

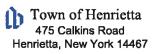
TOWN OF HENRIETTA <u>APPLICATION TO THE ZONING BOARD OF APPEALS</u> <u>FOR AN AREA VARIANCE</u>

Appeal No 201-2024-005

Date 2 - 28 - 2024

I(we) Kirk Wright	of Sign a	and Lighting Service Business (Numb		x 597
Ontario NY 14519	hereby a	appeal to the Zoning Bo		the decision
Town, State, Zip				
of the Building Inspector, whereby th	e Building Inspector	did denygra	nt a permit relating to	o the below property.
1300 Hylan Dr	Rochester	NY	14623	
No & Street	City	State	Zip Code	
161.16-1-2.12		PCD		
Tax Map No		Zo	nning District	
PROVISION(S) OF THE ZONING O	RDINANCE APPEAL	ED, (Indicate the article	e, section and parag	raph of the Zoning
Ordinance being appealed) 224-8E	3(1)			
	Numbe	er Only (Do not quote the ordinance)	
Description of Proposal: Install sec	ond wall sign on	e allowed (reference	e sign B)	
Description of Proposal: Install Sec	ond wan sign, on		s sign b/	
##FETEE.com				
Applicant should answer all statements m	egarding this applicatio	n on nage 2 Incomplete	applications shall not b	e acted upon
				e acteu upon.
Received by: <u>CCM</u>	Agent / Ap	pplication: Kirk Wright /	Melissa Driskell	
Reviewed by CEM 140	With Address	PO Box 597		
Date of Meeting: APRIL 379, 2024	1(Ontario NY 14519		
	Phone #:			
	Email			
		0	N. 1.00	
	Signature	NOTE If signature is	other than owner written authoriza	ation
		aon owner	позсокопрану аррисаюн	
APPLICA	NT OR REPRESENTATI	VE MUST BE PRESENT AT	THE MEETING	

PLEASE PRINT ALL INFORMATION



Legal Notice to Read	
Application ZBA-2024-005	Of Sign and Lighting Services, LLC / Take 5
requesting a variance for a Second	d Wall Sign
whereas	

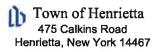
Applicat	tion Information
Meeting Date	April 3rd, 2024
Received By	ССМ
Date Received	February 28th, 2024
Fee Amoun Paid	\$250.00
Check #	18955



TOWN OF HENRIETTA APPLICATION TO THE ZONING BOARD OF APPEALS FOR AN AREA VARIANCE

Appeal No <u>ZBA - 2024 - 00</u> Date <u>2 - 28 - 2024</u>

(we) Kirk Wright	of Sigr	and Lighting Se	rvices LLC	PO Box 597
Name of Applicant / Busine	388	Busines	s (Number & Street)	peals from the decision
Town, State, Zip			-	it relating to the below property
			grant a paint	
1300 Hylan Dr	Rochester	NY	146	323
No. & Street 161.16-1-2.12	City	State PCD	Zip	Cone
Tax Map 1	Vo.	FCD	Zoning District	
PROVISION(S) OF THE ZOI		ALED, (Indicate the	article, section	and paragraph of the Zoning
Ordinance being appealed)				
5	N	umber Only (Do not quote the o	rdinance)	
Description of Proposal: Inst	tall third wall sign, one	e allowed (referer	nce sign C)	
,				
Applicant should answer all stat	ements regarding this applic:	ation on page 2 Incom	nplete application	ns shall not be acted upon.
Poul				
Received by: CCM		Application Kirk Wri	gnt / Melissa	Driskeli
Reviewed by CEM /	10W Addres	ss: PO Box 597		
Date of Meeting: APRIL 3	2024	Ontario NY 145	519	
	Phone	#		
	Email:			
	Signat		ia Dri	ske Q
			gnature is other than own om owner must accompa	
	APPLICANT OR REPRESENT	ATIVE MUST BE PRESE PRINT ALL INFORMATIO		ING



Legal Noti	ce to Read		
Applicatio	n ZBA-2024-006	Of Sign and Lighting Services, LLC / Take 5	
requesting	a variance for a	Third Wall S gn	
whereas	Dne		
		ie in the second se	

Applicat	tion Information
Meeting Date	April 3rd, 2024
Received By	ССМ
Date Received	February 28th, 2024
Fee Amoun Paic	\$100.00
Check #	18955



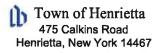
TOWN OF HENRIETTA <u>APPLICATION TO THE ZONING BOARD OF APPEALS</u> <u>FOR AN AREA VARIANCE</u>

Appeal No <u>ZBA - 2024 - 00</u>7

Date 2-28-2024

I(we) Kirk Wright		nd Lighting Servi	mber & Street)	Box 597
Ontario NY 14519 Town, State, Zip		opeal to the Zoning I		om the decision
of the Building Inspector, whe	ereby the Building Inspector d	id 🖌 deny 🔤 g	rant a permit relatir	ng to the below property.
1300 Hylan Dr	Rochester	NY	14623 Zip Cone	
161.16-1-2.12	City	PCD	Lip cone	
тах Мар М	lo		Zoning District	
PROVISION(S) OF THE ZOM		ED, (Indicate the arti	cle, section and pa	ragraph of the Zoning
Ordinance being appealed)		Only (Do not quote the ordina	nce)	
		Shift (Do not quote the crowing	1007	
Description of Proposal: Inst	all fourth wall sign, one a	allowed (reference	e sign D)	
			- (1 - M ⁻ 1	
Applicant should answer all state	ements regarding this application	on page 2. Incomple	te applications shall r	not be acted upon.
Received by: CCM		lication: Kirk Wrigh	/ Melissa Drisk	ell
			/ Monood Direk	
Reviewed by: <u>CEM</u>	HOW Address: P	PO Box 597		
Date of Meeting ARL 30,	2024 C	ntario NY 14519		
	Phone #			
	FIUNE #.			
	Email:_			~~~
	Signature	NOTE If signature	sic Drug e is other than owner, written ai	Jeo ()
			mer must accompany application	'n
	APPLICANT OR REPRESENTATIV	E MUST BE PRESENT	AT THE MEETING	

PLEASE PRINT ALL INFORMATION



Legal Notice to Read	
Application ZBA-2024-007	Of Sign and Lighting Services, LLC / Take 5
requesting a variance for a Fourth	n Wall Sign
whereas One	

Applica	tion Information
Meeting Date	April 3rd, 2024
Received By	ССМ
Date Received	February 28th, 2024
Fee Amoun Paid	d \$100.00
Check #	18955



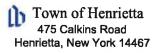
TOWN OF HENRIETTA APPLICATION TO THE ZONING BOARD OF APPEALS FOR AN AREA VARIANCE

Appeal No. 284-2024 - 008

Date 2-28-2024

I(we) Kirk Wright Name of Applicant / Business	of Sign and Lighting Services LLC PO Box 597 Business (Number & Street)
Ontario NY 14519	_hereby appeal to the Zoning Board of Appeals from the decision
Town, State, Zip	
of the building inspector, whereby the building	Inspector did deny grant a permit relating to the below property.
1300 Hylan Dr Rochest	er NY 14623
	tty State Zip Code
161.16-1-2.12	PCD
Tax Map No	Zoning District
PROVISION(S) OF THE ZONING ORDINANCE	E APPEALED, (Indicate the article, section and paragraph of the Zoning
Ordinance being appealed) 224-58 86 (
,	Number Only (Do not quote the ordinance)
participation install second pole	sign one allowed (Peeder Roard: reference sign f)
Description of Proposal: Install Second pole	sign, one allowed (Reader Board; reference sign)
Applicant should answer all statements regarding this	s application on page 2. Incomplete applications shall not be acted upon.
Received by:	Agent / Application: Kirk Wright / Melissa Driskell
	Agent / Application:
Reviewed by: CEM /40400	Address: PO Box 597
Date of Meeting: APRIL 3PP, 2024	Ontario NY 14519
	Phone #:
	Email:
	Signature: Melisia, Dusk D
	NOTE If signature is other than owner, written authorization from owner must accompany application
APPLICANT OR REPF	RESENTATIVE MUST BE PRESENT AT THE MEETING

PLEASE PRINT ALL INFORMATION



Legal Notice to Read	
Application ZBA-2024-008	Of Sign and Lighting Services, LLC / Take 5
requesting a variance for a Secon	d Pole Sign
whereas One	

Applica	tion Information
Meeting Date	April 3rd, 2024
Received By	ССМ
Date Received	February 28th, 2024
Fee Amoun Pai	d \$100.00
Check #	18955

1) Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.

There will be no undesirable affects as this is a commercial district and the surrounding business(es) have comparable signage

2) Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue other than an area variance.

It can not. It is necessary to have clear signage on the buildings elevations for clear brand recognition as well as being able to clearly be seen from the street

3) Whether the requested area variance is substantial.It is not as the signage requested is comparable to other businesses in the area

4) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

There will be no adverse effects physically or environmentally as this is signage consistent with the current surrounding businesses

5) Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

It was not. This is a standard sign package being used in various locations throughout the state/region

Statement of Applicant and Owner with Respect to Reimbursement of Professional and Consulting Fees

In conjunction with an application made to the Town of Henrietta, the undersigned states, represents and warrants the following:

- 1) I/We am/are the applicant and owner with respect to an application to the Town of Henrietta.
- 2) I/We have been advised of, are aware of and agree to comply with the obligation to reimburse the Town of Henrietta for any and all professional and consulting fees incurred by the Town in conjunction with this and any other applications by me/us, including but not limited to engineering and/or legal fees, all as more fully set forth in the Henrietta Town Code.
- 3) I/We have been provided with, or have otherwise reviewed the Henrietta Town Code provisions related to the obligation to reimburse the Town with respect to professional and consulting fees, and agree to comply with the same.
- 4) I/We understand that this obligation shall not be dependent upon the approval or success of the application.
- 5) I/We further agree that in the event the Town of Henrietta is required to refer for collection an outstanding debt for such professional and/or consulting fees due to the Town of Henrietta, I/we shall be obligated to pay the reasonable attorney's fees incurred as a result of the Town's efforts to collect such fees. Reasonable attorney's fees shall also include any and all disbursements that may result from the commencement of litigation.
- 6) Each party to the application, including the applicant and the owner, shall be jointly and severally liable for all consulting and professional fees and expenses incurred in conjunction with the application.

Applicant:	Sign & Lighting Services LLC
By:	Kirk Wright
Title:	Owner
Dated:	01/25/24
Signed:	Kirk usight
Owner:	Quattro Henrietta, LLC
By:	Michael Liyeos
Title:	Member-Manager
Dated:	01/25/24
Signed:	Miy-s



Property Owner's Letter of Authorization

To Whom It May Concern,

I/we of the property below hereby authorize Sign & Lighting Services LLC, installer/agent, **Kirk Wright**, to submit a building/sign permit application in my/our behalf for a permit and installation of signs on the property located at:

Business Name: Take 5 Oil Change

Address: 1300 Hylan Dr Rochester NY 14623

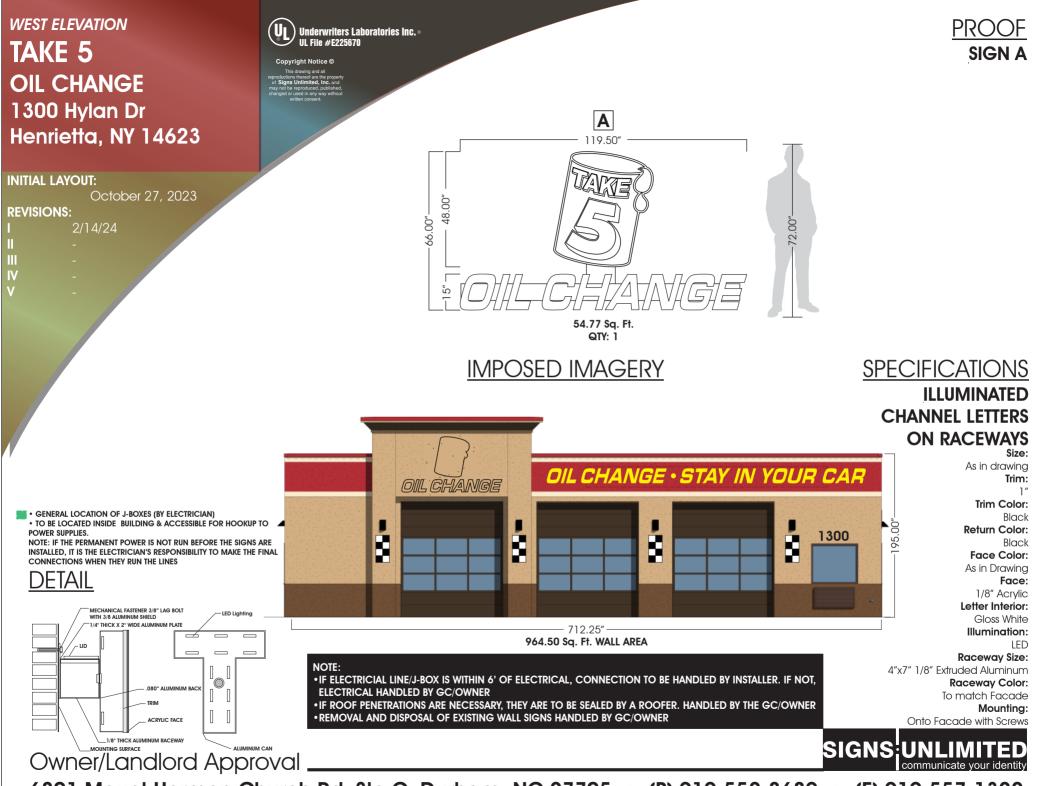
Tax Map ID# 161.16-1-2.12

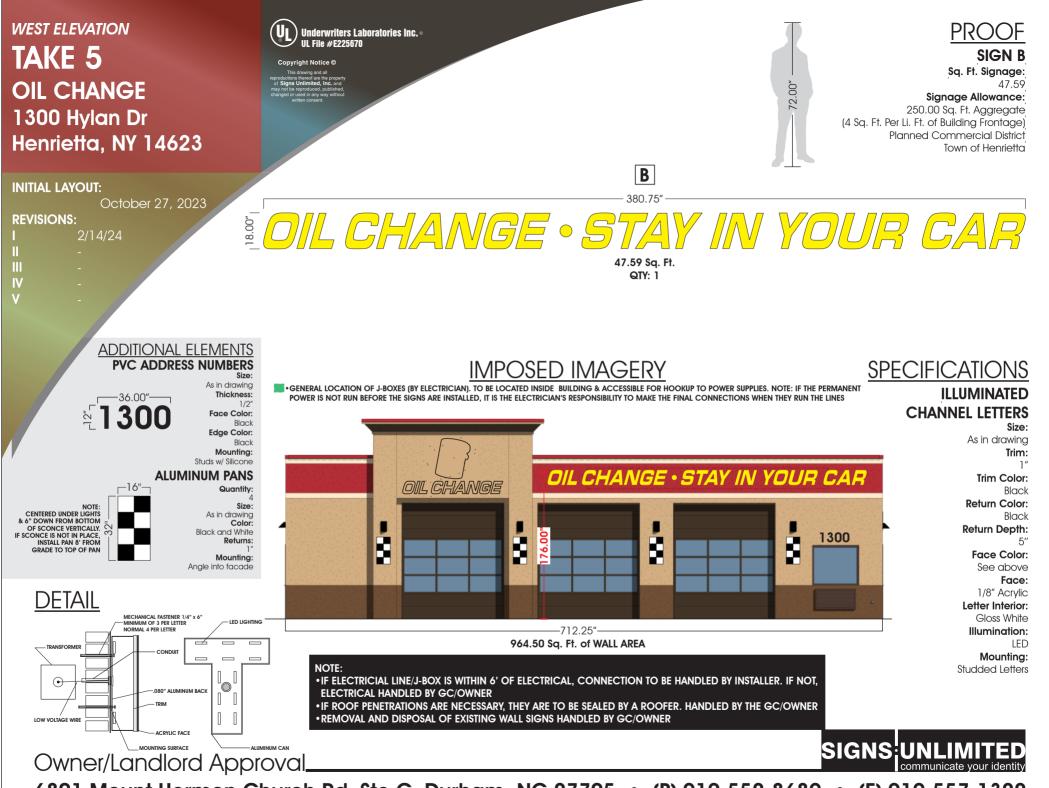
Please Print Property Owner's Information

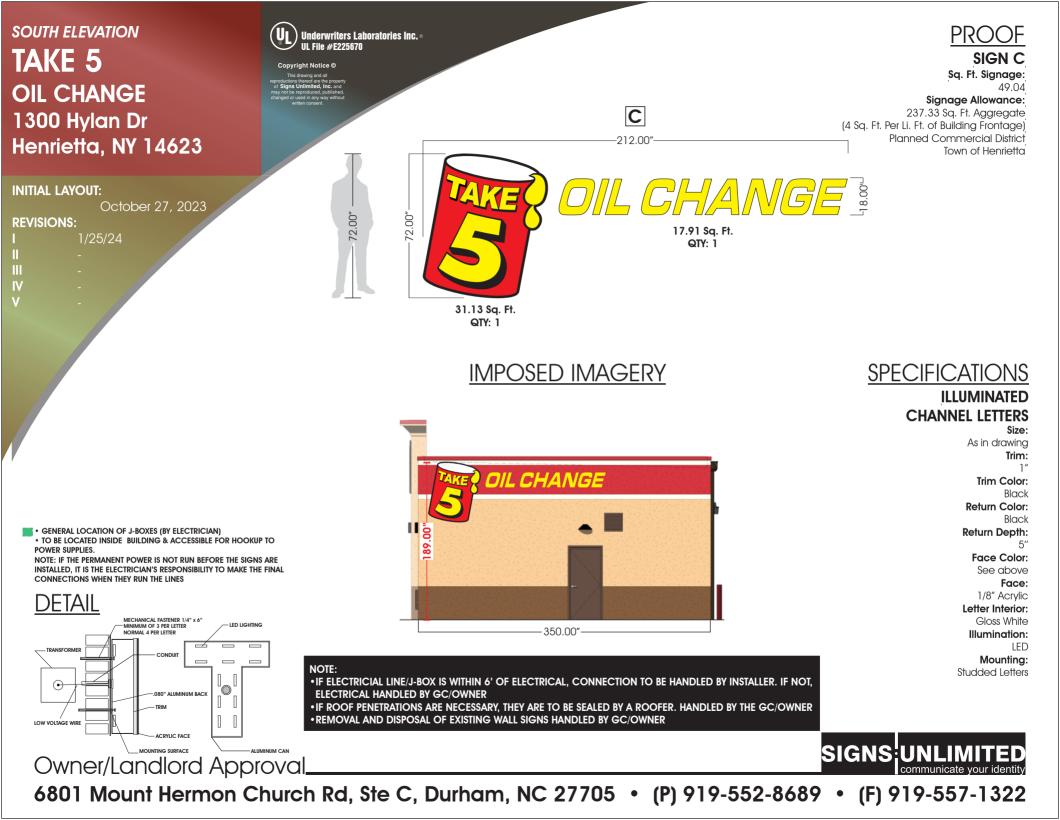
Property Owner Name: Quattro Henrietta, LLC

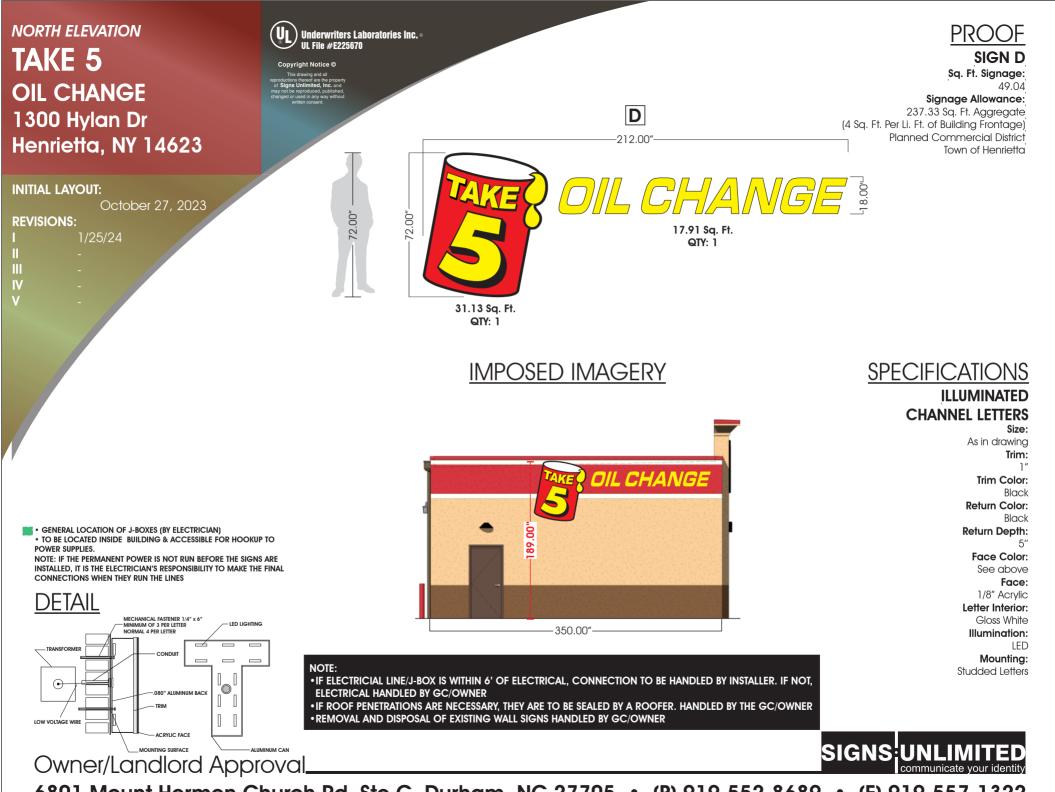
Address: 1100 Jorie Blvd, Suite 140

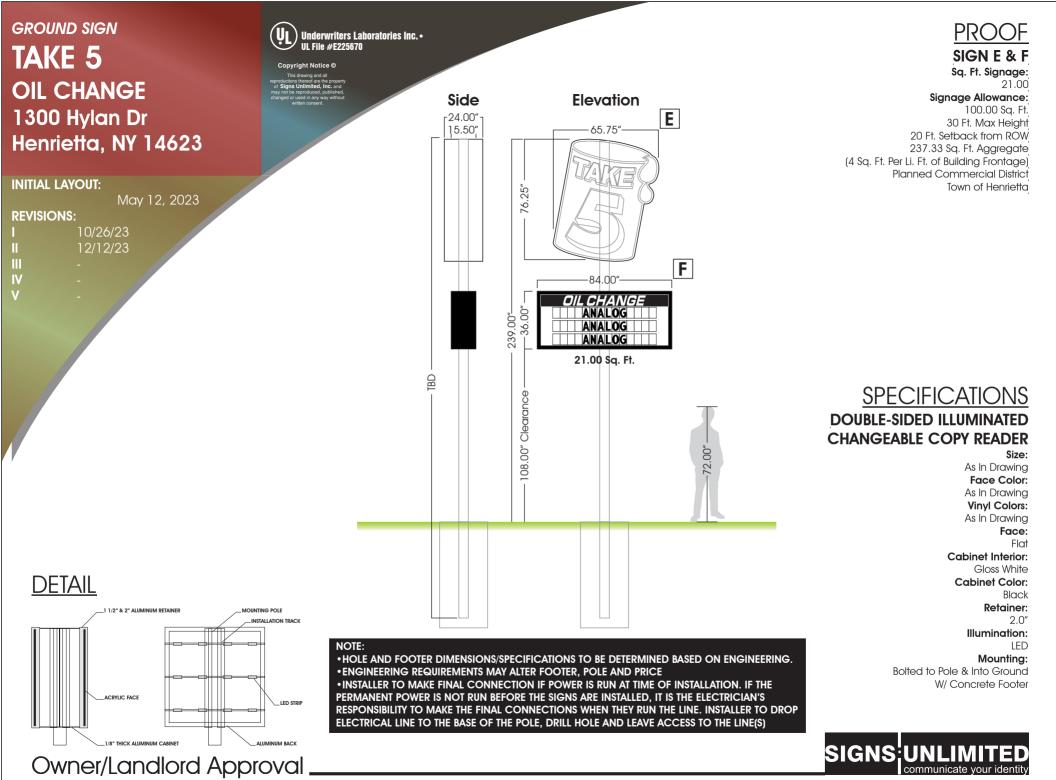
City: Oak Brook	
State: IL	Zip Code: 60653
Phone	
Email:	
Print Owners Name: 🦟	OBERT WALTERS
Owner's Signature	ZVL
Date: 9/18/23	













7'-0" **GROUND SIGN DESIGN SPECIFICATIONS:** REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS, ALL DESIGNS, 5'-5 3/4" DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO: 2020 NEW YORK BUILDING CODE ACI AISC AMERICAN WELDING SOCIETY SIGN CABINET AND LOCAL BUILDING CODES & ORDINANCES CONNECTION TO POLE 2. CONCRETE: 2500 PSI @ 28 DAYS BY SIGNS UNLIMITED NC 4 3. STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI), U.N.O. STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.) U.N.O. 4 6'-4 5 HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI) U.N.O. 6. HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI) DISCONNECT SWITCH 7 W SHAPES: ASTM A992 (Fy = 50 KSI) BY SIGNS UNLIMITED NC 8. ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105) 9. CONNECTION BOLTS: ASTM A325 SIGN CABINET AND 10. THREADED RODS: ASTM A193 GRADE B7 CONNECTION TO POLE 11. STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36 BY SIGNS UNLIMITED NC 12. REINFORCING: GRADE 60 ASTM A615 13. PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER ō 19-11 DISCONNECT SWITCH EMBEDDED STEEL ō BY SIGNS UNLIMITED NC 14. THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY. NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED 15. WITHOUT THE ENGINEER'S APPROVAL. WELDING ELECTRODES: E70XX 16. 17. ALLOWABLE SOIL BEARING PRESSURE ASSUMED; 2000 PSF 18. ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 150 PSF/FT OF WIND DATA DEPTH. ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT **Building Code** 2020 New York Buil Importance Factor, I 0-0 Directionality Factor, K_d⁽²⁾ 0.85 ASCE 7-16 Wind Load Criteria ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO HSS 6"x6"x1/4" 110 mph Wind Speed, V Topography Factor, K₂₁ 1.0 SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING xposure Category 15.8 psf Base Pressure, y(q,/K. Vind Pressure Override per 0 psf TWO TIMES THE TABULATED CODE VALUES. Jurisdiction Requirement 19. ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH. **GEOMETRY INPUT**⁽¹⁾ Monument: 20. FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D No. of Poles No. of Footings (3) Win Top 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL Height Width Area Type Offse Elev. GRADE BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR ft ft sq ft ft 0.50 4.5 9.0 ft Single Pole (Not Round) 9.00 0.50 TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS Single Pole w/ Cabinet 3.00 7.00 12.0 21.0 LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE Single Pole (Not Round) 1 56 0 50 0.8 13.6 EMBEDMENT ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION. Single Pole w/ Cabinet 6.35 5.48 34.8 19.9 Overall Height: 19.92 ft 21. EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE. 5'-6" 6'-0" Actual base 22. WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING. SUPPORT POLE DESIGN SUMMARY MATERIAL = STEEL 23. ADEQUATELY BRACE POLE(S) UNTIL CONCRETE HAS SET UP FOR 14 DAYS. Required Strength Values (ASD) Allow ase Ele GROUT UNDER BASE PLATES WITH NON-SHRINK GROUT 24. Axis Section V_r M_r T_r P_r V, 25. THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS kips kip-ft kip-ft kips kips 45.5 ft HSS6X6X1/4 0.00 Strong 1.3 17.3 1.4 0.9 FURNISHED BY OTHERS. FOUNDATION DESIGN SUMMARY 26. ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT Diameter Width Thickness Length Depth Volume Туре CORROSION. ft ft ft ft CY 3'-0" Ø 27. THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE ✓ Caisson 3.00 -- - 6.00 1.57 USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER. IT IS A VIOLATION OF NY ARTICLE 145 §7029 FOR ANY REASON 28. DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS. FRONT ELEVATION W/ CAISSON FOUNDATION 1 UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED SCALE: N.T.S. PROFESSIONAL ENGINEER TO ALTER THIS DESIGN IN ANY WAY PROJECT DRAWN BY: CHECKED BY: COMM. NO. DATE DARREN S. ANTLE, P.E. 1300 HYLAN DR, HENRIETTA, NY 14623 DJB TSM 230149.176

		DRAWING TITLE:
299 N. WEISGARBER RD. SUITE #: 104 KNOXVILLE, TN 37919	PHONE 865.584.0999 SIGN-ENGINEER.COM	TAKE 5 OIL CHANGE

NOTES

1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.

2.) SIGN CABINET AND CONNECTION BY SIGNS UNLIMITED NC.

- * CLIENT SIGNS UNLIMITED NC
- * 2020 NEW YORK BUILDING CODE
- * RISK CATEGORY II
- * 110 MPH WIND SPEED, EXP. C
- * (1) POLE, (1) FOOTING

Damping Ratio, B	0.005
Natural Frequency, n ₁	1.38 Hz
Gust Effect Factor, G	0.85
ASD Wind Load Factor, y (3)	0.6
ing values in sheet helew are	hand

REV #

DEFLECTION ANALYSIS

Deflection Limit flection at 0.7*W eflection Ratio

H/60
2.77 in
H/86

Notes: (1) Loading values in chart below are based upon average K , values for each segment. Actual values are calculated on hidden sheet using derived V-M equations. Chart is provided for information purposes only. (2) Wind directionality (K d) factor is 0.95 for Single Pale (Round) segments instead of 0.85. The C value from Fig. 6-21 has been increased by 0.95/0.85 to account for this variation.

d	pressures	isted	belo	w have a	already	been mul	tiplied b	y the AS.	D Wind Load	Factor,	γ.

	Centroid			Wind	Supp	ort Pole	Loads	Fo	oting Loa	ads
	Centrola	K,	C,	Press.	Trib.	Shear	Moment	Trib.	Shear	Moment
	ft			psf	Factor	kips	k-ft	Factor	kips	k-ft
	4.5	0.85	1.81	20.6	1.0	0.1	0.4	1.0	0.1	0.4
	10.5	0.85	1.80	20.5	1.0	0.4	4.5	1.0	0.4	4.5
	12.8	0.85	1.84	21.0	1.0	0.0	0.2	1.0	0.0	0.2
	16.7	0.90	1.79	21.6	1.0	0.8	12.6	1.0	0.8	12.6
r	nmation ba	sed upon	averages	s above:		1,3	17.8		1.3	17.8
?	reactions b	ased upo	n V-M equ	uations:		1.3	17.3		1.3	17.3

	on Ratios	Interacti		Ratios	Unity I	ble Strength Values (ASD)				
Status	P-M-V-T		0./0	T /T		V,/V,	P,	Т,	Mc	
	P-M-V-T	P-M	P,/Pc	r/ c	M,/M _c	v,/v,	kips	kip-ft	kip-ft	
1	0.0%	72.4%	5.0%	6.6%	67.4%	2.8%	18.9	21.2	25.7	

Reinforcing	Status	Allowable Soil Pressure
	ОК	300 psf/ft

