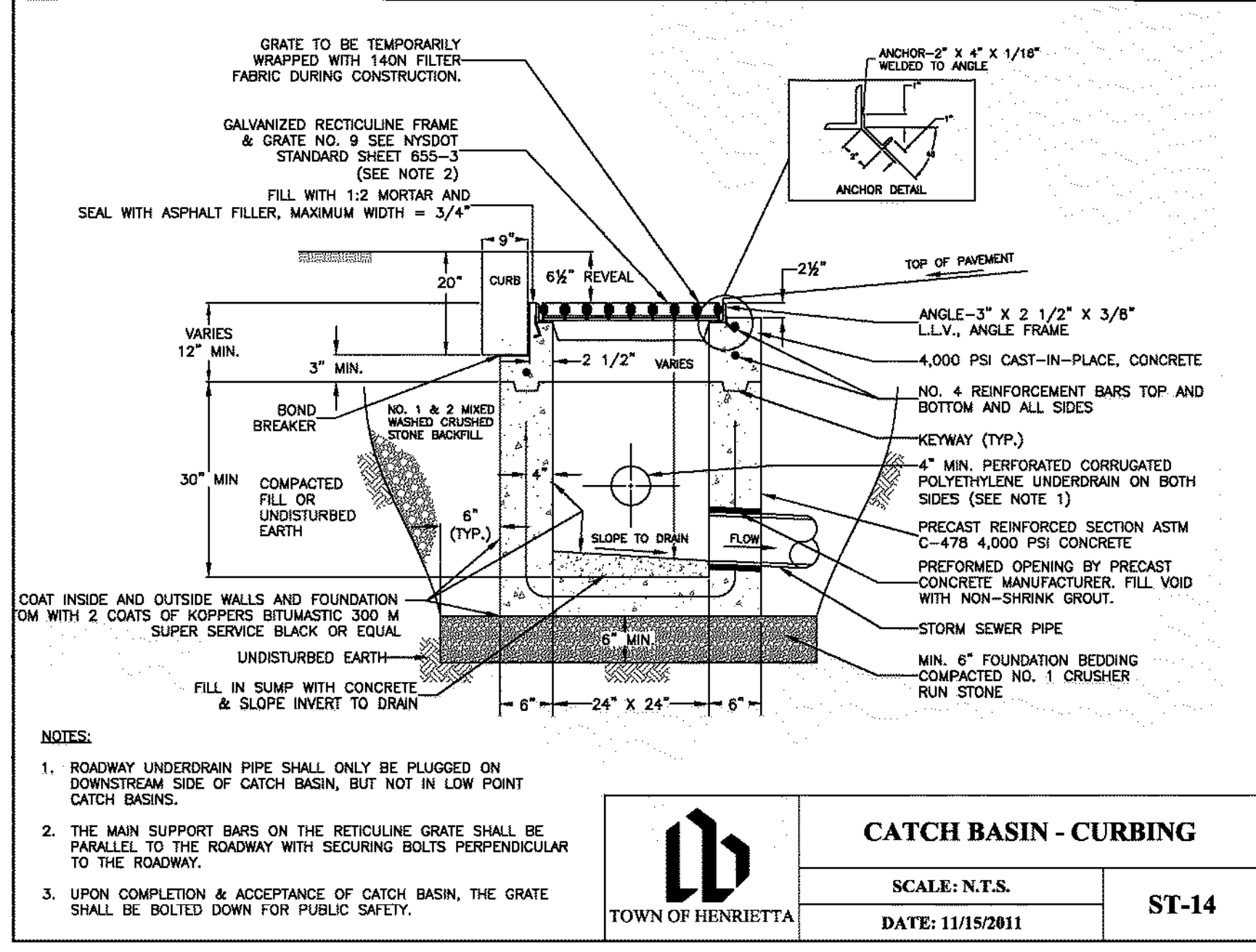
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TOWN OF HENRIETTA

SANITARY LATERAL RISER DETAIL

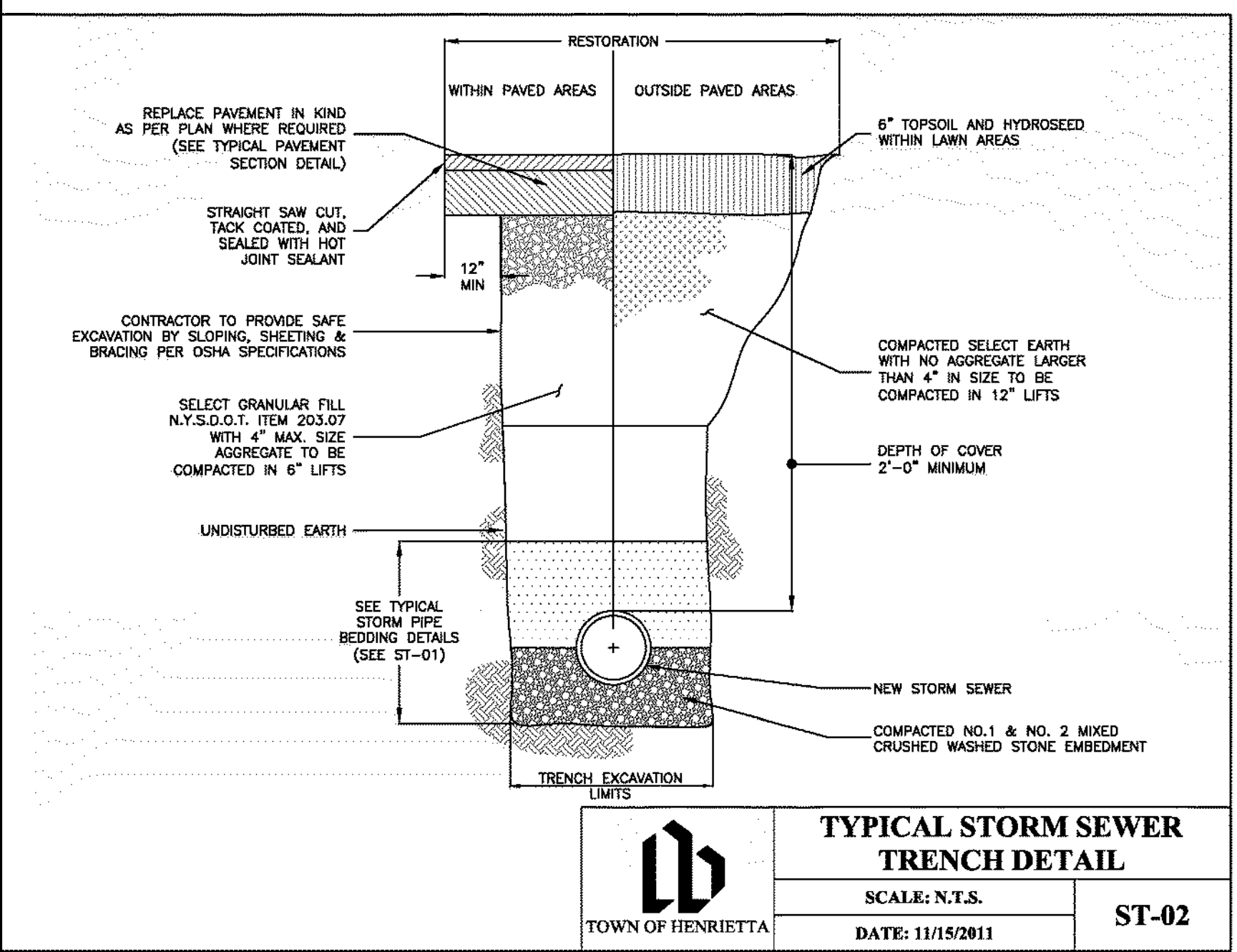
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TOWN OF HENRIETTA

CATCH BASIN - CURBING

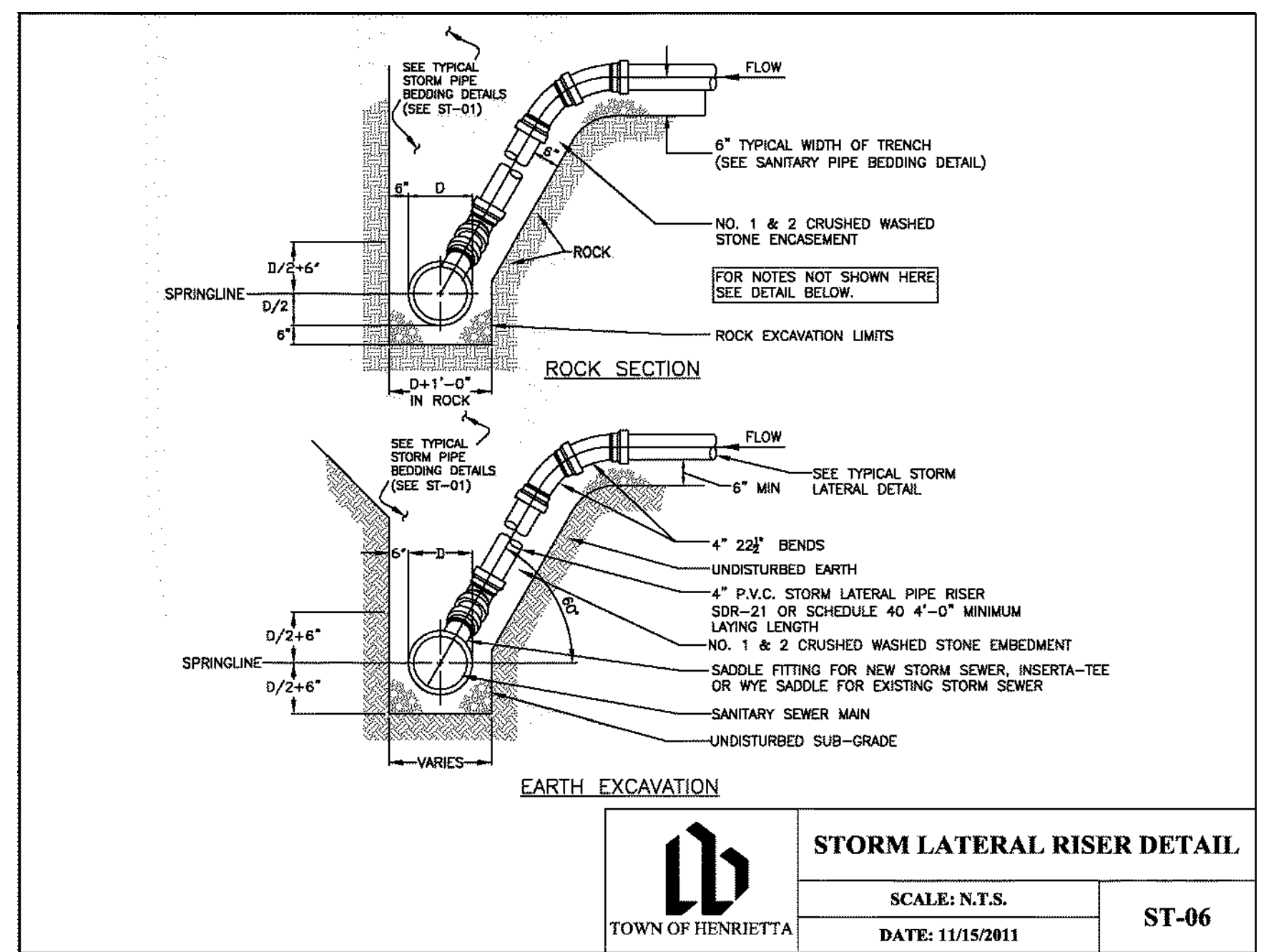
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TOWN OF HENRIETTA

TYPICAL STORM SEWER TRENCH DETAIL

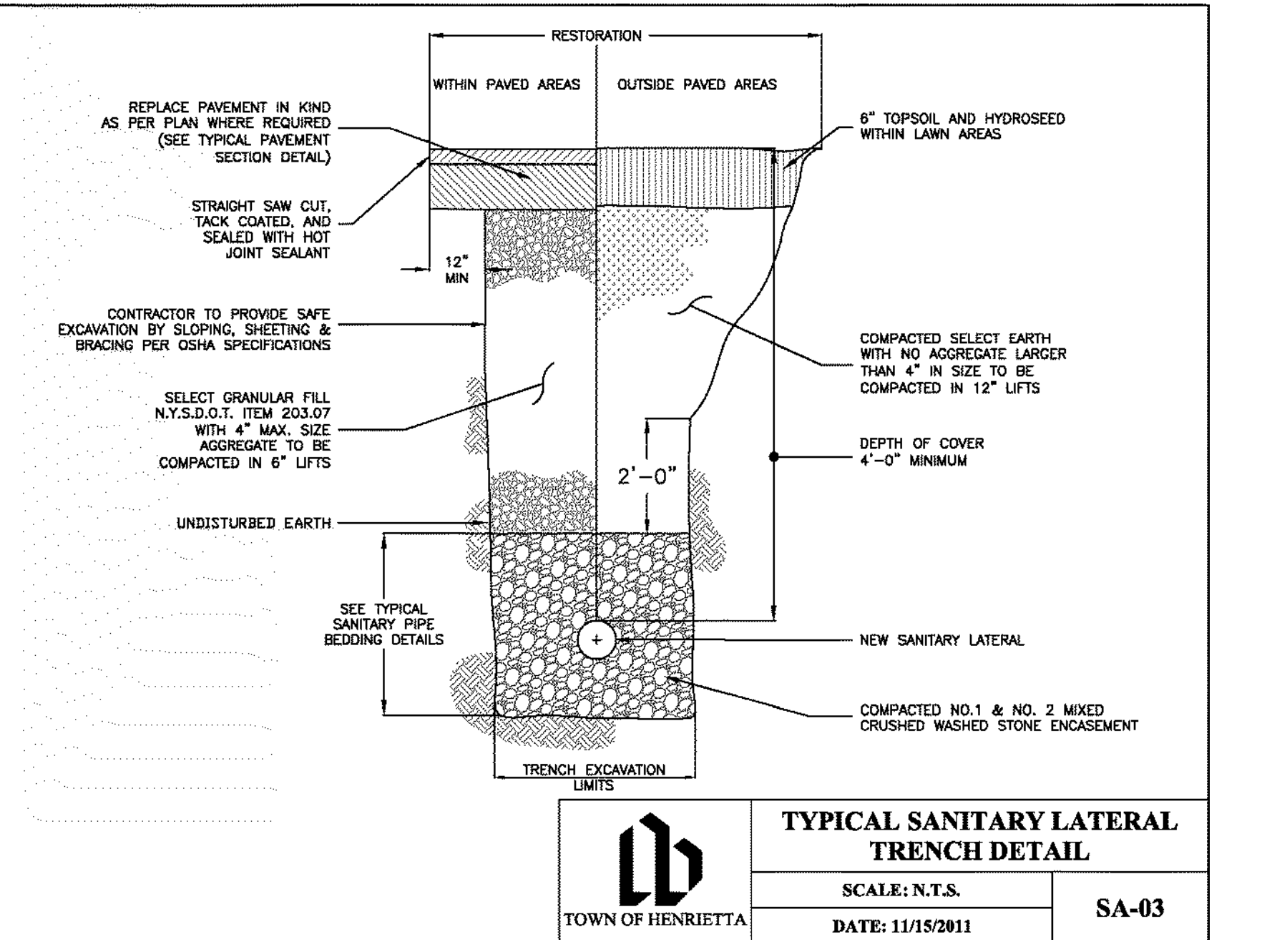
SCALE: N.T.S. DATE: 11/15/2011 **ST-02**



TOWN OF HENRIETTA

STORM LATERAL RISER DETAIL

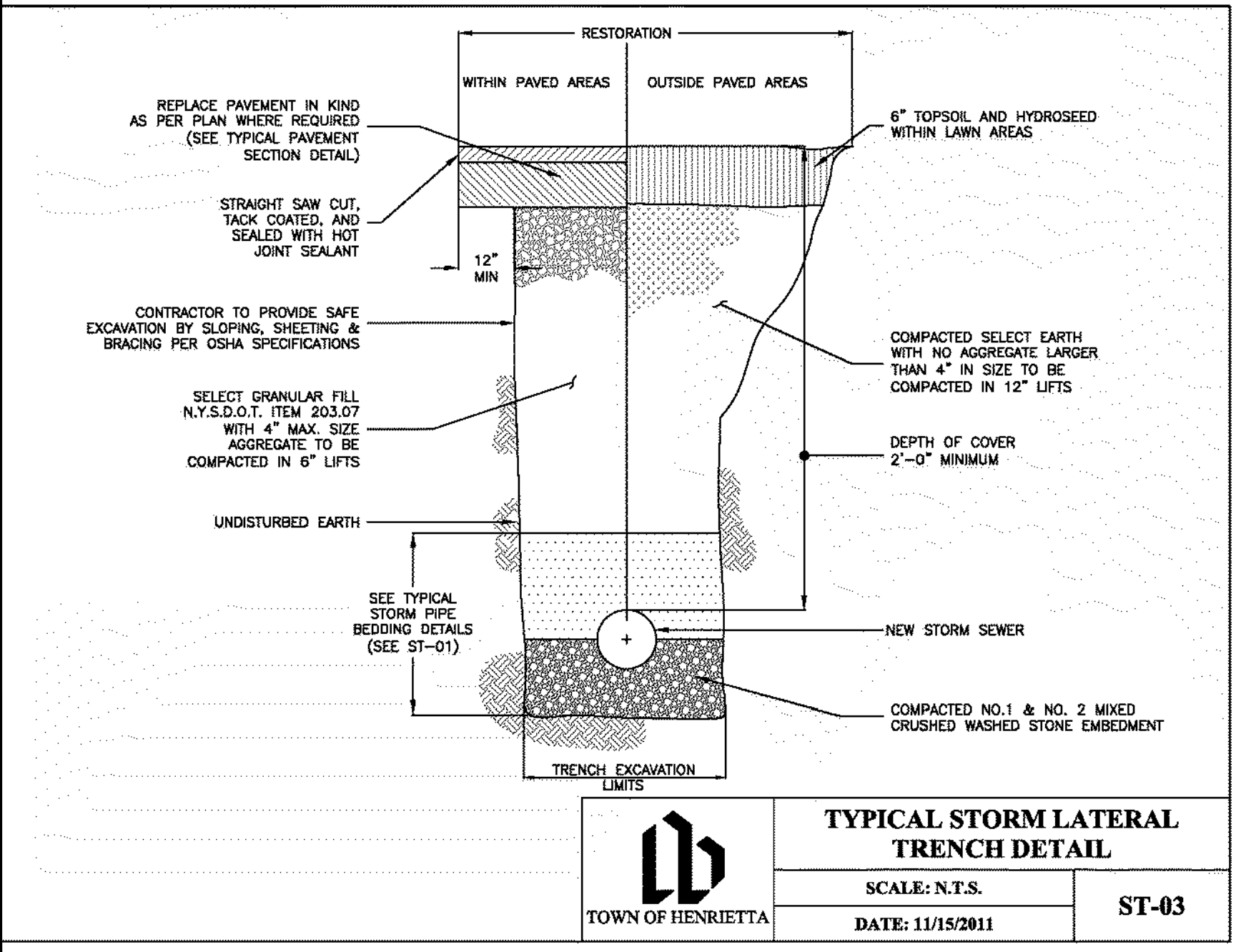
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TOWN OF HENRIETTA

TYPICAL SANITARY LATERAL TRENCH DETAIL

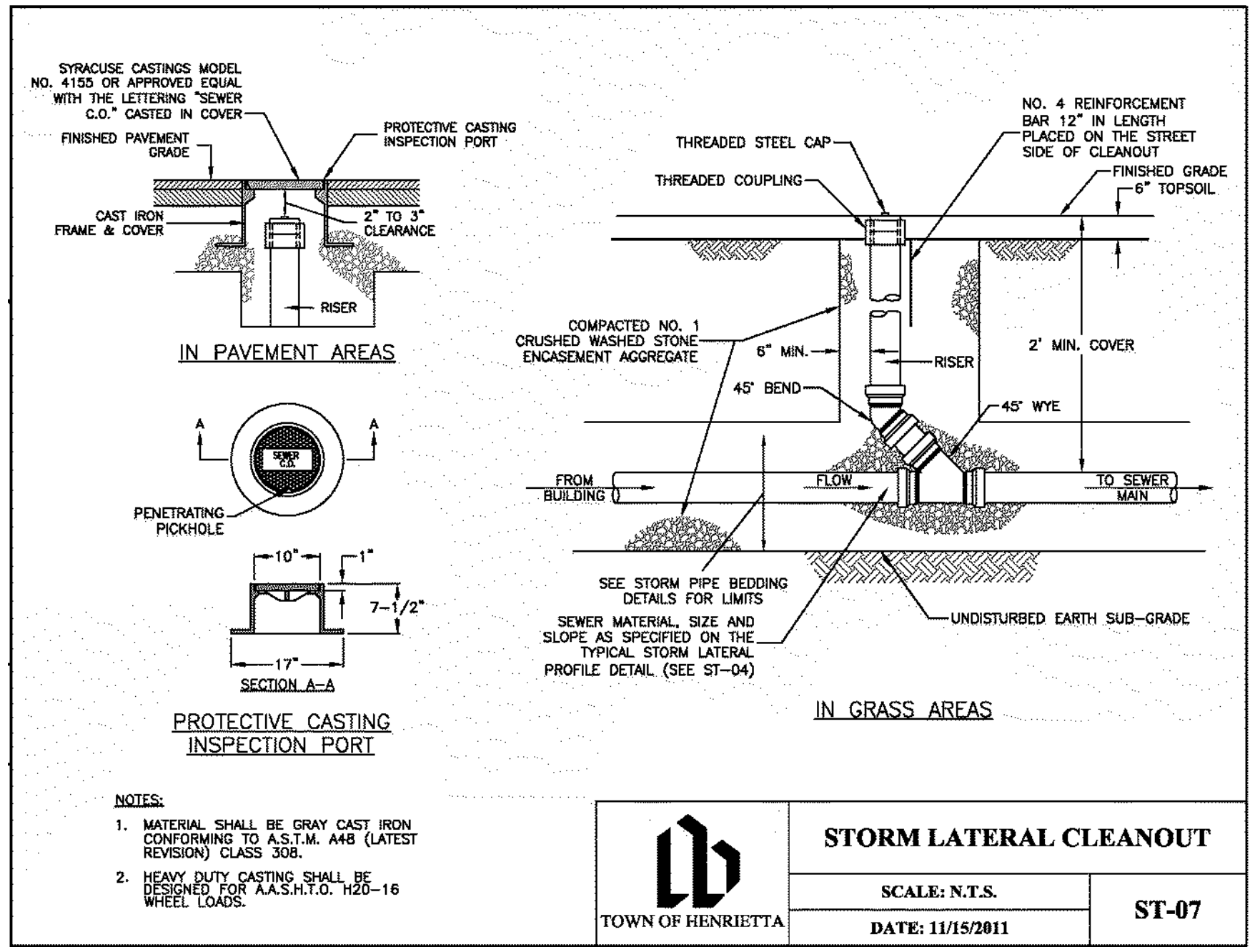
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TOWN OF HENRIETTA

TYPICAL STORM LATERAL TRENCH DETAIL

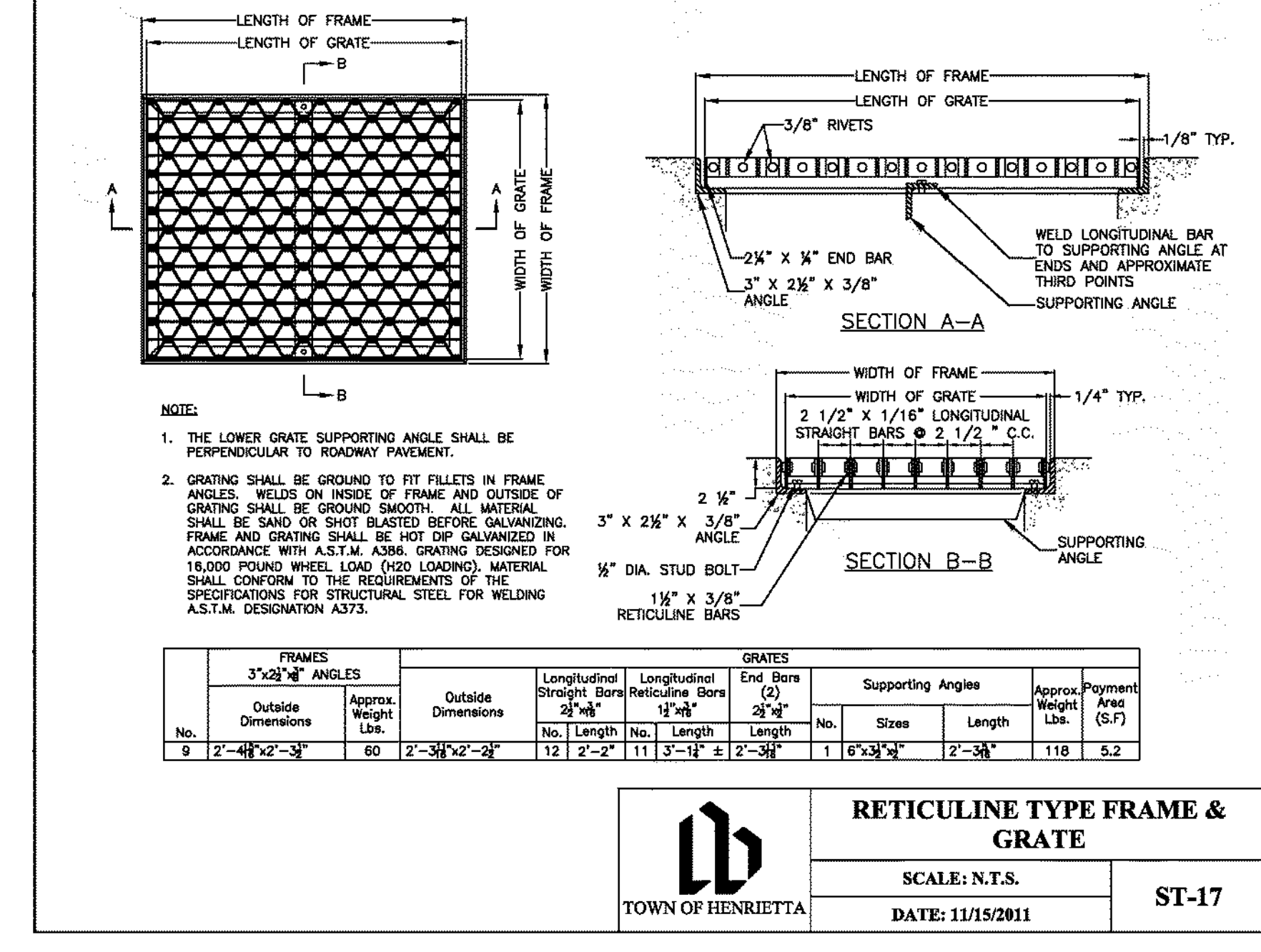
SCALE: N.T.S. DATE: 11/15/2011 **ST-03**



TOWN OF HENRIETTA

STORM LATERAL CLEANOUT

SCALE: N.T.S. DATE: 11/15/2011 **ST-07**



TOWN OF HENRIETTA

RETICULINE TYPE FRAME & GRATE

SCALE: N.T.S. DATE: 11/15/2011 **ST-17**

PA PASSERO ASSOCIATES
engineering architecture

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TOWN OF HENRIETTA LOCATION SKETCH N.T.S.

Client:
FSI
2213 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: DAVID COX
Project Manager: DAVID COX
Designed by: JOSHUA SAXTON

STATE OF NEW YORK
JESSIE DANIEL STUBBS
2235
PROFESSIONAL ENGINEER

Revisions

No.	Date	By	Description
1			

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NOTES AND DETAILS
JEFFERSON STARBUCKS

Town/City: Henrietta
County: Monroe State: New York

Project No: 20233509.0001

Drawing No: C 204

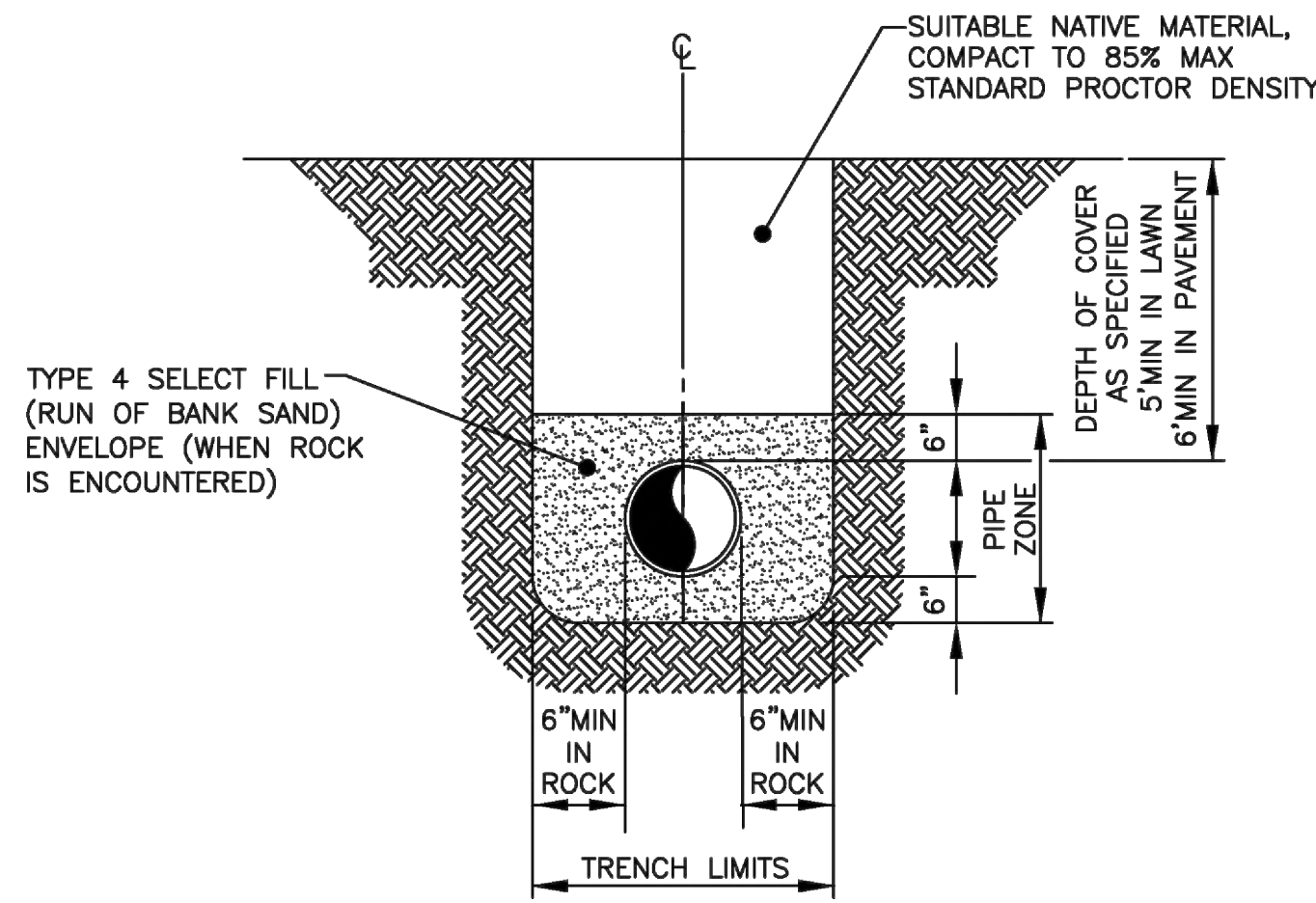
Scale: N.T.S.

Date: APRIL 2024

FRAMES		ANGLES		GRATES		Supporting Angles		Approx. Weight (Lbs.)	Payment Area (S.F.)
No.	Outside Dimensions	Approx. Weight (Lbs.)	Outside Dimensions	Longitudinal Straight Bars (2)	Longitudinal Reticuline Bars (2)	End Bars (2)	No.	Size	Length
9	2'-4" x 2'-3"	60	2'-3" x 2'-2"	12	2'-2"	11	3'-14"	2	3"
							1	6" x 3"	2'-3"
									118
									5.2

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NOT FOR CONSTRUCTION

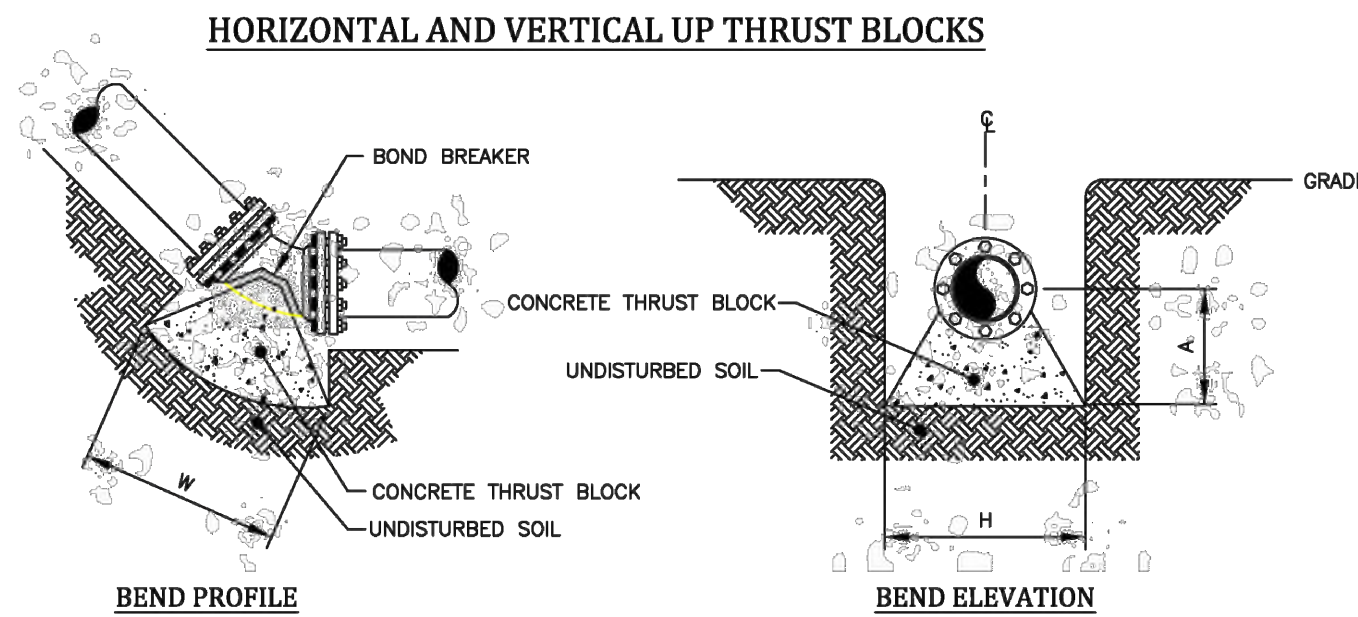


NOTE: EXCAVATION TO MEET OSHA REQUIREMENTS.

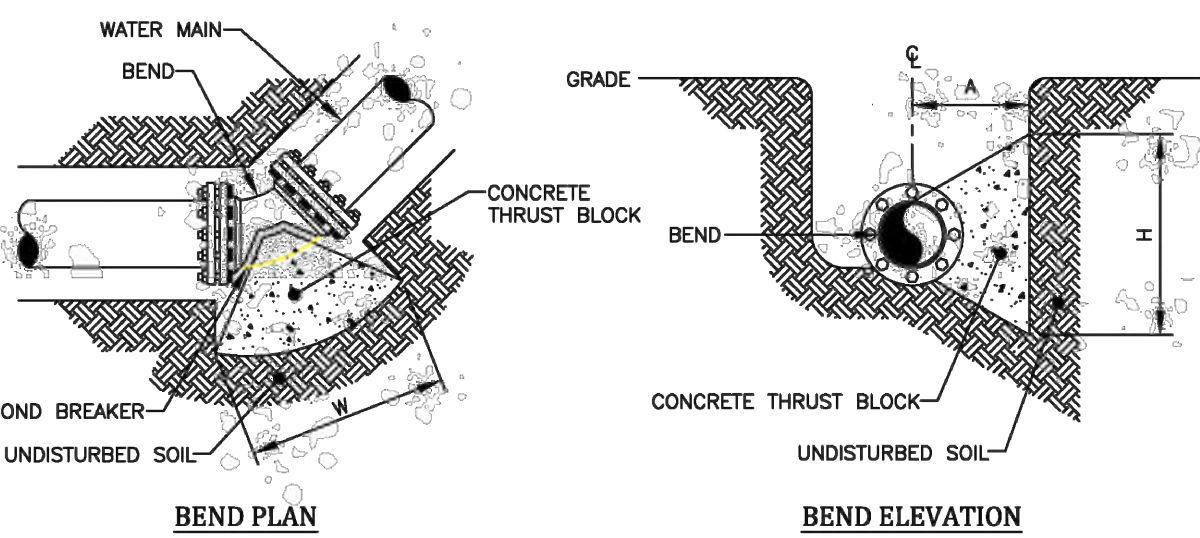
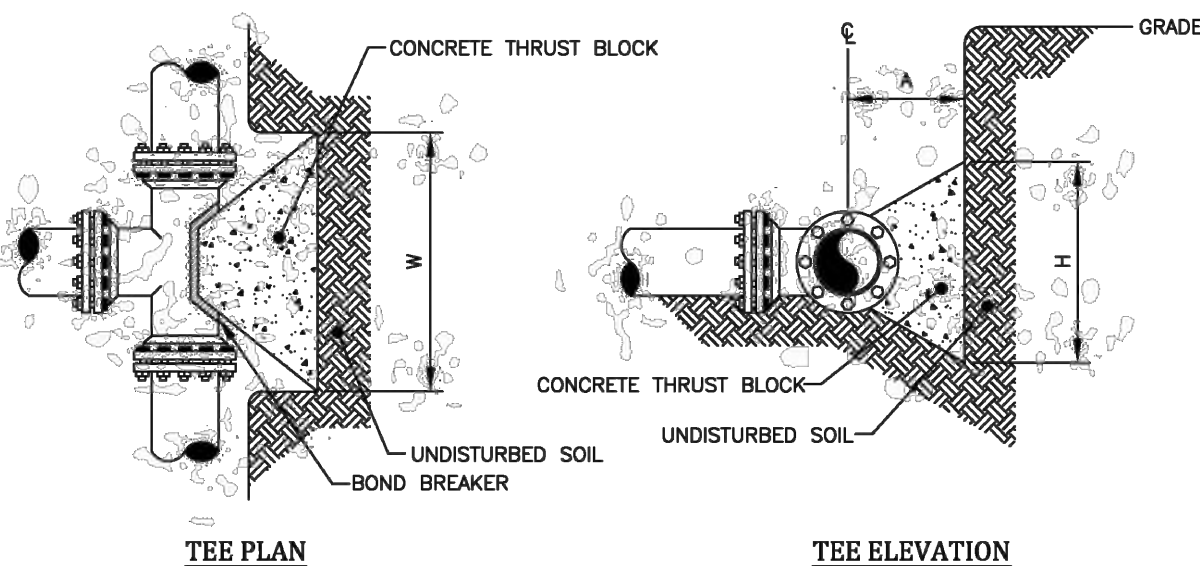
DIP TRENCH
NOT TO SCALE

PIPE DIAMETER	BEND OR FITTING														
	11 1/2 DEGREE			22 1/2 DEGREE			45 DEGREE			90 DEGREE			TEE*, CAP OR PLUG		
	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)			
6"	0.75	1.25	1.25	1	2	1	1.5	3	1.5	2.25	4.5	1.8	1.8	3.75	1.5

* SIZE BLOCK BASED ON BRANCH DIAMETER.
SOIL BEARING STRENGTH - PSF
PSI TEST PRESSURE



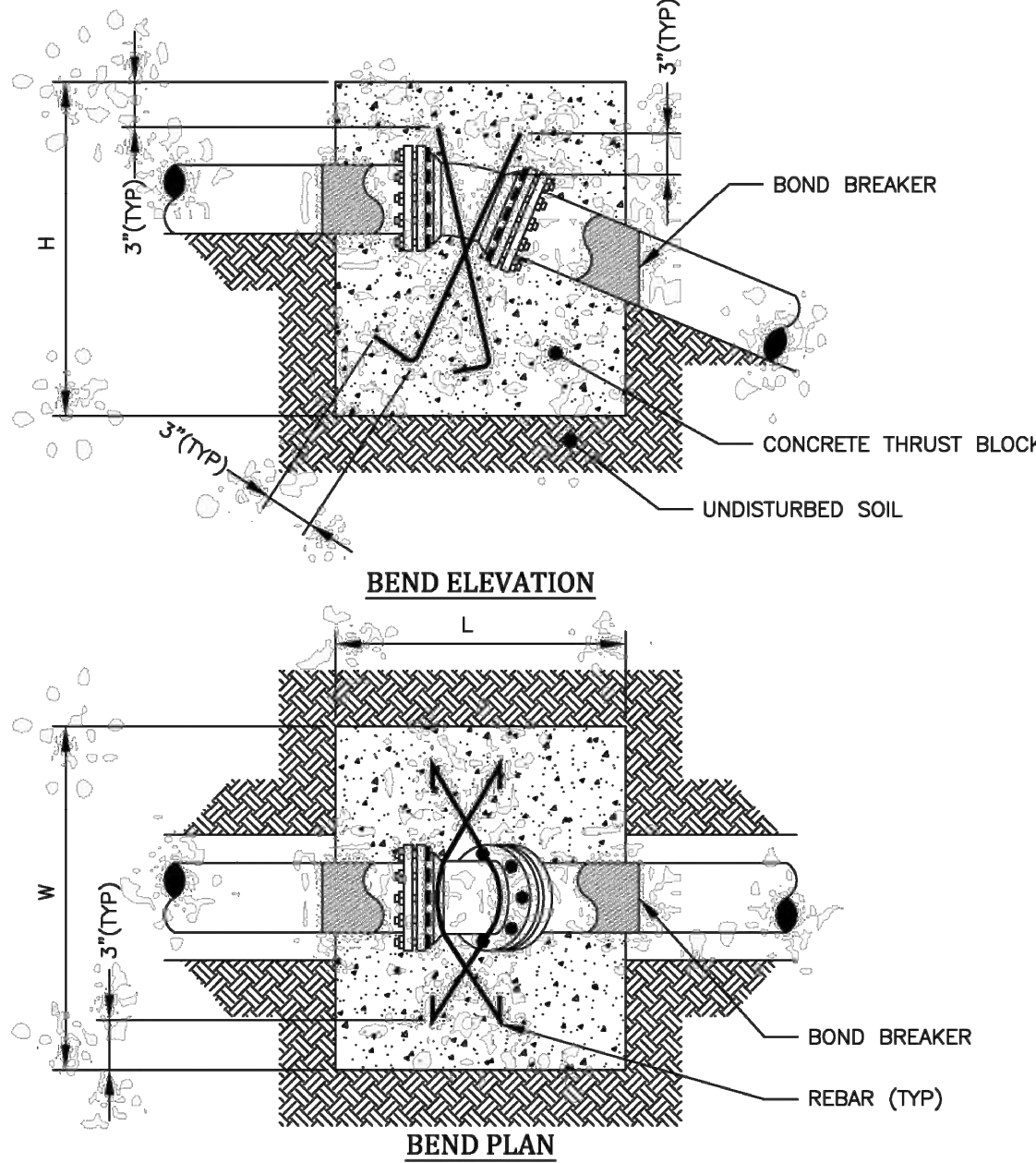
VERTICAL UP THRUST BLOCKS
NOT TO SCALE



HORIZONTAL THRUST BLOCKS

PIPE DIAMETER	BEND															
	11 1/2 DEGREE			22 1/2 DEGREE			45 DEGREE			90 DEGREE						
	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)				
6"	3	1	1	0.7	3.5	1	1.5	1.1	5	1	1.5	2.2	7	1	1.5	2.8

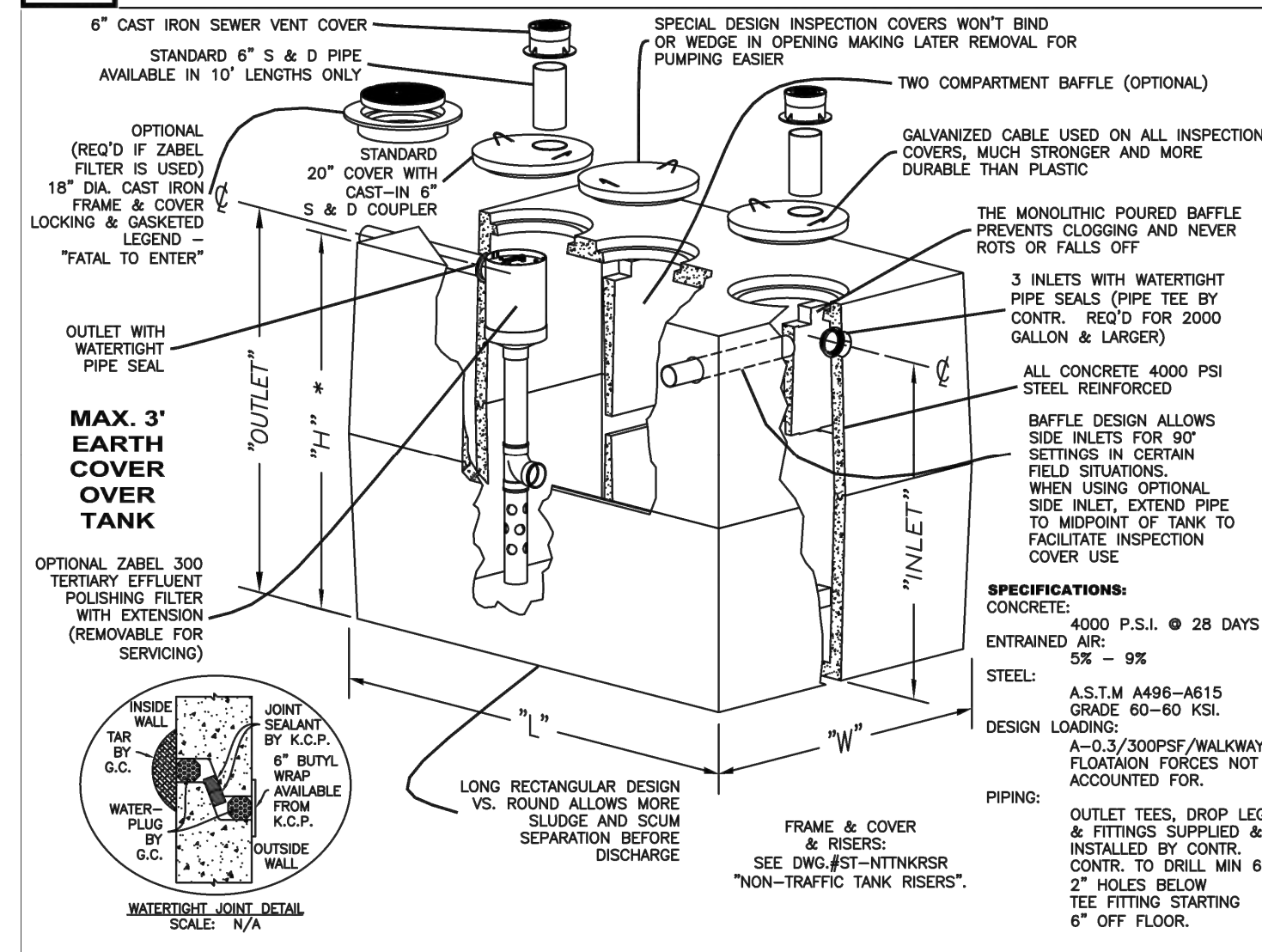
VERTICAL DOWN THRUST BLOCKS



NOTES:
1. THRUST BLOCKS SHALL BE CENTERED HORIZONTALLY ON BENDS.
2. VOLUMES SHOWN IN CHART ARE MINIMUMS.

VERTICAL DOWN THRUST BLOCKS
NOT TO SCALE

GREASE INTERCEPTORS - NON-TRAFFIC



DESCRIPTION	"L"	"W"	"H"	"INLET"	"OUTLET"	DWG. #	REV. DATE
300	53"	53"	46"	38"	37"	GI-KSEP-GI300	1/16/2007
500	82"	40 1/2"	64"	56 1/2"	53 1/2"	GI-KSEP-GI500	1/16/2007
1250 2 COMPARTMENT	96"	62"	76"	68 1/2"	65 1/2"	GI-KSEP-GI1250	1/16/2007
1500 2 COMPARTMENT	102"	69 3/4"	76"	68"	65"	GI-KSEP-GI1500-I	1/16/2007

PUBLIC WATER SYSTEM NOTES

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority:

Material:

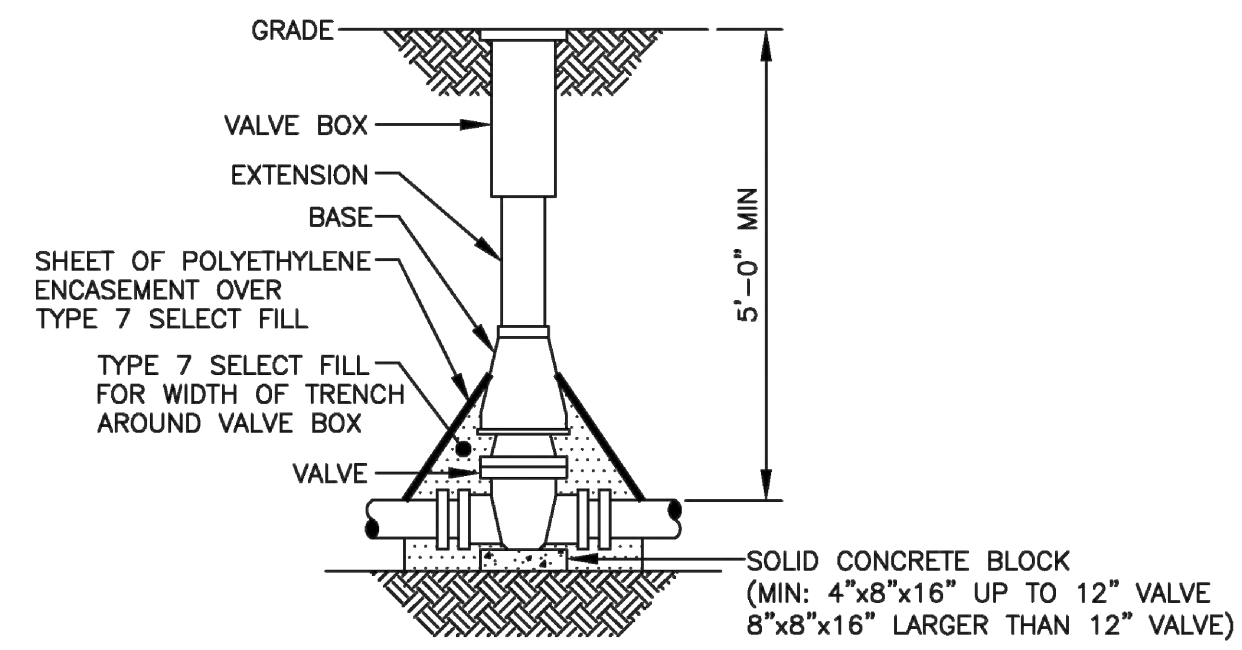
- Water main(s) shall be 6-inch ductile iron cement-lined Class 52.
- Water service(s) shall be N/A-inch Type K Copper from the water main to the curb box and N/A-inch (Type K soft Copper or PE #4710) from the curb box to the meter.
- Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.

Tests:

- Soil Test.** The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWA C105/AZ1.5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test.** Water mains to be pressure tested in accordance with the latest Water Authority specifications. **A Water Authority representative must witness this test.**
- Health Sample.** The water main shall be disinfected equal to AWWA Standard Specifications, designation C-651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Monroe County Health Department. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.

Installation:

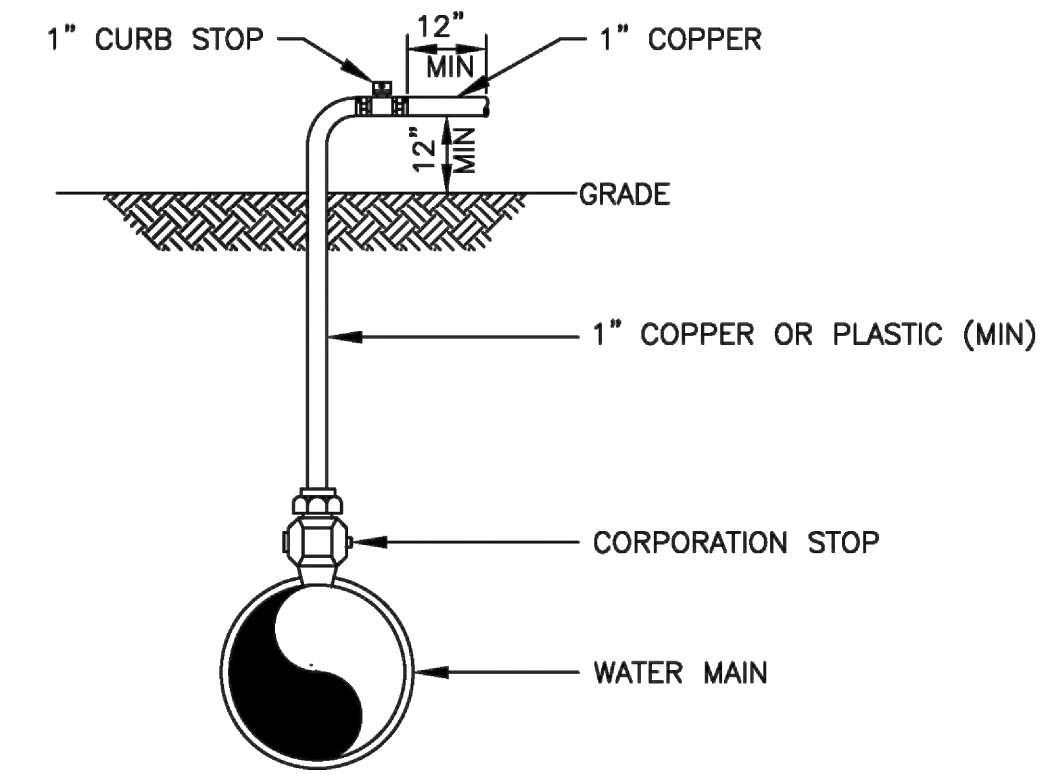
- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
- Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipes at the point of crossing. Minimum horizontal separation between water mains and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All mechanical joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.



NOTES:

- VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
- VALVE SHALL NOT SUPPORT VALVE BOX.
- ALL VALVES SHALL BE OPEN LEFT EXCEPT: TOWN OF WEBSTER - VALVES 12" AND SMALLER SHALL OPEN RIGHT. TOWN OF HENRIETTA - SHALL OPEN RIGHT.

VALVE
NOT TO SCALE



NOTE: IN THE PRESENCE OF A WATER AUTHORITY REPRESENTATIVE REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY DISINFECTION/SAMPLE TAPS AND REPLACE WITH THREADED BRASS STOP.

DISINFECTION/BLOW-OFF/SAMPLING TAP (TEMPORARY)
NOT TO SCALE

4" AND LARGER WATER SERVICE LINE NOTES

- Water service lines shall be constructed in accordance with the regulations and specifications of the Water Authority.
- Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.
- Water service lines shall be separated at least ten feet, measured from the outside of the pipes, from sewer mains or septic systems.
- Water service lines shall be identified as:

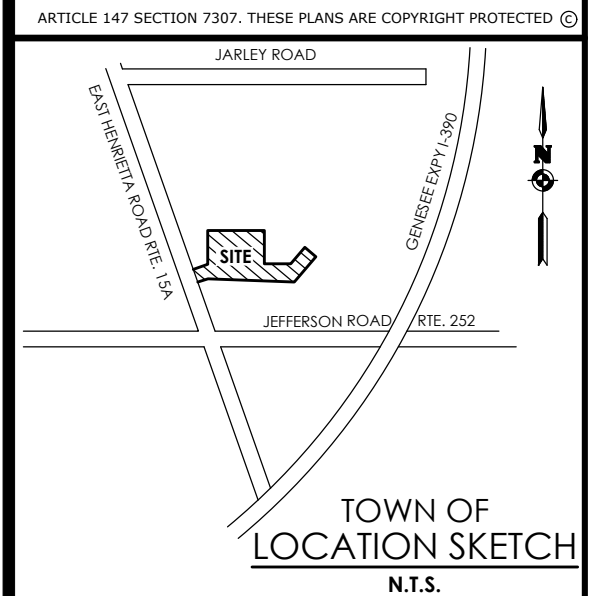
DESCRIPTION	SIZE	MATERIAL ^(a)	TYPE ^(b)
MCWA Portion: from the water main to and including the control valve on the ROW/property/easement line	6"	D.I.P. ^(a)	CMB
Private Portion: from the control valve to the meter	6"	D.I.P. ^(a)	CMB

(a) Acceptable material is *Class 52 cement mortar lined Ductile Iron Pipe.
(b) Service Types include: Domestic = DS, Fire = FS, or Combined = CMB

- The Water Authority's portion of the water service line shall be installed prior to the private portion of the service line.
- Water meter(s) to be located on the interior of exterior walls(s) immediately upon service entrance into the building(s). A by-pass assembly is not required around the installation of 5/8-inch through 1-inch meters. Meter installations greater than 1 inch require a by-pass assembly around the meter.
- Water service lines sized 4-inches or greater shall be:
 - Pressure tested in accordance with the latest specifications of the Monroe County Water Authority. **A Water Authority representative must witness this test.**
 - Disinfected by using the continuous feed method according to AWWA Standard Specifications. After flushing and disinfecting the service line, water samples shall be collected by the Monroe County Department of Health. Approval and notification by the Health Department of passing health sample test(s) must be received before the service will be activated by the Water Authority.



SEPT 2017
DATE
DME 26



Client:
FSI
2213 BRIGHTON HENRIETTA
TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: DAVID COX
Project Manager: DAVID COX
Designed by: JOSHUA SAXTON

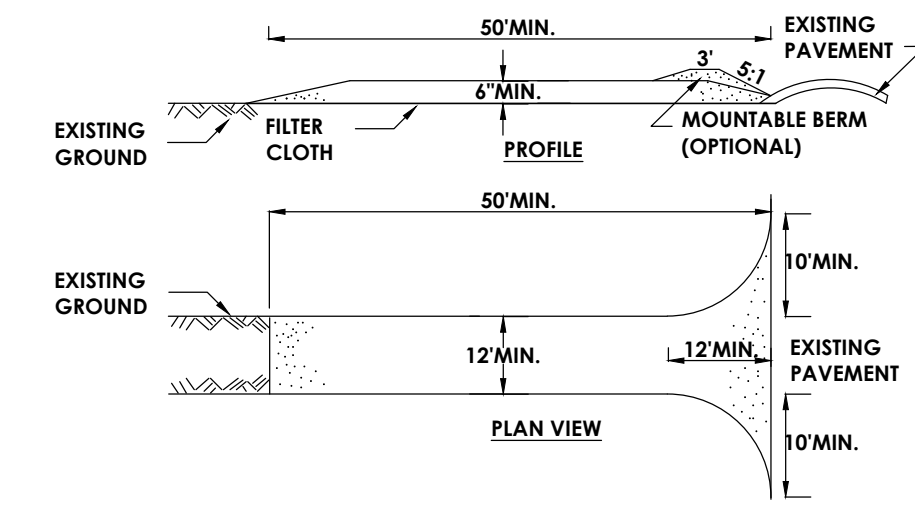


Revisions			
No.	Date	By	Description
1			

NOTES AND DETAILS
JEFFERSON STARBUCKS

Town/City: Henrietta
County: Monroe
State: New York
Project No.: 20233509.0001
Drawing No.: C 205
Scale: N.T.S.
Date: APRIL 2024

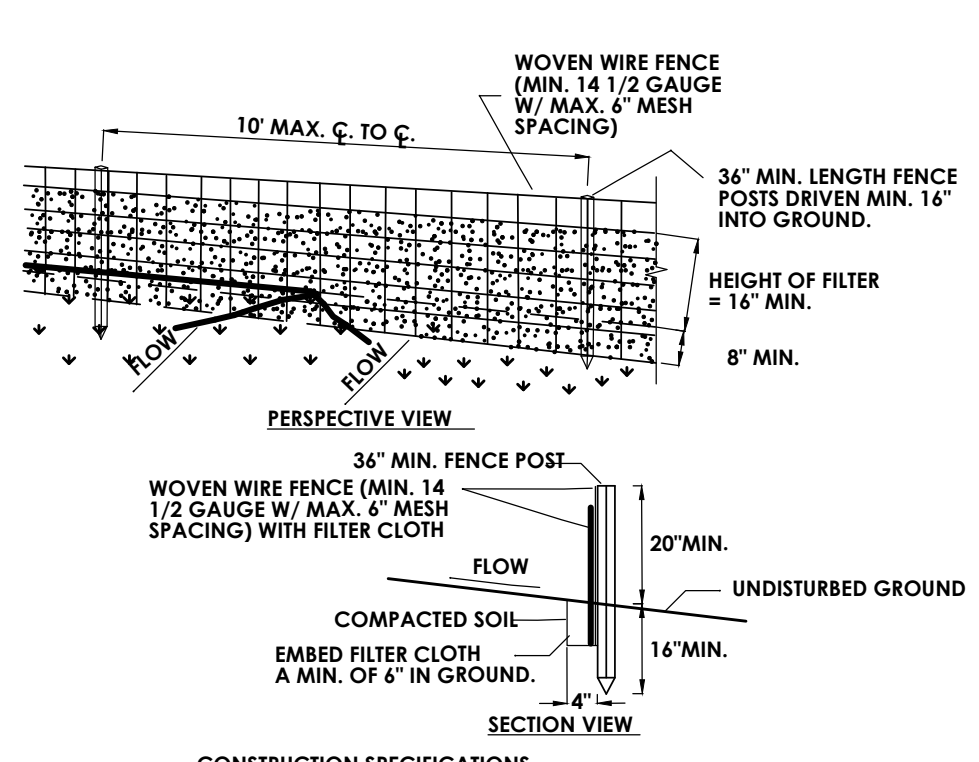
NOT FOR CONSTRUCTION



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

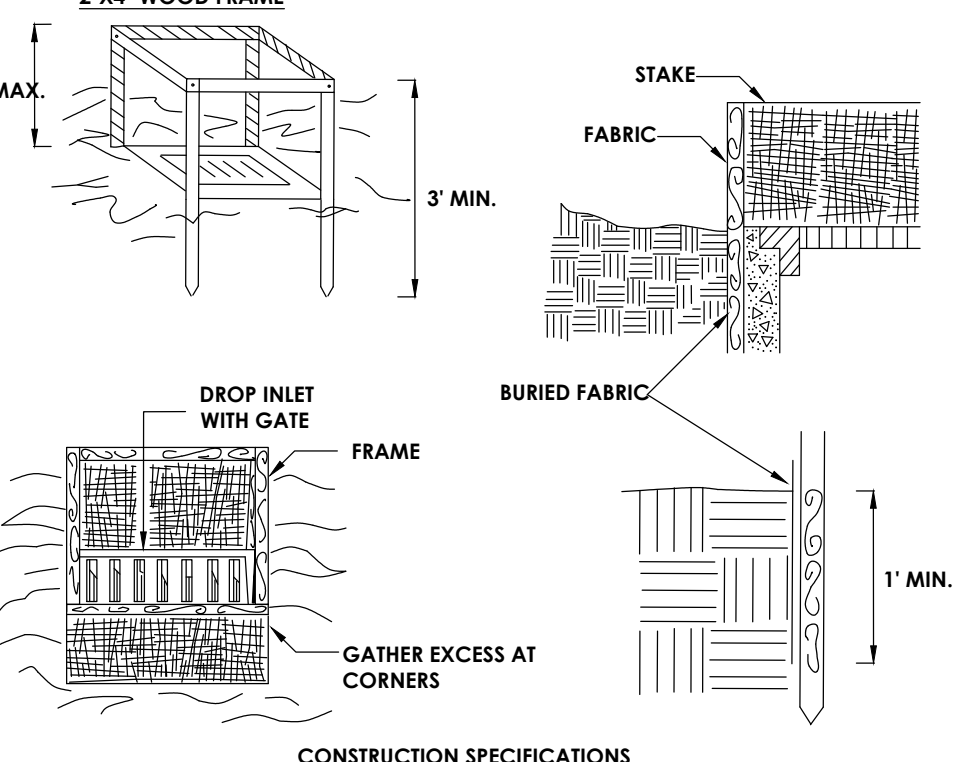
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

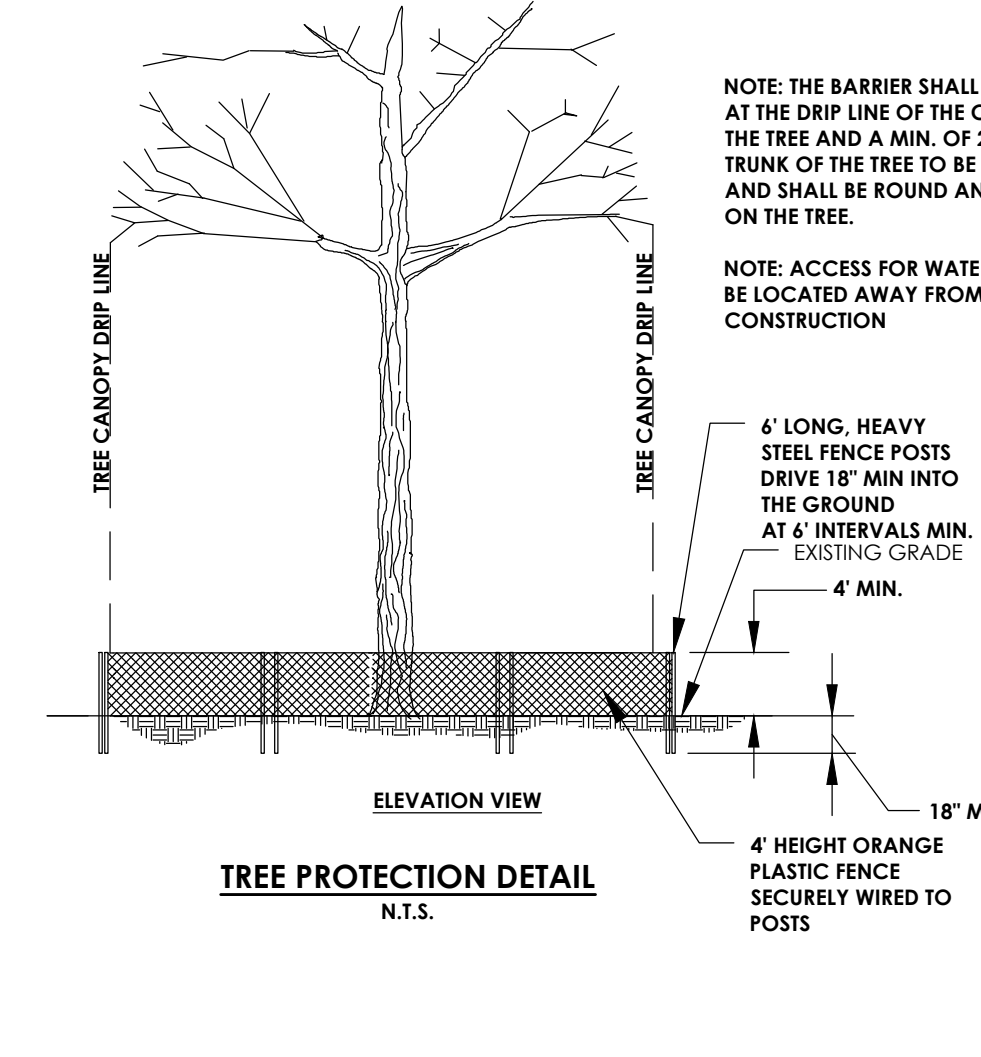
SILT FENCE DETAIL
N.T.S.



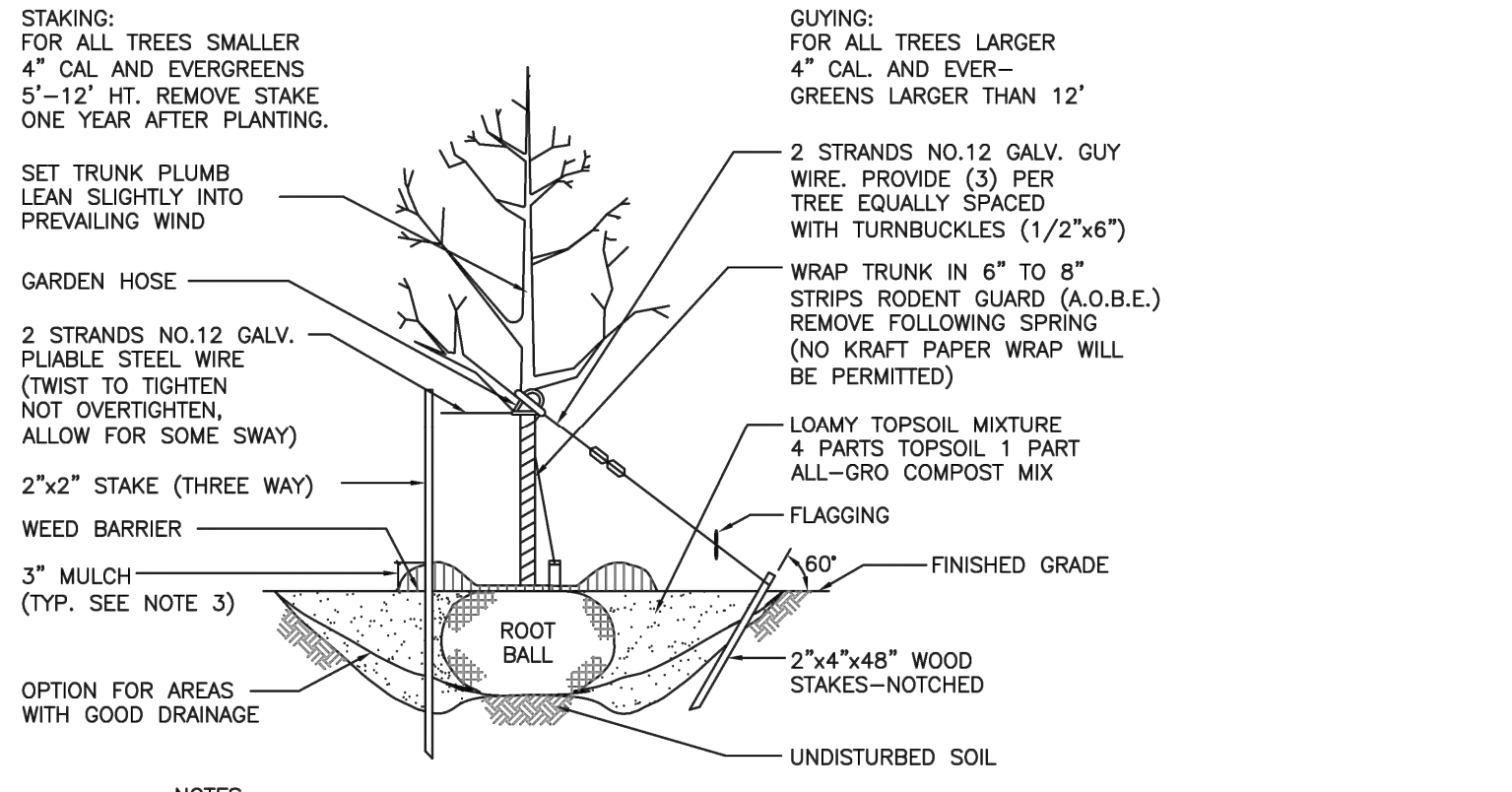
CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

FILTER FABRIC DROP INLET PROTECTION
N.T.S.



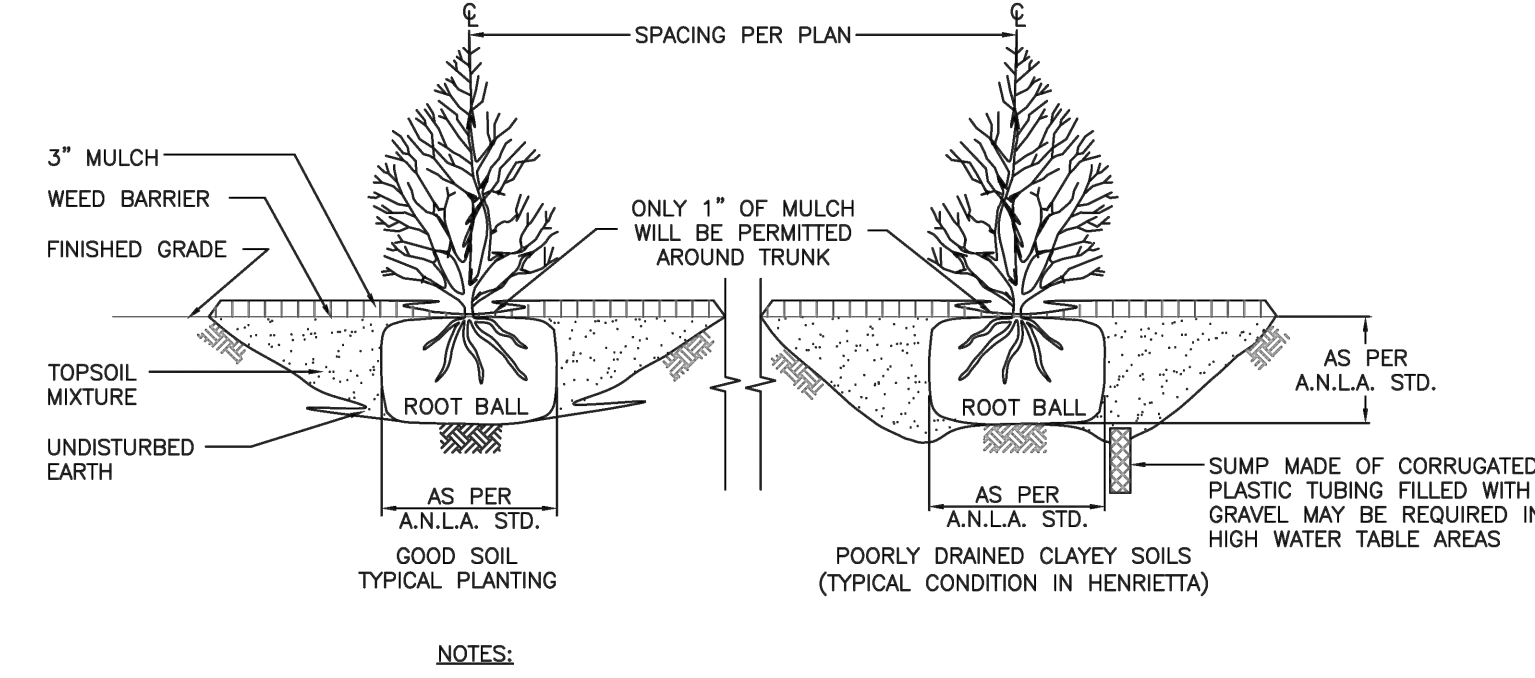
TREE PROTECTION DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

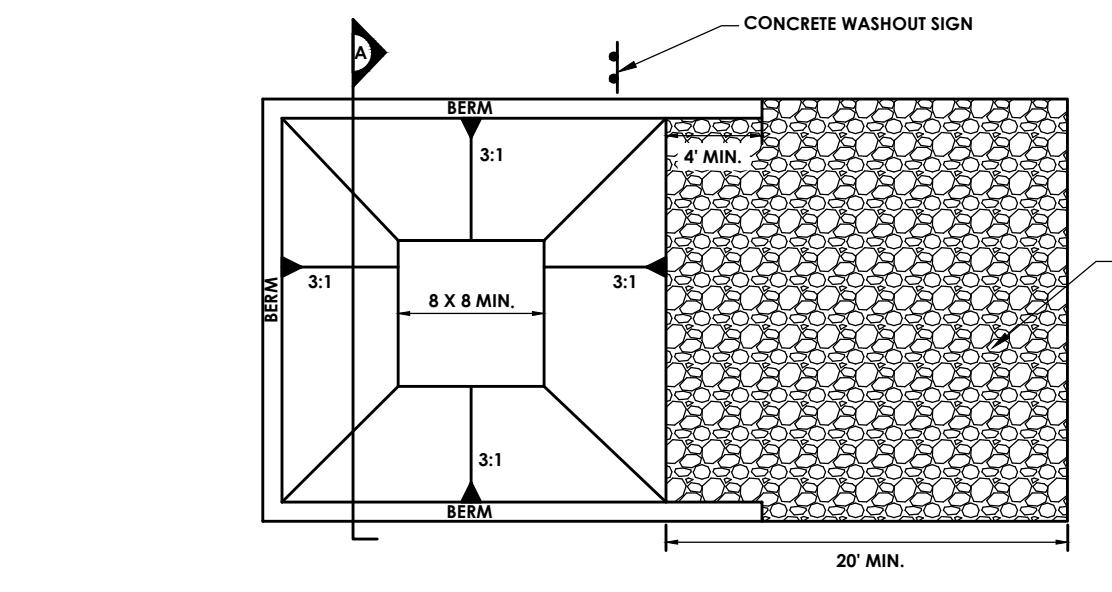
- NOTES:**
- USE 8" STAKES-DRIVE 48" BELOW GROUND.
 - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
 - MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
 - MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.

TYPICAL TREE PLANTING DETAIL
SCALE: N.T.S. DATE: 11/10/2011 M-4b

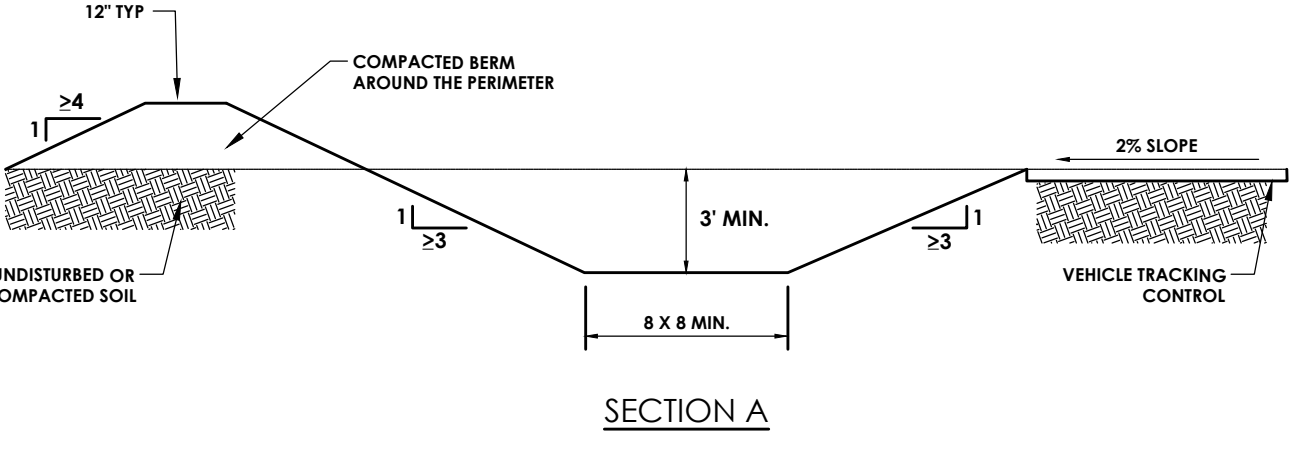


SHRUB PLANTING DETAIL
N.T.S.

- NOTES:**
- IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/3 OF THE BURLAP.
 - PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.



CONCRETE WASHOUT AREA PLAN
N.T.S.

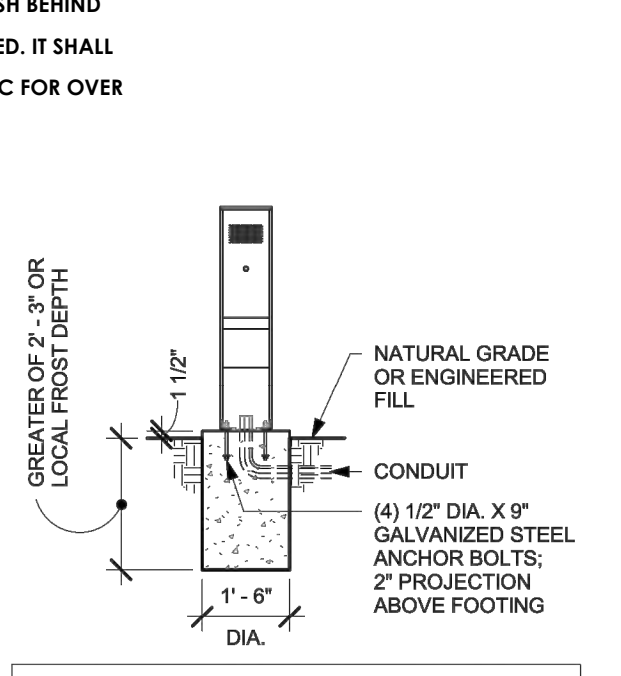


CONCRETE WASHOUT AREA

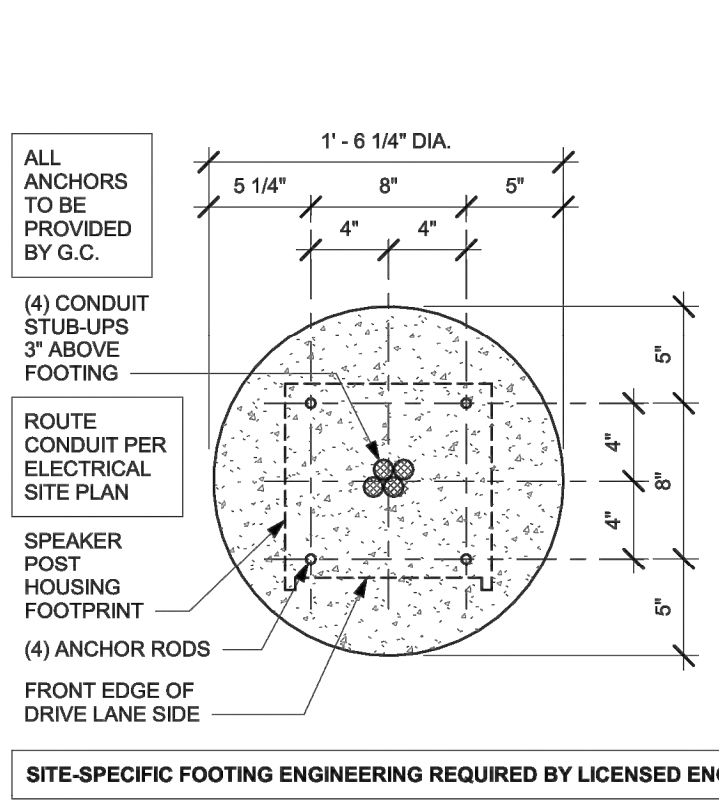
CWA INSTALLATION NOTES

- SEE PLAN FOR CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 100' OF ANY WELLS OR DRINKING WATER SOURCES IF SITE CONSTRAINTS MAKE THIS INFEASIBLE OR IF HIGHLY FERTILIZABLE SOILS EXIST ON SITE. THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (1 MIL. MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SURFACE FIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE FIT SHALL BE 3:1 OR FLATTER. THE FIT SHALL BE AT LEAST 3" DEEP.
- BERM SURROUNDING ROSS AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR THE PERIMETER BERM CONSTRUCTION.

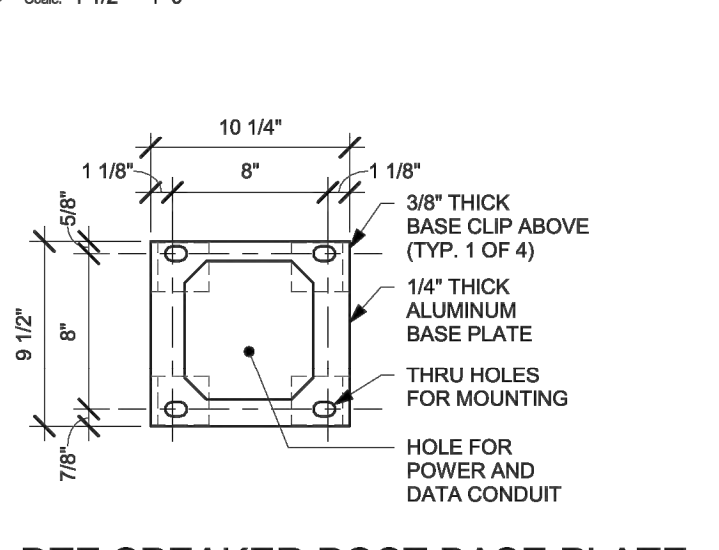
DTE PEAKER POST - DID 23054



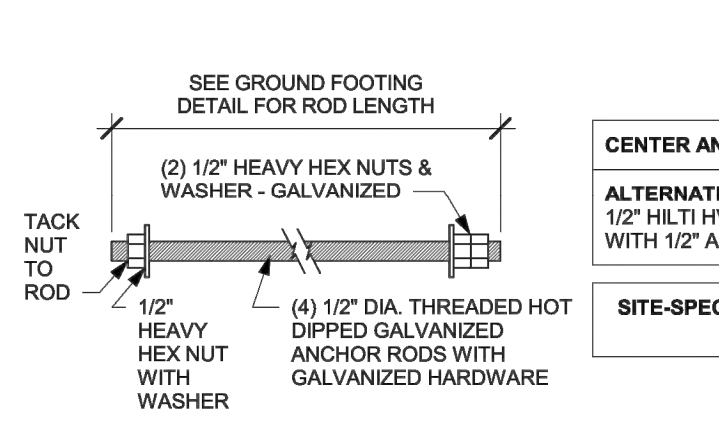
DTE SPEAKER POST GROUND FOOTING
Scale: 3/8" = 1'-0"



DTE SPEAKER POST BOLT PATTERN (TOP VIEW)
Scale: 1 1/2" = 1'-0"

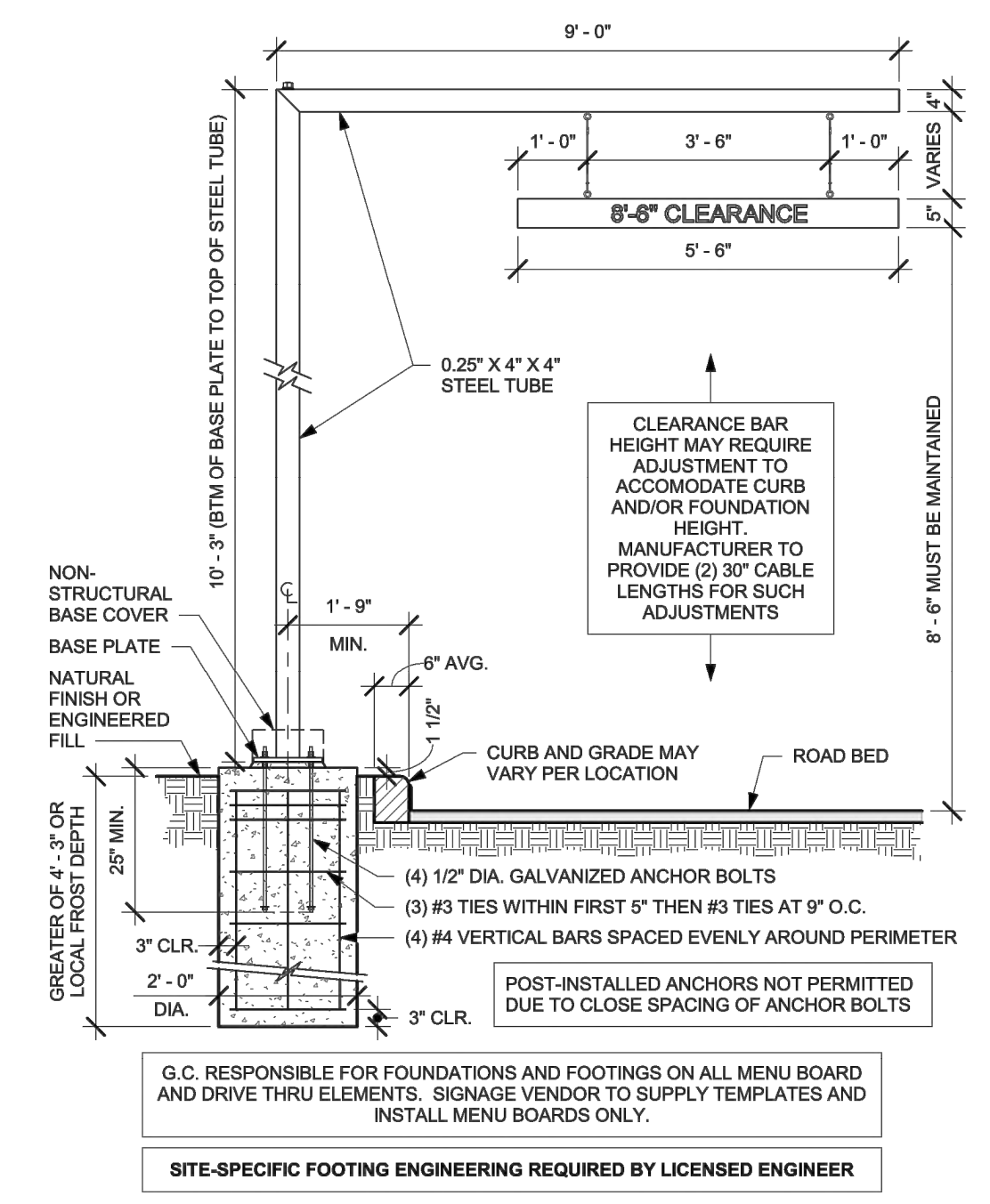


DTE SPEAKER POST BASE PLATE
Scale: 1 1/2" = 1'-0"

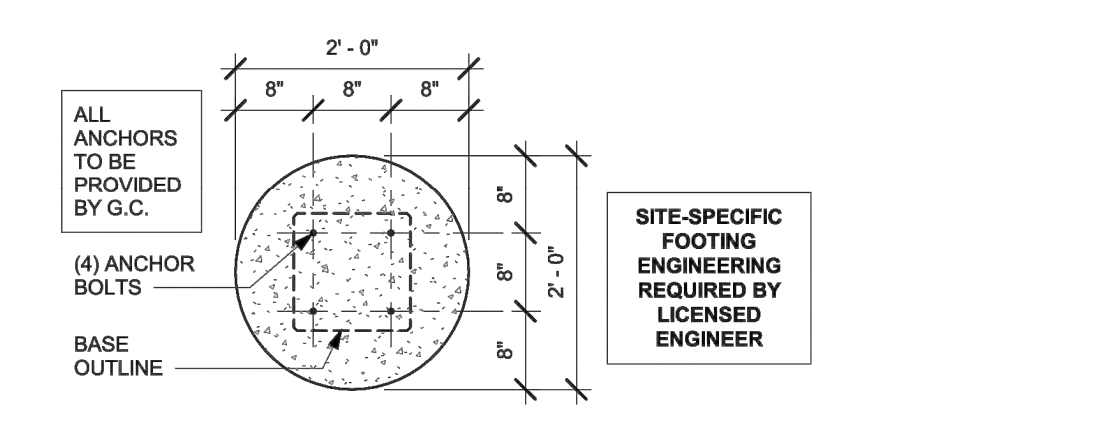


DTE SPEAKER POST ANCHOR ROD
Scale: 3" = 1'-0"

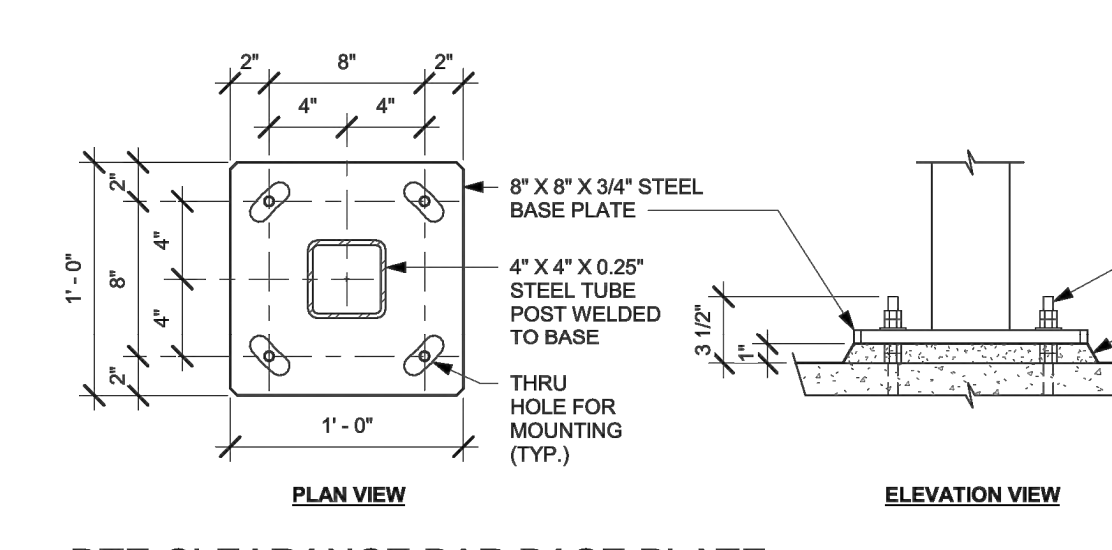
DTE CLEARANCE BAR SIGNAGE - DID 22544



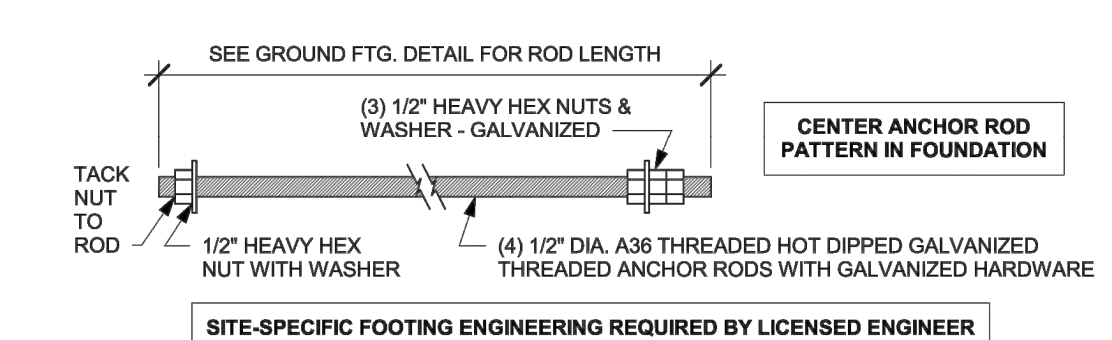
DTE CLEARANCE BAR GROUND FOOTING
Scale: 1/2" = 1'-0"



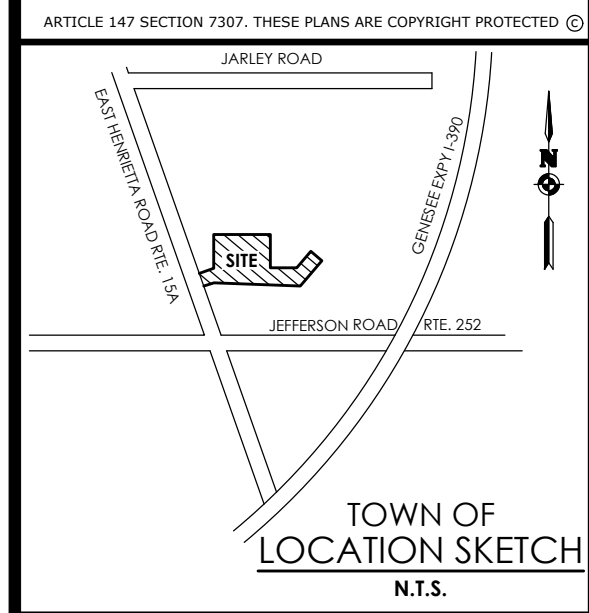
DTE CLEARANCE BAR BOLT PATTERN (TOP VIEW)
Scale: 3/4" = 1'-0"



DTE CLEARANCE BAR BASE PLATE
Scale: 1 1/2" = 1'-0"



DTE CLEARANCE BAR ANCHOR ROD
Scale: 3" = 1'-0"



Client:
FSI
2213 BRIGHTON HENRIETTA
TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: DAVID COX
Project Manager: DAVID COX
Designed by: JOSHUA SAXTON



Revisions

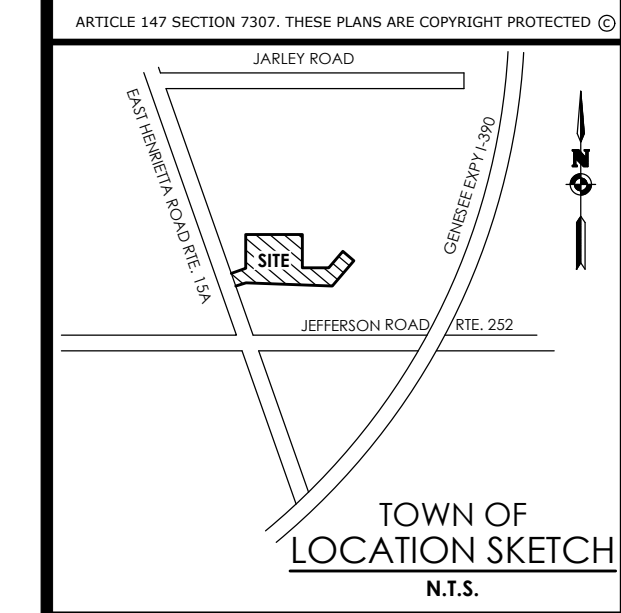
No.	Date	By	Description
1			

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NOTES AND DETAILS
JEFFERSON STARBUCKS

Town/City: Henrietta
County: Monroe State: New York
Project No.: 20233509.0001
Drawing No.: C 206
Scale: N.T.S.
Date: APRIL 2024

NOT FOR CONSTRUCTION



TOWN OF LOCATION SKETCH
N.T.S.

Client:
FSI
2213 BRIGHTON HENRIETTA
TOWN LINE ROAD
ROCHESTER, NY 14623

PASSERO ASSOCIATES
242 West Main Street Suite 100
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Revisions			
No.	Date	By	Description
1			

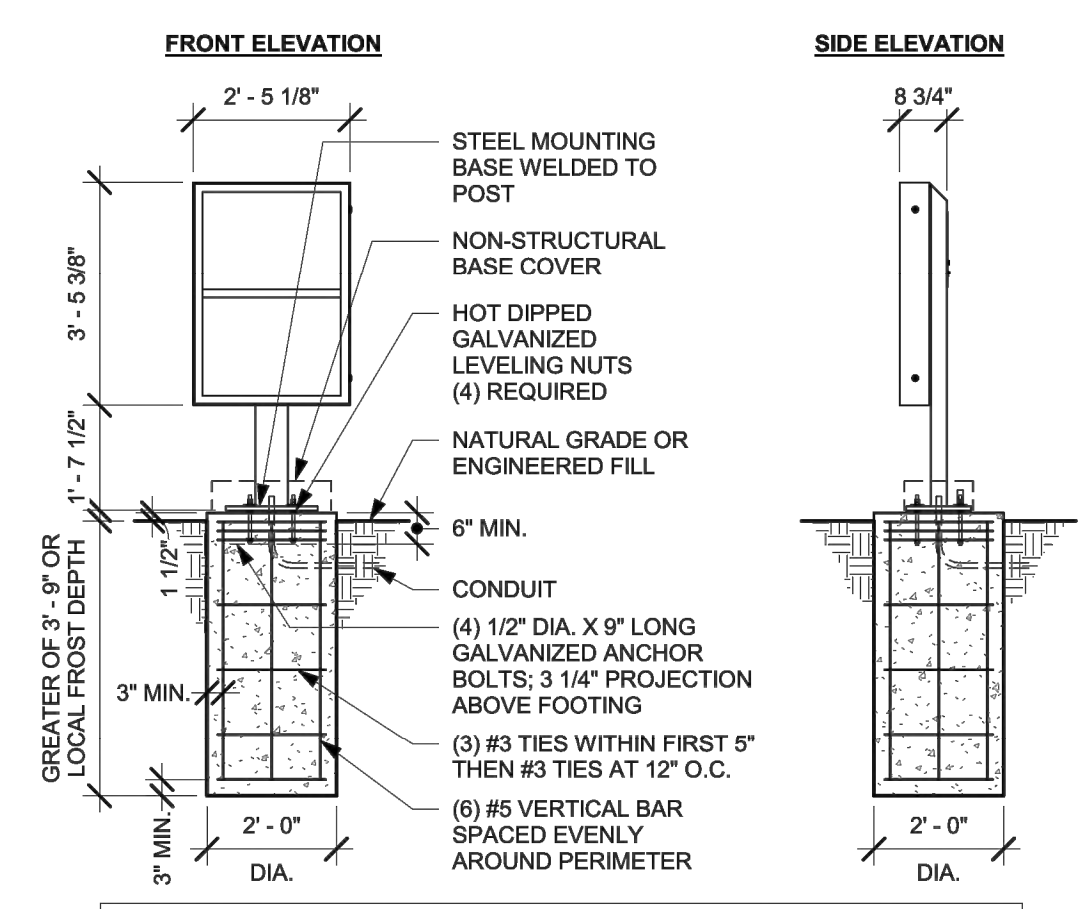
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NOTES AND DETAILS
JEFFERSON STARBUCKS

Town/City: Henrietta
County: Monroe State: New York
Project No.: 20233509.0001
Drawing No.: C 207
Scale: N.T.S.
Date: APRIL 2024

NOT FOR CONSTRUCTION

DTE PRE-MENU BOARD - DID 22542

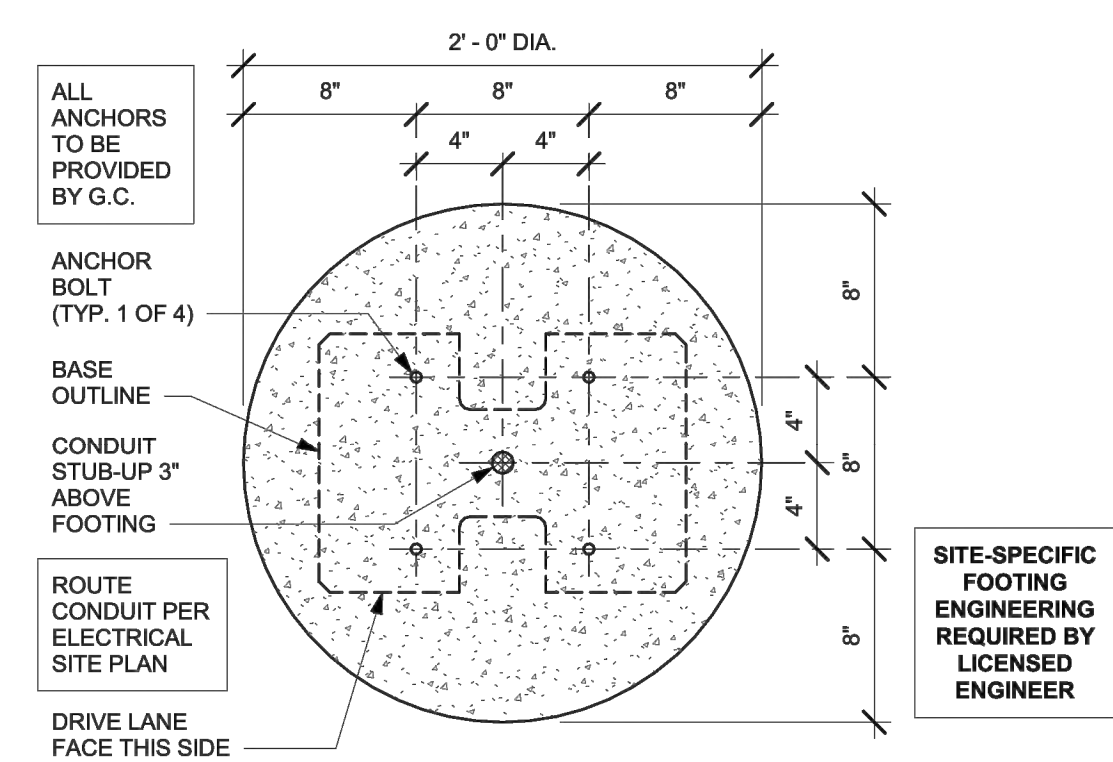


G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

1 DTE PRE-MENU GROUND FOOTING

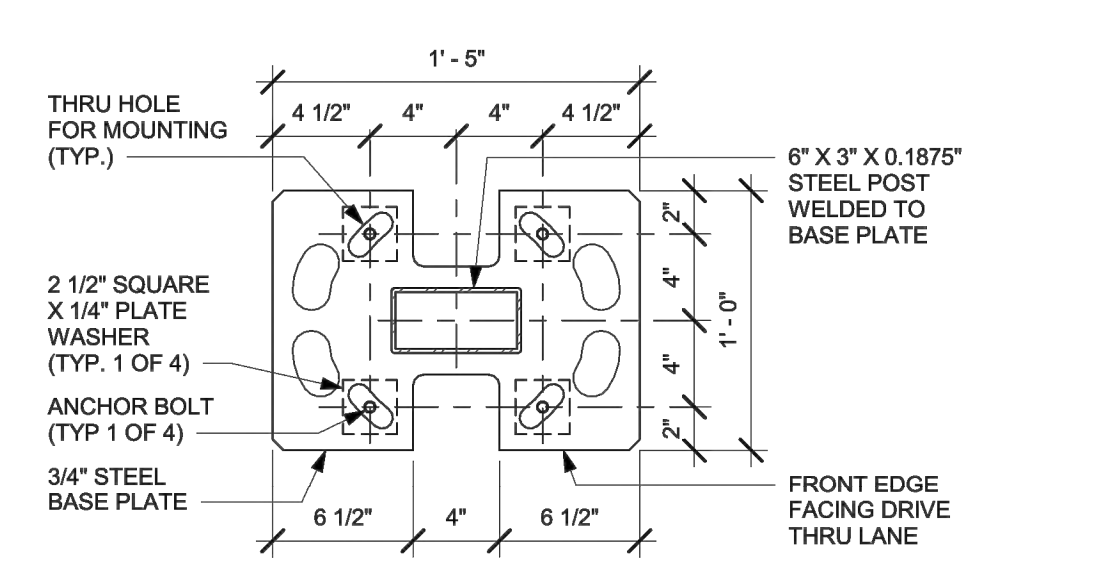
Scale: 3/8" = 1'-0"



SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

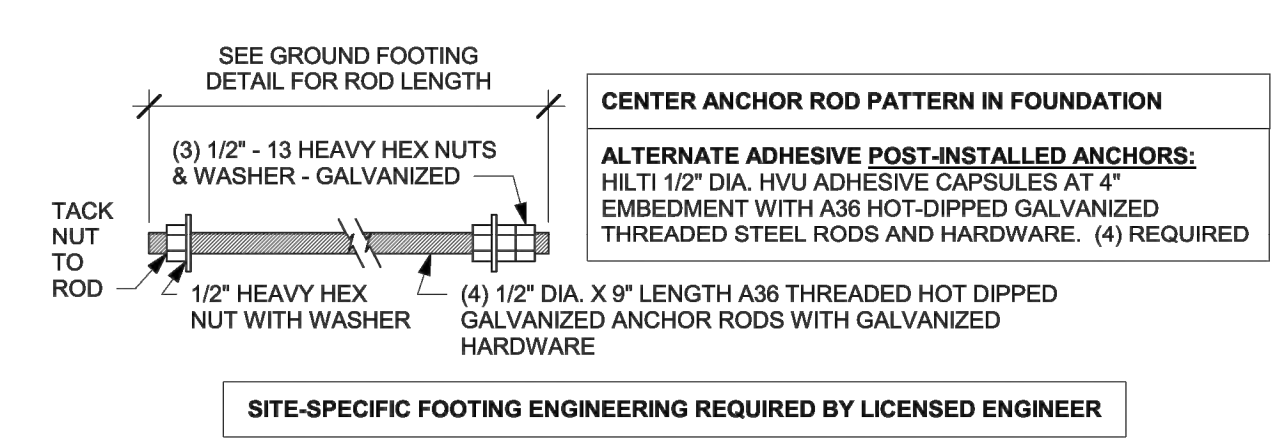
2 DTE PRE-MENU BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"



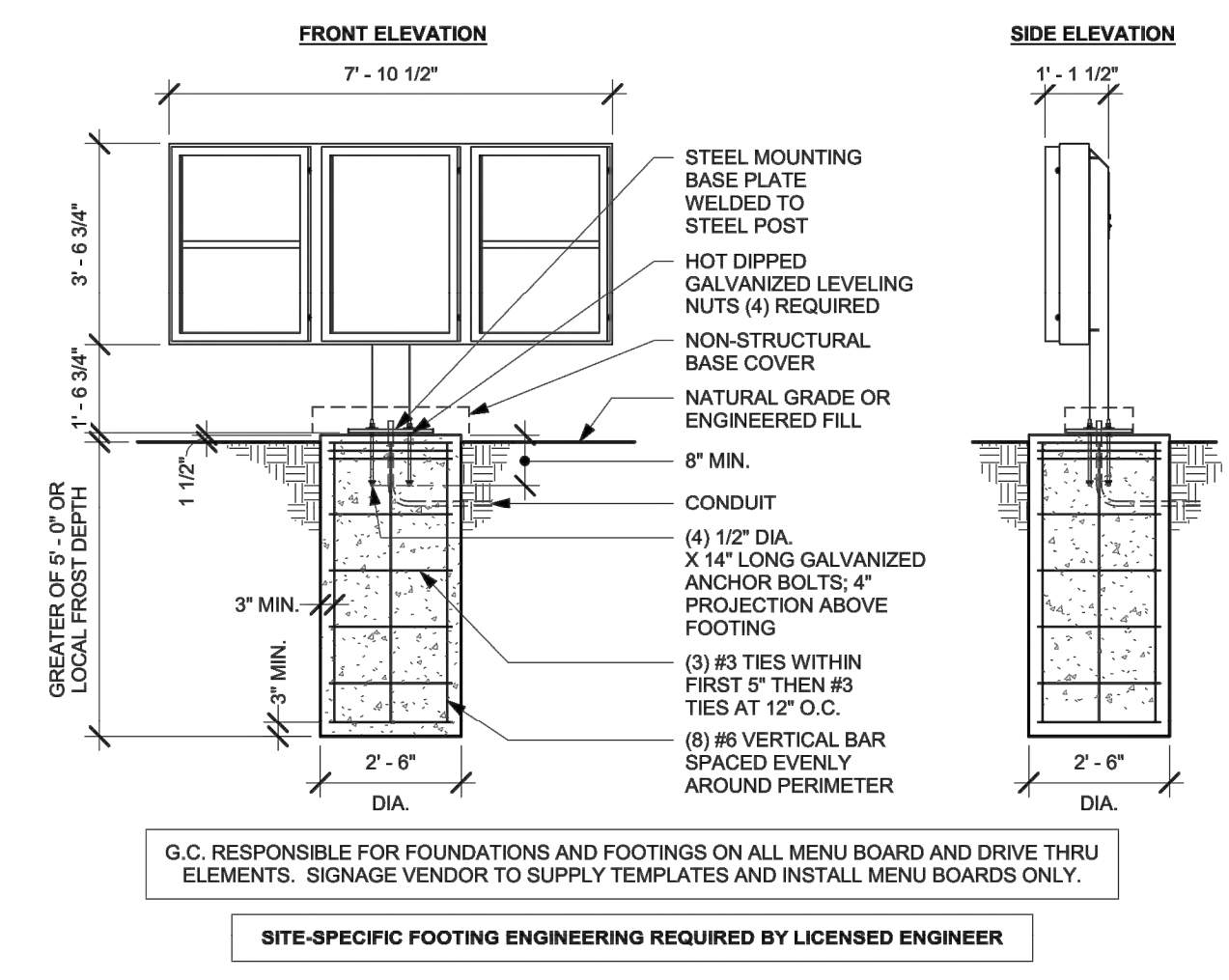
3 DTE PRE-MENU BASE PLATE

Scale: 1 1/2" = 1'-0"



4 DTE PRE-MENU ANCHOR ROD

Scale: 3" = 1'-0"

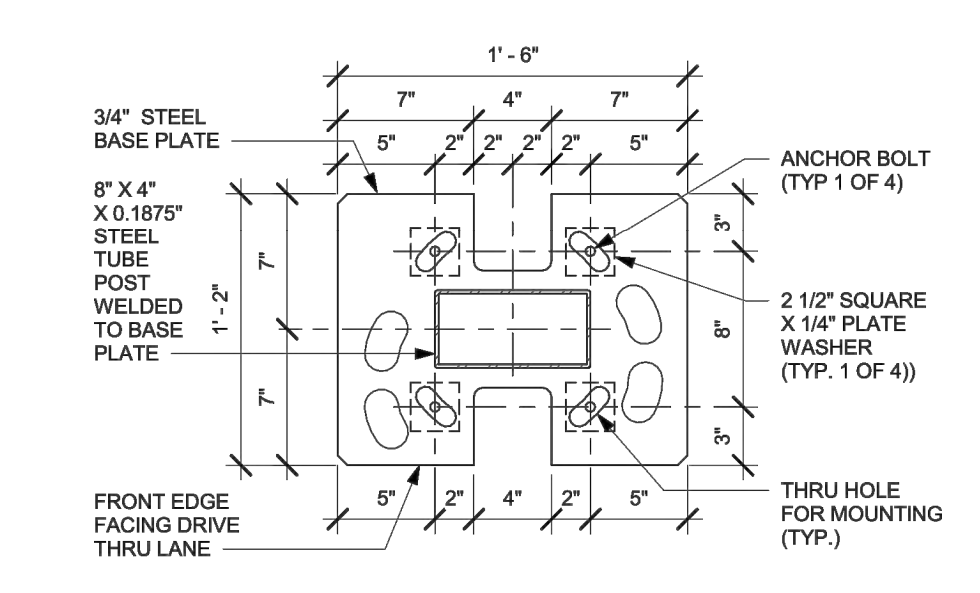


G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

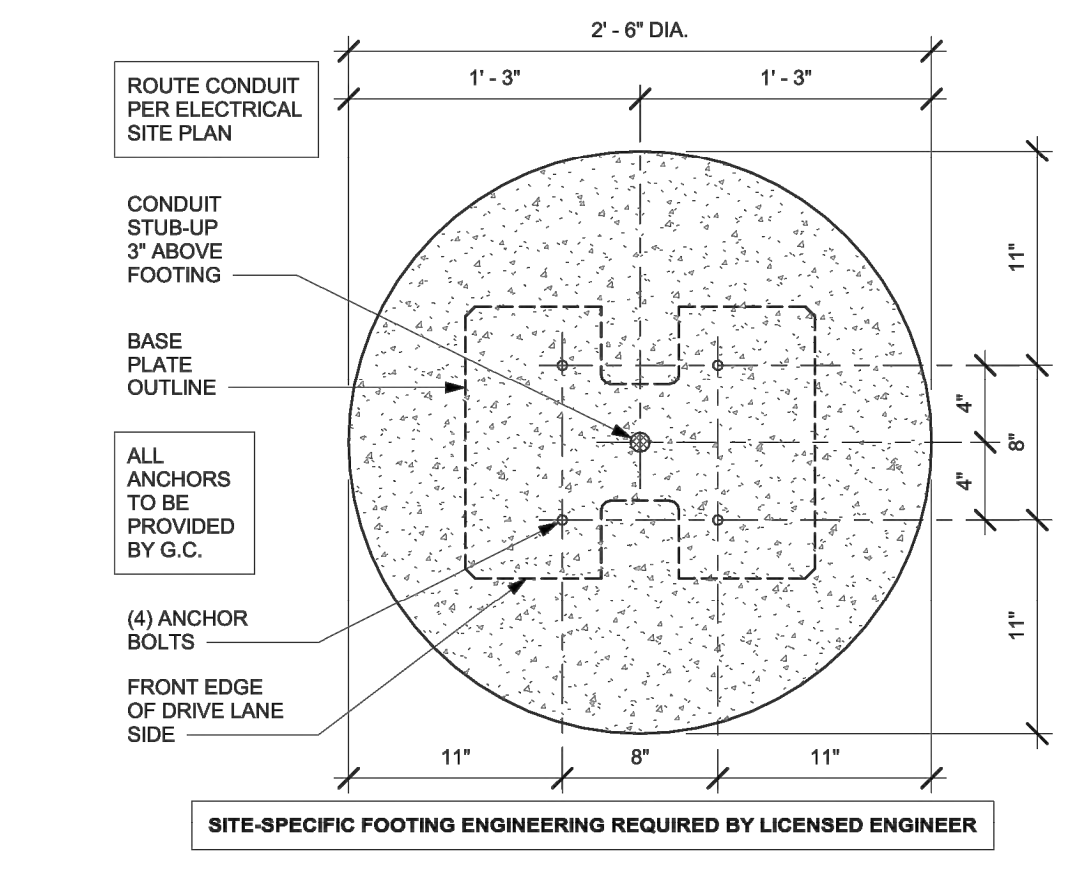
5 DT 5-PANEL MENU BOARD GROUND FOOTING

Scale: 3/8" = 1'-0"



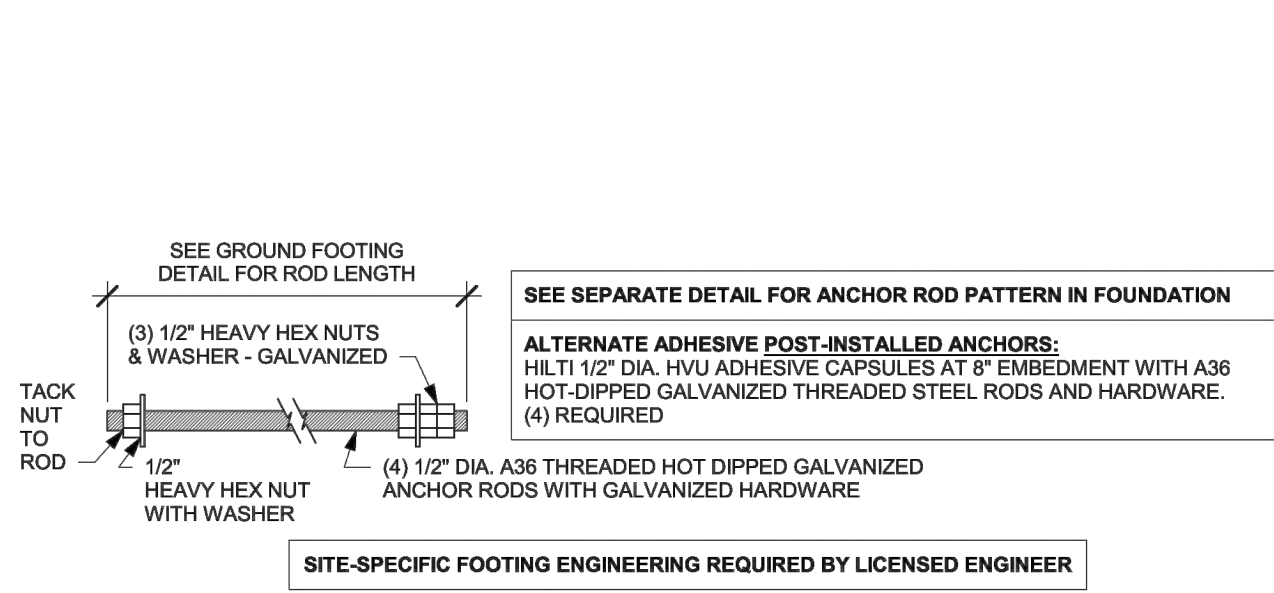
7 DTE 5-PANEL MENU BOARD BASE PLATE

Scale: 1 1/2" = 1'-0"



6 DTE 5-PANEL MENU BOARD BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"

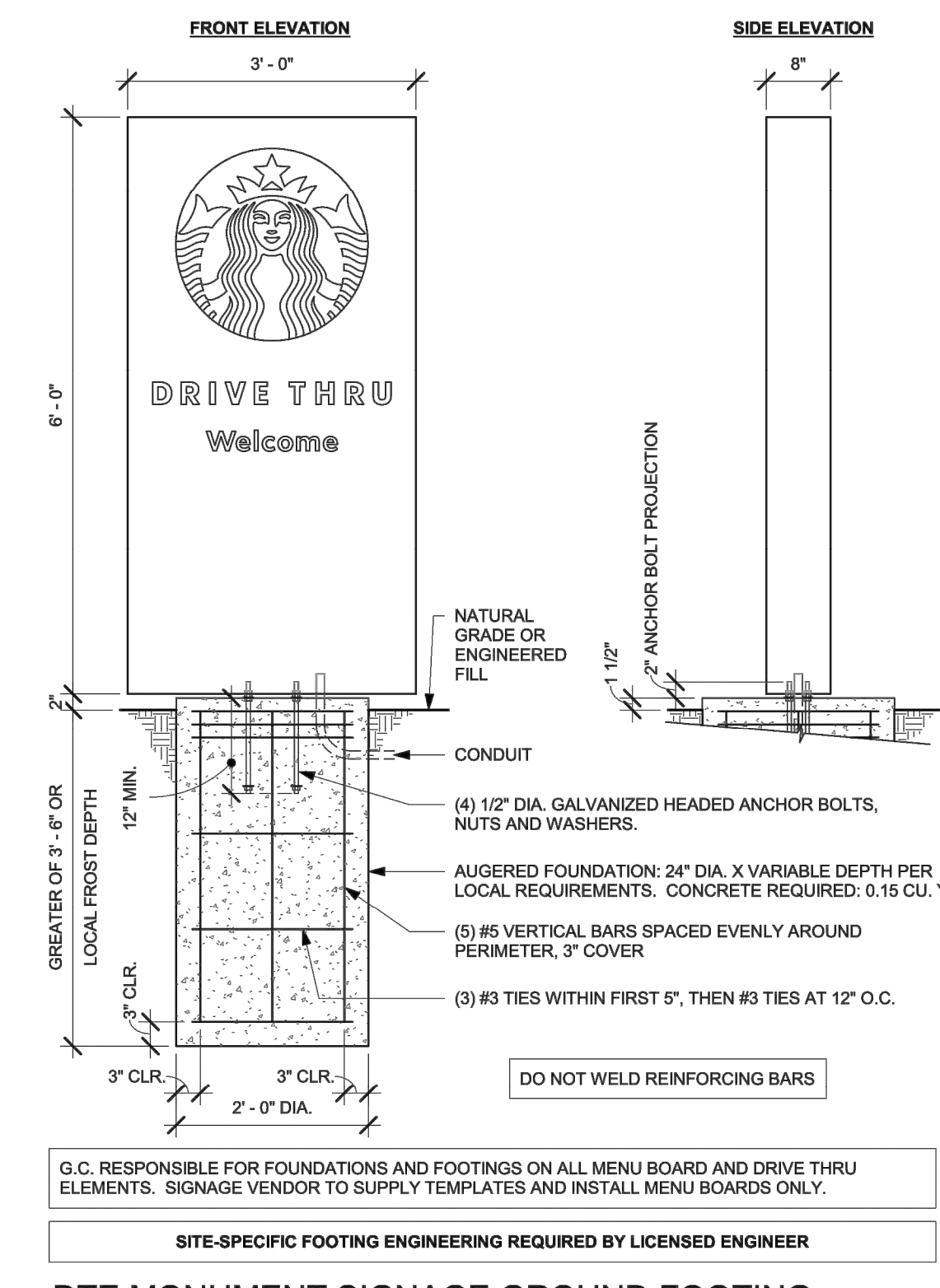


8 DTE 5-PANEL MENU BOARD ANCHOR ROD

Scale: 3" = 1'-0"

MONUMENT SIGNAGE DETAILS BELOW APPLY TO

DRIVE THRU MONUMENT SIGNAGE DID 23070

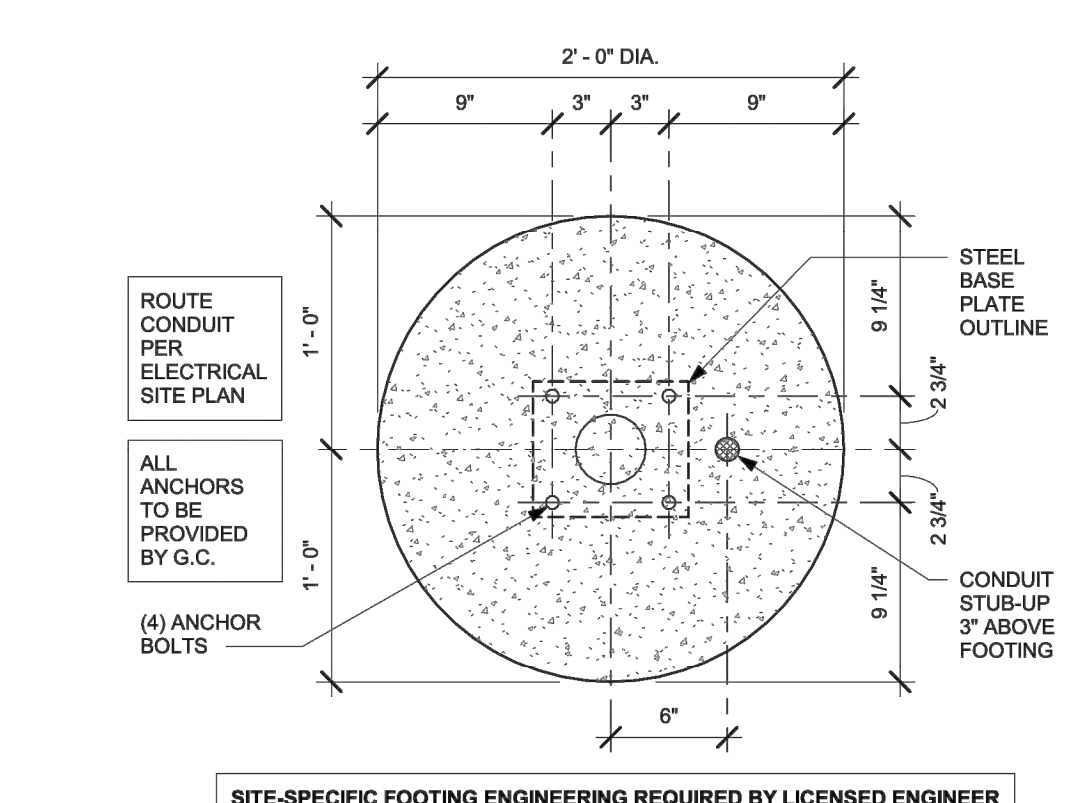


G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

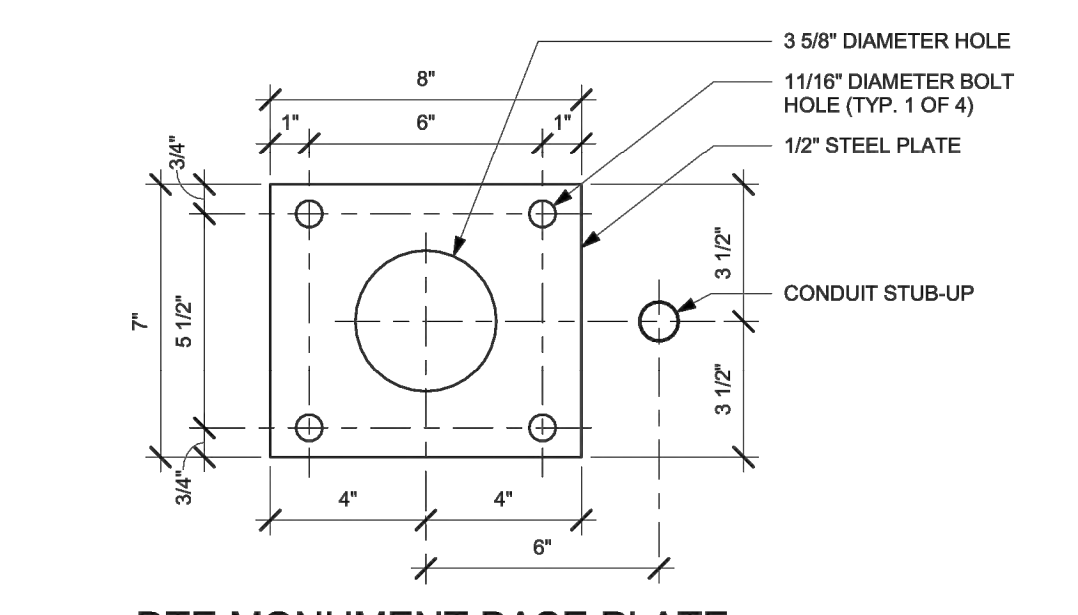
6 DTE MONUMENT SIGNAGE GROUND FOOTING

Scale: 3/4" = 1'-0"



5 DTE MONUMENT SIGNAGE BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"



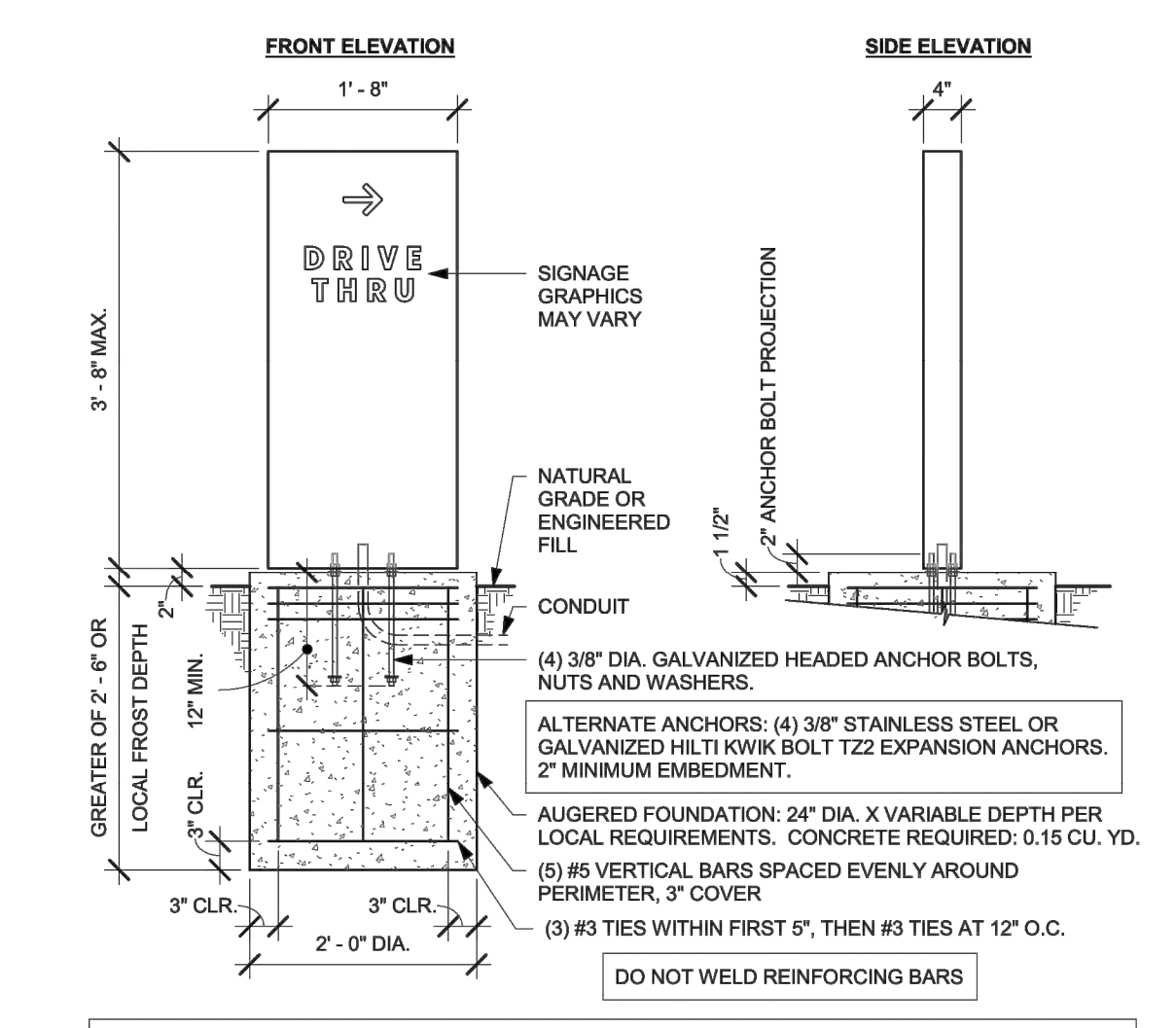
4 DTE MONUMENT BASE PLATE

Scale: 3" = 1'-0"

DIRECTIONAL SIGNAGE DETAILS BELOW APPLY TO:

DRIVE-THRU DIRECTIONAL SIGNAGE - ARROW
DID 23083 (44"), 23085 (36"), AND 23087 (30")

DRIVE-THRU DIRECTIONAL SIGNAGE - EXIT ONLY
DID 23074 (44"), 23075 (36"), AND 23076 (30")

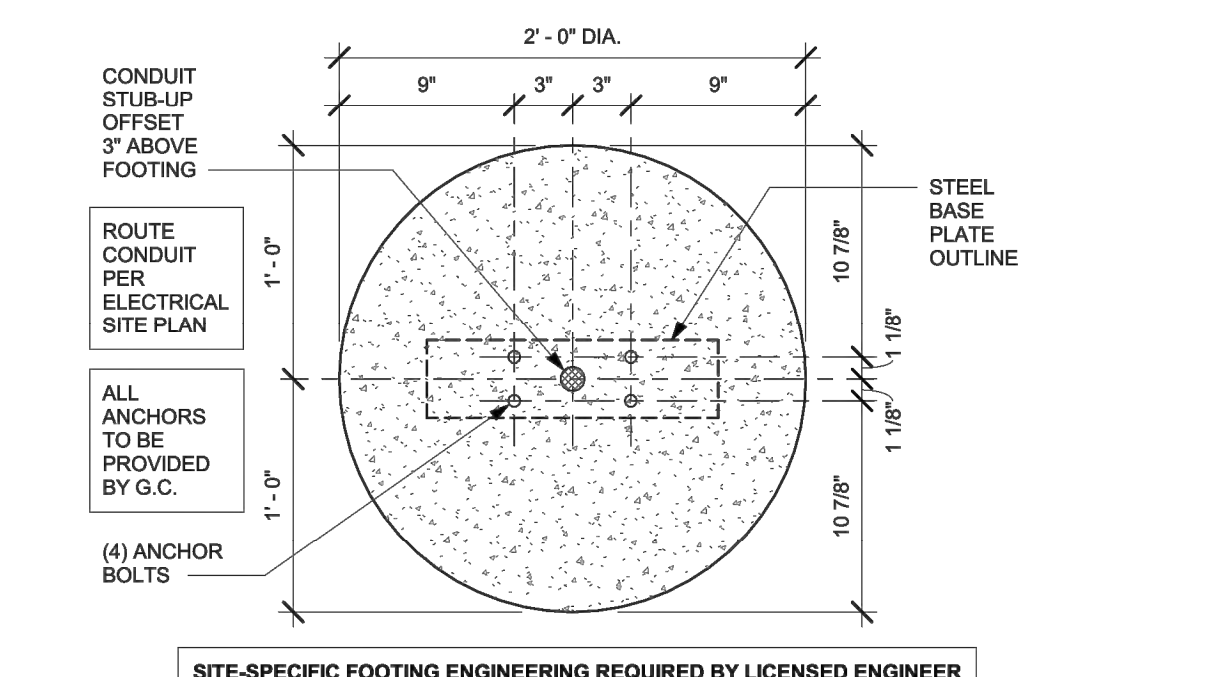


G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

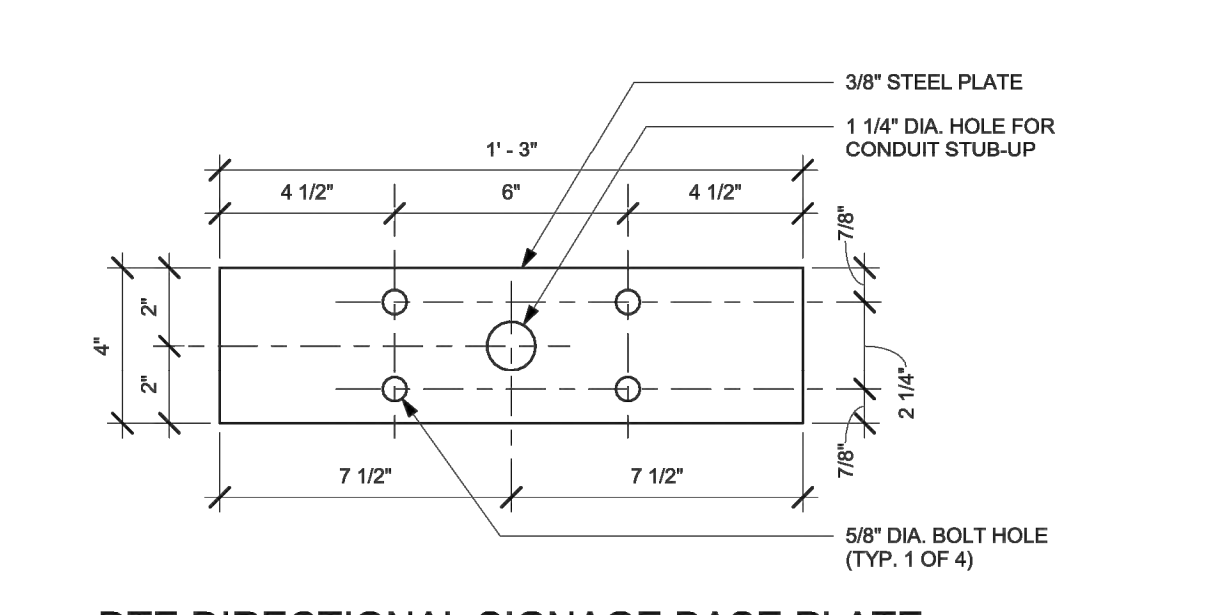
3 DTE DIRECTIONAL SIGNAGE GROUND FOOTING

Scale: 3/4" = 1'-0"



2 DTE DIRECTIONAL SIGNAGE BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"



1 DTE DIRECTIONAL SIGNAGE BASE PLATE

Scale: 3" = 1'-0"

