



TOWN OF HENRIETTA
County of Monroe
State of New York

475 Calkins Road, Rochester, NY 14623
(585) 334-7700 • www.henrietta.org

TOWN OF HENRIETTA
APPLICATION TO TOWN BOARD

Appeal No. SP2024-009

SPECIAL USE PERMIT – RESTAURANT

Date 2/21/24

Applicant: Angelo Ingrassia, 1012 Lehigh LLC
Name Email

550 Latona Rd, Bldg E Ste 501 Rochester NY 14626
No. & Street City State Zip Code Phone Number

Business Owner: David Shipe, Starbucks Corp.
Name Email

2401 Utah Ave South, Suite 800 Seattle WA 98134
No. & Street City State Zip Code Phone Number

Business Name: Starbucks

Business Address: 1012 Lehigh Station Road T. Henrietta NY 14623
No. & Street City State Zip Code

Property Owner: Fairlane Dr LLC
Name Email

745 South Garfield Road, Suite A, Traverse City, Michigan 49686
No. & Street City State Zip Code Phone Number

Architect/Engineer: Matt Tomlinson, Marathon Engineering
Name Email

39 Cascade Drive Rochester NY 14614
No. & Street City State Zip Code Phone Number

Hereby request from the Town Board for a Special Use Permit for the property located at:

1012 Lehigh Station Road T. Henrietta NY 14623
No. & Street City State Zip Code

175.11-1-13.3 I - Industrial
Tax Map No. Zoning District

If property is under a purchase option, indicate date option expires: _____

Under the Zoning Ordinance, a Special Permit is requested pursuant to:

Article: XII Section: 295 Subsection: 25 Paragraph: 16 of the Zoning Ordinance.

Description of Proposal: 2400± SF Starbucks Restaurant with a drive thru and limited outdoor seating area.

IMPORTANT: Please check only those operational subtypes which you intend to operate now or in the very near future. The Town is required to assess each subtype for potential impacts, therefore if you select operational subtypes which are not truly intended to be utilized, you may unnecessarily subject your proposal to further mitigation which may not otherwise have been required.

- Sit Down Meal Service
- Take-Out Meal Service
- Drive-Through Service
- Outdoor Seating
- Bands, DJs, or Similar Loud Entertainment
- Alcohol to be Served

Printed Name: Angelo Ingrassia Signature: _____

T Wenzel Received By March 27, 2024 Date of Meeting (unless rescheduled) 6:00 pm Time

*A meeting date will be assigned when applications are turned in but if the application is deemed incomplete, it will not be scheduled and the Applicant will be notified.

**Statement of Applicant and Owner with Respect to Reimbursement
of Professional and Consulting Fees**

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant/Business Owner: Angelo Ingrassia, 1012 Lehigh LLC

By: Angelo Ingrassia

Title: Manager

Dated: 02/20/2024

Signed: 

Property Owner: Fairlane Drive LLC

By: Martin J. Lobdell

Title: Manager

Dated: 3/11/24

Signed: 



February 21, 2024

Mr. Christopher Martin
Town of Henrietta
475 Calkins Rd
Rochester NY 14623

Re: Special Use Permit and Site Plan Approval – Starbucks Restaurant
1012 Lehigh Station Rd
Town of Henrietta, Monroe County, State of New York

Dear Chris,

On behalf of our client, 1012 Lehigh LLC, we are pleased to submit plans of the above referenced project for your consideration and request to be placed on the Town Board agenda of March 27, 2024, for Special Use Permit Approval, and on the Planning Board agenda of April 16, 2024, for Preliminary and Final Site Plan Approval.

The above-referenced 0.97± acre parcel zoned I – Industrial is located on the north side of Lehigh Station Road, east of Kenneth Drive. Access to the site is from Kenneth Drive via a private road that also provides access to the existing Taco Bell restaurant located on the abutting parcel to the west of the proposed Starbucks.

The developer proposes to construct a 2,400± sf Starbucks restaurant with a drive-through and limited outdoor seating; a Special Use Permit is required. There are 23 parking spaces, a screened and gated storage area for garbage and recycling, and a sidewalk connecting to the existing sidewalk along Lehigh Station Road. The restaurant is anticipated to employ 20± employees, with a typical shift of 3-8 employees and projected hours of operation of 5:30 AM to 8:00 PM daily.

In addition to the typical order board and directional signage for the drive-through, there will be building mounted signage and a pylon sign at the southwest portion of the parcel, visible from Lehigh Station Road.

Enclosed is the following information to aid in your review:

Special Permit Approval

- 4 copies of this Letter of Intent
- 1 copy of the Special Use Permit Application -- Restaurant
- 4 copies of the Letter of Authorization from the Property Owner
- 4 copies of the Short Environmental Assessment Form (SEAF)
- 4 copies of the Layout Plan (full-size)
- 4 copies of the Floor Plans, Building Elevations & Renderings (11x17)
- 1 check for the Special Use Permit fee in the amount of \$200

Going the distance for you.

Special Use Permit & Site Plan Approval
Starbucks, 1012 Lehigh Station Rd, Town of Henrietta
02/21/2024

Site Plan Approval

- 14 copies of this Letter of Intent
- 1 copy of the Site Plan Application
- 1 copy of the Site Plan Checklist
- 1 copy of the Letter of Authorization from the Property Owner
- 2 copies of the Engineers Utility Memo
- 1 copy of the Short Environmental Assessment Form (SEAF)
- 14 copies of the Floor Plan, Building Elevations & Renderings (11x17)
- 14 copies of the Site Plan set (full size)
- 1 check for the Planning Board Application Fee in the amount of \$150
- 1 check for the Engineering Plan Review Charge in the amount of \$700

PDFs of the above documents have been emailed to drawings@henrietta.org.

We look forward to presenting this project. If you have any questions, or require additional information, please do not hesitate to contact our office.

Respectfully submitted,



Matt Tomlinson, Partner
MARATHON ENGINEERING

cc: Angelo Ingrassia, 1012 Lehigh LLC

1012 Lehigh LLC
550 Latona Road Building E Suite 501
Rochester, NY 14626
(585) 225-0140

February 21, 2024

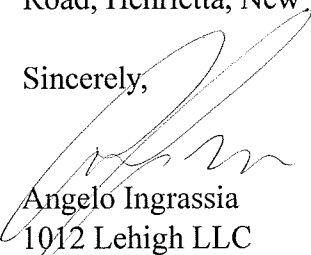
Town of Henrietta
Attn: Tracey Wenzel, Building & Fire Prevention
475 Caulkins Road
Rochester, NY 14623

Re: Authorization from 1012 Lehigh LLC for Marathon Engineering

To Whom It May Concern:

1012 Lehigh LLC hereby authorizes Marathon Engineering to represent us in all processes for all necessary government approvals related to the property (1012 Lehigh Station Road, Henrietta, New York 14623 identified as tax account number 175.11-1-13.3).

Sincerely,



Angelo Ingrassia
1012 Lehigh LLC

FAIRLANE DRIVE LLC

Re: *Government Approval Authorization*

Dear Sir or Madam:

As the authorized signatory of Fairlane Drive LLC, a Michigan corporation having an address of 745 South Garfield Avenue, Suite A, Traverse City, Michigan 49686, and the owner of approximately +/- 0.967 acres of real property commonly known as 1012 Lehigh Station Road, Henrietta, New York 14623 and identified as tax account number 175.11-1-13.3 (Lot R304B) as more particularly described on **Schedule A** attached hereto (the "Property"), I do hereby authorize 1012 Lehigh LLC, a New York limited liability company (as successor-in-interest to Spot On Development, LLC), its representatives and/or agents to make application for and pursue any and all government approvals related to the Property.

Sincerely,

FAIRLANE DRIVE LLC

Date: February 21, 2024

By: 
Name: Martin J. Lobdell
Title: Sole Member

Starbucks Corporation
2401 Utah Avenue South, Suite 800
Seattle, WA 98134

February 22, 2024

Town of Henrietta
Attn: Tracey Wenzel, Building & Fire Prevention
475 Caulkins Road
Rochester, NY 14623

RE: Authorization from Starbucks Corp for 1012 Lehigh LLC & Marathon Engineering for
Government Approvals

To Whom It May Concern:

Starbucks Corporation hereby authorizes 1012 Lehigh LLC and Marathon Engineering to proceed with application of the special use permit and all other processes for all necessary government approvals related to the property (1012 Lehigh Station Road, Henrietta, New York 14623 identified as tax account number 175.11-1-13.3).

Sincerely,



Starbucks Corporation

File: Z:\Engineering\Job Files\1687-23 Drawings\Sheets\03-C1.dwg, Last saved: 2/19/2024, Plot Date: 2/19/2024, By: RAFAEL BARRETO, Plot Style: -----

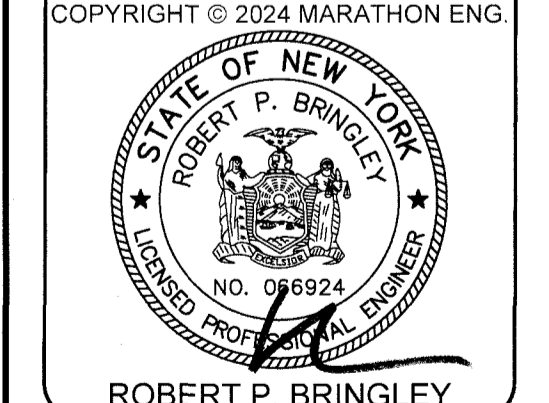
PRELIMINARY/FINAL SITE PLANS
 for
PROPOSED STARBUCKS RESTAURANT
 1012 LEHIGH STATION ROAD
 MONROE COUNTY
 TOWN OF HENRIETTA
 STATE OF NEW YORK

JOB NO: 1687-23
 SCALE: 1"=20'
 DRAWN: RLB
 DESIGNED: MT
 DATE: 02/21/2024

REVISIONS

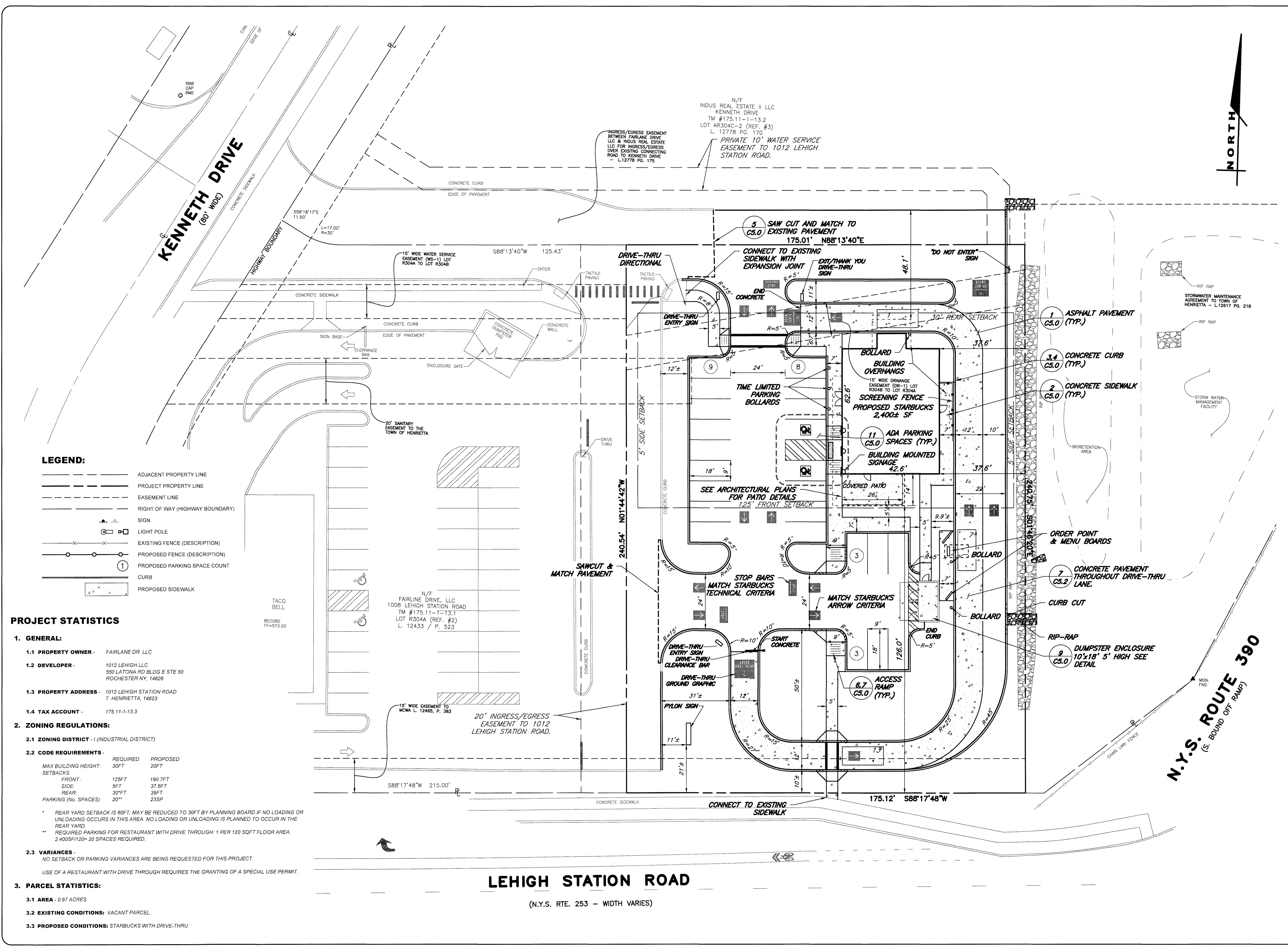
DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 14c, SECTION 1209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT, TO PREPARE ANY INSTRUMENTS OF SERVICE. THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS NOT VALID UNLESS IT IS ISSUED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR IN COMPLIANCE WITH THE EDUCATION LAW AND THE REGULATION OF THE STATE EDUCATION BOARD. THE BOARD'S REGULATIONS ARE LOCATED AT: www.pes.state.ny.us. THE BOARD'S REGULATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE BOARD'S REGULATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE BOARD'S REGULATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.



DRAWING TITLE:
LAYOUT PLAN

3 of 9
 SHEET No: **C1.0**
 1687-23
 JOB No: DRAWING No:



- LEGEND:**
- ADJACENT PROPERTY LINE
 - PROJECT PROPERTY LINE
 - - - EASEMENT LINE
 - - - RIGHT OF WAY (HIGHWAY BOUNDARY)
 - SIGN
 - LIGHT POLE
 - EXISTING FENCE (DESCRIPTION)
 - PROPOSED FENCE (DESCRIPTION)
 - PROPOSED PARKING SPACE COUNT
 - CURB
 - PROPOSED SIDEWALK

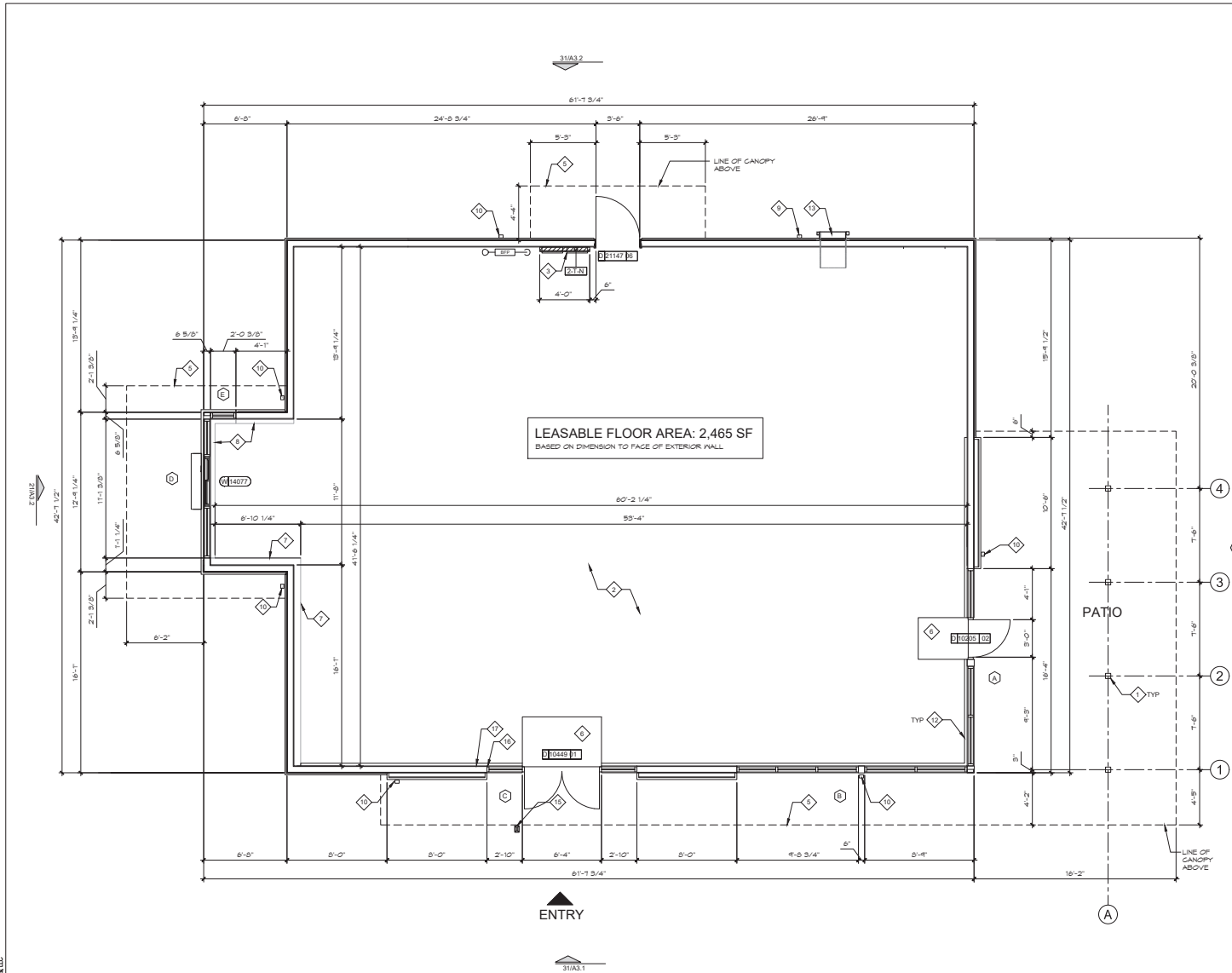
PROJECT STATISTICS

- 1. GENERAL:**
- 1.1 PROPERTY OWNER - FAIRLANE DR. LLC
 - 1.2 DEVELOPER - 1012 LEHIGH LLC, 550 LATONA RD BLDG E STE 90, ROCHESTER NY, 14626
 - 1.3 PROPERTY ADDRESS - 1012 LEHIGH STATION ROAD, T. HENRIETTA, 14623
 - 1.4 TAX ACCOUNT - 175.11-1-13.3
- 2. ZONING REGULATIONS:**
- 2.1 ZONING DISTRICT - I (INDUSTRIAL DISTRICT)
 - 2.2 CODE REQUIREMENTS:

	REQUIRED	PROPOSED
MAX BUILDING HEIGHT:	30FT	20FT
SETBACKS:		
FRONT:	125FT	130 FT
SIDE:	5FT	37.6FT
REAR:	30FT	39FT
PARKING (No. SPACES)	20**	23SP
- * REAR YARD SETBACK IS 60FT, MAY BE REDUCED TO 30FT BY PLANNING BOARD IF NO LOADING OR UNLOADING OCCURS IN THIS AREA. NO LOADING OR UNLOADING IS PLANNED TO OCCUR IN THE REAR YARD.
- ** REQUIRED PARKING FOR RESTAURANT WITH DRIVE THROUGH: 1 PER 120 SQFT FLOOR AREA. 2,400SF/120= 20 SPACES REQUIRED.
- 2.3 VARIANCES:**
- NO SETBACK OR PARKING VARIANCES ARE BEING REQUESTED FOR THIS PROJECT.
 - USE OF A RESTAURANT WITH DRIVE THROUGH REQUIRES THE GRANTING OF A SPECIAL USE PERMIT.
- 3. PARCEL STATISTICS:**
- 3.1 AREA - 0.97 ACRES
 - 3.2 EXISTING CONDITIONS: VACANT PARCEL
 - 3.3 PROPOSED CONDITIONS: STARBUCKS WITH DRIVE-THRU.

LEHIGH STATION ROAD

(N.Y.S. RTE. 253 - WIDTH VARIES)



GENERAL NOTES

- A. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- B. PROVIDE FIRE TREATED WOOD STUD BLOCCING, OR EQUIVALENT TO SUPPORT ANY WALL ATTACHMENT AND/OR SIGNAGE.
- C. INTERIOR DIMENSIONS ARE TO FINISHED FACE UNLESS SHOWN OR NOTED OTHERWISE.
- D. EXTERIOR WALL DIMENSIONS ARE TO FACE OF SHEATHING UNLESS SHOWN OR NOTED OTHERWISE.
- E. INSTALL MOISTURE RESISTANT DRYWALL ON BACKBAR WALL PER LLW.
- F. ALL DOORS SHALL BE 32" (815MM) MINIMUM CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION UNLESS OTHERWISE NOTED.
- G. SEE DOOR AND WINDOW SHEET FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- H. DOOR HARDWARE COMPONENTS PROVIDED AND INSTALLED PER LLW.
- J. PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE AUTHORITY HAVING JURISDICTION.

KEYED NOTES

- 1 STRUCTURAL COLUMN.
- 2 CONCRETE SLAB OVER VAPOR BARRIER OVER COMPACTED FILL AS REQUIRED BY CODE.
- 3 ELECTRICAL PANEL LOCATIONS. MAINTAIN MINIMUM CLEARANCE AS REQUIRED BY CODE.
- 4 36" CLEAR FOR ROOF LADDER ACCESS.
- 5 OUTLINE OF CANOPY ABOVE. SEE EXTERIOR ELEVATIONS.
- 6 RECESSED AREA FOR FUTURE WALK OFF MAT. TO BE COORDINATED WITH REGIONAL DESIGN TEAM.
- 7 FUTURE FURRED PLUMBING WALL.
- 8 FUTURE FURRED WALL.
- 9 ROOF SCUPPER AND DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN.
- 10 CANOPY DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN.
- 11 NOT USED.
- 12 CURB BELOW ASSOCIATED WITH FURRING AND INSULATION.
- 13 EXTERIOR ROOF LADDER LOCATION.
- 14 NOT USED.
- 15 DOOR ACTUATOR CONTROL PEDESTAL.
- 16 DOOR ACTUATOR CONTROL ELONGATED PUSH PLATE. MULLION MOUNTED.
- 17 DOOR ACTUATOR KEY SWITCH, WALL MOUNTED.

IF A DISCREPANCY IS FOUND BETWEEN THESE PLANS AND ANY PREVIOUS SET OF PLANS, THE MOST RECENT SET OF PLANS SHALL CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

Revision Schedule			
Rev No	Rev Date	Rev Description	Issued By

DRAWN BY: DJA
 CHECKED BY: JAB
 PROJECT NO.: 24002
 DATE: XXXXXXXX
 SCALE: 1/4" = 1'-0"
 TITLE:

FLOOR PLAN

A2.1

EXTERIOR SIGNAGE SCHEDULE - "S"						
DESIGN ID/COUNT	DESCRIPTION	FURN. BY		INST. BY		COMMENTS
SIGNAGE - DISK						
13163	1 SIGN	DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48N 1220MM	SB	SB	--	
	1 SIGN	DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60N 1534MM	SB	SB	--	
SIGNAGE - DRIVE THRU						
*1600	8"	PIN MOUNTED DRIVE-THRU SIGN LETTERS	SB	SB	--	
SIGNAGE - WORDMARK						
18484	1 SIGN	WORDMARK STARBUCKS FLUSH MOUNTED - 12N 305MM	SB	SB	WHITE LETTERS**	
22609	1 SIGN	WORDMARK BLADE SUSPENDED - HORIZONTAL - 16XIN 455X 150MM	SB	SB	--	

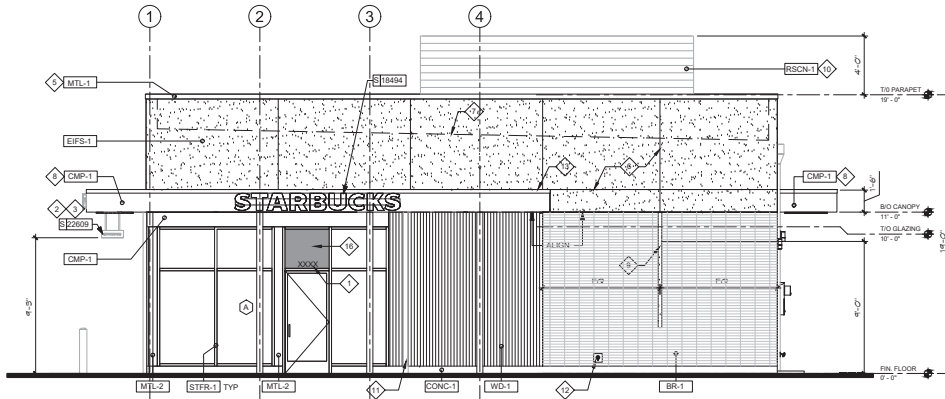
**ELECTRICAL CONDUIT, J-BOX AND WALL BLOCKING SHALL BE INSTALLED BY LL. COORDINATE LOCATION OF J-BOX WITH STARBUCKS SIGNAGE VENDOR. SIGNAGE SHOWN FOR REFERENCE ONLY. SIGNAGE SHALL BE FURNISHED AND INSTALLED BY STARBUCKS SIGNAGE VENDOR.

KEYED NOTES

- ◇ PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING OR PER LOCAL JURISDICTIONAL CODE REQUIREMENTS.
- ◇ PROVIDE J-BOX FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
- ◇ PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- ◇ 3/4" MARIAGE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 6" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- ◇ PRE-FINISHED METAL COPING, TYPICAL.
- ◇ EXTERIOR FINISH CONTROL JOINT.
- ◇ OUTLINE OF ROOF BEYOND.
- ◇ CANOPY.
- ◇ EXTERIOR SCONCE LIGHTING.
- ◇ ROOF EQUIPMENT SCREEN.
- ◇ DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN. FINISH TO MATCH ADJACENT BUILDING FINISH.
- ◇ LOCKABLE HOSE BIB.
- ◇ 6" CANOPY OVERHANG.
- ◇ DRIVE-THRU BUMP OUT TO BE LOCATED 12"-14" OFF THE FACE OF THE INSIDE CURB.
- ◇ DOOR ACTUATOR CONTROL PEDESTAL.
- ◇ SPANDREL PANEL ABOVE DOOR.

GENERAL NOTES

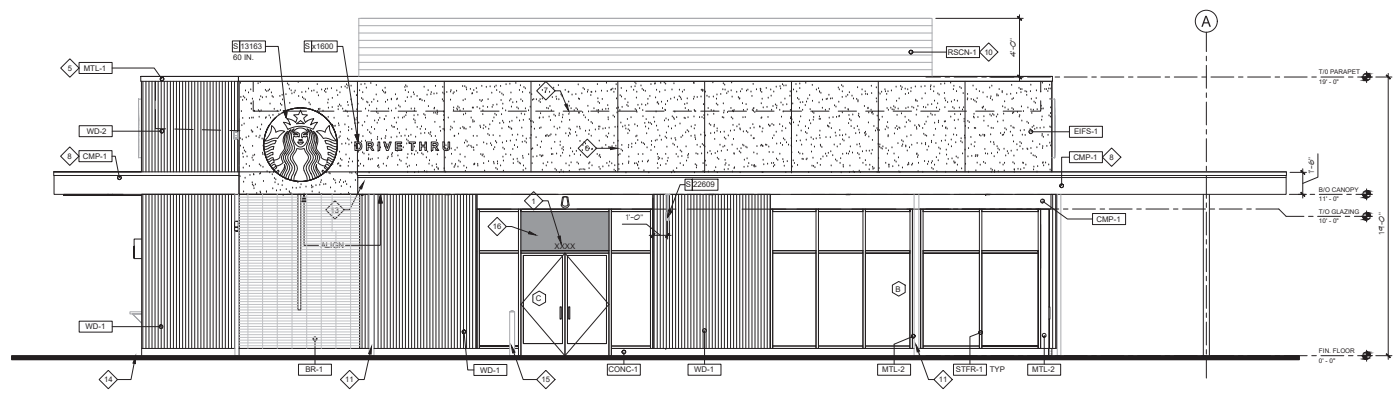
- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.



EXTERIOR FINISHES SCHEDULE		
FINISH CODE	DESCRIPTION	COMMENTS
BR-1	THIN BRICK - 12" X 2 1/2"	HORIZONTAL STACK
EFS-1	EXTERIOR INSULATION & FINISH SYSTEM	COCKOR TO MATCH BRICK 1
CMP-1	COMPOSITE METAL PANELS	MATCH STOREFRONT
CONC-1	FINISHED CONCRETE	
MTL-1	PREFINISHED COPING	
MTL-2	METAL - PREFINISHED BRASS METAL	MATCH STOREFRONT
RSCN-1	ROOF SCREEN PANEL	HORIZONTAL RIBBED PANEL BY ROOFSCREEN OR EQUAL
WD-1	WOOD SIDING	
WD-2	WOOD SIDING	

NOTE:
COLORS SHALL BE IN ACCORDANCE WITH STARBUCKS NORTHEAST SCHEMATIC EXTERIOR DESIGN STB-B REMOTE: SCHEME A, PALETTE A

21 ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



31 ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

IF BY A REVISION OF THE PLAN FOR ANY REASON, UNLESS NOTED OTHERWISE, THE DESIGN SHALL BE SUBJECT TO THE DESIGNER'S DISCRETION. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

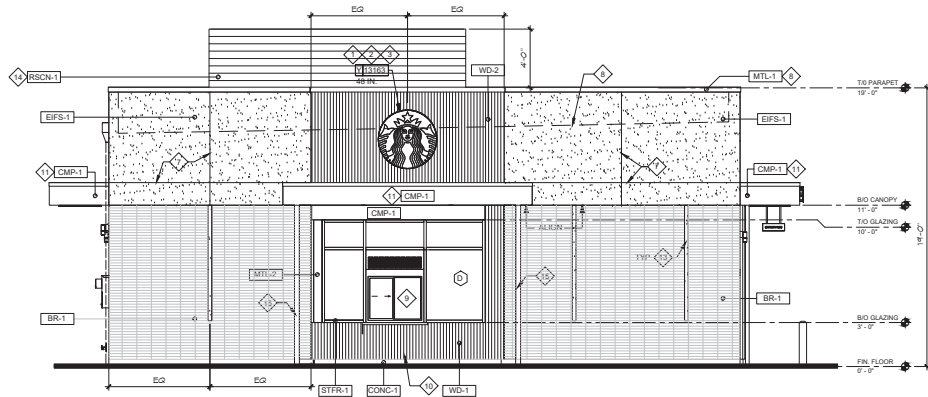
Revision Schedule			
Rev No	Rev Date	Rev Description	Issued By

DRAWN BY: DJA
CHECKED BY: JAB
PROJECT NO.: 24002
DATE: XXXXXXXX
SCALE: 1/4" = 1'-0"

TITLE: BUILDING ELEVATIONS

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID/COUNT	DESCRIPTION	FURN. BY		COMMENTS
SIGNAGE - DISK				
13163	1 SIGN	DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48N 1220MM	SB SB	**
	1 SIGN	DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60N 1525MM	SB SB	**
SIGNAGE - DRIVE THRU				
x17600	8"	FIN MOUNTED DRIVE-THRU SIGN LETTERS	SB SB	**
SIGNAGE - WORDMARK				
18484	1 SIGN	WORDMARK STARBUCKS FLUSH MOUNTED - 12N 305MM	SB	SB WHITE LETTERS**
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KEYED NOTES

- ◇ PROVIDE J-BOX FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
- ◇ PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- ◇ 3/4" MARRING GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 6" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- ◇ ELECTRICAL METER.
- ◇ SERVICE DOOR.
- ◇ PRE-FINISHED METAL COPING.
- ◇ EXTERIOR FINISH CONTROL JOINT.
- ◇ OUTLINE OF ROOF BEYOND.
- ◇ DRIVE THRU WINDOW. PROVIDE READY ACCESS DRIVE-THRU SERVICE WINDOW. WINDOW AND AIR CURTAIN FINISH TO MATCH ADJACENT STOREFRONT.
- ◇ DRIVE THRU WINDOW SHELF. INSTALL SERVICE WINDOW SHELF AT 36" INSIDE.
- ◇ CANOPY.
- ◇ ROOF SCUPPER AND DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN.
- ◇ EXTERIOR SCENCE LIGHTING.
- ◇ ROOF EQUIPMENT SCREEN.
- ◇ CANOPY DOWNSPOUT. CONNECT VERTICAL LEADERS TO UNDERGROUND STORM DRAIN.

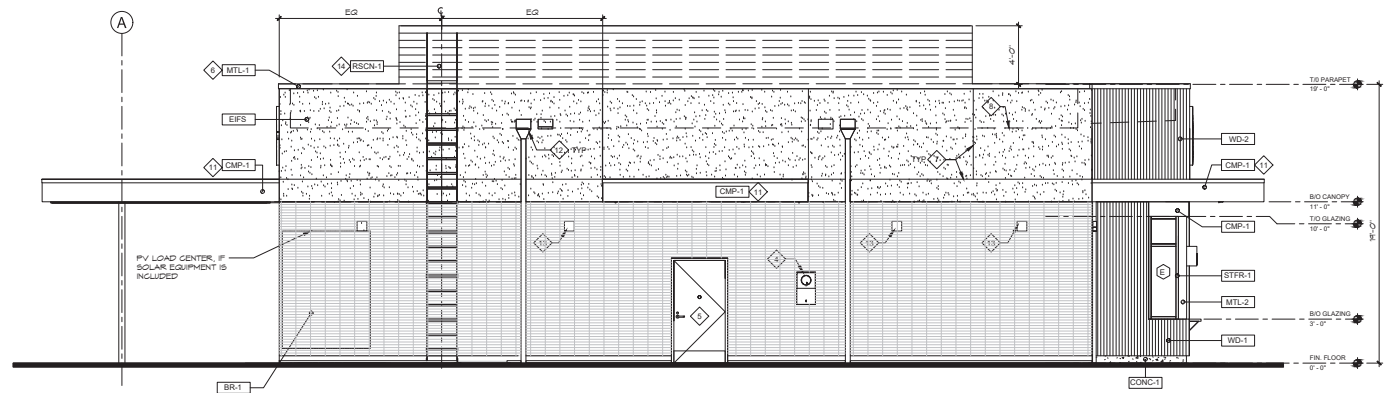
GENERAL NOTES

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CONC-1	FINISHED CONCRETE	
MTL-1	PREFINISHED COPING	
MTL-2	METAL - PREFINISHED BRAKE METAL	MATCH STOREFRONT
RSCN-1	ROOF SCREEN PANEL	HORIZONTAL RIBBED PANEL BY ROOFSCREEN OR EQUAL
WD-1	WOOD SIDING	
WD-2	WOOD SIDING	

NOTE:
COLORS SHALL BE IN ACCORDANCE WITH STARBUCKS NORTHEAST SCHEMATIC EXTERIOR DESIGN STB-B REMOTE: SCHEME A, PALETTE A

21 ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



31 ELEVATION
A3.2 SCALE: 1/4" = 1'-0"

IF A REVISION OF THE PLAN FOR ANY REASON, PLEASE NOTIFY THE ARCHITECT IMMEDIATELY BY TELEPHONE OR BY MAIL. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS OR OMISSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS OR OMISSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS OR OMISSIONS.

Revision Schedule			
Rev No	Rev Date	Rev Description	Rev By

DRAWN BY: DJA
CHECKED BY: JAB
PROJECT NO.: 24002
DATE: XXXXXXXX
SCALE: 1/4" = 1'-0"
TITLE: BUILDING ELEVATIONS



STARBUCKS AT LEHIGH STATION ROAD

1012 LEHIGH STATION ROAD, WEST HENRIETTA, NY

SCHEMATIC DESIGN

02/15/2024

DPA Job # 24002

ELEVATION- A



ELEVATION- B





 101 N. Clinton St., Suite 300
 Syracuse, New York 13202
 T. 315 422 0201
 F. 315 422 0776
 www.dalpos.com

STARBUCKS AT LEHIGH STATION ROAD
 1012 LEHIGH STATION ROAD, WEST HENRIETTA, NY



Sheet Number: 3
 Sheet Name:
 Scale:
 Date: 02/15/2024
 N.T.S.

ELEVATION- C




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STARBUCKS AT LEHIGH STATION ROAD
 1012 LEHIGH STATION ROAD, WEST HENRIETTA, NY



Sheet Number: 4
 Sheet Name:
 Scale:
 Date:

N.T.S.
 02/15/2024

ELEVATION- D

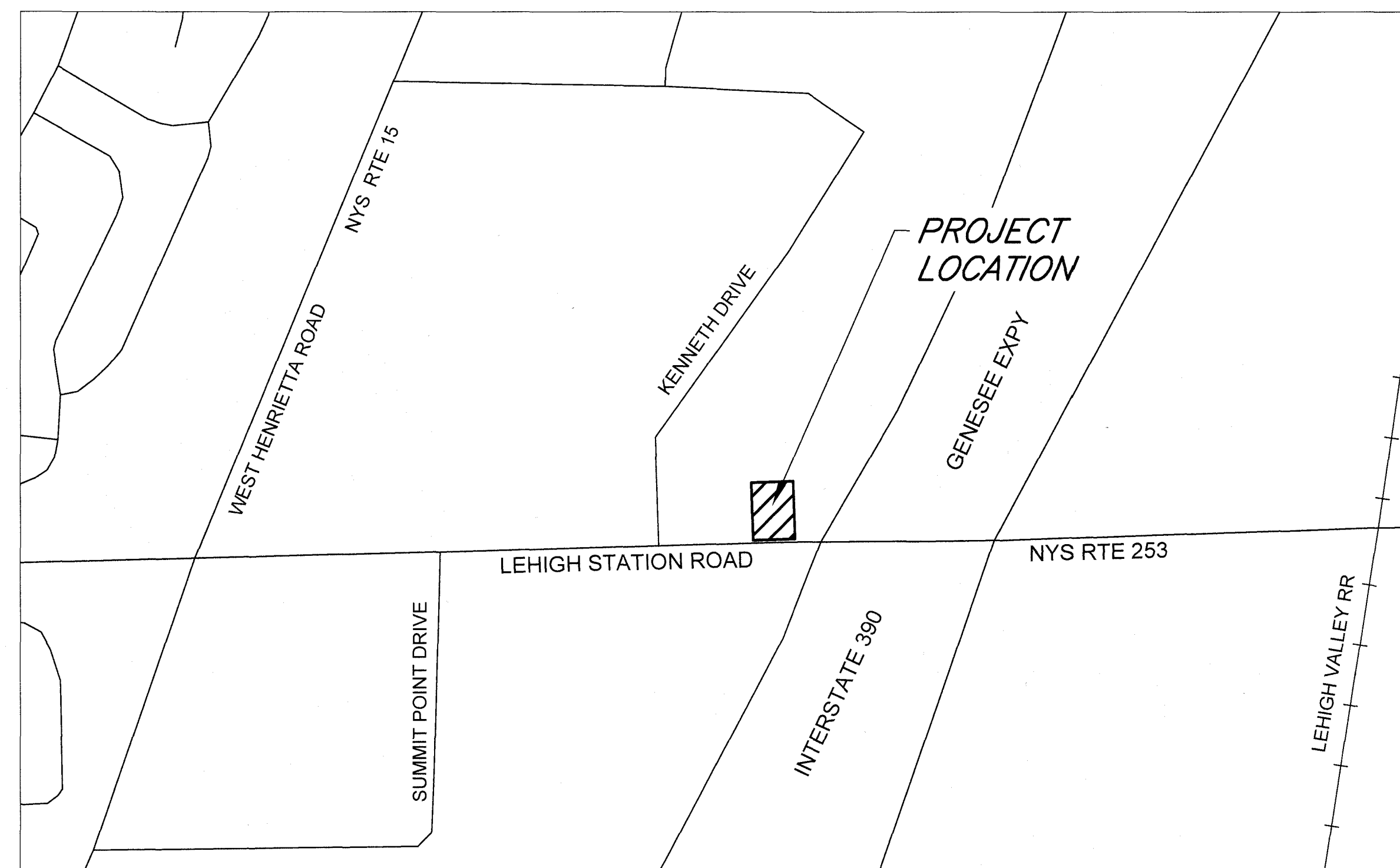


PRELIMINARY/FINAL SITE PLANS for PROPOSED STARBUCKS RESTAURANT

1012 LEHIGH STATION ROAD

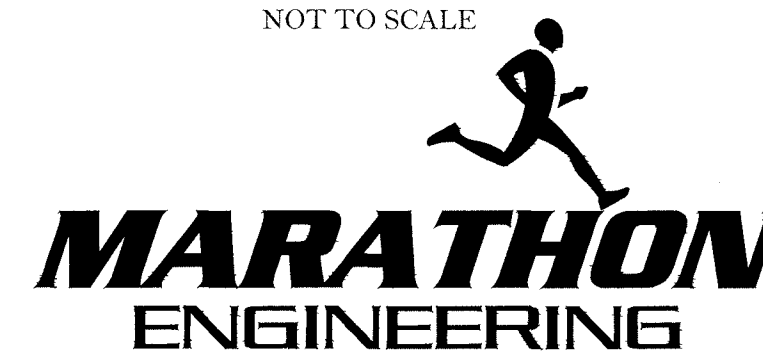
SITUATE IN:

TOWN OF HENRIETTA - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION

840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917

www.marathoneng.com

LIST OF DRAWINGS		
No.	DWG. No.	Description
0	COVER	COVER
1	C0.1	NOTES, INFORMATION & SPECIFICATIONS
2	V1.0	EXISTING CONDITIONS & DEMOLITION PLAN
3	C1.0	LAYOUT PLAN
4	C2.0	UTILITY PLAN
5	C3.0	GRADING & EROSION CONTROL PLAN
6	C4.0	LIGHTING AND LANDSCAPING PLAN
7	C5.0	CONSTRUCTION DETAILS (SHEET 1 OF 3)
8	C5.1	CONSTRUCTION DETAILS (SHEET 2 OF 3)
9	C5.2	CONSTRUCTION DETAILS (SHEET 3 OF 3)

DESIGNER CONTACT STATEMENT

MARATHON ENGINEERING IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. RAFAEL L. BARRETO IS THE DESIGNER AND IS FAMILIAR WITH NYS DOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT 585-458-7770 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS, SHALL BE APPROVED BY THE NYS DOT.

NOTES, INFORMATION AND SPECIFICATIONS

GENERAL

- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY THE ENGINEER. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER'S CONTRACTOR AGREEMENT.
- INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION

- STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN" - THE BUILDING FOOTPRINT(S), DATED 12/16/2022, WERE PROVIDED BY STARBUCKS. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- BOUNDARY** - BOUNDARY REFERENCES ARE SPECIFIED ON SHEET V1.0. BOUNDARY IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- DOCUMENTATION REQUIREMENTS** - THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING THE OWNER OR ENGINEER WITH THE PRECISE LOCATIONS OF BLIND CONNECTIONS (I.E. WYE LOCATIONS), AS WELL AS THE CONFIGURATIONS OF LATERALS AND SERVICES TO FACILITATE THE CREATION OF AS-BUILT MAPS. THIS INFORMATION PROVIDED SHOULD BE ABLE TO BE RECREATED ON THE GROUND SURFACE, SUCH AS MEASUREMENTS FROM BUILT INFRASTRUCTURE OR COORDINATES ON THE PROJECT DATUM OR AS AGREED UPON DURING THE PRECONSTRUCTION MEETING. ANY EXPENSES RELATED TO CONFIRMING UTILITY LOCATIONS THAT WERE NOT RECORDED DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING REDELINES FOR RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

STANDARD ABBREVIATIONS

AC	ACRE	ITS	LUMP SUM
A.O.B.E.	AS ORDERED BY ENGINEER	LFB	LEAF BOX
ASPH	ASPHALT	LID	LID
AZ	AZIMUTH	M.O.	MODEL OR ORDNATE
B.M.	BENCHMARK	MON	MONTH OR MONTH
CL	CHATELAIN	MOSS	MONROE COUNTY GEODETIC SURVEY
C.L.F.	CHAIN LINKED FENCE	NEC.	NECESSARY
C.O.	CLEAR-OUT	N.I.C.	NOT IN CONTRACT
C.O.P.	COATED POLYETHYLENE PIPE	N/S	NOT TO SCALE
CSP	CORROGATED POLYETHYLENE PIPE	N/F	NOW OR FORMERLY
C.S.P.	COATED STEEL PIPE	P	PRESENT
C.V.	COVER	P.V.T.	POLYETHYLENE PIPE
CB	CURB BOX	P.P.	PERFORATED POLYETHYLENE PIPE
C.V.	CURB YARD	P.C.	POINT OF CURVATURE
D.A.	DEGREE OF CURVE	PI	POINT OF INTERSECTION
P.T.	POINT OF TANGENCY	P.V.C.	POINT OF VERTICAL CURVATURE
D.R.	DROP INLET	P.V.I.	POINT OF VERTICAL INTERSECTION
EA	EXPOSED IRON PIPE	P.V.T.	POINT OF VERTICAL TANGENCY
E.A.	EACH	PP	POWER
ELEV	ELEVATION IN CHARGE	R	RADIUS
EP	EDGE OF PAVEMENT	R.C.P.	REINFORCED CONCRETE PIPE
F.F.	FINISH FLOOR = FINISH FLOOR ELEVATION	R.G.E.	ROCHESTER GAS AND ELECTRIC
FI	FIELD INLET	R.H.W.	RIP-UP-WAY
FP	FINISH PAD = GARAGE FLOOR ELEVATION	R.I.	RIGHT
FM	FEET	RIC	ROCHESTER TELEPHONE COMPANY
GA	GALLON	S	SANITARY SEWER
G.M.	GUM MAIN	S.A.	STORM SEWER
G.S.	GUMMEE	S.V.	STORY
H.C.L.	HORIZONTAL CONTROL LINE	S.Y.	STORM SEWER YARD
H.D.	HYDRANT	T	TANGENT DISTANCE
INV.	INVERT	T.G.	THEORETICAL GRADE LINK
IP	IRON PIPE OR IRON PIN	T.P.	TYPICAL
L	LENGTH OR LENGTH OF CURVE	V.C.	VERTICAL CURVE
LP	LIGHT POST (PRIVATE)	V.P.	VERTICAL PIPE
		VA	CENTRAL ANGLE

UTILITIES

- SANITARY**
 - MATERIALS**
 - LATERALS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
 - JOINTING MATERIALS - SHALL BE BELL AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS, GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
 - INFILTRATION/ EXFILTRATION** - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM F417 ENTITLED STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM AIR VACUUM TESTING OF MANHOLES SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C-1244.
 - FLOOR DRAINS** - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. **NOTE:** FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
 - TESTING** - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
 - SEPARATION** - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

2. STORM

- REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.
- MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER.
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-294, TYPE S, ASTM D-3350
- ROOF DRAINAGE** - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.
- TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

3. WATER

- WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
- WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- WATER SERVICE LINES SHALL BE IDENTIFIED AS:

LATERAL IDENTIFICATION	SIZE (ø)	MATERIAL	TYPE (c)
MCWA PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	2"	COPPER TYPE K	DS
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	2"	COPPER TYPE K	DS

- THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF SERVICE IS INSTALLED.
- WATER METER(S) TO BE LOCATED ON THE INTERIOR OR EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S), OR IN A METER TILE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS. METER INSTALLATIONS GREATER THAN 1-INCH MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.

EARTHWORK

- PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS.
 - SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, TREES, BRUSH, STUMPS, ETC.
 - TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR
 - ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - COMPACTION** - ACHIEVING COMPACTION VALUES (NOT LESS THAN THE PERCENTAGES SPECIFIED BELOW) FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBANKMENT" ARE INTERCHANGEABLE.
 - CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM 1557.
 - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - 85% IN REMAINING AREAS

THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

4. LIFT THICKNESS - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.

- PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

EROSION CONTROL

- CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN", "EROSION CONTROL PLAN", "EROSION CONTROL NOTES", ALONG WITH THE "DRAINAGE REPORT", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-0-20-001. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GP-0-20-001. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- TOPSOIL** - UPON COMPLETION OF THE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (6000 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW/ ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
- WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS "BLUE BOOK" SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
- SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (516) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION REQUIREMENTS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP D AND SHALL BE RESTORED AS SPECIFIED.

- SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING.
 - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

PROJECT STATISTICS

- GENERAL:**
 - PROPERTY OWNER** - FAIRLANE DR. LLC
 - DEVELOPER** - 1012 LEHIGH LLC
850 LATONA RD BLDG E STE 50
ROCHESTER NY, 14626
 - PROPERTY ADDRESS** - 1012 LEHIGH STATION ROAD
T. HENRIETTA, 14623
 - TAX ACCOUNT** - 175.11-1-13.3
- ZONING REGULATIONS:**
 - ZONING DISTRICT - I (INDUSTRIAL DISTRICT)**
 - CODE REQUIREMENTS:**

REQUIRED	PROPOSED
MAX BUILDING HEIGHT: 30FT	20FT
FRONT SETBACK: 125FT	190.7FT
SIDE SETBACK: 5FT	37.6FT
REAR SETBACK: 30FT	39FT
PARKING (NO. SPACES): 20**	235P

 - REAR YARD SETBACK IS 60FT, MAY BE REDUCED TO 30FT BY PLANNING BOARD IF NO LOADING OR UNLOADING OCCURS IN THIS AREA. NO LOADING OR UNLOADING IS PLANNED TO OCCUR IN THE REAR YARD.
 - REQUIRED PARKING FOR RESTAURANT WITH DRIVE THROUGH: 1 PER 120 SQFT FLOOR AREA. 2,400SF/120= 20 SPACES REQUIRED.
 - VARIANCES** - NO SETBACK OR PARKING VARIANCES ARE BEING REQUESTED FOR THIS PROJECT. USE OF A RESTAURANT WITH DRIVE THROUGH REQUIRES THE GRANTING OF A SPECIAL USE PERMIT.
- PARCEL STATISTICS:**
 - AREA** - 0.97 ACRES
 - EXISTING CONDITIONS:** VACANT PARCEL.
 - PROPOSED CONDITIONS:** STARBUCKS WITH DRIVE-THRU.

RESTORATION AND LANDSCAPING

- GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- TOPSOIL** - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- SEED** - LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- PLANT STOCK** - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
- PLANT LOCATIONS** - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
- PLANTING BEDS** - PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

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PRELIMINARY/FINAL SITE PLANS for PROPOSED STARBUCKS RESTAURANT
1012 LEHIGH STATION ROAD
TOWN OF HENRIETTA
MONROE COUNTY
STATE OF NEW YORK

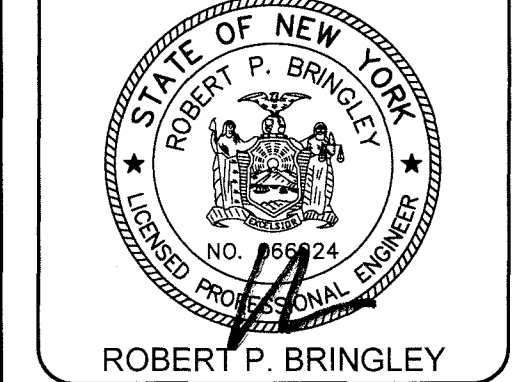
JOB NO: 1687-23
SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 02/21/2024

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DATE	BY	REVISION

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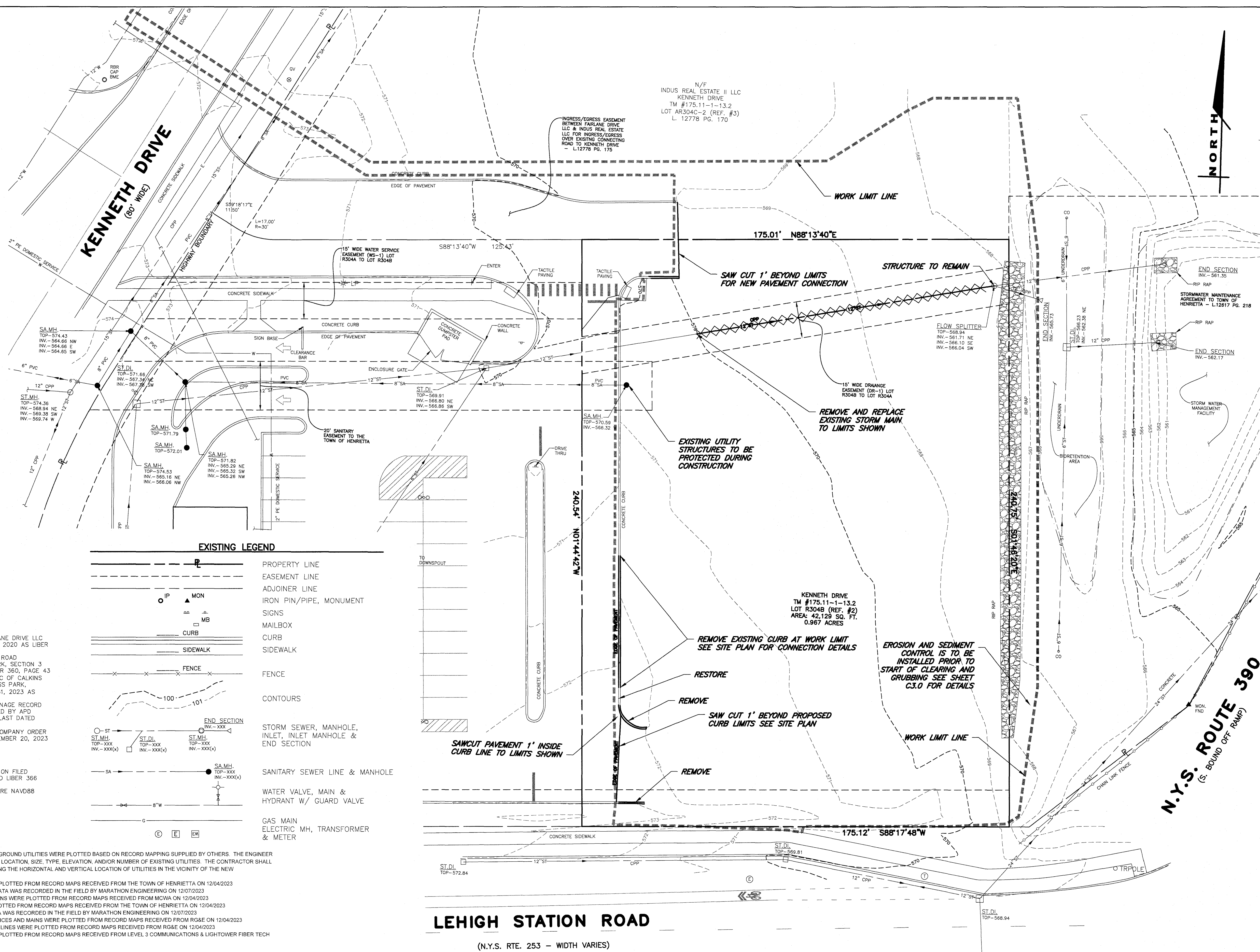


DRAWING TITLE:
NOTES, INFORMATION & SPECIFICATIONS

1 of 9
SHEET No: **C0.1**

1687-23
JOB No: DRAWING No:

File: Z:\Engineering\Job Files\1687-23\Drawings\Sheets\02_V1.0.dwg, Last saved: 2/19/2024, Plot Date: 2/19/2024, Plot Style: MARATHON_STANDARD.CTB



EXISTING LEGEND

	PROPERTY LINE
	EASEMENT LINE
	ADJOINER LINE
	IRON PIN/PIPE, MONUMENT
	SIGNS
	MAILBOX
	CURB
	SIDEWALK
	FENCE
	CONTOURS
	STORM SEWER, MANHOLE, INLET, INLET MANHOLE & END SECTION
	SANITARY SEWER LINE & MANHOLE
	WATER VALVE, MAIN & HYDRANT W/ GUARD VALVE
	GAS MAIN, ELECTRIC MH, TRANSFORMER & METER

- REFERENCES:**
- RUTH BEAN ET AL TO FAIRLANE DRIVE LLC BY DEED FILED DECEMBER 8, 2020 AS LIBER 12433 PAGE 523
 - RE-SUBDIVISION OF CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3 FILED APRIL 1, 2020 AS LIBER 360, PAGE 43
 - RESUBDIVISION OF LOT R304C OF CALKINS ROAD PROFESSIONAL BUSINESS PARK, SECTION 3 FILED JANUARY 31, 2023 AS LIBER 366 PAGE 23
 - UTILITY RECORD MAP & DRAINAGE RECORD MAP OF TACO BELL PREPARED BY APO ENGINEERING ARCHITECTURE LAST DATED 09/13/21
 - STEWART TITLE INSURANCE COMPANY ORDER #81276199 LAST DATED DECEMBER 20, 2023

SURVEY NOTES:

- BEARINGS SHOWN HERE BASE ON FILED MAPS LIBER 360 PAGE 43 AND LIBER 366 PAGE 23
- ELEVATIONS SHOWN HEREON ARE NAVD88 BASED ON GPS OBSERVATION

- NOTES**
- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
 - SANITARY SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM THE TOWN OF HENRIETTA ON 12/04/2023
 - SANITARY SEWER DATA WAS RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 12/07/2023
 - WATER SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM MCWA ON 12/04/2023
 - STORM SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM THE TOWN OF HENRIETTA ON 12/04/2023
 - STORM SEWER DATA WAS RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 12/07/2023
 - UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 12/04/2023
 - UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 12/04/2023
 - FIBER/OPTICAL LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM LEVEL 3 COMMUNICATIONS & LIGHT TOWER FIBER TECH ON 12/01/2023
 - STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
 - FLOODPLAIN** - THE PROPERTY IS LOCATED IN ZONE 'X' AND IS NOT LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL No 36055C0342G, DATED 08/28/2008

LEHIGH STATION ROAD
(N.Y.S. RTE. 253 - WIDTH VARIES)

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PRELIMINARY/FINAL SITE PLANS for PROPOSED STARBUCKS RESTAURANT
1012 LEHIGH STATION ROAD
MONROE COUNTY
STATE OF NEW YORK
TOWN OF HENRIETTA

JOB NO: 1687-23
SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 02/21/2024

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DATE	BY	REVISION

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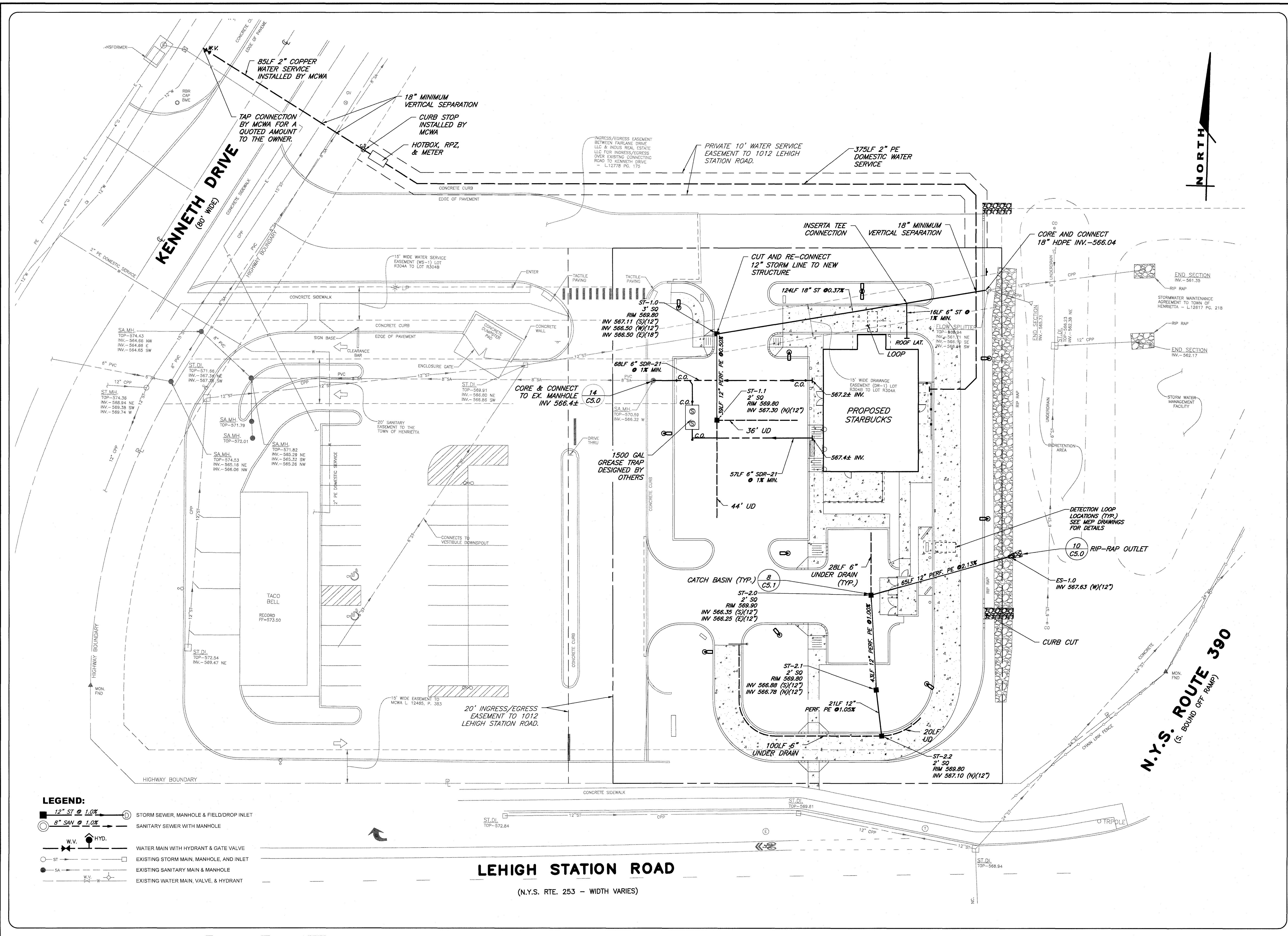
ROBERT P. BRINGLEY

DRAWING TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN

2 of 9 SHEET No: **V1.0**

1687-23 JOB No: DRAWING No:

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LEGEND:

	12" ST @ 1.0%		STORM SEWER, MANHOLE & FIELD/DROP INLET
	8" SAN @ 1.0%		SANITARY SEWER WITH MANHOLE
	W.V. HYD.		WATER MAIN WITH HYDRANT & GATE VALVE
	ST		EXISTING STORM MAIN, MANHOLE, AND INLET
	SA		EXISTING SANITARY MAIN & MANHOLE
	W.V.		EXISTING WATER MAIN, VALVE, & HYDRANT

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JOB NO: 1687-23
SCALE: 1"=20'
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DESIGNED: MT
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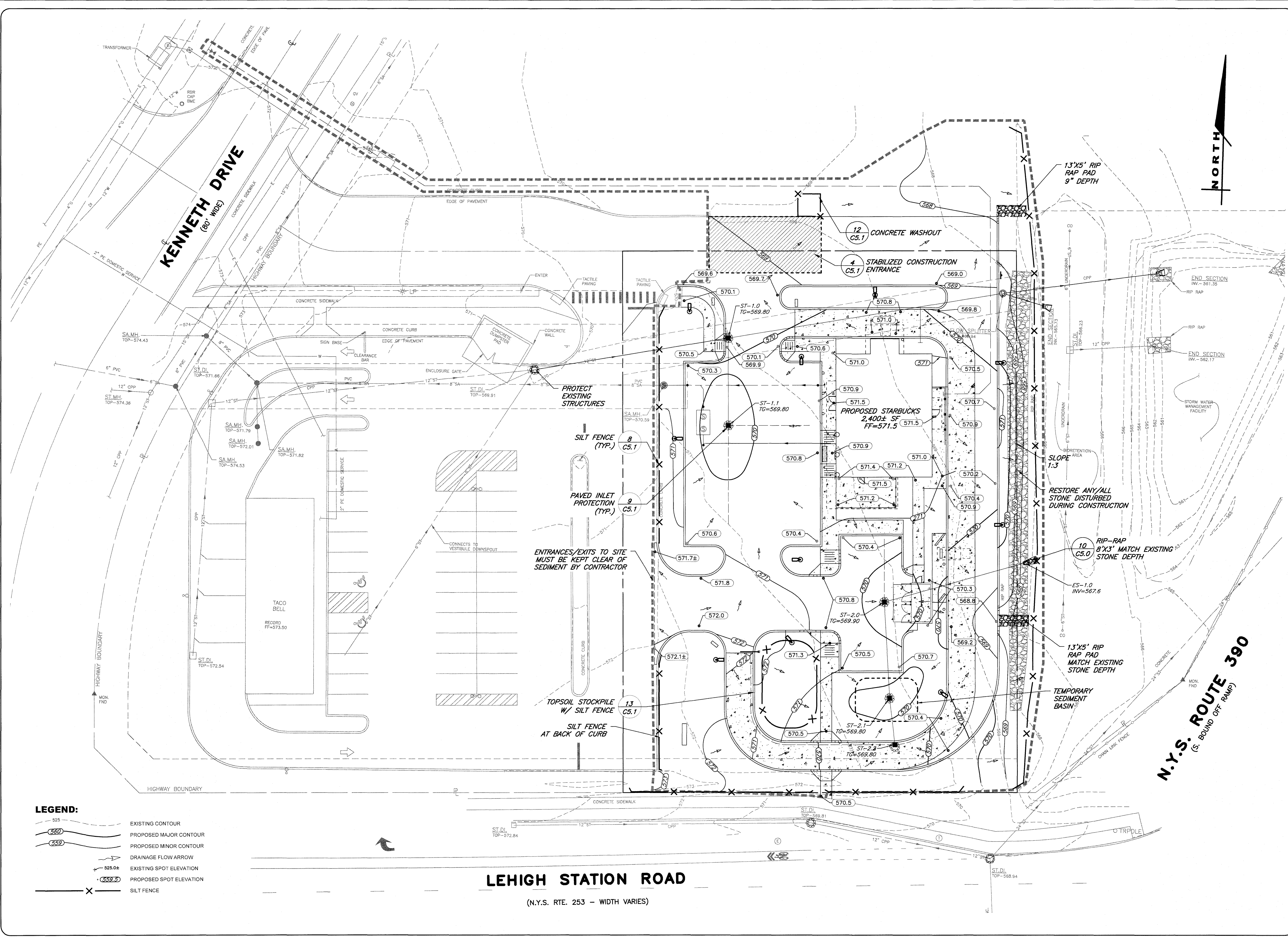
STATE OF NEW YORK
ROBERT P. BRINGLEY
LICENSED PROFESSIONAL ENGINEER
NO. 066974

ROBERT P. BRINGLEY

DRAWING TITLE:
UTILITY PLAN

4 of 9 SHEET No:	C2.0
1687-23 JOB No:	DRAWING No:

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- LEGEND:**
- 567 ——— EXISTING CONTOUR
 - 569 ——— PROPOSED MAJOR CONTOUR
 - 569 ——— PROPOSED MINOR CONTOUR
 - DRAINAGE FLOW ARROW
 - 525.0± EXISTING SPOT ELEVATION
 - 569.5± PROPOSED SPOT ELEVATION
 - X SILT FENCE

LEHIGH STATION ROAD
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N.Y.S. ROUTE 390
(S. BOUND OFF RAMP)

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STATE OF NEW YORK

JOB NO: 1687-23
SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 02/21/2024

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DATE	BY	REVISION

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STATE OF NEW YORK
ROBERT P. BRINGLEY
No. 06924
LICENSED PROFESSIONAL ENGINEER

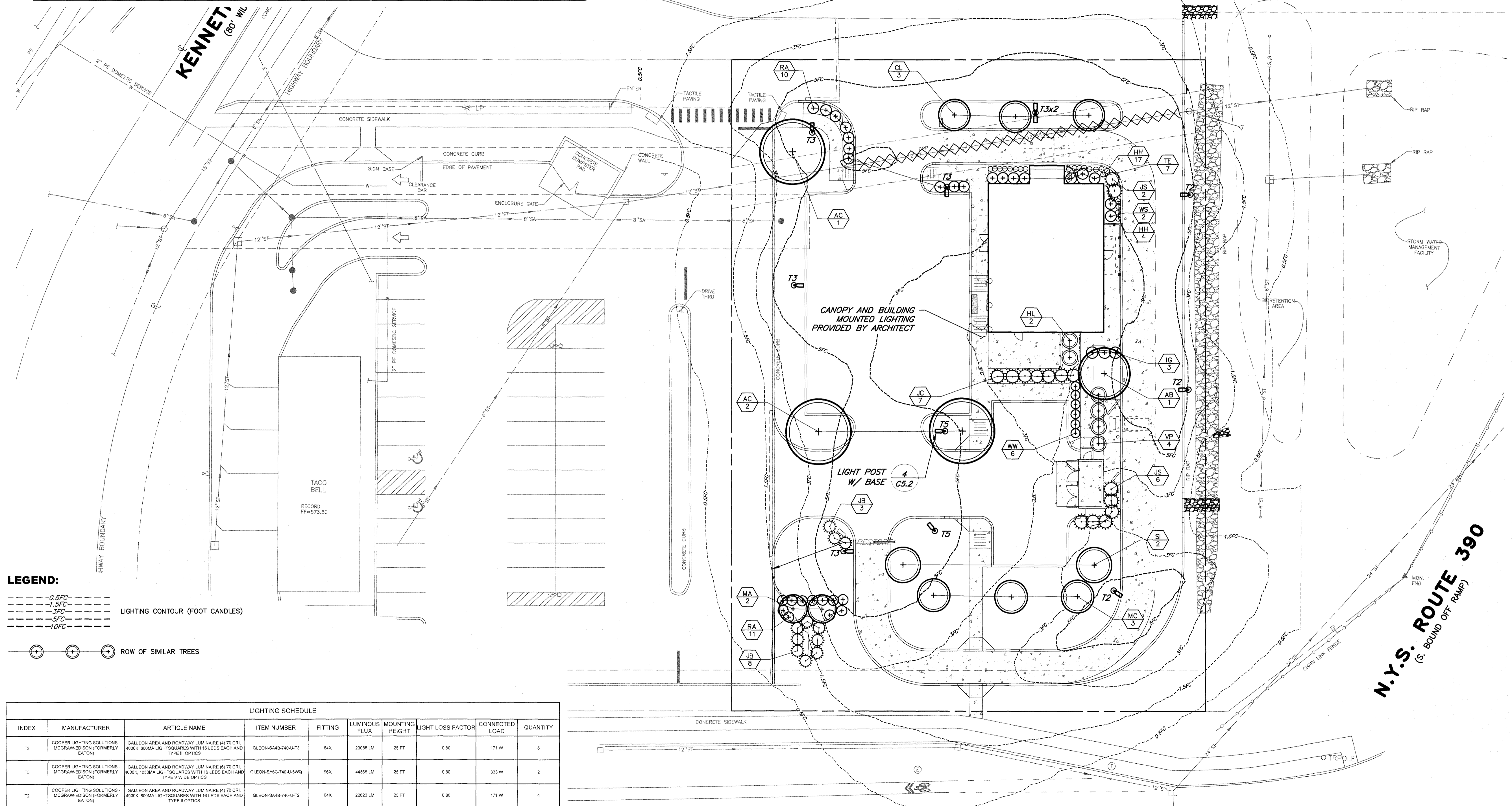
DRAWING TITLE:
GRADING & EROSION CONTROL PLAN

5 of 9
SHEET No: **C3.0**

1687-23
JOB No: DRAWING No:

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LANDSCAPING SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	REMARKS
AB	ACER X. PALM 'BLOODGOOD'	BLOODGOOD JP MAPLE	1	8-10' HT.	BALLED & BURLAPPED	
AC	ACER X. FREE 'CELEBRATION'	CELEBRATION MAPLE	3	3" CAL.	BALLED & BURLAPPED	CLUMP FORM
CL	CARPINUS BETULUS 'LUCAS'	LUCAS HORNBEAM	3	2-2 1/2' CALIPER	BALLED & BURLAPPED	SUBST C. B' COLUMNARIS
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	21	#2 CONTAINER	CLUMP	
HL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	2	36-42" HT.	#5 CONTAINER	OR B&B
IG	ILEX GLABRA 'DENSA'	DENSA DWARF INKBERRY	3	21-24" SPREAD	#3 CONTAINER	OR B&B
JB	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	11	18-24" SPREAD	#3 CONTAINER	
JC	JUNIPERUS CHINENSIS 'CASCADE GOLD'	CASCADE GOLD JUNIPER	7	18-24" SPREAD	#3 CONTAINER	
JS	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	8	5-6' HEIGHT	BALLED & BURLAPPED	HEAVY, FULL
MA	MALLUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	2	2-2 1/2' CAL.	BALLED & BURLAPPED	
MC	MALLUS 'CANDYMINT'	CANDYMINT CRABAPPLE	3	2-2 1/2' CAL.	BALLED & BURLAPPED	
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	21	18-20" SPREAD	#2 CONTAINER	HEAVY, FULL
SI	SYRINGA RET. 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2	2-2 1/2' CALIPER	BALLED & BURLAPPED	
TE	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	7	24" SPREAD	BALLED & BURLAPPED	
VP	VIBURNUM Plicatum 'POPCORN'	POPCORN VIBURNUM	4	4-5' HEIGHT	BALLED & BURLAPPED	
WS	WEIGELA FLORIDA 'SPILLED WINE'	SPILLED WINE WEIGELIA	2	18-24" SPREAD	#3 CONTAINER	
WW	WEIGELA FLORIDA 'WINE & ROSES'	WINE & ROSES WEIGELIA	6	24-30" SPREAD	#5 CONTAINER	



LEGEND:

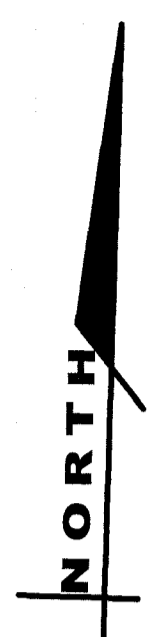
---0.5FC---	LIGHTING CONTOUR (FOOT CANDLES)
---1.5FC---	
---3FC---	
---5FC---	
---10FC---	
⊕ ⊕ ⊕	ROW OF SIMILAR TREES

LIGHTING SCHEDULE									
INDEX	MANUFACTURER	ARTICLE NAME	ITEM NUMBER	FITTING	LUMINOUS FLUX	MOUNTING HEIGHT	LIGHT LOSS FACTOR	CONNECTED LOAD	QUANTITY
T3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (4) TO CIR. 6000K, 800MA LIGHTSQUARES WITH 16 LEES EACH AND TYPE III OPTICS	GLEON-S448-740-U-T3	64X	23056 LM	25 FT	0.80	171 W	5
T5	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) TO CIR. 6000K, 1050MA LIGHTSQUARES WITH 18 LEES EACH AND TYPE V WIDE OPTICS	GLEON-S48C-740-U-5WQ	96X	44565 LM	25 FT	0.80	333 W	2
T2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (4) TO CIR. 6000K, 800MA LIGHTSQUARES WITH 16 LEES EACH AND TYPE II OPTICS	GLEON-S448-740-U-T2	64X	22823 LM	25 FT	0.80	171 W	4

NOTE: MOUNTING LIGHTS AND TEMPERATURE MATCHES TACO BELL APPROVED LIGHTS

LEHIGH STATION ROAD

(N.Y.S. RTE. 253 - WIDTH VARIES)



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JOB NO:	1687-23	
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DATE	BY	REVISION

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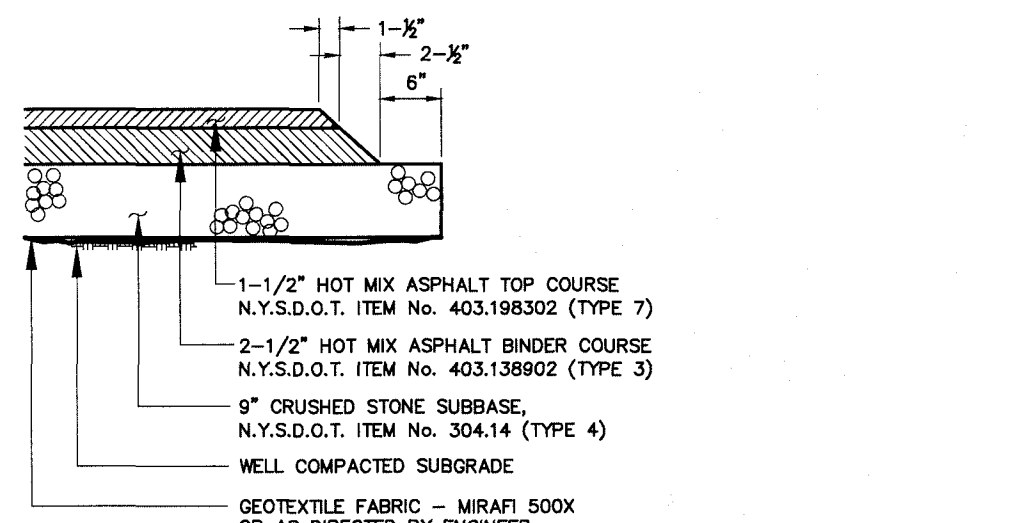
STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 06692

ROBERT P. BRINGLEY

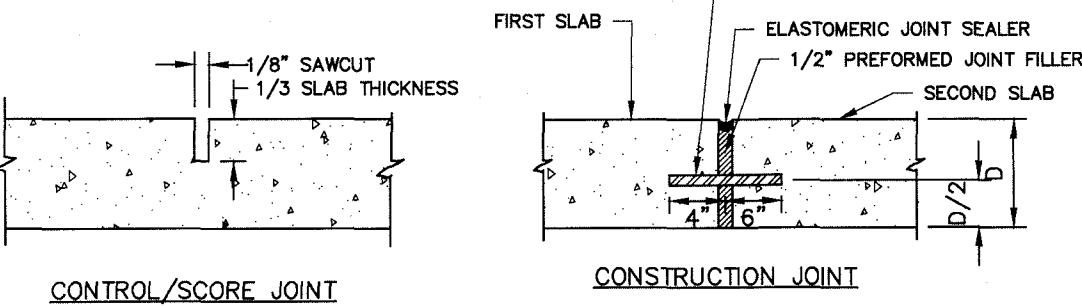
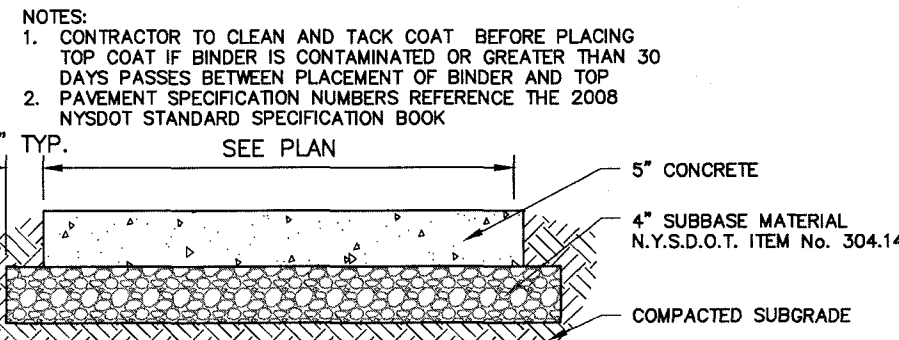
DRAWING TITLE:
LIGHTING AND LANDSCAPING PLAN

6 of 9 SHEET No.	C4.0
1687-23 JOB No.	
	DRAWING No.

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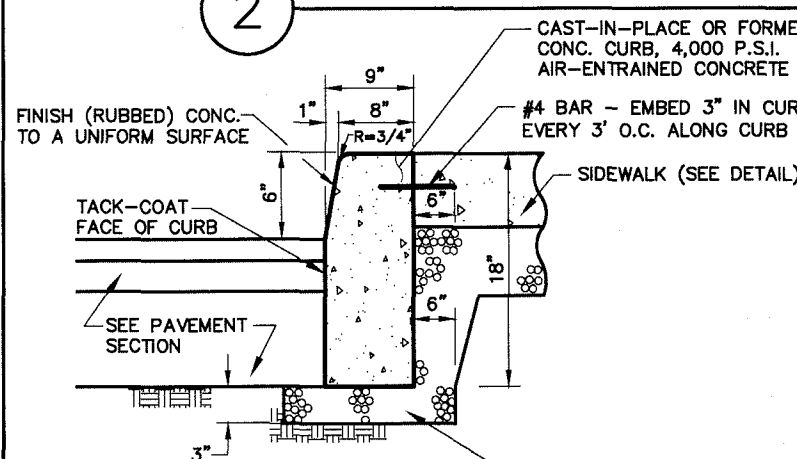


1 PAVEMENT SECTION



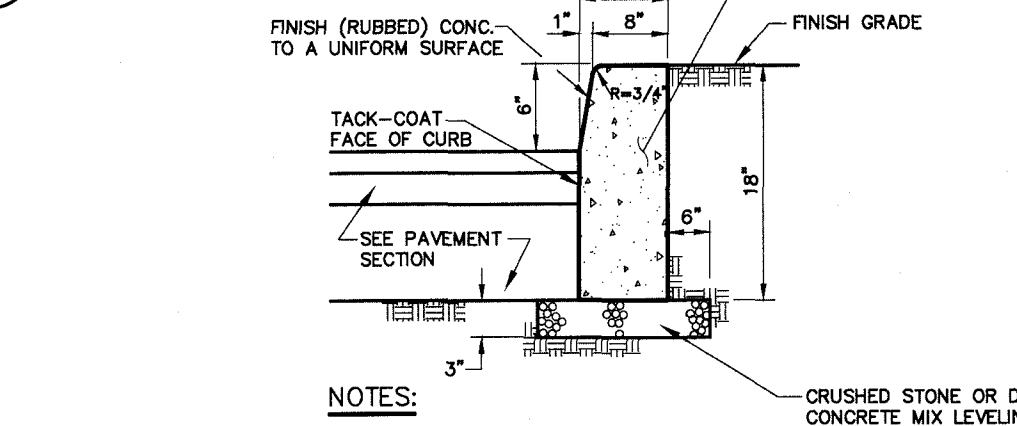
- NOTES:**
- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
 - CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
 - EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 30' ALONG THE SIDEWALK.
 - CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
 - CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 - SCORE PATTERN - SIDEWALK TO BE SCORED EVERY 5 FEET CREATING 5' X 5' SQUARES (MAY VARY IN CERTAIN AREAS). SCORING SHALL BE COORDINATED WITH OWNERS ON-SITE PREP PRIOR TO SCORING.
 - SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
 - "SNAP-CAP" OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.
 - SEE CURBING DETAIL FOR DOWELING WHEN ADJACENT TO CONCRETE CURBING.

2 CONCRETE SIDEWALK



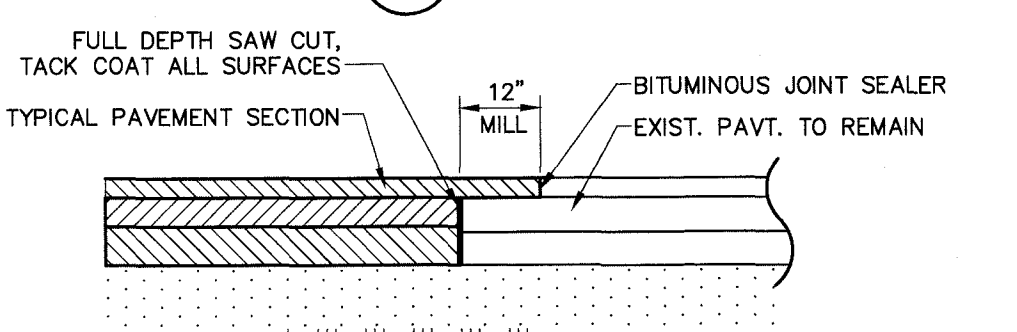
- NOTES:**
- PROVIDE 7\"/>

3 CONCRETE CURB WITH SIDEWALK BEHIND

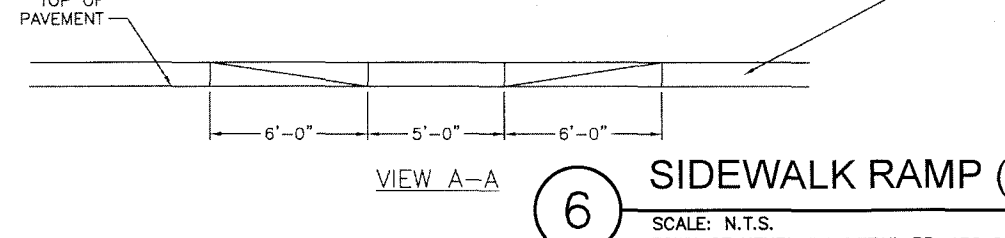
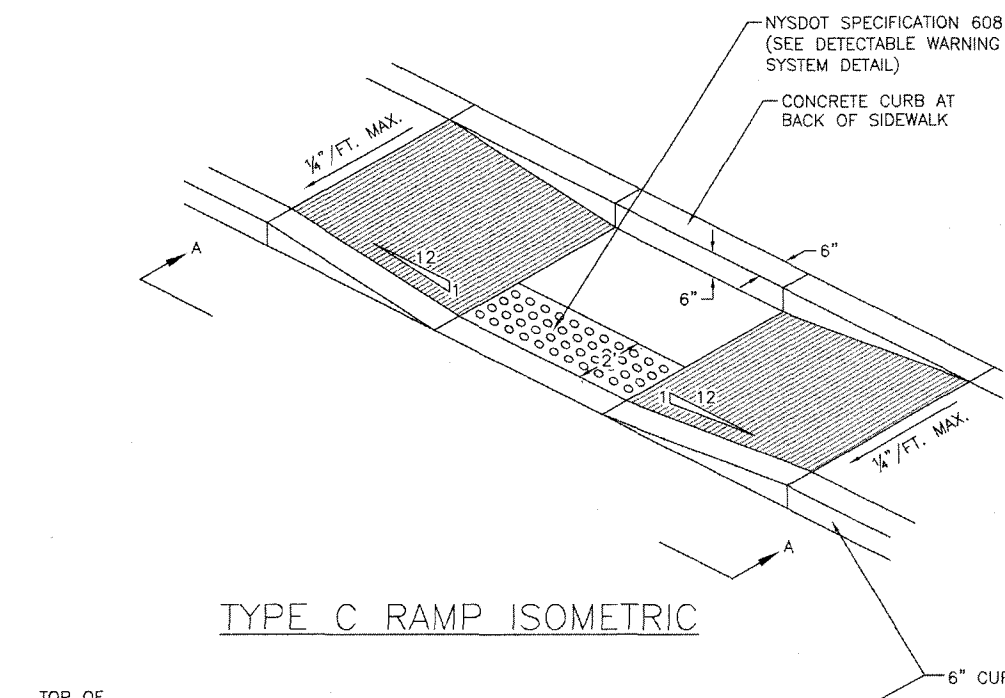


- NOTES:**
- PROVIDE 7\"/>

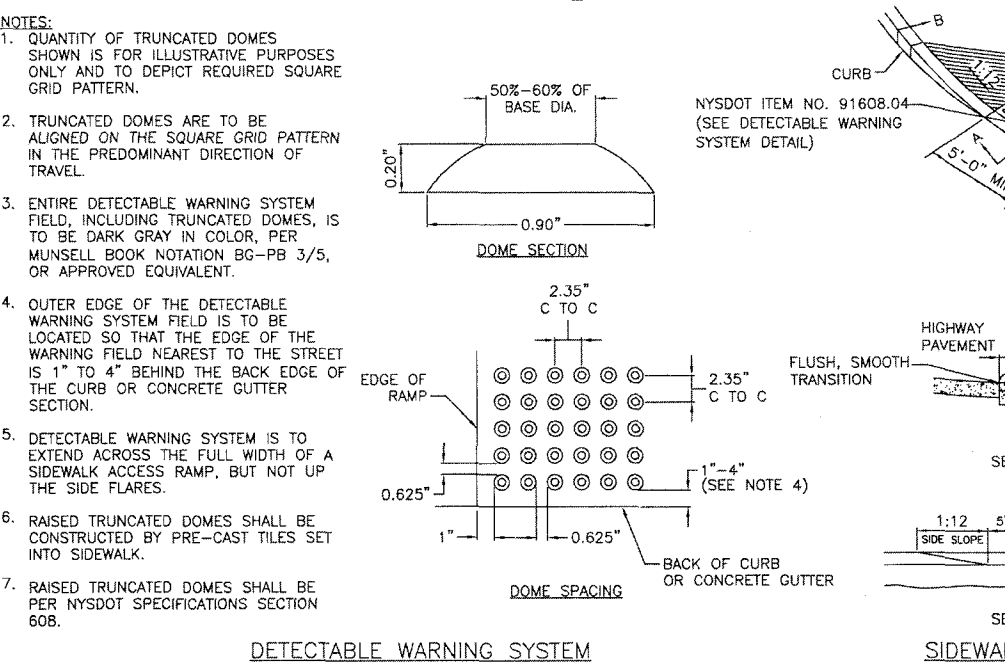
4 CONCRETE CURB WITH LAWN/PLANTER BEHIND



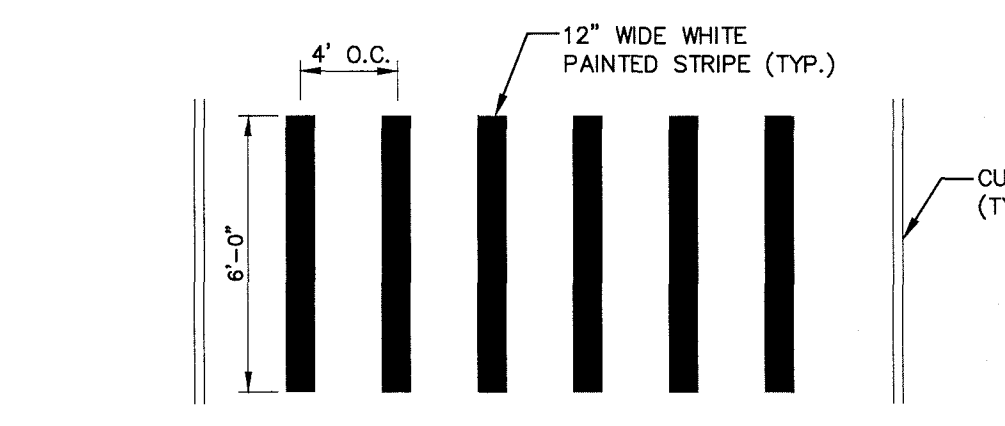
5 PAVEMENT MATCH



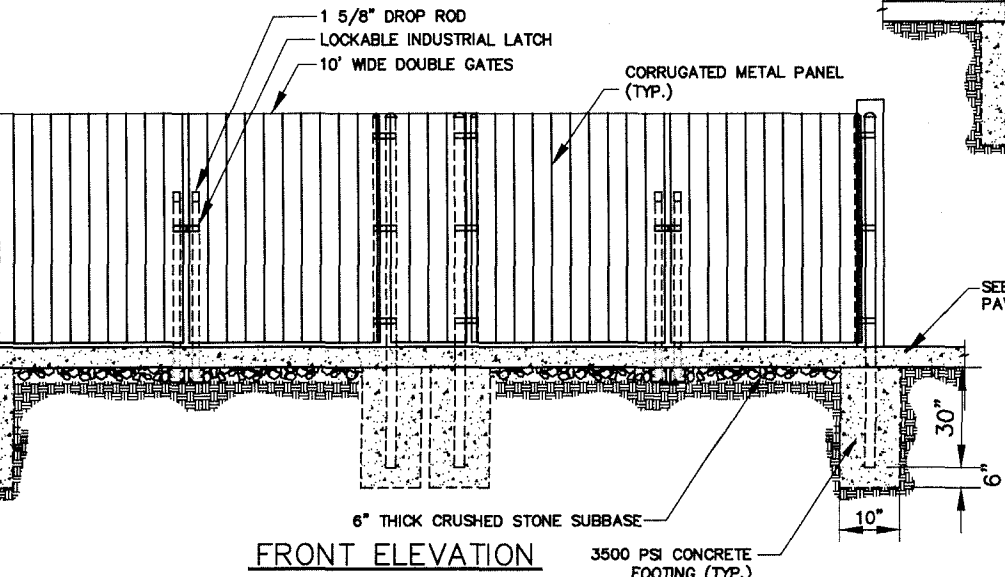
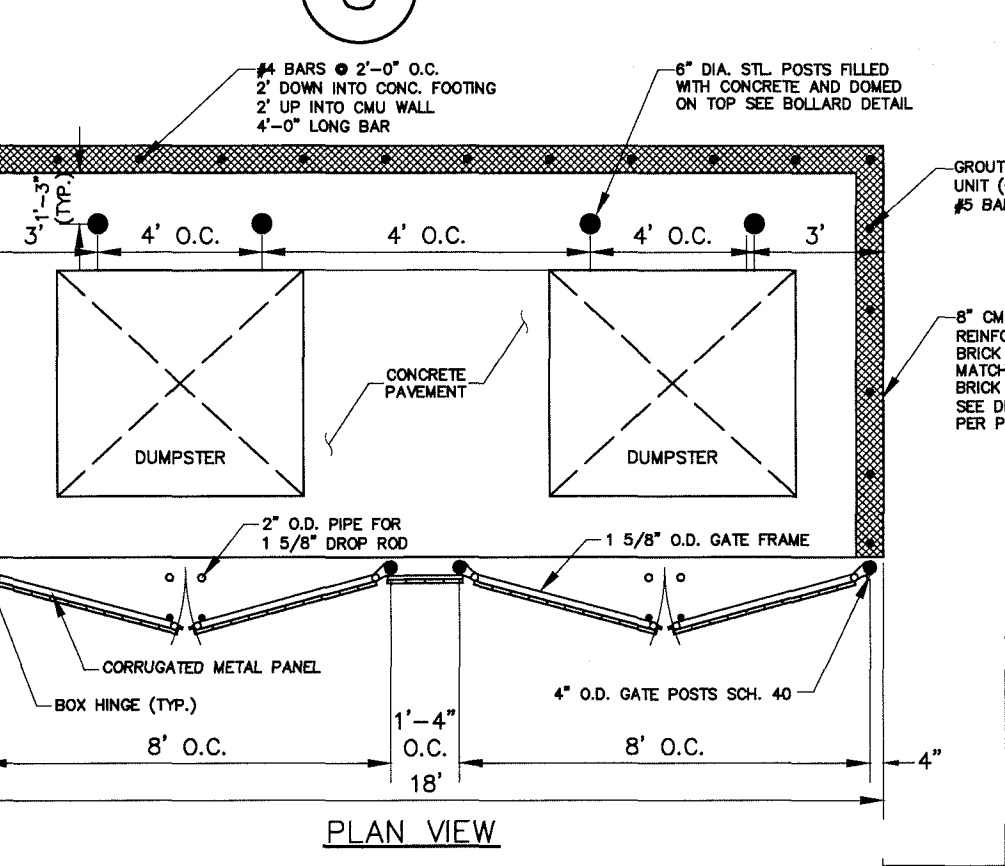
6 SIDEWALK RAMP (C)



7 SIDEWALK CURB RAMP

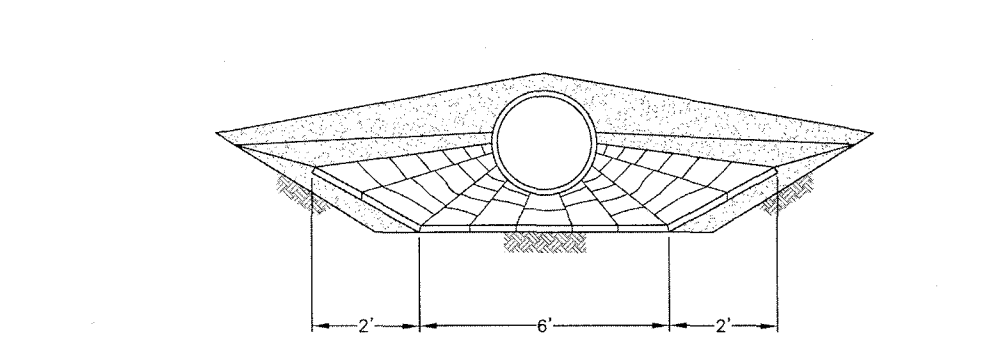
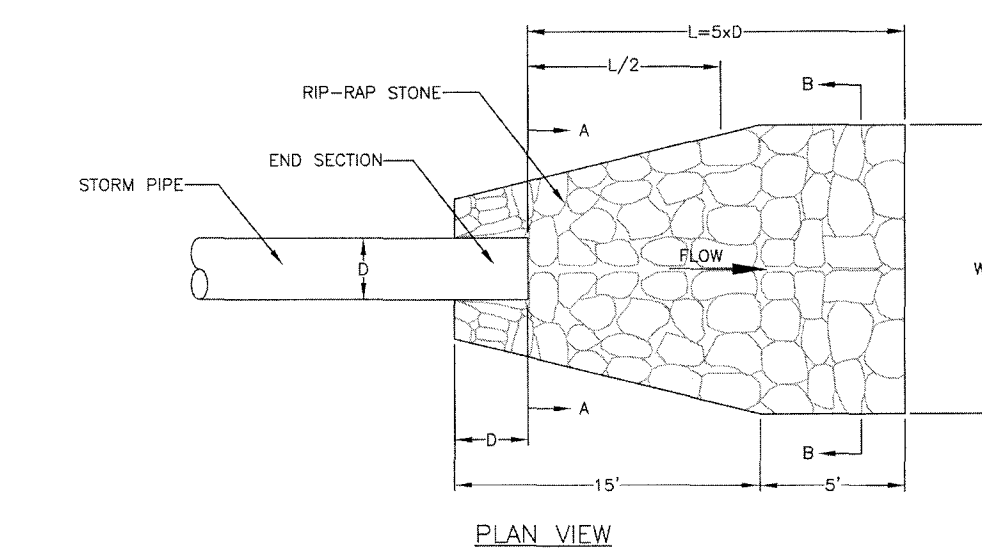


8 CROSSWALK

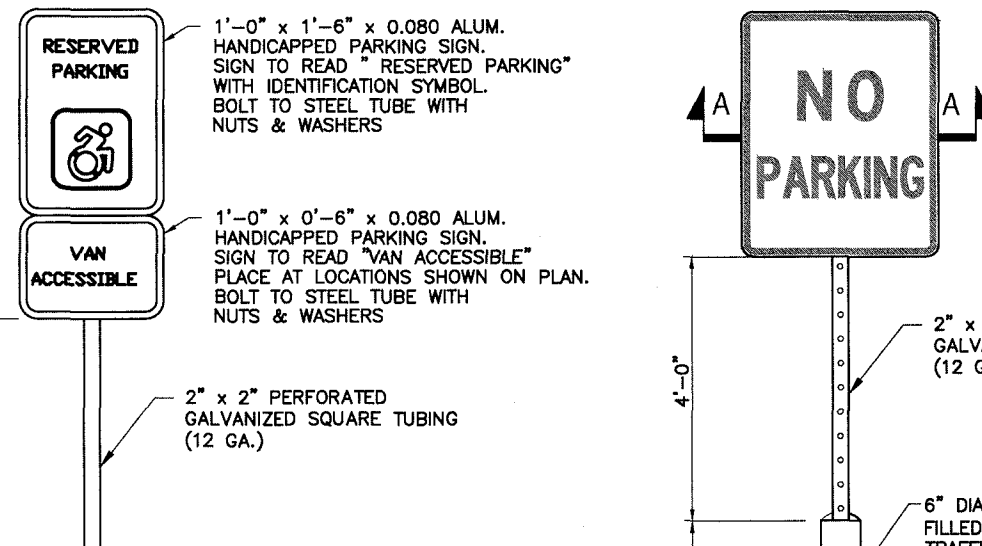


9 DUMPSTER ENCLOSURE

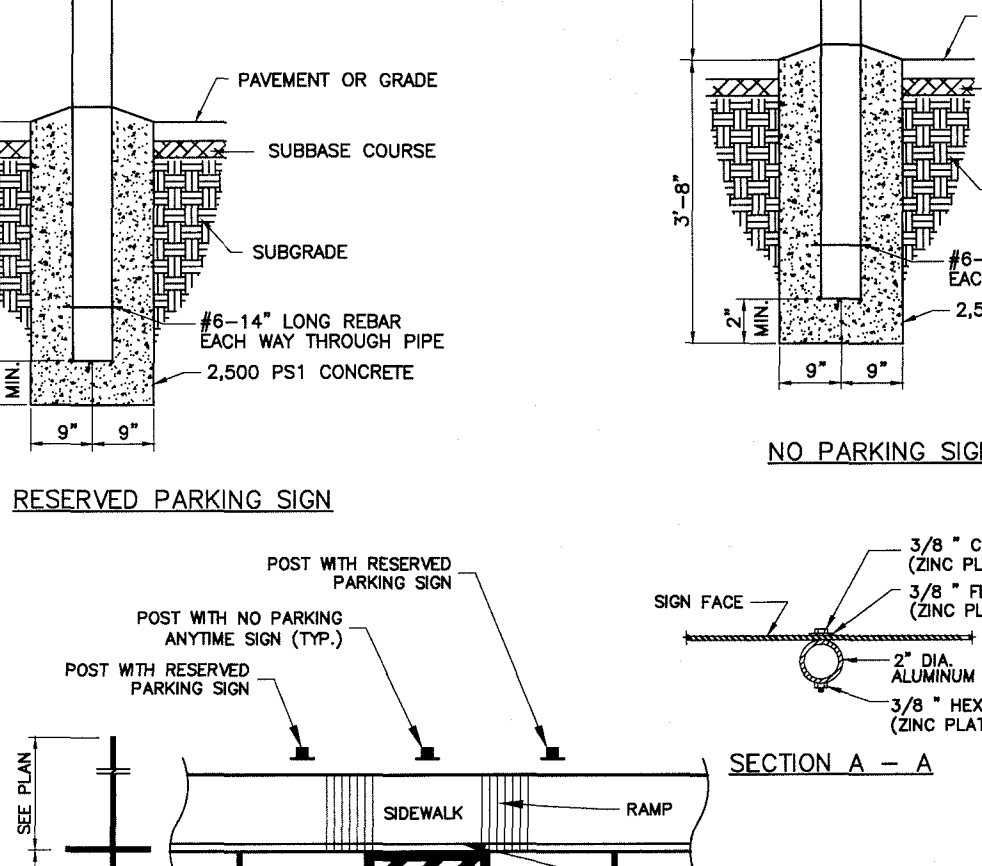
- NOTES:**
- THE MAXIMUM SLOPE OF A SIDEWALK RAMP IS 1:12. IF SPACE LIMITATIONS ON EXISTING SITES PROHIBIT THE USE OF 1:12, THE FOLLOWING SLOPES AND RISERS MAY BE USED:
 A. STEEPER THAN 1:12 (8.33%), BUT NO STEEPER THAN 1:10 (10%). 6\"/>
 - THE SURFACE OF ALL SIDEWALK RAMP IS TO BE STABLE, FIRM, AND SLIP-RESISTANT (I.E. COURSE, BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE).
 - SIDEWALK RAMP LANDING PAD IS TO BE 5\"/>



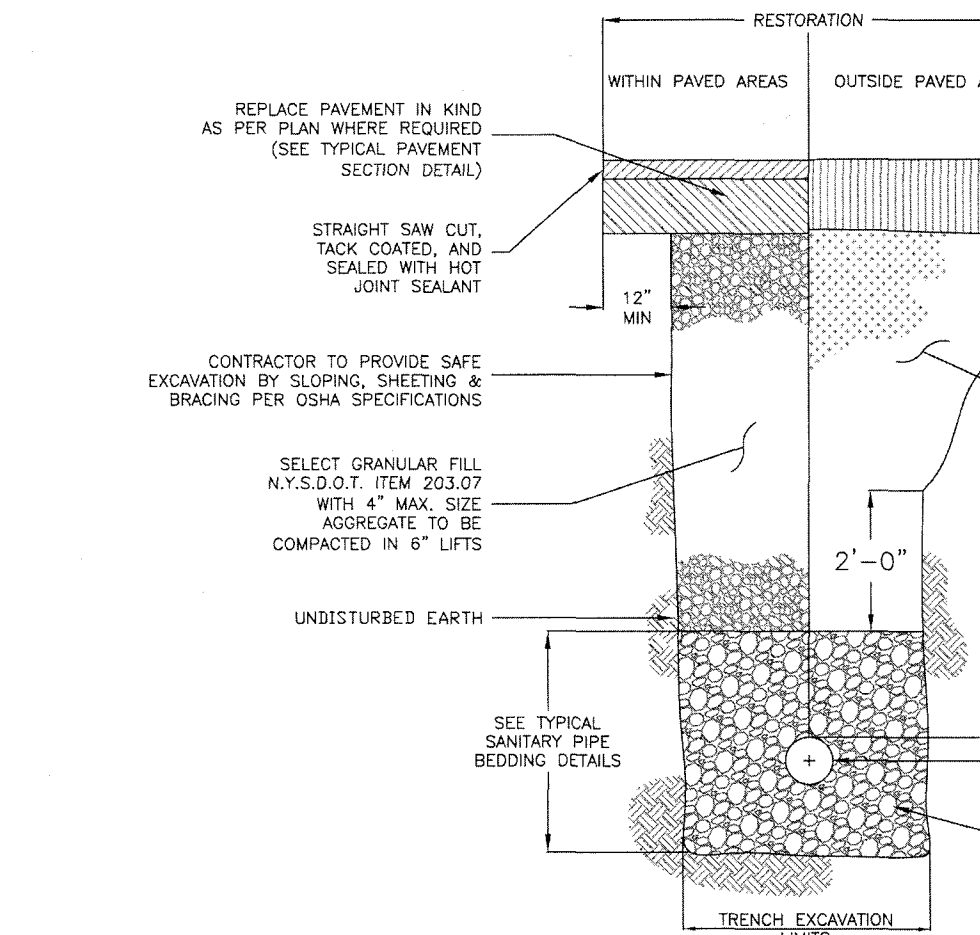
10 RIP-RAP



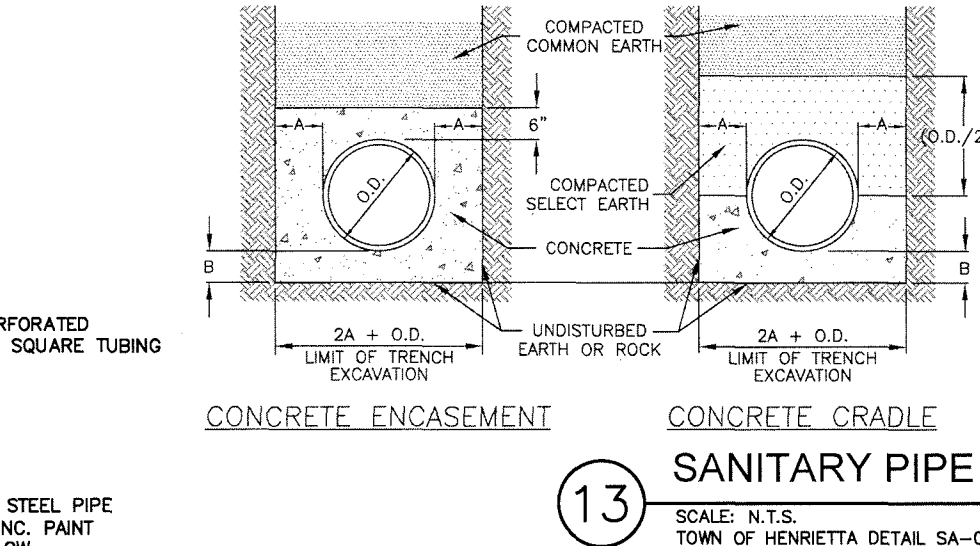
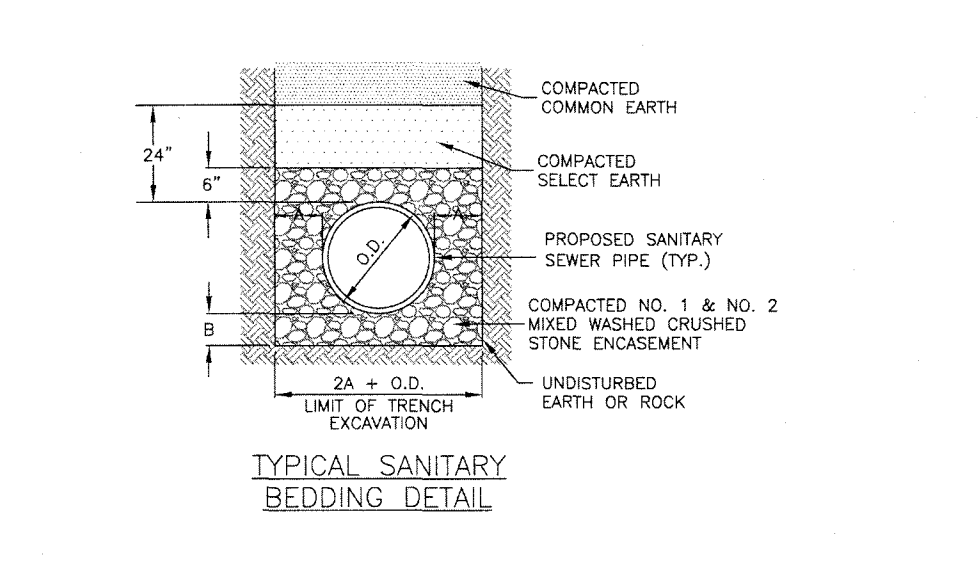
11 RESERVED PARKING AND SIGNAGE



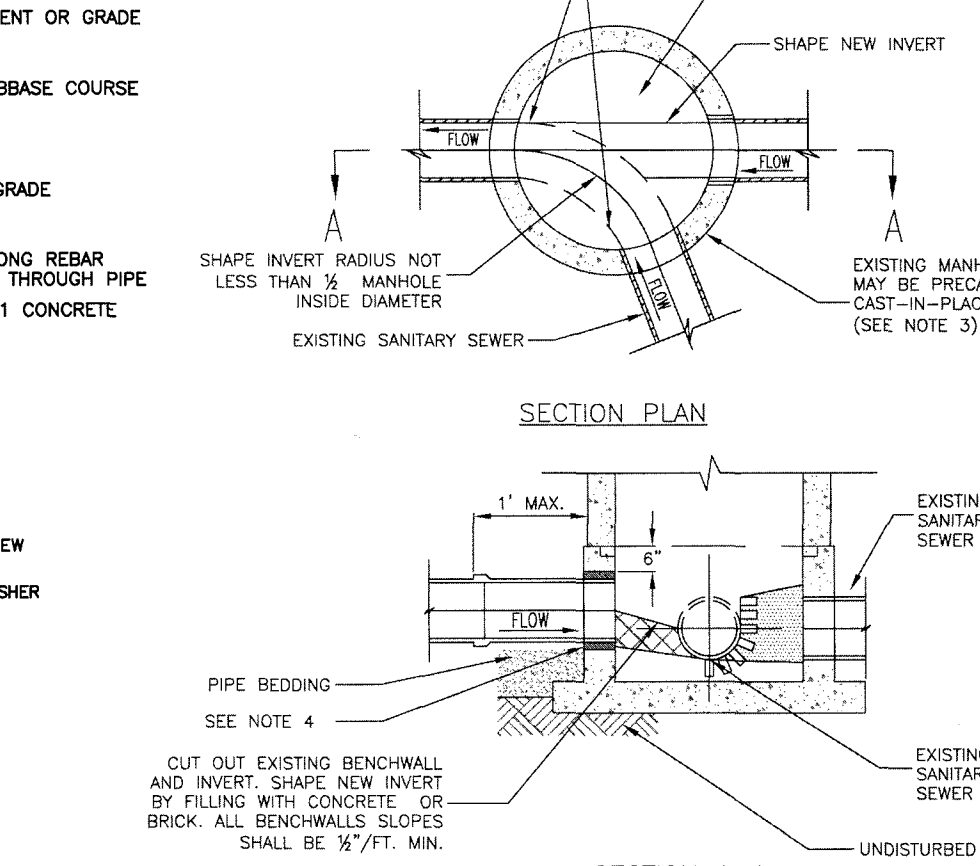
14 CONNECTION TO EX. SANITARY MANHOLE



12 SANITARY LATERAL TRENCH



13 SANITARY PIPE BEDDING



14 CONNECTION TO EX. SANITARY MANHOLE

PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

- NOTES:**
- ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
 - ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
 - SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
 - STONE ENCASEMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYSDOT STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 - CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYSDOT SECTION 501 SPECIFICATIONS.

- NOTES:**
- THE CROWN OF THE NEW SEWER SHALL NOT BE CONSTRUCTED LOWER THAN THE CROWN OF THE EXISTING MAIN SEWER. THE INVERT OF THE NEW SEWER SHALL BE CONSTRUCTED AT LEAST 3" ABOVE THE EXISTING MAIN SEWER INVERT.
 - EXISTING MANHOLE STRUCTURE SHALL BE SUFFICIENTLY BRACED AND PROTECTED TO PREVENT ANY SHIFTING OR DAMAGE TO THE MANHOLE.
 - THE EXISTING MANHOLE BASE MAY BE ROUND OR SQUARE OR CAST-IN-PLACE CONCRETE DEPENDING ON HOW THE MANHOLE WAS CONSTRUCTED.
 - CORE DIAMETER HOLE TO ACCOMMODATE EPOXY SAND COLLAR HUB (P.V.C.) OR P.V.C. EMBEDDED INTO MANHOLE AND SEALED WITH EPOXY MORTAR BUREAU 33 OR FLEADITH GEL. NO IMPACT DEVICES WILL BE ALLOWED TO BE USED FOR MARKING NEW HOLES.
 - THE INTERIOR OF SANITARY MANHOLE BASE SECTION TO BE 12" MIN. ABOVE THE HIGHEST PIPE. THE INVERT AND BENCHMALL SHALL BE COATED WITH 2 COATS OF SIKAGARD 52 SPRINKLE SILICA SAND ON TOP OF BENCHMALLS. ALL OTHER SURFACES SHALL HAVE 2 COATS KOPPERS SUPER SERVICE BLACK.
 - PIPE ENTERING INTO SANITARY MANHOLE SHALL NOT EXCEED 90 DEGREES ALIGNMENT AGAINST EXISTING SANITARY SEWER MAIN FLOW.
 - CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL BE NOT LESS THAN 6" FROM A RISER JOINT.
 - THE TOWN MUST BE NOTIFIED 48 HOURS IN ADVANCE OF CONSTRUCTION FOR INSPECTION OF CONNECTION.

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 607-241-2917
 www.marathoneng.com

PRELIMINARY/FINAL SITE PLANS for **PROPOSED STARBUCKS RESTAURANT**
 STATE OF NEW YORK
 MONROE COUNTY
 TOWN OF HENRIETTA
 1012 LEHIGH STATION ROAD

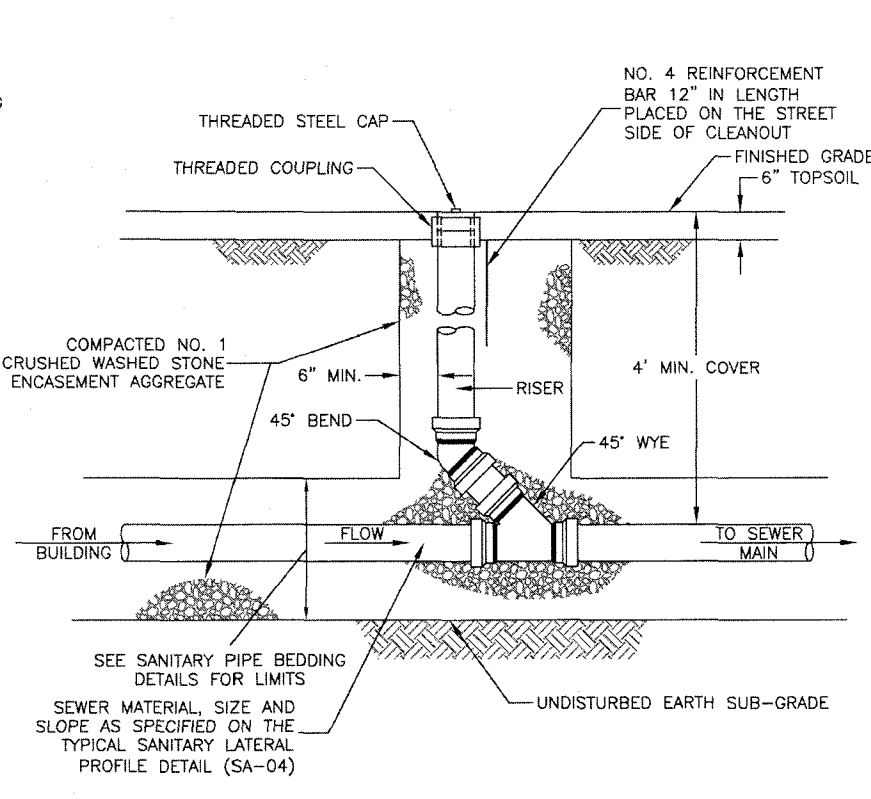
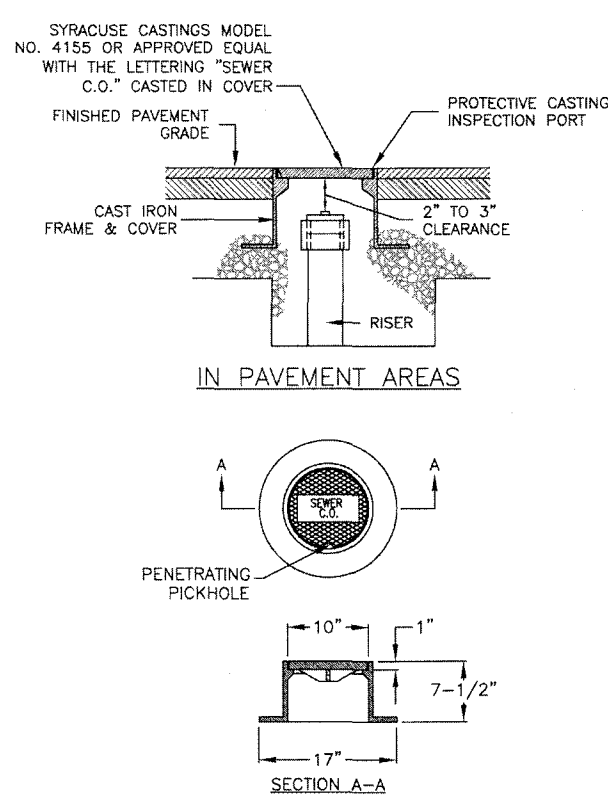
JOB NO: 1687-23
 SCALE: 1"=20'
 DRAWN: RLB
 DESIGNED: MT
 DATE: 02/21/2024

REVISIONS		
DATE	BY	REVISION

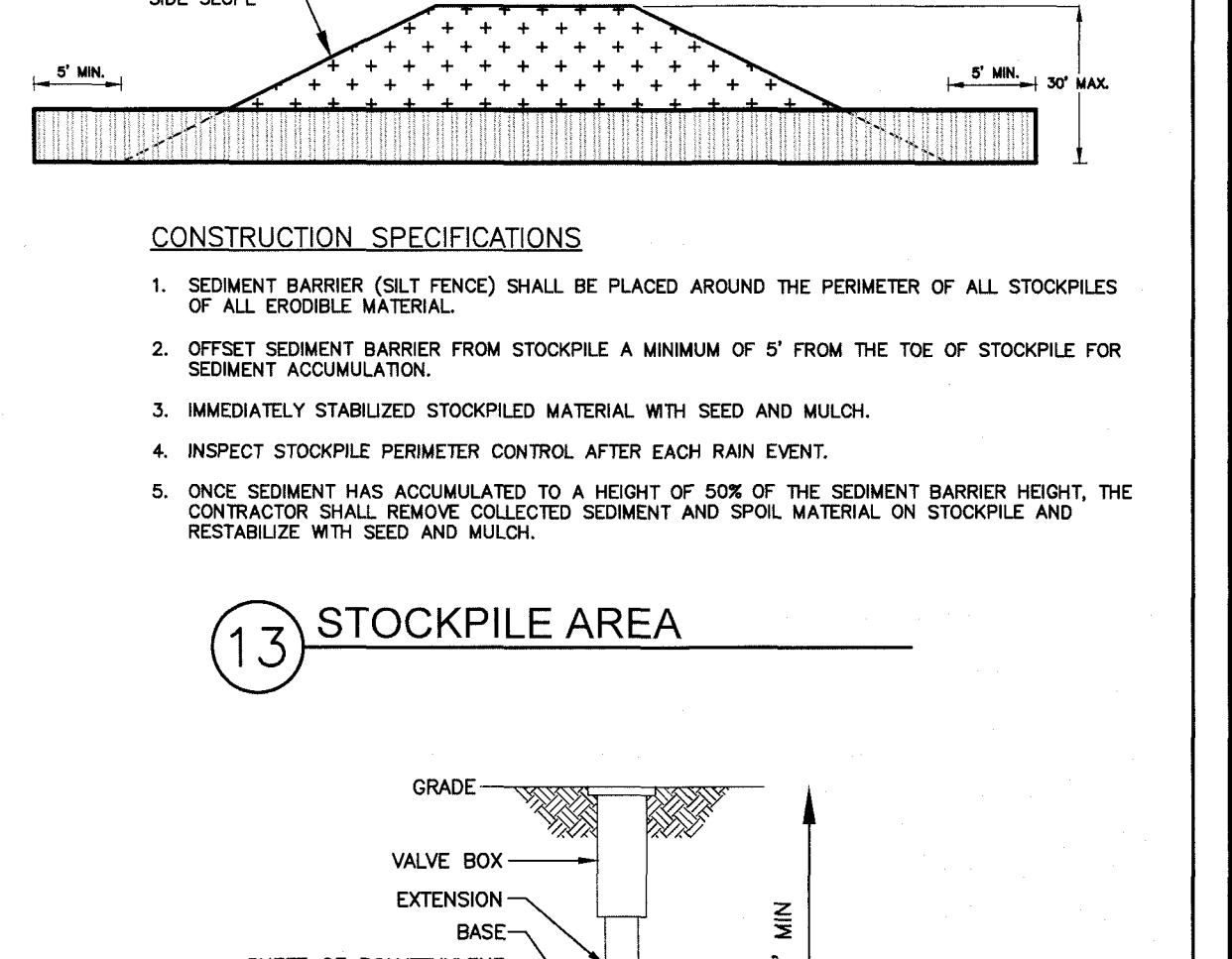
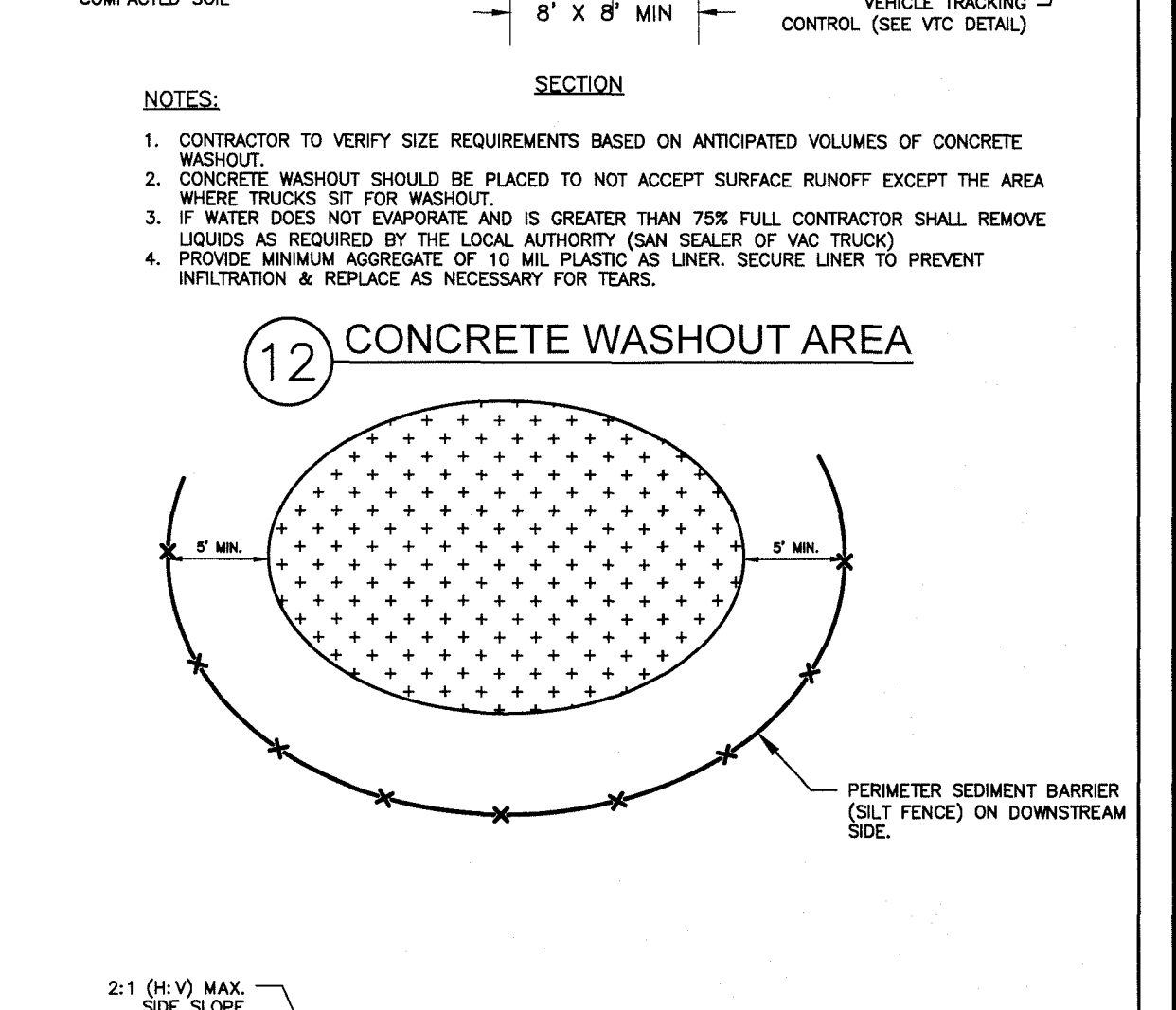
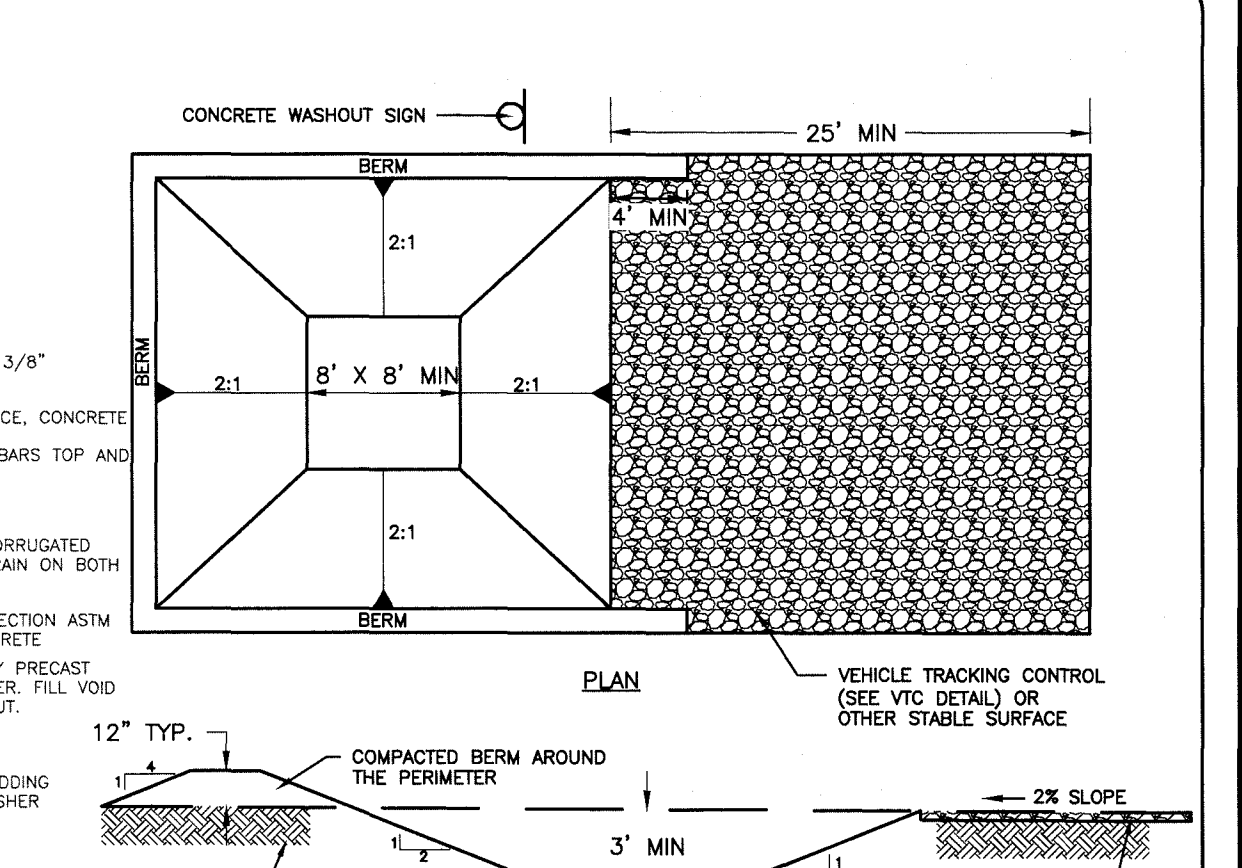
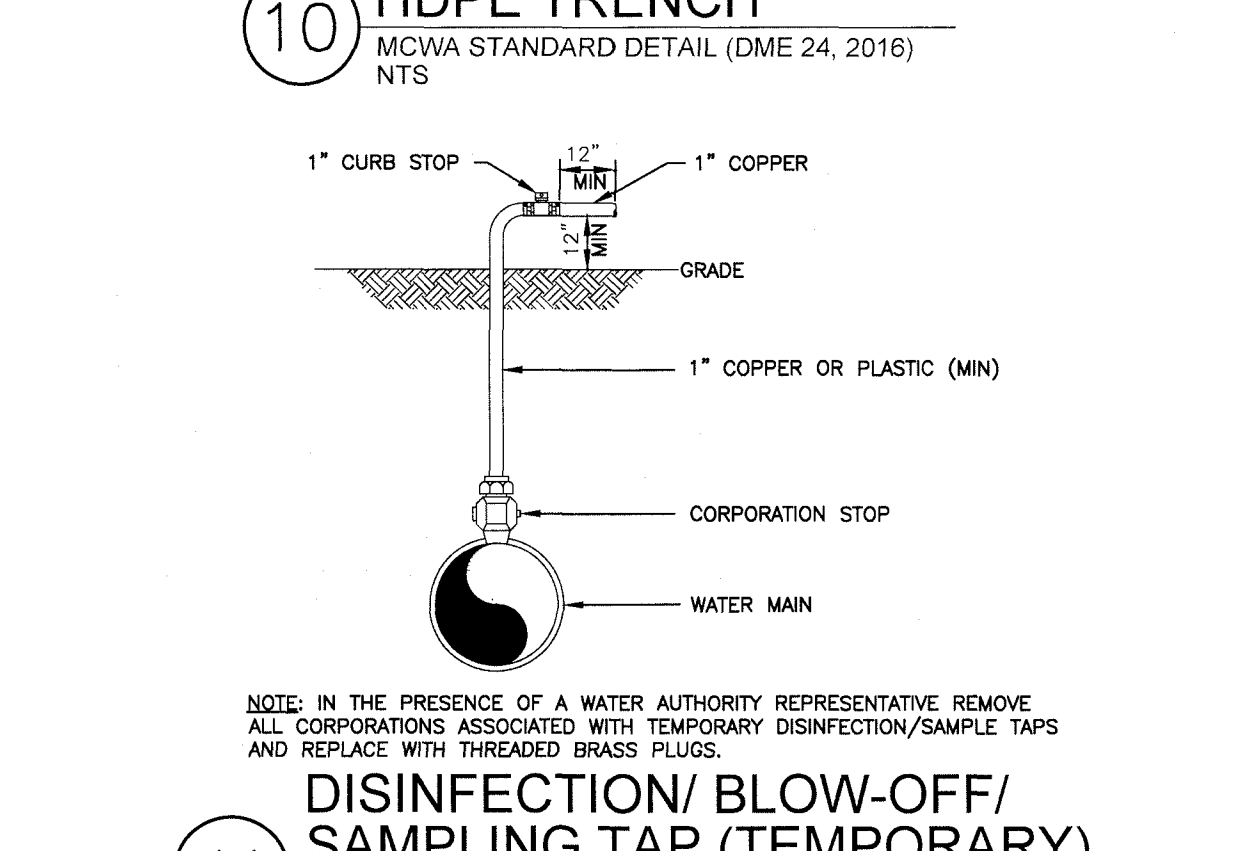
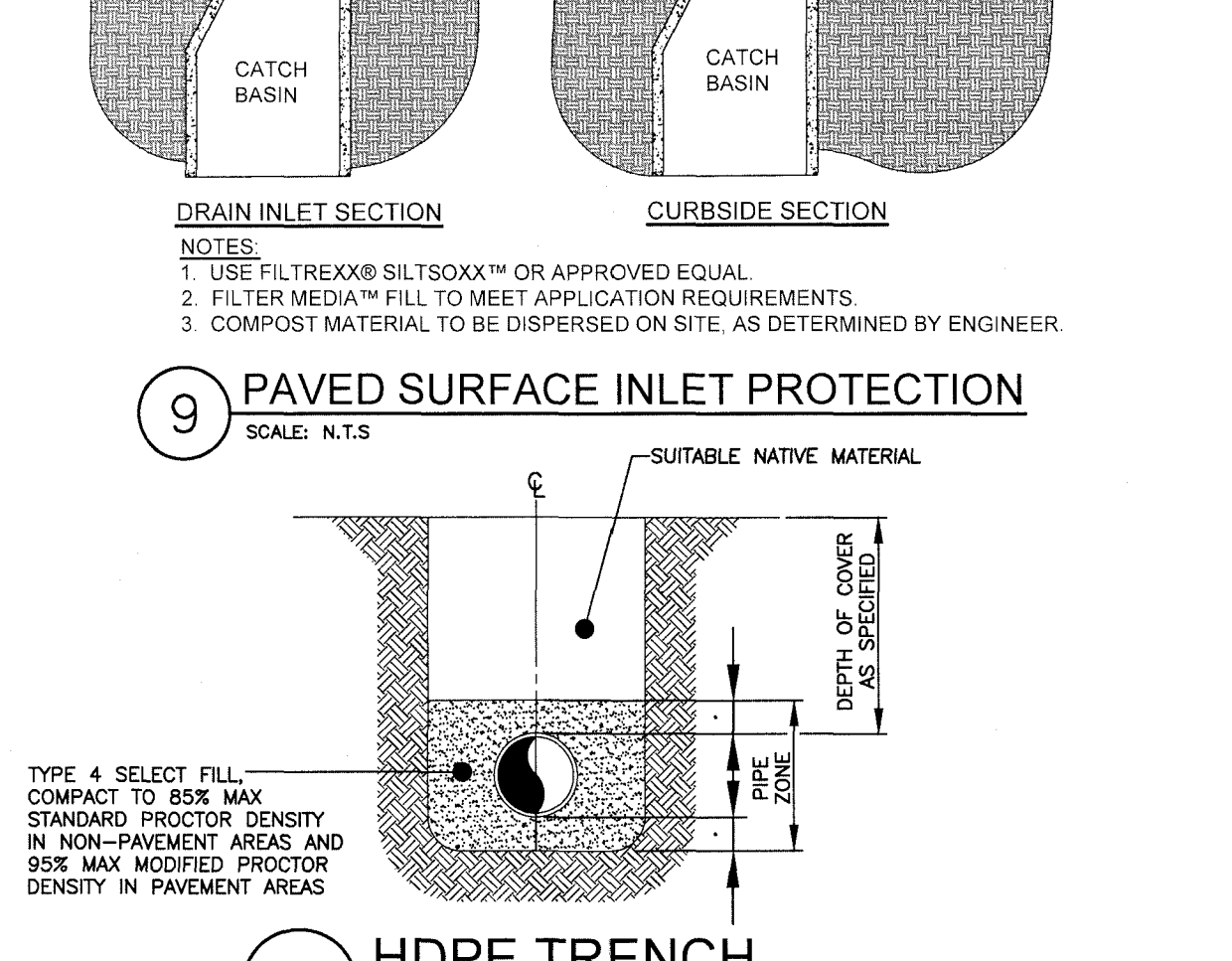
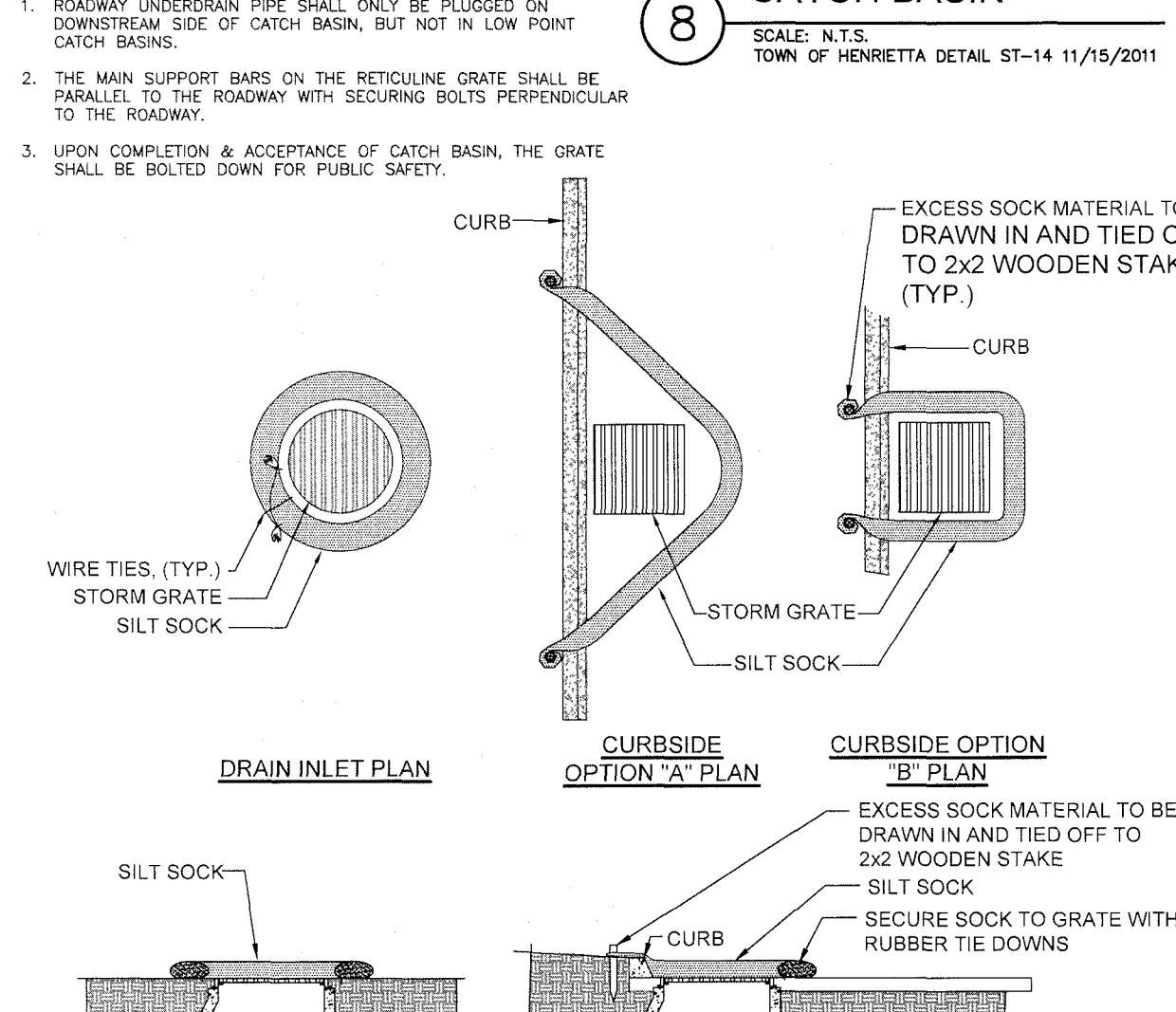
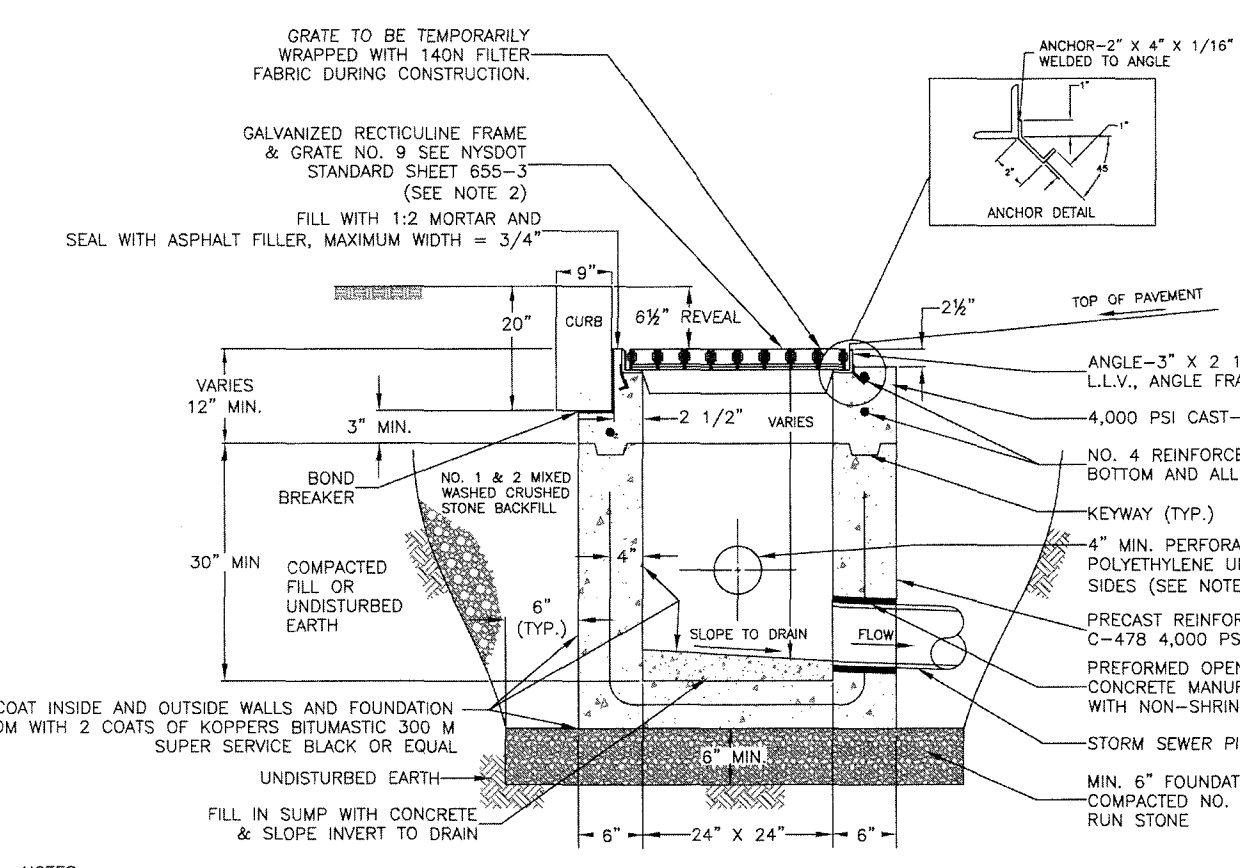
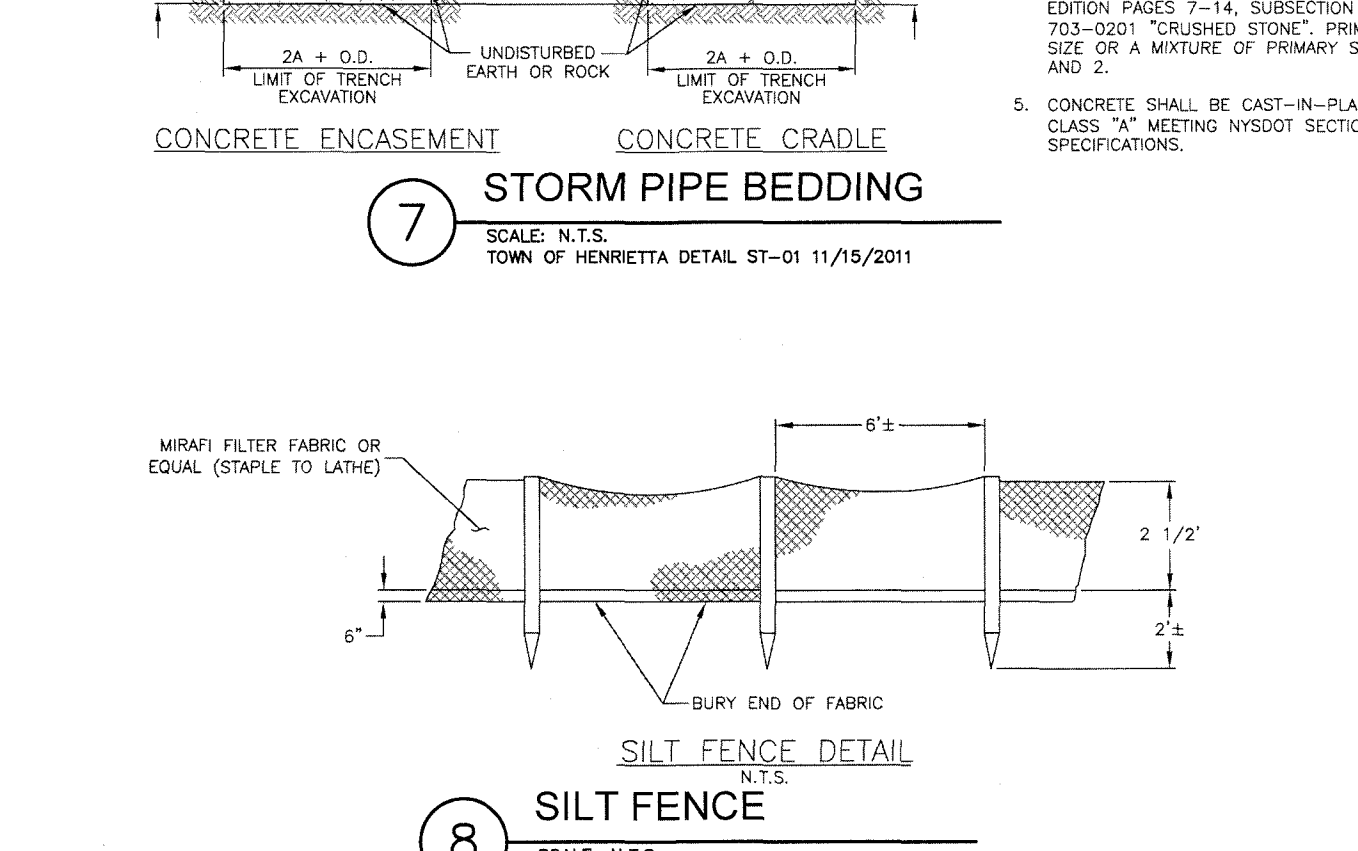
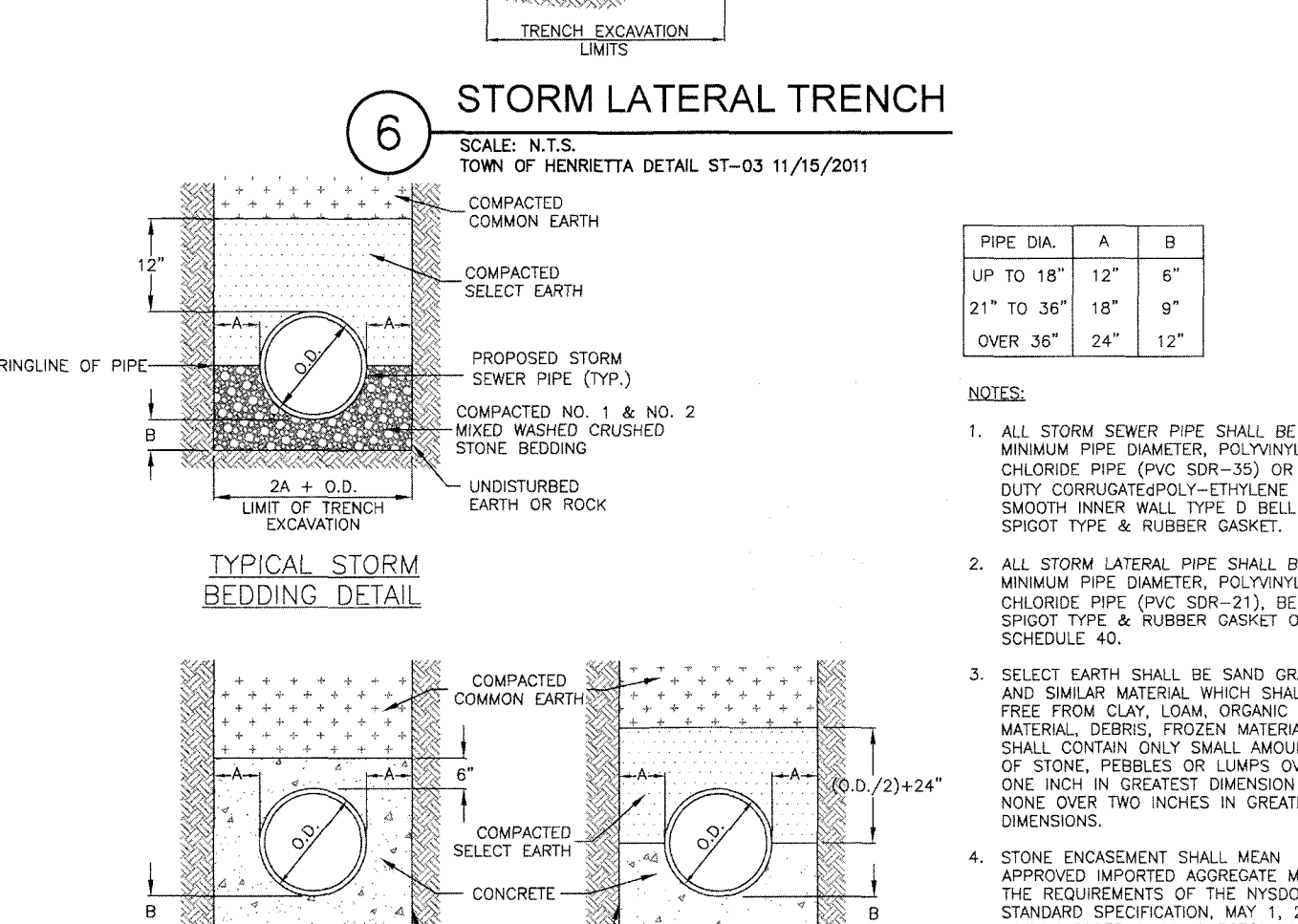
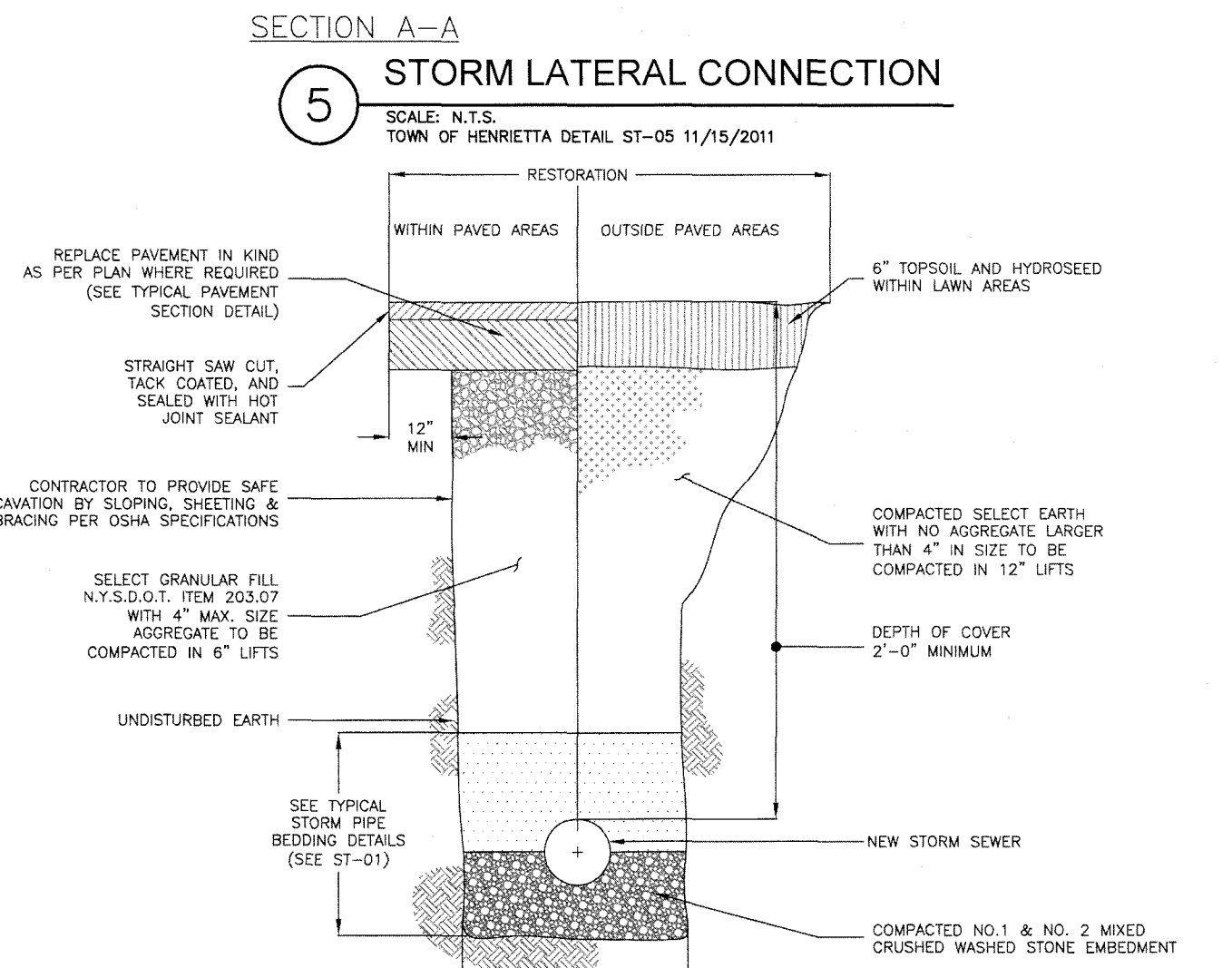
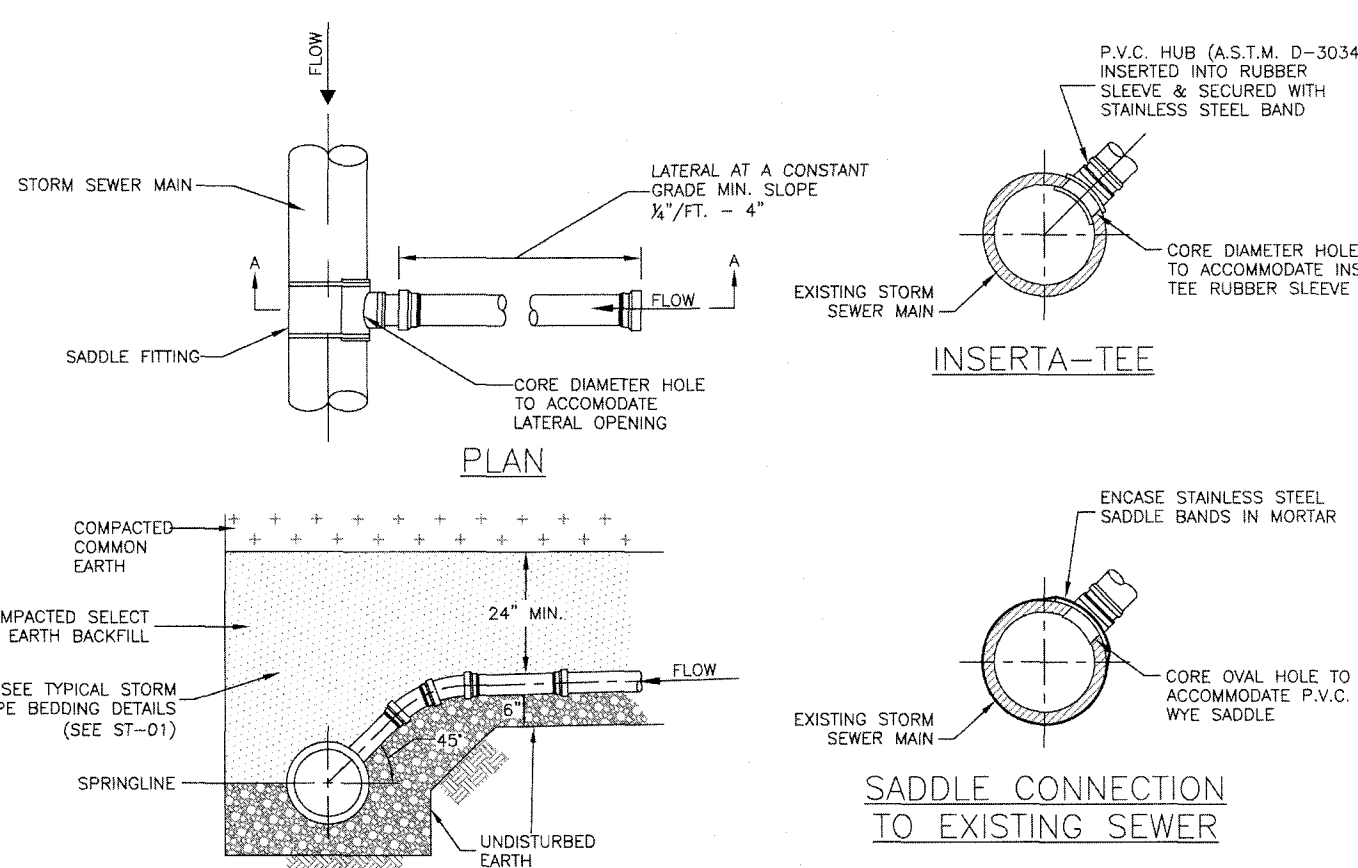
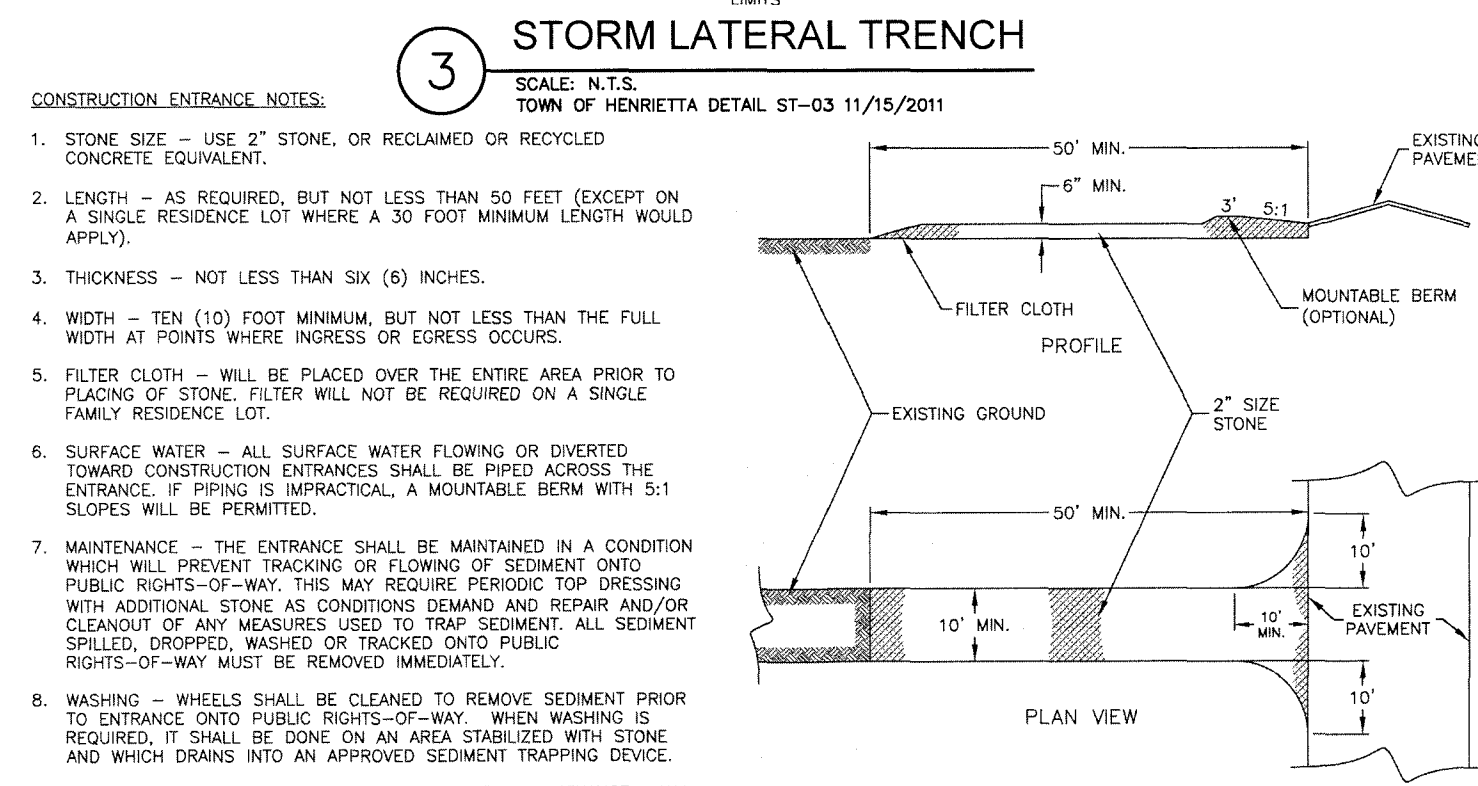
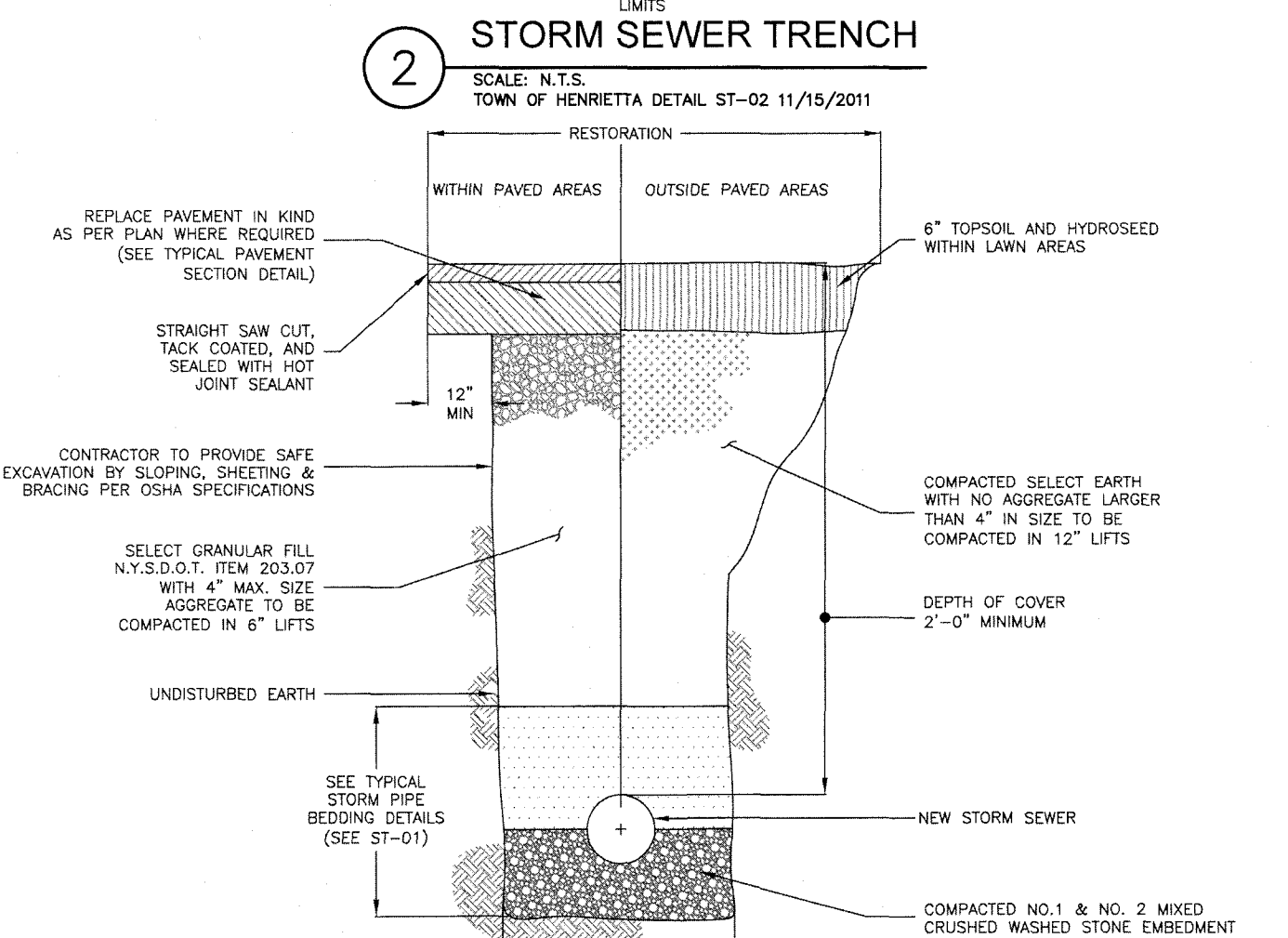
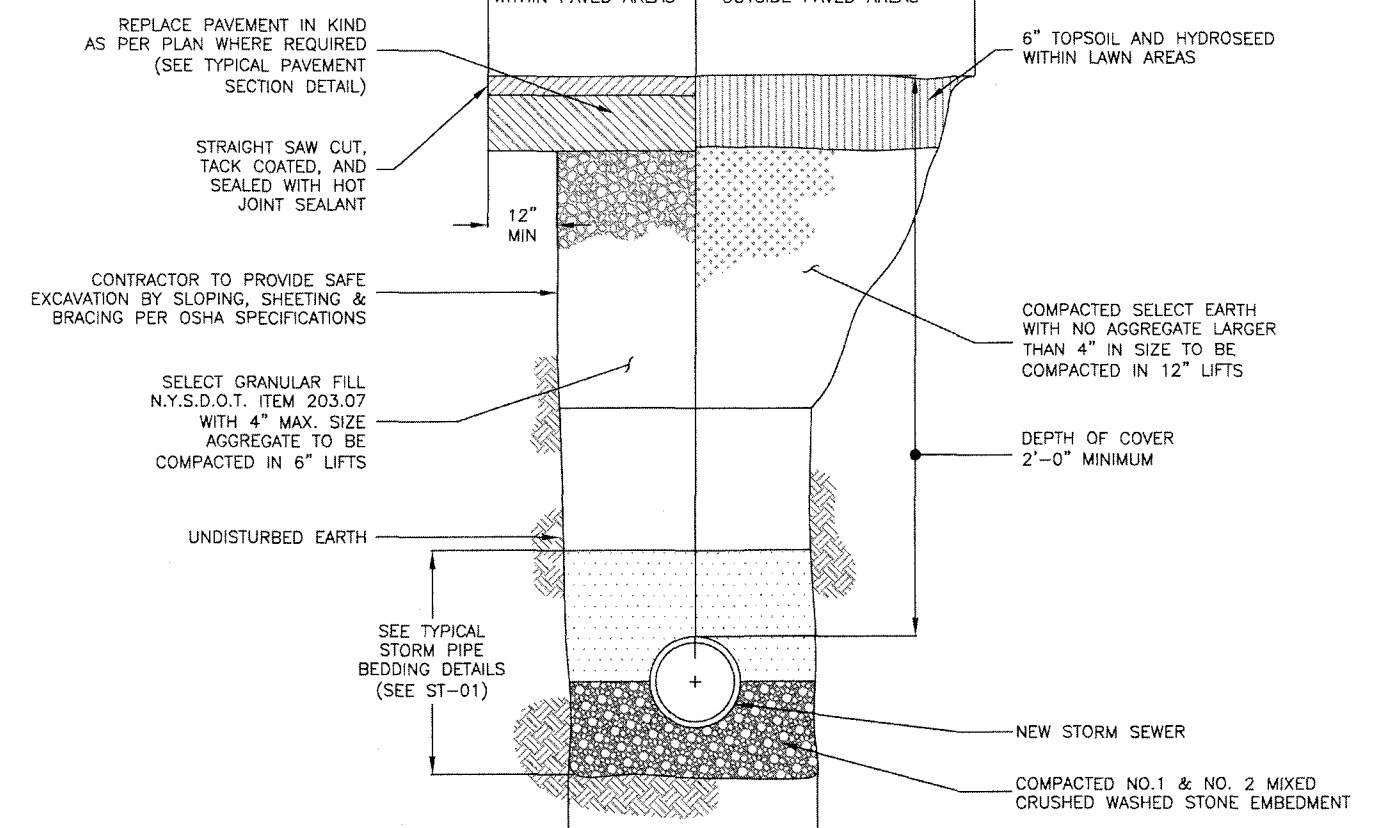
STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 107624

DRAWING TITLE:
CONSTRUCTION DETAILS (SHEET 1 OF 3)

7 of 9 SHEET No: **C5.0**
 1687-23 JOB No: DRAWING No:



- NOTES:**
- MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 30B.
 - HEAVY DUTY CASTING SHALL BE DESIGNED FOR A.A.S.H.T.O. H20-16 WHEEL LOADS.



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 for
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JOB NO: 1687-23
 SCALE: 1"=20'
 DRAWN: RLB
 DESIGNED: MT
 DATE: 02/21/2024

REVISIONS

DATE	BY	REVISION

STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 06629

DRAWING TITLE:
CONSTRUCTION DETAILS (SHEET 2 OF 3)
 8 of 9 SHEET No:
 1687-23 JOB No: **C5.1**
 DRAWING No:

Short Environmental Assessment Form

Part 1 - Project Information

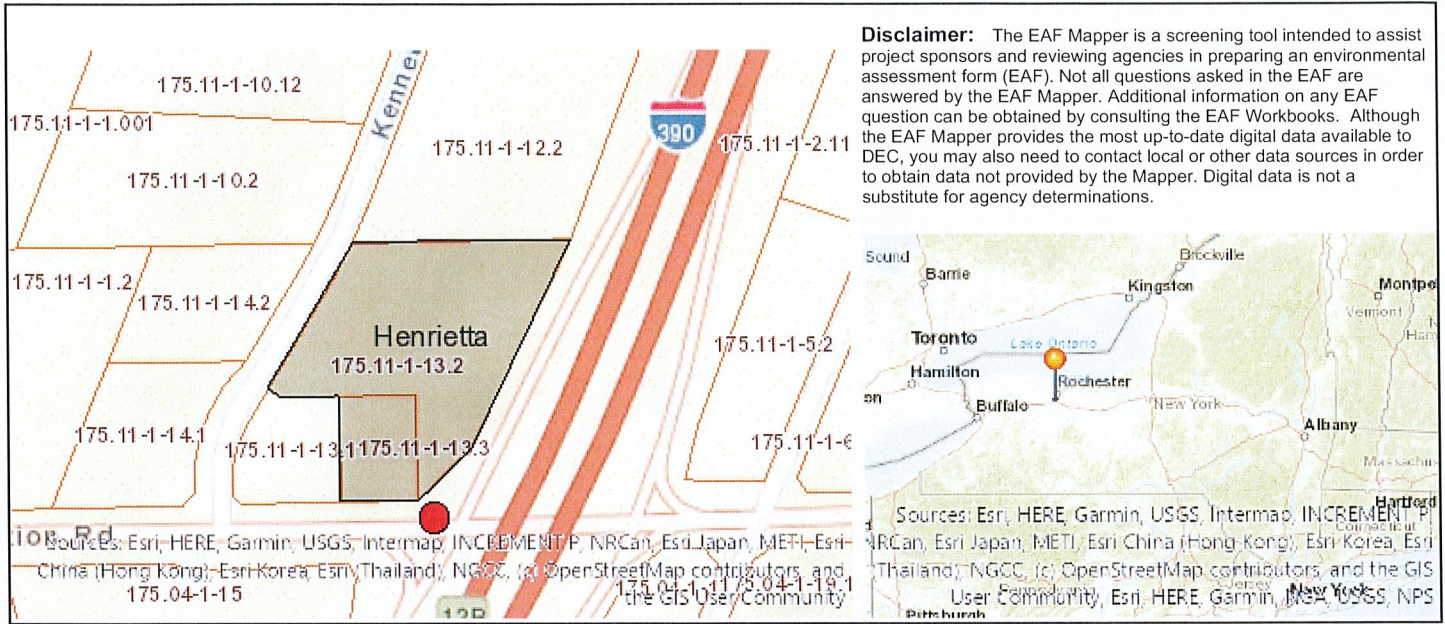
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Starbucks Restaurant				
Project Location (describe, and attach a location map): 1012 Lehigh Station Rd				
Brief Description of Proposed Action: 2,400± SF Starbucks with drive-thru and outdoor seating area. The lot was previously approved as a Burger King, a drive-thru restaurant and the existing green infrastructure and storm water management facilities were designed to accommodate that potential use. The proposed impervious area is equal or less than the previously approved project. Therefore no modifications to the existing infrastructure are required.				
Name of Applicant or Sponsor: Angelo Ingrassia, 1012 Lehigh LLC		Telephone: E-Mail: [REDACTED]		
Address: 550 Latona Rd Bldg E, Suite 501				
City/PO: Rochester		State: NY	Zip Code: 14626	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYS DEC (NOI) , T. Henrietta (Special Use Permit, Site Plan Review)			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 0.97 acres		
b. Total acreage to be physically disturbed?		_____ 1.11 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.97 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. A permitted use under the zoning regulations? With special use permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No