



TOWN OF HENRIETTA Subdivision Application

APPLICATION NO. _____

PLANNING BOARD

OR ADMINISTRATIVE

DATE: 2-14-24

FOR THE APPROVAL OF TREE TOP LANE
3 Lot Subdivision of Tax Account No. 189.01-2-49
(Subdivision) Parcel

as shown on a map prepared by Landtech Surveying
(Engineers)

Dated 2-14-24, consisting of 3 Lots, pursuant to Section

(276), or (278) Town Law, and for permission to file said map, in sections as shown on said map, for the property located at: 0 Tree Top Lane

Tax Account No. 189.01-2-49

Applicant: Sherheryar Mohammad
Address: 247 Howland Ave
Rochester, N.Y. 14620

Engineer/Architect: John W. Hotta
Landtech
Address: 1105 Ridgeway Ave.
Rochester, N.Y. 14615

Phone #: 478-9114
Email: kings.palace@hotmail.com

Phone #: 585-705-5029
Email: hotta@landtechny.com

Property Owner: Sherheryar Mohammad
Address: 247 Howland Ave
Rochester, N.Y. 14620
Phone #: 478-9114
Email: kings.palace@hotmail.com

Business Owner: _____
Address: _____
Phone #: _____
Email: _____

Applicant Signature: J.W. Hotta for S.M.

Print Name: _____

*Town Law – check one above
276 – Standard subdivision, standard zoning
277 – Standard subdivision, standard zoning with land provided for a park or a sum of money for playground or recreational purposes as determined by the Town Board.
278 – Cluster Development Subdivision, smaller lot sizes permitted, with common open areas, same density as standard subdivision.

February 13, 2024

Project Number: 22197

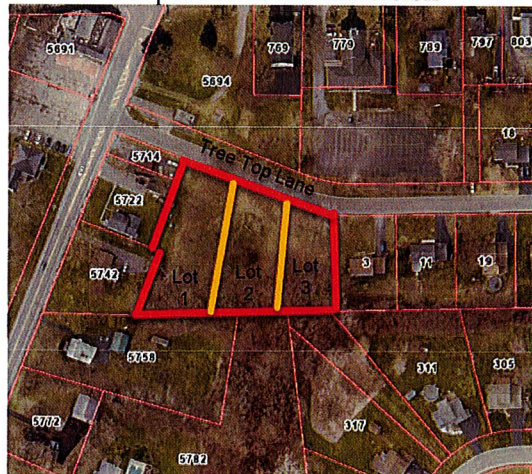
Planning Board
Town of Henrietta
475 Calkins Road
Henrietta, New York 14467

**RE: Proposed 3 Lot Subdivision on Tree Top Lane from Parcel with Tax Account No. 189.01-2-49:
Letter of Intent**

Dear Honorable Members of the Town of Henrietta Planning Board:

On behalf of our client, Mr. Sheheryar Mohammad, we are submitting a Subdivision Application to create three (3) individual single family residential lots on the south side of Tree Top Lane, from an existing 1.35-acre parcel, Tax Account No. 189.01-2-49. Proposed Lot No.1 is to be 0.47 acres, Lot No.2 is to be 0.44 acres and Lot No.3 will be 0.44 acres. All three of the new lots are to be served by existing public sanitary sewer and water services. The owner intends to construct a home on each one of the three new lots.

Proposed 3 Lot Subdivision



On December 7, 2022, the Town of Henrietta Zoning Board of Appeals granted Area Variances for proposed lots 1, 2, and 3 to be less than 2.0 acres.

We respectfully request to be placed on your Planning Board meeting agenda for March 19, 2024, to present and discuss our subdivision proposal to create three (3) new single family residential lots.

We have enclosed the following as a part of our application:

- Completed Subdivision Application Form
- Subdivision Checklist
- Letter of Authorization
- Completed SEAF
- 14 copies of the Preliminary Site Engineering Plans
- A check in the amount of \$150.00 for the Application Fee
- A check in the amount of \$500.00 for the Engineering Review Charge

Please let us know if you require any additional information for our Subdivision Application.

Sincerely,

A handwritten signature in blue ink, appearing to read "John W. Hotto". The signature is stylized and cursive.

John W. Hotto
c.Mr. Sheheryar Mohammad, Owner

TOWN OF HENRIETTA

Subdivision & Resubdivision Map Checklist

1. Map is correct size (17" x 22", 22" x 34", or 34" x 44") and on mylar for filing at the Monroe County Clerk's Office.
2. Scale (Max. 1:50)
3. Date
4. Location Map
5. If the project is more than 2,500 feet (5000 feet if more than 5 lots) from the nearest Monroe County Monumentation, then the following statement is placed on the map: "This project is more than 2,500 feet from the nearest Monroe County Geodetic Monument and therefore is not tied into that network".
6. Surveyor's signature and New York State License number.
7. Surveyor's seal or stamp (is clearly shown and is legible on prints made from original).
8. Surveyor's certification.
9. Two Signature Lines are provided for: Director of Engineering/Planning and Planning Board Chairman with others, depending on the project.
10. Adjoiners: Property Owners' names with Tax Account Numbers are included.
11. Area of parcels in square feet and/or acres (acres shown to a minimum of 3 decimal places).
12. Lot numbering scheme is logical. Sectioned subdivisions have a numbering system indicating a section of a subdivision followed by the lot number. For instance, lot number 21 in section 4 would be designated as Lot No. 421.
13. If the project is less than 2,500 feet (5000 feet if more than 5 lots) from the nearest Monroe County Monumentation, it is tied into the Monroe County Monumentation System and the following conditions are completed:
 - a. Full nomenclature of these monuments as shown on the data sheets supplied by the Monroe County Surveyor's Office.
 - b. Coordinates, if used in project.
 - c. Elevations, if used in project.
 - d. A statement within the map certification that the perimeter and ties to control monuments

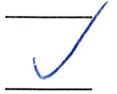
were accomplished procedures necessary to achieve an accuracy 1 part in 20,000 (1:20,000).

(see: The Monroe County Monumentation Law: "A Handout for Surveyors and Engineers", for examples)

- 14. If a New York State or County Monument exists within the scope of this plat, then a note is shown concerning responsibility for its preservation.
- 15. North arrow and origin.
- 16. Right of Way information shown:
 - a. The R.O.W. record width of existing roads is clearly indicated. ("width varies" is not acceptable without additional information).
 - b. The width of all existing internal and proposed road(s) (with 60 foot right-of-way) is clearly shown.
- 17. A tie distance to the nearest public R.O.W.
- 18. The Town and County where parcel(s) is/are located is shown, along with the Town Lot Number, Range of Lots and Townships.
- 19. Distances shown on all property lines. Where the plat has been tied into the State Plane Coordinate System, a statement as to whether distances are "grid" or "ground", is shown.
- 20. Angles/Bearings/Azimuths is shown on all property lines. Note: on coordinated plats, only azimuths or bearings referenced to the coordinate system are accepted.
- 21. For azimuths and bearings a reference datum and a statement of supporting data for that datum is shown. Examples of acceptable datums: grid, assumed, magnetic, deed reference, or true.
- 22. On coordinated plats, a minimum of three pairs of coordinates is shown.
- 23. On coordinated plats tied to the State Plane Coordination system, a grid and elevation factor, or a combined factor shall be shown.
- 24. Curve data (curve length, radius, and delta angle).
- 25. If elevations are shown, a project bench mark along with its elevation and the reference datum used in establishing the project bench mark shall be shown.
- 26. A minimum of two points (iron pins, pipes, or concrete monuments) found or set on each subject parcel is shown. An established baseline existing adjacent to the parcel being surveyed may be used as long as the complete mathematical tie is shown.
- 27. Town Utility Districts are noted. For example, Henrietta Sanitary Sewer District Extension No. 151.
- 28. Map references and legal sources are listed.



 29. Deed references are provided.



 30. Statement regarding existence or non-existence of Federal or New York State Wetlands on the site noted.



 31. FEMA Floodplain information is noted, such as zone designation, Community Panel Number, and map date (If applicable, floodplain and floodway boundaries are delineated).



 32. The lines and dimensions of proposed lots, which shall be numbered. If a proposed lot contains one or more existing buildings, the yard dimensions for such buildings shall be indicated. Existing buildings outside the limits of the plat, but within 75 feet of any proposed street or 25 feet of any proposed lot line, shall also be shown.

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant: John W. Hatto

By: _____

Title: Agent for Owner, Design Engineer

Dated: October 11, 2022

Signed: John W. Hatto

Owner: Sheher Yar Mohammad

By: _____

Title: Owner

Dated: October 11, 2022

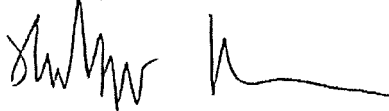
Signed: Sheher Yar Mohammad

From:
Sheheryar Mohammad
247 Howland Ave
Rochester, NY 14620

To: Town of Henrietta
Zoning Board of Appeals
475 Calkins Road
Henrietta, New York 14467

I Sheheryar Mohammad owner of 0 West Henrietta Road, Rochester, NY 14623 which is located on Tree Top Lane give permission to John W. Hotto of LandTech Surveying & Planning, P.L.L.C to act as my agent for the lot size area variance application. He also is authorized to represent me on the project and for signing the application forms. If you have any questions or concerns, please contact me through my email address or phone number provided below.

Sincerely,



10/11/2022

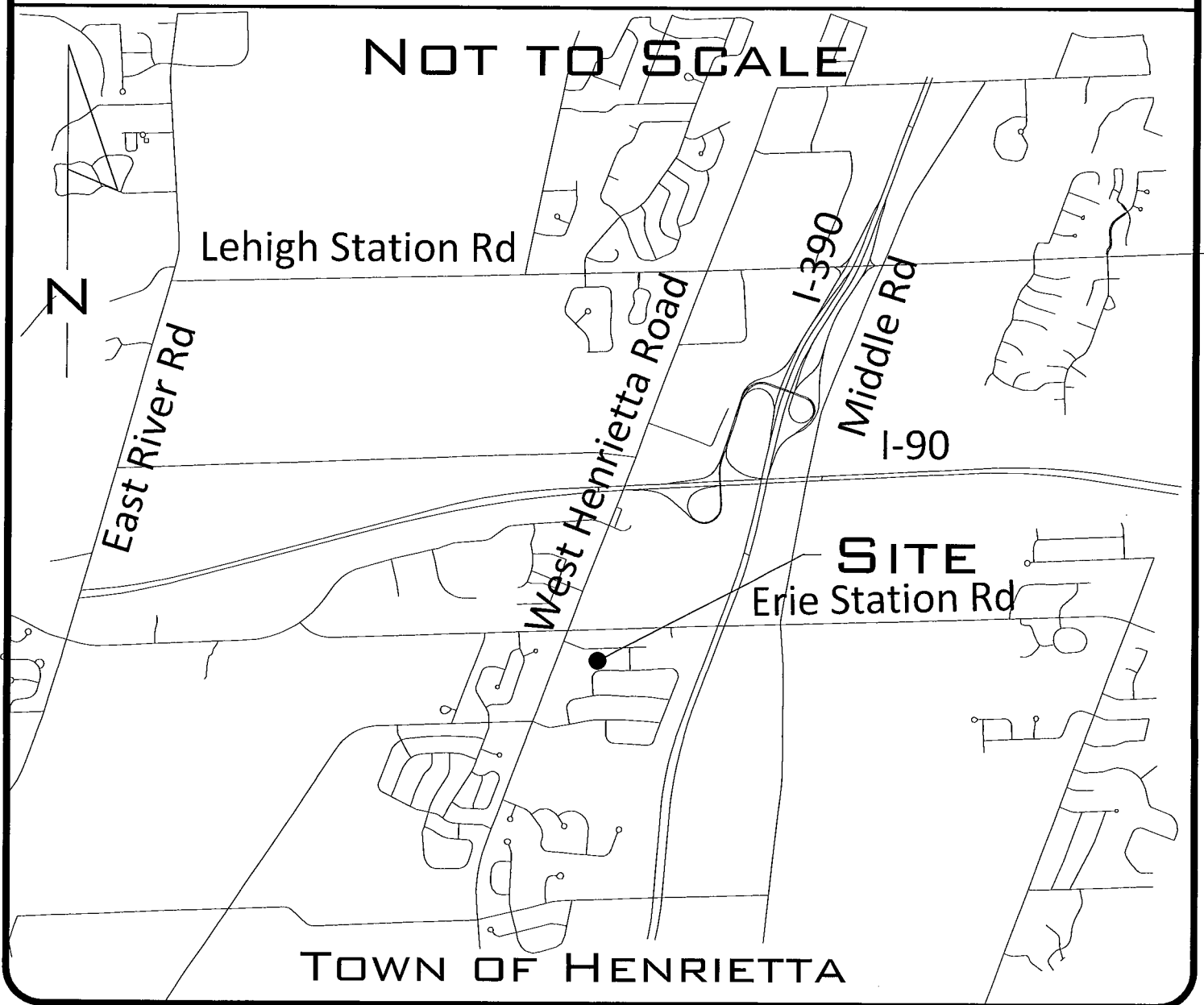
Sheheryar Mohammad

Kings.palace@hotmail.com

(585)-478-9114

LOCATION MAP

NOT TO SCALE



SITE
Erie Station Rd

TOWN OF HENRIETTA

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed 3 lot Subdivision on Tree Top Lane, Henrietta, New York			
Project Location (describe, and attach a location map): South side of Tree Top Lane			
Brief Description of Proposed Action: Subdivision of a 1.35 acre vacant parcel of land on the south side of Tree Top Lane into three (3) individual single family residential home lots. Lot 1= 0.47 acres, Lot 2 = 0.44 acres, Lot 3= 0.44 acres. Construction of three (3) individual single family homes with associated grading, drainage, erosion and sediment control, sanitary sewer and public water service connections and paved driveways, requiring Planning Board Site Plan Approvals.			
Name of Applicant or Sponsor: LandTech Surveying and Planning, P.L.L.C. John W. Hotto		Telephone: 585-705-5028 E-Mail: hotto@landtechny.com	
Address: 1105 Rdigeway Avenue			
City/PO: Rochester, New York		State: New York	Zip Code: 14615
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Henrietta Planning Board			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.35 acres	
b. Total acreage to be physically disturbed?		0.8 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.35 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>

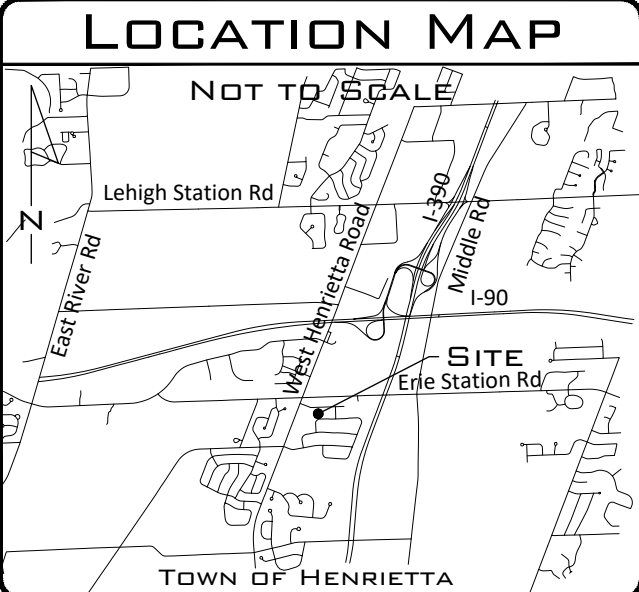
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>John W. Hatto</u> Date: <u>2-14-24</u> Signature: <u>John W. Hatto</u> Title: <u>project engineer</u>		

LEGEND

LINETYPES	SYMBOLS
Centerline	Utility Pole
Property Line	Water Gate Valve
Resub. Prop. Line	Curb Box
Easement Line	Gas Valve
Existing Contour	Utility Box
Proposed Contour	Transformer
Chain Link Fence	Survey Monument
Wood Fence	Mailbox
Guide Rail	Sign
Wire Fence	Iron pipe/rebar
Overhead Wires	Traffic Control M.H.
Gas Line	Cleanout
Water Line	Catch basin
Forcemain	Fire hydrant
Sanitary Sewer	Signal span pole
Storm Sewer	Perc hole
Electric	Deep hole
Edge of Woods	Benchmark
Floodzone	End section
Wetlands	Spot elev. x351.00'
Right-of-Way	Light pole
Landscaping & Retaining Walls	Well
Silt Fence	Utility manhole
Drainage Flow	Storm Sewer
Sump Pump Discharge	Manhole
	Sanitary Sewer Manhole
	Rebar (to be set)

LINE STYLES	LABELS
Feature to be removed (Gray Line)	Record Map Info. "(R)"
Existing Utility (Light Line Weight)	Typical Style "Typ"
Proposed Utility (Heavier Line Weight)	To Be Removed "TBR"
	Proposed "Pr."



SURVEY REFERENCES

- This topographic survey was prepared from notes of an Instrument Survey completed on x by Landtech Surveying & Planning, PLLC.
- Site benchmark
- Liber 5499 of Deeds, Page 254.
- Liber 205 of Maps, Page 11.
- This site is less than 2500' from nearest Monroe County Monumentation.
- The vertical datum is referenced to The North American Vertical Datum of 1988 (NAVD 88)
- The horizontal datum is referenced to the New York State Plane Coordinate System Western Zone, Transmercator Projection, North American Datum of 1983, (2011) Epoch 2010 (MYCS2) utilizing GPS Observations from the NYS DOT Reference Stations (NYFP 32) and (NYBT 07) through ties to the following monuments:

Monuments used:
 Record Info NAD 1927
 4-2-257 (NYS DOT) N 1,109,223.85 E 749,268.91
 067 (NYGS) N 1,109,245.48 E 750,295.55

Measured NAD 1983 (2011) Epoch 2010 (MYCS2)
 4-2-257 (NYS DOT) N 1,109,262.99 E 1,397,627.09
 067 (NYGS) N 1,109,284.62 E 1,398,653.85

8. The project boundary survey and ties to Monroe County geodetic monuments were made using procedures necessary to achieve a horizontal accuracy of 1 part in 20,000 (1:20,000) or better proportional accuracy (or) 50 parts per million (50 ppm) or better proportional accuracy (or) a Local Positional Accuracy at 95% confidence level not exceeding 0.025 feet and a Network Positional Accuracy at 95% confidence level not exceeding 0.05 feet.

Combined Factor: 0.99998371846202
 All distances are ground
 All bearings are grid

GENERAL NOTES

- Tax Account Number: 189.01-2-49
- Owner: Sheheryar Mohammad L 12624 P 446
- Site address: 0 Tree Top Lane
- Total Area: 1.35 Acres
- This project is located within Other Areas-Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to Flood Insurance Rate Map Number 36055Cxxxx, dated August 28, 2008.
- Existing utilities were plotted from referenced survey and record maps.
- No Federal or New York State wetlands are found on this property.

(RR) RURAL RESIDENTIAL ZONING DATA

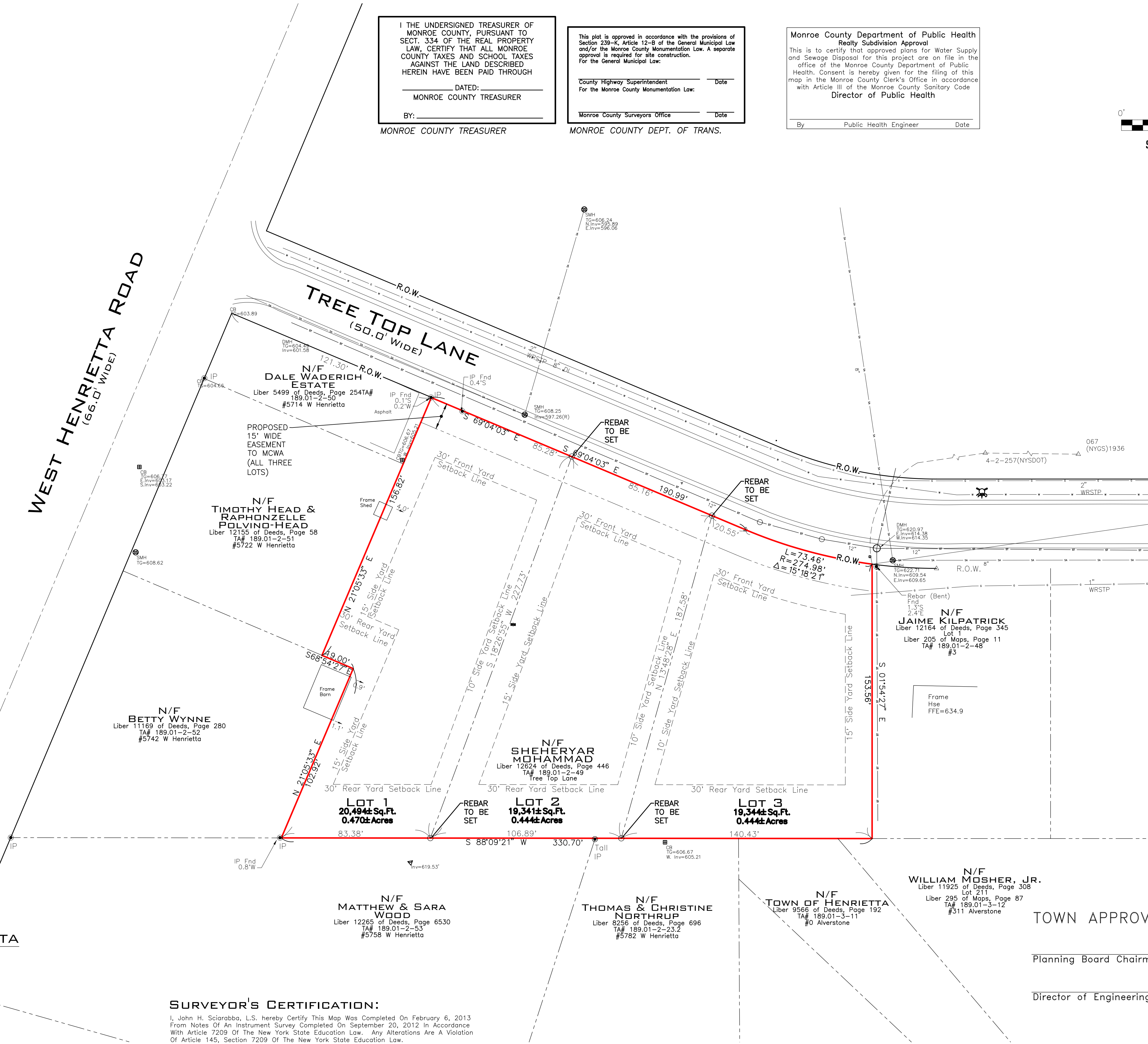
CODE	PROPOSED
MINIMUM LOT AREA	2.0 ACRES*
MINIMUM LOT WIDTH	80 FEET
MINIMUM FRONT SETBACK	60 FEET
MINIMUM SIDE SETBACK	15/10 FEET
MINIMUM REAR SETBACK	30 FEET
MINIMUM BUILDABLE AREA	10,000 S.F.
FREE OF WETLANDS, SURFACE WATER OR SLOPES OVER 15%	

AREA VARIANCES GRANTED

*1. On December 7, 2022, the Town of Henrietta Zoning Board of Appeals granted Area Variances for Lots 1, 2, and 3 to be less than 2.0 acres.

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

WEST HENRIETTA ROAD
(66.0' WIDE)



I THE UNDERSIGNED TREASURER OF MONROE COUNTY, PURSUANT TO SECT. 334 OF THE REAL PROPERTY LAW, CERTIFY THAT ALL MONROE COUNTY TAXES AND SCHOOL TAXES AGAINST THE LAND DESCRIBED HEREIN HAVE BEEN PAID THROUGH

DATE: _____
 MONROE COUNTY TREASURER

By: _____
 MONROE COUNTY TREASURER

This plot is approved in accordance with the provisions of Section 239-K, Article 12-B of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

County Highway Superintendent _____ Date _____
 For the Monroe County Monumentation Law:

Monroe County Surveyors Office _____ Date _____

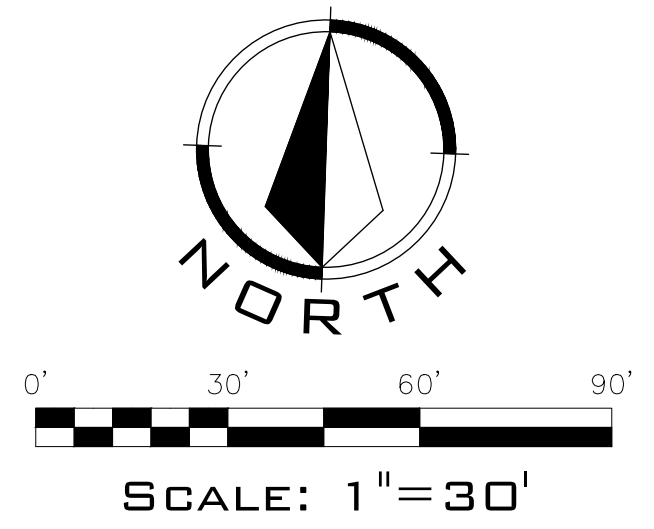
By: _____
 MONROE COUNTY DEPT. OF TRANS.

Monroe County Department of Public Health
 Realty Subdivision Approval

This is to certify that approved plans for Water Supply and Sewage Disposal for this project are on file in the office of the Monroe County Department of Public Health. Consent is hereby given for the filing of this map in the Monroe County Clerk's Office in accordance with Article III of the Monroe County Sanitary Code

Director of Public Health

By: _____
 Public Health Engineer Date _____



SURVEYOR'S CERTIFICATION:

I, John H. Sciarabba, L.S. hereby Certify This Map Was Completed On February 6, 2013 From Notes Of An Instrument Survey Completed On September 20, 2012 In Accordance With Article 7209 Of The New York State Education Law. Any Alterations Are A Violation Of Article 145, Section 7209 Of The New York State Education Law.

John H. Sciarabba, L.S. No. 50348

PRELIMINARY

Underground Facilities Protective Organization
 Utility Coordinating Committee.



1-800-962-7962

LAND40TECH
 SURVEYING & PLANNING P.L.L.C.
 1105 RIDGEWAY AVE - ROCHESTER, NY - 14615
 PHONE (585) 442-9902 - INFO@LAND40TECH.NY.COM

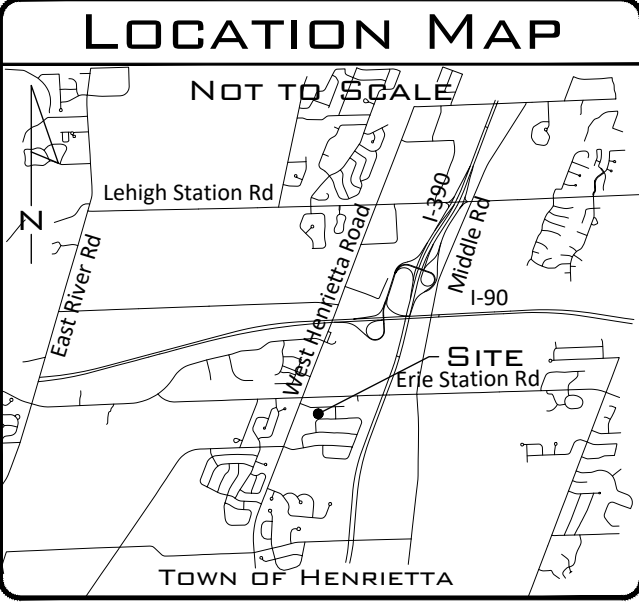


SCALE: 1"=30'	DATE: 02/14/24	DRAWN BY: JWH	CHECKED BY: JHS	PROJECT NUMBER: 22197	Date	REVISIONS	Name

BIRCH HILL ESTATES SUBDIVISION ADDITION
 PART OF TOWN LOT 25
 TOWNSHIP 12 RANGE 7
 PHELPS AND GOPHAM PURCHASE
 TOWN OF HENRIETTA MONROE COUNTY
 STATE OF NEW YORK

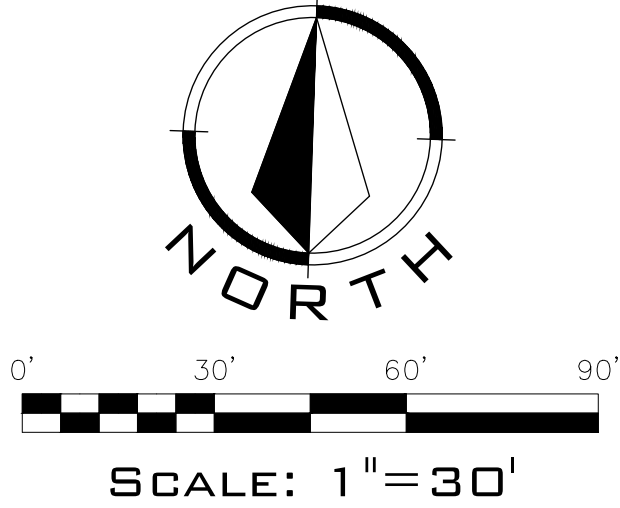
FINAL PLAT

LEGEND	
LINETYPES	SYMBOLS
Centerline	Utility Pole
Property Line	Water Gate Valve
Resub. Prop. Line	Curb Box
Easement Line	Gas Valve
Existing Contour	Utility Box
Proposed Contour	Transformer
Chain Link Fence	Survey Monument
Wood Fence	Mailbox
Guide Rail	Sign
Wire Fence	Iron pipe/rebar
Overhead Wires	Traffic Control M.H.
Gas Line	Cleanout
Water Line	Catch basin
Forcemain	Fire hydrant
Sanitary Sewer	Signal span pole
Storm Sewer	Perc hole
Electric	Deep hole
Edge of Woods	Benchmark
Floodzone	End section
Wetlands	Spot elev. x351.00'
Right-of-Way	Light pole
Landscaping & Retaining Walls	Well
Silt Fence	Utility manhole
Drainage Flow	Storm Sewer
Sump Pump Discharge	Manhole
	Sanitary Sewer
	Manhole
	Rebar (to be set)
LINE STYLES	LABELS
Feature to be removed (Gray Line)	Record Map Info. "(R)"
Existing Utility (Light Line Weight)	Typical Style "Typ"
Proposed Utility (Heavier Line Weight)	To Be Removed "TBR"
	Proposed "Pr."



DEMOLITION/CONSTRUCTION NOTES

- Obtain all necessary permits from the Town and/or other agencies prior to the start of work.
- Contact all utility companies to ensure that all services have been properly disconnected and/or shut off.
- Contact UFPO for a utility stake-out at least 48 hours before commencement of demolition activities for a utility stake-out.
- Install perimeter erosion control as shown and orange construction fence around trees that will remain. The contractor/owner is responsible for any damage to trees not designated for removal. Trees shall be pruned, watered, and fertilized prior to, during and after construction. Materials and equipment storage shall not be allowed in fenced areas.
- Commence demolition and removal of specified trees. Demolition debris must be removed from the site and disposed of in accordance with State and local regulations. Utilize stockpile/staging location as shown. No existing construction materials (concrete or other) shall remain on-site. The grade within the demolished footprint shall be restored to match adjoining, undisturbed grades. Backfill shall be suitable construction fill (subsoil free of organic material, or other structural fill acceptable to the Town) and compacted to at least 70% maximum density (Proctor).
- Completion of demolition area must be graded and seeded with a mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and Pennfine perennial rye grass (25%) at a rate of 250 lbs/acre.
- Rough grading for preparation of house construction must utilize the temporary soil stockpile location as shown on plan. Stockpile to be surrounded by silt fence for erosion control.
- Excess soil to be transported off-site in a manner compliant with Code/Requirements (none anticipated).
- Stockpile area to be utilized for staging of construction materials. Contractor to take precautions to prevent the discharge of petroleum and other pollutants.
- Whether during demolition or construction, all disturbed areas shall be protected from erosion either by mulch or temporary seeding within two weeks of disturbance.
- Should excavation disturb any apparently archaeologically sensitive areas, or any environmental conditions or issues not previously identified, there shall be immediate cessation of work and notification to the Town, the Monroe County Department of Health, and the New York State Department of Environmental Conservation.
- Any excess spoil material not required for re-grading of the site must be removed from the site.



SURVEY REFERENCES

- This topographic survey was prepared from notes of an Instrument Survey completed on x by Landtech Surveying & Planning, PLLC.
- Site benchmark
- Liber 5499 of Deeds, Page 254.
- Liber 205 of Maps, Page 11.
- This site is less than 2500' from nearest Monroe County Monumentation.
- The vertical datum is referenced to The North American Vertical Datum of 1988 (NAVD 88)
- The horizontal datum is referenced to the New York State Plane Coordinate System Western Zone, Transmercator Projection, North American Datum of 1983, (2011)Epoch 2010 (MYCS2) utilizing GPS Observations from the NYSDOT Reference Stations (NYPF 32) and (NYBT 07) through ties to the following monuments:
Monuments used:
Record Info NAD 1927
4-2-257 (NYSDOT) N 1,109,223.85 E 749,268.91
067 (NYGS) N 1,109,245.48 E 750,295.55
Measured NAD 1983 (2011) Epoch 2010 (MYCS2)
4-2-257 (NYSDOT) N 1,109,262.99 E 1,397,627.09
067 (NYGS) N 1,109,284.62 E 1,396,653.85
- The project boundary survey and ties to Monroe County geodetic monuments were made using procedures necessary to achieve a horizontal accuracy of 1 part in 20,000 (1:20,000) or better proportional accuracy (or) 50 parts per million (50 ppm) or better proportional accuracy (or) a Local Positional Accuracy at 95% confidence level not exceeding 0.025 feet and a Network Positional Accuracy at 95% confidence level not exceeding 0.05 feet.

Combined Factor: 0.99998371846202
All distances are ground
All bearings are grid

GENERAL NOTES

- Tax Account Number: 189.01-2-49
- Owner: Dale Waderich Estate & Clement Wolfe
- Site address: 0 Tree Top Lane
- Total Area: 1.35 Acres
- This project is located within Other Areas-Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to Flood Insurance Rate Map Number 36055Cxxxx, dated August 28, 2008.
- Existing utilities were plotted from referenced survey and record maps.
- No Federal or New York State wetlands are found on this property.

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

WEST HENRIETTA ROAD
(66.0' WIDE)

TREE TOP LANE
(50.0' WIDE)

N/F DALE WADERICH ESTATE
Liber 5499 of Deeds, Page 254TA#
189.01-2-50
#5714 W Henrietta

N/F TIMOTHY HEAD & RAPHONZELLE POLVINO-HEAD
Liber 12155 of Deeds, Page 58
TA# 189.01-2-51
#5722 W Henrietta

N/F BETTY WYNNE
Liber 11169 of Deeds, Page 280
TA# 189.01-2-52
#5742 W Henrietta

N/F SHEHERYAR MOHAMMAD
Liber 12624 of Deeds, Page 446
TA# 189.01-2-49
Tree Top Lane

N/F MATTHEW & SARA WOOD
Liber 12265 of Deeds, Page 6530
TA# 189.01-2-53
#5758 W Henrietta

N/F THOMAS & CHRISTINE NORTHRUP
Liber 8256 of Deeds, Page 696
TA# 189.01-2-23.2
#5782 W Henrietta

TOWN OF HENRIETTA
Liber 9566 of Deeds, Page 192
TA# 189.01-3-11
#0 AVerstone

N/F WILLIAM MOSHER, JR.
Liber 11925 of Deeds, Page 308
Lot 211
Liber 295 of Maps, Page 87
TA# 189.01-3-12
#311 AVerstone

N/F JAIME KILPATRICK
Liber 12164 of Deeds, Page 345
Lot #3
Liber 205 of Maps, Page 11
TA# 189.01-2-46

Underground Facilities Protective Organization
Utility Coordinating Committee.



1-800-962-7962

LAND40TECH
SURVEYING & PLANNING P.L.L.C.
1105 RIDGEMAN AVE - ROCHESTER, NY - 14615
PHONE (585) 442-9902 - INFO@LAND40TECH.NY.COM



SCALE: 1"=30'	DATE: 02/14/24	DRAWN BY: JWH	CHECKED BY: JHS	PROJECT NUMBER: 22197	Date	REVISIONS	Name

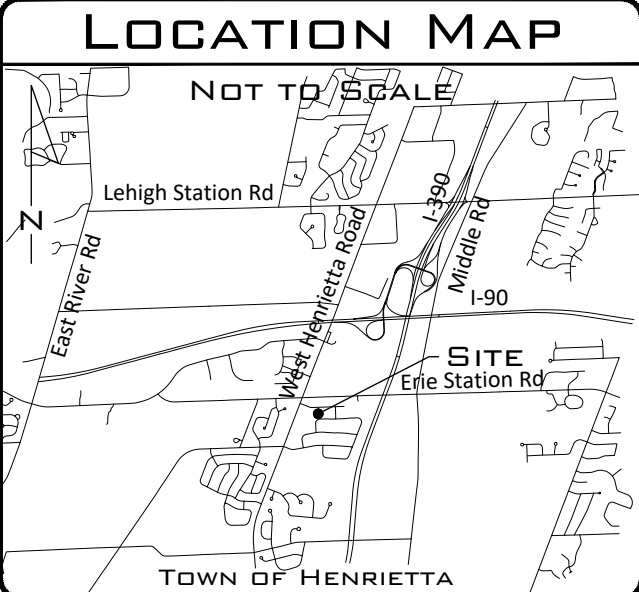
BIRCH HILL ESTATES
SUBDIVISION ADDITION
PART OF TOWN LOT 25
TOWNSHIP 12, RANGE 7
PHELPS AND GORHAM PURCHASE
TOWN OF HENRIETTA, MONROE COUNTY
STATE OF NEW YORK

EXISTING CONDITIONS PLAN

LEGEND

LINETYPES	SYMBOLS
Centerline	Utility Pole
Property Line	Water Gate Valve
Resub. Prop. Line	Curb Box
Easement Line	Gas Valve
Existing Contour	Utility Box
Proposed Contour	Transformer
Chain Link Fence	Survey Monument
Wood Fence	Mailbox
Guide Rail	Sign
Wire Fence	Iron pipe/rebar
Overhead Wires	Traffic Control M.H.
Gas Line	Cleanout
Water Line	Catch basin
Forcemain	Fire hydrant
Sanitary Sewer	Signal span pole
Storm Sewer	Ferc hole
Electric	Deep hole
Edge of Woods	Benchmark
Floodzone	End section
Wetlands	Spot elev. x351.00'
Right-of-Way	Light pole
Landscaping & Retaining Walls	Well
Silt Fence	Utility manhole
Drainage Flow	Storm Sewer
Sump Pump Discharge	Manhole
	Sanitary Sewer Manhole
	Rebar (to be set)

LINE STYLES	LABELS
Feature to be removed (Gray Line)	Record Map Info. "(R)"
Existing Utility (Light Line Weight)	Typical Style "Typ."
Proposed Utility (Heavier Line Weight)	To Be Removed "TBR"
	Proposed "Pr."



SURVEY REFERENCES

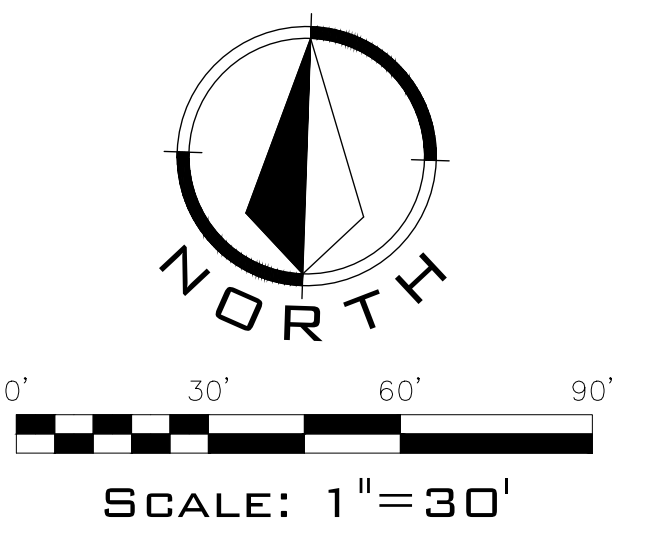
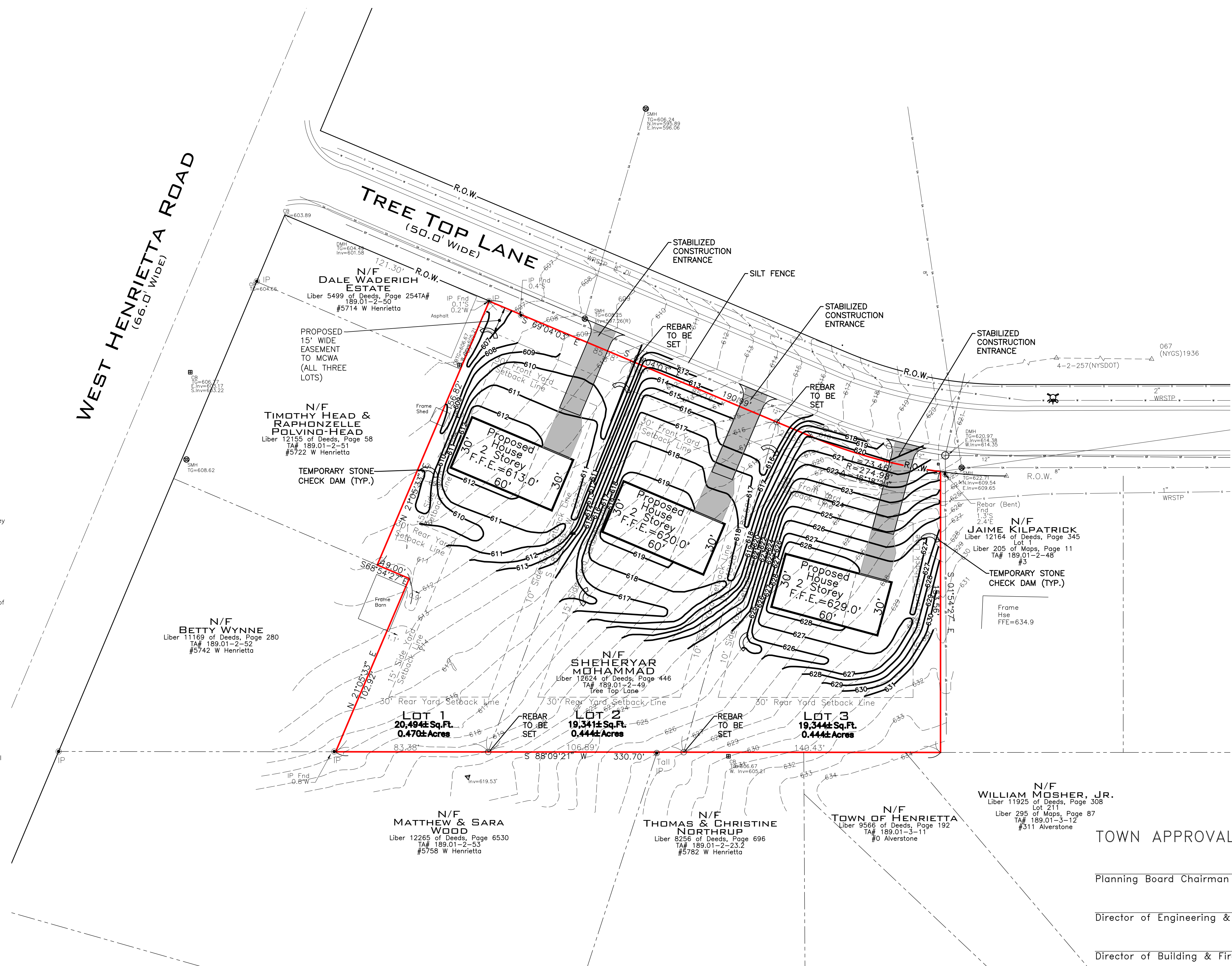
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Monuments used:

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Combined Factor: 0.99998371846202
 All distances are ground
 All bearings are grid



SEEDING NOTES

- All previous areas (lawn & landscaped areas) must be restored to pre-development conditions in accordance with the Soil Restoration Requirements, which are listed in the appendix of the Stormwater Pollution Prevention Plan.
- Lawn areas are to be seeded with a mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and Pennfine perennial ryegrass (25%) at a rate of 250 lbs/acre. Paper mulch to be applied at 1350 lbs/acre with a tackifier at 60 lbs/acre. A balanced fertilizer must be applied at 250 lbs/acre.
- All seeded areas must be watered, fertilized, re-seeded as necessary, and mulched according to manufacturer's specifications to maintain a vigorous, dense vegetative cover.
- If temporary vegetative cover is to be used, a mix of Annual ryegrass (50%) and Perennial ryegrass (50%) must be applied at a rate of 65 lbs/acre with paper mulch at 1200 lbs/acre and a tackifier at 60 lbs/acre.

TOWN APPROVALS:

Planning Board Chairman	DATE
Director of Engineering & Planning	DATE
Director of Building & Fire Prevention	DATE
Fire Marshal	DATE
Commissioner of Public Works	DATE

PRELIMINARY

Underground Facilities Protective Organization
 Utility Coordinating Committee.

1-800-962-7962

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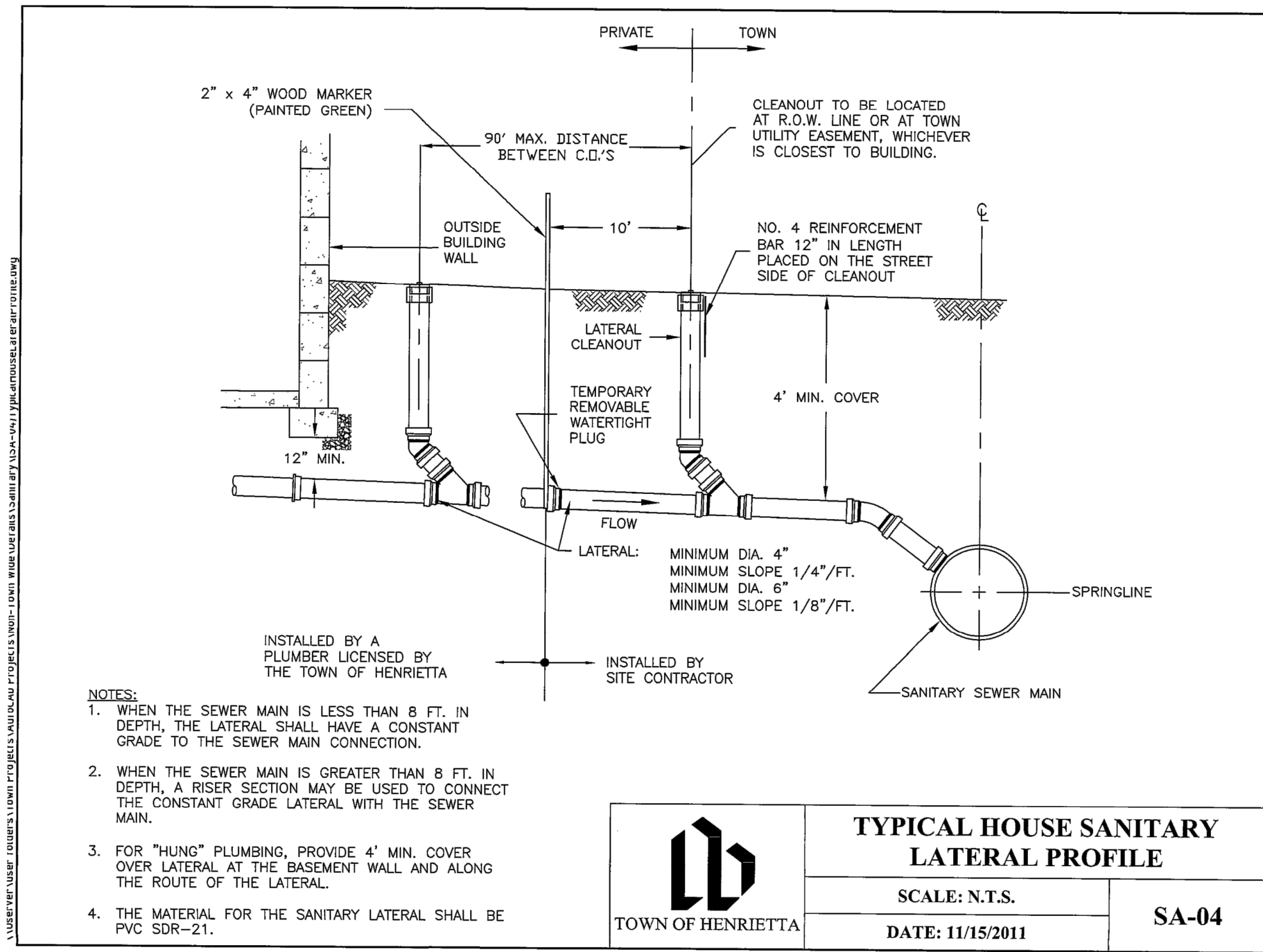
LAND40TECH
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 PHONE (585) 442-9902 - INFO@LAND40TECH.NY.COM



SCALE: 1"=30'	DATE: 02/14/24	DRAWN BY: JWH	CHECKED BY: JHS	PROJECT NUMBER: 22197	Name
					REVISIONS
					Date

BIRCH HILL ESTATES
 SUBDIVISION ADDITION
 PART OF TOWN LOT 25
 TOWNSHIP 12, RANGE 7
 PHELPS AND GORHAM PURCHASE
 TOWN OF HENRIETTA, MONROE COUNTY
 STATE OF NEW YORK

GRADING PLAN



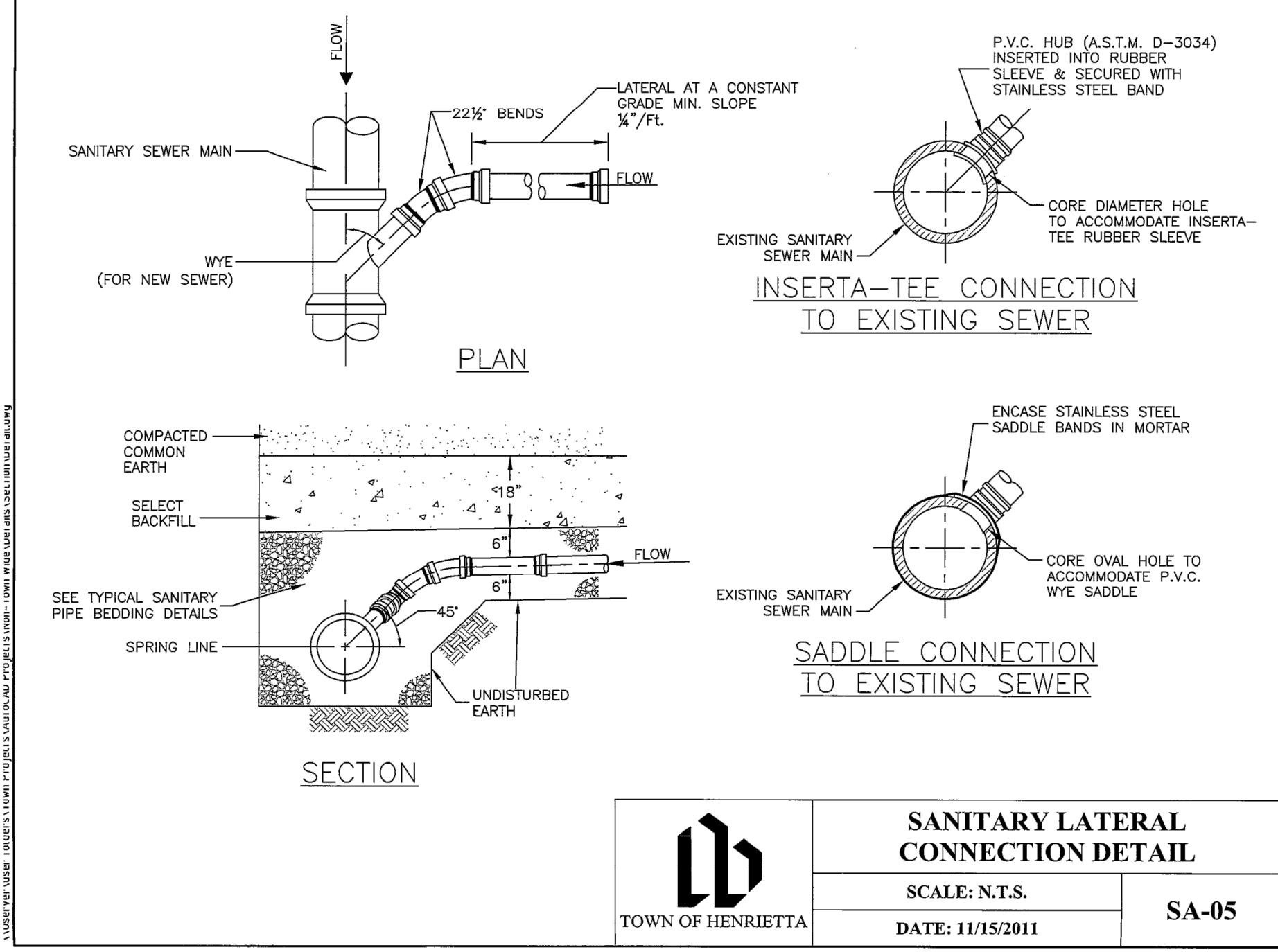
TOWN OF HENRIETTA

TYPICAL HOUSE SANITARY LATERAL PROFILE

SCALE: N.T.S.

DATE: 11/15/2011

SA-04



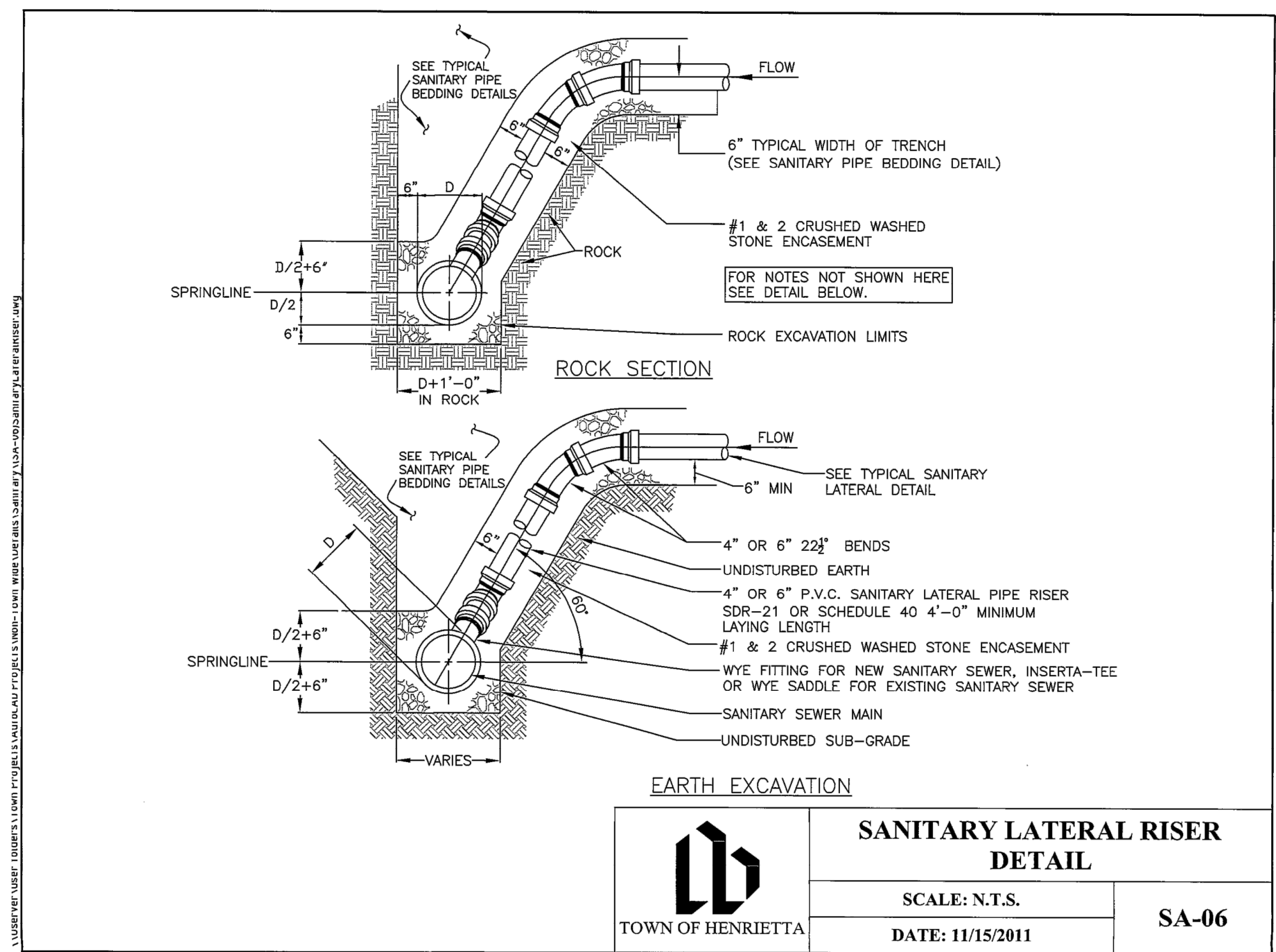
TOWN OF HENRIETTA

SANITARY LATERAL CONNECTION DETAIL

SCALE: N.T.S.

DATE: 11/15/2011

SA-05



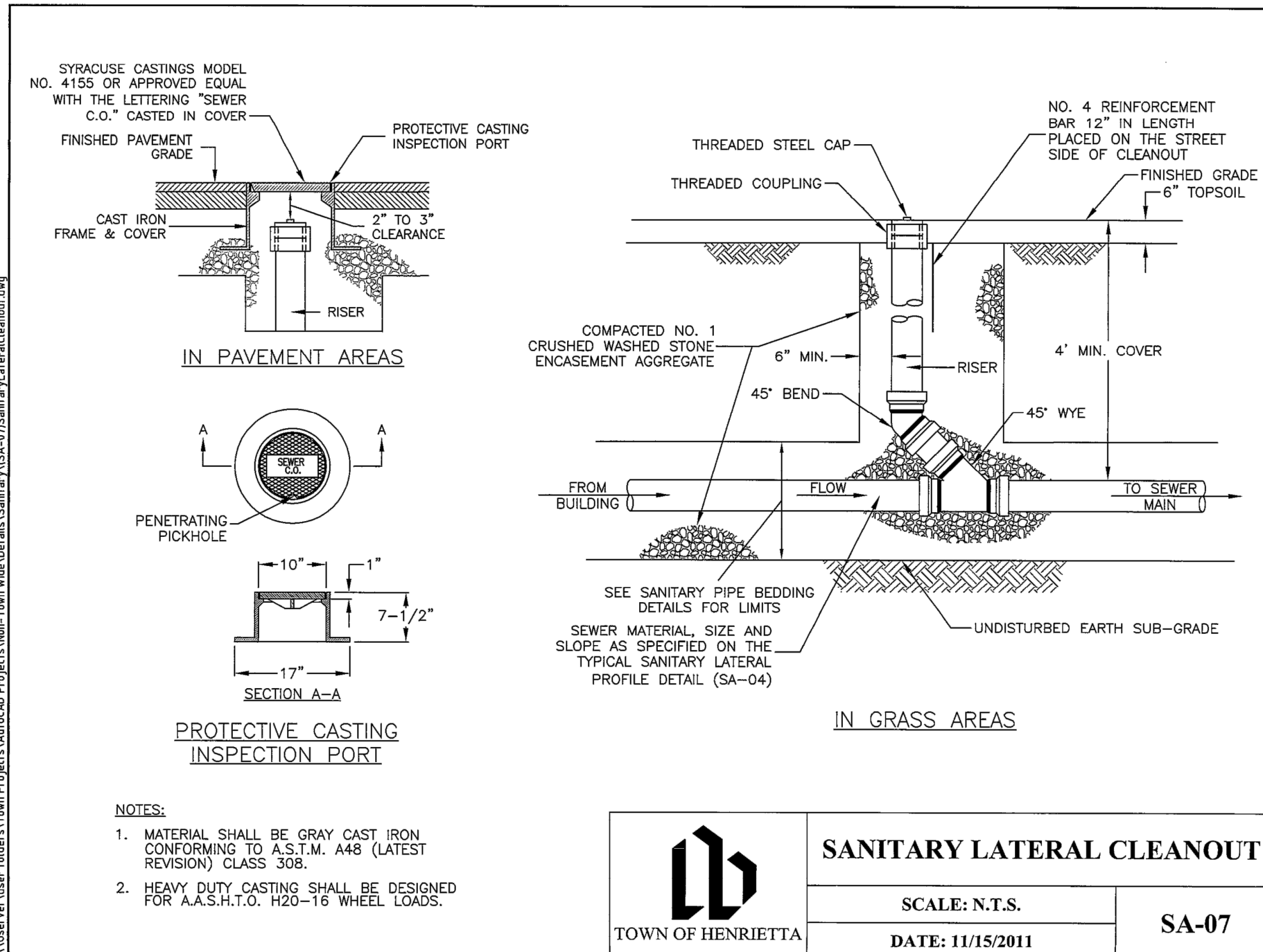
TOWN OF HENRIETTA

SANITARY LATERAL RISER DETAIL

SCALE: N.T.S.

DATE: 11/15/2011

SA-06



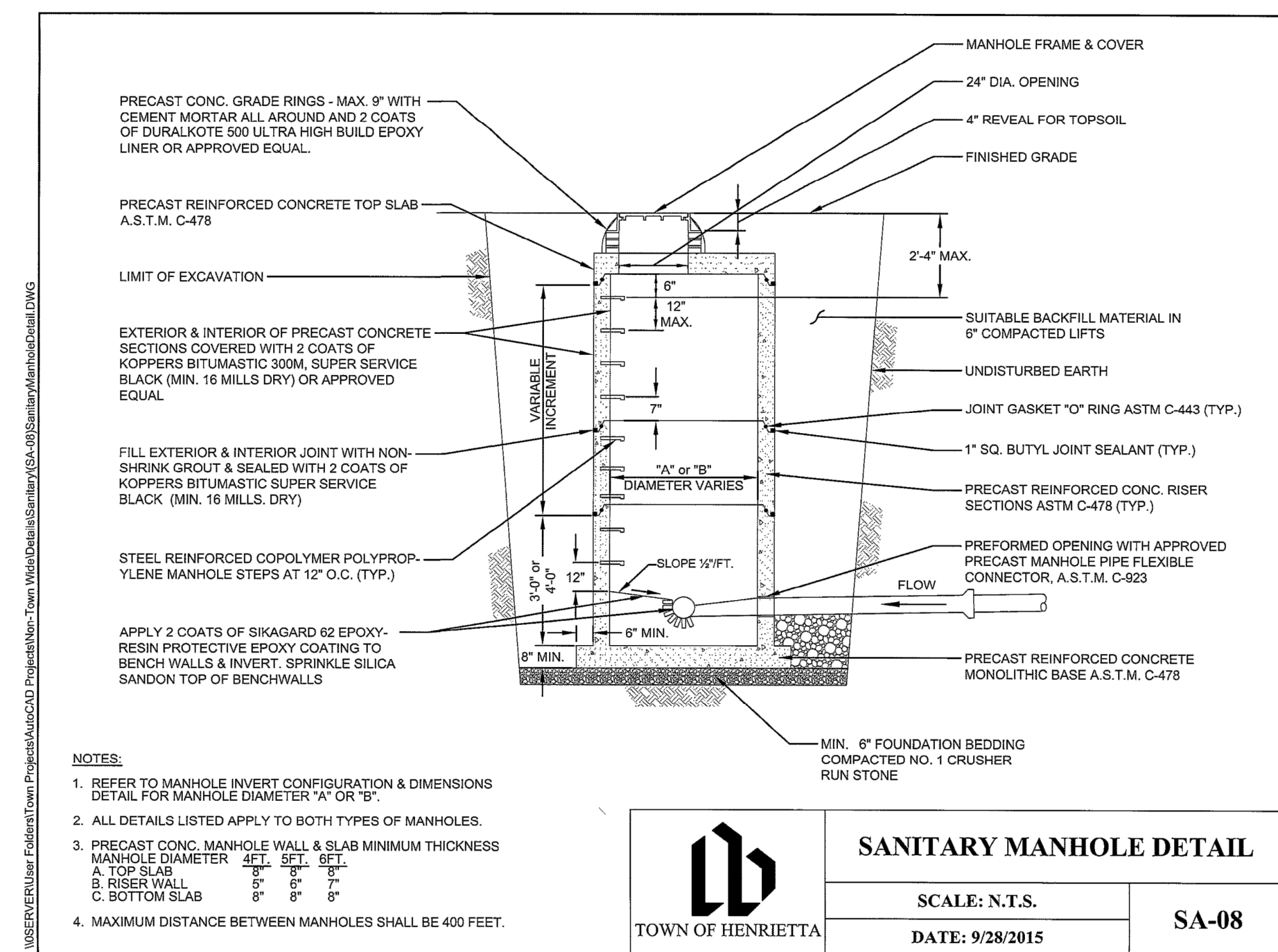
TOWN OF HENRIETTA

SANITARY LATERAL CLEANOUT

SCALE: N.T.S.

DATE: 11/15/2011

SA-07



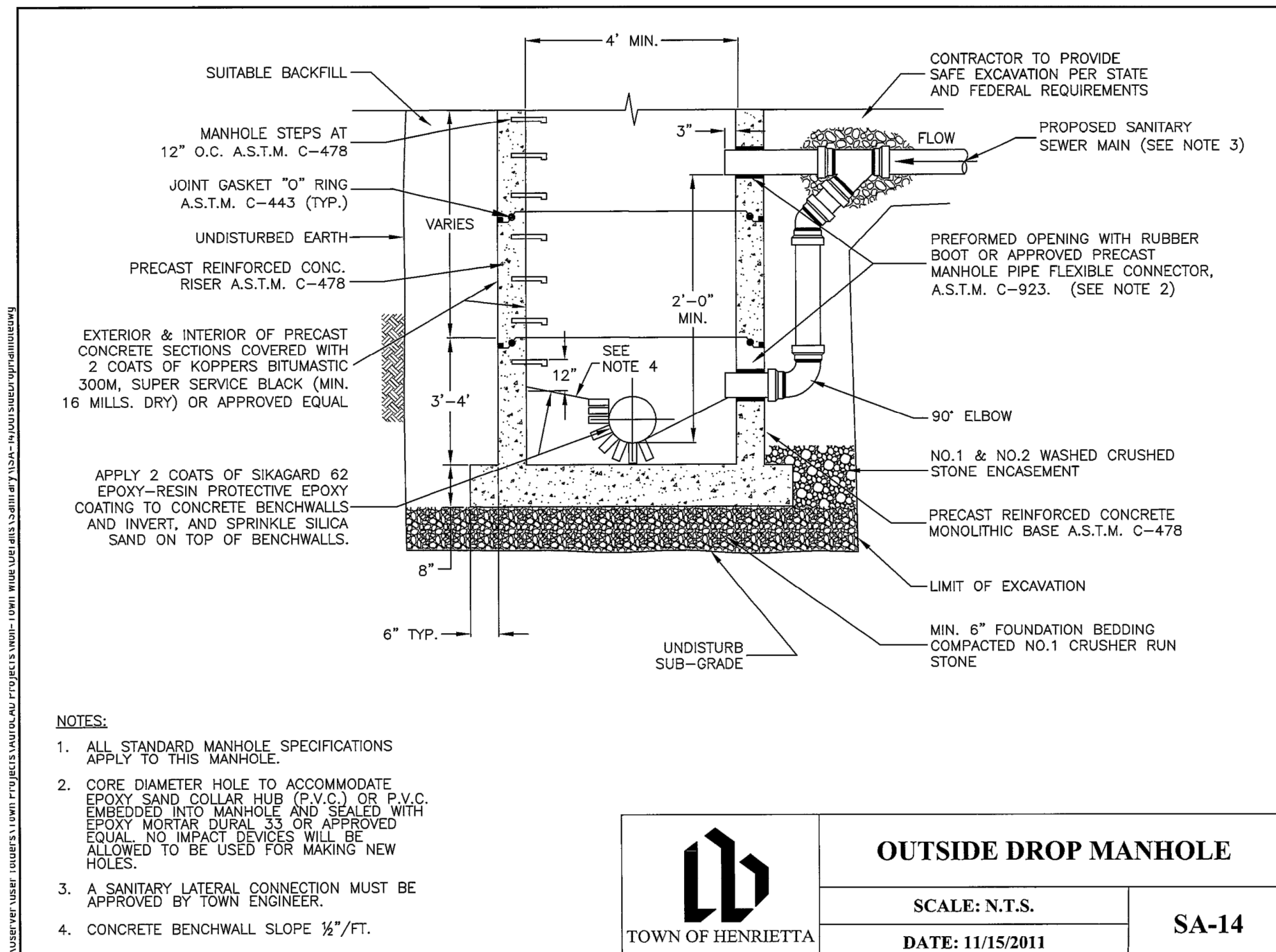
TOWN OF HENRIETTA

SANITARY MANHOLE DETAIL

SCALE: N.T.S.

DATE: 9/28/2015

SA-08



TOWN OF HENRIETTA

OUTSIDE DROP MANHOLE

SCALE: N.T.S.

DATE: 11/15/2011

SA-14



REVISIONS	Date	Name

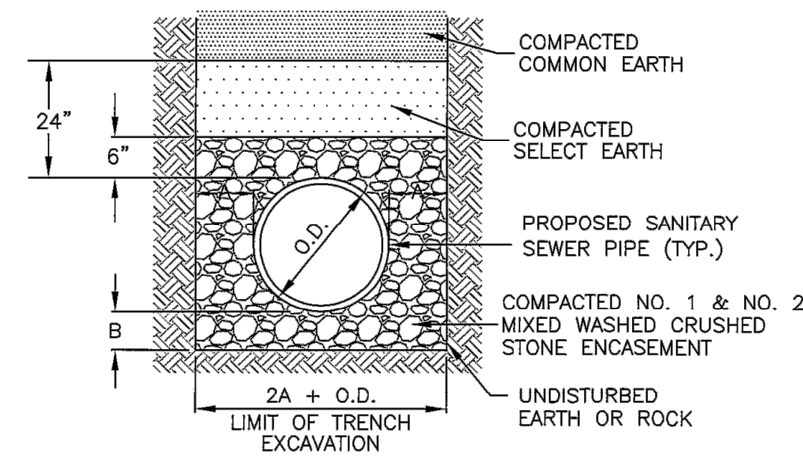
SCALE: 1"=30'

DATE: 02/14/24

DRAWN BY: JWH

CHECKED BY: JHS

PROJECT NUMBER: 22197

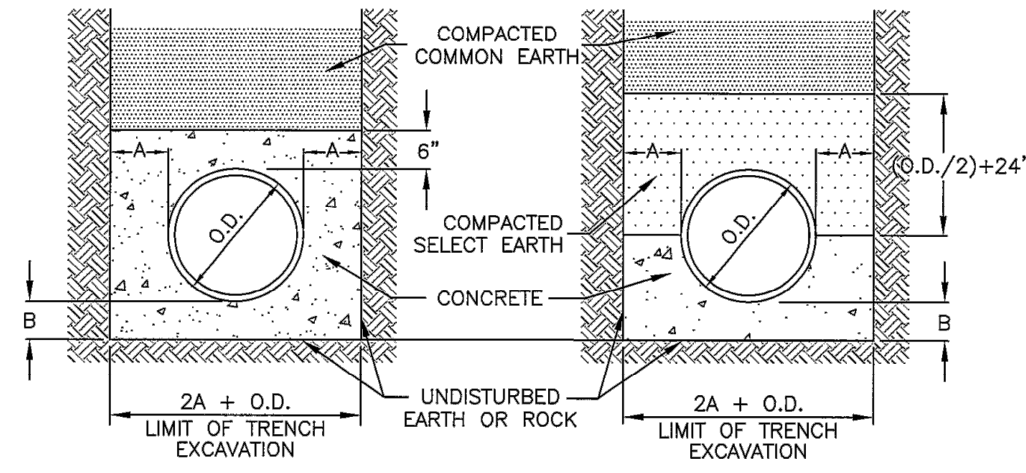


PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

NOTES:

1. ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
2. ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
3. SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
4. STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYS DOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
5. CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYS DOT SECTION 501 SPECIFICATIONS.

TYPICAL SANITARY BEDDING DETAIL



CONCRETE ENCASEMENT

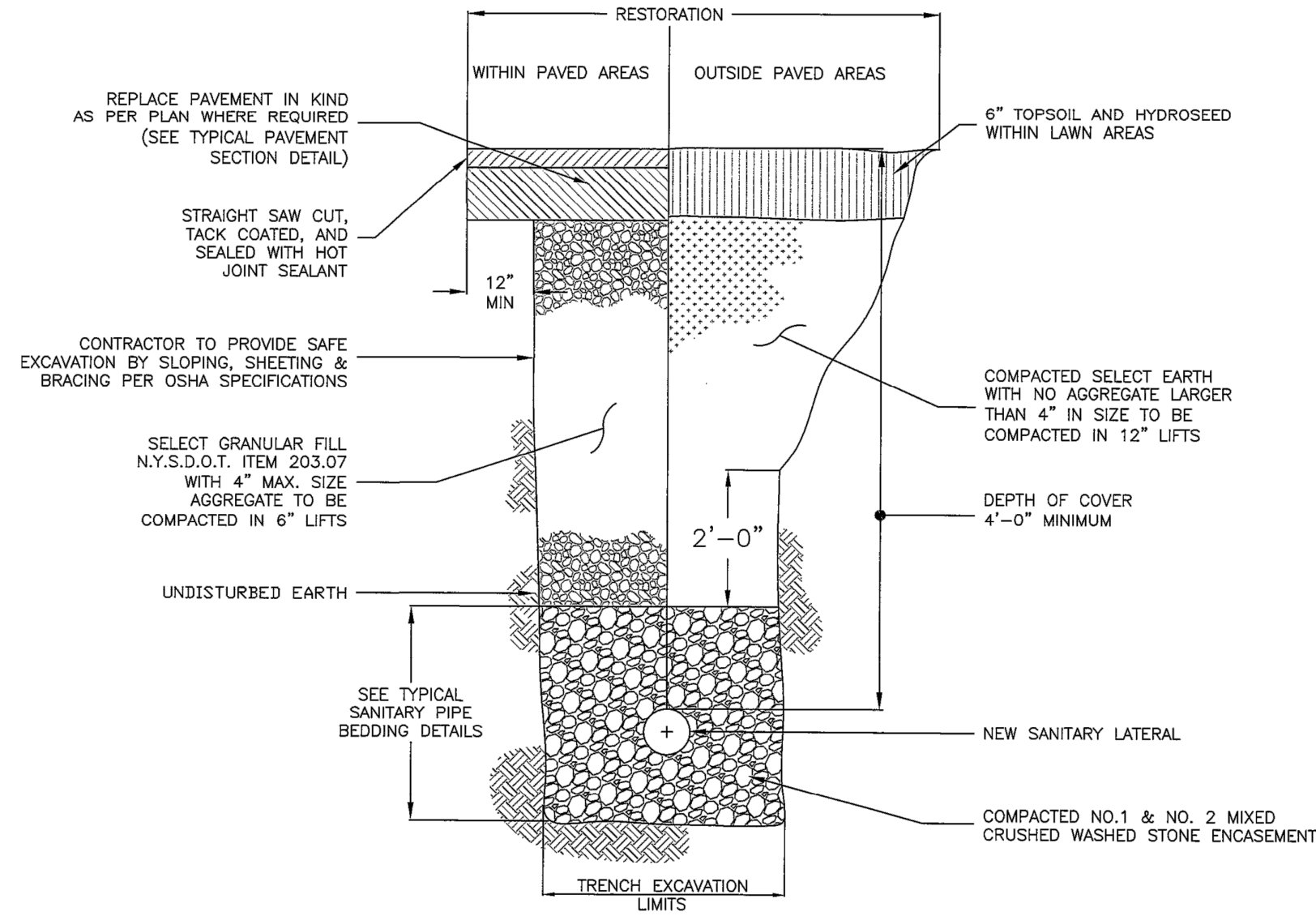
CONCRETE CRADLE



TYPICAL SANITARY PIPE BEDDING DETAILS

SCALE: N.T.S.
DATE: 11/15/2011

SA-01



TYPICAL SANITARY LATERAL TRENCH DETAIL

SCALE: N.T.S.
DATE: 11/15/2011

SA-03



Scale	Date	Drawn By	Checked By	Project Number	Name
1"=30'	02/14/24	JWH	JHS	22197	

BIRCH HILL ESTATES
SUBDIVISION ADDITION
PART OF TOWN LOT 25
TOWNSHIP 12, RANGE 7
PHELPS AND GORHAM PURCHASE
TOWN OF HENRIETTA, MONROE COUNTY
STATE OF NEW YORK

DETAILS 3

PRELIMINARY

