




# Town of Henrietta 2023 Preliminary Budget

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# 2022 Year in Review

- ▶ Supply chain issues have delayed a number of major purchases; however, the funds have been encumbered.
  - ▶ The real estate market remained strong through most of the year resulting in higher than projected Mortgage Tax Revenues.
  - ▶ Even with the “Gasoline Tax Holiday” in place much of the year, Sales Tax Revenues are well ahead of projected levels.
  - ▶ While material and fuel prices have risen, the Town personnel has done a good job keeping costs on budget.
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# 2022 Year in Review

## ▶ Projected Expenses / Revenues to Budget

Fund	Expenses	Revenues
◦ General*	\$ 950,000 under	\$2,100,000 over
◦ Highway	\$ 500,000 under	\$ 100,000 over
◦ Library	\$ 215,000 under	\$ 5,200 under
◦ Drainage * *	\$ 172,000 over	\$ 6,500 over
◦ Sewer	\$ 0 under	\$ 17,000 under

\* The Town has not received Sales Tax revenue numbers for the third and fourth quarters - estimated amounts have been applied for the chart above.

\*\* Drainage additional expense reflects Drainage Fund additional funding for the Sewer/Drainage Garage.

# 2023 Preliminary Budget

**Total Budget:**  
**\$25,678,380**

(net of Fund Transfers, Transportation District Project and East River Road Mitigation Project)

This represents an increase of \$1,185,736\* from the 2022 Amended Budget.\*\*

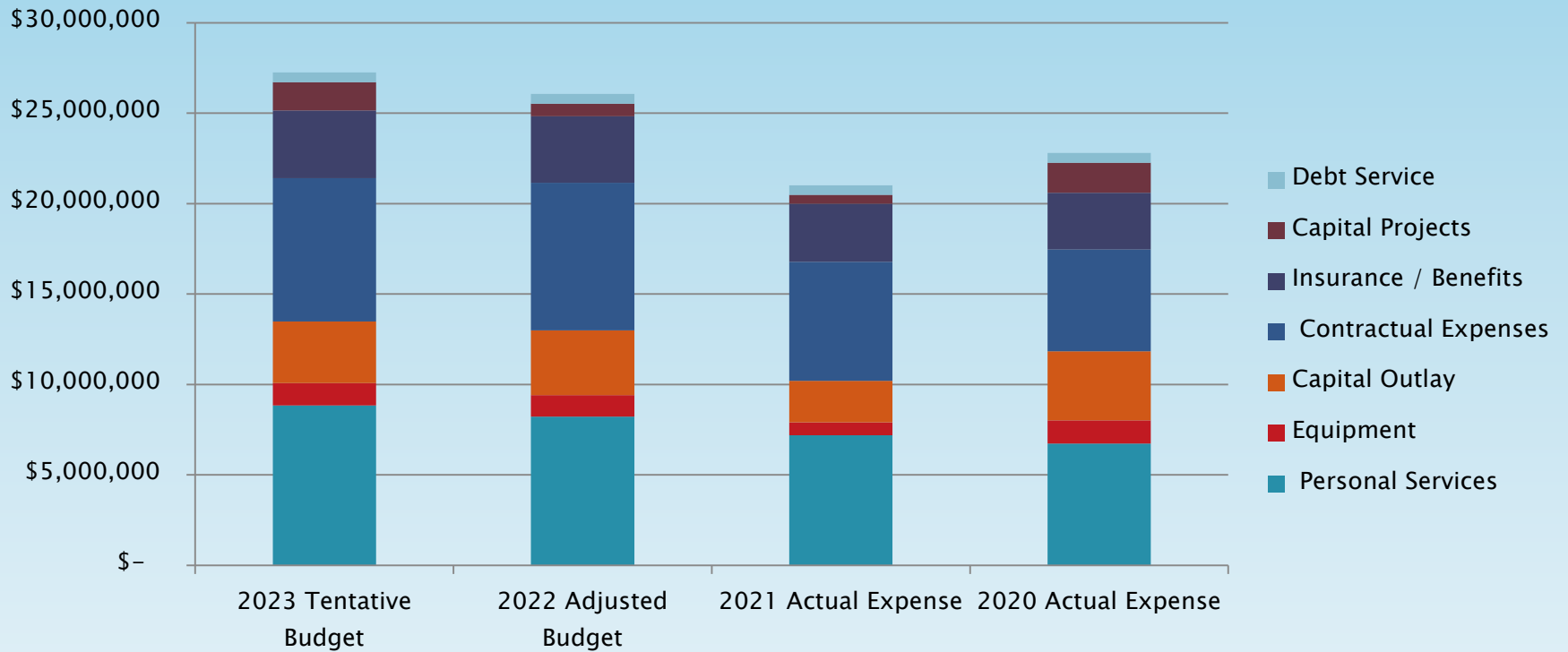
\* Includes \$1.5M projected funding from the General Fund for the new Town Court.

\*\* The actual 2022 expenditures are not finalized.



# Year over Year Expenditures

## Town of Henrietta Category of Expense net of Grants for Projects and Transportation District



\* The actual 2022 expenditures may be less for projects and hires placed on hold.



# Tax Levy vs Tax Rate

- ▶ The Tax Levy is the sum total of how much we collect in property taxes
- ▶ The Tax Rate is the Tax Levy divided by the Total Assessed Value of Taxable Properties in Town and is generally expressed as an amount per \$1,000 of assessed value
- ▶ So, for instance, if you have a \$4–Million tax levy and \$3.2–Billion in taxable properties, then the Tax Rate would be \$1.25 per \$1,000 of assessed value



# Real Growth versus Total Growth

- ▶ Real Growth in the Town is due to new construction or enlargements and improvements of existing properties.
- ▶ Total Growth includes the Real Growth as well as the growth due to increases in market value as reflected by a reassessment.
- ▶ For this year, the real growth is 1.61% and the total growth is 12.55%, so 10.94% of that growth is due to rising real estate prices.



# When do Taxes Increase?

- ▶ Some politicians love to claim they didn't raise taxes when what they really mean is they didn't raise the Tax Rate.
- ▶ But when you hold the Tax Rate flat, you ARE increasing taxes if any portion of the Total Growth is due to rising assessments.
- ▶ If you only increase the Tax Levy by the amount of the Real Growth or less, then you are truly not raising property taxes.
- ▶ For the fifth straight year, we have the same Tax Levy, meaning NO INCREASE in property taxes.





# 2023 Projected Tax Levy

Total projected Tax Levy is  
\$4,330,394

Projected Tax Levy Increase:  
\$0.00



# 2023 Preliminary Tax Cap Calculation

▶ 2023 Preliminary Tax Cap Calculation:

1		Prior Year Tax Levy - 2022	\$ 6,505,519	2022 Total Levy for Town and Special Districts
2	+	Prior Year Reserve offset - 2022	\$ -	
3	-	Total Tax Cap Reserve Amount (Including Interest Earned) from FYE 2022	\$ -	
4	x	Tax Base Growth Factor	1.0097	Growth Factor from NYS
5	+	Pilots Receivable Prior Year - 2022	\$ 287,513	2022 Payments-in-lieu of Taxes
6	-	Tort Exclusion Amount, Prior Year - 2022	\$ -	
7	x	Allowable Levy Growth Factor	1.0200	Lesser of Inflation or 2% (NYS Controller's published tax inflation rate is 2%)
8	-	Pilots Receivable Coming Year - 2023	\$ 307,850	2022 Payments-in-lieu of Taxes
9	+	Available Carryover	\$ 104,013	
10	=	<b>2023 Tax Levy Limit</b>	<b>\$ 6,789,421</b>	2023 Maximum Allowable under the State Tax Cap Law without a Town Board Override

11		2022 Preliminary Tax Levy	\$ 6,610,745	2023 Preliminary Tax Levy for all Funds
12		Difference Between Tax Levy Limit and Proposed Levy	\$ 178,676	2023 Preliminary Tax \$ Increase

<b>Tax Cap Under / (Over) Budget</b>	<b>\$ 178,676</b>
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# 2022 Tax Rates for Monroe County

Town	Town Rate
Riga	0.000000%
Henrietta	1.185311%
Perinton	2.337081%
Mendon	2.392590%
Parma	2.718344%
Penfield	2.776252%
Rush	3.120797%
Pittsford	3.134613%
Chili	3.312048%
Clarkson	3.336509%
Hamilin	3.754303%
Sweden	4.035630%
Brighton	5.244033%
Webster	5.432904%
Ogden	5.522858%
Greece	5.979764%
Gates	6.107174%
Irondequoit	6.412414%
Wheatland	6.431199%



# 2023 Projected Tax Rate Decrease

Estimated result is a Tax Rate **decrease** of approximately **10.15%** of the Town portion of your tax bill.

Anticipated rate of **\$1.064990** per thousand

(The Rate is dependent upon the final Monroe County Tax Roll)

This rate is below the 2000 Town Tax Rate of \$1.15 per thousand!

Note that while a reassessment of properties does not bring in any additional revenues to the Town, hence why our Tax Levy is the same as previous years even as property values have risen, it can change how big your portion of the property taxes will be.

Roughly, if your increase in assessed value is less than the 10.15% drop in the Tax Rate, then your portion of the tax levy should be less. If your increase in assessed value is greater than the 10.15% drop in the Tax Rate, then your portion should be more.



# Preliminary Governmental Funds 2023 Budget

Code	Fund	Appropriations	Less: Estimated Revenues	Less: Fund Balance Applied	Amount to Be Raised By Taxes/Fees
GOVERNMENTAL FUNDS					
A	General	\$ 14,504,474	\$ 10,862,901	\$ 3,641,573	\$ -
DA	Highway	5,314,937	2,491,225	611,207	2,212,505
L	Library	2,666,779	253,063	295,827	2,117,889
A	General - Transfers to Other Funds	(1,200,000)	-	(1,200,000)	-
Total Governmental Funds		\$ 21,286,191	\$ 13,607,189	\$ 3,348,608	\$ 4,330,394

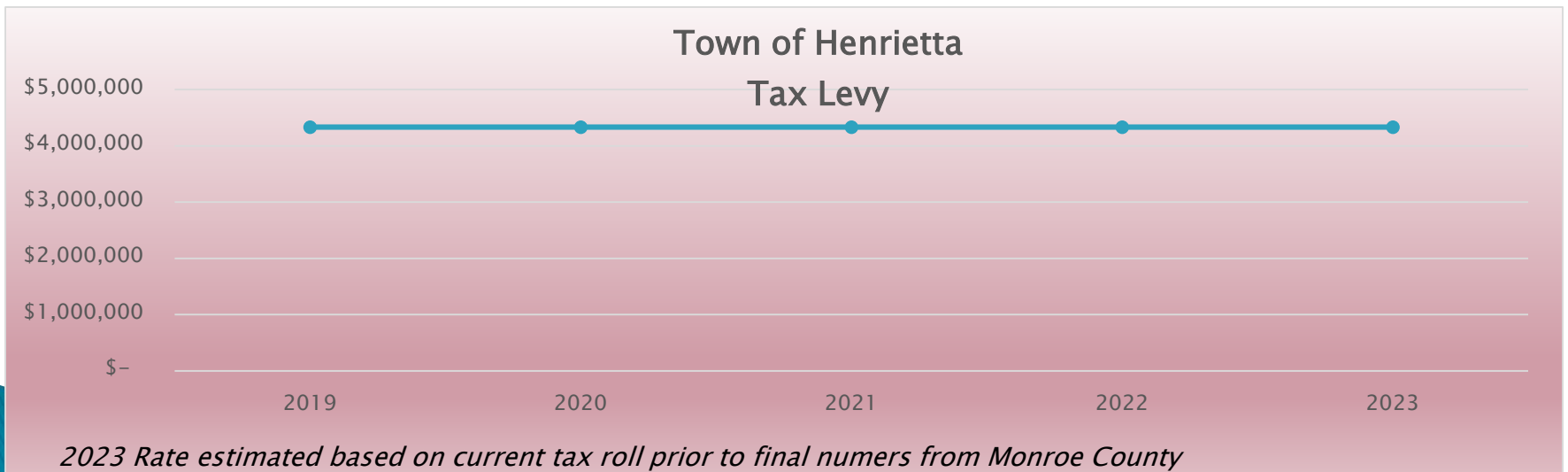
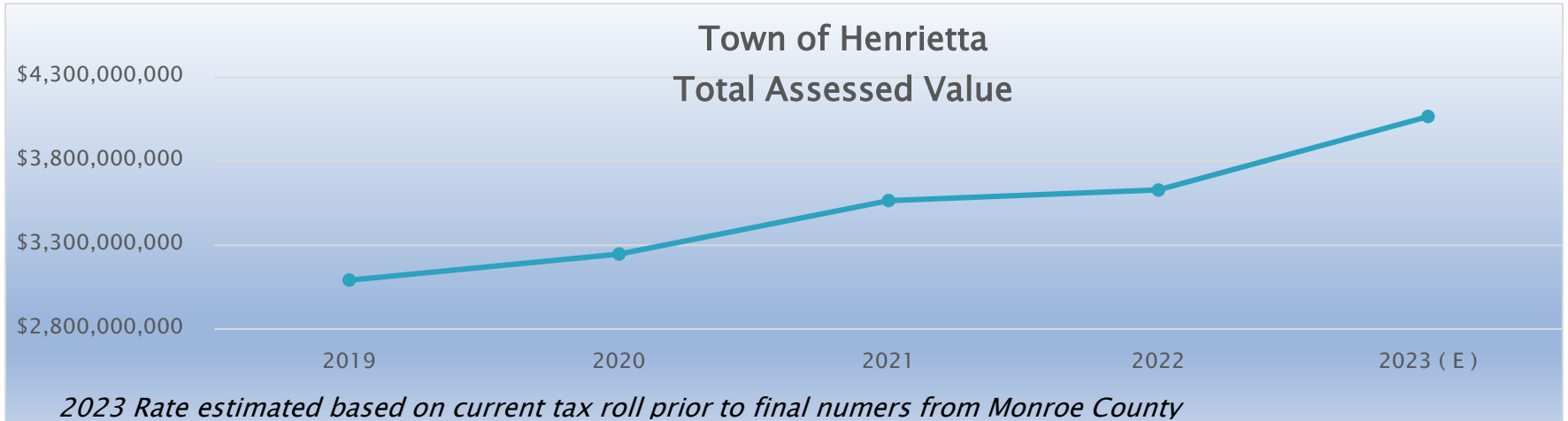
# Preliminary Governmental Funds 2023 Estimated Fund Balance

Fund	Fund Name	Estimated Fund Balance 2023	2024 Estimated Expenditures †		Estimated Aggregate Fund Balance
A	General	\$ 6,752,368	\$ 15,954,922	42.32%	
DA	Highway	\$ 619,222	\$ 5,846,431	10.59%	
L	Library	\$ 1,903	\$ 2,933,457	0.06%	
		<b>\$ 7,373,492</b>	<b>\$ 24,734,810</b>		<b>29.81%</b>

† Per GASB, the fund balance is measured against the next year's projected expenditures, so we created a rough estimate by growing this year's expenditures based on trending.

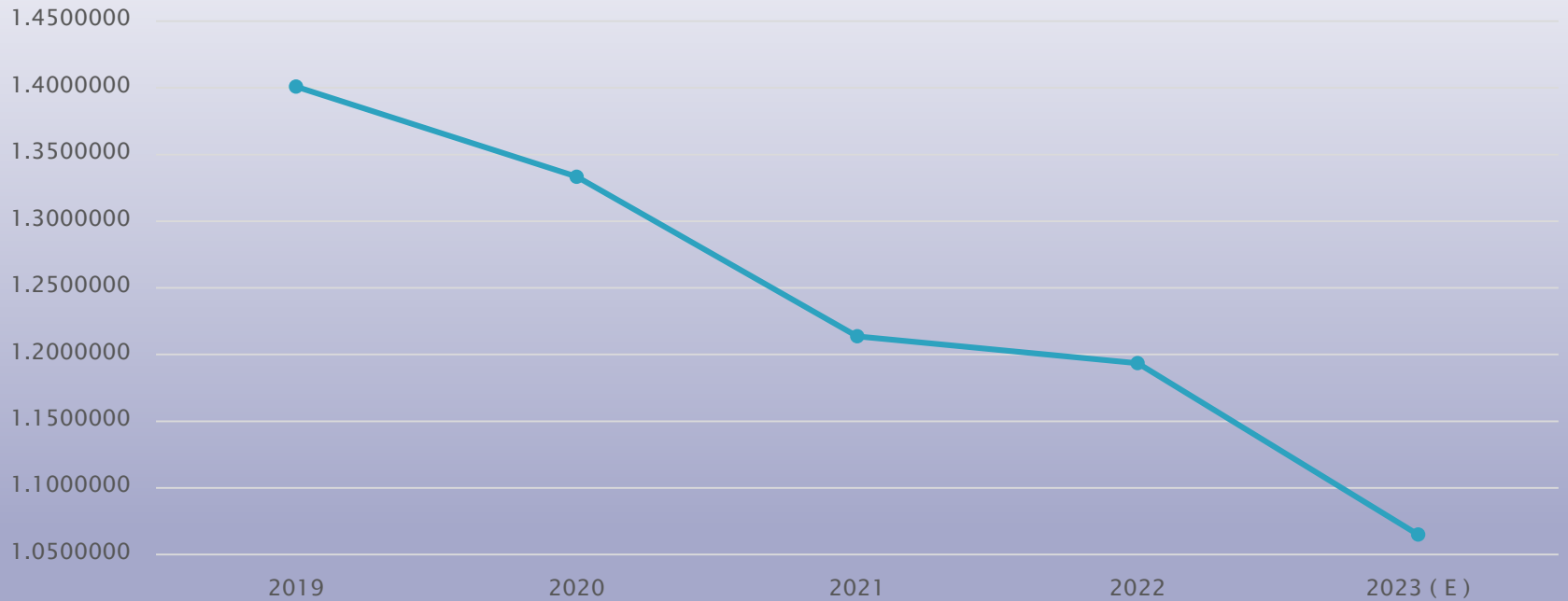
Estimated Fund Balance at 12/31/23 of the aggregated funds above is 29.81%. The target amount is 20%, with a floor of 19% and a ceiling of 25%.

# Year over Year Assessed Value and Tax Levies



# Year over Year Tax Rate

Town of Henrietta  
Tax Rate



*2023 Rate estimated based on current tax roll prior to final numbers from Monroe County*



# 2023 Projected Special District Rate Changes

**Drainage Districts** – Tax Levy increased by \$29,781.98 for an estimated increase of \$0.50/unit, resulting in an estimated annual fee of \$15.18/unit.

**Sewer Districts** – Tax Levy increased by \$19,276 for an estimated increase of \$1.50/unit, resulting in an estimated annual sewer rent of \$37.42/unit.

**Park Districts** – Tax Levy and rate **remains the same as 2022.**



# 2023 Preliminary Budget Distribution

The draft 2023 Tentative Budget was distributed to the Town Board on September 30, 2022. Based on meetings with Town Board Members, adjustments were made. The Tentative Budget was forwarded to the Town Clerk on October 7<sup>th</sup>. During the October 12, 2022 Town Board Meeting, a resolution was passed to call for a Public Hearing on the Preliminary Budget to be held on October 26<sup>th</sup>

The Preliminary Budget was forwarded to the Town Clerk on October 13<sup>th</sup> in advance of the Public Hearing.



# 2023 Preliminary Budget Inclusions

Addressing needs for the Town with  
additional positions:

Building & Fire Prevention: +1 / 2

To help annual fire inspections due  
to growth in the Town.

Buildings & Grounds Maintenance: +1

Addition of a second full-time  
cleaner mid-2022 and thus cancelled  
all contracted cleaning services for the  
Recreation Center and Library resulting  
in a cost savings.



# 2023 Preliminary Budget Inclusions

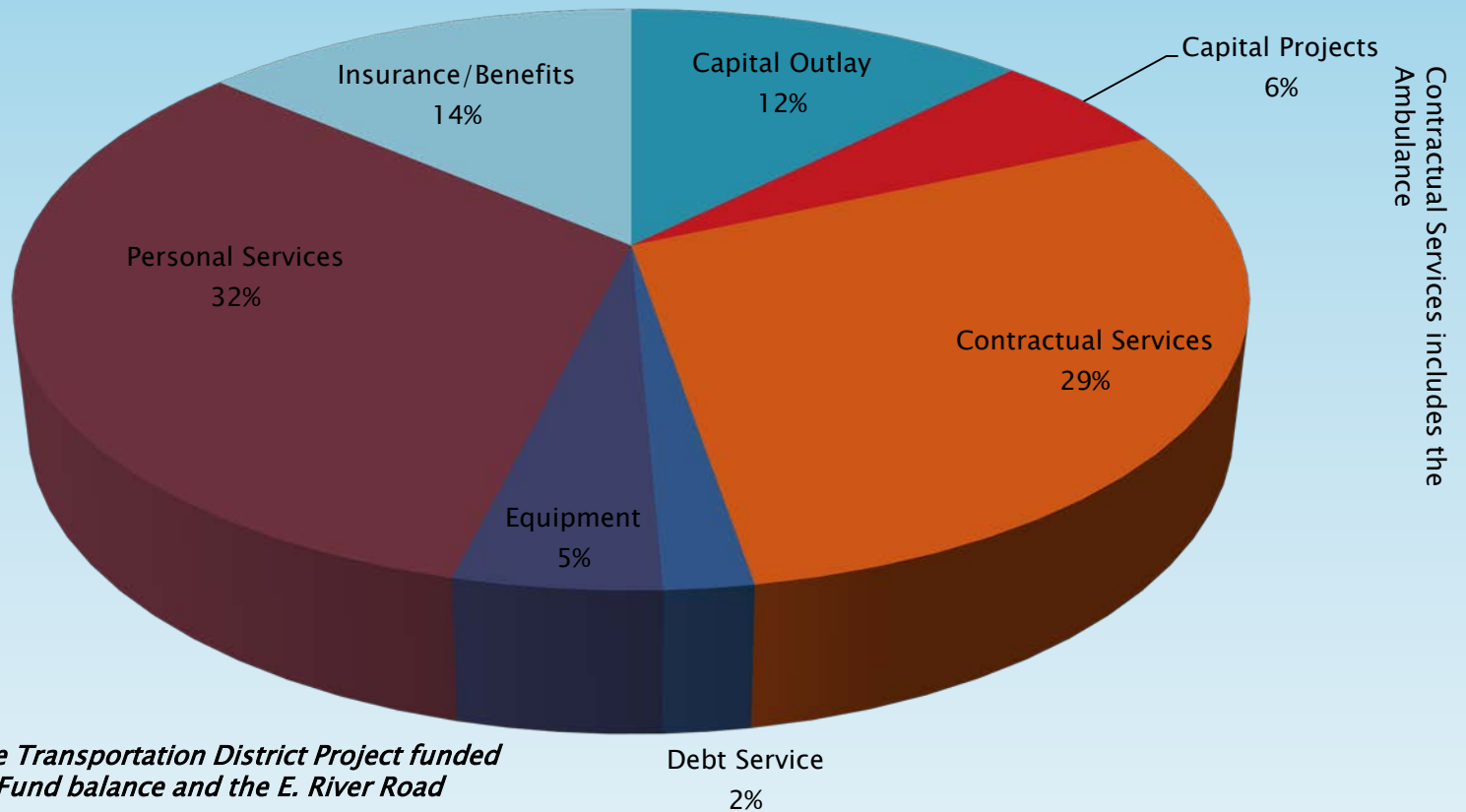
## Equipment and Capital Outlay:

- Standard Scheduled Equipment Replacement
- Heavy Equipment – Vactor Replacement
- Allocation of \$1.5M of General Fund for the new Henrietta Town Court. Additional “financing” of the Court from ARPA Funds, sale of the Town’s cell tower, and possible grants or bonds (if necessary).

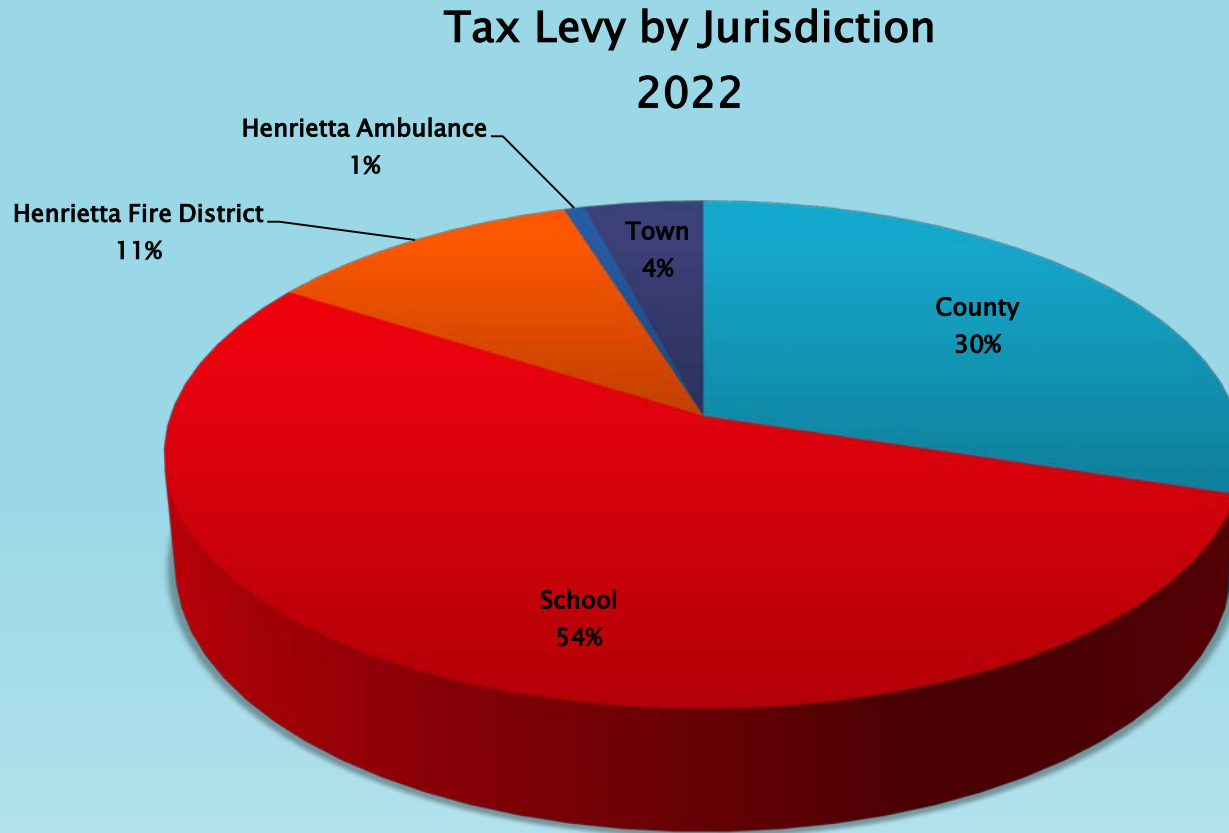


# 2023 Preliminary Budget

## 2023 Town of Henrietta Preliminary Budget



# Tax Levy by Jurisdiction



# Announced Tax Levy Changes

- ▶ 2023 Town of Henrietta, Town Tax:
  - **\$0 or NO CHANGE, 10.15% estimated rate decrease**
- ▶ 2023 Town of Henrietta, Drainage Charges:
  - **\$29,782 or 3.8% levy increase (+\$0.50/unit)**
- ▶ 2023 Town of Henrietta, Sanitary Sewer Charges:
  - **\$19,276 or 4.6% levy increase (+1.50/unit)**
- ▶ 2023 CHS Mobile Health, Ambulance Tax:
  - **\$25,861 or 3.0% levy increase, ~7.4% rate decrease**

# Announced Tax Levy Changes

- ▶ 2022–23 Rush–Henrietta CSD, School Tax:
  - \$2,548,330 or 3.0% levy increase, 7.4% rate decrease
- ▶ 2023 Henrietta Fire District, Fire Tax:
  - \$2,207,802 or 15.6% levy increase, ~5% rate increase
- ▶ 2023 Monroe County, County Tax:
  - To be announced (anticipated single digit levy increase, with a single digit rate decrease)